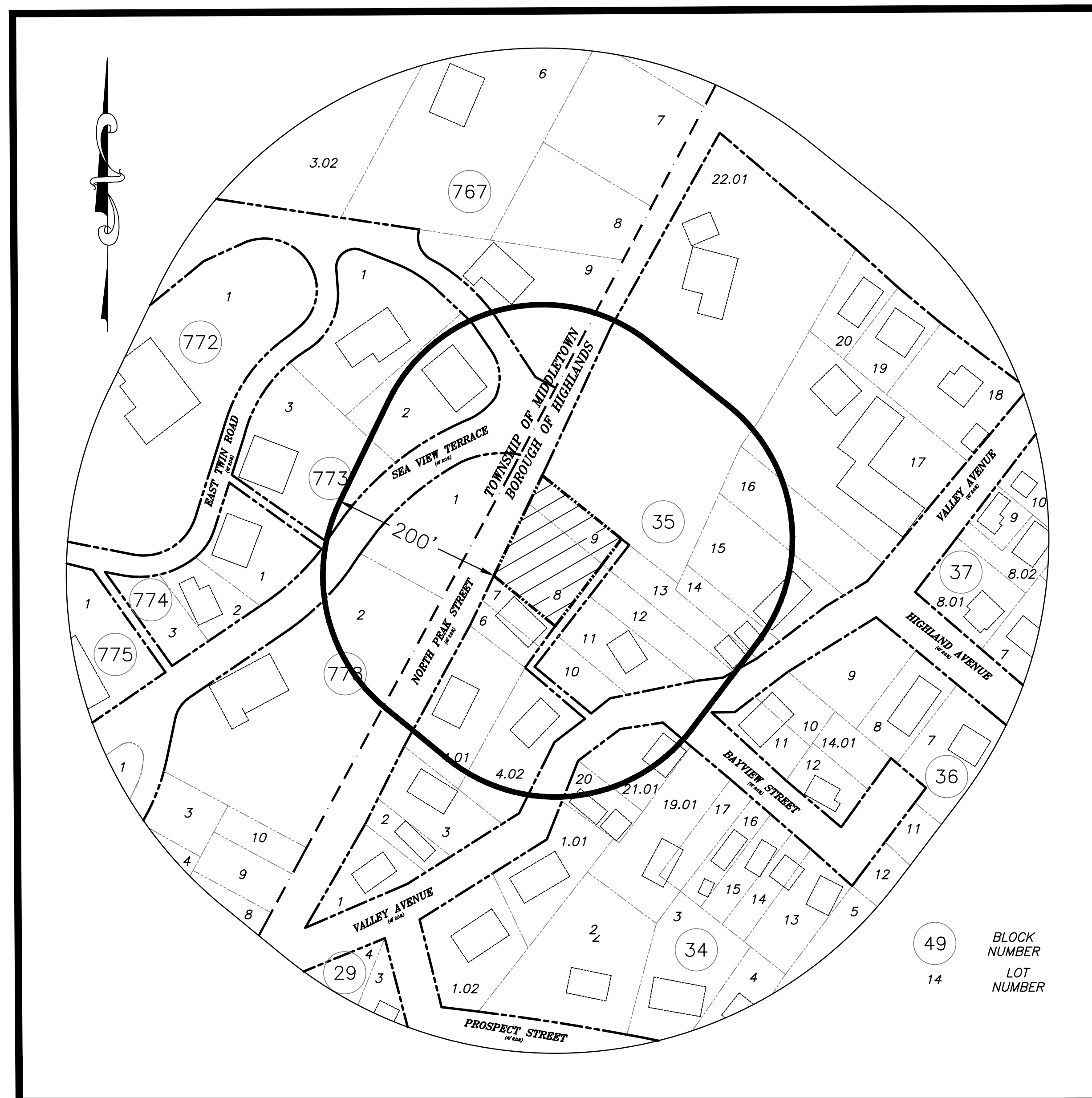


PLOT PLAN FOR 32 NORTH PEAK STREET BLOCK 35, LOTS 8 & 9 SITUATED IN BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY



KEY MAP
SCALE: 1"=100'

PROPERTY OWNERS WITHIN 200 LF

LIST OF OWNERS WITHIN 200 FEET		LIST OF OWNERS WITHIN 200 FEET (CONTINUED)			
BLOCK	LOT	PROPERTY OWNER	BLOCK	LOT	PROPERTY OWNER
758	1.01	MONMOUTH HILLS INC. ACCESS PROP MGMT 1090 KING GEORGES POST RD EDISON, NJ 08837	35	22.01	DIEBOLD RICHARD & MSCHLE 221 NAVESINK AVENUE HIGHLANDS, NJ 07732
778	1	MONMOUTH HILLS INC. ACCESS PROP MGMT 1090 KING GEORGES POST RD EDISON, NJ 08837	35	4.02	MALONE PATRICK FRANDS & PAULA ANN 110 VALLEY AVENUE HIGHLANDS, NJ 07732
35	6	ALVATOR DONNA 10 NORTH PEAK STREET HIGHLANDS, NJ 07732	35	15	AYER EDWARD W & EVELYN 92 VALLEY AVENUE HIGHLANDS, NJ 07732
35	10	DORIN JOSEPH & JOSEPH DORN LM 102 VALLEY AVENUE HIGHLANDS, NJ 07732	767	9	FARROW LEONILDA A & CEOL W PO BOX 646 NAVESINK, NJ 07752
35	12	DORIN JOSEPH & JOSEPH DORN LM 102 VALLEY AVENUE HIGHLANDS, NJ 07732	778	2	ONEIL MICHAEL & KATHY 34 SEAVIEW TERR HIGHLANDS, NJ 07732
35	8	FELICIANO JERRY 202 N BROUGHTON SQUARE BOYNTON BEACH, FL 33436	774	1	MCALVEY COLLEEN FLINN 38 E TWIN RD HIGHLANDS, NJ 07732
35	14	NEWMAN SR. RONALD & NANCY 94 VALLEY AVENUE HIGHLANDS, NJ 07732	773	2	REMAUER CRAIG 32 SEAVIEW TERR HIGHLANDS, NJ 07732
34	20	109 VVALLEY AVE LLC 13 JAROD LANE LITTLE EGG HARBOR, NJ 08087	773	3	GLASS KEITH 37 E TWIN RD HIGHLANDS, NJ 07750
35	7	ALVATOR DONNA 10 NORTH PEAK STREET HIGHLANDS, NJ 07732	35	16	FENDICK KERRY & VALENCIA ENRIQUE 78 VALLEY AVE HIGHLANDS, NJ 07732
34	1.01	LEMEDA JERRY & NADIYA 111 VALLEY AVE HIGHLANDS, NJ 07732	35	17	VALLEY AVENUE MANAGEMENT LLC 82 VALLEY AVENUE HIGHLANDS, NJ 07732
34	21.01	WAGNER PETER 101 VALLEY AVENUE HIGHLANDS, NJ 07732	35	4.01	JOHNSON EDWARD W 2 NORTH PEAK STREET HIGHLANDS, NJ
35	11	DORIN JOSEPH & JOSEPH DORN 102 VALLEY AVENUE HIGHLANDS, NJ 07732	773	1	PHAIR ARTHUR H & KUCSELMANN 36 E TWIN ROAD HIGHLANDS, NJ 07732
35	9	HOME & LAND DEVELOPMENT CORP 88-1 PORTLAND ROAD HIGHLANDS, NJ 07732	767	6	
36	11	BRANN GARY & PAMELA 97 VALLEY AVE HIGHLANDS, NJ 07732	61	10	
35	13	SERGHIS DEMETRIOS 96 VALLEY AVENUE HIGHLANDS, NJ 07732	61	12.01	

INDEX OF UTILITIES

UTILITY AND GOVERNMENTAL AGENCY TO BE NOTIFIED

- JCP&L
300 MADISON AVENUE
PO BOX 1911
MORRISTOWN, NJ 07960
- NEW JERSEY AMERICAN WATER COMPANY
ATTN: CONSTRUCTION DEPARTMENT
661 SHREWSBURY AVE
SHREWSBURY, NJ 07702
- COMCAST COMMUNICATIONS OF MONMOUTH COUNTY
RON BERTRAND, CONSTRUCTION FOREMAN
403 SOUTH ST
EATONTOWN, NJ 07724
- VERIZON COMMUNICATIONS
ONE VERIZON WAY
BASKING RIDGE, NJ 07920
- TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY
RAYMOND J. NERSTEDT, P.E., EXECUTIVE DIRECTOR
PO BOX 205, 100 BEVERLY WAY
BELFORD, NJ 07718
- NJ NATURAL GAS COMPANY
PO BOX 1484, 1415 WYCKOFF ROAD
WALL, NJ 07719
- MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY
ATTN: EXECUTIVE DIRECTOR
PO BOX 184, 200 HARBOR WAY
BELFORD, NJ 07718

SURVEY/SUBDIVISION REFERENCES:

1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN ENTITLED "MINOR SUBDIVISION OF LOTS 8 & 9 - BLOCK 35, 32 & 14 NORTH PEAK STREET, BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY THOMAS P. SANTRY, P.A., SIGNED THOMAS P. SANTRY, JR., P.L.S., LICENSE NO. 246S3540000, DATED 07-29-2022, REVISED THROUGH 11-30-2023.
2. ADDITIONAL INFORMATION TAKEN FROM A SURVEY ENTITLED "SURVEY OF LOTS 8 & 9 - BLOCK 35, 32 & 14 NORTH PEAK STREET, BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY THOMAS P. SANTRY, P.A., ENGINEERS AND SURVEYORS, DATED 07-08-2022.

SUBDIVISION NOTES:

1. TOPOGRAPHY AND GRADING OBTAINED FROM A CERTAIN MAP ENTITLED "GRADING PLAN FOR HOME & LAND DEVELOPMENT CORP. BLOCK 35 LOT 9" SAID MAP WAS DRAWN BY EASTERN CIVIL ENGINEERING, LLC ON 2/10/22. PROJECT NO. 2101980
2. SILT FENCE SHALL BE PLACED AROUND THE PERIMETER OF THE LIMITS OF DISTURBANCE AND REMAIN UNTIL SOIL IS STABILIZED
3. APPLICANT TO REPAIR ANY DAMAGED CURB OR PAVEMENT AS PART OF CONSTRUCTION
4. ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988
5. VARIANCE REQUESTED STEEP SLOPES ANALYSIS
6. NO WETLANDS EXIST ON THIS PROPERTY (SUBDIVISION SHEET 1 OF 3)

ZONE REQUIREMENTS

R-1.01 ZONE	BULK ZONE REQUIREMENTS	EXISTING LOTS 8 & 9	PROPOSED LOT 8	PROPOSED LOT 9
SINGLE-FAMILY RESIDENTIAL				
MINIMUM LOT SIZE (SF)	5,000 S.F.	13,423 S.F.	7,775.37 S.F.	5,658.99 S.F.
MINIMUM LOT FRONTAGE/WIDTH (FT)	50 FT.	130.26/127.62	79.23 FT.	50.93 FT.
MINIMUM LOT DEPTH (FT)	100 FT.	105.26	108.08 FT.	118.28 FT.
MINIMUM FRONT SETBACK (FT)	35 FT.	60.6 FT.	35.3 FT.	*31.9 FT.
MINIMUM SIDE SETBACK (FT)	8/12 FT.	**4.7/92.2 FT.	8.3/12 FT.	8.2/12 FT.
MINIMUM REAR SETBACK (FT)	25 FT.	**8.6 FT.	25 FT.	25 FT.
MAXIMUM BUILDING HEIGHT (FT)	30 FT.	-	<30 FT.	<30 FT.
MAXIMUM LOT COVER (%)	70%	±41.9%	39.0%	34.2%
MAXIMUM BUILDING COVERAGE (%)	30%	±8.0%	26.1%	22.5%
*** MAXIMUM LOT COVERAGE (%)	33.4%, 45.8%	**±41.9%	*39.0%	34.2%
*** MAXIMUM IMPERVIOUS COVERAGE (%)	15.8%, 21.2%	**±41.9%	*39.0%	*34.2%

- * VARIANCE REQUIRED
- ** EXISTING NONCONFORMING CONDITION
- *** PER STEEP SLOPES ORDINANCE AND CALCULATIONS

SURVEY NOTES:

1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN ENTITLED "PRELIMINARY GRADING WORKSHEET FOR HOME & LAND DEVELOPMENT CORP. BLOCK 35 LOTS 8 AND 9, TAX MAP SHEET NO. 10, HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY EASTERN CIVIL ENGINEERING, LLC, SIGNED ANDREW R. STOCKTON, P.E., N.J.P.L.S., LICENSE NO. 35405, DATED 12-02-2021.
2. ELEVATIONS ARE BASED ON NAVD88 DATUM.

INDEX OF SHEETS

SHEET No.	TITLE
1	COVER SHEET
2	PLOT PLAN
3	UTILITY PLAN
4	SLOPE ANALYSIS PLAN
5	CUT/FILL CROSS SECTIONS AND CALCULATIONS
6	SOIL EROSION AND SEDIMENT CONTROL PLAN
7	SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS
8	CONSTRUCTION DETAILS - 1

WATER REQUIREMENTS

WATER FLOW CALCULATIONS:

EXISTING:	1 ONE-BEDROOM UNIT @ 95 GALLONS PER DAY	120 GALLONS PER DAY
TOTAL EXISTING FLOW		120 GALLONS PER DAY
PROPOSED:	1 THREE-BEDROOM UNIT @ 225 GALLONS PER DAY	225 GALLONS PER DAY
1 FOUR-BEDROOM UNIT @ 395 GALLONS PER DAY		395 GALLONS PER DAY
TOTAL PROPOSED FLOW		620 GALLONS PER DAY
FLOW CHANGE = INCREASE		500 GALLONS PER DAY

SEWER REQUIREMENTS

SEWER FLOW CALCULATIONS:

EXISTING:	1 ONE-BEDROOM UNITS @ 150 GALLONS PER DAY	150 GALLONS PER DAY
TOTAL EXISTING FLOW		150 GALLONS PER DAY
PROPOSED:	1 THREE-BEDROOM UNIT @ 300 GALLONS PER DAY	300 GALLONS PER DAY
1 FOUR-BEDROOM UNIT @ 300 GALLONS PER DAY		300 GALLONS PER DAY
TOTAL PROPOSED FLOW		600 GALLONS PER DAY
FLOW CHANGE = INCREASE		450 GALLONS PER DAY

