



RECEIVED

MAR 28 2023

Borough of Highlands
42 Shore Drive
Highlands, NJ 07732
(732) 872-1224
www.highlandsborough.org

LAND USE BOARD

LAND USE BOARD APPLICATION

FOR OFFICIAL USE

Date Rec'd: 3/28/2023 Application #: LB 2023-02 Fee: \$150.00 Escrow: 750.00 *ck# 1031 ck# 1032*

1. APPLICANT

Name: Catcherman, LLC
Address: 68 S Bay Avenue
City: Highlands State: NJ Zip: 07732
Phone: 215-262-2063
Email: rdavis704@verizon.net
Relation to property: owner

2. OWNER

Name: Catcherman, LLC
Address: 68 S Bay Avenue
City: Highlands State: NJ Zip: 07732
Phone: 215-262-2063
Email: rdavis704@verizon.net

3. TYPE OF APPLICATION (Check all that apply)

- Minor Subdivision
- Major Subdivision – Preliminary
- Major Subdivision – Final
- Minor Site Plan
- Major Site Plan – Preliminary
- Major Site Plan – Final
- Variance
- Use Variance
- Appeal – Zoning Denial date _____
- Appeal – Land Use Decision date _____
- Informal Concept Plan Review
- Extension of Approval
- Revision/Resubmission of Prior Application
- Other _____

4. PROPERTY INFORMATION

Block 101 Lot(s) 27.04 Address: 17 Locust Street
Lot size 25 x 100 # of Existing Lots 1 # of Proposed Lots 1
Zone R1 Are there existing Deed Restrictions or Easements? No Yes – Please attach copies
Has the property been subdivided? No Yes If yes, when? _____
Attach copies of approved map or approved resolution
Property taxes paid through Sept-2023 Sewer paid through May-2023

5. ATTORNEY (A corporation, LLC, Limited Partnership, or S-Corp **must** be represented by a NJ attorney)

Name: Donna Alkin, Esq, Law Offices of Byrnes, O'Hern & Heugle
Address: 195 E. Bergen Place, Red Bank, NJ 07701
Phone: 732-219-7711 Email: dalkin@byrnesohern.com



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6. APPLICANT'S OTHER PROFESSIONAL(S) – Engineer, Planner, Architect, etc.

Name: _____
Address: _____

Phone: _____
Email: _____

Name: _____
Address: _____

Phone: _____
Email: _____

7. LAND USE

A. PROPERTY HISTORY –Describe in detail, nature of prior use(s) on the site, start date of such use, any prior Land Use Board applications for this site (attach copy of resolution, if applicable), history of current ownership, etc.

Vacant Lot (undersized lot)

B. PROPOSED PLAN –Describe in detail, proposed use for property, including, but not limited to: 1) portion to be subdivided; 2) sell lot only; 3) construct house(s) for sale; 4) how trash will be disposed; 5) landscaping; 6) hours of operation; 7) type of goods/services; 8) fire lane. Attach additional sheets if necessary.

Variance requested for lot coverage to construct single family residential home.

C. ADDITIONAL INFORMATION:

		Existing	Proposed
Residential:	How many dwelling units?	0	1
	How many bedrooms in each unit?	0	3
	How many on-site parking spaces?	0	2
Commercial:	How many commercial uses on site?	0	0
	How many on-site parking spaces?		



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8. VARIANCE REQUESTS Complete section(s) related to the relief being requested.

	Req'd	Exist.	Prop'd
Minimum Lot Requirements			
Lot Area			
Frontage			
Lot Depth			
Minimum Yard Requirements			
Front Yard Setback			
2 nd Front Yard Setback			
Rear Yard Setback			
Side Yard Setback, right			
Side Yard Setback, left			
Building Height			

	Req'd	Exist.	Prop'd
Accessory Structures			
Fence/Wall Height			
Garage/Shed Height			
Garage/Shed Area			
Pool Setback			
Parking Requirements			
On-site Parking Spaces			
Other (please add)			

9. OTHER RELIEF REQUESTED Please specify relief(s) and explain below.

Seeking maximum building coverage of 30.24% where 25% is allowed

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BOROUGH OF HIGHLANDS, N. J.

INCORPORATED 1900

42 SHORE DRIVE
HIGHLANDS, NJ 07732
COUNTY OF MONMOUTH

(732) 872-1224 PH
(732) 872-0670 FX

WWW.HIGHLANDBOROUGH.ORG



CAROLYN BROULLON
MAYOR

MICHAEL MUSCILLO
ADMINISTRATOR

NANCY TRAN
BOROUGH CLERK

CR Homes & Realty
188 Bay Ave
Highlands NJ 07732

1-6-2023

RE: 17 Locust St
Zone R1.03

Please be advised that the application to build a new principal residence at the above referenced building lot, has been reviewed for compliance with the Borough of Highlands Zoning Ordinance.

Aside from the pre-existing non-conformities. The proposal includes new or worsening non-conformities for which the following approvals will be necessary:

1. Maximum Building coverage, proposing 30.24% where 25% is allowed.

To proceed with an application/appeal of this decision to the Land Use Board, please contact the Nancy Tran, Board Secretary via email at landuse@highlandsborough.org or by phone at 732-872-1224.

Should you have any questions, feel free to contact me at 732-615-2278.

Sincerely,

Brian O'Callahan
Zoning Officer
(732) 615-2286

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LAND USE BOARD



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12B. BUSINESS ORGANIZATION OWNERSHIP DISCLOSURE STATEMENT

Name of Corporation, Partnership, LLC, LLP, S-Corp:
Catcherman, LLC

Listed below are the names and addresses of all owners of 10% or more of the stock/interest* in the above referenced business organization:

NAME	ADDRESS
Robert J. Davis	68 S. Bay Avenue, Highlands, NJ 07732
Cynthia Davis	68 S. Bay Avenue, Highlands, NJ 07732

*If a corporation or a partnership owns 10% or more of the stock of a corporation, or 10% or great interest in a partnership, that corporation or partnership shall list the names and address of its stockholders holding 10% or more of its stock or 10% or greater interest in the partnership, and this requirement shall be followed until the names and addresses of the non-corporate stockholders and individual partners, exceeding the 10% owner ship criterion established have been listed.

SWORN & SUBSCRIBED to before me this
28 day of MARCH 2023 (year)
Carolyn Broullon (notary)
 (Seal)



CAROLYN BROULLON
 New Jersey
 Notary Public
 My Commission Expires 07/07/2025
 Commission # 50130681

[Signature] 3/28/23
 Signature (Officer/Partner) Date
Robert J. Davis, Member
 Print Full Name Title

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MAR 28 2023

LAND USE BOARD

landuse@highlandsborough.org | 5



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MAP 28 123

Borough of Highlands
42 Shore Drive
Highlands, NJ 07732
(732) 872-1224
www.highlandsborough.org

LAND USE 0772025

10. NOTARIZED SIGNATURE OF APPLICANT

I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual Applicant, or that I am an Officer of the Applicant authorized to sign the application for the business organization. Additionally, I certify that the survey or plans submitted with this application shows and discloses the premises in its entirety, and I further certify that no buildings, fences, or other facilities have been constructed, installed, or otherwise located on the premises after the date of the survey with the exception of the structures shown.

SWORN & SUBSCRIBED to before me this
28 day of MARCH 2023 (year)
CAROLYN BROULLON (notary)
 New Jersey
 Notary Public (Seal)
 My Commission Expires 07/07/2025
 Commission # 50130681

[Signature] 3/28/23
 Signature Date

Robert J. Davis, Member
 Print Full Name

11. NOTARIZED CONSENT OF OWNER

I certify that I am the Owner of the property which is the subject of this application, hereby consent to the making of this application and approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency (if owned by a corporation, a resolution must be attached authorizing the application and officer signature).

SWORN & SUBSCRIBED to before me this
28 day of MARCH 2023 (year)
CAROLYN BROULLON (notary)
 New Jersey
 Notary Public (Seal)
 My Commission Expires 07/07/2025
 Commission # 50130681

[Signature] 3/28/23
 Signature Date

Robert J. Davis, Member
 Print Full Name

12A. DISCLOSURE STATEMENT Circle all that apply.

Pursuant to N.J.S.A. 40:55D-48.1 & 48.2, please answer the following questions:

- Is this application to subdivide a parcel of land into six (6) or more lots? Yes No
- Is this application to construct a multiple dwelling of 25 or more units? Yes No
- Is this an application for approval of a site(s) for non-residential purposes? Yes No
- Is this Applicant a corporation? Yes No
- Is the Applicant a limited liability corporation? Yes No
- Is the Applicant a partnership? Yes No

If you circled YES to any of the above, please complete the following Ownership Discloser Statement (use additional sheets if necessary).

NOTES:

- BOUNDARY AND TOPOGRAPHIC INFORMATION FOR THE SUBJECT SITE IS BASED UPON MAP ENTITLED "17 LOCUST STREET TAX LOT 27.04 BLOCK 101, BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY MATRIX NEW WORLD ENGINEERING, INC., DATED 09/07/22.
- HORIZONTAL DATUM - NAD1983; AND VERTICAL DATUM - NAVD 1988; BASED ON GPS OBSERVATIONS BY MATRIX NEW WORLD ENGINEERING, INC. ON SEPTEMBER 7, 2022 AND REFERRING TO LEICA SMARTNET CONTINUOUSLY OPERATING REFERENCE STATION (CORS) NETWORK, NATIONAL GEODETIC SURVEY MONUMENT: CORS STATION "NJNT", (PID-DK7749)
- MATRIX NEW WORLD ENGINEERING, INC. MAKES NO GUARANTEES THAT ALL UNDERGROUND UTILITIES ARE SHOWN HEREON AND THAT THE EXACT LOCATIONS OF THE UNDERGROUND UTILITIES INDICATED ON THIS SURVEY ARE APPROXIMATE. ALL UTILITY LOCATIONS MUST BE VERIFIED WITH THE PROPER UTILITY COMPANIES PRIOR TO DESIGN, EXCAVATION OR CONSTRUCTION.
- THE PROPOSED BUILDING FINISHED FLOOR ELEVATION IS BASED UPON THE ASSUMPTION THAT THERE ARE NO MECHANICALS LOCATED BELOW BASE FLOOD ELEVATION (BFE). IN ADDITION, ALL BUILDING MATERIALS LOCATED BELOW THE INDICATED BASE FLOOD ELEVATION (BFE) MUST BE FLOOD DAMAGE RESISTANT PER IBC 2012 AND FEMA TECHNICAL BULLETIN 2.
- SEE ARCHITECT'S PLANS FOR LOCATION AND NUMBER OF REQUIRED FLOOD VENTS.
- FOR DETAILS OF PROPOSED PRESSURE TREATED WOOD LANDINGS AND RISERS, PLEASE REFER TO THE FOUNDATION PLANS.
- FINAL SITE GRADING SHALL BE FIELD ADJUSTED AS REQUIRED TO ENSURE POSITIVE DRAINAGE AWAY FROM THE FOUNDATION. ENGINEER SHALL BE CONSULTED PRIOR TO ANY MODIFICATIONS OF GRADING SHOWN HEREON.
- THE DRAWINGS ARE GENERAL IN NATURE AND DO NOT SHOW ALL OF THE DETAILS REQUIRED TO COMPLETE THE WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL THE INCIDENTAL WORK TO COMPLETE THE PROJECT IN ACCORDANCE WITH ACCEPTABLE CONSTRUCTION STANDARDS.

FEMA FLOOD NOTES

THE ENTIRE SUBJECT PROPERTY IS LOCATED WITHIN THE FOLLOWING SPECIAL EFFECTIVE FLOOD HAZARD AREAS AS PER THE CURRENT FIRM FLOOD INSURANCE RATE MAP:

FIRM FLOOD INSURANCE RATE MAP MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS) PANEL 67 OF 457, CONTAINS HIGHLANDS, BOROUGH OF, MAP NUMBER 34025C0067G, EFFECTIVE DATE: MAP REVISED JUNE 20, 2018.

FEMA FLOOD ZONE "AE" BASE FLOOD ELEVATION DETERMINED. (EL. 12) NAVD88

THE ENTIRE SUBJECT PROPERTY IS LOCATED WITHIN THE FOLLOWING SPECIAL PRELIMINARY FLOOD HAZARD AREAS AS PER THE CURRENT FIRM FLOOD INSURANCE RATE MAP:

FIRM FLOOD INSURANCE RATE MAP MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS) PANEL 67 OF 457, CONTAINS HIGHLANDS, BOROUGH OF, MAP NUMBER 34025C0067H, MAP REVISED PRELIMINARY: JANUARY 31, 2014.

