



Borough of Highlands
 151 Navesink Ave.
 Highlands, NJ 07732
 (732) 872-1224
 www.highlandsborough.org

LAND USE BOARD APPLICATION

FOR OFFICIAL USE	ck xxx 9857	MP	
Date Rec'd: <u>8/21/2024</u>	Application #: <u>LB24-05</u>	Fee: <u>\$350</u>	Escrow: <u>\$750</u>

1. APPLICANT

Name: Ms. Suzanne McGhee
 Address: 43 Gravelly Point Road
 City: Highlands State: NJ Zip: 07732
 Phone: 917.656.5298
 Email: sue@mesuey.com
 Relation to property: Owner

2. OWNER

Name: Ms. Suzanne McGhee
 Address: 43 Gravelly Point Road
 City: Highlands State: NJ Zip: 07732
 Phone: 917.656.5298
 Email: sue@mesuey.com

3. TYPE OF APPLICATION (Check all that apply)

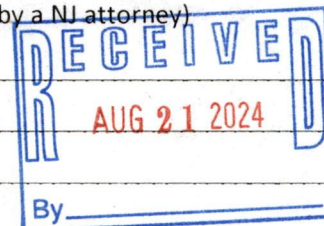
- | | |
|---|--|
| <input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Major Subdivision – Preliminary
<input type="checkbox"/> Major Subdivision – Final
<input type="checkbox"/> Minor Site Plan
<input type="checkbox"/> Major Site Plan – Preliminary
<input type="checkbox"/> Major Site Plan – Final
<input checked="" type="checkbox"/> Variance
<input type="checkbox"/> Use Variance | <input type="checkbox"/> Appeal – Zoning Denial date _____
<input type="checkbox"/> Appeal – Land Use Decision date _____
<input type="checkbox"/> Informal Concept Plan Review
<input type="checkbox"/> Extension of Approval
<input type="checkbox"/> Revision/Resubmission of Prior Application
<input type="checkbox"/> Other _____ |
|---|--|

4. PROPERTY INFORMATION

Block 100 Lot(s) 26.43 Address: 43 Gravelly Point Road
 Lot size 1347.5 # of Existing Lots 1 # of Proposed Lots 1
 Zone Res Are there existing Deed Restrictions or Easements? No Yes – Please attach copies
 Has the property been subdivided? No Yes If yes, when? _____
 Attach copies of approved map or approved resolution
 Property taxes paid through current Sewer paid through current

5. ATTORNEY (A corporation, LLC, Limited Partnership, or S-Corp **must** be represented by a NJ attorney)

Name: n/a
 Address: _____
 Phone: _____ Email: _____





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6. APPLICANT'S OTHER PROFESSIONAL(S) – Engineer, Planner, Architect, etc.

Name: The Elevated Studio - Brian Baer ra
Address: 369 Main Street; #1121
Beacon, NY 12508
Phone: 646-759-7513
Email: brianbaer@theelevatedstudio.org

Name: _____
Address: _____

Phone: _____
Email: _____

7. LAND USE

A. PROPERTY HISTORY –Describe in detail, nature of prior use(s) on the site, start date of such use, any prior Land Use Board applications for this site (attach copy of resolution, if applicable), history of current ownership, etc.

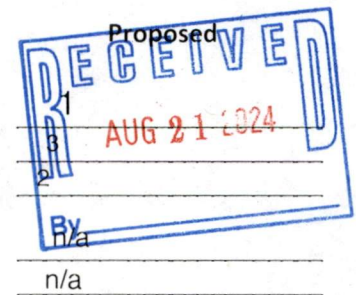
Single family, single story residential. Existing residence has already been demolished.

B. PROPOSED PLAN –Describe in detail, proposed use for property, including, but not limited to: 1) portion to be subdivided; 2) sell lot only; 3) construct house(s) for sale; 4) how trash will be disposed; 5) landscaping; 6) hours of operation; 7) type of goods/services; 8) fire lane. Attach additional sheets if necessary.

Construct a single family, two story residence for private use.

C. ADDITIONAL INFORMATION:

		Existing
Residential:	How many dwelling units?	<u>1</u>
	How many bedrooms in each unit?	<u>1</u>
	How many on-site parking spaces?	<u>2</u>
Commercial:	How many commercial uses on site?	<u>n/a</u>
	How many on-site parking spaces?	<u>n/a</u>





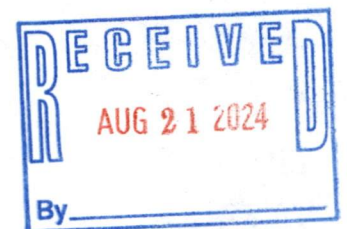
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8. VARIANCE REQUESTS Complete section(s) related to the relief being requested.

	Req'd	Exist.	Prop'd
Minimum Lot Requirements			
Lot Area			
Frontage			
Lot Depth			
Minimum Yard Requirements			
Front Yard Setback			
2 nd Front Yard Setback			
Rear Yard Setback			
Side Yard Setback, right			
Side Yard Setback, left			
Building Height	20'	18'	28.85'

	Req'd	Exist.	Prop'd
Accessory Structures			
Fence/Wall Height			
Garage/Shed Height			
Garage/Shed Area			
Pool Setback			
Parking Requirements			
On-site Parking Spaces			
Other (please add)			

9. OTHER RELIEF REQUESTED Please specify relief(s) and explain below.





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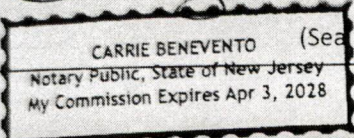
10. NOTARIZED SIGNATURE OF APPLICANT

I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual Applicant, or that I am an Officer of the Applicant authorized to sign the application for the business organization. Additionally, I certify that the survey or plans submitted with this application shows and discloses the premises in its entirety, and I further certify that no buildings, fences, or other facilities have been constructed, installed, or otherwise located on the premises after the date of the survey with the exception of the structures shown.

SWORN & SUBSCRIBED to before me this
08 day of August 2024 (year)
[Signature] (notary)

[Signature] Signature
8/8/2024 Date

Suzanne Jayne McGhee
Print Full Name



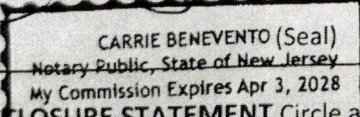
11. NOTARIZED CONSENT OF OWNER

I certify that I am the Owner of the property which is the subject of this application, hereby consent to the making of this application and approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency (if owned by a corporation, a resolution must be attached authorizing the application and officer signature).

SWORN & SUBSCRIBED to before me this
08 day of August 2024 (year)
[Signature] (notary)

[Signature] Signature
8/8/2024 Date

Suzanne Jayne McGhee
Print Full Name

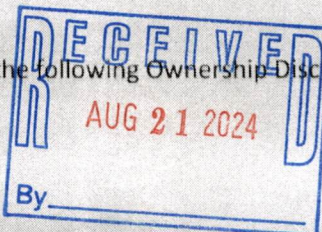


12A. DISCLOSURE STATEMENT Circle all that apply.

Pursuant to N.J.S.A. 40:55D-48.1 & 48.2, please answer the following questions:

- Is this application to subdivide a parcel of land into six (6) or more lots? Yes No
- Is this application to construct a multiple dwelling of 25 or more units? Yes No
- Is this an application for approval of a site(s) for non-residential purposes? Yes No
- Is this Applicant a corporation? Yes No
- Is the Applicant a limited liability corporation? Yes No
- Is the Applicant a partnership? Yes No

If you circled **YES** to any of the above, please complete the following Ownership Disclosure Statement (use additional sheets if necessary).



landuse@highlandsborough.org | 4



Borough of Highlands

151 Navesink Ave
Highlands, NJ 07732
Phone: (732) 872-1224

Control #: Z-0087
Date Issued: 7/17/2024

DENIAL OF ZONING PERMIT IDENTIFICATION

Work Site Location:	<u>43 GRAVELLY POINT ROAD</u>	Block:	<u>100</u>	Lot:	<u>26.43</u>	Zone:	<u>R203</u>
Owner in Fee:	<u>MCGHEE, SUZANNE JAYNE</u>	Contractor/Agent:	_____				
Address:	<u>15 WEST 72ND ST. APT 125</u>	Address:	_____				
	<u>NEW YORK NY 10023</u>	Telephone:	_____				
Telephone:	_____	Contractor License No:	_____				

For the project/work located at the above address, your application for a permit to:

Demolish existing one-story, single family dwelling and construct a new single family, two-story dwelling

has been denied for noncompliance with provisions of Sections: of the Municipal Zoning Ordinance for the following reasons:

D(6) Height variance approval is required from the Land Use Board for the proposed dwelling height of 25.85 feet, where 20 feet is permitted.

Building Height - The vertical distance as measured from the grade plane to the average height of the highest roof surface. In the case of sloped roofs, the average height is the mid-point between the lowest roof eave of the top floor and the roof ridge. In the case of a building that has multiple roof levels, the highest roof levels must be used to determine the building height.

Highest roof ridge measured from DFE is 28.70'
Lowest roof eave measured from DFE is 23.0'

$$28.70 + 23.0 = 51.70$$
$$51.70 / 2 = 25.85'$$

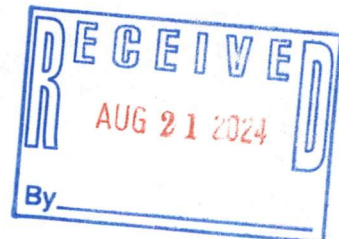
Information on procedures for an appeal of this decision to the Land Use Board can be obtained from the Secretary of the Land Use Board. It should be noted that under State Statute, notice of appeal of this decision must be filed with this office not later than (20) days from the date of this notice. You can also file for a variance to the Land Use Board and can obtain from the Secretary of the Land Use Board the required forms.

The permit which you submitted has been placed in the inactive files in the Zoning Department. Please contact this office to reactivate the permit.

Denied by:

Zoning

Zoning,



Deed

This Deed is made on February 15th, 2022 and delivered on February _____, 2022
BETWEEN
Veronica Alverson, unmarried

whose post office address
43 Gravelly Point Road
Highlands, New Jersey 07732

referred to as the Grantor,
AND
Suzanne Jayne McGhee

CERTIFIED TRUE COPY

whose post office address is:
about to become
43 Gravelly Point Road
Highlands, New Jersey 07732

referred to as the Grantee.

The words "Grantor" and "Grantee" shall mean all Grantors and all Grantees listed above.

1. **Transfer of Ownership.** The Grantor grants and conveys (transfers ownership of) the property (called the "Property") described below to the Grantee. This transfer is made for the sum of \$ 335,000.00, **Three Hundred Thirty-five Thousand Dollars and No Cents.**

The Grantor acknowledges receipt of this money.

2. **Tax Map Reference.** (N.J.S.A. 46:26A-3) Municipality of **Highlands** Block No. **100** Lot No. **26.43**
Qualifier No. **C1205** and Account No.

No property tax identification number is available on the date of this Deed. (Check box if applicable)

3. **Property.** The Property consists of the land and all the building and structures on the land in the **Borough** of **Highlands** County of **Monmouth** and State of New Jersey.

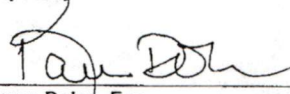
The legal description is:

Please see attached Legal Description annexed hereto and made part hereof. (Check box if applicable)

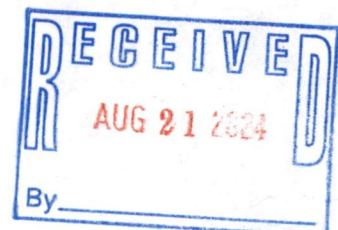
Veronica Alverson by Deed from Veronica Alverson, Executrix of the Estate of Ann Veronica Denisco, dated October 13, 2017 and recorded November 2, 2017 in the Monmouth County Clerk's Office in Deed Book 9257 at Page 3446.

Prepared by:

(For Recorders Use Only)



Karen Dolan, Esq.



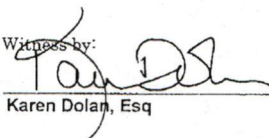
The street address of the Property is:

43 Gravelly Point Road
Highlands, New Jersey 07732


4. **Promises by Grantor.** The Grantor promises that the Grantor has done no act to encumber the Property. This promise is called a "covenant as to grantor's acts" (N.J.S.A. 46:4-6). This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the Property (such as by making a mortgage or allowing a judgment to be entered against the Grantor).

5. **Signatures.** The Grantor signs this Deed as of the date at the top of the first page. (Print name below each signature.)

Witness by:



Karen Dolan, Esq



Veronica Alverson (Seal)

STATE OF NEW JERSEY, COUNTY OF MONMOUTH

SS:


I CERTIFY that on February 15th, 2022

Veronica Alverson personally came before me and stated to my satisfaction that this person (or if more than one, each person):

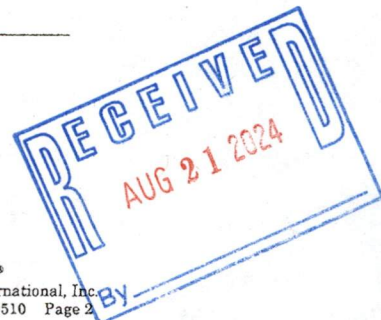
- (a) was the maker of this Deed; and,
- (b) executed this Deed as his or her own act; and
- (c) made this Deed for \$335,000.00 as the full and actual consideration paid or to be paid for the transfer of title. (Such consideration is defined in N.J.S.A. 46:15-5.)

RECORD AND RETURN TO

Paolo Bruno, Esq.
Bruno Law Group, LLC
139 Lakeview Avenue
Clifton, New Jersey 07011



Karen Dolan, Esq.
Attorney at Law State of New Jersey



State of New Jersey
Seller's Residency Certification/Exemption

SELLER'S INFORMATION

Name(s)
VERONICA ALVERSON
Current Street Address
57 GRAVELLY POINT ROAD
City, Town, Post Office Box
HIGHLANDS State NJ Zip Code 07732

PROPERTY INFORMATION

Block(s) Lot(s) Qualifier
100 26.43
Street Address
43 GRAVELLY POINT DRIVE
City, Town, Post Office Box
HIGHLANDS State NJ Zip Code 07732
Seller's Percentage of Ownership Total Consideration Owner's Share of Consideration Closing Date
100% \$ 335,000.00 \$ 335,000.00

SELLER'S ASSURANCES (Check the Appropriate Box) (Boxes 2 through 14 apply to Residents and Nonresidents)

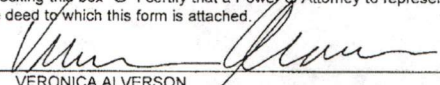
1. Seller is a resident taxpayer (individual, estate, or trust) of the State of New Jersey pursuant to the New Jersey Gross Income Tax Act, will file a resident gross income tax return, and will pay any applicable taxes on any gain or income from the disposition of this property.
2. The real property sold or transferred is used exclusively as a principal residence as defined in 26 U.S. Code section 121.
3. Seller is a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
4. Seller, transferor, or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
5. Seller is not an individual, estate, or trust and is not required to make an estimated gross income tax payment.
6. The total consideration for the property is \$1,000 or less so the seller is not required to make an estimated income tax payment.
7. The gain from the sale is not recognized for federal income tax purposes under 26 U.S. Code section 721, 1031, or 1033 (CIRCLE THE APPLICABLE SECTION). If the indicated section does not ultimately apply to this transaction, the seller acknowledges the obligation to file a New Jersey income tax return for the year of the sale and report the recognized gain.
 Seller did not receive non-like kind property.
8. The real property is being transferred by an executor or administrator of a decedent to a devisee or heir to effect distribution of the decedent's estate in accordance with the provisions of the decedent's will or the intestate laws of this State.
9. The real property being sold is subject to a short sale instituted by the mortgagee, whereby the seller agreed not to receive any proceeds from the sale and the mortgagee will receive all proceeds paying off an agreed amount of the mortgage.
10. The deed is dated prior to August 1, 2004, and was not previously recorded.
11. The real property is being transferred under a relocation company transaction where a trustee of the relocation company buys the property from the seller and then sells the house to a third party buyer for the same price.
12. The real property is being transferred between spouses or incident to a divorce decree or property settlement agreement under 26 U.S. Code section 1041.
13. The property transferred is a cemetery plot.
14. The seller is not receiving net proceeds from the sale. Net proceeds from the sale means the net amount due to the seller on the settlement sheet.
15. The seller is a retirement trust that received an acknowledgment letter from the Internal Revenue Service that the seller is a retirement trust, and is therefore not required to make the estimated Gross Income Tax payment.
16. The seller (and/or spouse/civil union partner) originally purchased the property while a resident of New Jersey as a member of the U.S. Armed Forces and is now selling the property as a result of being deployed on active duty outside of New Jersey. (Only check this box if applicable and neither boxes 1 nor 2 apply.)

SELLER'S DECLARATION

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein may be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete. By checking this box I certify that a Power of Attorney to represent the seller(s) has been previously recorded or is being recorded simultaneously with the deed to which this form is attached.

2/15/2022

Date


VERONICA ALVERSON
(Seller) Please indicate if Power of Attorney or Attorney in Fact

(Seller) Please indicate if Power of Attorney or Attorney in Fact






Borough of Highlands Land Use Board
 151 Navesink Avenue
 Highlands, NJ 07732
 Phone: 732-872-1224
 Fax: 732-872-0670
 www.highlandsborough.org

Affidavit of Applicant

State of ~~New Jersey~~)
 New York) SS.
 County of ~~Monmouth~~)
 New York)

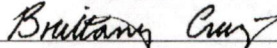
I, the undersigned, certify that all of the statements contained herein are true and correct to the best of my knowledge, information and belief.


 Applicant's Signature BRITTANY A CRUMP

Date 8/6/24

Sworn and subscribed
 before me this 6th
 day of August 2024

BRITTANY A CRUMP
 NOTARY PUBLIC, STATE OF NEW YORK
 Registration No. 01CR6435708
 Qualified in New York County
 Commission Expires July 05, 2026


 Signature of Notary

Authorization

(If anyone other than the owner is making this application, the following authorization must be completed.)

To the Land Use Board:

_____ is hereby authorized to make this application.

Date: _____

Signature of Owner: _____





Block/Lot/Qual:	100. 26.43	Tax Account Id:	1848
Property Location:	43 GRAVELLY POINT ROAD	Property Class:	2 - Residential
Owner Name/Address:	MCGHEE, SUZANNE JAYNE 15 WEST 72ND ST, APT 125 NEW YORK, NY 10023	Land Value:	258,500
		Improvement Value:	137,100
		Exempt Value:	0
		Total Assessed Value:	395,600
		Additional Lots:	None
Special Taxing Districts:		Deductions:	

Taxes **Utilities**

[Make a Payment](#)
 [View Tax Rates](#)
 [View Current Bill](#)
 [Project Interest](#)

Year	Due Date	Type	Billed	Balance	Interest	Total Due	Status
2025	02/01/2025	Tax	1,958.22	1,958.22	0.00	1,958.22	OPEN
2025	05/01/2025	Tax	1,958.22	1,958.22	0.00	1,958.22	OPEN
Total 2025			3,916.44	3,916.44	0.00	3,916.44	
2024	02/01/2024	Tax	1,774.81	0.00	0.00	0.00	PAID
2024	05/01/2024	Tax	1,774.81	0.00	0.00	0.00	PAID
2024	08/01/2024	Tax	2,141.63	0.00	0.00	0.00	PAID
2024	11/01/2024	Tax	2,141.63	2,141.63	0.00	2,141.63	OPEN
Total 2024			7,832.88	2,141.63	0.00	2,141.63	
2023	02/01/2023	Tax	1,573.85	0.00	0.00	0.00	PAID
2023	05/01/2023	Tax	1,573.84	0.00	0.00	0.00	PAID
2023	08/01/2023	Tax	1,975.77	0.00	0.00	0.00	PAID
2023	11/01/2023	Tax	1,975.77	0.00	0.00	0.00	PAID
Total 2023			7,099.23	0.00	0.00	0.00	

Last Payment: 08/02/24

[Return to Home](#)





Block/Lot/Qual:	100. 26.43	Tax Account Id:	1848
Property Location:	43 GRAVELLY POINT ROAD	Property Class:	2 - Residential
Owner Name/Address:	MCGHEE, SUZANNE JAYNE 15 WEST 72ND ST, APT 125 NEW YORK, NY 10023	Land Value:	258,500
		Improvement Value:	137,100
		Exempt Value:	0
		Total Assessed Value:	395,600
		Additional Lots:	None
Special Taxing Districts:		Deductions:	

Taxes **Utilities**

Click on the Utility Account Id to see more information or to make a payment.