COVER SHEET

**32 NORTH PEAK STREET
BLOCK 35, LOTS 8 & 9**

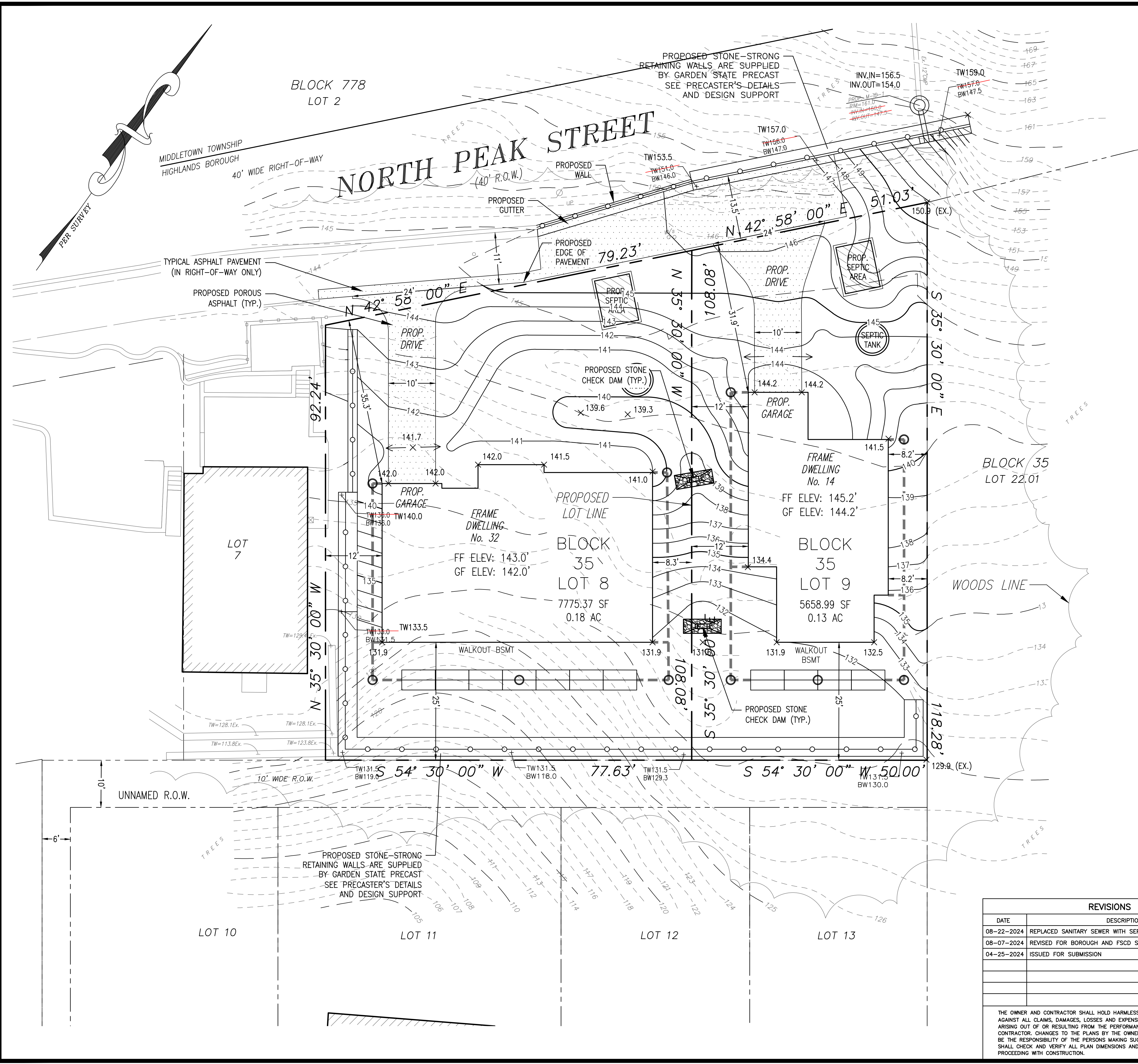
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ENGINEERS • PLANNERS • SURVEYORS
Certificate of Authorization No. 246A27918300
77 BRANT AVENUE - SUITE 105
CLARK, NEW JERSEY 07066
908-272-8901 (F) 908-272-8902

FRANK W. FARRELL PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 0E51556

REVISIONS	
DATE	DESCRIPTION
08-22-2024	REPLACED SANITARY SEWER WITH SEPTIC SYSTEM
08-07-2024	REVISED FOR BOROUGH AND FSCD SUBMISSION
04-25-2024	ISSUED FOR SUBMISSION

THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ENGINEER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR. CHANGES TO THE PLANS BY THE OWNER AND THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. THE CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.



GENERAL NOTES

1. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE REPRESENTED HEREON AND/OR IF IN THE OPINION OF THE CONTRACTOR SUCH CONDITIONS SHOULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
2. THE CONTRACTOR IS TO CONTACT THE "CALL BEFORE YOU DIG" TOLL FREE NUMBER AT 1-800-272-1000 THREE (3) BUSINESS DAYS BUT NO MORE THAN TEN (10) BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY DAMAGE CAUSED OR DISCOVERED DURING CONSTRUCTION TO THE APPROPRIATE UTILITY AGENCY.
3. ALL UTILITIES WILL BE INSTALLED UNDERGROUND.
4. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
 - A. CURRENT PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - B. CURRENT PREVAILING UTILITY COMPANY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - C. STATE OF NEW JERSEY B.O.C.A. CODE AND BARRIER-FREE DESIGN REGULATIONS AS CURRENTLY AMENDED. BARRIER-FREE FACILITIES, INCLUDING PARKING SPACES AND RAMPS, SHALL BE PROVIDED AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT OF 1991.
 - D. DO NOT SCALE DRAWINGS ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
5. THIS IS A SITE PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON IS NOT A SURVEY.
6. THIS SET OF PLANS HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL AND SHALL NOT BE UTILIZED AS A CONSTRUCTION DOCUMENT UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION".
7. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL FIELD VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS MAY BE REQUIRED TO AVOID CONFLICTS.
8. DISTURBED AREAS TO BE RESTORED TO SATISFACTION OF THE CITY ENGINEER.
9. ALL CONSTRUCTION MATERIALS AND MISCELLANEOUS DEBRIS SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
10. BEFORE CONSTRUCTION, TEST PITS WILL BE DONE TO ASCERTAIN THE LEVEL OF THE EXISTING WATER TABLE. TEST RESULTS SHALL BE SUBMITTED TO THE CITY ENGINEER.
11. AT THE TIME OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE EXISTING GAS, WATER, AND SANITARY MAINS, AND PROVIDE THE CITY ENGINEER WITH THE LOCATIONS, SIZES AND PIPE MATERIAL FOR SAME.
12. ALL EXISTING SERVICES SHALL BE CAPPED AND ABANDONED IN ACCORDANCE WITH APPLICABLE STANDARDS. REUSE OF EXISTING CONNECTIONS WILL NOT BE ACCEPTED.

PARKING REQUIREMENTS

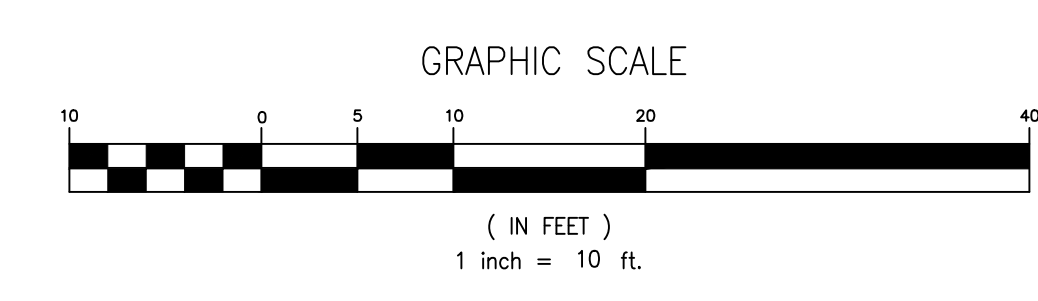
PARKING REQUIREMENTS FOR THE PROPOSED DEVELOPMENT ARE BASED ON NEW JERSEY ADMINISTRATIVE CODE FOR "RESIDENTIAL SITE IMPROVEMENT STANDARDS" (RSS) TABLE 4.4 "FOR MAXIMUM NUMBER OF [OFF-STREET] PARKING SPACES..." FOR FOUR-BEDROOM HOUSING UNITS IN SINGLE-FAMILY DETACHED DWELLINGS.

(1) THREE-BEDROOM UNIT @ 2 SPACES PER UNIT..... 2.0 SPACES
 (1) FOUR-BEDROOM UNIT @ 2.5 SPACES PER UNIT..... 2.5 SPACES

TOTAL SPACES REQUIRED..... 4 SPACES
 TOTAL SPACES PROVIDED..... 4 SPACES

NJAC 5:21-4.14(d)2. A ONE-CAR GARAGE AND DRIVEWAY COMBINATION SHALL COUNT AS 2.0 OFF-STREET PARKING SPACES, PROVIDED THE DRIVEWAY MEASURES A MINIMUM OF 18 FEET IN LENGTH BETWEEN THE FACE OF THE GARAGE DOOR AND THE RIGHT-OF-WAY.

NJAC 5:21-4.14 (a)2. WHEN DETERMINATION OF THE REQUIRED NUMBER OF PARKING SPACES RESULTS IN A FRACTIONAL SPACE FOR THE ENTIRE DEVELOPMENT, ANY FRACTION OF ONE-HALF OR LESS MAY BE DISREGARDED, WHILE A FRACTION IN EXCESS OF ONE-HALF SHALL BE COUNTED AS ONE PARKING SPACE.