FEMA FLOOD ZONE "AE" BASE FLOOD ELEVATION DETERMINED. (EL. 12) NAVD88

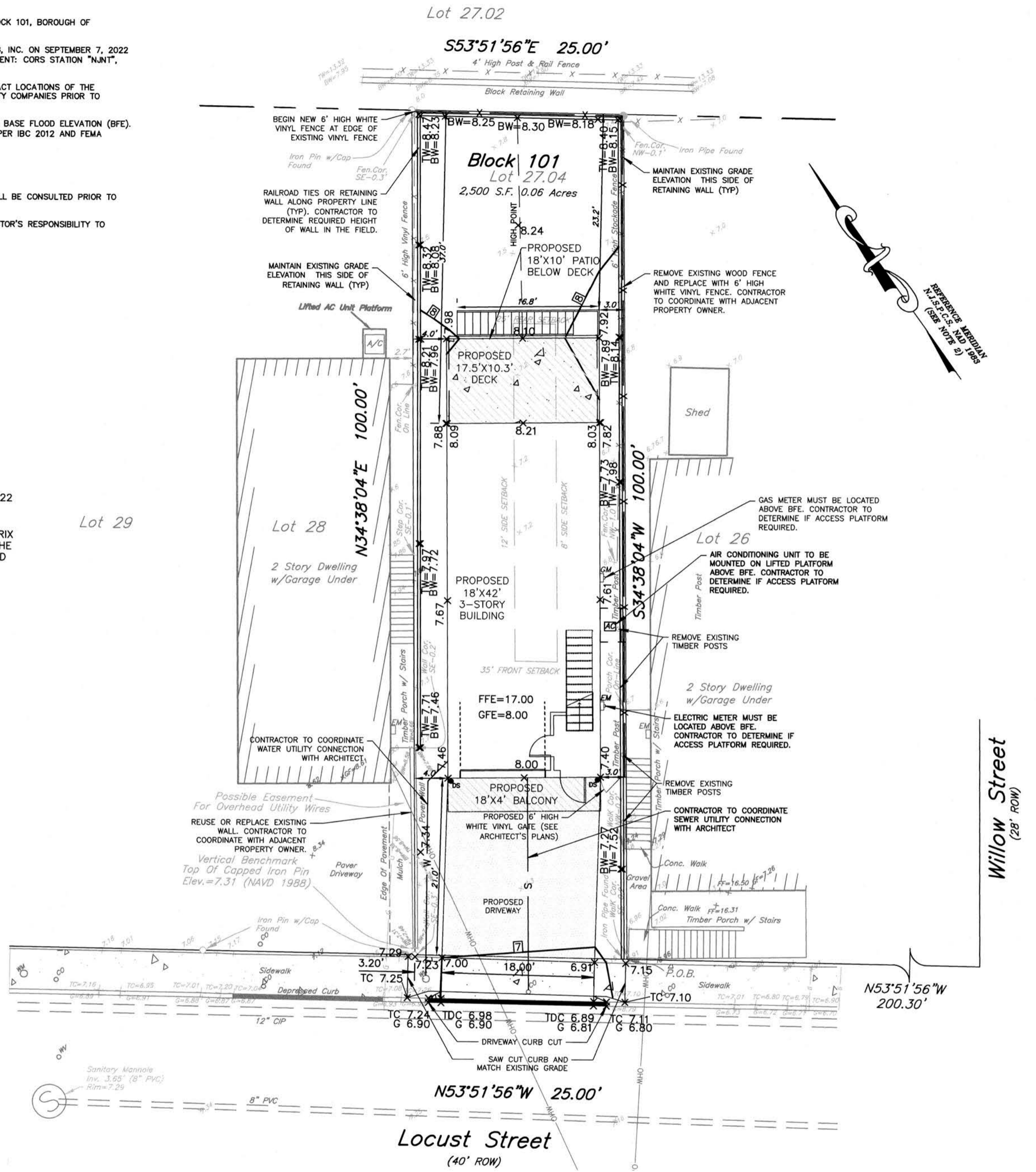
THE ABOVE EFFECTIVE AND PRELIMINARY FEMA FLOOD HAZARD INFORMATION WAS OBTAINED ON SEPTEMBER 7, 2022 FROM THE FOLLOWING FEMA WEBSITE: msc.fema.gov/portal

NOTE: DUE TO POTENTIAL CHANGES TO THE FEMA EFFECTIVE AND PRELIMINARY FIRM INSURANCE RATE MAPS, MATRIX NEW WORLD ENGINEERING, LAND SURVEYING AND LANDSCAPE ARCHITECTURE, P.C. MAKES NO GUARANTEES THAT THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A FEMA PRELIMINARY FLOOD HAZARD ZONE. ALL FEMA FLOOD HAZARD ZONE INFORMATION MUST BE VERIFIED.

ZONING REQUIREMENTS		
PARAMETER	REQUIRED R-1.03 ZONE	PROPOSED R-1.03 ZONE
MIN. LOT AREA	14,000 SF	2,500 SF*
MIN. LOT FRONTAGE/WIDTH	75 FT.	25 FT.*
MIN. LOT DEPTH	200 FT.	100 FT.*
FRONT YARD SETBACK	35 FT. (1)	21 FT.
SIDE YARD SETBACK	8 FT./12 FT.	3.0 FT./4.0 FT.**
REAR YARD SETBACK	25 FT.	37.0 FT.
MAX. BUILDING HEIGHT (2)	30 FT. (2)	36 FT.**
MAX. LOT COVERAGE:		
LOT	60%	52.74%
BUILDING	25%	30.24%**
* EXISTING VARIANCE		
** NEW VARIANCE		
(1) OR THE AVERAGE OF THE EXISTING FRONT YARD SETBACK WITHIN TWO HUNDRED (200) FEET IN THE SAME BLOCK AND ZONE, PER SECTION 21-80.		
(2) WHERE A DWELLING IS CONSTRUCTED TO PROVIDE THE REQUIRED PARKING UNDER THE STRUCTURE, THE MAXIMUM HEIGHT SHALL BE INCREASED BY TWO AND ONE-HALF (2-1/2) FEET.		

LEGEND

EXISTING BOUNDARY LINE	PROPOSED BOUNDARY LINE	EXISTING ROOF DOWNSPOUT	PROPOSED ROOF DOWNSPOUT
LOT LINE	SETBACK LINE	SANITARY SEWER	SANITARY CLEANOUT
CURB LINE	DEPRESSED CURB	WATER MAIN	WATER VALVE
EDGE OF PAVEMENT	PAINT LINE	WATER VALVE RESET	WATER GATE VALVE
CONCRETE	FENCE	WATER METER	GAS MAIN
MAILBOX	EDGE OF LANDSCAPE	GAS VALVE	GAS VALVE RESET
DOOR SILL	RETAINING WALL/BULKHEAD	GAS METER	TELEPHONE
CONTOURS	SPOT ELEVATION	CABLE TELEVISION	ELECTRIC CONDUIT
MINOR	GUTTER ELEVATION	OVER HEAD WIRE	UTILITY POLE
MAJOR	TOP OF CURB ELEVATION	GUY ANCHOR	ELECTRIC METER
GRATE ELEVATION	RIM ELEVATION	AIR CONDENSER UNIT	STORM DRAIN INLET
RIM ELEVATION	TOP OF WALL	MANHOLE	CLEANOUT
BOTTOM OF WALL	BOTTOM OF BLOCK	DOWNSPOUT	DOWNSPOUT
BOTTOM OF BLOCK	FINISHED FLOOR ELEV.		
GARAGE FLOOR ELEV.			



NOTICE TO CONTRACTOR

ATTENTION OF THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF WORK AREA ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER, AND THE CONTRACTOR IS ADVISED TO VERIFY, IN THE FIELD, ALL THE FACTS CONCERNING THE LOCATION OF THESE UTILITIES AND OTHER CONSTRUCTION OBSTACLES PRIOR TO THE START OF CONSTRUCTION. FURTHER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT DESIGN.

THE CONTRACTOR SHALL CONTACT NEW JERSEY ONE CALL (1-800-272-1000 OR LATEST NUMBER) FOR UTILITY MARKOUT PRIOR TO THE START OF CONSTRUCTION.

NO.	DESCRIPTION	DATE	BY	REL.

DESIGNED BY: **RSZ**
 REVIEWED BY: **SS**
 RELEASED BY: **SMS**

SEAN M. SAVAGE, P.E.
 NEW JERSEY PROFESSIONAL ENGINEER
 LICENSE NO. 24GE04451000
 DATE: 11/9/2022

MATRIXNEWORLD
 Engineering Progress
 Matrix New World Engineering, Land Surveying
 and Landscape Architecture, P.C.
 442 State Route 35, Second Floor
 Eatontown, New Jersey 07724
 Tel: 732-588-2999
 Fax: 973-240-1818
 www.mnwe.com
 CERTIFIED WBE
 NEW JERSEY CERTIFICATE OF AUTHORIZATION No. 24GA27962300

PLOT AND GRADING PLAN
17 LOCUST STREET
TAX LOT 27.04 BLOCK 101
 BOROUGH OF HIGHLANDS
 MONMOUTH COUNTY, NEW JERSEY

PROJECT NUMBER: 22-1137
 DATE: 11/08/22
 SCALE: 1"=10'

SHEET 1 OF 1



HGPB- R2020

May 18, 2023

Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board
42 Shore Drive
Highlands, New Jersey 07732

Via Email (ntran@highlandsborough.org)

**Re: Catcherman, LLC
17 Locust Street
Block 101, Lot 27.04
Single Family Residential (R-1.03) Zone
First Completeness Review**

Dear Ms. Tran:

As requested, we have reviewed the above-referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations section entitled Part 3, Subdivision and Site Plan Review, Article VI, Application Procedure, and Article VIII, Plat and Plan Details, section 21-58D – Minor Site Plan.

The applicant submitted the following documents in support of this application:

1. Land Use Board Application, dated March 28, 2023.
2. Plot and Grading Plan, 17 Locust Street, Lot 27, Block 101, prepared by Sean M. Savage, P.E., of Matrix New World Engineering Progress, dated November 8, 2022.

The above information was reviewed for completeness purposes as follows:

Preliminary Site Plan (Minor): The preliminary site plan shall be drawn at a scale of not more than one hundred (100) feet to the inch and shall include such details as may be necessary to properly evaluate the application and determine compliance with this chapter. The site plan shall be drawn by a licensed New Jersey professional engineer and land surveyor and, where applicable to the proposed use or construction, the following information shall be clearly shown.

1. Date, name, location of site, name of owner, scale and reference meridian. **Provided.**
2. Area of the lot and all lot line dimensions and bearings. **Provided.**
3. The location of all existing watercourses, wooded areas, easements, rights-of-way, streets, roads, highways, rivers, buildings, structures and any other feature on the property and within seventy-five (75) feet of the property line. **Not Provided.**
4. Location, use and ground floor area of all existing and proposed buildings, with the building setback, side line and rear yard distance. **Partially Provided.**
5. Elevations at the corners of all proposed buildings and paved areas and at property corners if new buildings or paved areas are proposed. **Provided.**
6. The location and widths of existing and proposed streets servicing the site plan. **Provided.**



**Le: Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board**

**Re: Catcherman, LLC
17 Locust Street
Block 101, Lot 27.04
Single Family Residential (R-1.03) Zone
First Completeness Review**

7. Specifications for and location of proposed surface paving and curbing. **Partially Provided. Specifications & details for paving and curbing are not shown on plan.**
8. Location of all structures within seventy-five (75) feet of the property. **Partially provided.**
9. Location of off-street parking areas, with dimensions, showing proposed parking and loading spaces, with dimensions, width of proposed access drives and aisles and traffic circulation. **Provided.**
10. Storm water management and sanitary sewer reports, including proposed storm drainage and sanitary disposal facilities; specifically, the location, type and size of all existing and proposed catch basins, storm drainage facilities, utilities plus all required design data supporting the adequacy of the existing or proposed facilities to handle future storm flows. **Not applicable.**
11. Existing and proposed contours of the property and for seventy-five (75) feet outside the property at one (1) foot intervals when new buildings or parking areas are proposed. Spot elevations for any development in a flood hazard area. **Partially provided.**
12. The location and treatment of proposed entrances and exits to the public rights-of-way, including the possible utilization of traffic signals, channelization, acceleration, and deceleration lanes, additional widths and any other devices necessary to traffic safety and/or convenience. **Not applicable.**
13. The location and identification of proposed open space, parks or other recreation areas. **Not applicable.**
14. The location and design of landscaping, buffer areas and screening areas showing size, species and spacing of trees and plants and treatment of unpaved areas. **Not provided.**
15. The location of sidewalks, walkways, traffic islands and all other areas proposed to be devoted to pedestrian use. **Not applicable.**
16. The nature and location of public and private utilities, including maintenance and solid waste disposal, recycling and/or storage facilities. **Provided.**
17. Specific location and design of traffic control devices, signs and lighting fixtures. The Board may require of the applicant expert testimony concerning the adequacy of proposed traffic control devices, signs and lighting fixtures. **Not applicable.**
18. Preliminary architectural plans for the proposed buildings or structures indicating typical floor plans, elevations, heights and general design or architectural styling. **Partially provided. Architectural plans have not been provided. However, elevation information for the proposed dwelling and its mechanical units has been included on the plan. The proposed structure is located within flood zone AE-12. Therefore, the plans should be designed in accordance with FEMA standards and the Borough of Highlands Flood Damage Prevention Ordinance requirements. I defer to the Borough Floodplain Manager for further review.**



**Le: Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board**

**Re: Catcherman, LLC
17 Locust Street
Block 101, Lot 27.04
Single Family Residential (R-1.03) Zone
First Completeness Review**

- 19. The present and past status and use and contemplated use of the property and all existing buildings on the property. A cleanup plan where such is necessary because of the past or present use of the site. **Not applicable.**
- 20. A soil erosion and sediment control plan is required. Said plan shall be submitted to the Soil Conservation District and approval of the application shall be conditioned upon certification of the soil erosion and sediment control plan by the District. **Not applicable.**
- 21. Soil Borings, when required by the Board Engineer. **Not required.**
- 22. Certification statement for the required municipal signatures, stating: **Not provided.**

- o Application No. _____ approved/disapproved by the Highlands Land Use Board as a Minor Site Plan on _____.
- (date)

Chairman

Secretary

- 23. Certification statement for the County Planning Board approval / disapproval, if required. **Not applicable.**
- 24. The Board may require any additional information which is reasonably necessary to ascertain compliance with the provisions of this chapter.