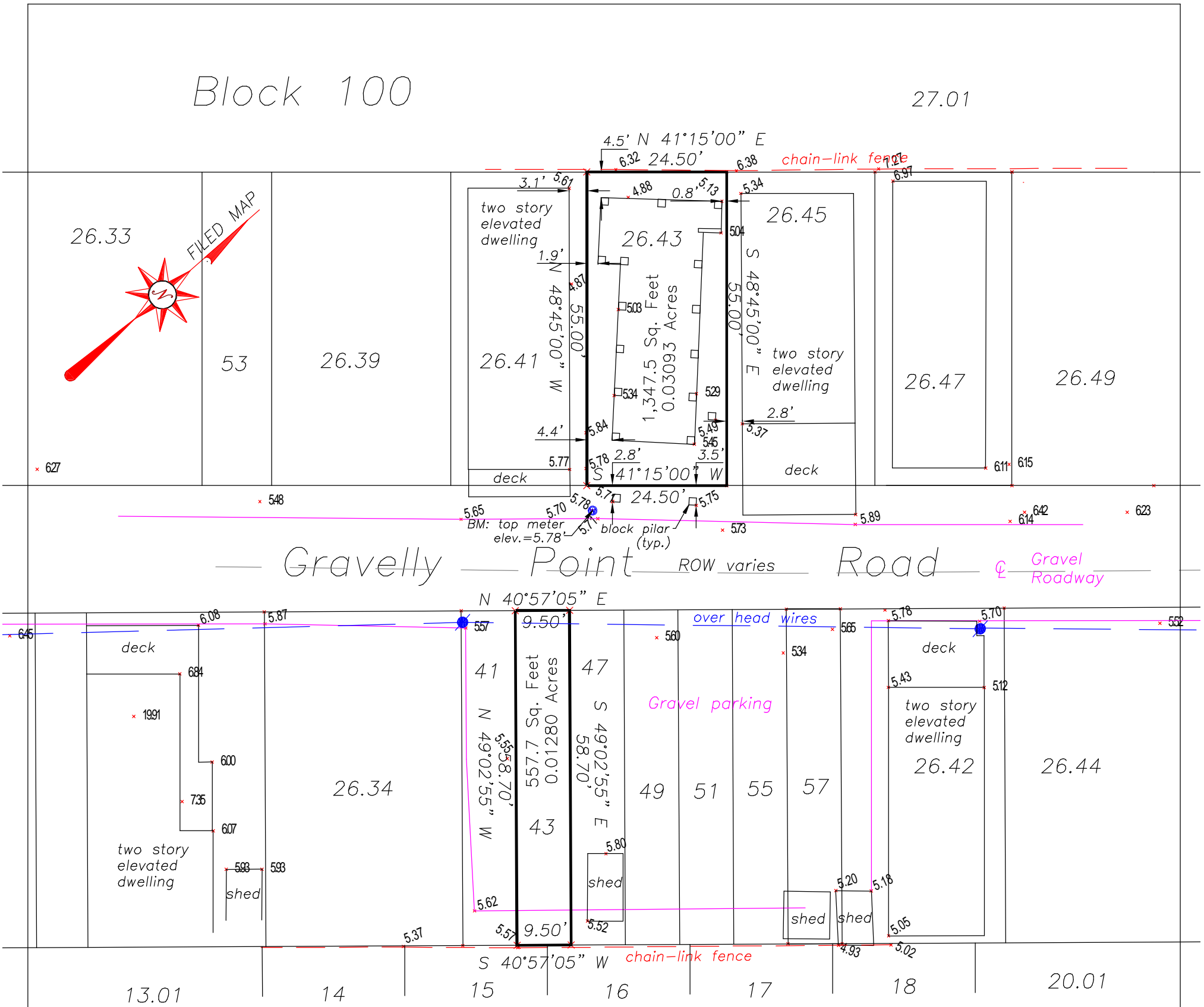
Account	Service	Due Date	Current Bill	Current Balance	Delinquent Balance	Interest	Total
13043-0	Sewer	08/31/2024	140.00	0.00	0.00	0.00	0.00
	Account Total		140.00	0.00	0.00	0.00	0.00

[Return to Home](#)

RECEIVED
AUG 21 2024
By _____

Block 100

27.01



Gravelly Point Road Gravel Roadway

NOTES:

Any Object beneath the surface of the Ground has not been located, and no Guarantee as to existence or location is expressed or implied.

THIS SURVEY HAS BEEN PREPARED WITHOUT A FULL TITLE SEARCH AND IS SUBJECT TO SUCH FACTS THAT MIGHT BE REVEALED BY SAID TITLE SEARCH.

BLOCK 100

LEGEND:
x 573 =spot elevations
● =utility pole

Elevations refer to NAVD-1988 datum. Local BM, top of WM, elev.= 5.78, where shown.

Property resides in the Flood Zone AE-11 Panel number 34025C0086G, effective 6/20/2018.

Not all of the interior block pillars shown were located.

LOCATION SURVEY FOR:
SUSAN McGHEE

Being Lot 43 as shown on the Filed map of Gravelly Point Beach, A Condominium. As shown on Exhibit C, Which is a Map entitled, Property situated in the Borough of Highlands, Monmouth County, New Jersey. Dated 15 February 1972, and revised 7 August 1972, Deed Book 3795 page 461. Together with an undivided 1.96078 % interest, as per Exhibit D in Deed Book 3795 page 494, in the common elements and the limited common elements appurtenant thereto as per the Master Deed dated August 15, and Recorded August 18, 1972. Also known as Lot 26.43 Block 100, as shown on the tax assessment map for the Borough of Highlands, Monmouth County, New Jersey. I hereby certify to the above mentioned owners, this survey has been accurately prepared with the best of my information, knowledge and belief. No apparent encroachments exist either way across property lines except as shown hereon.

R & T LAND SURVEYING
LAND SURVEYING * CONSTRUCTION LAYOUT * MAPPING
942 STATE HIGHWAY ROUTE 36, LEONARDO, NJ

JOB: 8455
SCALE: 1" = 20'
CAD: M-8455.dwg

RONALD L. TRINIDAD
LICENSED PROFESSIONAL LAND SURVEYOR
NJ LICENSE No. 24GS04337000

DATE: 5-29-24
DWG: B-2847

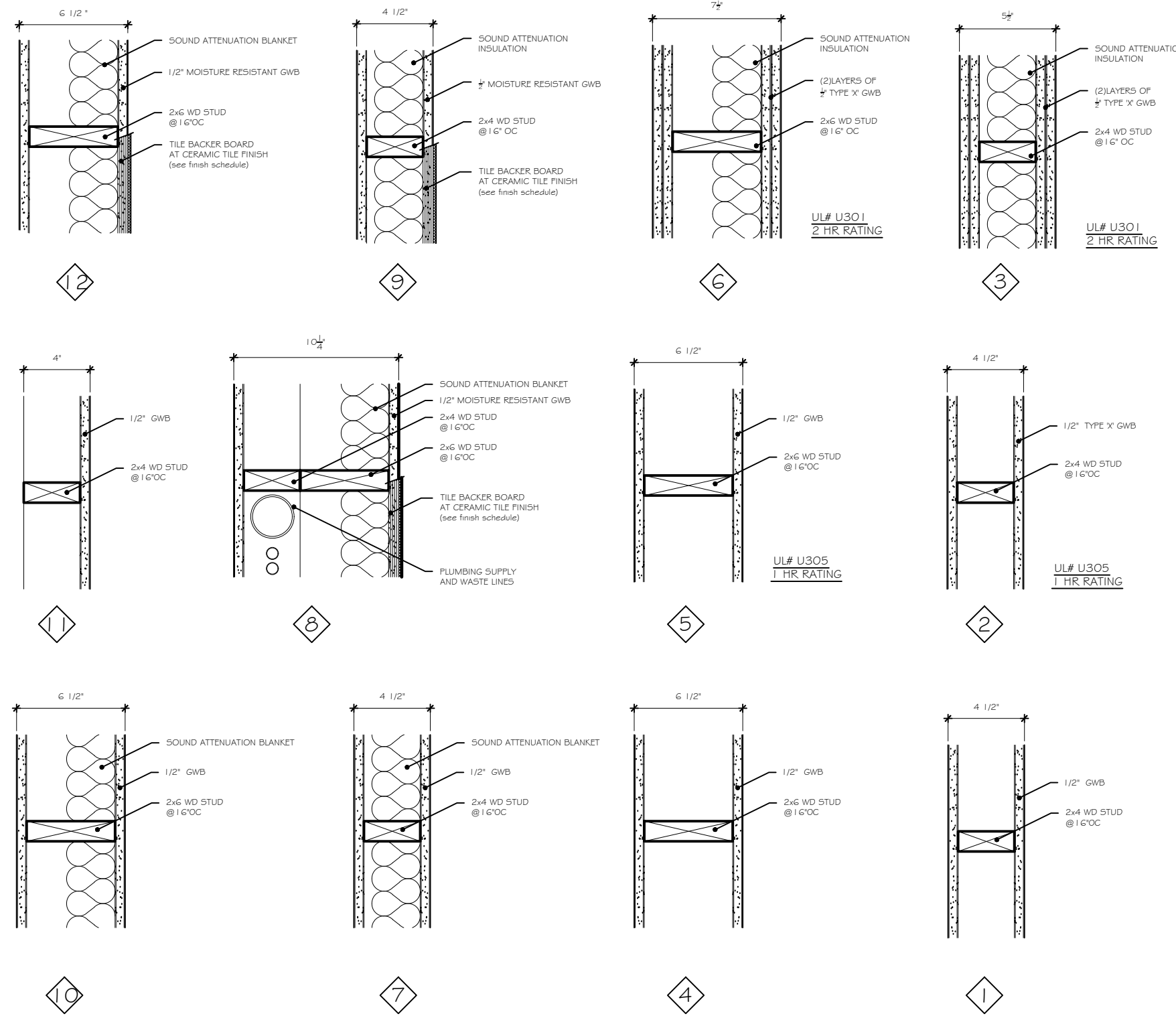
McGHEE RESIDENCE

43 Gravelly Point Road
Highlands, NJ

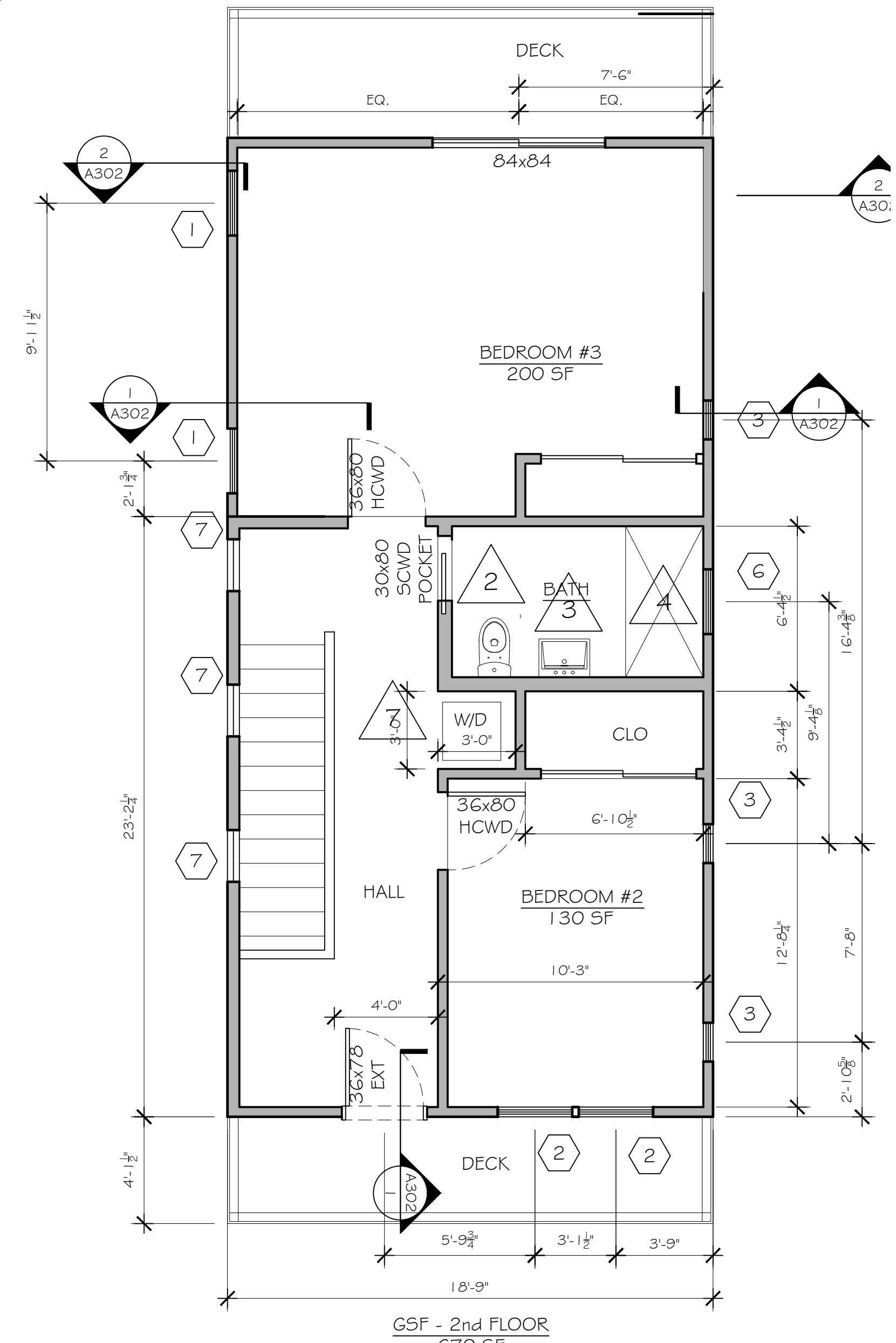
Renovations

ARCHITECT :

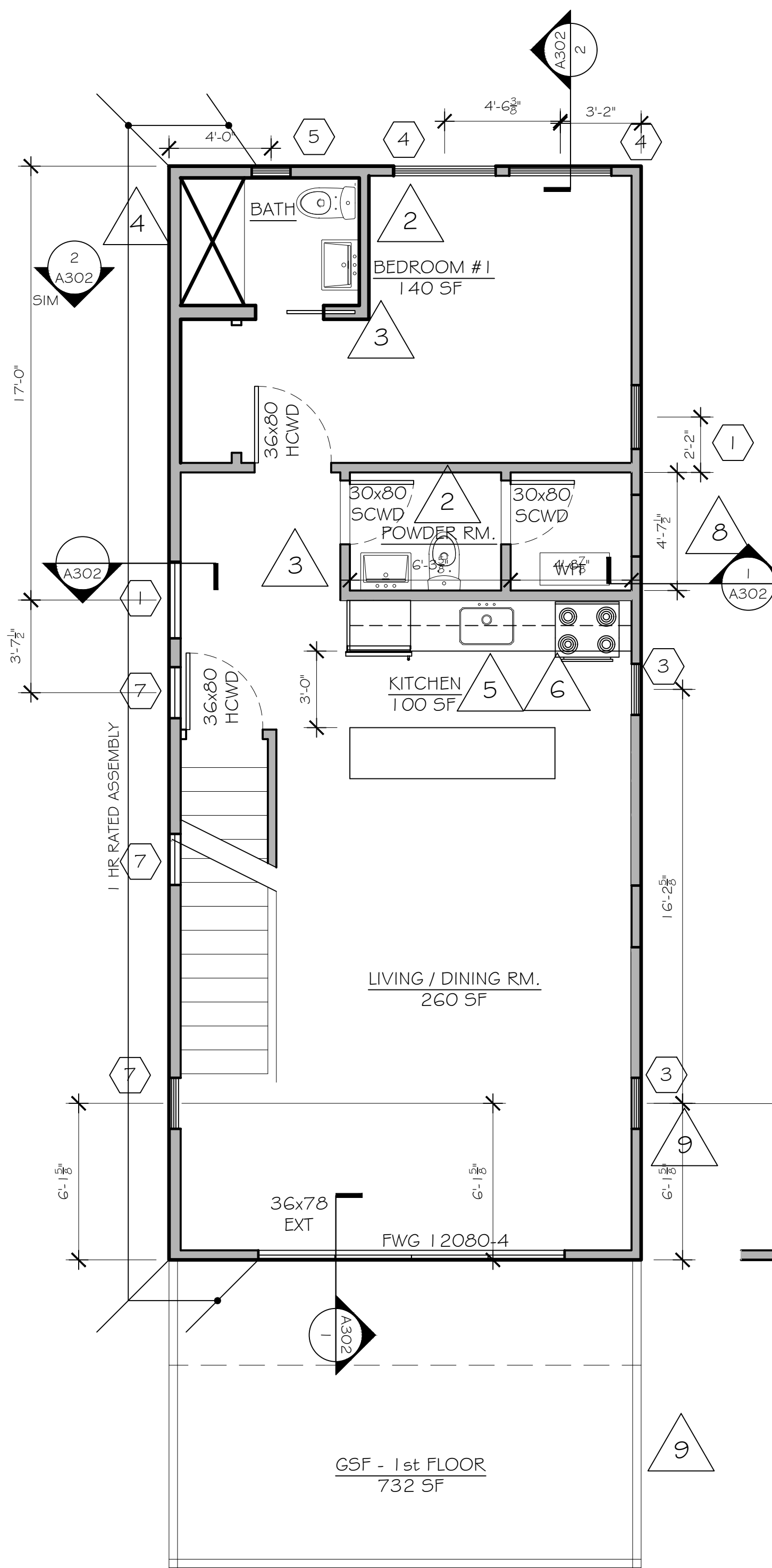
The Elevated Studio
359 Main Street, #1121
Beacon, NY 12508
646.759.7513 | info@theelevatedstudio.org



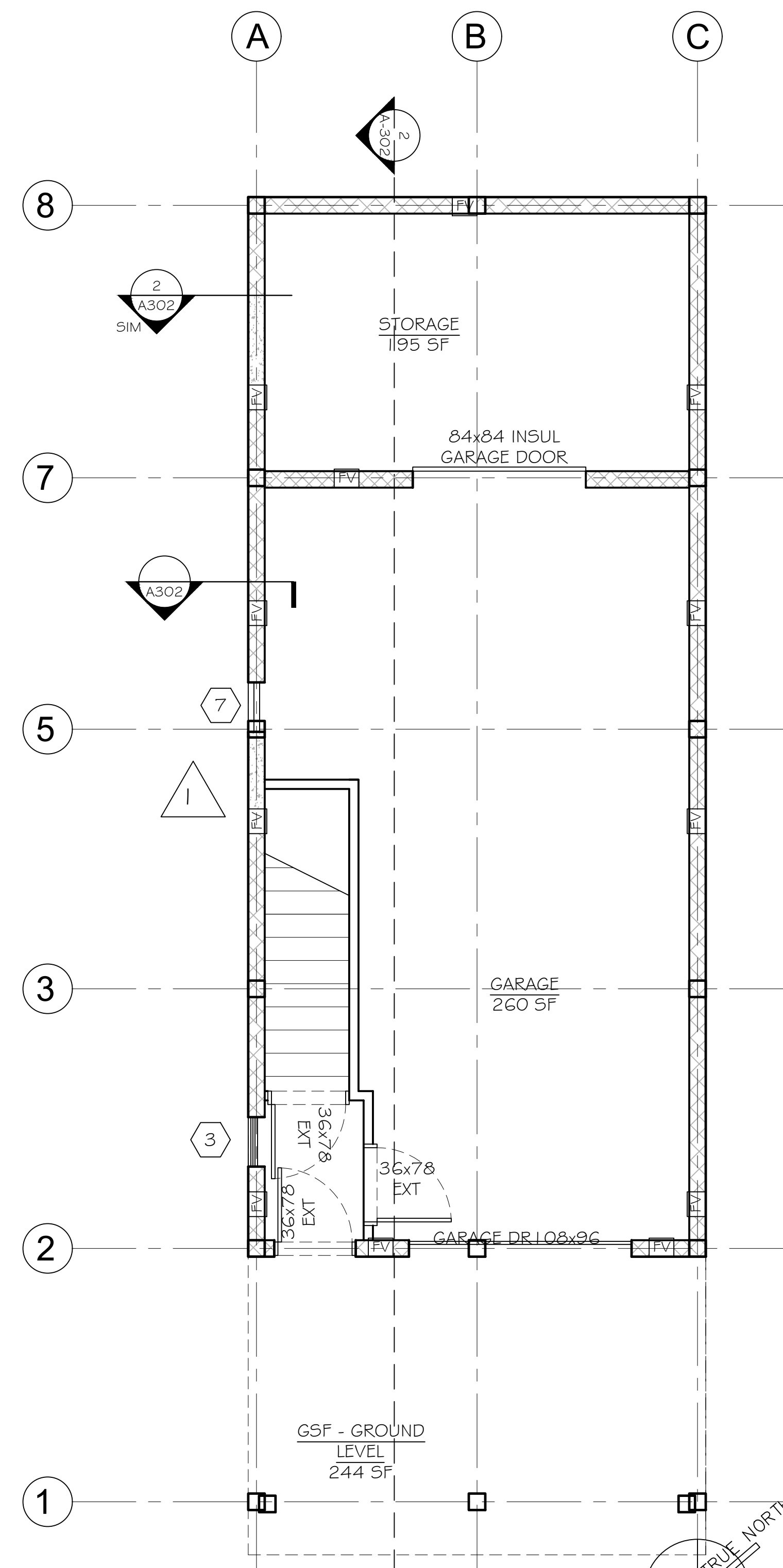
4 PARTITION TYPES
1/2" = 1' 0"