PLOT PLAN

**32 NORTH PEAK STREET
 BLOCK 35, LOTS 8 & 9**

**SITUATED IN
 BOROUGH OF HIGHLANDS
 MONMOUTH COUNTY, NEW JERSEY**

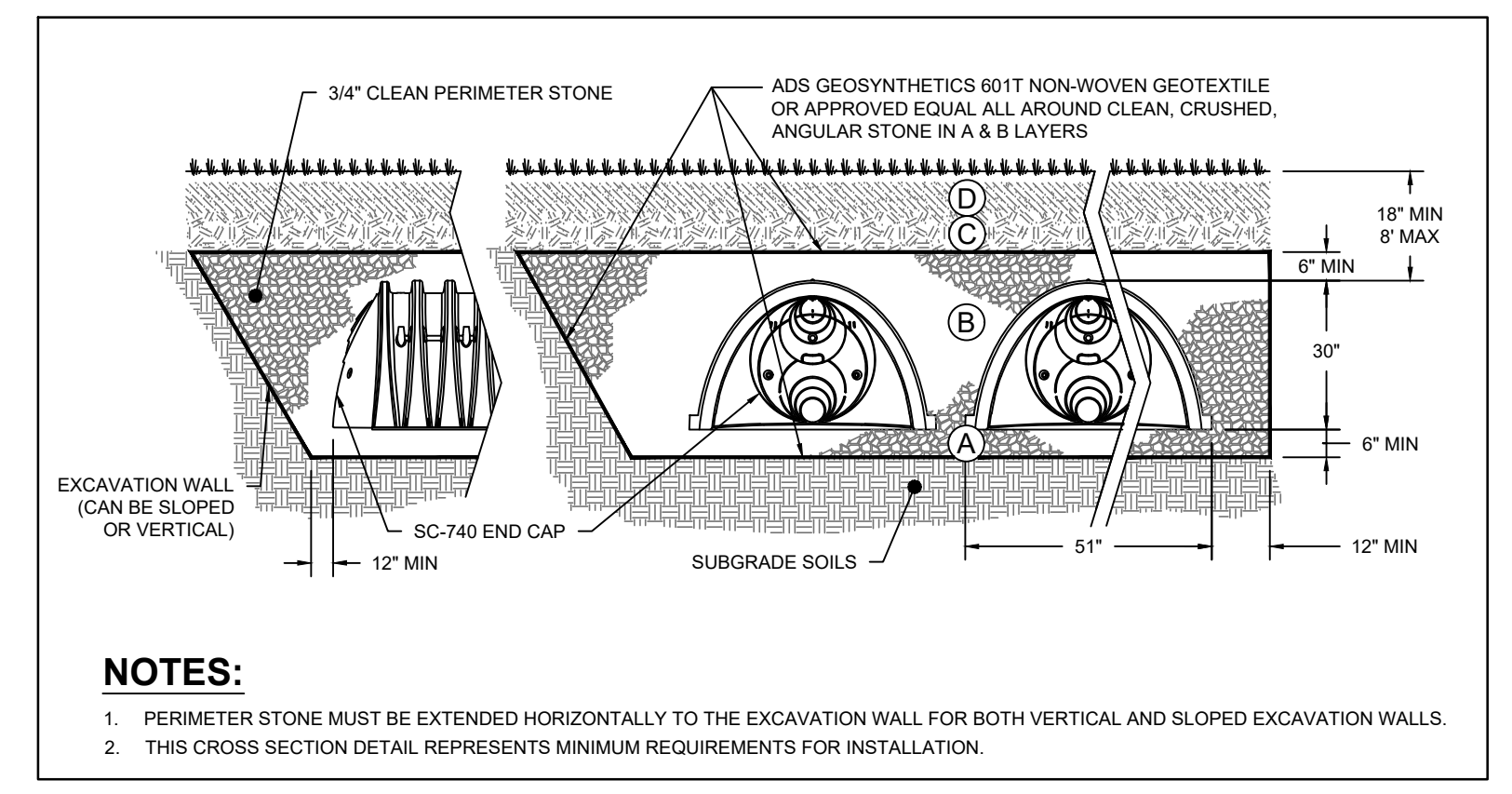
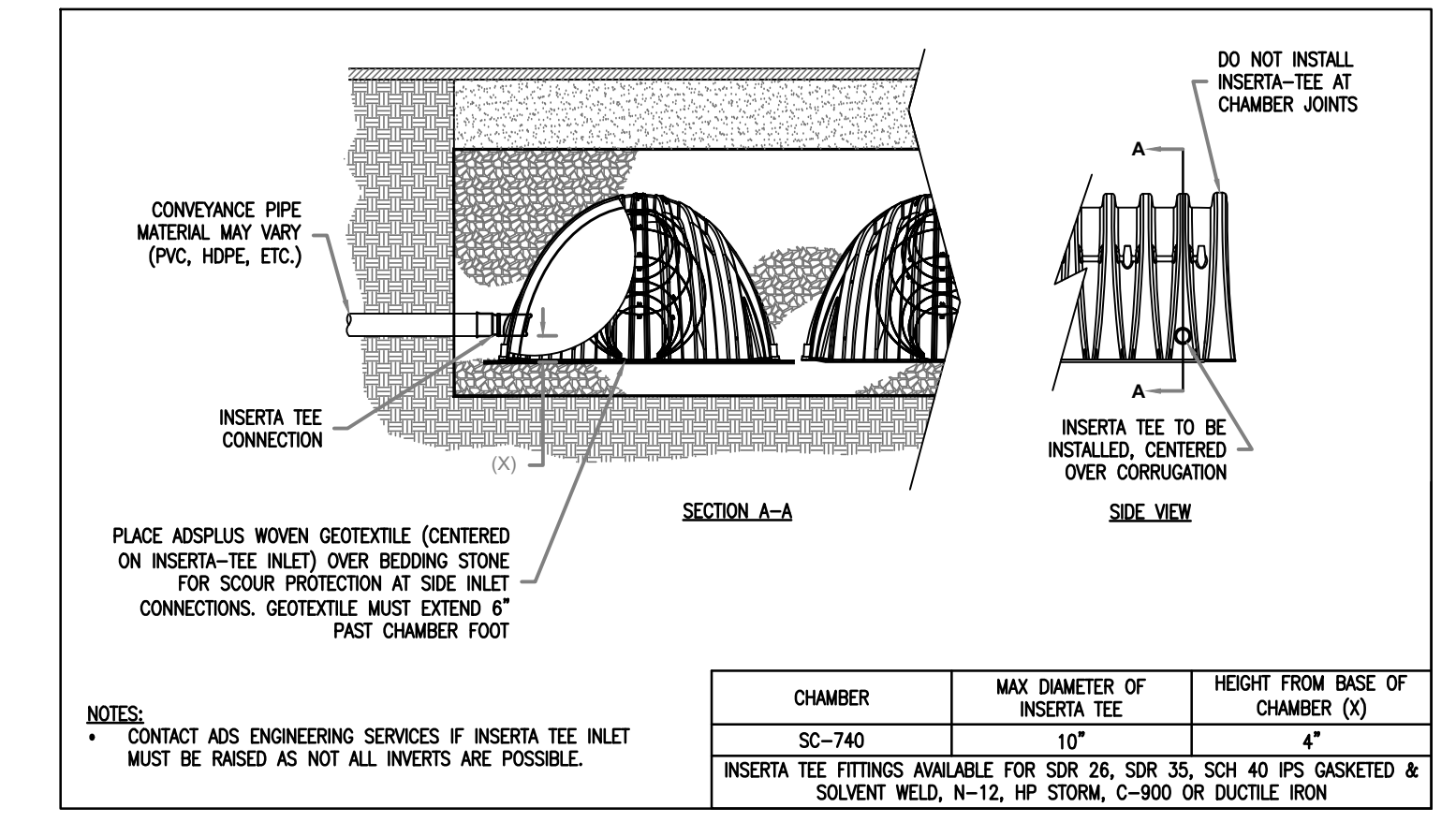
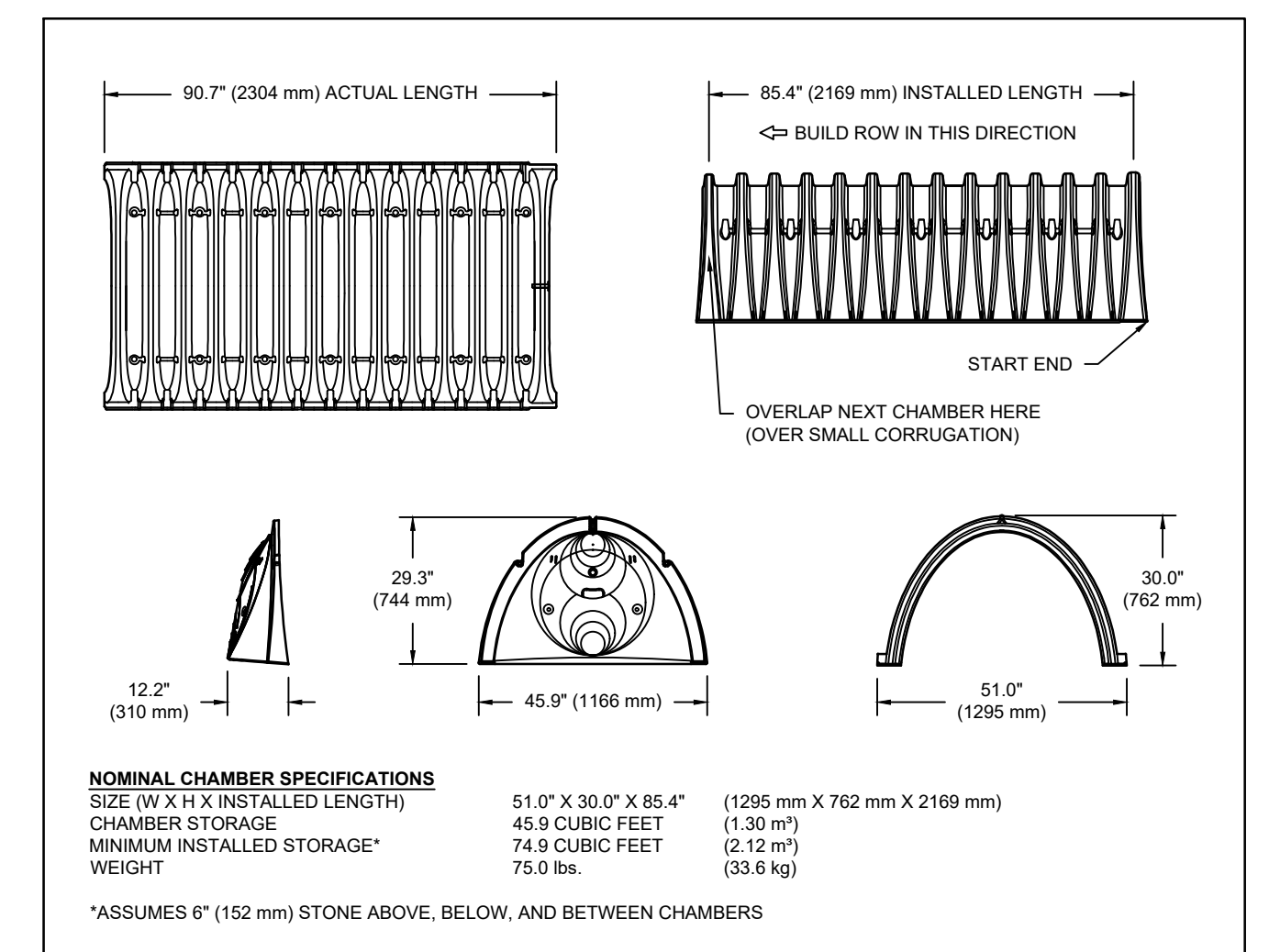
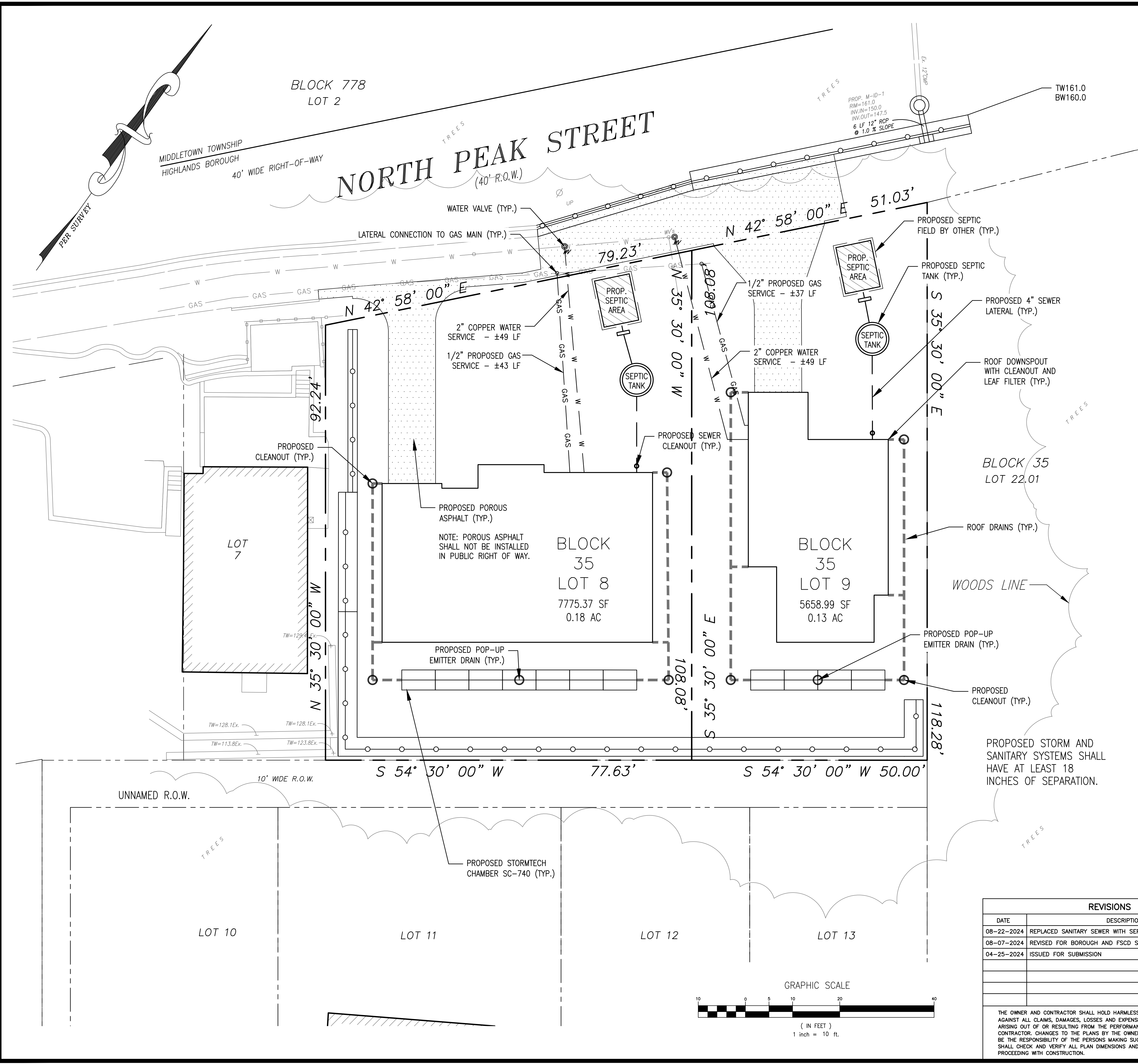
GROTTO ENGINEERING ASSOCIATES, LLC
 ENGINEERS • PLANNERS • SURVEYORS
 Certificate of Authorization No. 240A2919390
 77 BRANT AVENUE - SUITE 105
 CLARK, NEW JERSEY 07066
 908-272-8901 (F) 908-272-8902

REVISIONS	
DATE	DESCRIPTION
08-22-2024	REPLACED SANITARY SEWER WITH SEPTIC SYSTEM
08-07-2024	REVISED FOR BOROUGH AND FSCD SUBMISSION
04-25-2024	ISSUED FOR SUBMISSION

THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ENGINEER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR. CHANGES TO THE PLANS BY THE OWNER AND THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. THE CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.

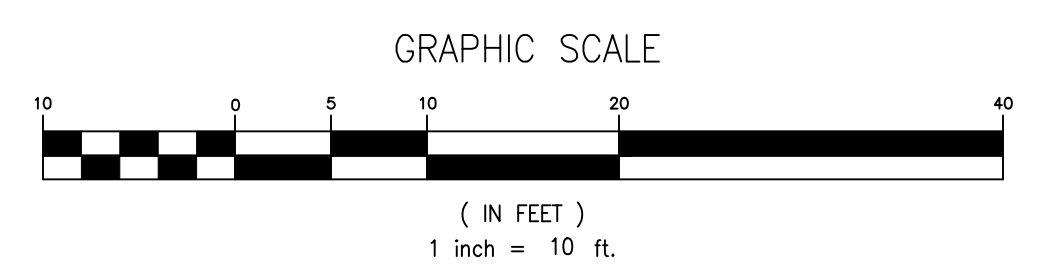
FRANK W. FARRELL PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. GE51556
 DATE: 04-05-2024 SCALE: 1"=10' DRAWN: AJC CHECKED: FWF SHEET: 2 OF 8 JOB: PR-0290

G:\Projects\PR-0290 - 32 North Peak St., Highlands (Charles Forshaw) \PLOT PLAN\PR-0290 - 32 North Peak St., Highlands (Charles Forshaw) - 8.22.24.dwg 6/22/2024



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UTILITY PLAN

**32 NORTH PEAK STREET
BLOCK 35, LOTS 8 & 9**

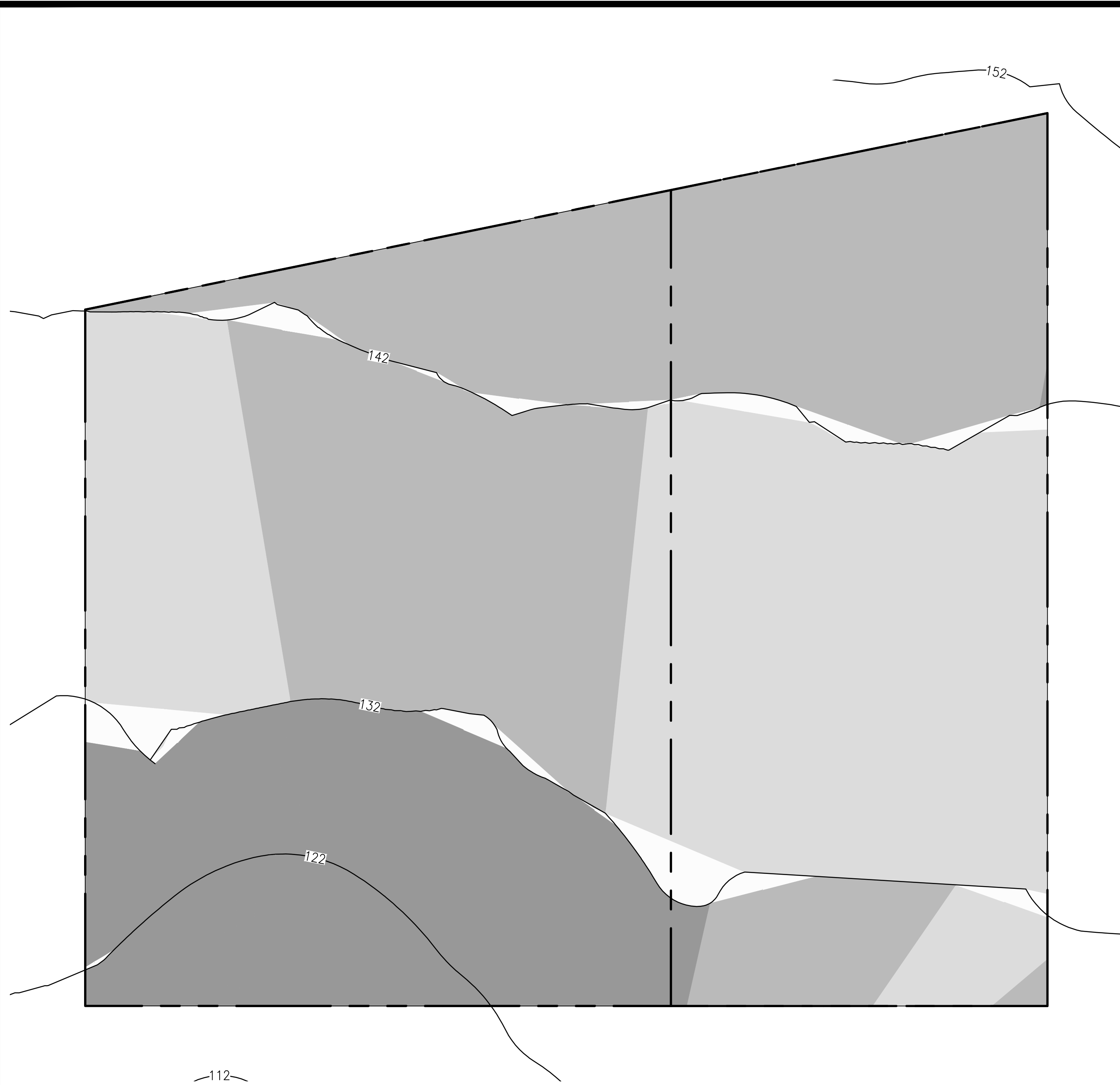
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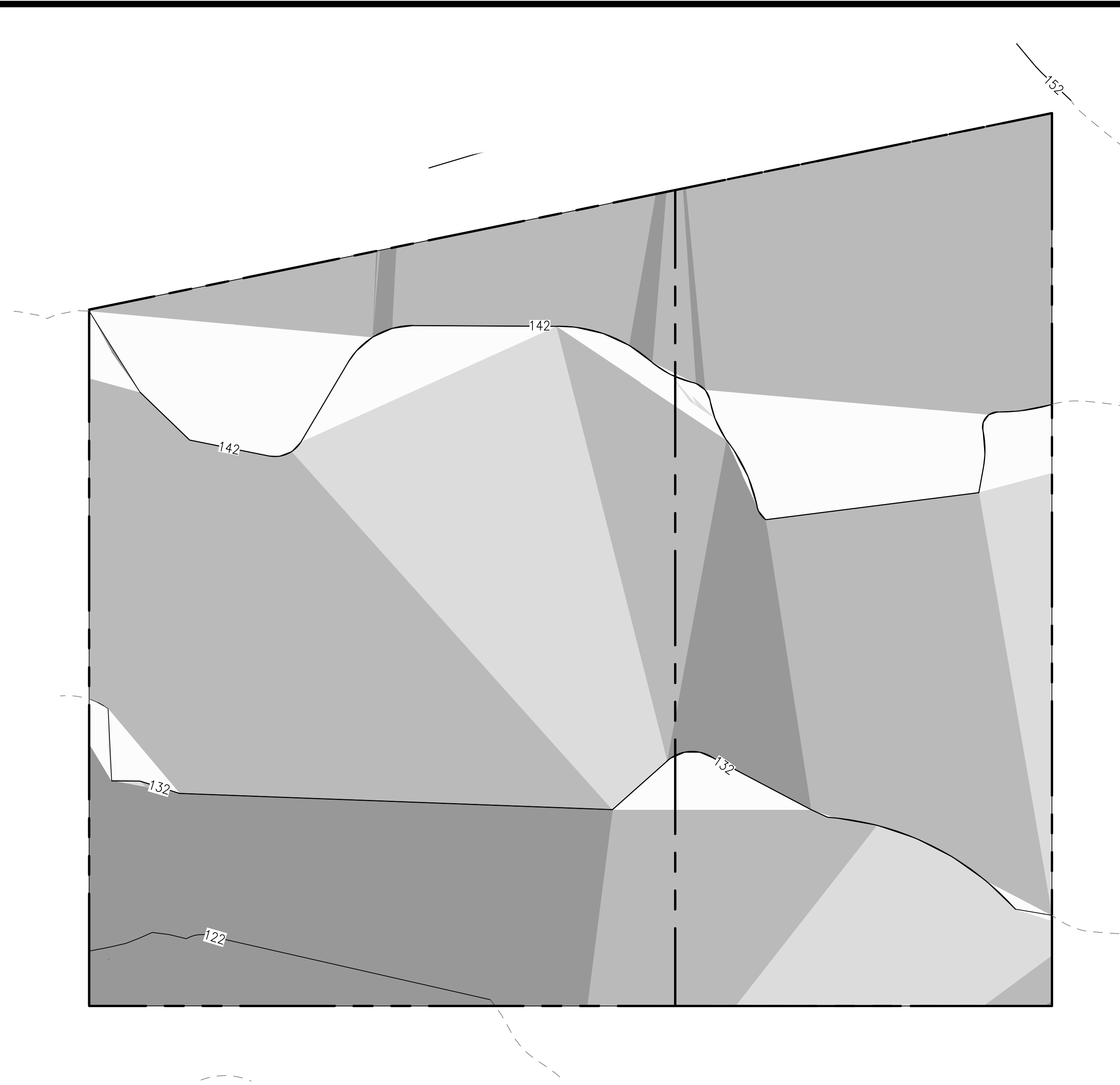
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G:\Grotto Projects\PR-0290 - 32 North Peak St., Highlands (Charles Fortson)\LOT PLAN\PR-0290 - 32 North Peak St., Highlands (Charles Fortson) - 8.22.24.dwg 6/22/2024