Several relevant items noted above have not been submitted to the Board therefore the application is deemed **INCOMPLETE.** The applicant shall provide architectural plans in order to confirm the building height and any impacts for mechanicals and utilities. Normally JCP&L will require a meter platform, and with the limited lot width this must be determined in advance and shown on the architectural plans.

The application fee and escrow fee calculation letter will be provided under separate cover. **We will commence our technical review letter upon submission of the architectural plans and confirmation from the Board Secretary that the balance of fees due has been properly posted.**



**Le: Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board**

**Re: Catcherman, LLC
17 Locust Street
Block 101, Lot 27.04
Single Family Residential (R-1.03) Zone
First Completeness Review**

Should you have any questions or require any additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.
LAND USE BOARD ENGINEER

EWH:GM

cc: Michael Muscillo, Borough Administrator (mmuscillo@highlandsborough.org)
Ron Cucchiaro, Esq., Land Use Board Attorney (RCucchiaro@weiner.law)
Brian O'Callahan, Zoning Officer (bocallahan@middletownnj.org)
Catcherman, LLC, Applicant (rdavis704@verizon.net)



YOUR GOALS. OUR MISSION.

HGPB- R2020

May 18, 2023

Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board
42 Shore Drive
Highlands, New Jersey 07732

Via Email (ntran@highlandsborough.org)

**Re: Catcherman, LLC
17 Locust Street
Block 101, Lot 27.04
Single Family Residential (R-1.03) Zone
Fee and Escrow Calculation**

Dear Ms. Tran:

As requested, we have reviewed the above-referenced application in accordance with the Borough of Highlands Land Use Regulations Part 6 - Fee Schedule.

The applicant submitted the following documents in support of this application:

1. Land Use Board Application, dated March 28, 2023.
2. Plot and Grading Plan, 17 Locust Street, Lot 27, Block 101, prepared by Sean M. Savage, P.E., of Matrix New World Engineering Progress, dated November 8, 2022.

Please note the following fee calculations:

- | | |
|----------------------------|-------------------|
| 1. Application fee: | \$925.00 |
| 2. Escrow fee: | \$1,850.00 |

Please note that the initial application deposits shall be deducted from the total fees shown.

Should you have any questions or require any additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.
LAND USE BOARD ENGINEER

EWH:GM

cc: Michael Muscillo, Borough Administrator (mmuscillo@highlandsborough.org)
Ron Cucchiaro, Esq., Land Use Board Attorney (RCucchiaro@weiner.law)
Brian O'Callahan, Zoning Officer (bocallahan@middletownnj.org)
Catcherman, LLC, Applicant (rdavis704@verizon.net)

\\tandmassociates.local\Public\Projects\HGPB\R2020\Correspondence\Tran_ EWH_Catcherman_17 Locust Street_Fee and Escrow Calculation.docx



HGPB-R2020

DETERMINATION OF FEES
17 Locust Street
Block 101 Lot 27.04

A. APPLICATION FEES (Ord. 21-107)

A. Variances

3. Residential "c" (maximum building coverage)	1	EA	\$	125.00	\$	125.00
Residential "c" (minimum side yard setback)	2	EA	\$	125.00	\$	250.00
4. Residential "d(6)" (maximum building height)	1	EA	\$	150.00	\$	150.00

B. Site Plans

2. Minor	1	EA	\$	400.00	\$	400.00
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B. ESCROW FEES (Ord. 21-108)

B. Escrow Deposits (twice Application Fee; Minimum \$750)	1	LS	\$	1,850.00	\$	1,850.00
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Application fees subtotal \$ 925.00

Escrow fee subtotal \$ 1,850.00

Total \$ 2,775.00

August 22, 2023

Via UPS Ground

Borough of Highlands Land Use Board
42 Shore Drive
Highlands, NJ 07732

Attn: Nancy Tran, Land Use Board Secretary

**RE: 17 LOCUST STREET
TAX LOT 27.04 BLOCK 101
BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY
MATRIX NO. 22-1137**

Ms. Tran:

This letter has been prepared to provide our responses to the comments listed in the following review letter for the above-referenced project:

- T&M Associates (Land Use Board Engineer) Review Letter dated May 18, 2023

Enclosed please find the following documents in support of this submission:

1. Five (5) copies of the plan entitled "Plot and Grading Plan, 17 Locust Street, Tax Lot 27.04 Block 101, Borough of Highlands, Monmouth County, New Jersey" prepared by Matrix New World Engineering, last revised 8/8/23
2. Five (5) copies of architectural plans prepared by JoSo Studio, dated 11/15/22

In addition to the above enclosures, please review the point-by-point responses below for the above-referenced review letters; *italicized* text indicates review comments and **bold** indicates our response.

T&M ASSOCIATES (LAND USE BOARD ENGINEER) REVIEW LETTER DATED MAY 18, 2023

The above information was reviewed for completeness purposes as follows:

Preliminary Site Plan (Minor): The preliminary site plan shall be drawn at a scale of not more than one hundred (100) feet to the inch and shall include such detail as may be necessary...

No response required.

1. *Date, name, location of site, name of owner, scale and reference meridian...*

No response required.

2. *Area of the lot and all lot dimensions and bearings...*

No response required.

3. *The location of all existing watercourses, wooded areas, easements, rights-of-way, streets, roads...*
The plot plan has been revised to include the requested information.

4. *Location, use and ground flood area of all existing and proposed buildings...*
The plot plan has been revised to include the requested information.

5. *Elevations at the corners of all proposed buildings and paved areas...*
No response required.

6. *The location and widths of existing and proposed streets...*
No response required.

7. *Specifications for and location of proposed surface paving and curbing...*
The plot plan has been revised to include details for the proposed paving and curbing.

8. *Location of all structures within seventy-five (75) feet of the property...*
The plot plan has been revised to include the location of all structures within seventy-five feet of the property.

9. *Location of off-street parking areas, with dimensions, showing proposed parking and loading spaces...*
No response required.

10. *Stormwater management facilities and sanitary sewer reports, including proposed storm drainage and sanitary...*
No response required.

11. *Existing and proposed contours of the property and for seventy-five (75) feet outside the property at one (1) foot intervals...*
The plot plan has been revised to include the requested information.

12. *The location and treatment of proposed entrances and exits to the public right-of-ways...*
No response required.

13. *The location and identification of proposed open space, parks or other recreation areas...*
No response required.

14. *The location and design of landscaping, buffer areas and screening areas...*
The applicant does not currently have a plan showing the proposed landscaping, however, it is their intention to install grass in the rear yard area, stone along the sides of the home, and stone to the sides of the driveway in the front. It is not proposed to install any landscape buffering at this time, but it is noted that a 6-foot privacy fence is proposed along the rear and portion of the eastern side of the property and this fence will connect to the existing privacy fence along the western side of the property.

15. *The location of sidewalks, walkways, traffic islands and all other areas proposed to be devoted to pedestrian use...*

No response required.

16. *The nature and location of public and private utilities...*

No response required.

17. *Specific location and design of traffic control devices, signs and lighting fixtures...*

No response required.

18. *Preliminary architectural plans for the proposed buildings or structures indicating typical floor plans...*

Copies of the architectural plans are enclosed.

19. *The present and past use and contemplated use of the property...*

No response required.

20. *A soil erosion and sediment control plan is required. Said plan shall be submitted to the Soil Conservation District...*

No response required.

21. *Soil borings, when required by Board Engineer...*

No response required.

22. *Certification statement for the required municipal signatures...*

The plot plan has been revised to include the requested information.

23. *Certification statement for the County Planning Board...*

No response required.

24. *The board may require any additional information which is reasonably necessary...*

No response required.

If you should have any questions or require additional information, please contact my office at (973) 295-3604 or via email to ssavage@mnwe.com.

Sincerely,



Sean M. Savage, PE
Director of Land Development
License No. 24GE04451000

SMS:lb
Enclosures

LOCUST ST PROJECT
 LOCUST RESIDENCE
 17 LOCUST ST, HIGHLANDS, NJ

SHEET LIST	
SHEET NUMBER	SHEET NAME
A-0.0	COVER PAGE
A-1.0	GROUND AND FIRST FLOOR CONSTRUCTION PLANS
A-1.1	SECOND AND ATTIC FLOOR CONSTRUCTION PLANS
A-1.2	ROOF TERRACE CONSTRUCTION PLAN
A-2.0	ELEVATIONS

BUILDING CODES

ALL WORK SHALL CONFORM TO THE UNIFORM CONSTRUCTION CODE. ALL APPLICABLE BUILDING CODES, LOCAL CODES AND REGULATIONS INCLUDING BUT NOT LIMITED TO:

- UNIFORM CONSTRUCTION CODE STATE OF NEW JERSEY
- INTERNATIONAL BUILDING CODE 2018
- INTERNATIONAL RESIDENTIAL CODE 2018 (nj edition)
- NATIONAL ELECTRIC CODE 2017
- INTERNATIONAL MECHANICAL CODE 2018
- INTERNATIONAL FUEL GAS CODE 2018
- INTERNATIONAL ENERGY CONSERVATION CODE 2018
- NATIONAL STANDARD PLUMBING CODE 2018
- INTERNATIONAL FIRE PROTECTION CODE 2017

[<https://www.nj.gov/dca/divisions/codes/codreg/>]

BUILDING DATA

- CONSTRUCTION TYPE VA [IRC 300]
- USE GROUP R-5 [IBC 310]
- SEISMIC DESIGN RISK CATEGORY II
- BASIC WIND SPEED 118 MPH [R301.2(5), BULLETIN 19-1, <https://hazards.atcouncil.org/>]
- ASSUMED SOIL CAPACITY OF 2,500 PSI
- DESIGN LOADS [IRC 301]**
 - DEAD LOAD 20 PSF
 - GROUND SNOW LOAD 20 PSF
 - MAXIMUM LIVE LOAD 40 PSF
 - ADDITIONAL LIVE LOADS ACCORDING TO TABLE R502.3.1(1) 2018:

USE	LIVE LOAD
UNINHABITABLE ATTICS WITHOUT STORAGE	10
UNINHABITABLE ATTICS WITH LIMITED STORAGE	20
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS	30
DECKS	40
EXTERIOR BALCONIES	60
FIRE ESCAPES	40
GUARDS AND HANDRAILS	200
GUARD IN-FILL COMPONENTS	50
PASSENGER VEHICLE GARAGES	50
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40

ENERGY CODE ANALYSIS:

- PROJECT TO FOLLOW CLIMATE ZONE 4A (TABLE R301.1)
- THE INTERIOR DESIGN TEMPERATURES USED FOR HEATING AND COOLING LOAD CALCULATIONS SHALL BE A MAXIMUM OF 72 F FOR HEATING AND 75 F FOR COOLING (R302.1)
- BUILDING THERMAL ENVELOPE TO FOLLOW PERSCRIPITIVE REQUIREMENTS OF SECTION R4202 (TABLE 402.1.2)
 - CRAWL SPACE TO HAVE R-13 VALUE OR BETTER
 - GLAZED FENESTRATION TO HAVE 0.40 SHGC AND 0.32 U-FATOR OR BETTER
 - CEILING/ROOF TO HAVE R-49 VALUE OVER THE ENTIRE CEILING AREA (R402.1.2) OR BETTER
 - WOOD FRAME WALLS TO HAVE R-20 VALUE OF BETTER
 - FLOORS TO HAVE R-19 VALUE OR BETTER
- VENTED ROOF DESIGN TO HAVE BAFFLES OVER THE TOP OF THE INSULATION AND MAINTAIN PROPER AIR SPACE
- INSULATION FOR HOT WATER PIPING WITH A THERMAL RESISTANCE, R-VALUE, OF NOT LESS THAN R-3 SHALL BE APPLIED TO THE FOLLOWING: PIPING 3/4" OR LARGER, PIPING OUTSIDE THE CONDITIONED SPACE, PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD, BURIED PIPING (R)
- THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5
- THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION

GENERAL

- CONTRACTOR(S) SHALL COMPLY WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, RULES AND REGULATIONS INCLUDING STATE AND LOCAL CODES.
- CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ALL MATERIALS AND METHODS AND METHODS OF CONSTRUCTION, WHETHER IT BE THEIR OWN OR THAT OF THEIR EMPLOYEES OR SUB-CONTRACTORS.
- CONTRACTOR(S) SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS, AND NEW CONDITIONS AND DIMENSIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN ACTUAL AND THOSE SHOWN ON THE DRAWINGS, BEFORE THE BID IS SUBMITTED.
- CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ANY ADJACENT AREAS TO REMAIN AND SHALL BE RESPONSIBLE FOR CORRECTING ANY DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION.
- CONTRACTOR(S) SHALL PROCURE AND PAY FOR ALL APPLICABLE PERMITS.
- CONTRACTOR(S) SHALL BE RESPONSIBLE FOR TO REMOVAL OF ALL CONSTRUCTION DEBRIS FROM PREMISES.
- ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES MADE WHICH DEVIATE FROM THE DRAWINGS, WHETHER INITIATED BY OWNER, CONTRACTOR, OR BOTH, UNLESS AGREED UPON BY ARCHITECT IN WRITING.
- CONTRACTOR(S) SHALL GUARANTEE WORK FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- CONTRACTOR(S) SHALL MAINTAIN APPROPRIATE INSURANCE LICENSE FOR THIS PROJECT.
- ANY ADDENDA OF MODIFICATION ISSUED BY THE ARCHITECT SHALL BECOME IMMEDIATELY INCORPORATED INTO THE WORK AS IF ORIGINALLY INCLUDED HEREWITH.
- ONLY THOSE AREAS AS DESIGNATED BY THE OWNER SHALL BE USED FOR THE STORAGE OF CONSTRUCTION EQUIPMENT AND MATERIALS.