3 NEW UPPER LEVEL PLAN
1/4" = 1' 0"



2 NEW MAIN LEVEL PLAN
1/4" = 1' 0"



1 PROPOSED LOWER LEVEL
1/4" = 1' 0"

REVISIONS	
DATE	COMMENTS

DRAWING NAME
PROPOSED FLOOR PLANS

SIGN & SEAL	SCALE	AS NOTED
	DATE	2022.10.29
	PROJECT No.	4020-22
	DRAWN BY	CHECKED BY B.B.
	DRAWING X OF X	
DRAWING NUMBER		A-201.00

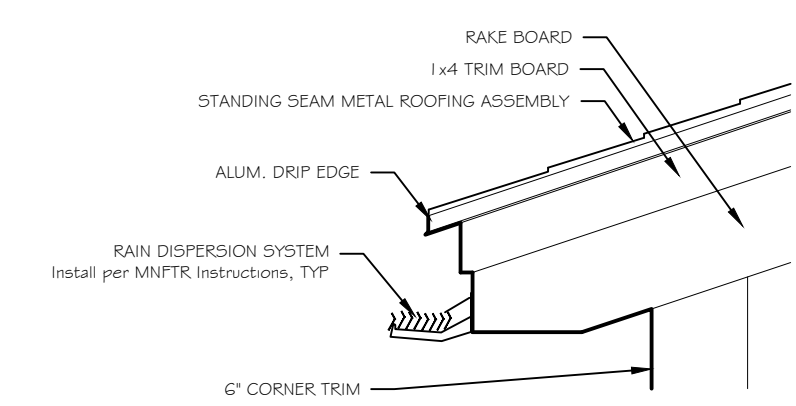
McGHEE RESIDENCE

43 Gravelly Point Road
Highlands, NJ

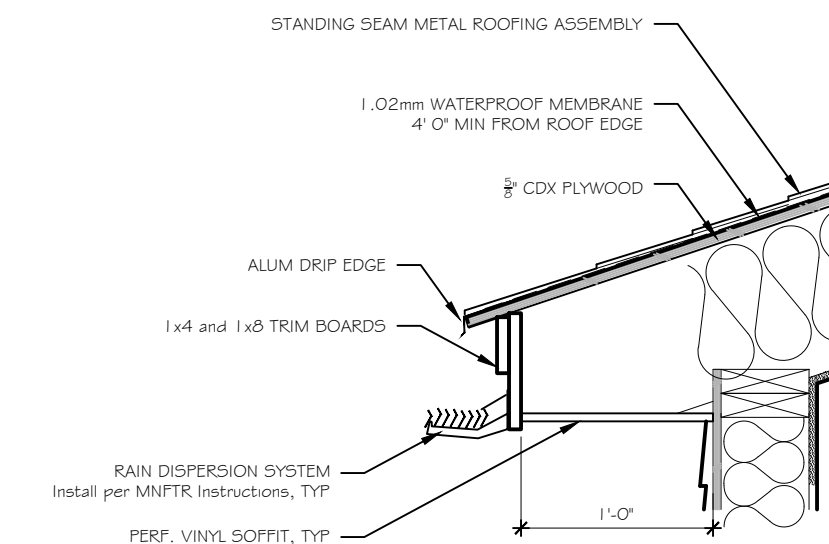
Renovations

ARCHITECT :

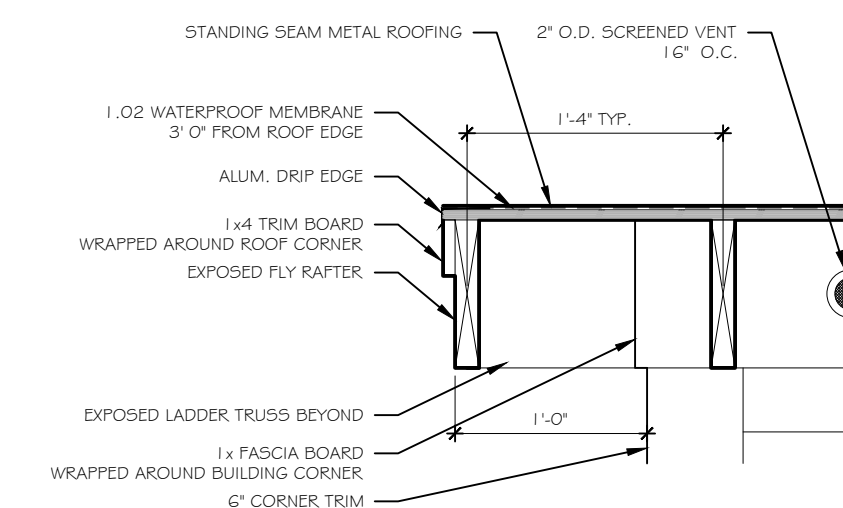
The Elevated Studio
359 Main Street, #1121
Beacon, NY 12508
646.759.7513 | info@theelevatedstudio.org



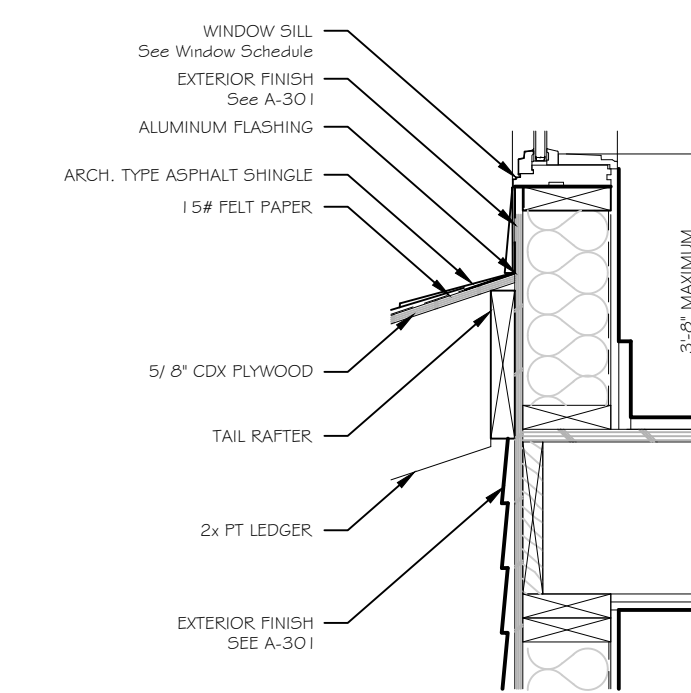
5 ROOF RAKE DETAIL
SCALE: 1" = 1'0"



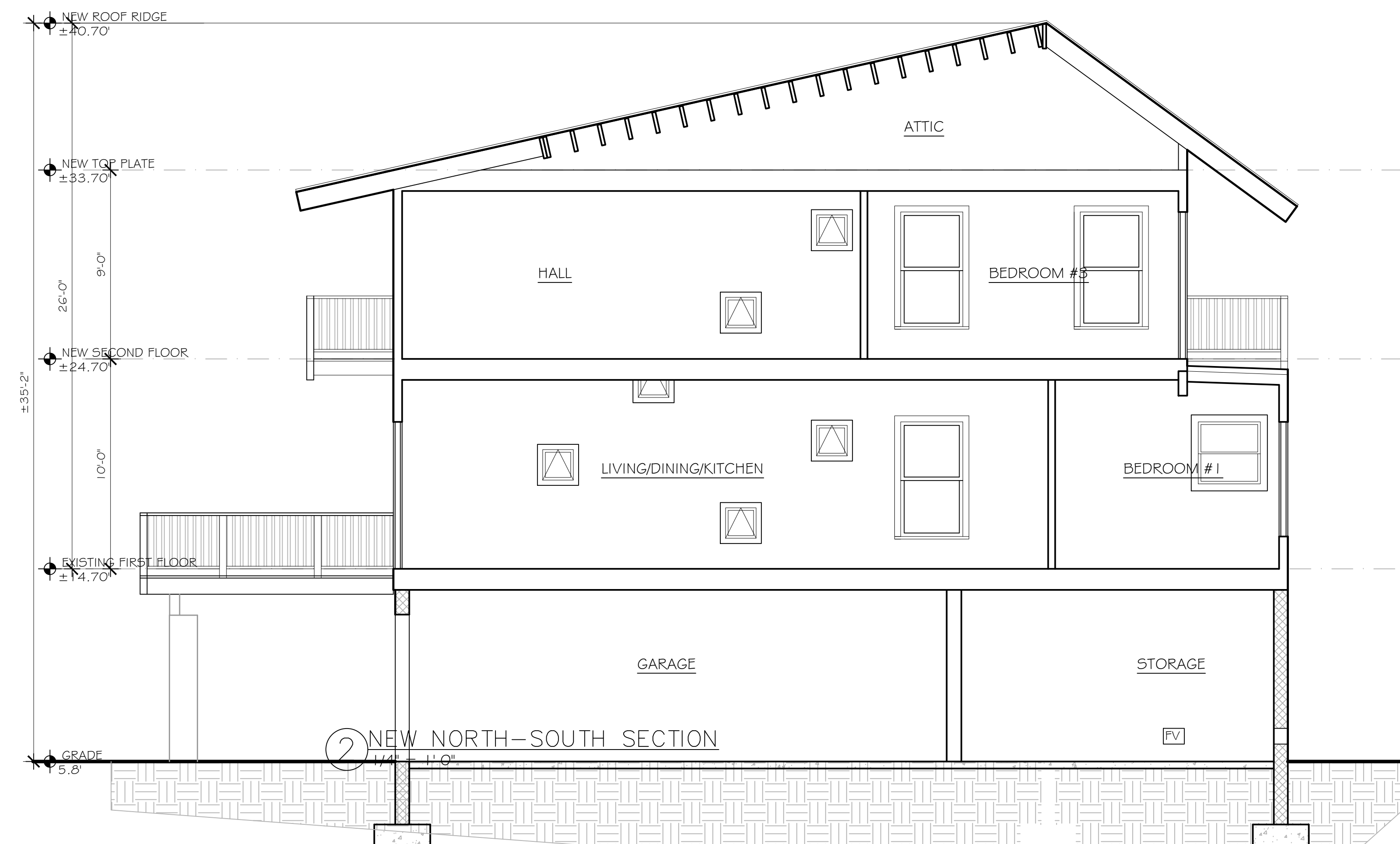
4 ROOF EDGE DETAIL
SCALE: 1" = 1'0"



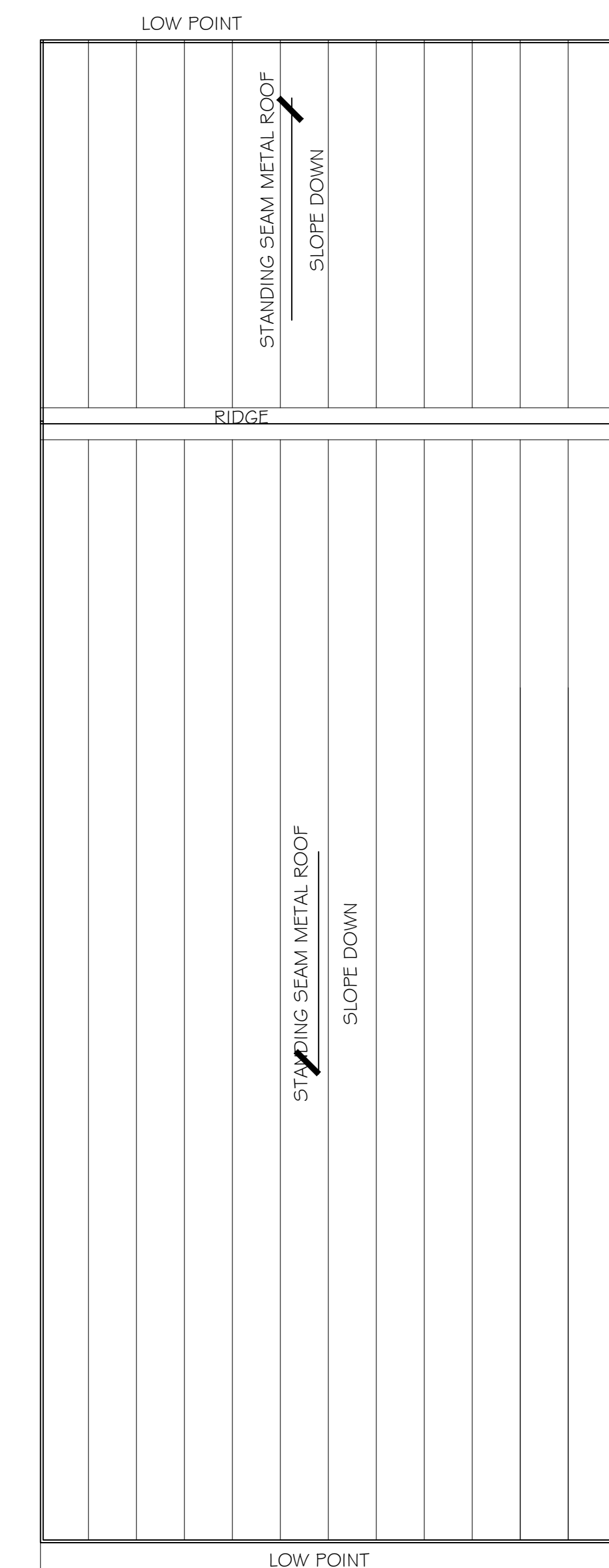
3 ROOF RAKE DETAIL
SCALE: 1" = 1'0"



2 ROOF LEDGER DETAIL
SCALE: 1" = 1'0"



6 PROPOSED BUILDING SECTION
1/4" = 1'0"



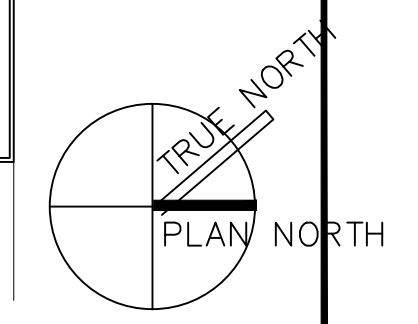
1 PROPOSED ROOF PLAN
1/4" = 1'0"

REVISIONS

DATE	COMMENTS

DRAWING NAME
PROPOSED ROOF PLAN & DETAILS

SIGN & SEAL		SCALE 3/16" = 1'0"
DATE		2018.10.08
PROJECT No.		46359
DRAWN BY Z.S.	CHECKED BY B.B.	
DRAWING X OF X		9 of 20
DRAWING NUMBER		A-203.00



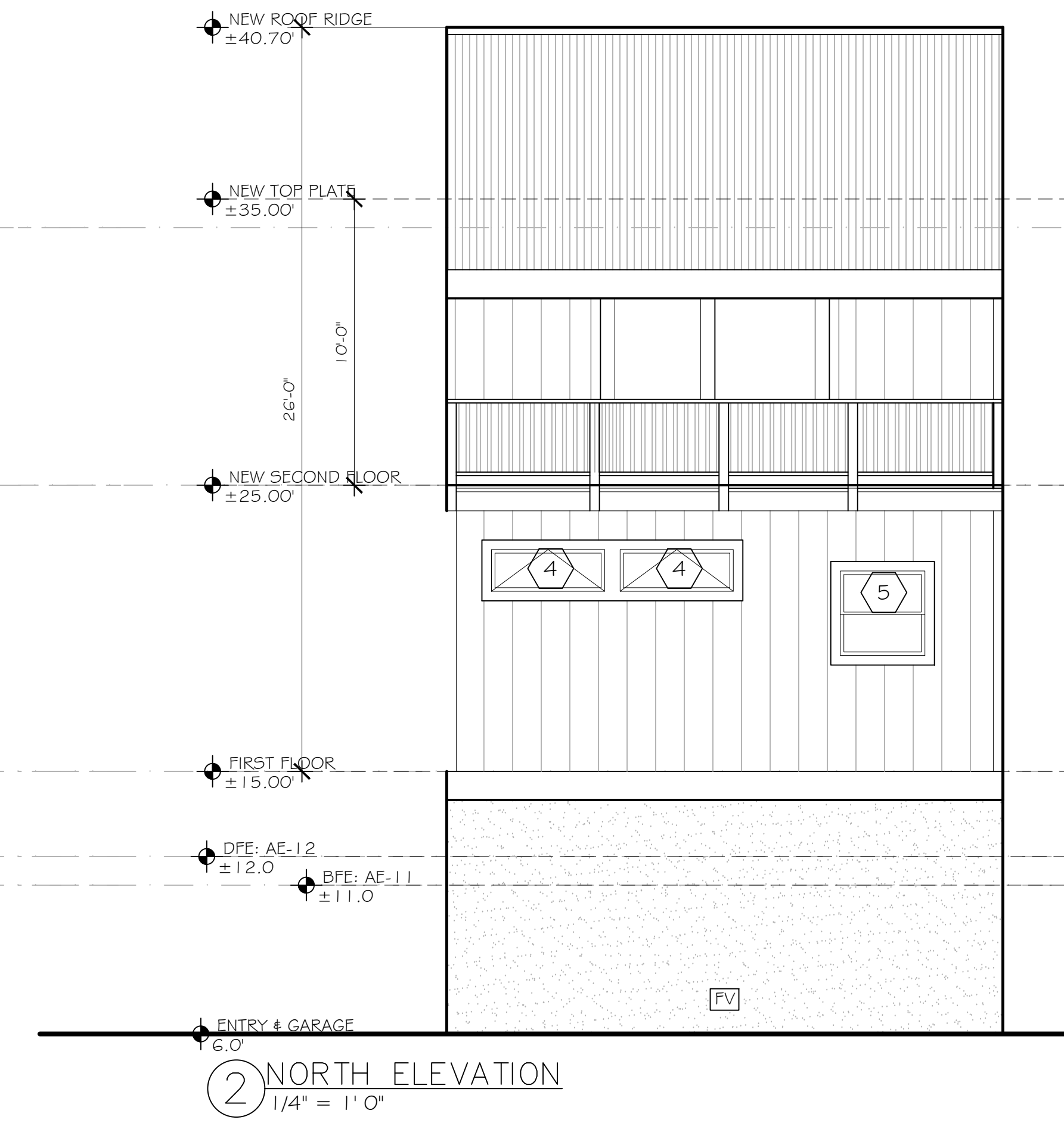
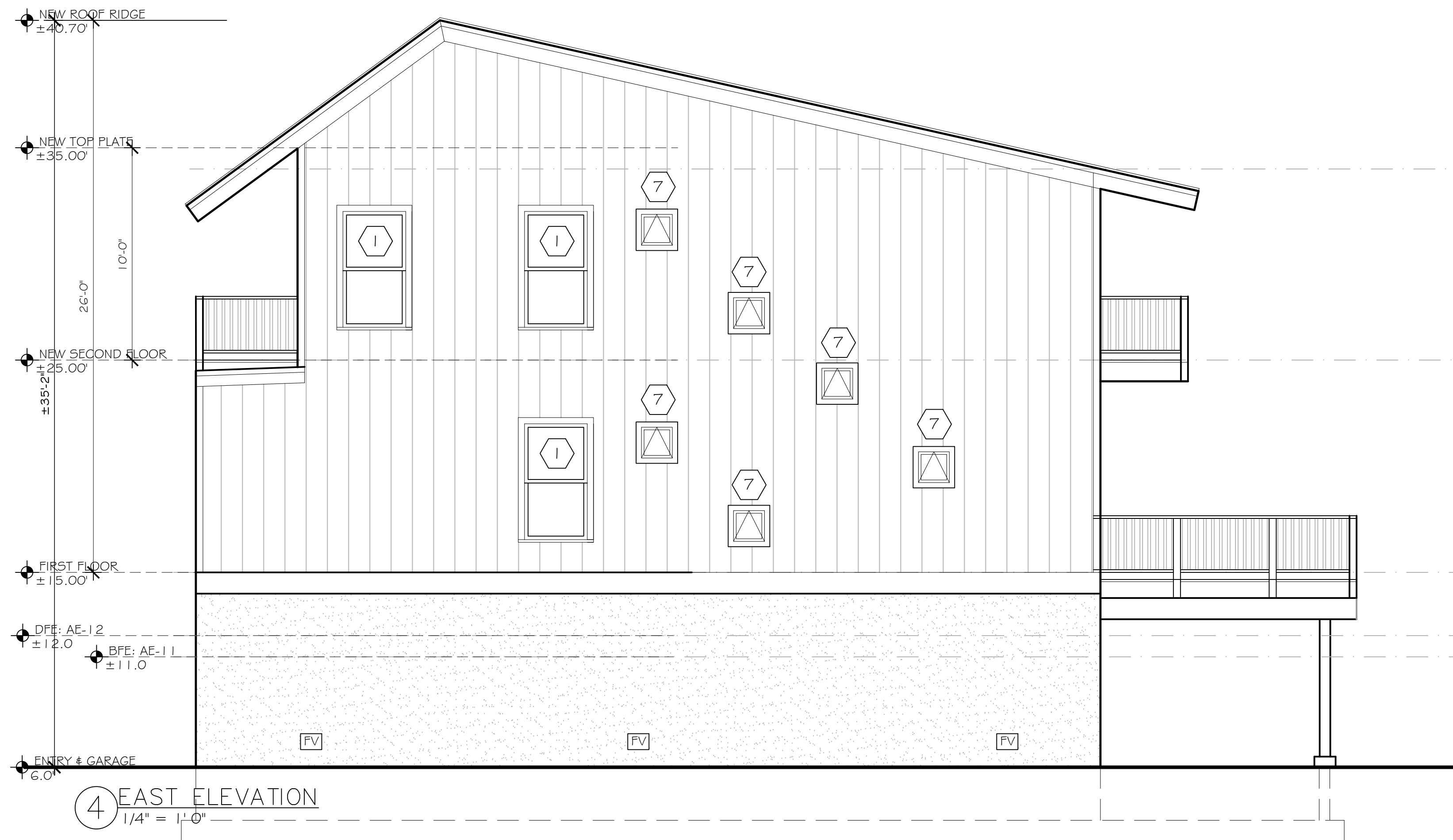
McGHEE RESIDENCE