EXISTING SLOPES



PROPOSED SLOPES

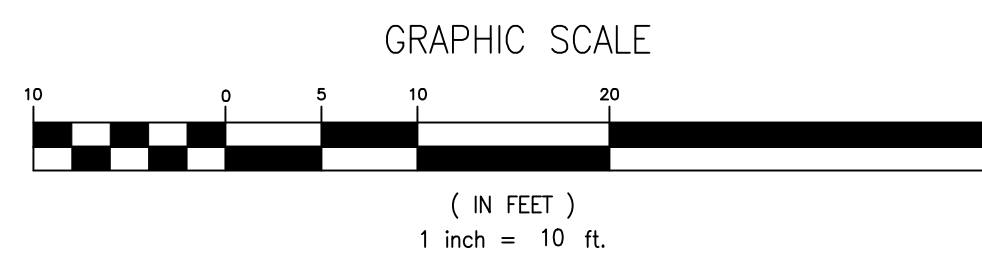
EXISTING SLOPE TABLE (BASED ON 10' CONTOURS, ELEV. 112' TO 162')					
NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	COLOR	AREA (SF)	AREA (AC)
1	30.00%	1000.00%	Dark Gray	2,703	0.062
2	20.00%	30.00%	Medium Gray	5,593	0.128
3	15.00%	20.00%	Light Gray	4,732	0.109
4	0.00%	15.00%	White	397	0.009

PROPOSED SLOPE TABLE (BASED ON 10' CONTOURS, ELEV. 112' TO 162')					
NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	COLOR	AREA (SF)	AREA (AC)
1	30.00%	1000.00%	Dark Gray	2,438	0.056
2	20.00%	30.00%	Medium Gray	7,206	0.165
3	15.00%	20.00%	Light Gray	2,350	0.054
4	0.00%	15.00%	White	1,429	0.033

SURVEY NOTES

1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN ENTITLED "PRELIMINARY GRADING WORKSHEET FOR HOME & LAND DEVELOPMENT CORP. BLOCK 35 LOTS 8 AND 9, TAX MAP SHEET NO. 10, HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY EASTERN CIVIL ENGINEERING, LLC, SIGNED ANDREW R. STOCKTON, P.E., N.J.P.L.S., LICENSE No. 35405, DATED 12-02-2021.

2. ELEVATIONS ARE BASED ON NAVD88 DATUM.



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SLOPE ANALYSIS PLAN

**32 NORTH PEAK STREET
BLOCK 35, LOTS 8 & 9**

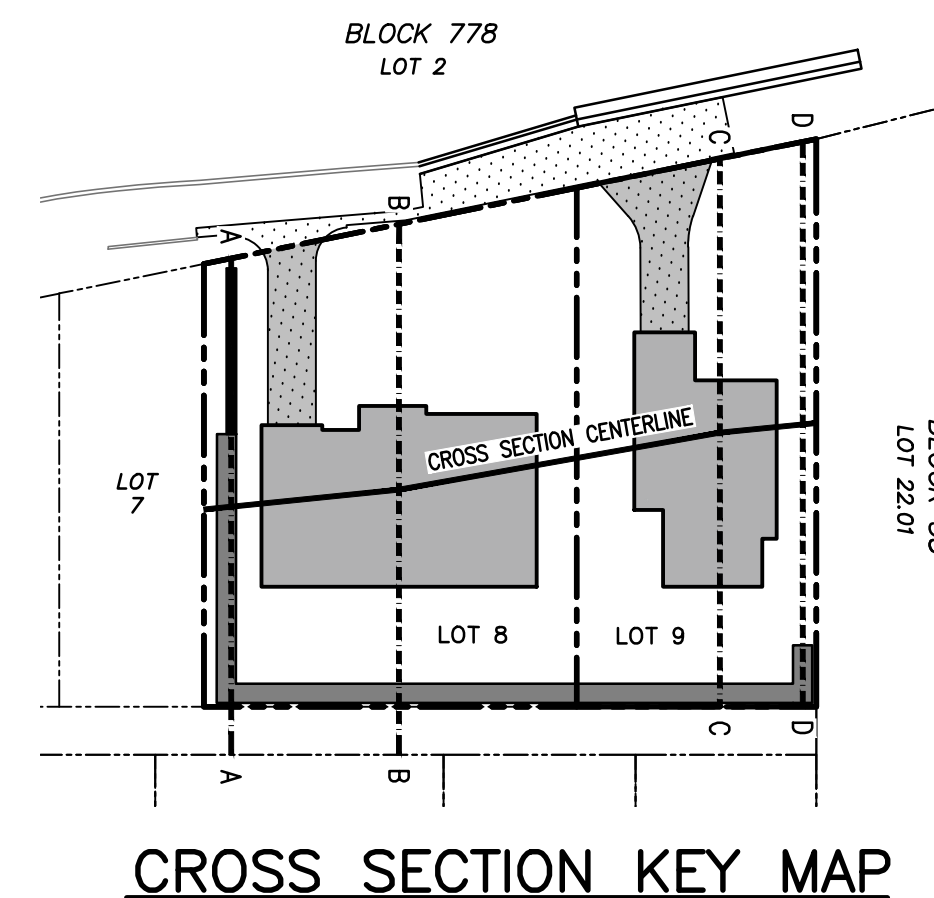
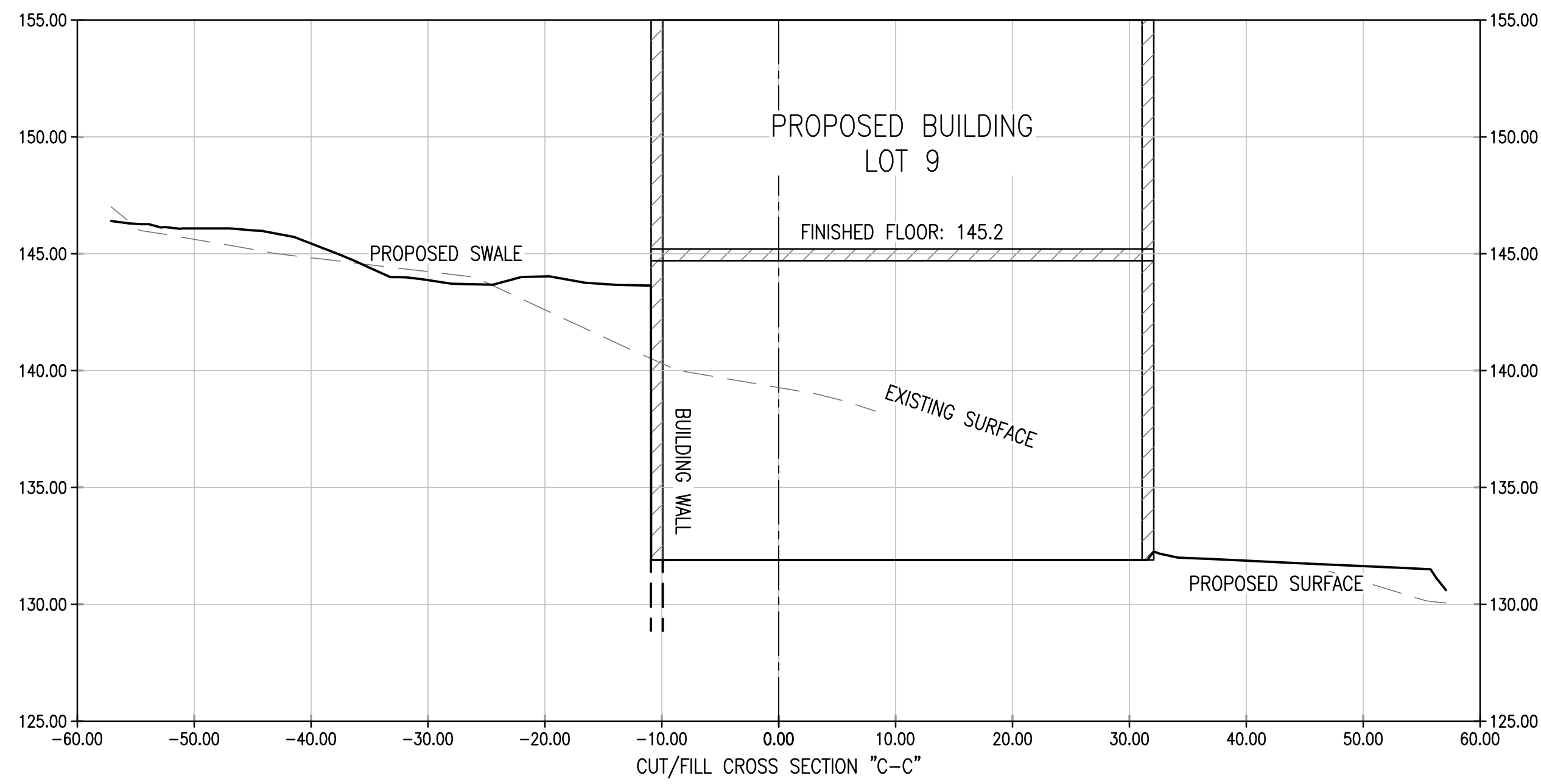
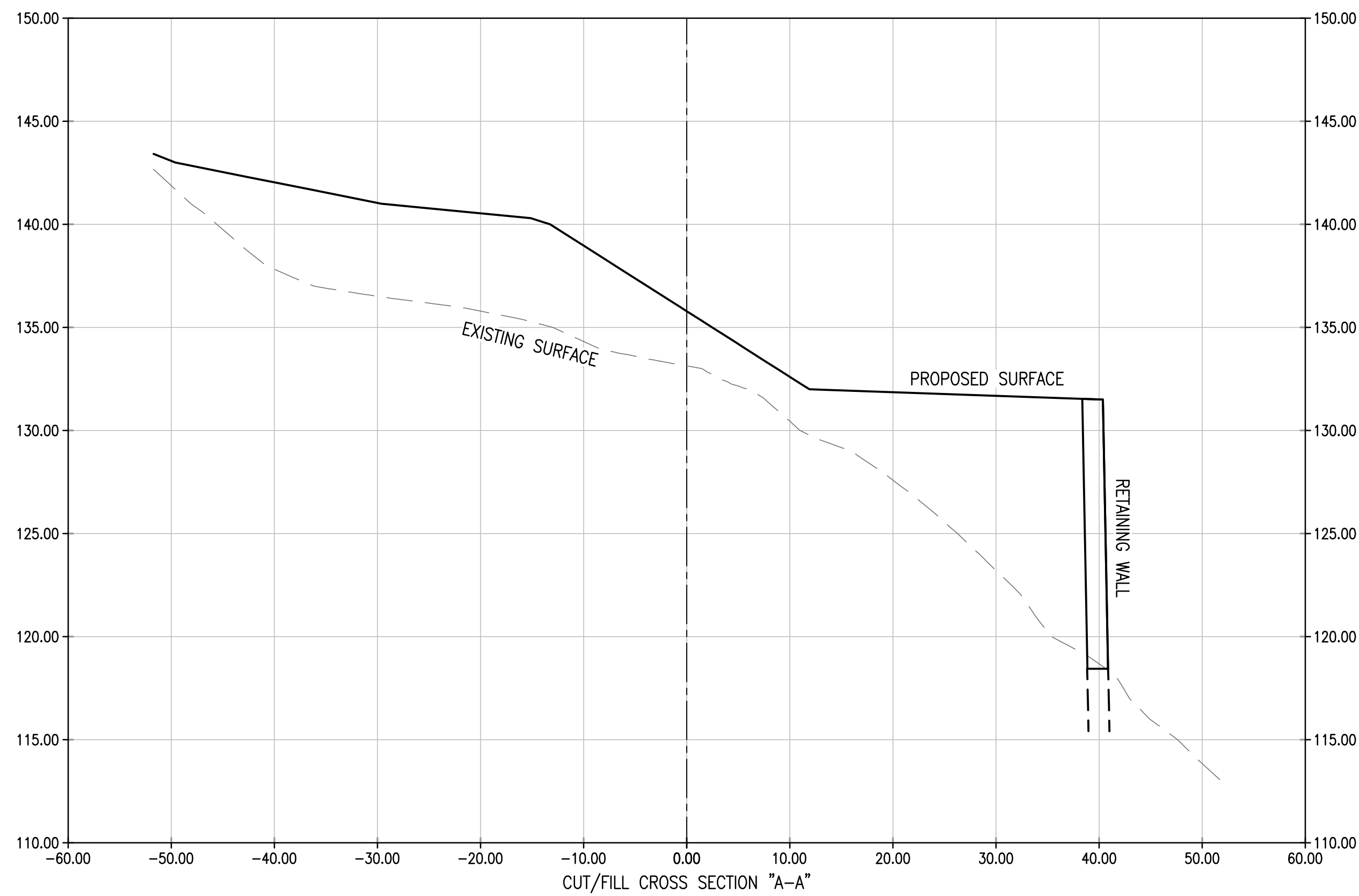
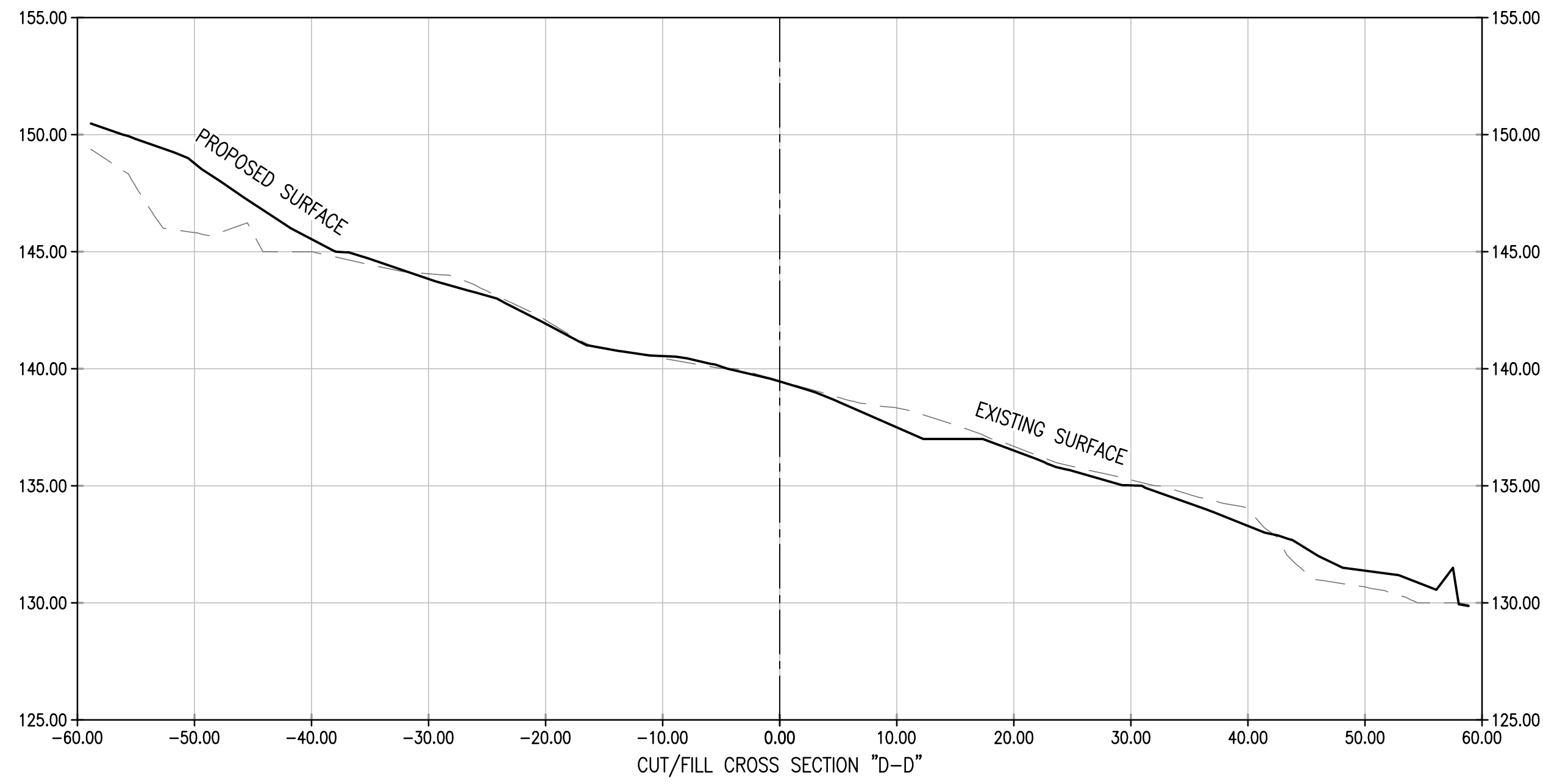
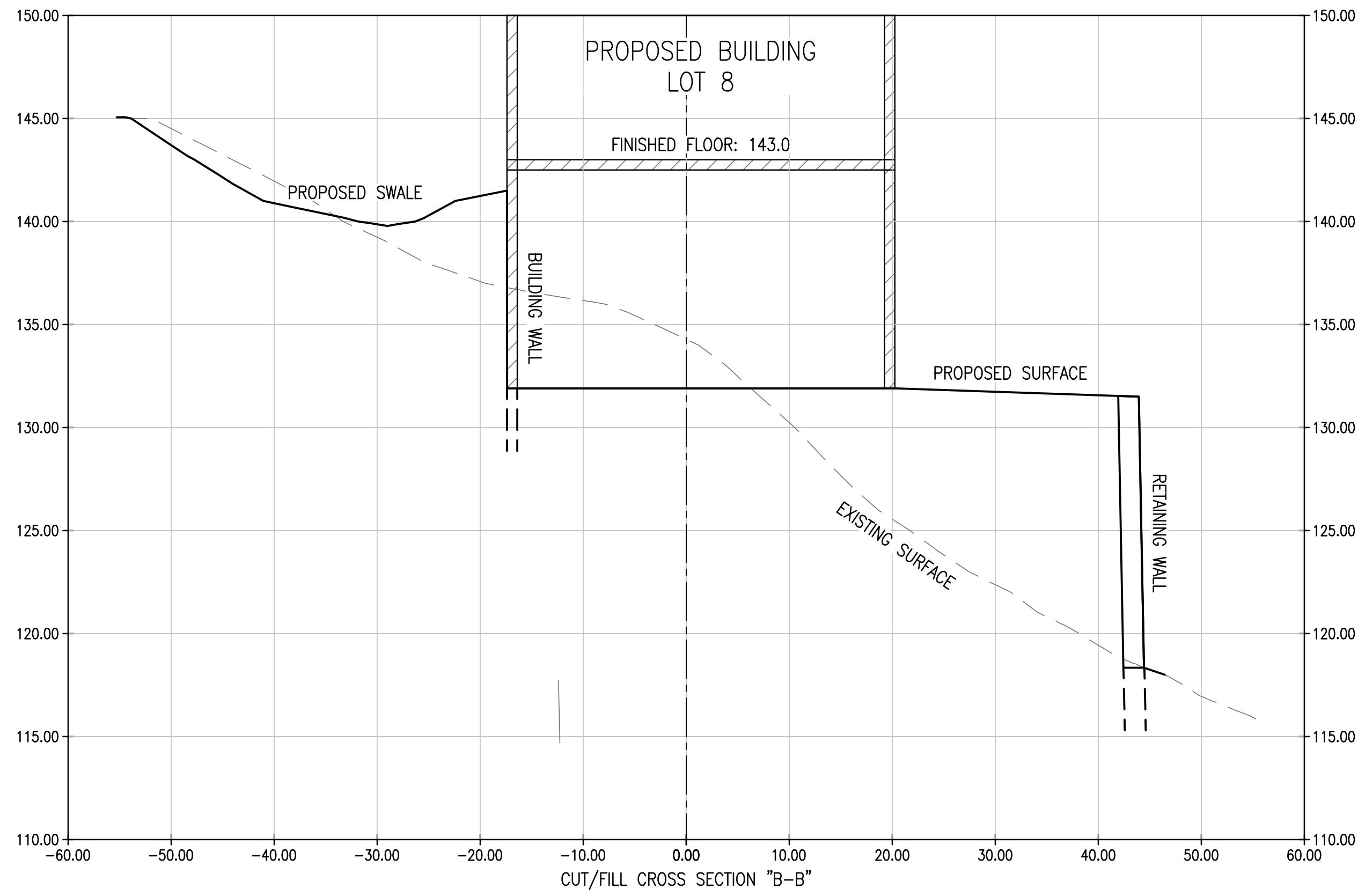
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FRANK W. FARRELL PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE51556