GENERAL(cont.)

- STORAGE OF CONSTRUCTION EQUIPMENT AND MATERIALS.
- THE ARCHITECT SHALL BE HELD HARMLESS BY ALL PARTIES AGAINST ANY CLAIMS THAT MAY ARISE OUT OF CONSTRUCTION PROCEDURES OR ACTIVITIES.
- ANY ITEMS REQUIRING CLARIFICATION OR A DECISION BY THE ARCHITECT SHALL BE ADDRESSED BY THE ARCHITECT IN WRITING OR IN THE FORM OF A DETAIL. VERBAL RESOLUTION ARE NOT BINDING.
- IF CONTRACTOR PROPOSES A SUBSTITUTION FOR ANY OF THE MATERIALS OR EQUIPMENT SPECIFIED, INFORMATION OR SAMPLES, TO DETERMINE IF THE SUBSTITUTE IS ACCEPTABLE AND EQUAL TO THE SPECIFIED ITEM, SHALL BE SUBMITTED TO THE ARCHITECT. THE ARCHITECT SHALL DETERMINE IF ANY ITEM IS ACCEPTABLE OR EQUAL. HOWEVER THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PERFORMANCE OF THE ITEM. REJECTED ITEMS SHALL NOT BE USED UNDER ANY CIRCUMSTANCE.
- GENERAL CONTRACTOR SHALL PROVIDE CLEANING OF ALL GLASS, PAINTED OR FINISHED SURFACES, HARDWARE, MASONRY, ETC. FOLLOWING THE COMPLETION OF CLEAN UP. SHOULD ANY CONTRACTOR MAR OR LITTER ANY AREAS CLEANED, THE CONTRACTOR RESPONSIBLE SHALL CLEAN SAID AREAS TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR(S) SHALL VERIFY AND PROTECT ALL SERVICE LINES AND EXISTING SITE AREA FROM DETERIORATION OR DAMAGE.
- THE CONTRACTOR(S) SHALL BRING ERRORS AND OMMISIONS WHICH MAY OCCUR IN CONTACT DOCUMENTS TO THE ATTENTION OF THE OWNER AND ARCHITECT IN WRITING AND WRITTEN INSTRUCTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR(S) WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS IN THE CONTRACT DOCUMENTS, OF WHICH THE CONTRACTORS(S) FAILED TO NOTIFY THE OWNER AND ARCHITECT BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.
- THE CONTRACTOR(S) IS RESPONSIBLE FOR DELEVERING THE DESIGN INTENT HERE WITHIN
- ADDITIONAL DETAIL AND INFORMATION AVAILABLE UPON REQUEST. AMPLE NOTICE IS APPRECIATED**

DRAWING AND DIMENSIONS

- DRAWING SHALL NOT BE SCALED.
- DIMENSIONS WITH A PLUS/MINUS SYMBOL (+/-) IN FRONT OF THE DIMENSION REPRESENT AN APPROXIMATE DIMENSION. THESE DIMENSIONS MUST BE FIELD VERIFIED. SOME OF THE DIMENSIONS ARE TO ASSIST IN THE BIDDING PROCESS. COORDINATE THESE DIMENSIONS WITH "ALIGN" AND "HOLD" NOTES. V.I.F. = VERIFY IN FIELD.
- DIMENSIONS WITH A "HOLD" NOTE REPRESENT A DIMENSION THAT MUST BE HELD. THESE DIMENSIONS MUST NOT BE INCREASED OR DECREASED. ADJACENT DIMENSIONS MAY BE ADJUSTED AS REQUIRED. COORDINATE THESE DIMENSIONS WITH "+/-" AND "ALIGN" NOTES.



1 FRONT AXONOMETRIC VIEW
 NOT TO SCALE

JoSo
 Studio

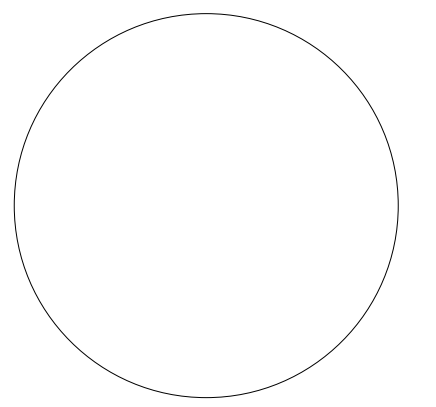
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 732.865.5460

SEAL
 JOSEPH SOLFARO



ISSUANCE SCHEDULE

DATE	DESCRIPTION
10/28/2022	DRAFT PERMIT SET
11/15/22	ZONING SET



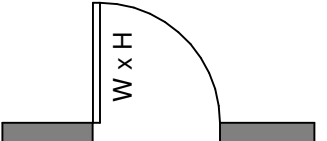
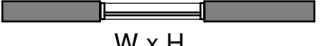
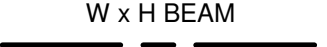

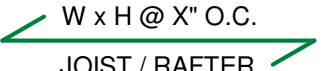


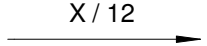

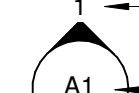

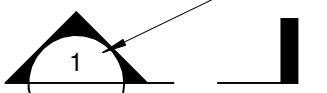

LOCUST RESIDENCE

17 LOCUST ST, HIGHLANDS, NJ

COVER PAGE

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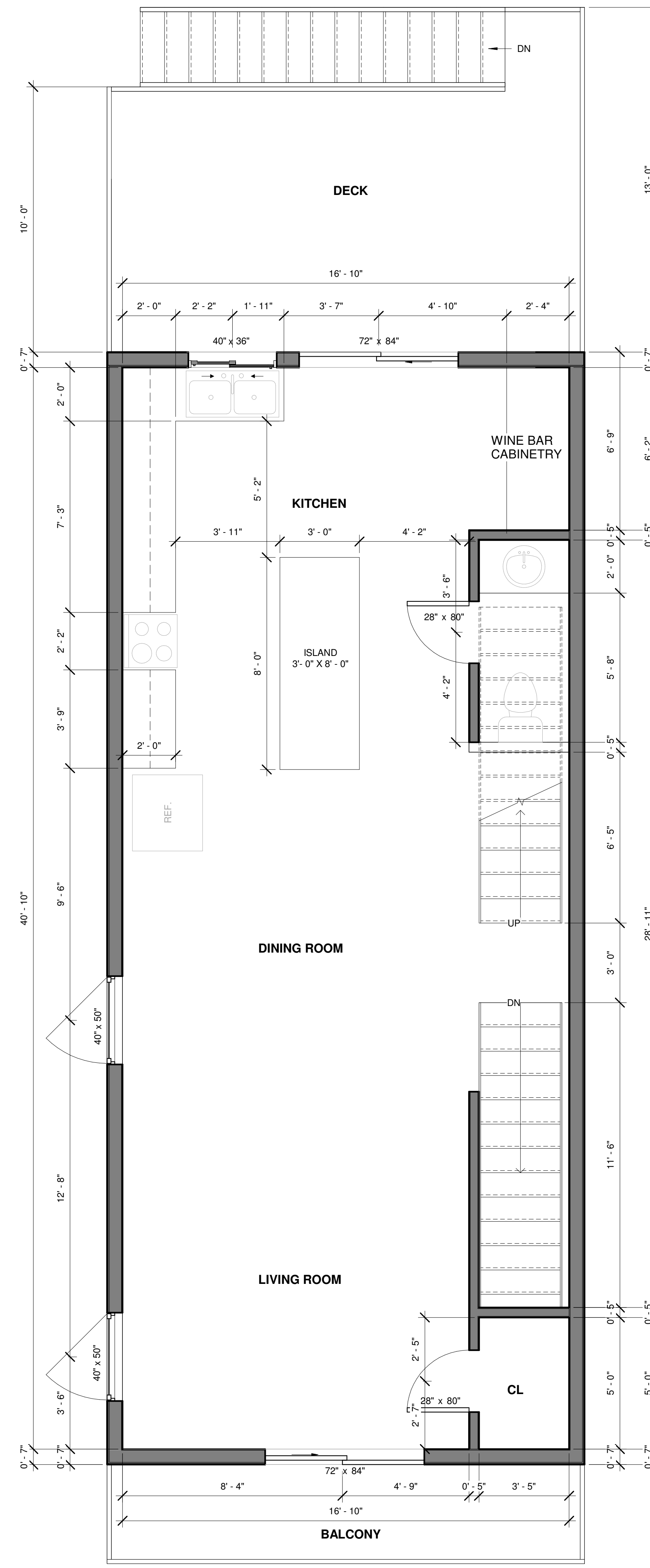
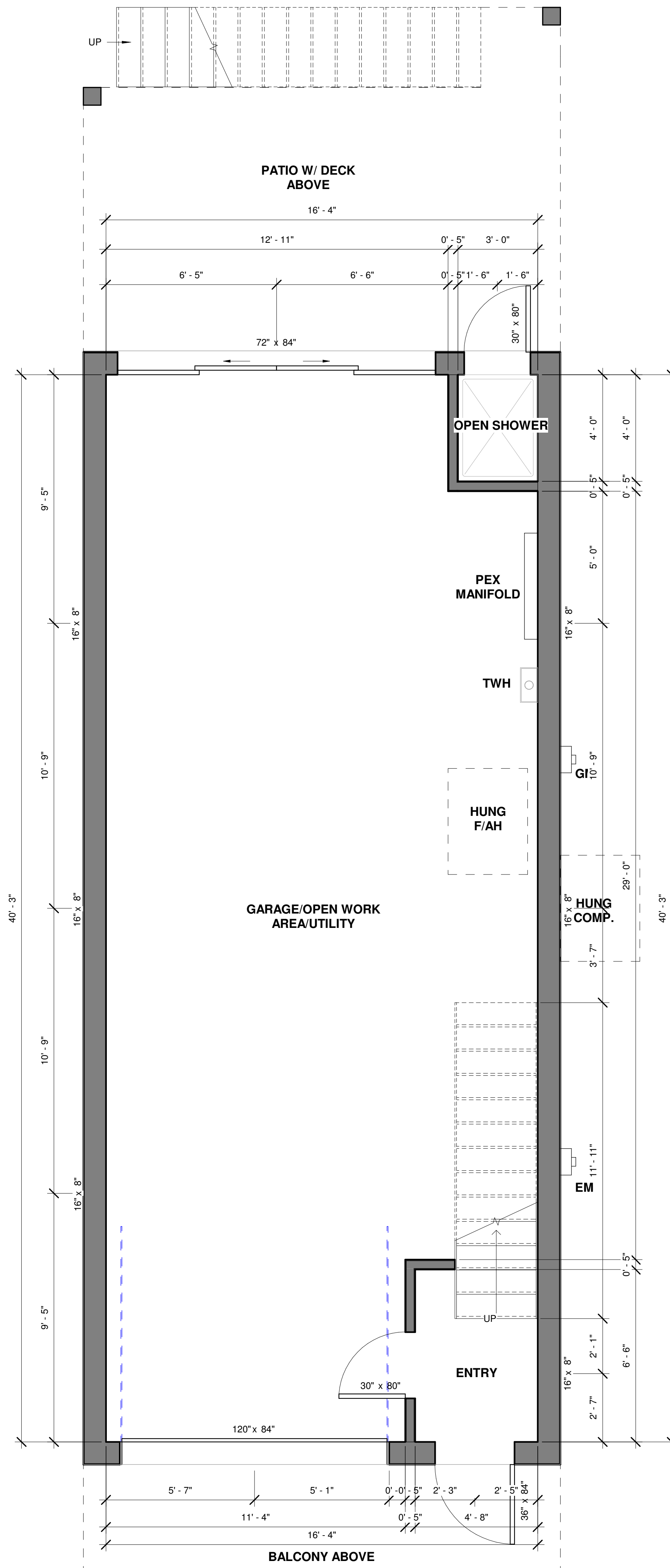
CONSTRUCTION LEGEND

-  EXISTING WALL
-  NEW WALL, TYPICAL:
 EXTERIOR: (EXTERIOR TO INTERIOR)
 - NEW SIDING TO MATCH EXISTING
 - VAPOR BARRIER, 'TYVEK' OR EQ.
 - 1/2" MIN. EXTERIOR GRADE SHEATHING
 - 2" x 6" WOOD STUDS @ 16" O.C.
 - R-19 BATT INSULATION
 - 1/2" GYPSUM WALL BOARD
 INTERIOR: (UNLESS OTHERWISE NOTED)
 - 1/2" GYPSUM WALL BOARD
 - 2" x 4" WOOD STUDS @ 16" O.C.
 - 1/2" GYPSUM WALL BOARD
-  **NEW DOOR & FRAME**
(FINAL SIZE TO BE COORD. W/ FINAL PRODUCT SELECTION)
-  **NEW WINDOW**
(FINAL SIZE TO BE COORD. W/ FINAL PRODUCT SELECTION)
-  **NEW BEAM - SEE PLANS FOR SIZE**
-  NEW 4" x 4" POSTS MIN. AT ALL MICROLLAM, PARALLAM HEADERS, GIRDERS, ETC. UNLESS OTHERWISE NOTED. EXTEND DOWN TO SOLID BEARING, (TYP)
-  **FRAMING SIZE, SPACING AND SPAN DIRECTION**
-  DIMENSIONS
-  MATERIAL TRANSITION
-  SLOPE
-  LINE OF HIDDEN OR OVERHEAD ITEM ABOVE
-  ELEVATION DRAWING #
-  SHEET #
-  SECTION DRAWING #
-  SHEET #