43 Gravelly Point Road
Highlands, NJ

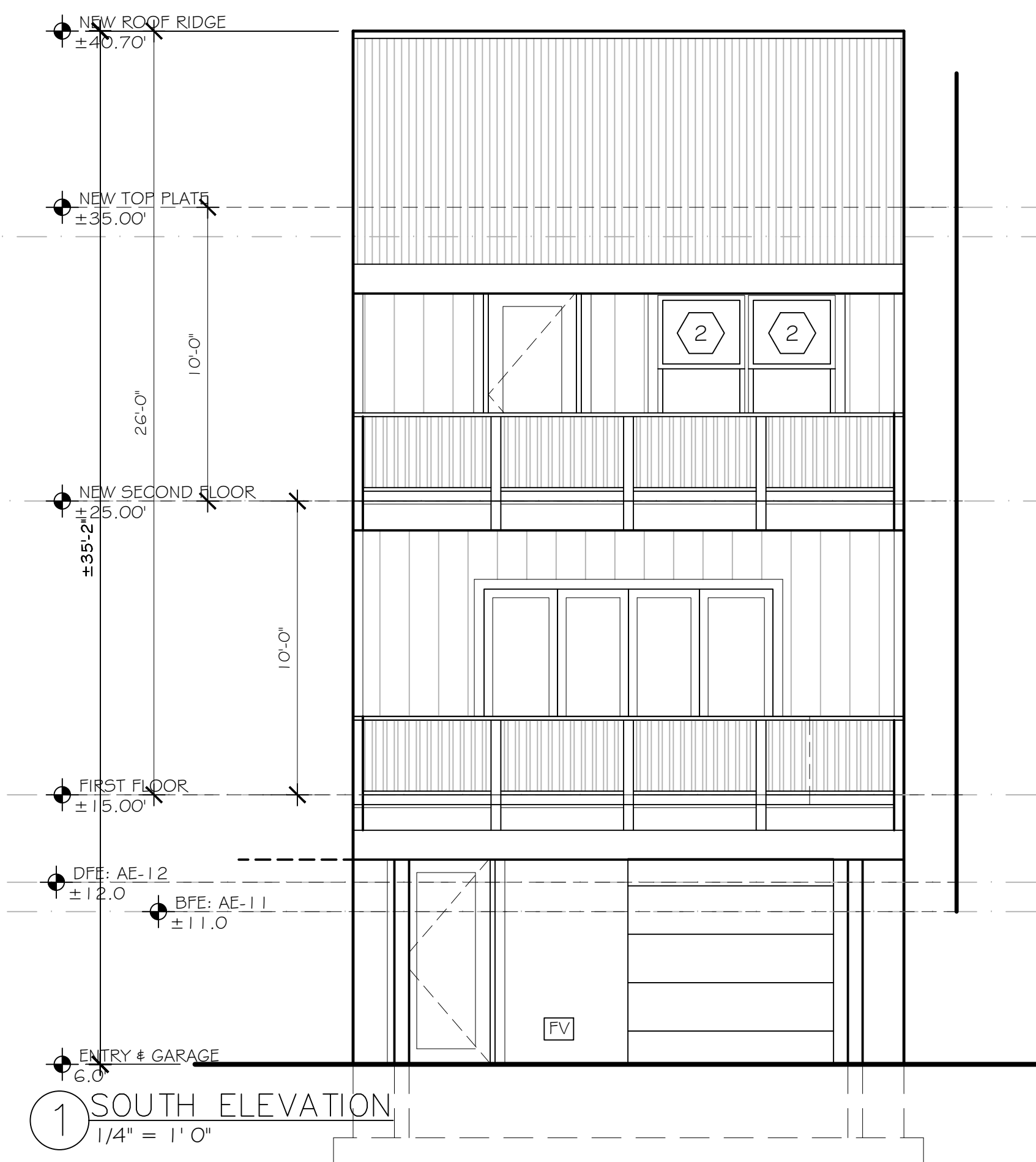
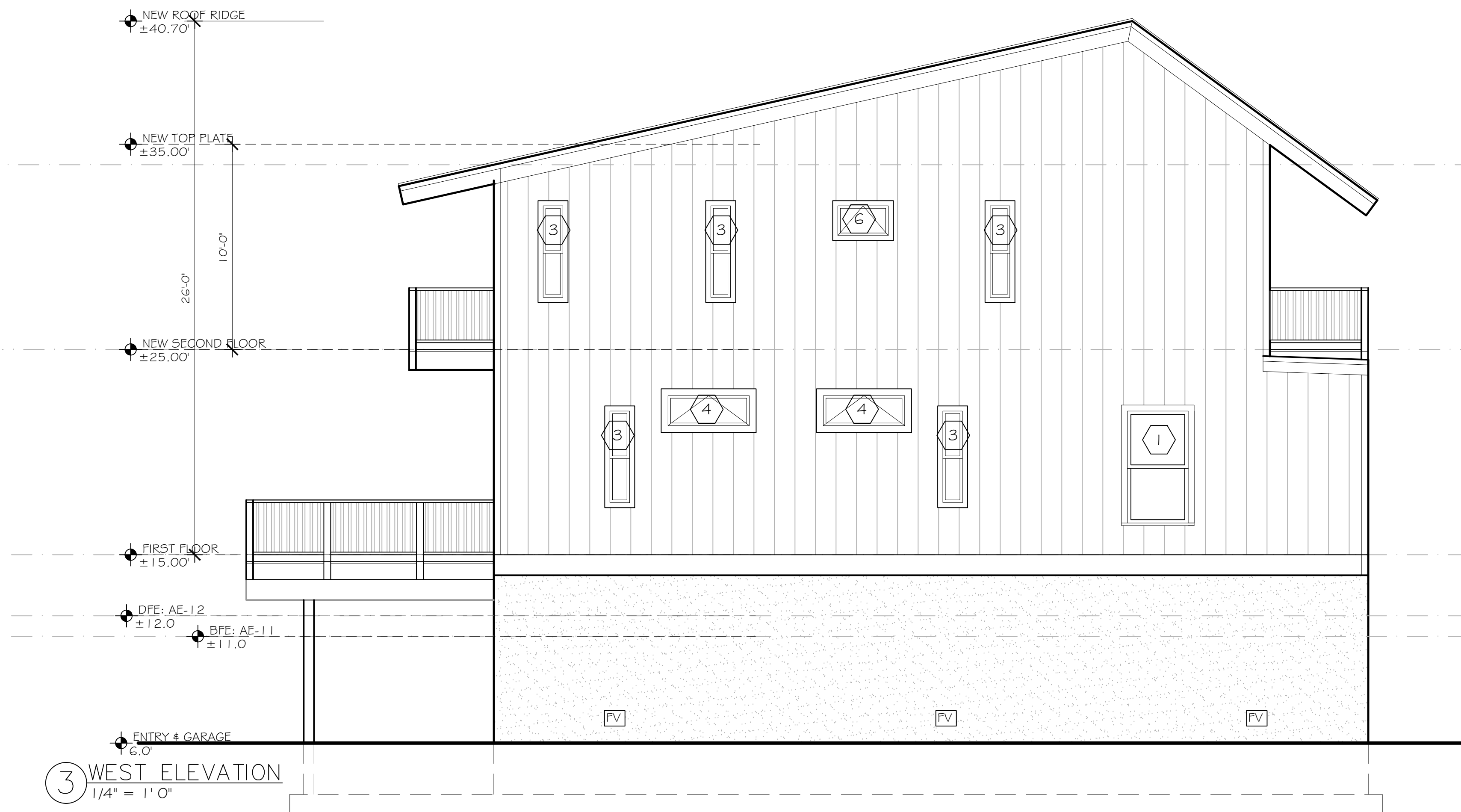
Renovations

ARCHITECT :

The Elevated Studio
359 Main Street, #1121
Beacon, NY 12508
646.759.7513 | info@theelevatedstudio.org



NOTE: ALL SIDING SHALL BE FIBR BOARD AND BATTEN BY JAMES HARDIE, INC. COLOR AS SELECTED BY OWNER, TYP. ALL ELEVATIONS. DETAILS SHALL BE BY MANUFACTURER'S SPECIFICATION AND INSTALLATION RECOMMENDATIONS.



REVISIONS

DATE	COMMENTS

DRAWING NAME
PROPOSED EXTERIOR ELEVATIONS

SIGN & SEAL		SCALE 1/4" = 1'-0"
DATE 2022.10.29		PROJECT No. 4015-22
DRAWN BY bb	CHECKED BY BB	DRAWING NUMBER A-301.00

2024 December 03

Ms. Nancy Tran
Land Use Board Secretary
Borough of Highlands
151 Navesink Avenue
Highlands, NJ 07732

RE: 43 Gravelly Point Road
Block 100, Lot 26.43
Borough of Highlands, Monmouth County, NJ

Dear Nancy,

We are in receipt of the engineer's letter on the referenced property dated 10/25/24. Please find in this letter our responses to the requests listed in their letter.

References to the engineer's letter specific comments are in **bold**.

1. The revised drawing set has been provided with a date of 2024.December 03 and stated in the title block;
2. The revised drawing set shows an architectural digital stamp in the title block;
3. **I.5:** The front yard setback is proposed as 9.73 feet as referenced on the proposed plot plan. Side yard setbacks are proposed as 3.0 feet on each side. The width of the building is 18.5 feet as shown on the design documents.
4. **VI.1:** A plot plan showing the proposed structure is provided on the design drawings. Additional information requested has been provided. The lawn and pavement areas to the north of Lot 26.43 are an impervious surface parking area for the apartment buildings to the north. We are not providing additional survey information in this submission as the Lot in question is at a lower elevation than the parcel to the north.
5. **VI.3:** The proposed first floor deck extends beyond the lot line in accordance with 21-86A.4.b(2)(a) for bungalow colonies. This is shown in the attached survey at the time of the purchase and sale of the property by the current homeowner. The adjacent

residences and their decks extending past the property lines are shown on the proposed layout plan [PM-102.00]

6. **VI.4:** Building height is provided on the Zoning Table [PM-102.00] and Exterior Elevations [A-301.00], which shows a height from the new first floor to the ridge of the roof as 26.0'. This is the information requested for the variance.
7. **VI.5:** The existing structure has been demolished in its entirety.
8. **VI.6:** Lot and building coverages are noted on the Zoning Table [PM-102.00].
9. **VI.7:** Refer to drawing PM-102.00 for proposed parking spaces, 1 covered in the garage, 1 un-covered on existing compacted soil.
10. **VI.8:** Refer to drawing PM-102.00 for surface material locations.
11. **VI.9:** Water runoff flows from the rear of the property to the front of the property. Refer to the plot plan on PM-102.00.
12. **VI.10:** Gutters and rain leaders are not provided. Rain dispersion system is proposed and noted on drawing A-203.00.
13. **VI.11:** Proposed utilities enter the property from Gravelly Point Road and are shown on the design drawings.

Should you have any questions or require further information, please do not hesitate to discuss with us at the telephone number below.

Sincerely,
The Elevated Studio



Brian Baer ra leed_ap ncarb
President and Executive Director

LIST OF ABBREVIATIONS

A A/C ACT AFF	AIR CONDITIONING ACOUSTICAL TILE ABOVE FINISH FLOOR	F FACP FD FFE	FIRE ALARM CONTROL PANEL FLOOR DRAIN FINISH FLOOR FINISH FLOOR ELEVATION	O OA OC OD OH	OVERALL ON CENTER OUTSIDE DIAMETER OVERHEAD
ALT ALUM ANC BLT APPROX ARCH ASPH	ALTERNATE ALUMINUM ANCHOR BOLT APPROXIMATE ARCHITECT ASPHALT	FIN FG FLASH FLUOR FNDN FOC	FIBERGLASS FLASHING FLUORESCENT FOUNDATION FACE OF CONCRETE	OPP OSB	OPPOSITE HAND OPPOSITE ORIENTED STRAND BOARD
B BC BD BIT CONC	BRICK COURSE BOARD BITUMINOUS CONCRETE	FOS FP FTG FUR	FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FACE OF STUD FIREPROOFING FOOTING FURRING	P PL PLAM PL PR PT P.T. PTN PVC PLWD	PLATE PLASTIC LAMINATE PROPERTY LINE PAIR PAINT PRESSURE TREATED PARTITION POLYVINYL CHLORIDE PLYWOOD
BLDG BLK BLKG BM BOTT BSMT	BUILDING BLOCK BLOCKING BENCH MARK BOTTOM BASEMENT	GA GALV GL GWB	GAUGE GALVANIZED GLASS GYPSUM WALL BOARD	R R RD REF REFURB RES REQ'D RH RM RO	RADIUS/RISER ROOF DRAIN REFRIGERATOR REFURBISH RESILIENT REQUIRED RIGHT HAND ROOM ROUGH OPENING
C CAB CH CIP CJ CL CLG CLOS CLR CMU	CABINET CEILING HEIGHT CAST IN PLACE CONTROL JOINT CENTER LINE CLOSE CEILING CLOSING CLEAR CONCRETE MASONRY UNIT	H HC HD HDWR HM HOR HP HT HVAC	HANDICAP HEAVY DUTY HARDWARE HOLLOW METAL HORIZONTAL HIGH POINT HEIGHT HEATING, VENTILATING, AIR CONDITIONING	S SCH SCWD SECT SF SIM SPEC SQ STOR STRUCT S/S SV	SCHEDULE SOLID CORE WOOD SECTION SQUARE FEET SIMILAR SPECIFICATION SQUARE STORAGE STRUCTURAL STAINLESS STEEL SHEET VINYL
CNTR COL COMP CONC CONST CORR CPT CT	COUNTER COLUMN COMPOSITION CONCRETE CONSTRUCTION CONTINUOUS CORRIDOR CARPET CERAMIC TILE	I ID INS INSUL INT	INSIDE DIAMETER INSULATION INSULATION INTERIOR	T T TEL THK TOS TOP TOW TP TYP	TREAD TELEPHONE THICKNESS TOP OF STEEL TOP OF PLATE TOP OF WALL TOILET PAPER TYPICAL
D D DIAG DIM DL DN DW DW	DRYER DEMOLITION DIAGONAL DIMENSION DRAIN LEADER DOWN DRAWING DISHWASHER	L L LAM LAV LP	LENGTH LAMINATE LAVATORY LOW POINT	U U UNC UNO	UNDERCUT UNLESS NOTED OTHERWISE
E EA EF EJ ELEC ELEV EMER ENCL EP EQ EQUIP EXH EXIST EXP EXT EW	EACH EACH FACE EXPANSION JOINT ELECTRIC ELEVATION ELEVATOR EMERGENCY ENCLOSURE EPOXY PAINT EQUAL EQUIPMENT EXHAUST EXISTING EXPANSION EXTERIOR EACH WAY	M MAS MAX MC MECH MIN MIR MISC MO MS MTL	MASONRY MAXIMUM MEDICINE CABINET MECHANICAL MINIMUM MIRROR MISCELLANEOUS MASONRY OPENING METAL STUD METAL	V VCT VERT VEST VIF VPB VVB	VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VENEER PLASTER BASE VINYL WALL BASE
N NA NIC NOM NTS NO	NOT APPLICABLE NOT IN CONTRACT NOMINAL NOT TO SCALE NUMBER	W W W/ WB WC WD WF WP WP'G WS WWF	WASHER WITH WRITING (WHITE) BOARD WATER CLOSET WOOD WIRE FABRIC WORK POINT WATERPROOF(ING) WOOD STUD WELDED WIRE FABRIC		

MATERIAL SYMBOLS

	EARTH
	POROUS FILL, GRAVEL
	CONCRETE
	BRICK MASONRY UNIT
	CONCRETE MASONRY UNIT
	RESILIENT TILE
	METAL (LARGE SCALE)
	METAL (SMALL SCALE)
	WOOD BLOCKING
	STRUCTURAL WOOD
	FINISH WOOD
	GLASS (SMALL SCALE)
	GLASS (LARGE SCALE)
	BATT INSULATION
	RIGID INSULATION
	BITUTHENE VAPOR BARRIER
	CERAMIC TILE
	GYPSUM WALL BOARD
	PLYWOOD
	TILE BACKER BOARD
	REMOVE EXISTING PARTITION
	EXISTING PARTITION TO REMAIN
	NEW PARTITION

GRAPHIC SYMBOLS

	BUILDING SECTION		REVISION MARKER
	BUILDING DETAIL		SEALANT JOINT
	PARTITION TYPE		TOILET ACCESSORY
	WINDOW TYPE		ALIGN SURFACES
	DOOR NUMBER		INTERNATIONAL SYMBOL OF ACCESSIBILITY
	ROOM NUMBER		DOOR TYPES
	INTERIOR ELEVATION		EXISTING DOOR
	ELEVATION MARKER		NEW DOOR

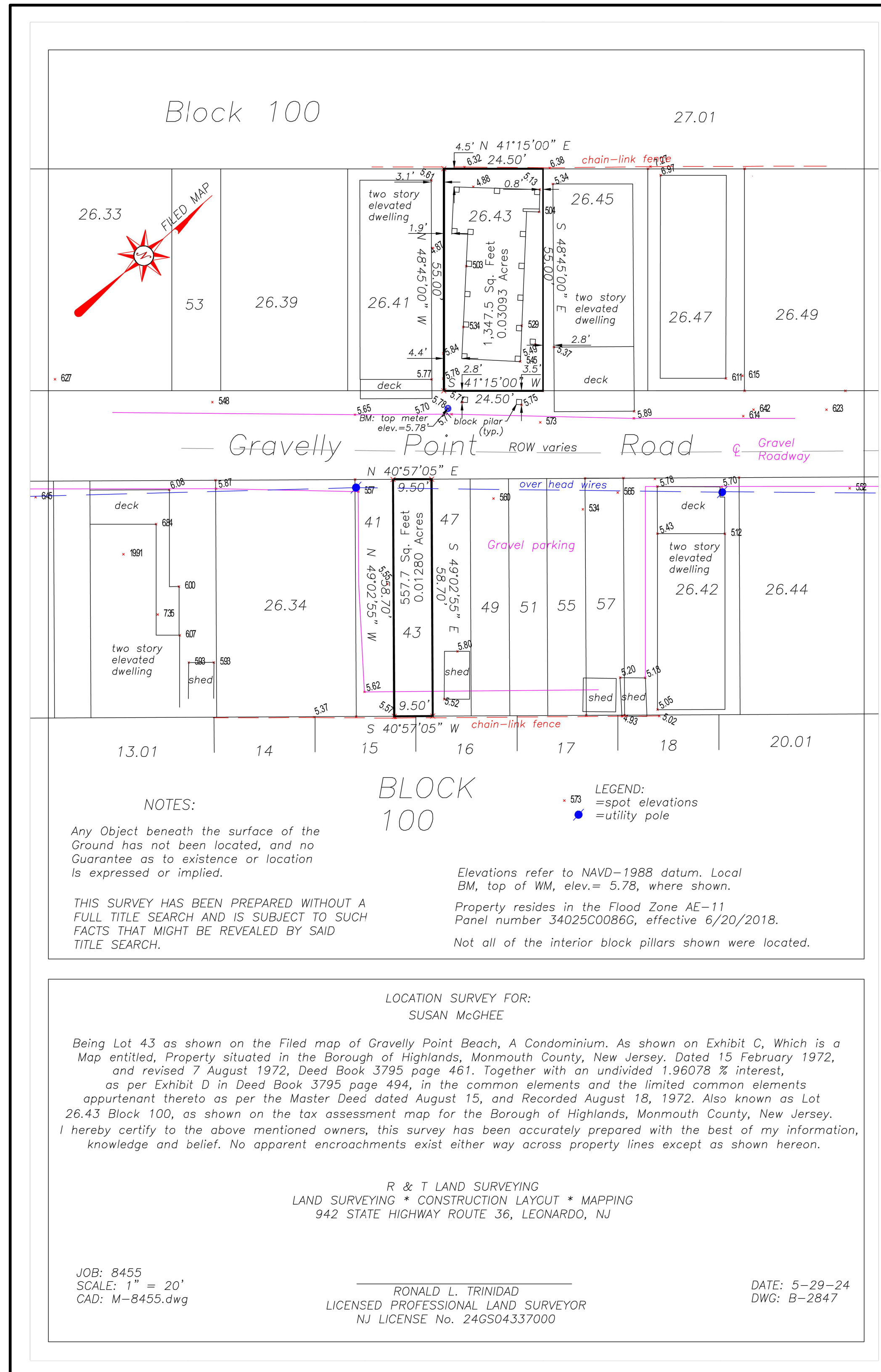
McGHEE
RESIDENCE

43 Gravelly Point Road
Highlands, NJ

Renovations

ARCHITECT :

The Elevated Studio
359 Main Street, #1121
Beacon, NY 12508
646.759.7513 | info@theelevatedstudio.org



NOTES:

Any Object beneath the surface of the Ground has not been located, and no Guarantee as to existence or location is expressed or implied.