DATE: 04-05-2024 SCALE: 1"=20' DRAWN: AJC CHECKED: FWF SHEET: 4 OF 8 JOB: PR-0290

G:\Grotto Projects\PR-0290 - 32 North Peak St., Highlands (Charles Fortson)\LOT PLAN\PR-0290 - 32 North Peak St., Highlands (Charles Fortson) - 8.22.24.dwg 6/22/2024

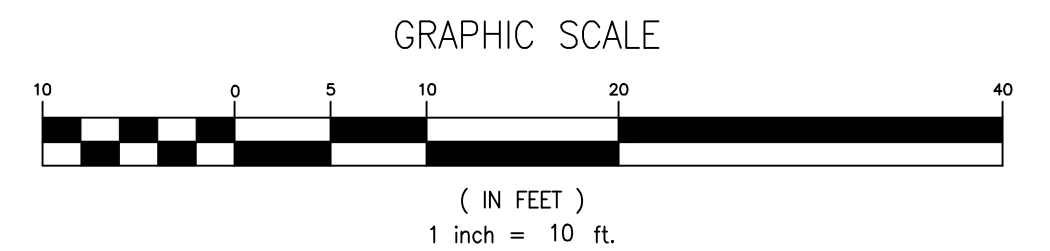


CUT FILL CALCULATIONS:

THE FOLLOWING NUMBERS WERE GENERATED BY COMPARING THE EXISTING AND PROPOSED SURFACES IN AUTODESK CIVIL 3D USING THE "IN VOLUME SURFACE" FEATURE:

TOTAL CUT = 691.60 CUBIC YARDS
 TOTAL FILL = 952.46 CUBIC YARDS
 RESULT: NET FILL = 260.86 CUBIC YARDS

THE PROPOSED DEVELOPMENT RESULTS IN A NET FILL OF 261 CY.



CUT/FILL CROSS SECTIONS AND CALCULATIONS

32 NORTH PEAK STREET
 BLOCK 35, LOTS 8 & 9

SITUATED IN
 BOROUGH OF HIGHLANDS
 MONMOUTH COUNTY, NEW JERSEY

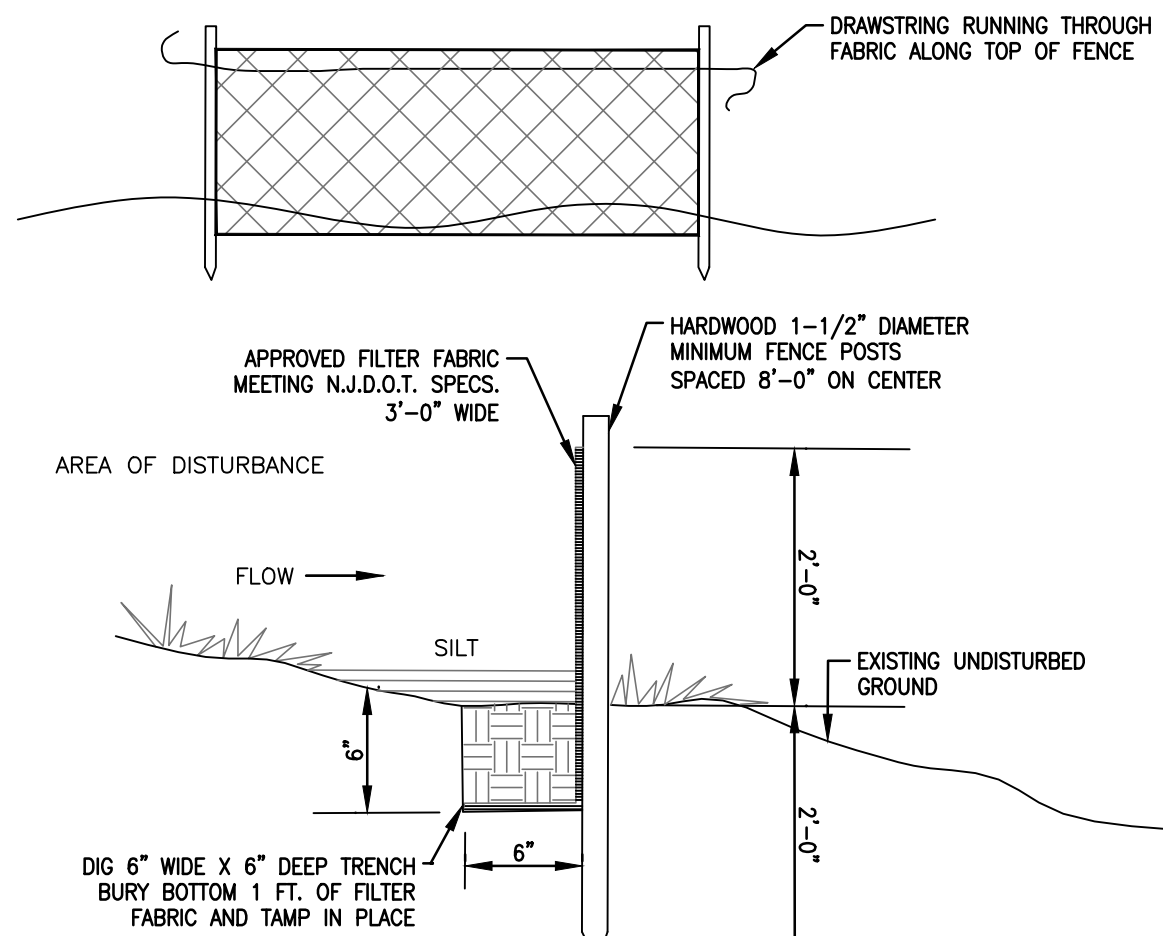
GROTTO ENGINEERING ASSOCIATES, LLC
 ENGINEERS • PLANNERS • SURVEYORS
 Certificate of Authorization No. 240A27918300
 77 BRANT AVENUE - SUITE 105
 CLARK, NEW JERSEY 07066
 908-272-8901 (F) 908-272-8902

REVISIONS	
DATE	DESCRIPTION
08-22-2024	REPLACED SANITARY SEWER WITH SEPTIC SYSTEM
08-07-2024	REVISED FOR BOROUGH AND FSCD SUBMISSION
04-25-2024	ISSUED FOR SUBMISSION

THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ENGINEER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR. CHANGES TO THE PLANS BY THE OWNER AND THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. THE CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.

FRANK W. FARRELL PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. GE51556

G:\Grotto Projects\PR-0290 - 32 North Peak St., Highlands (Charle Fortson)\CUT PLAN\Sheet 5 AND EXHIBIT A - EX AND PROP SURFACES.dwg 8/22/2024



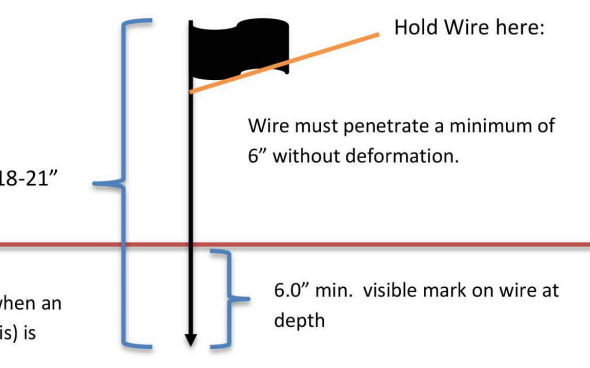
1. PLACE SILT FENCE AT LOCATIONS SHOWN ON THE SOIL EROSION PLAN.
2. THE SLOPE OF LAND FOR AT LEAST 30 FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED 5%.
3. SILT FENCE SHALL BE INSTALLED SO THAT WATER CAN NOT BYPASS THE FENCE AROUND ITS ENDS.
4. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS POSSIBLE.
5. SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE DIRECTED BY THE TOWNSHIP ENGINEER.

SILT FENCE

N.T.S.

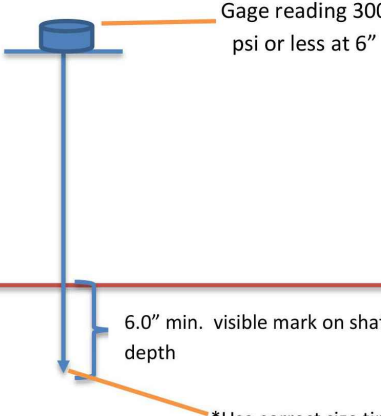
Probing Wire Test- 15.5 ga steel wire (survey flag)

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the wire.