FLOOD VENT CALCULATION

GROUND FLOOR

- GROUND FLOOR AREA= 756 SQ. FT.
- VENT AREA= 128 SQ. IN.
- TOTAL VENTS NEEDED: 6**



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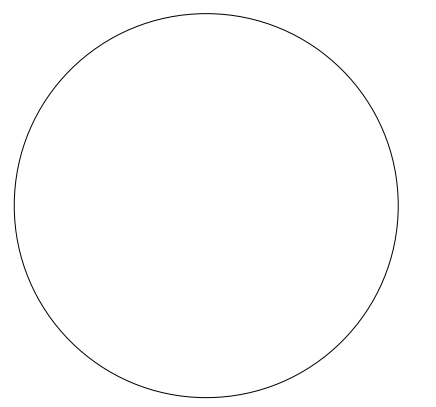
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ISSUANCE SCHEDULE

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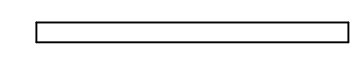

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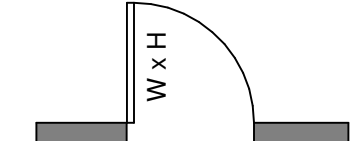

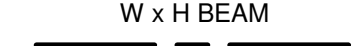

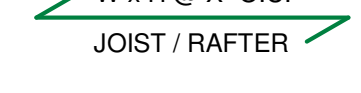

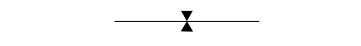
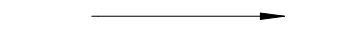
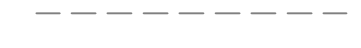
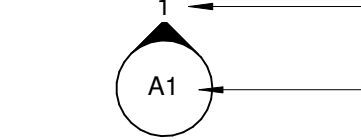
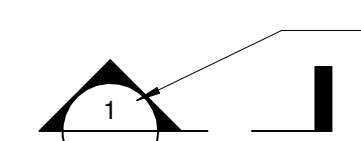

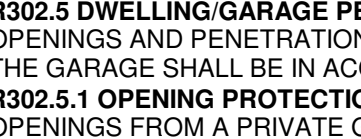
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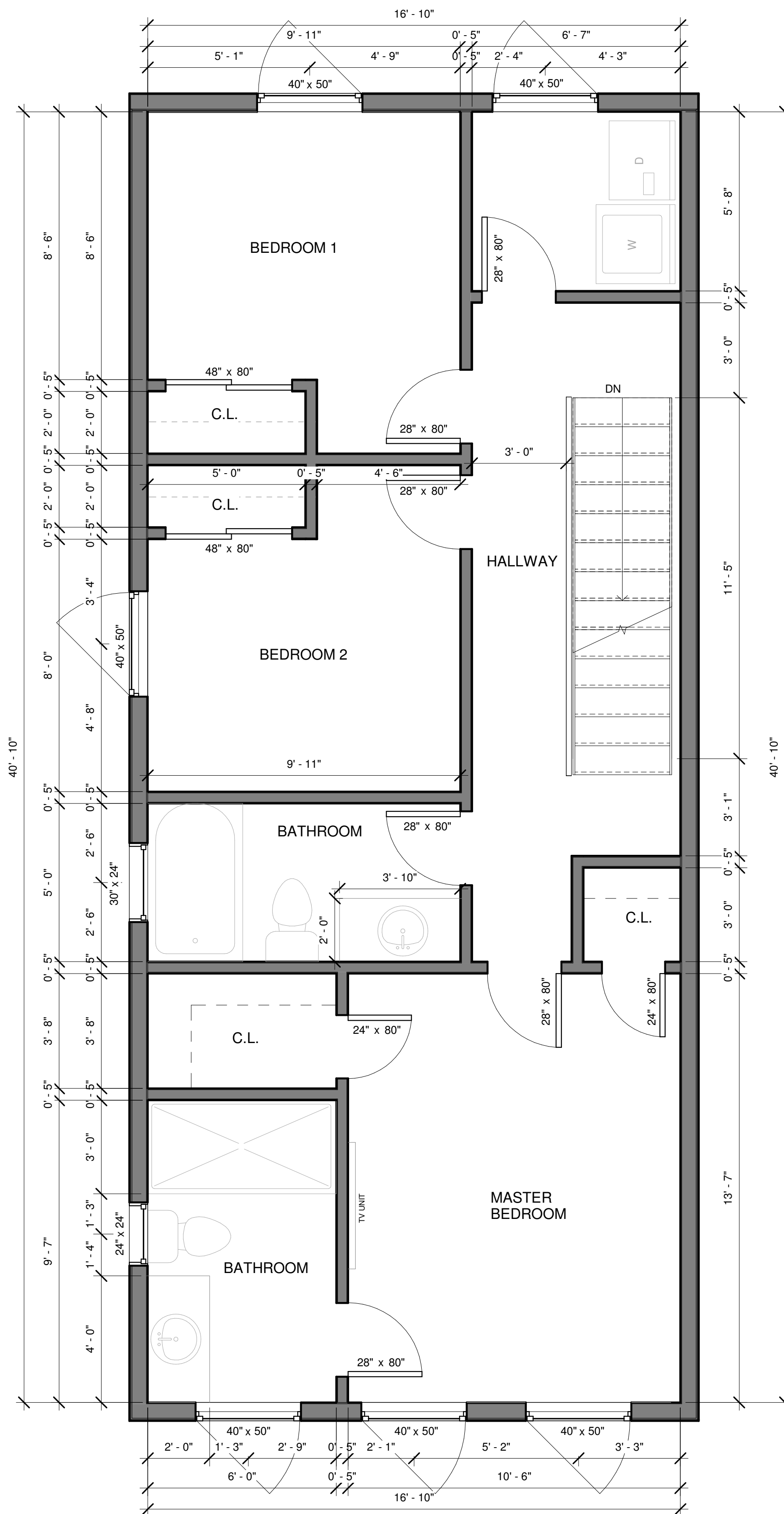
GROUND AND FIRST
FLOOR CONSTRUCTION
PLANS

A-1.0

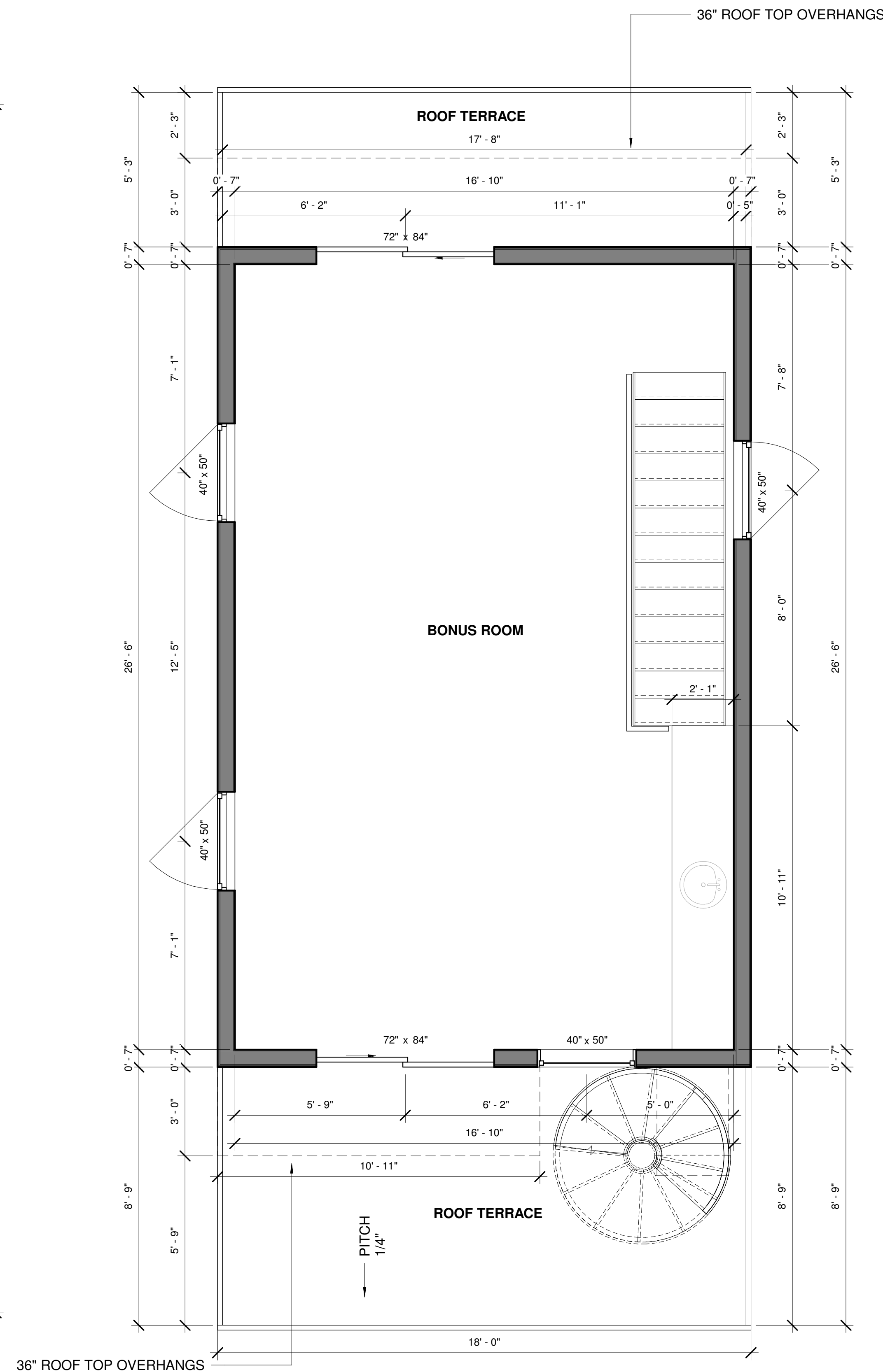
CONSTRUCTION LEGEND

-  EXISTING WALL
-  NEW WALL, TYPICAL:
EXTERIOR: (EXTERIOR TO INTERIOR)
 - NEW SIDING TO MATCH EXISTING
 - VAPOR BARRIER, 'TYVEK' OR EQ.
 - 1/2" MIN. EXTERIOR GRADE SHEATHING
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-  **SLOPE**
-  LINE OF HIDDEN OR OVERHEAD ITEM ABOVE
-  ELEVATION DRAWING #
-  SHEET #
-  SECTION DRAWING #
-  SHEET #



1 SECOND FLOOR CONSTRUCTION PLAN
3/8" = 1'-0"



2 ATTIC CONSTRUCTION PLAN
3/8" = 1'-0"

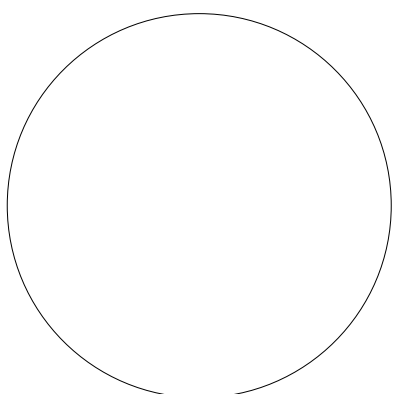
FIRE-RESISTANT CONSTRUCTION
R302.5 DWELLING/GARAGE PENETRATION PROTECTION
 OPENINGS AND PENETRATIONS THROUGH THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE IN ACCORDANCE WITH SECTIONS R302.5.1 THROUGH R302.5.3.
R302.5.1 OPENING PROTECTION
 OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8 INCHES (35MM) IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" (35MM) THICK, OR 20-MINUTE FIRE-RATED DOORS.
R302.5.2 DUCT PENETRATION
 DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO.26 GAUGE (0.48MM) SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
R302.5.3 OTHER PENETRATIONS
 PENETRATIONS THROUGH THE SEPARATION REQUIRED IN SECTION R309.2 (CARPORTS) SHALL BE PROTECTED AS REQUIRED BY SECTION R302.11, ITEM 4.
R302.6 DWELLING/GARAGE FIRE SEPARATION
 THE GARAGE SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENING IN GARAGE WALLS SHALL COMPLY WITH SECTION R302.5. THIS PROVISION DOES NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL.

- INSULATION**
1. INSULATION SHALL BE 3" FIBERGLASS WITH CRAFT PAPER VAPOR BARRIER, R-13.
 2. STUFF ALL WINDOW AND DOOR CREVICES WITH LOOSE FIBERGLASS
 3. INSULATION AT ALL EXTERIOR WALLS WHERE NO GYPSUM BOARD COVERING IS BEING INSTALLED MUST BE CAVITY FIRE RATED INSULATION.
 4. INSULATION PAPER SHALL BE INSTALLED TO ALLOW FOR PAPER TO CONTACT BACK OF GYPSUM BOARD.
 5. INSTALL INSULATION AT EXTERIOR ALL OVERHANGS, CRAWL SPACES AND ROOF. R-30.
 6. DAMPPROOFING: ASPHALT ASTM D 449, TYPE T COLD APPLICATION. TO BE APPLIED TO ALL EXTERIOR BELOW GRADE SURFACES.
 7. ENCLOSED ATTIC SPACES AND ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATED SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN. THE NET FREE VENTILATING OPENINGS SHALL NOT BE LESS THAN 1/3 OF ONE PERCENT OF THE HORIZONTALLY PROJECTED ROOF AREA, OR 1/3 OF ONE PERCENT IF AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OF CORNICE VENTS.