THIS SURVEY HAS BEEN PREPARED WITHOUT A FULL TITLE SEARCH AND IS SUBJECT TO SUCH FACTS THAT MIGHT BE REVEALED BY SAID TITLE SEARCH.

Elevations refer to NAVD-1988 datum. Local BM, top of WM, elev.= 5.78, where shown.

Property resides in the Flood Zone AE-11 Panel number 34025C0086G, effective 6/20/2018.

Not all of the interior block pillars shown were located.

BLOCK 100

LOCATION SURVEY FOR:
SUSAN MCGHEE

Being Lot 43 as shown on the Filed map of Gravelly Point Beach, A Condominium. As shown on Exhibit C, Which is a Map entitled, Property situated in the Borough of Highlands, Monmouth County, New Jersey, Dated 15 February 1972, and revised 7 August 1972, Deed Book 3795 page 461. Together with an undivided 1.96078 % interest, as per Exhibit D in Deed Book 3795 page 494, in the common elements and the limited common elements appurtenant thereto as per the Master Deed dated August 15, and Recorded August 18, 1972. Also known as Lot 26.43 Block 100, as shown on the tax assessment map for the Borough of Highlands, Monmouth County, New Jersey. I hereby certify to the above mentioned owners, this survey has been accurately prepared with the best of my information, knowledge and belief. No apparent encroachments exist either way across property lines except as shown hereon.

R & T LAND SURVEYING
LAND SURVEYING * CONSTRUCTION LAYOUT * MAPPING
942 STATE HIGHWAY ROUTE 36, LEONARDO, NJ

JOB: 8455
SCALE: 1" = 20'
CAD: M-8455.dwg

RONALD L. TRINIDAD
LICENSED PROFESSIONAL LAND SURVEYOR
NJ LICENSE No. 24GS04337000

DATE: 5-29-24
DWG: B-2847

REVISIONS

DATE	COMMENTS
2024.DEC.03	LUB SUBMISSION

GENERAL PROJECT INFORMATION

SCALE	N/A
DATE	2022.10.13
PROJECT No.	4020-22
DRAWN BY	-
CHECKED BY	B.B.
DRAWING X OF X	2 OF 20
DRAWING NUMBER	G-101.00



This Project is governed by the most current edition of the New Jersey State Residential Building Code, including its appendices and references and manuals. The information in this contract documentation includes tables, criteria, references and guidelines set forth in that Code. The Contract shall make themselves familiar with this current edition as it relates to the completion of the Work.

- The contractor shall verify all details and dimensions before proceeding with the work: Notify architect of any discrepancies before proceeding.
- The Contractor will apply for and pay for the Building Permit. Related sub trades will apply and pay for respective permits.
- The engineering design of Plumbing, Heating, Ventilation and Electrical systems are the responsibility of the contractor or his sub-contractors in accordance with all governing codes and requirements of authorities having jurisdiction over the project. The design of all systems shall provide for optimum human comfort and usability consistent with the overall quality of the Project, to the satisfaction of the Owner and the Architect. The adequacy of the heating systems and electrical systems must be determined prior to the beginning of the work of these trades. The Contractor shall submit a layout of all ducts, louvers, radiation and equipment to the Architect. Where required for approvals of officials having jurisdiction over the Project, provide design drawings, calculations and other information necessary to demonstrate conformance with requirements, including any professional certifications and seals of professional engineers qualified to provide such services. The Contractor will be responsible for all coordination with site and structural drawings; and mechanical, plumbing and electrical layouts.
- The contractor will be responsible for the patching and repair of any trim, flooring, walls or ceilings disturbed by any aspect of the work.
- All work shall comply with all applicable federal, state and local codes.
- The Contractor shall maintain the site neat and debris free. The Contractor shall maintain adequate dumpsters on the site for the duration of the work and properly dispose of all debris. No construction debris or excess excavation material will be left on or buried on the site. No burning of material will be permitted on the site.
- The Contractor will be responsible for the patching and repair of any damage caused to the existing roadway, driveway curbs and plantings, on site, public r.o.w, or adjacent property.
- All dimensions shall be verified in the field, and any discrepancies are to be reported to the architect for resolution before proceeding with the affected work. All dimensions, unless otherwise indicated, are to face of stud or concrete.
- Unless otherwise noted, details shown on drawings are to be considered typical for similar conditions.
- The drawings are intended to describe and provide for the completed construction including all labor and materials necessary to produce such construction; what is called for by the drawings shall be complete in every detail, notwithstanding whether or not every item necessarily involved is particularly mentioned. Where discrepancies occur, the most stringent requirements shall govern.
- Contractor to arrange for all required inspections. Contractor to obtain and provide to the Owner a Certificate of Occupancy from the Building Department.
- Contractor to close off all openings between work areas from areas of the premises occupied by the Owner at all times during construction. Barriers shall be adequate to prevent all dust and objectionable matter from passing from work areas to Owner occupied areas.
- A pre-demolition asbestos survey was performed by the Program prior to bid, the findings of which are included in the notes on the bid document demolition drawings. Where asbestos abatement is noted, the environmental contractor is required to follow all federal, state, and local asbestos abatement regulations. The Program requires all work to be performed using EPA lead safe practices.
- Damages to existing structures, flatwork, or landscaping, not being removed for the construction of the new home, and due to contractor negligence will be replaced in equal grade at the contractor's expense.
- Install a 6 foot chain link panelized construction fence prior to the start of construction operations around the property with a 6 foot by 12 foot gate from the street.
- Post all emergency contact information on the site.
- Provide a copy and post on site, all required permits and approved construction drawings.
- The contractor is responsible for final grading around the new home and shall provide contractor grade grass seeding prior to issuance of certificate of occupancy.
- ResCheck and HERS rater documents are issued as separate documents to these construction drawings.

The Architect shall not be responsible for any of the work or other obligations of the contractor. The architect shall not be responsible for the quality or performance of any construction, construction methods, contractor, materials, material assemblies, equipment, method of operation, the timely completion or start date of any work, or the safety precautions or procedures of the project, on the site, within the vicinity of the project or for any related activities or materials en route to the project.

The contractor(s) shall be responsible for adequately bracing and protecting all work during construction against damage, breakage, collapse, distortion and misalignment.

The architect makes no guarantees, warranties or any other confirmation or certification of the quality, completeness, longevity, code compliance, accuracy or adherence to these or other drawings and specifications. If required by the building department or other governing body or agency, the architect may at his discretion observe and certify the conditions of the Work. It shall be noted that these certifications are based on the architect's opinion only, and does not relieve the Contractor of its obligation to complete the work and its approval by the jurisdiction having authority.

General Conditions

The following is a list of items included in General Conditions: Project Management, Overhead and Profit (including but not limited to: mobilization, bonds, office, invoicing, management, insurance, compliance with contractual reporting requirements, hiring and sub-contracting costs, maintenance and guarantee, overtime and safety), Contractor Vehicles, Safety, Site Security (6' chain link panelized construction fence – National fence or equal in place prior to the start of construction operations.), Temporary Facilities and Services (Porta-John with pump out service quantity of units and frequency of service as per the manufacturer to accommodate the crew size, Temporary Protection, Temporary Utilities, and General Site Requirements such as trailers, tools and consumables, equipment and rentals, dumpster and disposal fees, scaffolding up to 10 feet, reproduction costs, and protection of finished work. The above items are to be included in the general conditions of the project and shall meet all local and state building code requirements.

Damages to existing structures, equipment, appliances, or fixtures caused by the contractor's error, omission, or negligence will be replaced in equal grade at the contractor's expense.

Liquidated Damages

In the event the Contractor shall fail to complete the Work within the time fixed for such completion in the Work Order, plus authorized time extensions, or if the Contractor, in the sole determination of the Client and Architect, has abandoned the Work, the Contractor shall pay to the Client a sum in the amount of \$250 per day.

Demolition/Excavation and Grading/Backfill/Drainage

The scope of work may include but is not limited to the furnishing, installing and testing to industry standards and good construction practices the following items: Demolition, Excavation, and Backfill. 3 business days prior to demolition and excavation operations one call (811 or equivalent) must be notified for sub surface utility mark outs.

– **Demolition**

Demolition scope may include, but is not limited to: Reinforcement in concrete.

Wooden decks or landings attached to the dwelling. Concrete steps, walls, or platforms attached to the dwelling.

Drywall, base molding, wall insulation, electrical rough-ins and finishes, trim and wall finishes, plumbing rough-ins, plumbing finishes, etc. for slab on grade homes or the presence of mold or corrosion.

Damaged mechanical rooms attached to the dwelling, where required.

Brick facades. Existing footings, piers, and foundation walls.

Brick or masonry chimneys. Existing floor slabs.

Foundation walls comprised of either masonry, CMU, or concrete.

Mechanical and electrical systems Concrete sidewalks or portions of driveways around the structures perimeter

Roofing and siding materials windows and all typical building components etc.

– **Excavation and Grading**

Excavation : The excavation area is 3' width x 3' depth excavation around the existing foundation perimeter to allow for equipment access, and is provided for in the general conditions, which includes concrete or asphalt/bitumen walkways, sidewalks, patios, and/or driveways.

If unforeseen site conditions are encountered during excavation, such as previously undisclosed fuel tanks, buried piles, septic tanks, etc. a request for scope change should be initiated for the work.

Grading : Grading will be angled away from the foundation.

Grading will follow NJS building code 401.3. – **Backfill**

Backfill material will be clean, certified fill. Locations of backfill include:

Filling in basements, spilt levels, and crawlspaces up to

grade. Filling in the area of buried fuel tanks/septic tank that will be removed.

Filling a 3' wide x 3' depth around the foundation perimeter.

French drains and exterior swales are excluded. Retaining walls are excluded unless otherwise approved by the program.

Accessibility

– **HVAC Platforms**

HVAC platforms will be the same size and assembly as landings, and will be built to the base flood elevation plus freeboard requirement and be stair accessible.

Platforms will not be constructed for in window air conditioning units

Deep foundations are not required for HVAC platforms – **Meter Reading Platforms and Weatherheads**

Meter reading platforms will be the same size and assembly as landings, and will be built to the base flood elevation plus freeboard requirement and be stair accessible.

Deep foundations are not to be installed with any newly built meter reading platforms.

Flood Openings

Flood openings are required for closed wall foundation designs.

Flood openings must meet a requirement of 1 square inch per each 1 square foot of building footprint.

Flood vent installation must meet all FEMA and state building code requirements.

Design is based upon SmartVent products and installed as required by the manufacturer's specifications and recommendations.

Where shown on the construction drawings, provide: Flood vent model: 1540–520 in foundation walls Flood vent model: 1540–524 in overhead garage doors, one per door.

Coastal V and Coastal Hazzard A (Limited Moment Wave Action (LiMWA) Flood Zones

Open and deep foundation systems are the only systems allowed in V zones, per FEMA guidelines.

– **Concrete Grade Beams and Pile Caps**

Open systems in these zones will disperse oncoming hydrodynamic and wind forces, and support the loading of the structure.

Piers are to be designed to diminish the occurrence of erosion.

Shallow foundations alone will not be permitted in these zones.

Pile depth and spacing will follow the same guidelines as 5.6.2.

Reinforced continuous concrete pile caps or grade beams will be required around the entire perimeter and the interior of the structure connecting all exterior and interior piers.

Pile caps or grade beams will connect the interior pier system to the perimeter systems no larger than a ratio of 1:1 of the linear length of the building perimeter, unless otherwise specified on the construction plans.

The ratio of grade beam length will not be exceeded unless the dimensions of the grade beams profile are reduced to keep the concrete quantity total in proportion to the building perimeter. This additional interior support will add weight to the structure, prevent overturning, and add lateral reinforcement.

– **Concrete / Masonry Walls**

Concrete or masonry closed wall foundation systems are not permitted in these zones.

– **Piers and Columns**

Piers and columns will follow same guidelines as section 5.3. – **Girders and Beams**

Girder systems in these zones will be comprised of steel members to minimize any possible failure due to excessive moments from winds or floods, but is not to exceed a size of W10x22, unless otherwise specified on the construction plans.

Traditional lumber material may be used only when approved by the design professional.

– **Deep Foundations**

Pile depth and spacing will follow the same guidelines as section 5.6.2.

– **Termite Treatment**

Termite treatment will follow the same guidelines as section 5.5.

– **Framing Strapping**

Framing strapping will follow the same guidelines as section 5.7.

– **Flood Vents**

Flood vents are not be required in V Zones.

Framing

The scope of work may include but is not limited to the furnishing, installing and testing to industry standards, local building codes and good construction practices the following items: Floor Joists, Exterior Studs, Interior Studs, Hold Downs, Top Plates, Bottom Plates, Sill Plates, Header, Door Framing, Window Framing, Ceiling Joists, Trusses, Rafters, Decking, Sheathing and Fire Rated Separation Work.

– **Flooring and Ceiling Joists**

Unless otherwise specified on construction plans, floor and ceiling structural framing will be no larger than 2"x 10" and are to be installed where slab on grade floors exist.

– **Interior and Exterior Studs**

Stud walls : To be erected as per the approved building plans and meet all municipality requirements.

– **Sheathing and Fire Rated Separation Work** 3/4" floor sheathing will be installed for all new floor systems.

1/2" sheathing will be installed for: Underside protection for open foundation systems.

Roof underlayment. Hurricane window protection.

Fire rated sheathing or siding must be installed on exterior walls that are within 5' of a neighboring property line. Fire rated sheathing will be installed for new chimney box outs.

– **Trusses and Rafters**

To be installed as per the approved construction drawings.

– **Headers, Door Framing, Window Framing**

To be installed as per the approved construction drawing details.

– **Decking, Top and Bottom Plates, Sill Plates** New wood decks are not permissible.

All framing components and deck sheathing will be installed as per the approved construction drawings and meet all applicable local municipality requirements.

– **Corner Hold Downs** Corner hold downs are required at each wall corner of the dwelling.

Roofing

The scope of work may include but is not limited to the furnishing, installing and testing to industry standards and good construction practices the following items: Standing Seam metal Roofing, accessories, flashings, fasteners, and the like, Decking, Felt, 30# Underlayment, radiant barrier sheathing, Ice and Water Shield, Flashing, Roof Accessories and Roof Strapping.

– **Standing Seam Metal Roofing, Decking, Felt, 30# Underlayment, Ice and Water Shield, Flashing, Roof Accessories**

See component specification for details – **Roof Strapping**

Roof strapping to be installed as per the details in the approved construction drawings and meet all applicable local building codes.

Roof venting accessories installed as per the construction drawing details see component specifications for details.

Roof venting must meet all applicable local building codes.

Finish Details and Items

The scope of work may include but is not limited to the furnishing, installing and testing to industry standards and good construction practices the following items: Vanity Mirror, Hardware, Bathroom Accessories and Bathroom Accessibility Grab Bars.

Installed in locations as per the approved construction drawings. See component specifications for details.

Doors and Windows

The scope of work may include but is not limited to the furnishing, installing and testing to industry standards, energy star, local building codes and good construction practices the following items: Interior Doors, Interior Door Knobs, Exterior Doors, Exterior Doorknobs, Exterior Door Deadbolts, Storm Doors, Windows and Screens and Flashing.

Doors and windows to be installed as per the approved building plans and meet all applicable local municipality requirements.

All finished hardware shall be fitted with "lever" style handles for all swinging doors. See component specifications for details.

Exterior Siding: Shou Sugi Ban finish process on hickory continuous plank siding. Bevel-lap horizontal siding with 4" exposure that meets AWI Standards for exterior horizontal siding. All vertical and horizontal door, window and transitional trim shall be a minimum of ¾" in thickness, 4" in width.