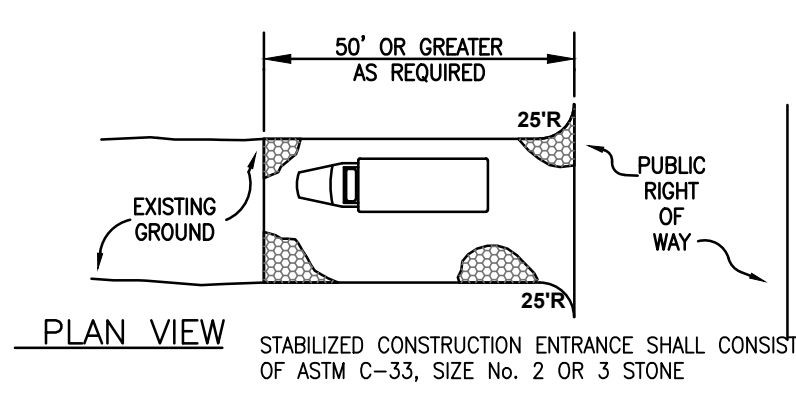
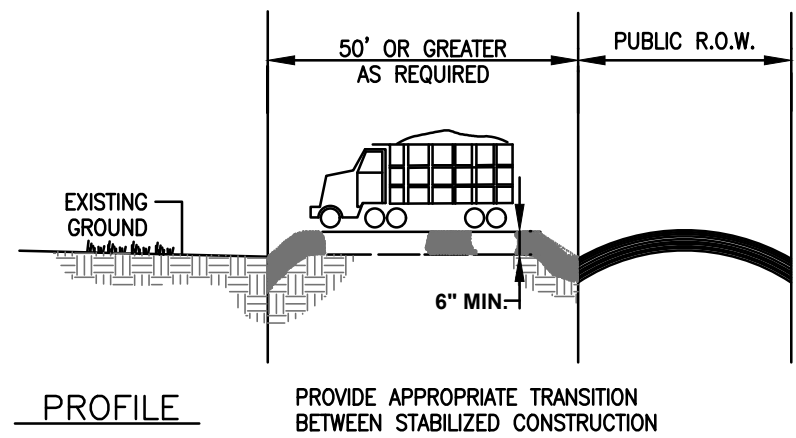


Handheld Soil Penetrometer Test

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the probe. Probe must penetrate at least 6\"/>



SIMPLIFIED COMPACTION TESTING METHODS



TEMPORARY STABILIZED CONSTRUCTION ENTRANCE

N.T.S.

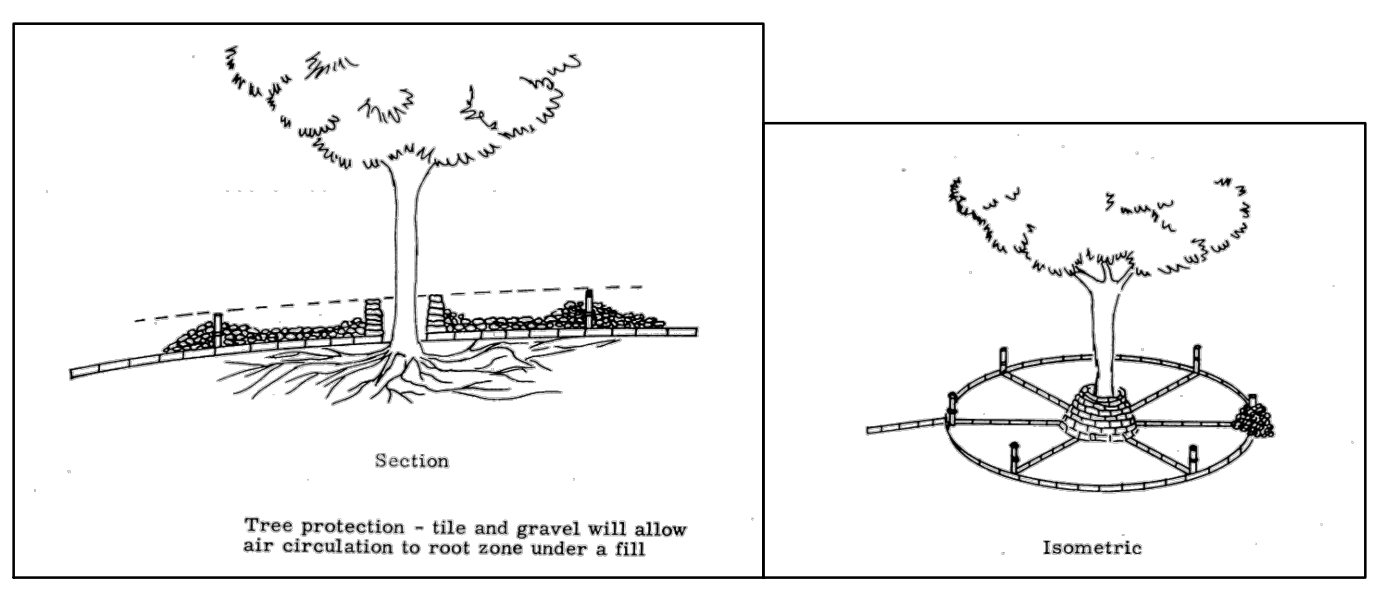
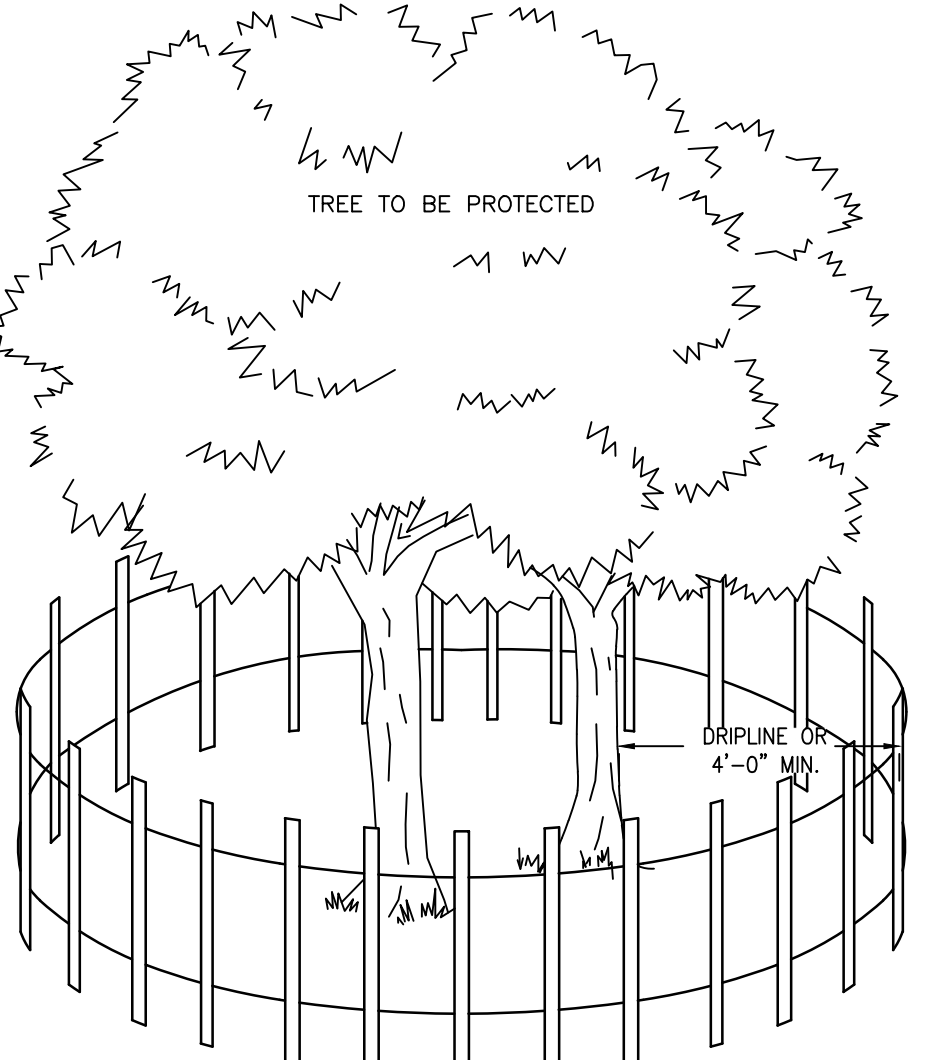
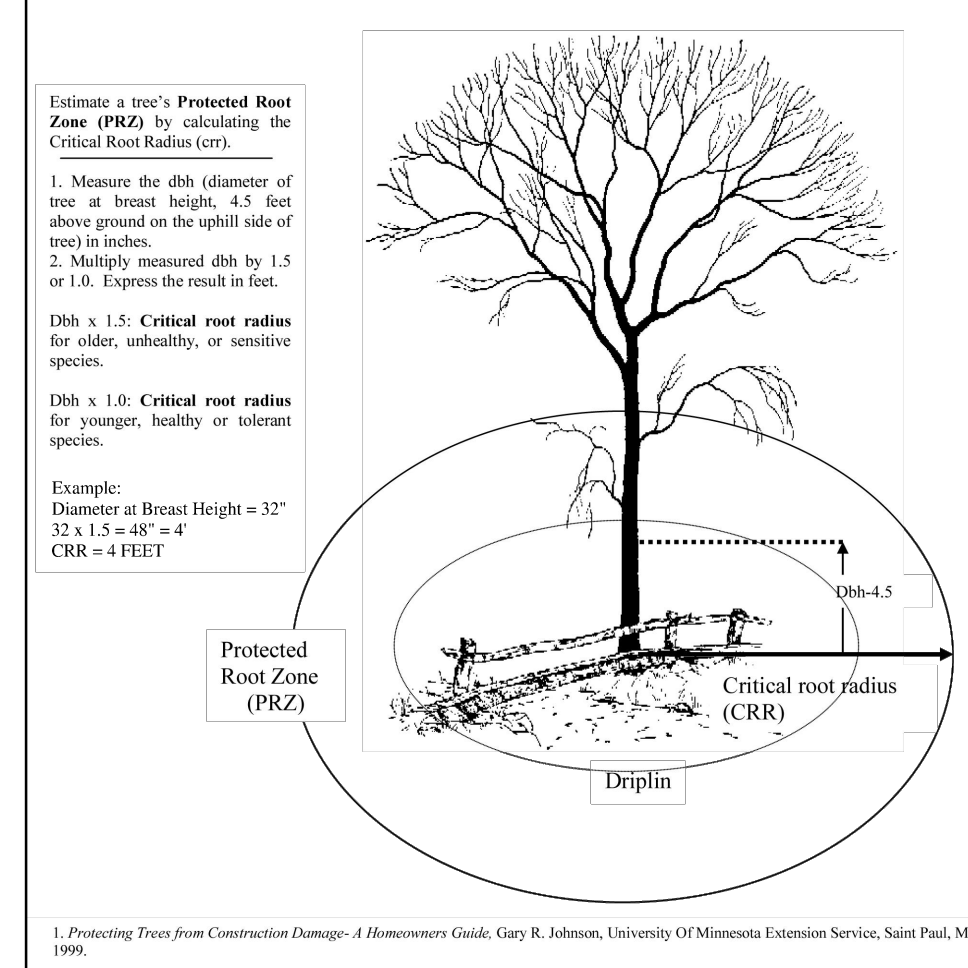


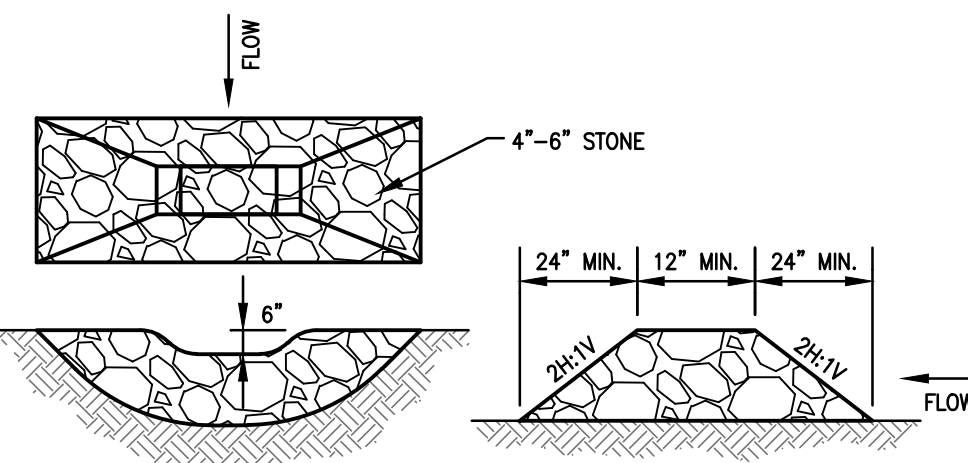
Figure 9-3: Root Protection During Construction Guide



1. TREE PROTECTION SHALL BE PROVIDED FOR ANY AND ALL TREES TO BE PROTECTED DURING AND AFTER CONSTRUCTION.
2. 4 FOOT HIGH SNOW FENCE SHALL BE PLACED AT THE DRIP LINE OF THE TREE AND ENIRCLE THE ENTIRE TREE.
3. BOARDS SHALL NOT BE NAILED TO TREES DURING CONSTRUCTION.
4. ROOTS SHALL NOT BE CUT IN AN AREA INSIDE THE DRIP LINE OF THE BRANCHES.
5. DAMAGED TRUNKS OR ROOTS WILL BE PAINTED IMMEDIATELY WITH A GOOD GRADE OF TREE PAINT.
6. TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH WITH TRUNK OR MAIN LIMB. PAINT IMMEDIATELY WITH A GOOD GRADE OF TREE PAINT AND BE PERFORMED UNDER THE SUPERVISION OF A LICENSED NURSERYMAN.

TREE PROTECTION DETAIL

N.T.S.



STONE CHECK DAM

N.T.S.

SEEDING SCHEDULE

1. TEMPORARY SEEDING SHALL CONSIST OF SPRING OATS APPLIED AT A RATE OF 2.0 LBS. PER 1,000 SF, OR PERENNIAL RYEGRASS APPLIED AT A RATE OF 1.0 LB PER 1,000 SF. TEMPORARY SEEDING TO BE MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING. IF ANY SERIOUS EROSION PROBLEMS OCCUR, THE ERODED AREAS SHALL BE REPAIRED AND STABILIZED WITH A MULCH AS INDICATED IN NOTE NO. 6. THE OPTIMUM SEEDING DATE IS MARCH 1 THROUGH MAY 15 AND AUGUST 15 THROUGH OCTOBER 1 FOR PERENNIAL RYE AND SPRING OATS.
2. PERMANENT SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL. OPTIMAL PLANTING DATE IS AUGUST 15 THROUGH OCTOBER 15. THE ACCEPTABLE PLANTING DATE IS MARCH 1 THROUGH APRIL 30.

WELL TO MODERATELY WELL DRAINED LOTS (MIXTURE #14):	
TALL FESCUE	6.0 LBS/1,000 SF
KENTUCKY BLUEGRASS (BLEND)	0.5 LBS/1,000 SF
PERENNIAL RYEGRASS (BLEND)	0.5 LBS/1,000 SF
3. FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY VEGETATIVE COVER SHALL BE 10-20-10 APPLIED AT A RATE OF 11 LBS PER 1,000 SF OR AS DETERMINED BY SOIL TESTS. FERTILIZER FOR THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER SHALL BE 10-10-10 APPLIED AT A RATE OF 11 LBS PER 1,000 SF OR AS DETERMINED BY SOIL TESTS. LIMESTONE FOR TEMPORARY AND PERMANENT SEEDING SHALL BE APPLIED AT A RATE OF 90 LBS PER 1,000 SF.
4. MULCHING IS REQUIRED ON ALL SEEDING. SEE MULCHING NOTES, THIS SHEET.
5. IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREAS TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE NO. 6.
6. MULCH TO CONSIST OF SMALL GRAIN STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER OR AN APPROVED EQUAL. MULCH WILL BE SPREAD AT A RATE OF 90 TO 115 LBS PER 1,000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL OR LIQUID MULCH BINDER.
7. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING-TOOTHED HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCS OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
8. REMOVE FROM THE SURFACE ALL STONES TWO NICHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS OR OTHER UNSUITABLE MATERIALS.
9. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RE-TILLED AND FIRMED AS ABOVE.