JoSo Studio

ARCHITECT: JOSEPH SOLFARO
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SEAL
 JOSEPH SOLFARO



ISSUANCE SCHEDULE

DATE	DESCRIPTION
10/26/2022	UPDATED DESIGN DRAWINGS
11/15/22	ZONING SET



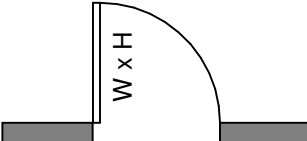
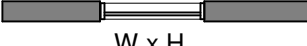


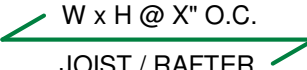
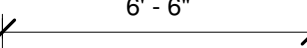

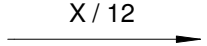

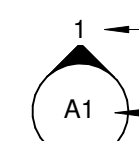
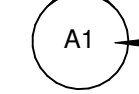
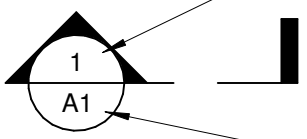
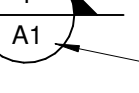
LOCUST RESIDENCE

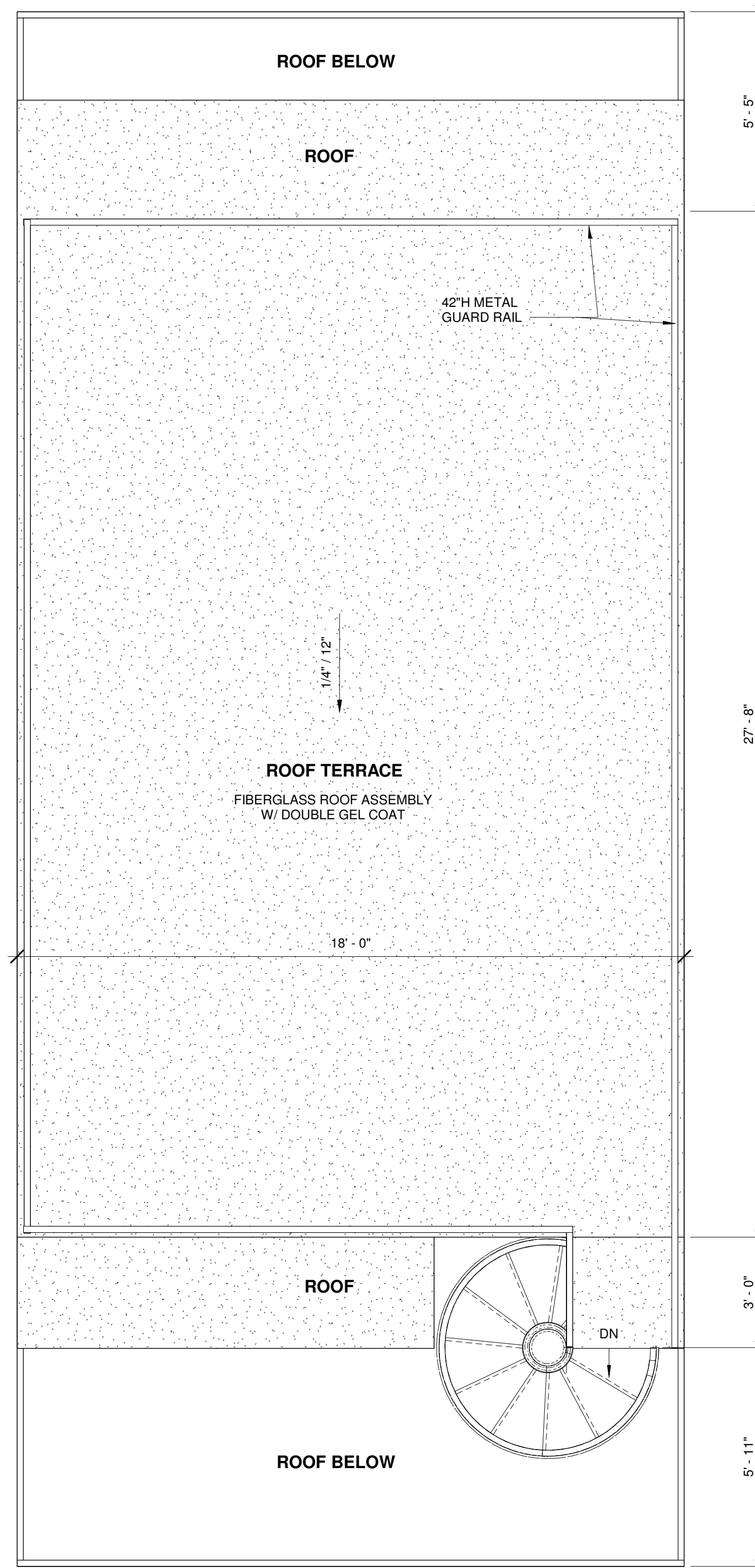
17 LOCUST ST, HIGHLANDS, NJ

SECOND AND ATTIC
 FLOOR CONSTRUCTION
 PLANS

A-1.1

CONSTRUCTION LEGEND

-  EXISTING WALL
-  NEW WALL, TYPICAL:
 - EXTERIOR:** (EXTERIOR TO INTERIOR)
 - NEW SIDING TO MATCH EXISTING
 - VAPOR BARRIER, 'TYVEK' OR EQ.
 - 1/2" MIN. EXTERIOR GRADE SHEATHING
 - 2" x 6" WOOD STUDS @ 16" O.C.
 - R-19 BATT INSULATION
 - 1/2" GYPSUM WALL BOARD
 - INTERIOR:** (UNLESS OTHERWISE NOTED)
 - 1/2" GYPSUM WALL BOARD
 - 2" x 4" WOOD STUDS @ 16" O.C.
 - 1/2" GYPSUM WALL BOARD
-  **NEW DOOR & FRAME**
(FINAL SIZE TO BE COORD. W/ FINAL PRODUCT SELECTION)
-  **NEW WINDOW**
(FINAL SIZE TO BE COORD. W/ FINAL PRODUCT SELECTION)
-  **NEW BEAM - SEE PLANS FOR SIZE**
-  NEW 4" x 4" POSTS MIN. AT ALL MICROLLAM, PARALLAM HEADERS, GIRDERS, ETC. UNLESS OTHERWISE NOTED. EXTEND DOWN TO SOLID BEARING, (TYP)
-  **FRAMING SIZE, SPACING AND SPAN DIRECTION**
W x H @ X" O.C. JOIST / RAFTER
-  DIMENSIONS
-  MATERIAL TRANSITION
-  SLOPE
-  LINE OF HIDDEN OR OVERHEAD ITEM ABOVE
-  ELEVATION DRAWING #
-  SHEET #
-  SECTION DRAWING #
-  SHEET #



1 ROOF TERRACE CONSTRUCTION PLAN
3/8" = 1'-0"

JoSo Studio

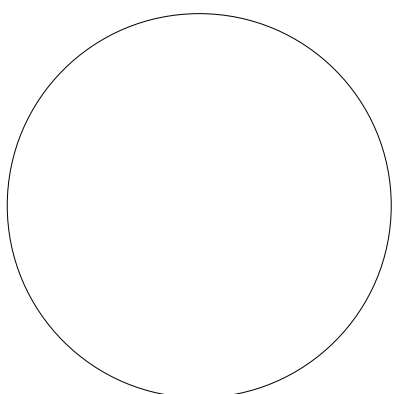
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ISSUANCE SCHEDULE

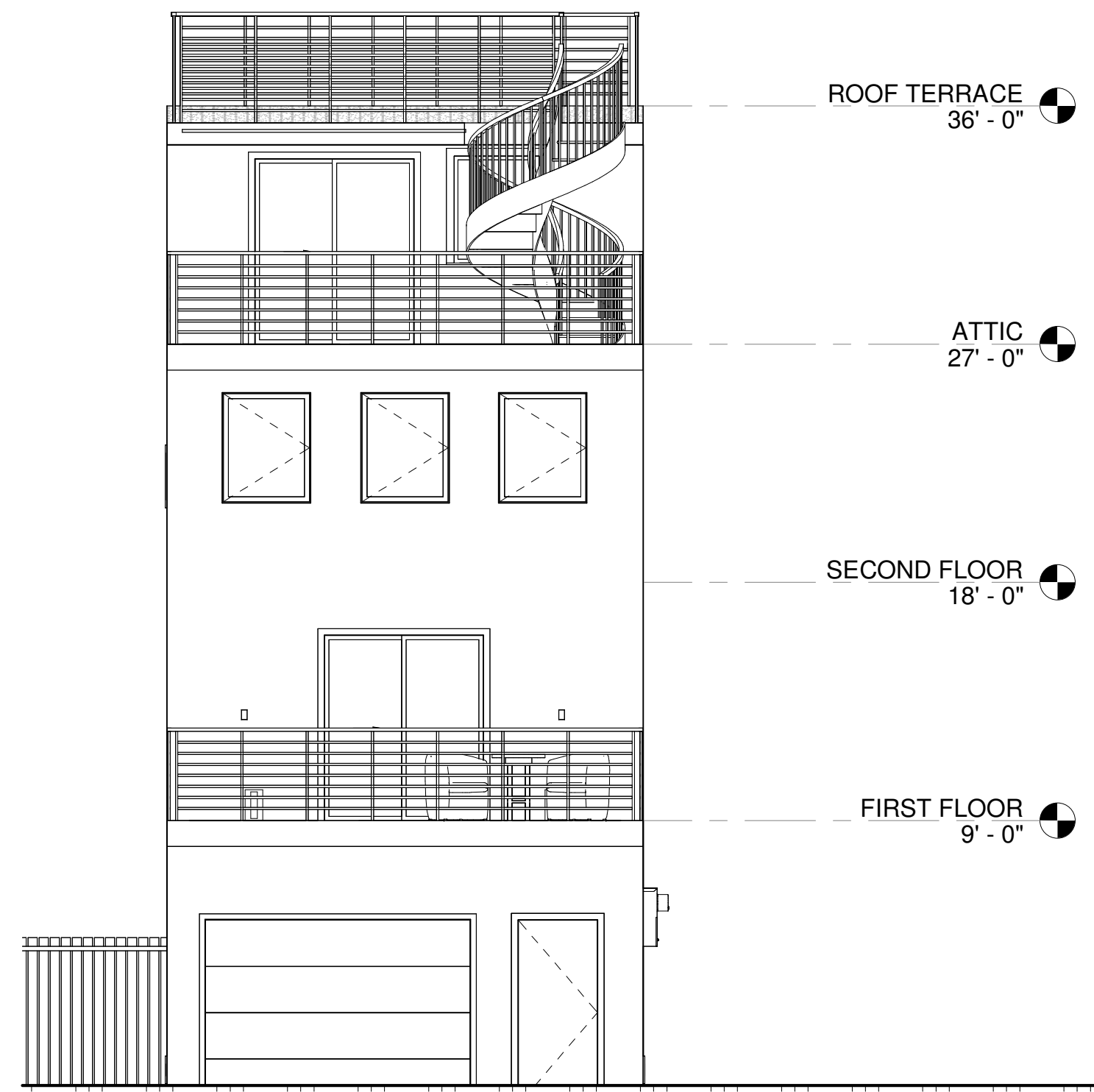
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10/26/2022	UPDATED DESIGN DRAWINGS
11/15/22	ZONING SET