McGHEE RESIDENCE

43 Gravelly Point Road Highlands, NJ

Renovations

ARCHITECT :

The Elevated Studio

359 Main Street, #1121 Beacon, NY 12508 646.759.7513 | info@theelevatedstudio.org

REVISIONS

DATE	COMMENTS
2024.DEC.03	LUB SUBMISSION

DRAWING NAME PROJECT MANUAL

SIGN & SEAL	SCALE	N/A
	DATE	2022.10.13
	PROJECT No.	4020–22
	DRAWN BY	–
	CHECKED BY	B.B.
DRAWING x OF x	2 of 20	
DRAWING NUMBER	PM–101.00	



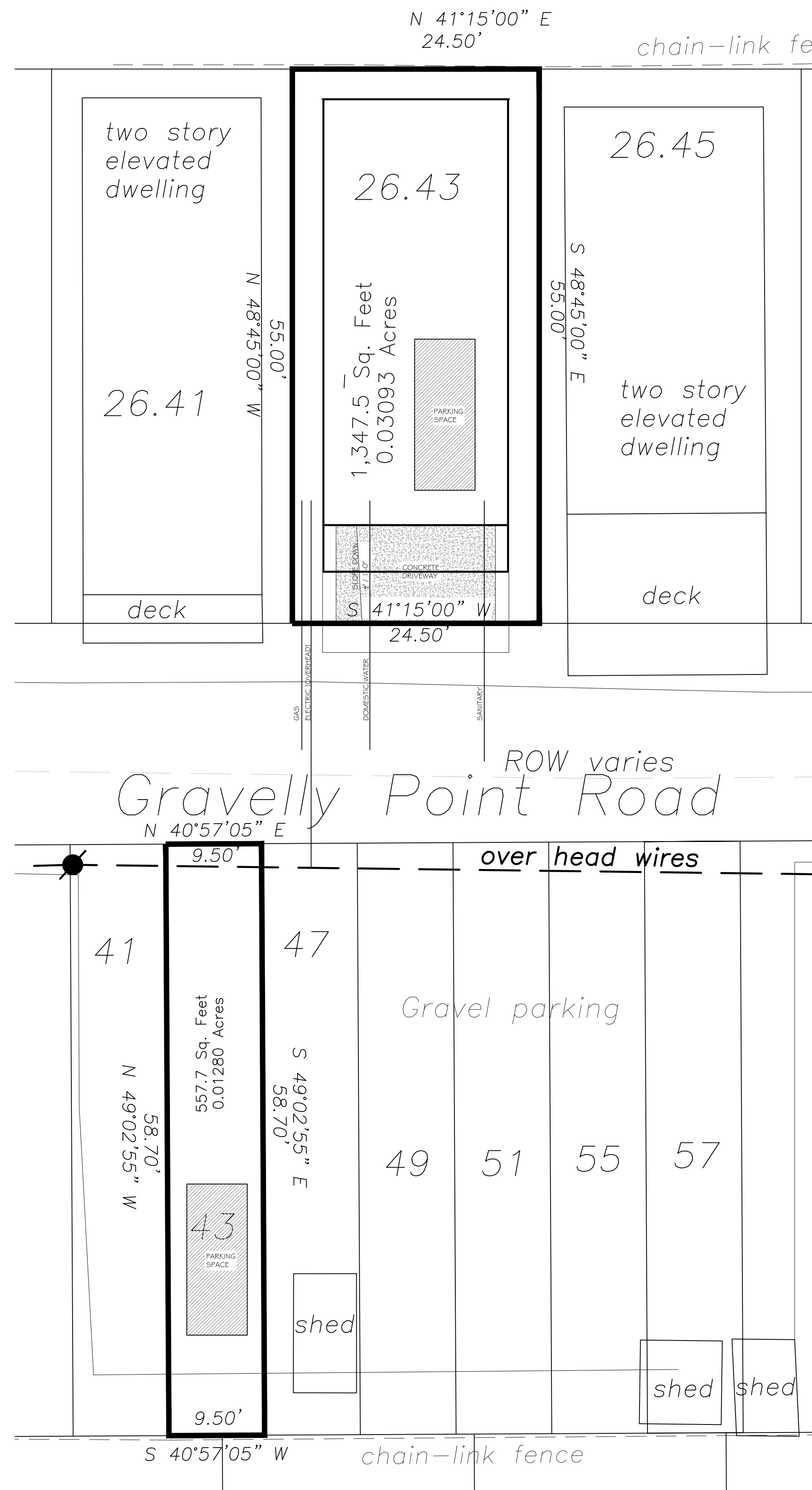
McGHEE RESIDENCE

43 Gravelly Point Road
Highlands, NJ

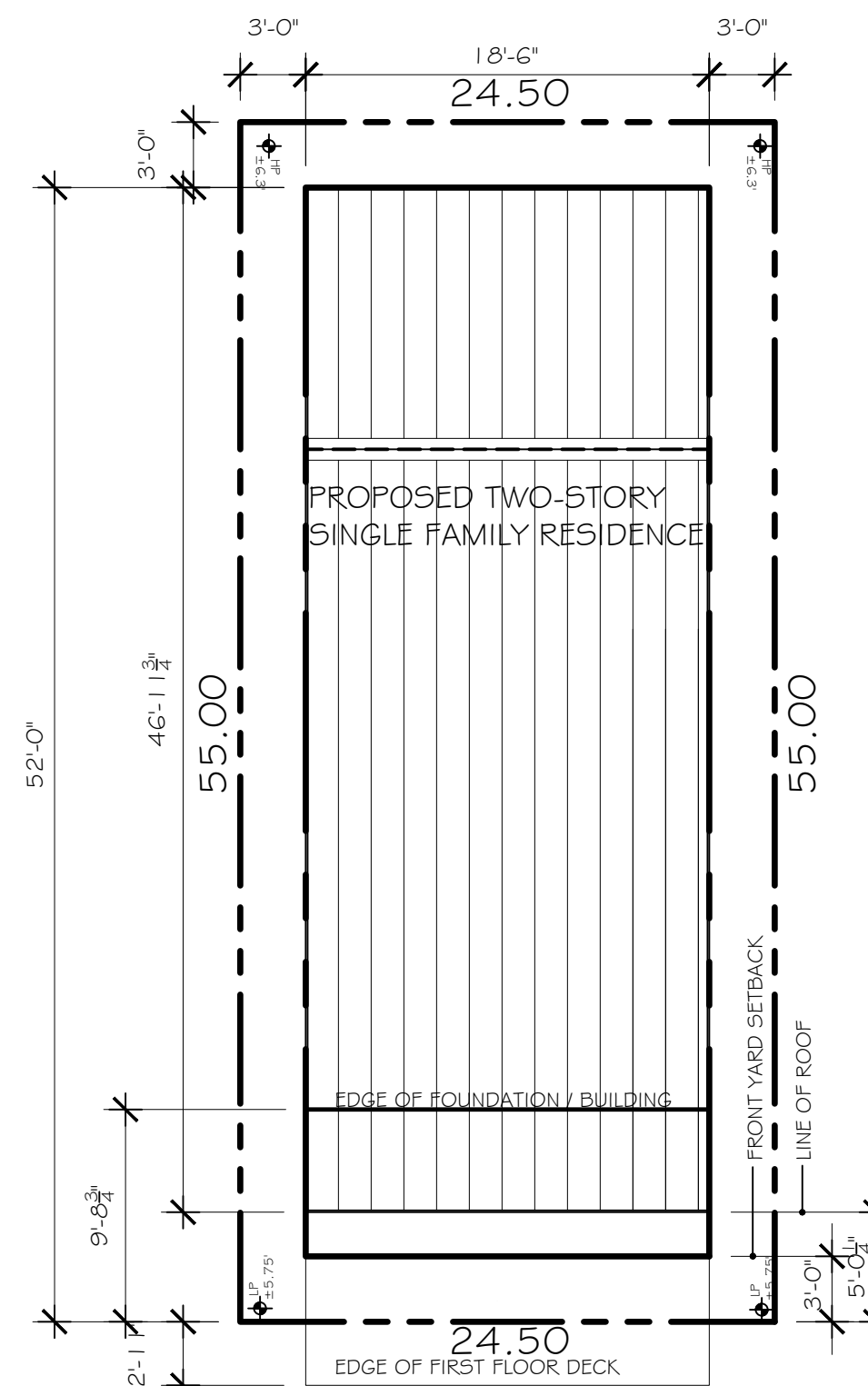
Renovations

ARCHITECT :

The Elevated Studio
359 Main Street, #1121
Beacon, NY 12508
646.759.7513 | info@theelevatedstudio.org



3 PROPOSED LAYOUT PLAN
SCALE: 1/8" = 1'-0"



REQUIREMENT	R-2.03 RESIDENTIAL ZONE	BUNGALOW COLONIES REQUIRED	EXISTING LOT 26.43 BUNGALOW COLONIES	PROPOSED LOT 26.43 BUNGALOW COLONIES
MIN. LOT AREA (SF)	5,000	5,000	1,347.50	1,347.50
LOT FRONTAGE/WIDTH (FT)	50	50	24.50	24.50
MIN. LOT DEPTH (FT)	100	100	55.00	55.00
MIN. FRONT YARD SETBACK (FT)	20	3	-	9.73
MIN. SIDE YARD SETBACK (FT)	6 / 8	3	-	3 / 3
MIN. REAR YARD SETBACK (FT)	20	3	-	3
MAX BUILDING HEIGHT (FT)	30	20	-	26.00
MAX LOT COVERAGE	75%	75%	-	71.4% INCLUDES DECKS
MAX BUILDING COVERAGE	30%	35%	-	64.5% INCLUDES ROOF
ON-SITE PARKING (SPACES)	2	1	-	2 ON-SITE, 1-COVERED 1-UNCOVERED
BASE FLOOD ELEVATION	-	-	AE-1.1	AE-1.1
DESIGN FLOOD ELEVATION	-	-	AE-1.2	AE-1.2
FIRST OCCUPIED FLOOR ELEVATION (FT)	-	-	-	15.0

2 ZONING TABLE
NTS

Flashing
Flashing will be installed for all new window and door installations

Insulation

The scope of work includes but is not limited to the furnishing, installing and testing to industry standards and good construction practices the following residential payment items: Wall Insulation, Ceiling Insulation, Floor Insulation and Vapor Barrier.

- **Wall Insulation**
Newly installed walls will receive R-19 rated insulation. Unless otherwise noted on the approved drawings.
- **Ceiling Insulation**
Ceiling insulation to be installed as per the approved construction drawings and meet all local building code requirements. R-30
- **Floor Insulations**
Newly installed floors will receive R-30 rated insulation. Unless otherwise noted on the approved construction drawings.
- **Vapor barrier**
Vapor barriers will be installed to meet all applicable local building codes.

Exterior Surfaces

The scope of work may include but is not limited to the furnishing, installing and testing to industry standards and good construction practices the following items: Siding, Soffit, Fascia, Trim, House Wrap, Skirting, Masonry and Stucco.

See component specifications and the approved construction drawings for details.

Interior Surfaces

The scope of work may include but is not limited to the furnishing, installing and testing to industry standards and good construction practices the following items: Drywall

- **Drywall**
Drywall to be installed as per the approved construction drawings. And meet all local code requirements. Drywall installation will include hanging, taping, floating and sanding. All exposed surfaces in living spaces to receive a level 4 finish. Drywall in mechanical spaces and fire separation between garage/living spaces to be 5/8 type x fire rated panels. All installations to meet local building code requirements

Finish Carpentry

The scope of work may include but is not limited to the furnishing, installing and testing to industry standards and good construction practices the following items: Trim Carpentry.

All interior finish trim to be installed as per the approved construction drawings. All material to standard builder's grade. See component specification for details.

Cabinetry

The scope of work may include but is not limited to the furnishing, installing and testing to industry standards and good construction practices the following items: Base Cabinets, Upper Cabinets, Counter Top and Bath Vanity.

Cabinetry to be installed as per the approved construction drawings. See component specifications for details and standard of quality.

Appliances

The scope of work may include but is not limited to the furnishing, installing and testing to industry standards, energy star, local building codes and good construction practices the following items: Kitchen and bathroom appliances, general home appliances.

Appliances to be installed in locations as per the approved construction drawings. The list of appliances by Frigidare and specified in this set of drawings is:

- 30" Refrigerator: FFTR2021QS
- 24" Dishwasher: FFID2423RS
- 30" Microwave: FFMV164LS
- 30" Range: FFGF3053LS
- 25" Sink: D125213 by Elkay
- Faucet: 21987LF-SS by Delta

Flooring

The scope of work may include but is not limited to the furnishing, installing and testing to industry standards and good construction practices the following items: Carpet, Vinyl Floor, Laminate Wood and Transition Strips

Flooring to be installed as per the approved construction drawings. Laminate, vinyl, standard carpeting are acceptable finishes.

Paint

The scope of work may include but is not limited to the furnishing, installing and testing to industry standards and good construction practices the following items: Interior Paint, Exterior Paint. (Low/No VOC adhesives and sealants).

Drywall finishes to receive 1 coat of primer and 2 finish coats of paint flat finish unless otherwise noted. See component specification for details. **Interior trim** to receive 1 coat of primer and 2 finish coats of paint finish to be semi-gloss unless otherwise noted. See component specification for details.

REVISIONS

DATE	COMMENTS
2024.DEC.03	LUB SUBMISSION

PROJECT MANUAL
ZONING INFORMATION

SCALE: N/A

DATE: 2022.10.13

PROJECT No: 4020-22

DRAWN BY: [Signature] CHECKED BY: B.B.

DRAWING x OF x: 2 OF 20

DRAWING NUMBER: PM-102.00

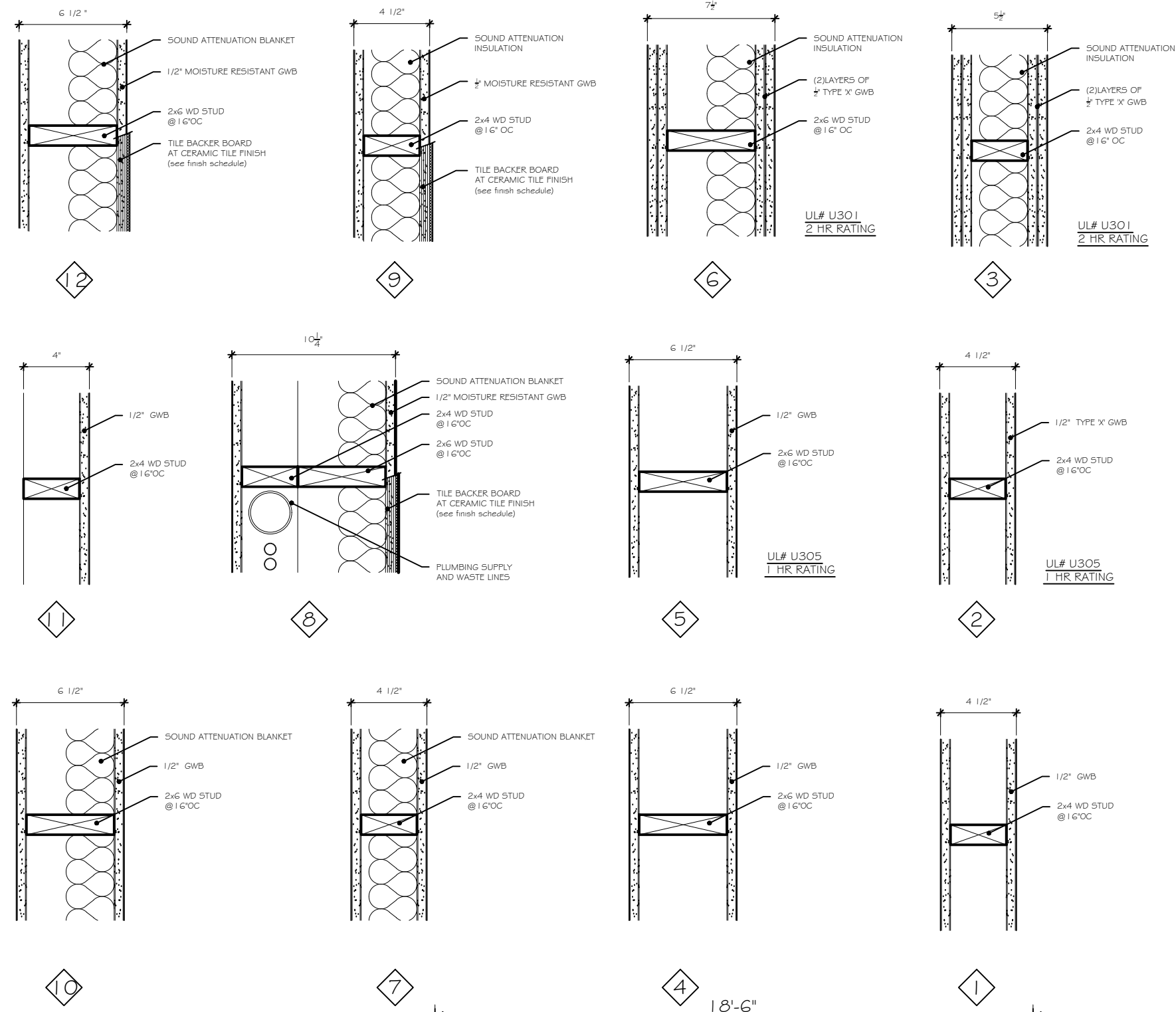
McGHEE RESIDENCE

43 Gravelly Point Road
Highlands, NJ

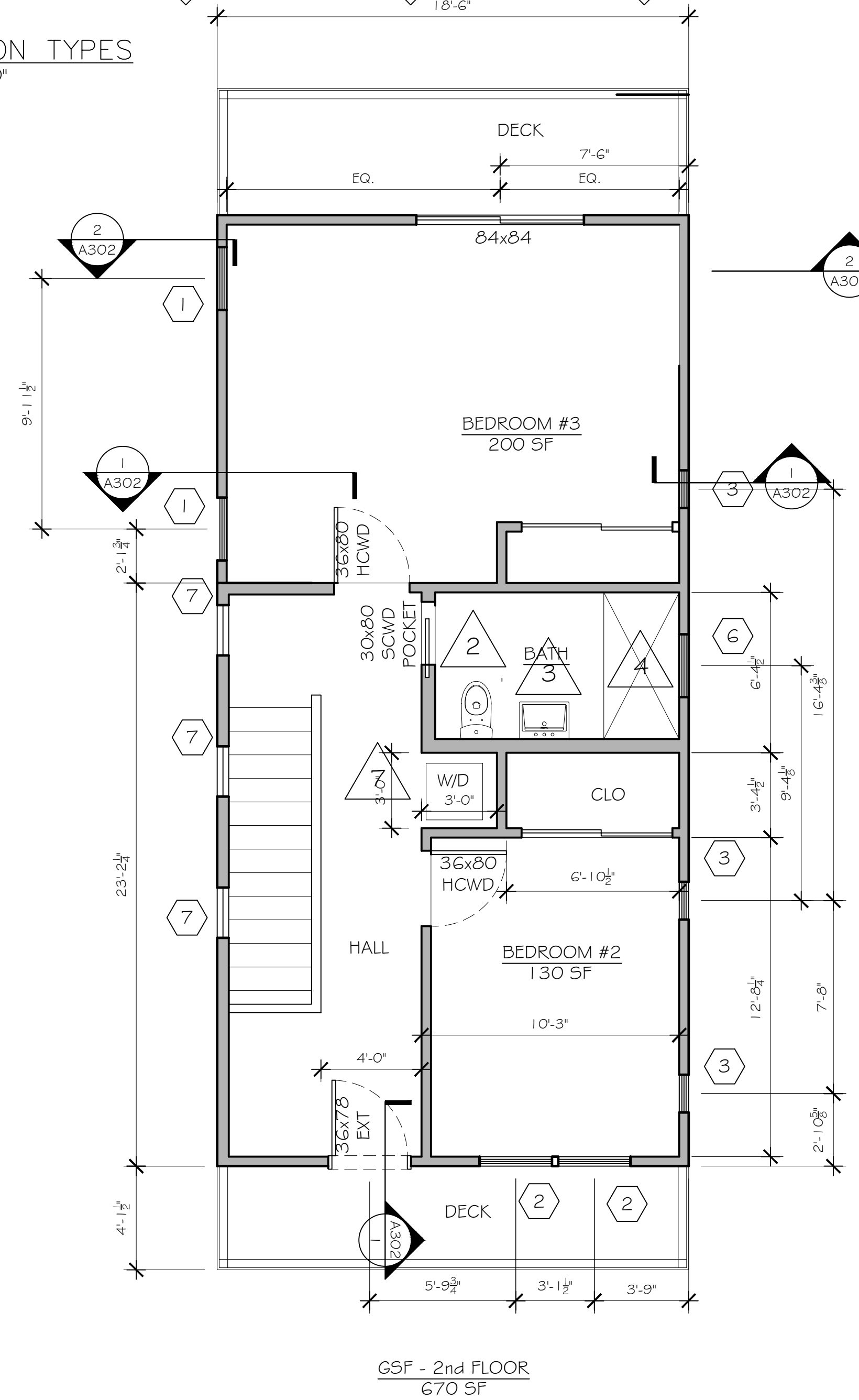
Renovations

ARCHITECT :