SOIL DECOMPACTION AND TESTING REQUIREMENTS

SOIL COMPACTION TESTING REQUIREMENTS

1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

COMPACTION TESTING METHODS

- A. PROBING WIRE TEST (SEE DETAIL)
- B. HAND-HELD PENETROMETER TEST (SEE DETAIL)
- C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6\"/>

PROCEDURES FOR SOIL COMPACTION MITIGATION

PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6\"/>

SLOPE STABILIZATION NOTES

1. GRADE SLOPES AS PER PLAN.
2. APPLY FERTILIZER AT A RATE OF APPROXIMATELY 500 POUNDS PER ACRE (10-10-10 OR EQUAL).
3. WORK FERTILIZER INTO SOIL TO A DEPTH OF 4 INCHES.
4. APPLY SEED ACCORDING TO SEEDING SCHEDULE ON THIS SHEET.
5. AFTER SEEDING, FIRM SOIL WITH CORRUGATED ROLLER TO ASSURE GOOD SEEDING-SOIL CONTACT.
6. MULCH AND STABILIZE AS PER MULCHING AND TACKING SPECIFICATIONS ON THIS SHEET.
7. STEEP SLOPES TO BE STABILIZED WITH JUTE MATTING (3:1 OR STEEPER).

CONSTRUCTION SCHEDULE

1. CLEAR PROPOSED ENTRANCE AND PLACE STABILIZED CONSTRUCTION ENTRANCE PAD AS NOTED	3 DAYS
2. INSTALL SEDIMENT CONTROL STRUCTURES (I.E. HAY BALES AND/OR SILT FENCE) ADJACENT TO THE LIMIT OF SOIL DISTURBANCE AS SHOWN.	2 DAYS
3. DEMOLISH EXISTING STRUCTURES	1 WEEK
4. CLEAR LAND AREAS TO BE DEVELOPED. TREES SHALL REMAIN WHEREVER POSSIBLE.	1 WEEK
5. ROUGH GRADE THE SITE.	2 WEEKS
6. CONSTRUCT STORM SEWERS AND DETENTION SYSTEM.	1 WEEK
7. INSTALL SEDIMENT CONTROL MEASURES AROUND INLETS.	1 DAY
8. BEGIN BUILDING CONSTRUCTION AND CURBING.	4 DAYS
9. BEGIN FINE GRADING.	3 DAYS
10. STABILIZE ALL AREAS NOT SUBJECT TO CONSTRUCTION TRAFFIC THAT WILL REMAIN EXPOSED FOR MORE THAN 30 DAYS.	1 DAY
11. CONSTRUCT LIGHTING AND REMAINING UNDERGROUND UTILITIES.	1 WEEK
12. CONSTRUCT DRIVEWAY AND PARKING LOT PAVEMENT.	1 WEEK
13. FINISH BUILDING CONSTRUCTION.	6 MONTHS
14. INSTALL LANDSCAPING.	1 WEEK
15. STABILIZE ALL DISTURBED AREAS IN ACCORDANCE WITH APPLICABLE TEMPORARY OR PERMANENT SEEDING SPECIFICATIONS.	1 WEEK
16. REMOVE SEDIMENT AROUND SILT FENCES AND/OR HAY BALES.	1 WEEK
17. WHEN AREA IS STABILIZED, SEDIMENT CONTROL STRUCTURES CAN BE REMOVED.	2 DAYS

MULCHING NOTES

1. GRADING SHALL BE PERFORMED AS PER STANDARDS FOR LAND GRADING IN THE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY", SECTION 19.1.
2. PERMANENT SEED SHALL BE APPLIED AS PER STANDARD OF THIS SHEET.
3. STRAW OR HAY MULCHING IS REQUIRED ON ALL SEEDING AND SHALL CONSIST OF THE FOLLOWING: UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET).
4. SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 85% OF THE SOIL SURFACE IS COVERED.
5. LIQUID MULCH BINDER (TACKIFIER) SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

DUST CONTROL NOTES

- ANY OF THE FOLLOWING METHODS SHALL BE USED FOR DUST CONTROL:
1. MULCHES: SEE STABILIZATION SPECIFICATION.
 2. TILLAGE: TO ROUGHEN THE SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE FLOWS SPACED APPROXIMATELY 12\"/>

VEGETATIVE COVER MAINTENANCE NOTES

1. MAINTENANCE SHOULD OCCUR ON A REGULAR BASIS, CONSISTENT WITH FAVORABLE PLANT GROWTH, SOIL AND CLIMATIC CONDITIONS. THIS INCLUDES REGULAR SEASONAL WORK FOR MOWING, FERTILIZING, LIMING, WATER, PRUNING, FIRE CONTROL, WEED AND PEST CONTROL, RE-SEEDING AND TIMELY REPAIRS.
2. MOWING ON IMPROVED AREAS, SUCH AS LAWNS, CERTAIN RECREATION FIELDS AND PICNIC AREAS SHALL BE FREQUENT. ON SEMI-IMPROVED AREAS, MOWING WILL BE INFREQUENT. UNIMPROVED AREAS MAY BE LEFT UNMOWED TO PERMIT NATURAL SUCCESSION.
3. FERTILIZER SHOULD BE APPLIED AS NEEDED TO MAINTAIN A DENSE STAND OR DESIRABLE SPECIES. FREQUENTLY MOWED AREAS AND THOSE AREAS ON SANDY SOILS WILL REQUIRE MORE FERTILIZATION.
4. LIME REQUIREMENT SHOULD BE DETERMINED BY SOIL TESTING TO BE DONE EVERY 2 OR 3 YEARS. FERTILIZATION WILL INCREASE THE NEED FOR LIMING.
5. WEED INVASION MAY RESULT FROM ABUSIVE MOWING AND INADEQUATE FERTILIZATION AND LIMING. BRUSH INVASION IS A COMMON CONSEQUENCE OF LACK OF MOWING. CONTROL OF WEEDS OR BRUSH SHALL BE ACCOMPLISHED BY USING HERBICIDES OR MECHANICAL METHODS.
6. THE PROPERTY OWNER OR TENANT BY CONTRACT SHALL BE RESPONSIBLE FOR MAINTENANCE DURING AND AFTER CONSTRUCTION.

SOIL EROSION NOTES

- FREEHOLD SOIL CONSERVATION DISTRICT
1. THE FREEHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
 2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
 3. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
 4. N.J.S.A. 4:24-39 et. seq. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY AND A REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.
 5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO STATE STANDARD FOR STABILIZATION WITH MULCH ONLY.
 6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. SOIL STOCKPILES, STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
 7. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
 8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ACCESS CONSISTING OF ONE INCH TO TWO INCH (1\"/>

GENERAL SOIL EROSION NOTES:

1. STOCKPILES ARE NOT TO BE LOCATED WITHIN 50 FEET OF A FLOOD PLAN, SLOPE, ROADWAY, OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE PROTECTED BY A HAY BALE BARRIER OR SEDIMENT CONTROL FENCE.
2. THE SITE SHALL AT ALL TIMES, BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
3. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS.
4. THE SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON-SITE OR OFF-SITE SOIL EROSION PROBLEMS DURING CONSTRUCTION.
5. ANY CONVEYANCE OF THIS PROJECT OR PORTION THEREOF PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNER.
6. THE CONTRACTOR SHALL MAINTAIN PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. THE OWNER SHALL MAINTAIN SAID MEASURES THEREAFTER.
7. THE SOIL EROSION AND SEDIMENT CONTROL PLAN IS TO BE USED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY.

SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

32 NORTH PEAK STREET
BLOCK 35, LOTS 8 & 9

SITUATED IN
BOROUGH OF HIGHLANDS
MONMOUTH COUNTY, NEW JERSEY

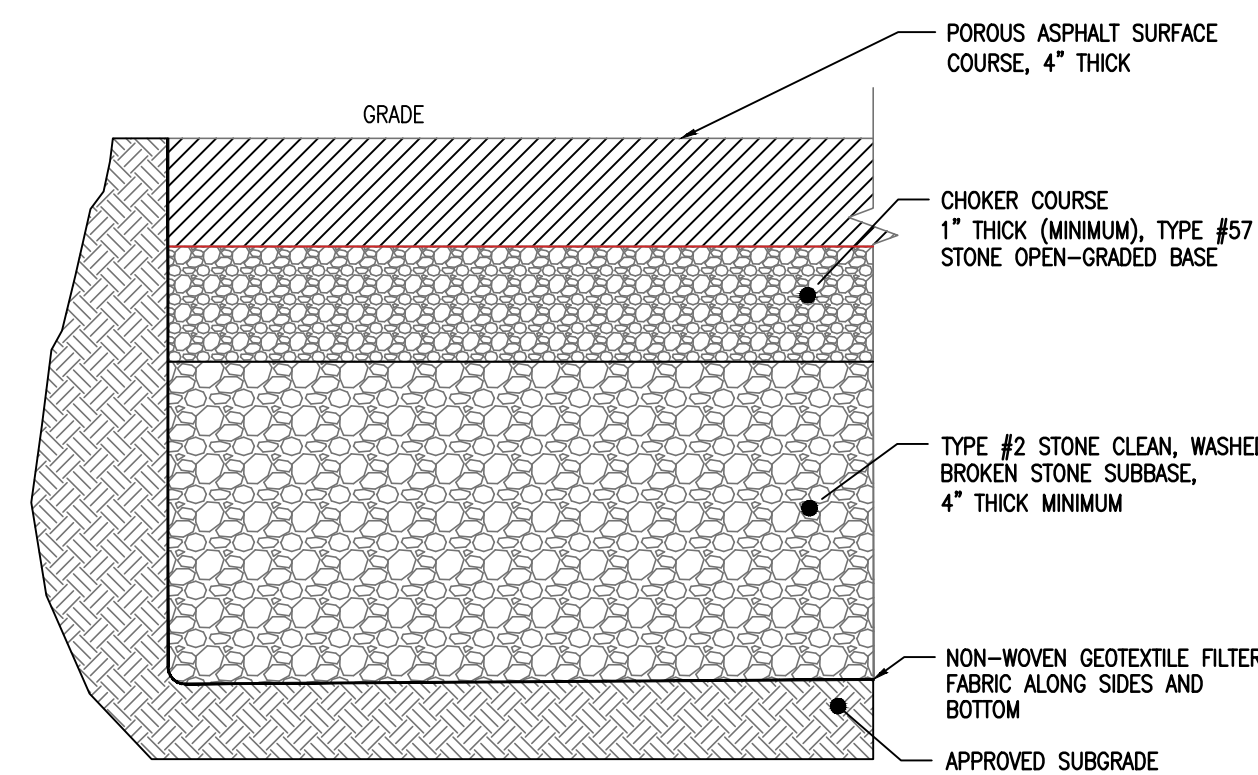
GROTTO ENGINEERING ASSOCIATES, LLC
ENGINEERS • PLANNERS • SURVEYORS
Certificate of Authorization No. 240A22919390
77 BRANT AVENUE - SUITE 105
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908-272-8901 (F) 908-272-8902

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FRANK W. FARRELL
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. G515156

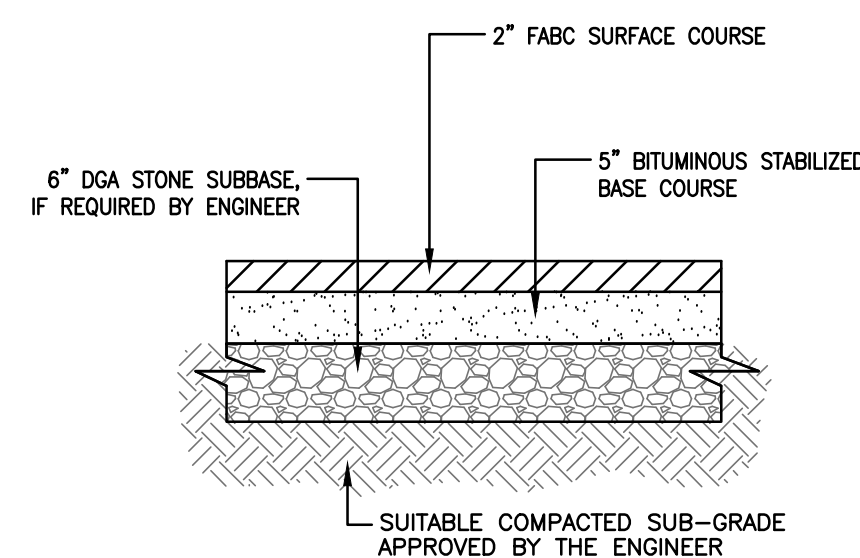
DATE: 04-05-2024 SCALE: N.T.S. DRAWN: AJC CHECKED: FWF SHEET: 7 OF 8 JOB: PR-0290

G:\Grotto Projects\PR-0290 - 32 North Peak St., Highlands (Charles Fortson)\LOT PLAN\PR-0290 - 32 North Peak St., Highlands (Charles Fortson) 6/22/2024



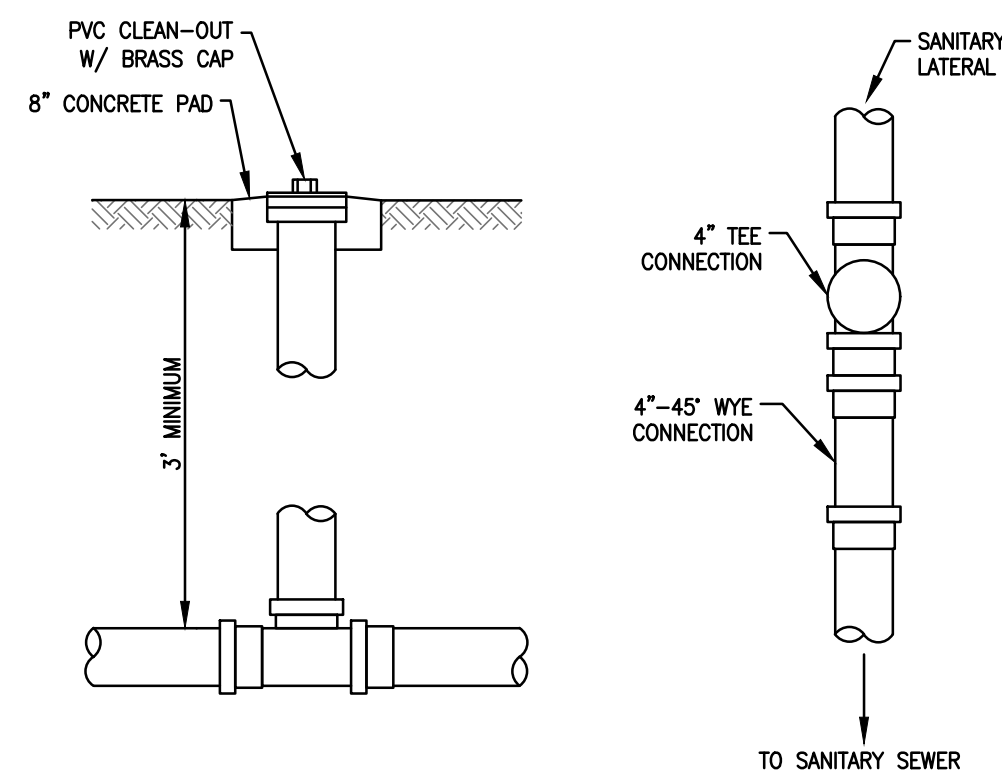
- NOTES:
- PERMEABLE PAVEMENT AND CONCRETE MUST BE IN ACCORDANCE WITH NJ STORMWATER BEST MANAGEMENT PRACTICES MANUAL, CHAPTER 9.6
 - FILTER FABRIC IS REQUIRED ALONG THE SIDES AND BOTTOM OF THE SYSTEM TO PREVENT MITIGATION OF FINES FROM THE SURROUNDING SOIL.
 - THE STORAGE BED IN THIS TYPE OF SYSTEM CONSISTS OF AN AGGREGATE LAYER THAT COLLECTS RUNOFF AND INFILTRATES IT INTO THE EXISTING SUBSOILS.
 - THE SEASONAL HIGH WATER TABLE (SHWT) OR BEDROCK MUST BE AT LEAST 1 FOOT BELOW THE BOTTOM OF THE STORAGE BED.
 - THE MINIMUM CHOKER COURSE THICKNESS IS 1 INCH.
 - STORAGE BED AGGREGATE MUST BE CLEAN, WASHED AND OPEN-GRADED MSHTO NO. 2 BROKEN STONE.
 - POST-CONSTRUCTION TESTING OF THE PERMEABLE PAVEMENT SURFACE COURSE IS REQUIRED AND MUST CONFORM TO THE METHODS OF ASTM C1781: STANDARD TEST METHOD FOR SURFACE INFILTRATION RATE OF PERMEABLE PAVEMENT SYSTEMS.
 - PERMEABLE PAVEMENT MAY ACCEPT ADDITIONAL INFLOW FROM A MAXIMUM AREA OF 3 TIMES THE AREA OF THE PERMEABLE PAVEMENT SYSTEM.