LOCUST RESIDENCE

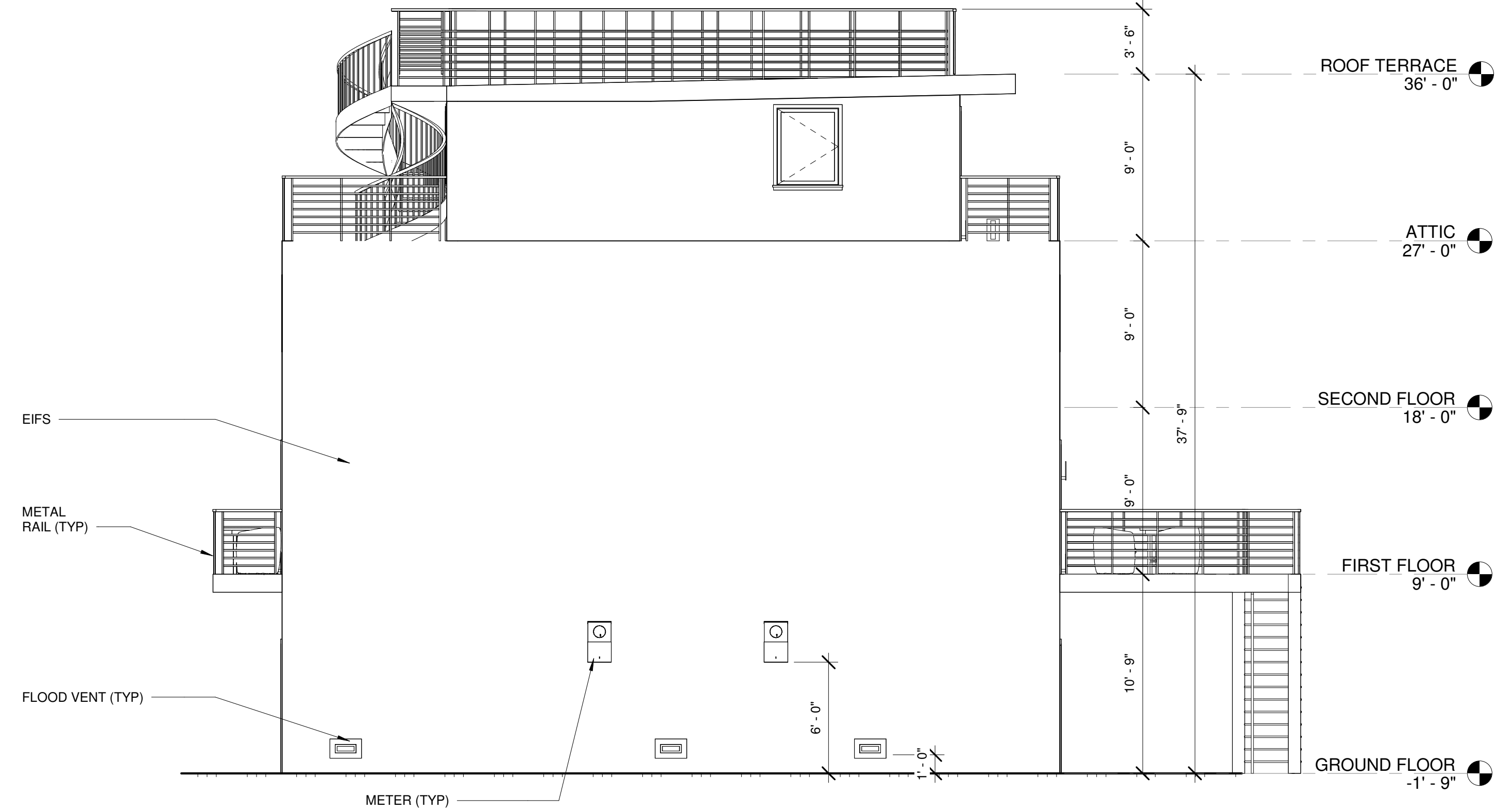
17 LOCUST ST, HIGHLANDS, NJ

ROOF TERRACE CONSTRUCTION PLAN

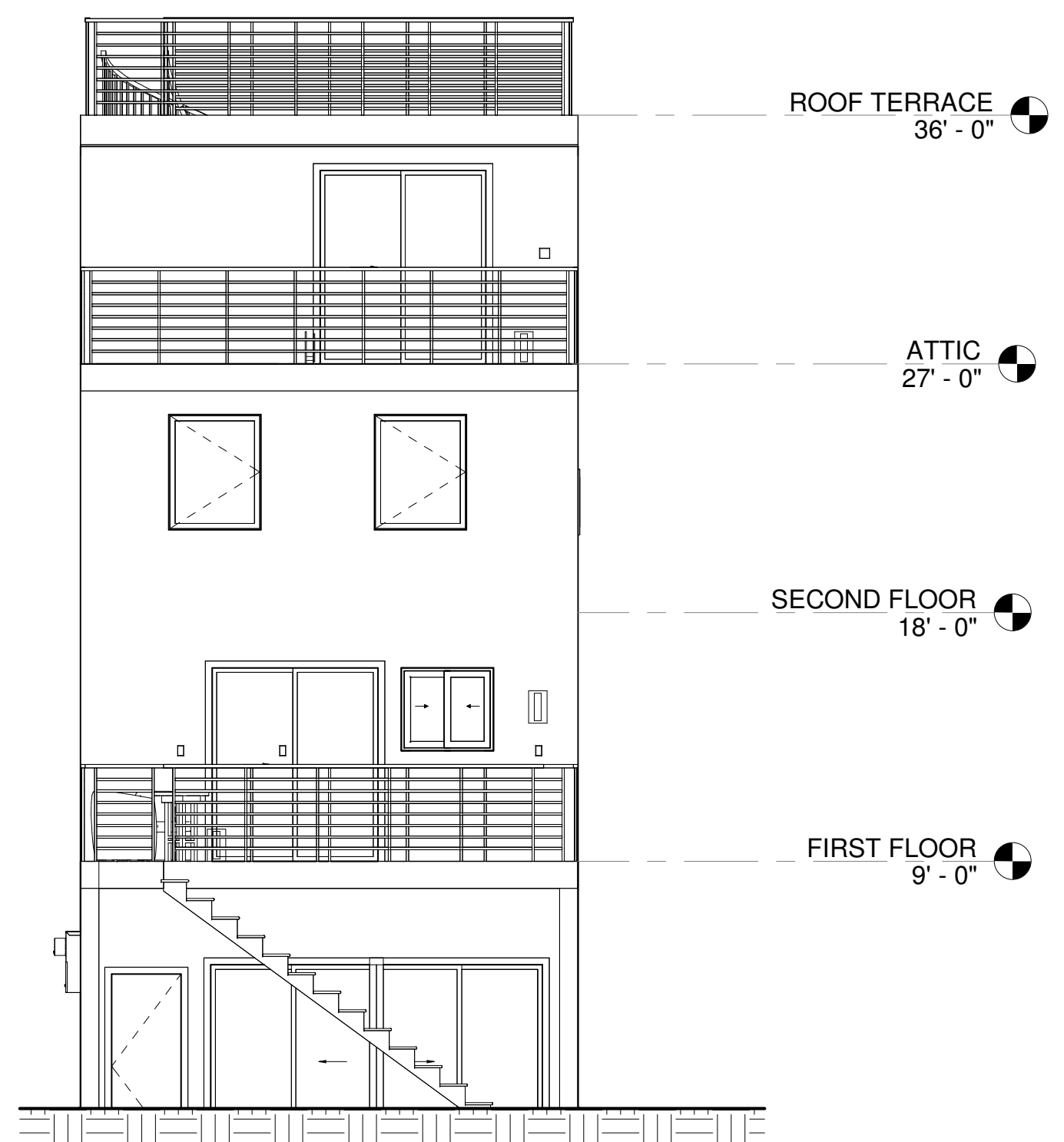
A-1.2



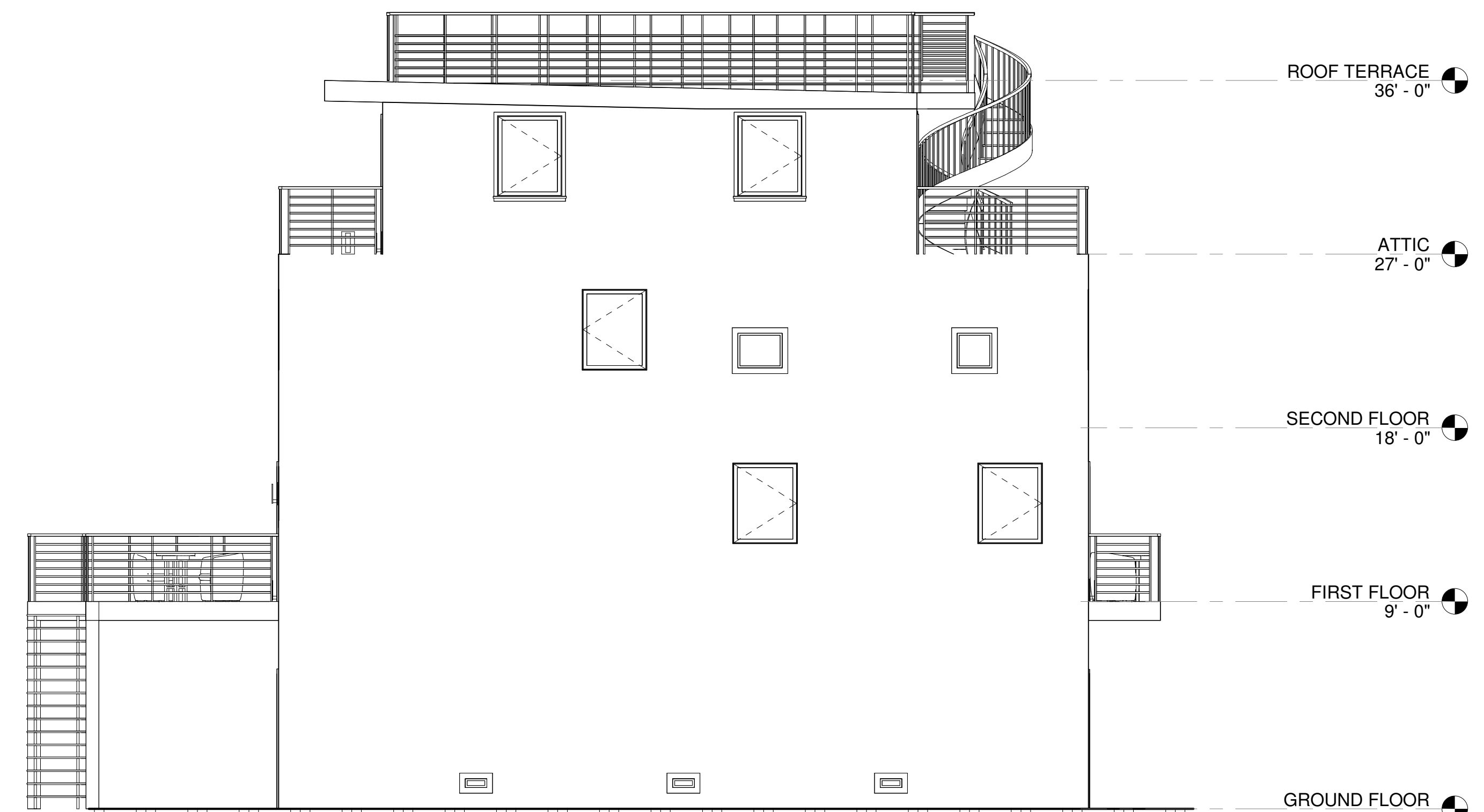
3 SOUTH
3/16" = 1'-0"



1 EAST
3/16" = 1'-0"



4 NORTH
3/16" = 1'-0"



2 WEST
3/16" = 1'-0"

JoSo Studio

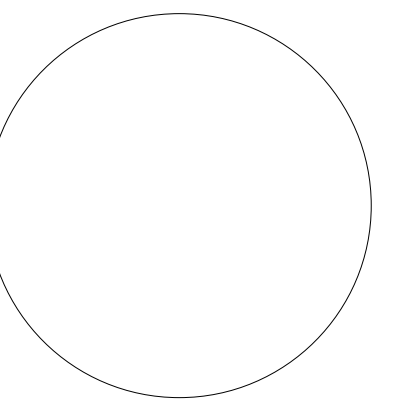
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ISSUANCE SCHEDULE

DATE	DESCRIPTION
10/28/2022	DRAFT PERMIT SET
11/15/22	ZONING SET

LOCUST RESIDENCE

17 LOCUST ST, HIGHLANDS, NJ

ELEVATIONS

A-2.0



HGPB- R2020

October 25, 2023

Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board
42 Shore Drive
Highlands, New Jersey 07732

Via Email (ntran@highlandsborough.org)

**Re: Catcherman, LLC
17 Locust Street
Block 101, Lot 27.04
Single Family Residential (R-1.03) Zone
Second Completeness Review**

Dear Ms. Tran:

As requested, we have reviewed the above-referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations section entitled Part 3, Subdivision and Site Plan Review, Article VI, Application Procedure, and Article VIII, Plat and Plan Details, section 21-58D – Minor Site Plan.

The applicant submitted the following documents in support of this application:

1. Land Use Board Application, dated March 28, 2023.
2. Plot and Grading Plan, 17 Locust Street, Lot 27, Block 101, prepared by Sean M. Savage, P.E., of Matrix New World Engineering Progress, dated November 8, 2022, **revised August 8, 2023.**
3. **Response Letter to T&M Completeness Review, prepared by Sean M. Savage, PE of Matrix New World Engineering Progress, dated August 22, 2023.**
4. **Architectural Plans for 17 Locust Street, prepared by Joseph Solfaro, RA of JoSo Studio, dated October 28, 2022, last revised November 15, 2022, consisting of five (5) sheets.**

The above information was reviewed for completeness purposes as follows:

Preliminary Site Plan (Minor): The preliminary site plan shall be drawn at a scale of not more than one hundred (100) feet to the inch and shall include such details as may be necessary to properly evaluate the application and determine compliance with this chapter. The site plan shall be drawn by a licensed New Jersey professional engineer and land surveyor and, where applicable to the proposed use or construction, the following information shall be clearly shown.