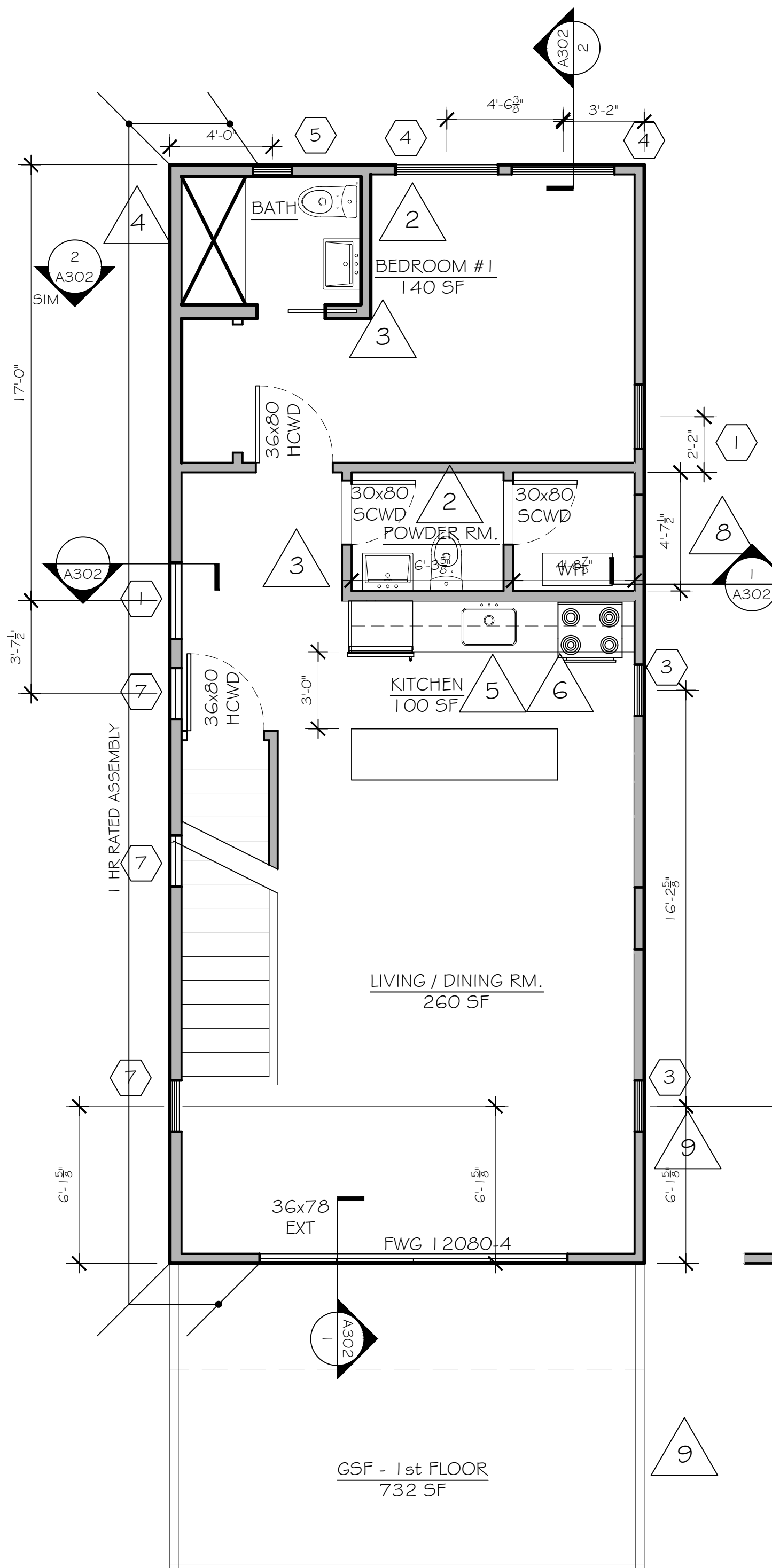
The Elevated Studio
359 Main Street, #1121
Beacon, NY 12508
646.759.7513 | info@theelevatedstudio.org



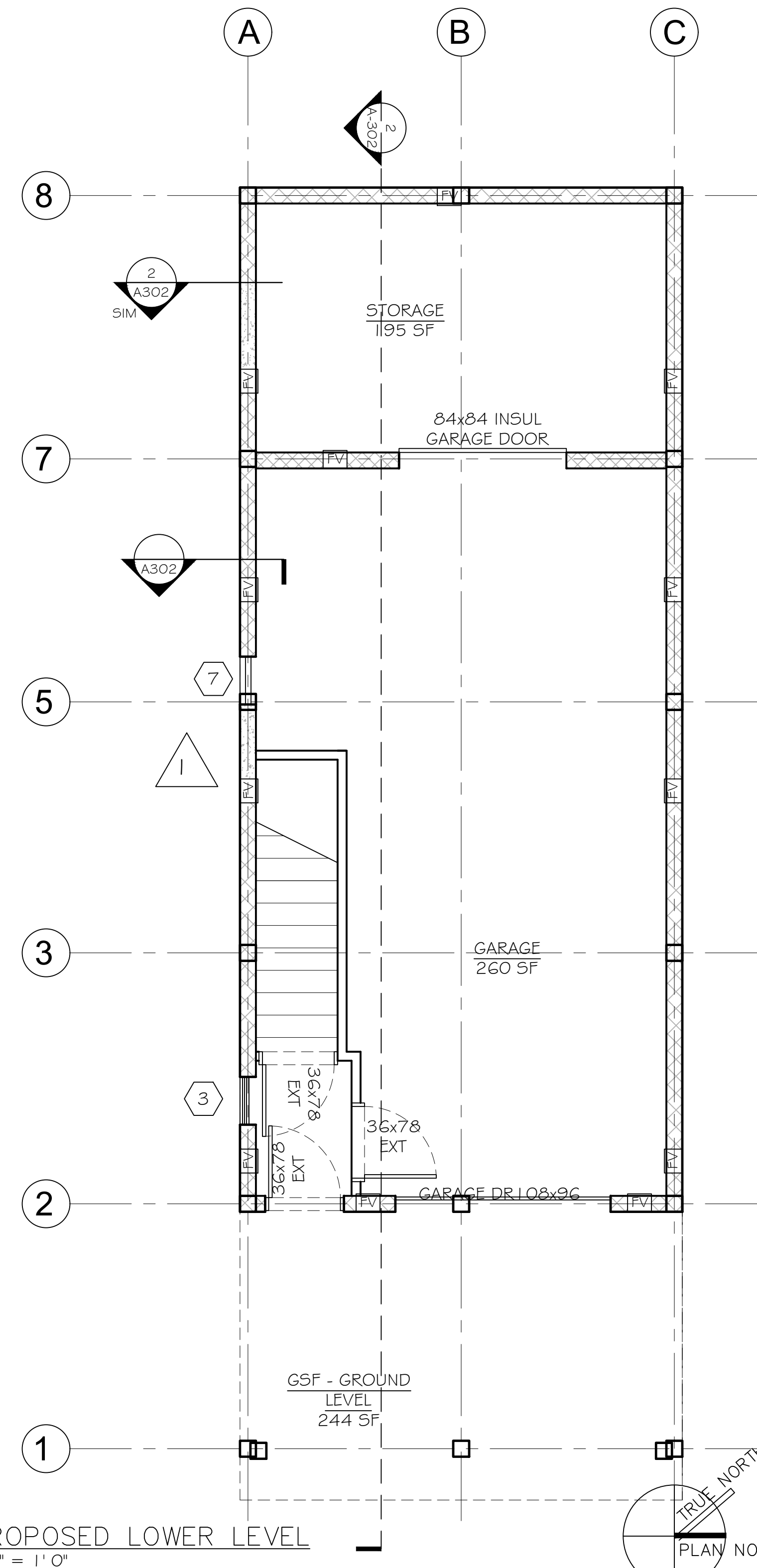
4 PARTITION TYPES
1/2" = 1' 0"



3 NEW UPPER LEVEL PLAN
1/4" = 1' 0"



2 NEW MAIN LEVEL PLAN
1/4" = 1' 0"



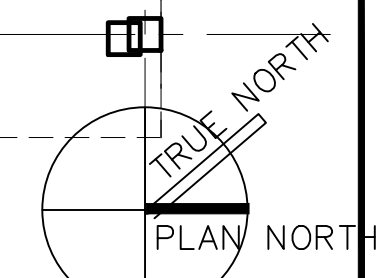
1 PROPOSED LOWER LEVEL
1/4" = 1' 0"

REVISIONS

DATE	COMMENTS
2024.DEC.03	LUB SUBMISSION

DRAWING NAME
PROPOSED FLOOR PLANS

SCALE	AS NOTED
DATE	2022.10.29
PROJECT No.	4020-22
DRAWN BY	CHECKED BY
	B.B.
DRAWING X OF X	
DRAWING NUMBER	A-201.00



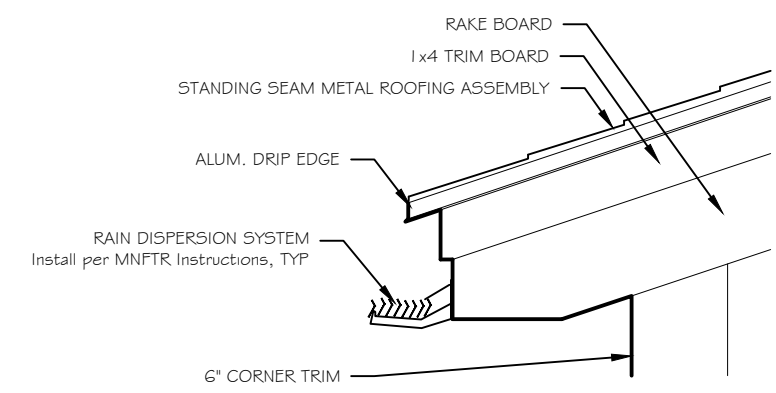
McGHEE RESIDENCE

43 Gravelly Point Road
Highlands, NJ

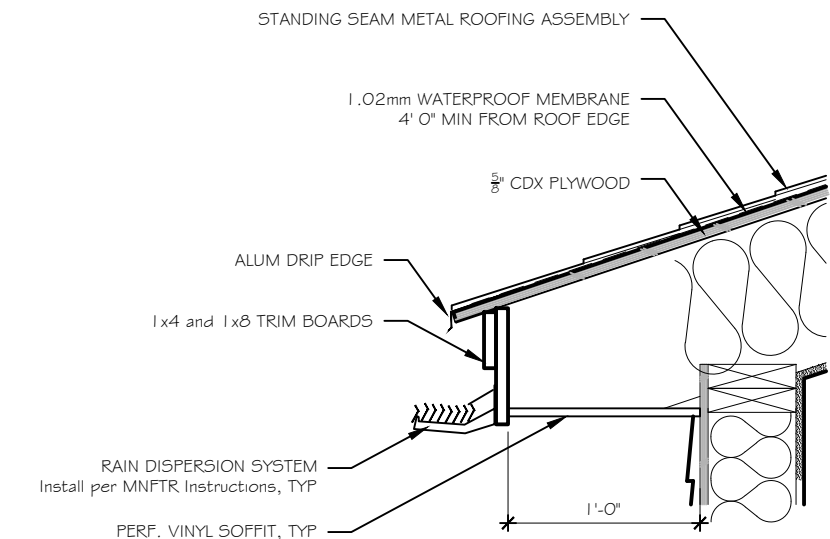
Renovations

ARCHITECT :

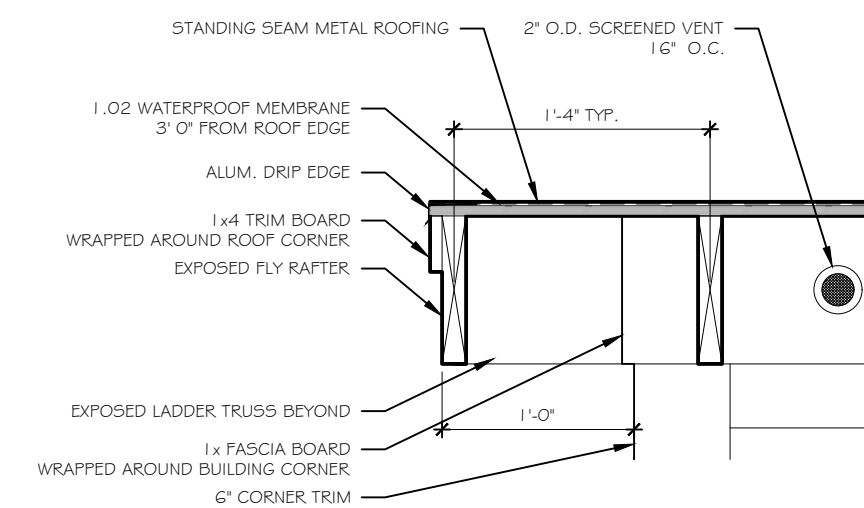
The Elevated Studio
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Beacon, NY 12508
646.759.7513 | info@theelevatedstudio.org



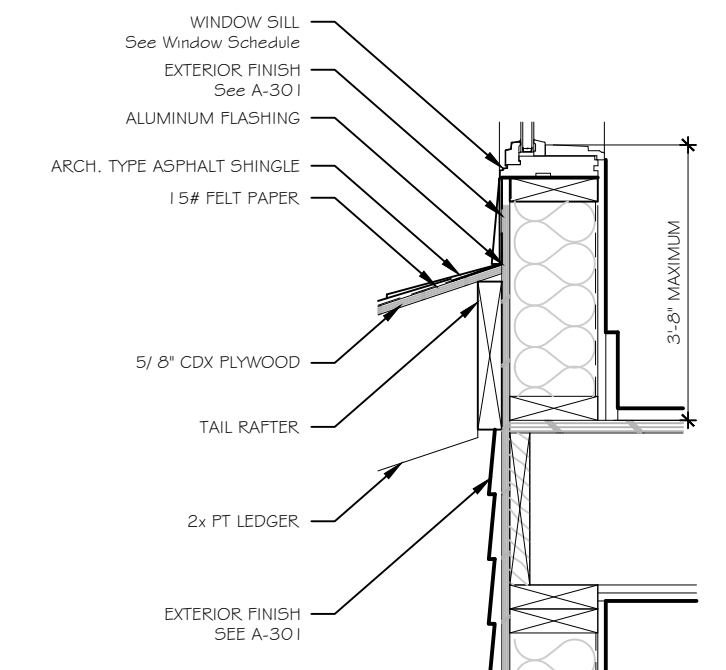
5 ROOF RAKE DETAIL
SCALE: 1" = 1'0"



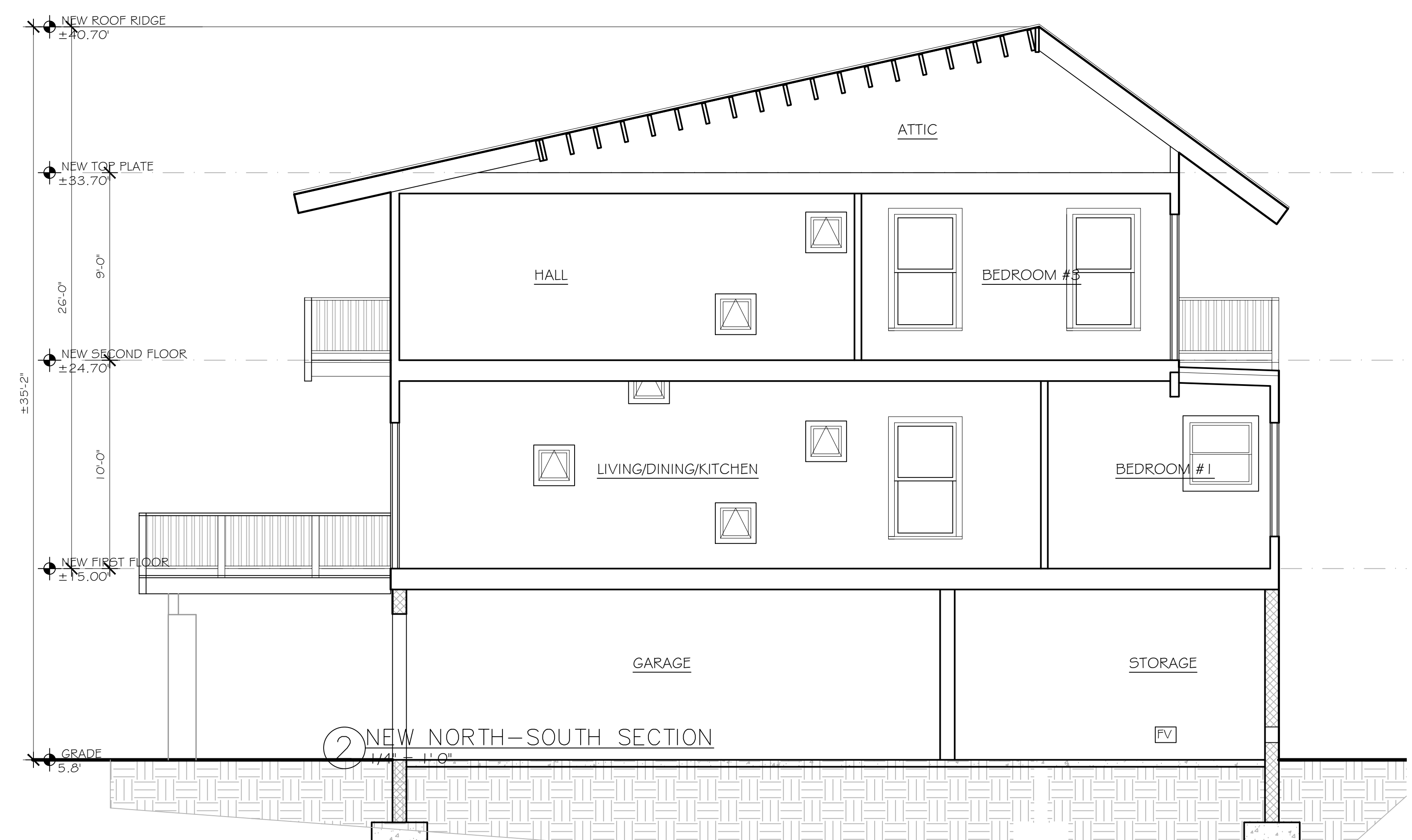
4 ROOF EDGE DETAIL
SCALE: 1" = 1'0"



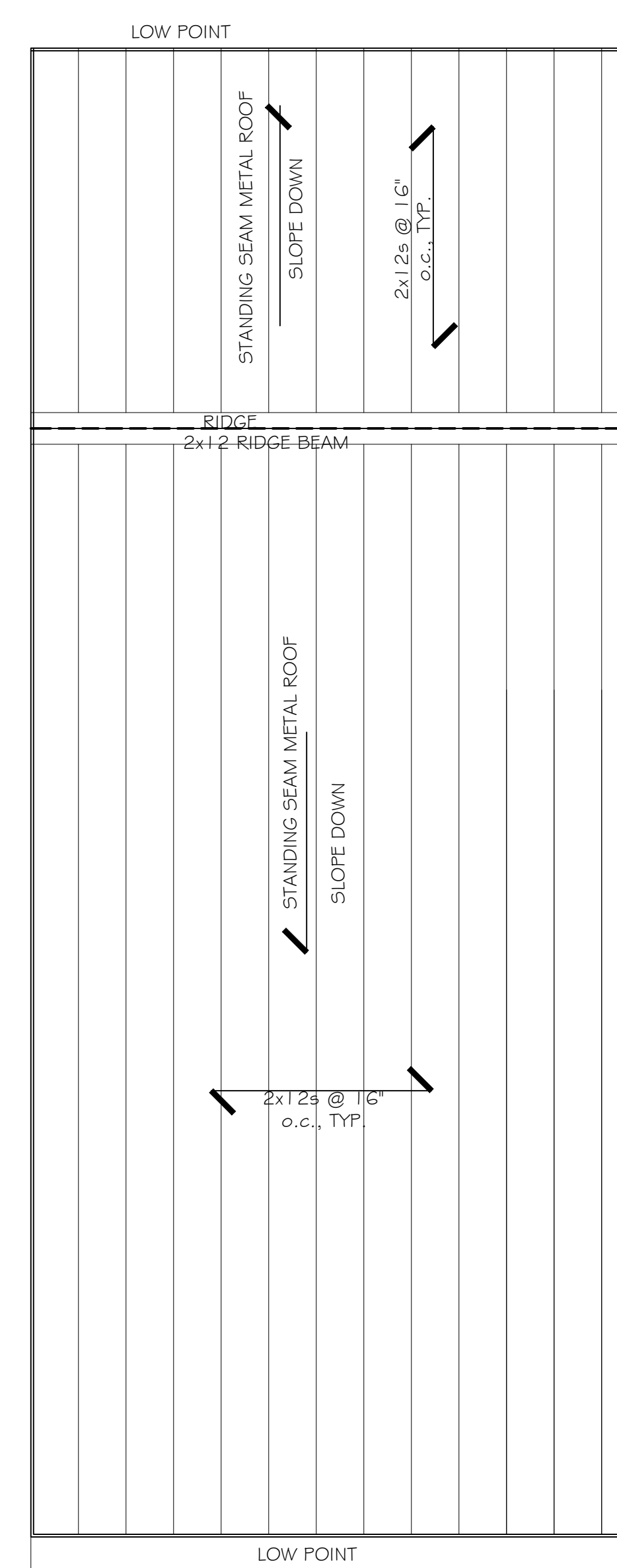
3 ROOF RAKE DETAIL
SCALE: 1" = 1'0"



2 ROOF LEDGER DETAIL
SCALE: 1" = 1'0"



6 PROPOSED BUILDING SECTION
1/4" = 1'0"



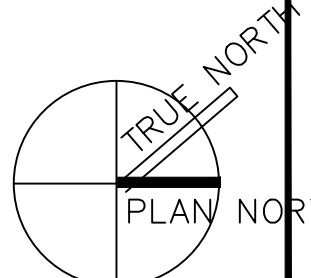
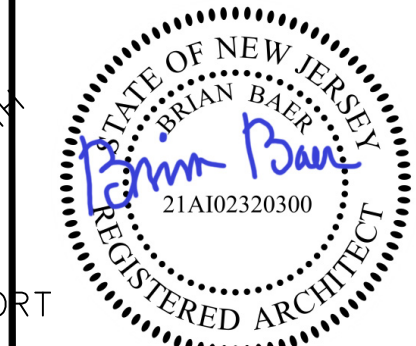
1 PROPOSED ROOF PLAN
1/4" = 1'0"