PERMEABLE PAVEMENT/POROUS ASPHALT DETAIL
N.T.S.

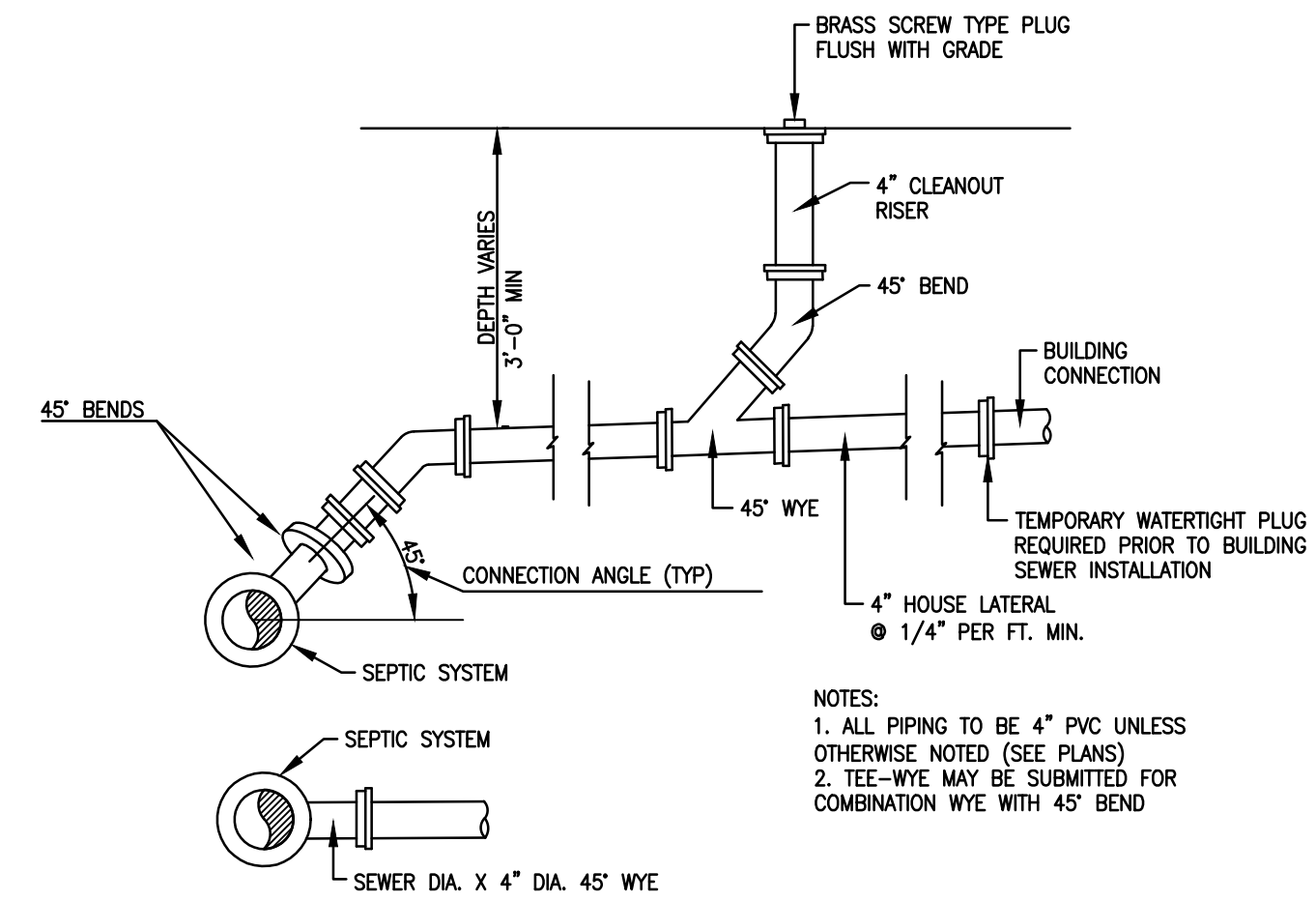


- NOTES:
- PAVEMENT SPECIFICATION MAY BE ALTERED AT THE DISCRETION OF THE MUNICIPAL ENGINEER AS REQUIRED BY SITE CONDITIONS.
 - HOT MIX ASPHALT SHALL BE SAWCUT WHERE NEW PAVEMENT MEETS EXISTING.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2019, AS AMENDED.

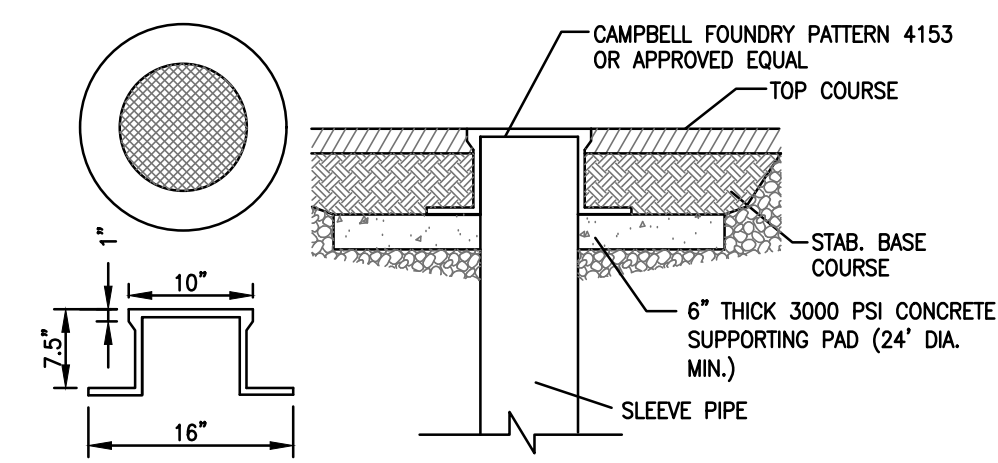
TYPICAL H.M.A. PAVEMENT DETAIL
N.T.S.



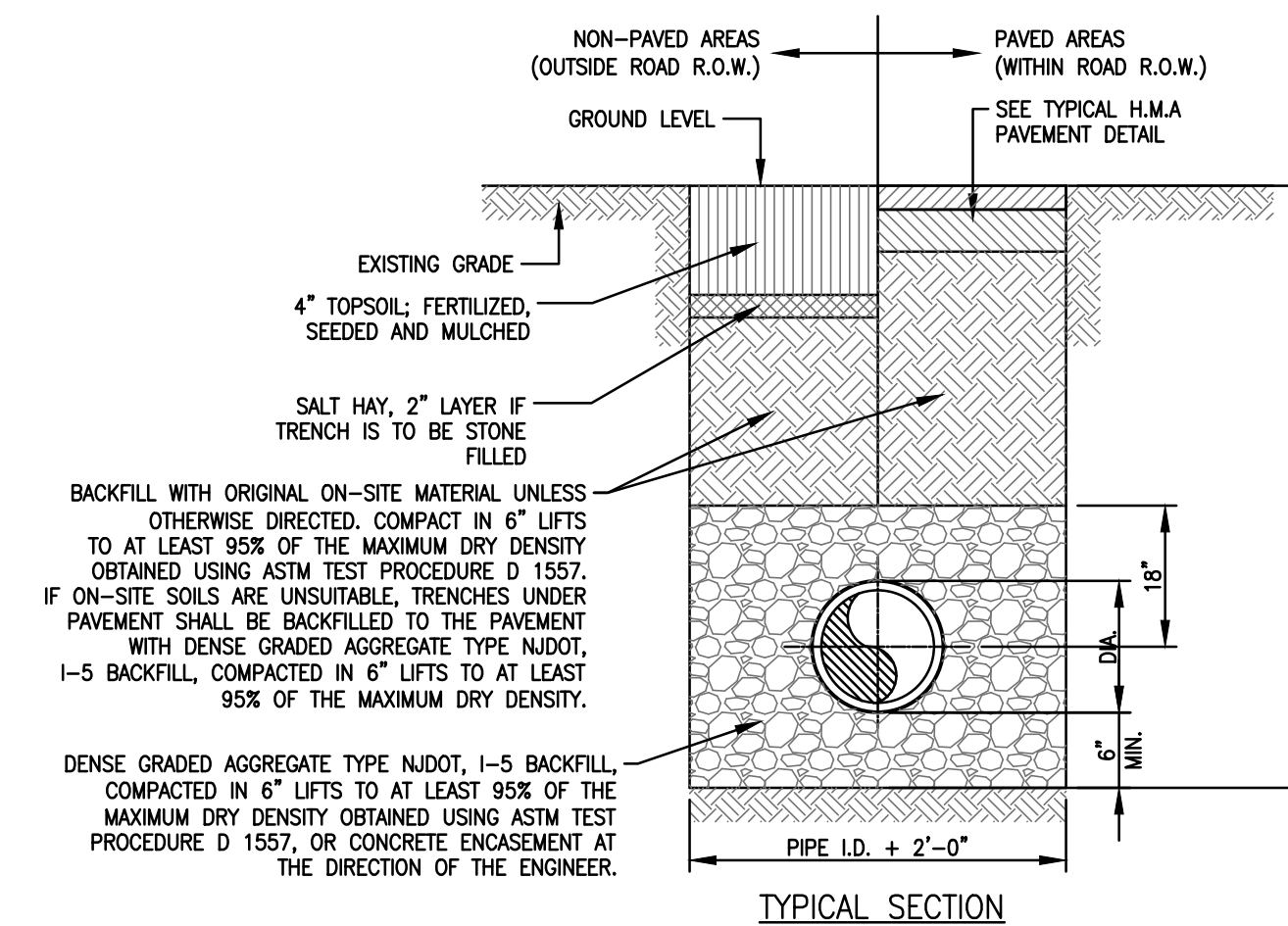
SANITARY CLEANOUT DETAIL
N.T.S.



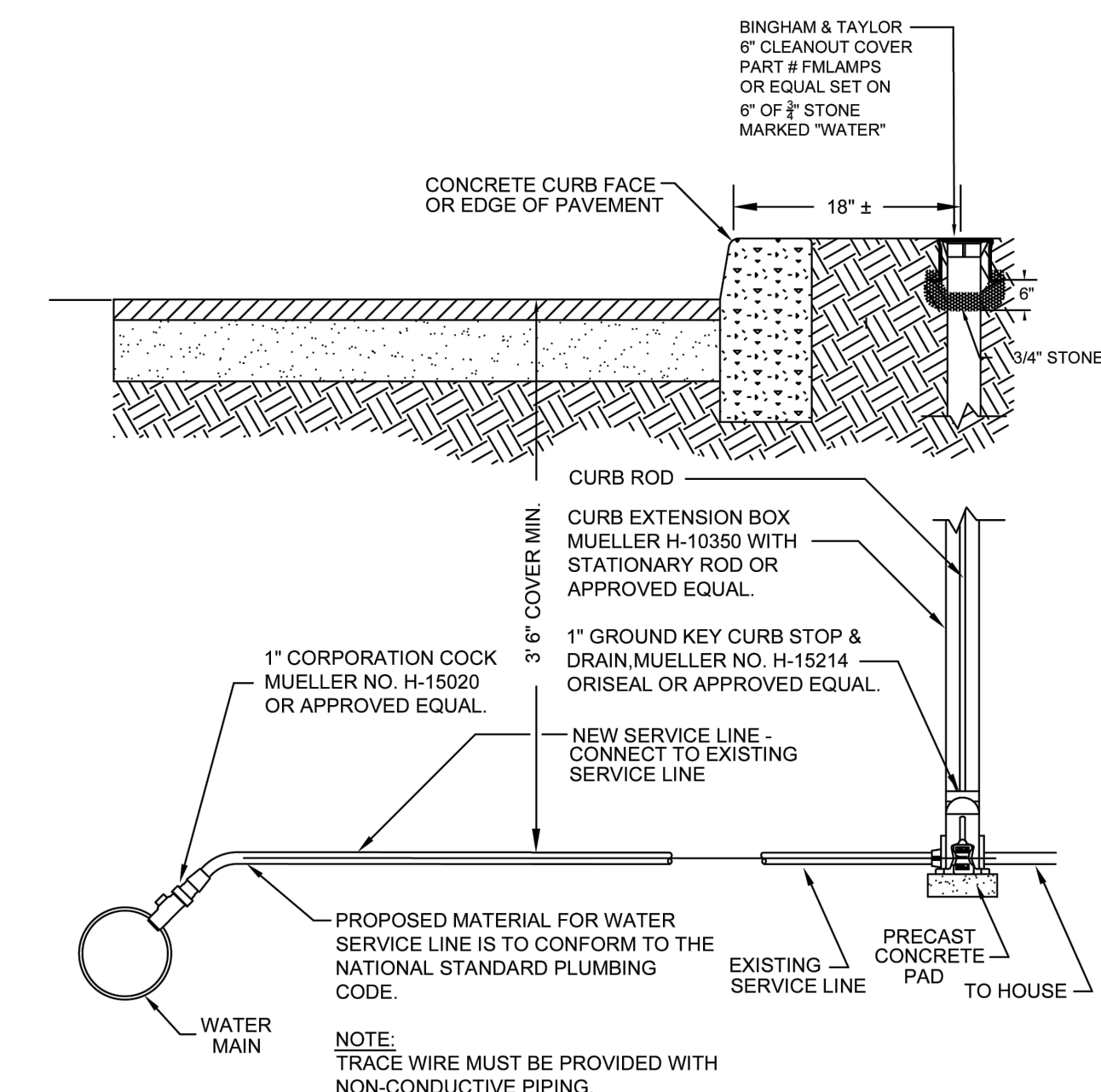
SANITARY HOUSE LATERAL TO SEPTIC SYSTEM
N.T.S.



CLEAN-OUT CASTING DETAIL
N.T.S.



PVC SANITARY SEWER TRENCH DETAIL
N.T.S.



TYPICAL WATER SERVICE CONNECTION DETAIL
N.T.S.

REVISIONS	
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THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ENGINEER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR. CHANGES TO THE PLANS BY THE OWNER AND THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. THE CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.

CONSTRUCTION DETAILS - 1

**32 NORTH PEAK STREET
BLOCK 35, LOTS 8 & 9**

**SITUATED IN
BOROUGH OF HIGHLANDS
MONMOUTH COUNTY, NEW JERSEY**

GROTTO ENGINEERING ASSOCIATES, LLC
ENGINEERS • PLANNERS • SURVEYORS
Certificate of Authorization No. 24GA27918300
77 BRANT AVENUE - SUITE 105
CLARK, NEW JERSEY 07066
908-272-8901 (F) 908-272-8902

FRANK W. FARRELL PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE51556

DATE: 04-05-2024 | SCALE: | DRAWN: AJC | CHECKED: FWF | SHEET: 8 OF 8 | JOB: PR-0290

G:\Credits Projects\PR-0290 - 32 North Peak St., Highlands (Charles Farouch) PLOT PLAN\PR-0290 - 32 North Peak St., Highlands (Charles Farouch) - 8.22.24.dwg 8/22/24