1. Date, name, location of site, name of owner, scale and reference meridian. **Provided.**
2. Area of the lot and all lot line dimensions and bearings. **Provided.**
3. The location of all existing watercourses, wooded areas, easements, rights-of-way, streets, roads, highways, rivers, buildings, structures and any other feature on the property and within seventy-five (75) feet of the property line. **Provided.**
4. Location, use and ground floor area of all existing and proposed buildings, with the building setback, side line and rear yard distance. **Provided.**



**Le: Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board**

**Re: Catcherman, LLC
17 Locust Street
Block 101, Lot 27.04
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Second Completeness Review**

5. Elevations at the corners of all proposed buildings and paved areas and at property corners if new buildings or paved areas are proposed. **Provided.**
6. The location and widths of existing and proposed streets servicing the site plan. **Provided.**
7. Specifications for and location of proposed surface paving and curbing. **Provided.**
8. Location of all structures within seventy-five (75) feet of the property. **Provided.**
9. Location of off-street parking areas, with dimensions, showing proposed parking and loading spaces, with dimensions, width of proposed access drives and aisles and traffic circulation. **Provided.**
10. Storm water management and sanitary sewer reports, including proposed storm drainage and sanitary disposal facilities; specifically, the location, type and size of all existing and proposed catch basins, storm drainage facilities, utilities plus all required design data supporting the adequacy of the existing or proposed facilities to handle future storm flows. **Not applicable.**
11. Existing and proposed contours of the property and for seventy-five (75) feet outside the property at one (1) foot intervals when new buildings or parking areas are proposed. Spot elevations for any development in a flood hazard area. **Provided.**
12. The location and treatment of proposed entrances and exits to the public rights-of-way, including the possible utilization of traffic signals, channelization, acceleration, and deceleration lanes, additional widths and any other devices necessary to traffic safety and/or convenience. **Not applicable.**
13. The location and identification of proposed open space, parks or other recreation areas. **Not applicable.**
14. The location and design of landscaping, buffer areas and screening areas showing size, species and spacing of trees and plants and treatment of unpaved areas. **Provided.**
15. The location of sidewalks, walkways, traffic islands and all other areas proposed to be devoted to pedestrian use. **Not applicable.**
16. The nature and location of public and private utilities, including maintenance and solid waste disposal, recycling and/or storage facilities. **Provided.**
17. Specific location and design of traffic control devices, signs and lighting fixtures. The Board may require of the applicant expert testimony concerning the adequacy of proposed traffic control devices, signs and lighting fixtures. **Not applicable.**
18. Preliminary architectural plans for the proposed buildings or structures indicating typical floor plans, elevations, heights and general design or architectural styling. **Provided. Please note that as the electrical & gas meters are proposed 6 feet above grade to the bottom of the meters, utility**



**Le: Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board**

**Re: Catcherman, LLC
17 Locust Street
Block 101, Lot 27.04
Single Family Residential (R-1.03) Zone
Second Completeness Review**

providers may require a platform to be installed, which may not fit in the proposed side yards and would require additional variance in the side yard. It appears there may be sufficient elevation to lower the meter below the platform requirement height and still be above the BFE. Additionally, the correct building height as defined by Borough Ordinances for dwellings in the flood zone shall be included on the Plot Plan & Architectural Plan prior to the board hearing.

- 19. The present and past status and use and contemplated use of the property and all existing buildings on the property. A cleanup plan where such is necessary because of the past or present use of the site. **Not applicable.**
- 20. A soil erosion and sediment control plan is required. Said plan shall be submitted to the Soil Conservation District and approval of the application shall be conditioned upon certification of the soil erosion and sediment control plan by the District. **Not applicable.**
- 21. Soil Borings, when required by the Board Engineer. **Not required.**
- 22. Certification statement for the required municipal signatures, stating: **Provided.**
 - o Application No. _____ approved/disapproved by the Highlands Land Use Board as a Minor Site Plan on _____.

(date)

Chairman

Secretary

- 23. Certification statement for the County Planning Board approval / disapproval, if required. **Not applicable.**
- 24. The Board may require any additional information which is reasonably necessary to ascertain compliance with the provisions of this chapter.

UPON CONFIRMATION FROM THE BOARD SECRETARY THAT THE BALANCE OF ALL APPLICATION AND ESCROW FEES HAS BEEN DULY POSTED, THE FOLLOWING SHALL OCCUR:

- 1. The application shall be deemed **COMPLETE.**
- 2. The Board Engineer shall commence the technical review.



**Le: Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board**

**Re: Catcherman, LLC
17 Locust Street
Block 101, Lot 27.04
Single Family Residential (R-1.03) Zone
Second Completeness Review**

Should you have any questions or require any additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.
LAND USE BOARD ENGINEER

EWH:GM

cc: Michael Muscillo, Borough Administrator (mmuscillo@highlandsborough.org)
Ron Cucchiaro, Esq., Land Use Board Attorney (RCucchiaro@weiner.law)
Erin Uriarte, Zoning Officer (eruriarte@middletownnj.org)
Catcherman, LLC, Applicant (rdavis704@verizon.net)



HGPB- R2020

October 30, 2023

Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board
42 Shore Drive
Highlands, New Jersey 07732

Via Email (ntran@highlandsborough.org)

**Re: Catcherman, LLC
17 Locust Street
Block 101, Lot 27.04
Single Family Residential (R-1.03) Zone
First Engineering Review**

Dear Ms. Tran:

As requested, we have reviewed the above-referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations section entitled Part 3, Subdivision and Site Plan Review, Article VI, Application Procedure, and Article VIII, Plat and Plan Details, section 21-58D – Minor Site Plan.

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4. Architectural Plans for 17 Locust Street, prepared by Joseph Solfaro, RA of JoSo Studio, dated October 28, 2022, last revised November 15, 2022, consisting of five (5) sheets.

A. Project Description

The subject property is a pre-existing non-conforming, and undersized lot located in the R-1.03 Zone. The lot is currently undeveloped. The applicant is proposing to construct an 18 ft x 42 ft (756 SF) single-family dwelling on the lot and is seeking relief for bulk variances. The dwelling is proposed to have three (3) stories and will consist of a ground floor (garage/storage only), first floor living space, second floor living space with three (3) bedrooms, and an attic which leads to roof terraces on the front and back of the property through use of a circular staircase. Attached to the first floor is a balcony and elevated deck, a patio is also proposed beneath the deck.



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 Borough of Highlands Land Use Board

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 Block 101, Lot 27.04
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B. Planning and Zoning

1. The following bulk requirement summary is provided for the Board’s reference. In accordance with Ordinance §21-86, existing/proposed bulk deficiencies which require bulk ‘c’ variances are noted as follows:

R-1.03 Zone	Required R-1.03 Zone	Existing	Proposed
Min. Lot Area (sf)	14,000	2,500	2,500 (E,V)
Min. Lot Frontage/Width (ft)	75	25	25 (E,V)
Min. Lot Depth (ft)	200	100	100 (E,V)
Min. Front Yard Setback (ft)	35 ⁽¹⁾	NA	21 ⁽¹⁾
Min. Side Yard Setback (ft)	8/12	NA	3.0/4.0 (V)
Minimum Rear Yard Setback (ft)	25	NA	37.0
Maximum Building Height (ft)	32.5 ⁽²⁾	NA	36 (V) 32.75 (V)(c)
Maximum Lot Coverage	60%	NA	52.74%
Maximum Building Coverage	25%	NA	30.24% (V)

E= Existing Condition V= Variance Required N/A= Not Applicable c=Calculated by T&M

(1) Or the average of the existing front yard setback within two hundred (200) feet in the same block and zone, but not less than the average of the setbacks of the buildings on the two (2) nearest adjacent lots and in no case, less than half the required setback per Section 21-79.B. Applicant shall document prevailing setback.

(2) Building height measured from the grade plane, which is BFE+1’, or 13’ (NAVD88) to the midline of the highest roof. Bonus credit of 2.5’ for parking underneath.

2. There is a discrepancy in the building height shown on the plot plan and the architectural plans. The applicant shall revise the plans to clarify. The correct building height as defined by Borough Ordinances for dwellings in the flood zone shall be included on the Plot Plan zoning schedule as well as the Architectural Plan. The basis of measurement should be the grade plane, defined as the Base Flood Elevation plus one foot, or elevation 13.0 in this case.
3. To be entitled to bulk variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A. 40: 55D-70c for the bulk variances:
 - a. Positive Criteria. The applicant must prove either a hardship in developing the site in conformance to the zone standards due to exceptional narrowness, shallowness, or shape of the property; or due to exceptional topographic conditions or physical features uniquely affecting the property; or due to an extraordinary and exceptional situation affecting the property or its lawful



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existing structures. Alternatively, the applicant may satisfy the positive criteria by demonstrating that the variance relief will promote a public purpose as set forth in the Municipal Land Use Law (N.J.S.A. 40:55D-2) and thereby provide improved community planning that benefits the public and the benefits of the variance substantially outweigh any detriment.

- b. Negative Criteria. The applicant must also show that the bulk variances can be granted without substantial detriment to the public good or substantially impairing the intent and purpose of the zone plan. This requires consideration of the impact of the proposed variances on surrounding properties and a determination as to whether or not the variance would cause such damage to the character of the neighborhood as to constitute a substantial detriment to the public good.
4. Pursuant to Borough Ordinance §21-98.F; *Nonconforming Lots in a Residential Zone. Any parcel of land with an area, width, or depth less than required in the zone in which such lot is located may be used as a lot for purposes permitted in the zone without a variance, provided that it meets the requirements below.*
1. *Pre-existing nonconforming vacant lots may be used for single-family residential purposes; and single-family or two-family uses on pre-existing nonconforming lots may be enlarged, if the following requirements are met:*
 - (a) *The proposed use will be a new single-family dwelling or the enlargement of an existing single-or two-family use. A single-family dwelling shall not be converted to a two-family dwelling.*
 - (b) *(Reserved)*
 - (c) *There is no available vacant land abutting the lot.*
 - (d) *The lot either provides off-street parking or the proposed enlargement includes the provision of off-street parking.*
 - (e) *The building and lot coverage will not be exceeded.*
 - (f) *For lots which do not meet the lot width requirements, the side yards may be reduced in the same proportion as the reduced width bears to the required width, but in no case shall the proposed side yards be less than one-half of the required side yards.*
 - (g) *For lots which do not meet the lot depth requirement, the front and rear yards may be reduced in the same proportion as the reduced lot depth to the required lot depth, but in no case shall the proposed front yard be less than the smallest front yard allowed under § 21-79B nor the proposed rear yard be less than eighty (80%) percent of the required rear yard for the zone.*

This Ordinance section provides an opportunity for pre-existing vacant lots that do not meet the minimum area, width, or depth requirements to get certain relief without having to go to the Land Use Board for variances, but only if all requirements enumerated in items “a” through “g” are met. In this case, the building coverage requirement is being exceeded, therefore the entirety of this section does not apply, and the applicant must therefore request various bulk standard relief as noted in the chart above.



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5. The applicant shall provide supporting information for the neighboring structures to confirm the prevailing front yard setback pursuant to Ordinance §21-79B.
6. The applicant shall confirm the dimensions of the proposed air conditioning unit platform to ensure it will be contained within the property boundaries. Pursuant to Ordinance §21-78.B.1, accessory structures of residential uses are required to have a yard setback of 3 ft from any property line. Therefore, a variance will be required if the platform is proposed in either of the side yards.

C. Additional Comments

1. As the electrical & gas meters are proposed 6 feet above grade to the bottom of the meters, utility providers may require a platform to be installed, which may not fit in the proposed side yards and would require additional variance in the side yard. It appears there may be sufficient elevation to lower the meter below the platform requirement height and still be above the BFE.
2. The applicant shall provide a breakdown table for building and lot coverage calculations.
3. The applicant shall review the proposed grading on the eastern property line. The bottom of wall elevations (exterior side of the property lines) should be consistent with existing grading along Lot 26.
4. Table 4.4 of Section 5:21-4.14 of R.S.I.S. requires two (2) off-street parking spaces for a three-bedroom single family dwelling, and Section 21-65.14.C.1 of the Ordinance requires a minimum of two (2) off-street parking spaces for a residential dwelling. The applicant shall confirm the proposed number of bedrooms for the new dwelling, as a bonus room with wet bar is proposed on the third floor attic space. The applicant provides two (2) off-street parking spaces for the dwelling.
5. The proposed structure is located within the AE-12 Flood Zone. Note, a Letter of Map Revision (LOMR) issued by FEMA in 2019 excludes this area from current mapping due to recent construction which has raised the grade in surrounding areas to the north above base flood elevation. However, Locust Street has not been raised and is still subject to flood and the requirements of the AE-12 Flood zone. The applicant shall provide testimony on proposed flood mitigation measures.
6. The project site is located in the Coastal Area Facilities Review Act (CAFRA) Zone. The applicant shall comply with any applicable NJDEP requirements and should confirm any specific restrictions and/or permitting requirements accordingly. We recommend a jurisdictional determination be provided. We defer further review to NJDEP.
7. The applicant shall indicate downspout locations on the plan.
8. Although this project is not considered a major development. The improvements increase impervious coverage by approximately 1,125 square feet. The applicant shall provide testimony on any adverse drainage impacts to the adjacent properties as a result of the proposed improvements.



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9. The applicant shall provide testimony regarding the suitability of existing utility connections and/or additional utility connections necessitated by the subject application. Proper trench restoration for all proposed utilities shall be shown on the plans, if required.
10. Section 21-65.10A of the Ordinance indicates that all areas not devoted to structures, paving, or other required uses shall be appropriately graded, landscaped and maintained in accordance with a landscaping plan approved by the Board. No landscaping has been provided as part of this application; however, the applicant has clarified that it is their intention to provide grassed areas in the rear yard and stone along the side yards. The Board should determine if a landscaping plan is required.
11. A note shall be added to the plans stating that any/all existing curb, sidewalk, roadway, and other off-site objects either in poor condition or damaged by construction should be repaired and/or replaced to the satisfaction of the Borough Engineer.
12. If approved by the Board, the applicant shall be required to obtain any and all outside agency and department approvals, including but not limited to:
 - a. Construction Department
 - b. Floodplain Official
 - c. NJDEP/CAFRA
 - d. Any other agency or department having jurisdiction.
13. The Board may require any additional information which is reasonably necessary to ascertain compliance with the provisions of this chapter.

Should you have any questions or require any additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.
LAND USE BOARD ENGINEER

cc: Michael Muscillo, Borough Administrator (mmuscillo@highlandsborough.org)
Ron Cucchiaro, Esq., Land Use Board Attorney (RCucchiaro@weiner.law)
Erin Uriarte, Zoning Officer (euriarte@middletownnj.org)
Catcherman, LLC, Applicant (rdavis704@verizon.net)