REVISIONS

DATE	COMMENTS
2024.DEC.03	LUB SUBMISSION

DRAWING NAME
PROPOSED ROOF PLAN & DETAILS

SCALE	3/16" = 1'0"
DATE	2018.10.08
PROJECT No.	46359
DRAWN BY	Z.S.
CHECKED BY	B.B.
DRAWING X OF X	9 of 20
DRAWING NUMBER	A-203.00



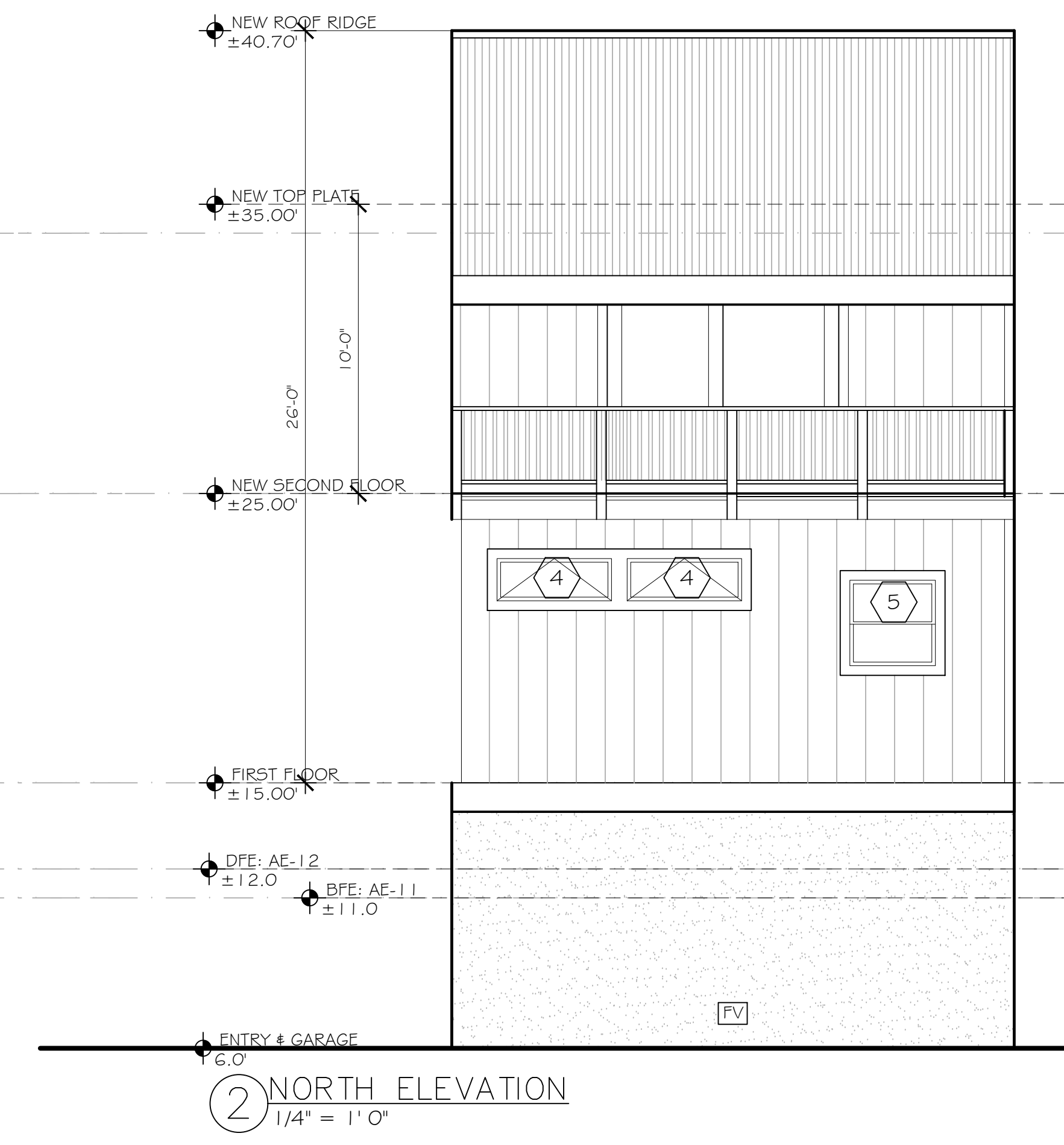
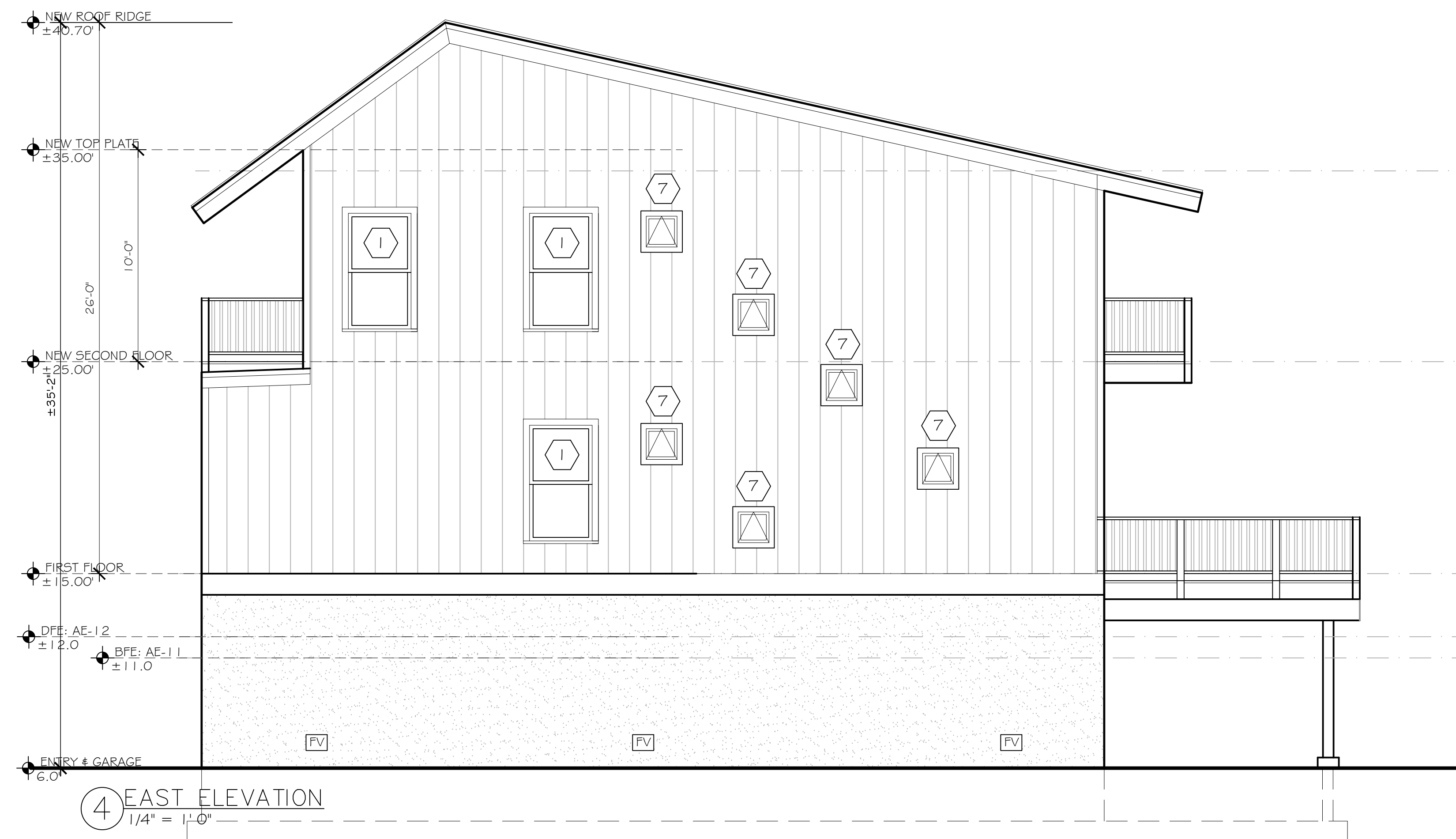
McGHEE RESIDENCE

43 Gravelly Point Road
Highlands, NJ

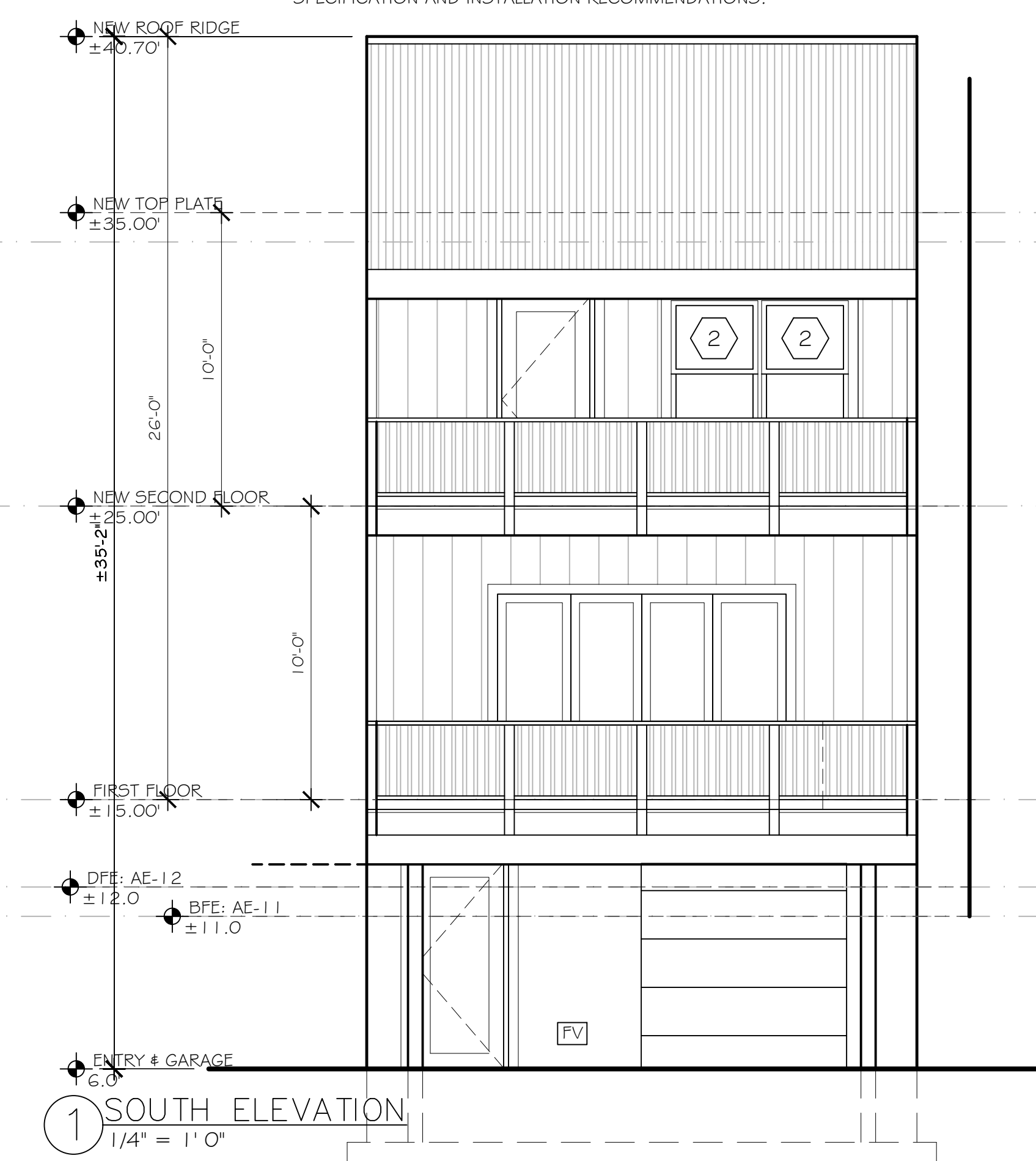
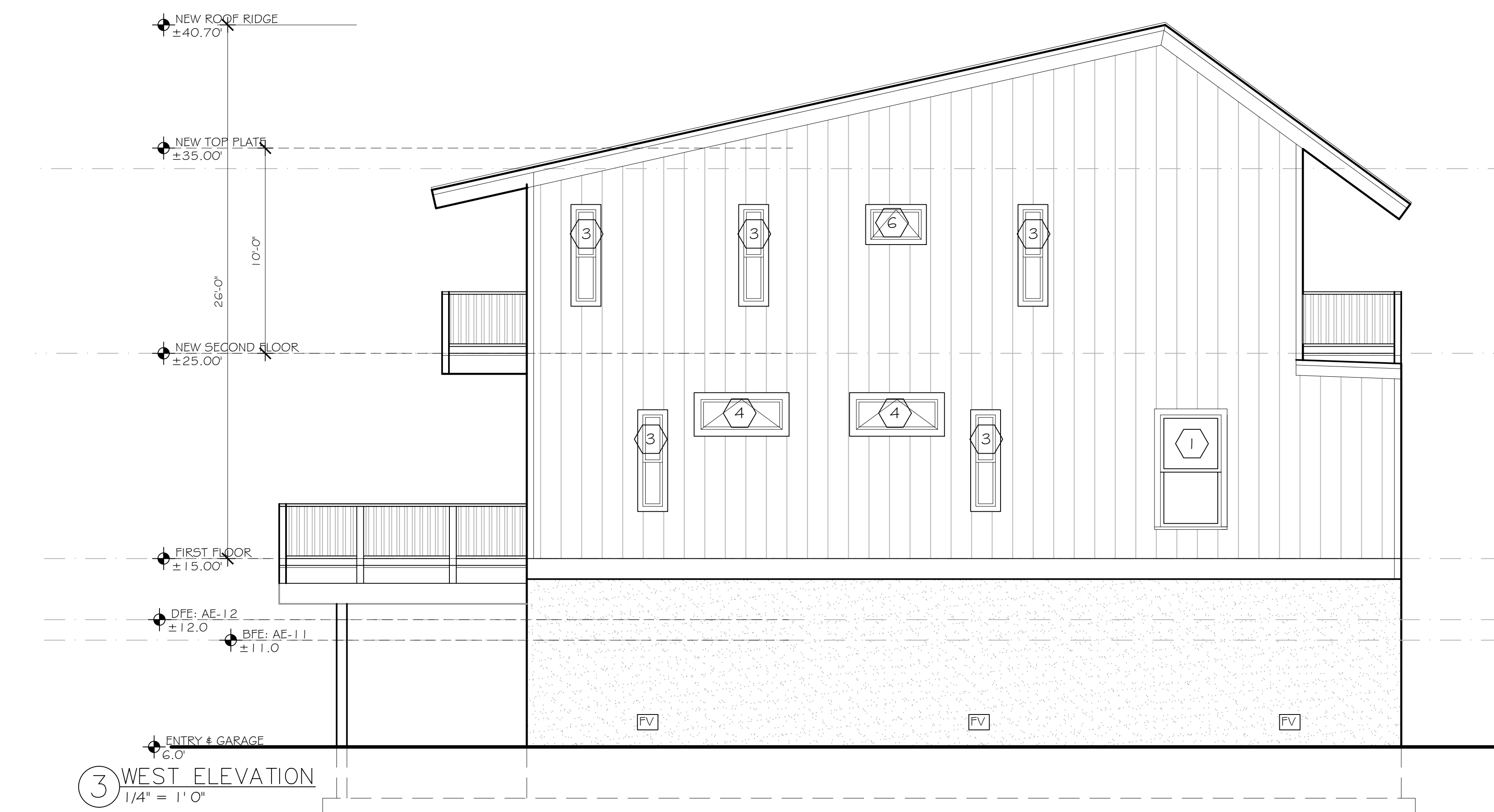
Renovations

ARCHITECT :

The Elevated Studio
359 Main Street, #1121
Beacon, NY 12508
646.759.7513 | info@theelevatedstudio.org



NOTE: ALL SIDING SHALL BE FIBR BOARD AND BATTEN BY JAMES HARDIE, INC. COLOR AS SELECTED BY OWNER, TYP. ALL ELEVATIONS. DETAILS SHALL BE BY MANUFACTURER'S SPECIFICATION AND INSTALLATION RECOMMENDATIONS.



REVISIONS

DATE	COMMENTS
2024.DEC.03	LUB SUBMISSION

DRAWING NAME
PROPOSED EXTERIOR ELEVATIONS

SIGN & SEAL		SCALE 1/4" = 1'-0"	
		DATE	2022.10.29
		PROJECT No.	4015-22
DRAWN BY	bb	CHECKED BY	BB
DRAWING NUMBER		A-301.00	



Roberts
ENGINEERING GROUP LLC
Women Business Enterprise Certified

1670 Whitehorse-Hamilton Square Rd.
Hamilton, New Jersey 08690
609-586-1141 fax 609-586-1143
www.RobertsEngineeringGroup.com

September 16, 2024

Nancy Tran
Land Use Board Secretary
Borough of Highlands Land Use Board
151 Navesink Avenue
Highlands, New Jersey 07732

Re: Completeness Review No. 1
Applicant: Suzanna McGhee
43 Gravelly Point Road
Block 100, Lot 26.43
Borough of Highlands, Monmouth County, New Jersey
Our File No.: HLPB24-05

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations.

The Applicant seeks to construct a 2-story, 3-bedroom dwelling. The previous single-story, single-bedroom dwelling has since been demolished.

The existing lot is located in the Bungalow Colonies area of the R-2.03 Single Family Residential Zoning District. The property is located in the AE Flood Hazard area.

A site plan is not required per §21-86A.4.b(2)(e):

Zone R-2.03 shall require an application for a site plan for the entire property except for those situated in Block 100, Lots 26.01- 26.76 and Block 69, Lots 15.01-15.28. This applies to subject property, Block 100, Lot 26.43.

We have reviewed the following documents submitted in support of the above referenced application for completeness purposes:

1. Copy of the Land Use Board Application for Subdivision and Variance dated August 21, 2024.
2. Copy of the Denial of Zoning Permit Identification form dated July 17, 2024.
3. Copy of an unsigned Survey entitled, "Location Survey for: Susan McGhee prepared by Ronald L. Trinada, PLS, from R & T Land Surveying, dated May 29, 2024."
4. Copy of unsigned Plans Set entitled, "McGhee Residence, 43 Gravelly Point Road, Highlands, NJ, Renovations, prepared by The Elevated Studio, dated October 29, 2022." The set consists of 4 sheets.

We offer the following comments and recommendations for the Land Use Board's consideration:

I. ZONING

1. This property is located in an area designated as the Bungalow Colonies within the R-2.03 Single Family Residential District. The property is subject to the Bungalow Colonies' bulk requirements and applicable ordinances.
2. The Applicant requires one D (6) variance because the proposed building height exceeds the maximum height permitted in the district for a principal structure. To be entitled to "d" variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A 40:55D-70d. The Applicant is proposing a two-story building with a building height of 25.85 feet, where 20 feet is permitted. The Applicant will be required to provide proof during testimony.
3. The Applicant must provide measurements for the proposed dwelling width and length as well as the front yard, side yard, and rear yard setbacks to fully determine all bulk "c" variances are being requested. In addition, the Applicant must indicate if any accessory buildings or additional impervious coverage is proposed for the lot.

The Applicant requires one (1) bulk "d" variance for maximum building height and three (3) bulk "c" variances for minimum lot area, minimum lot depth, and minimum lot width. To be entitled to bulk "c" variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A 40:55D-70c.

The Applicant will be required to provide proof during testimony.

4. The following bulk requirement summary is provided for the Board's reference. In accordance with Ordinance §21-86A.4.b existing and proposed bulk deficiencies which require bulk "c" variances have been noted:

Requirement	R-2.03 Residential Zone	Bungalow Colonies Required	Existing Lot 26.43 Bungalow Colonies	Proposed Lot 26.43 Bungalow Colonies
Min. Lot Area (sf)	5,000	5,000	1,347.5**	1,347.5*
Lot Frontage/Width (ft)	50	50	24.50**	24.50*
Min. Lot Depth (ft)	100	100	55**	55.00*
Min. Front Yard Setback (ft)	20	3	-	TBD.
Min. Side Yard Setback (ft)	6/8	3	-	TBD.
Min. Rear Yard Setback (ft)	20	3	-	TBD.
Max. Building Height (ft)***	30	20	-	25.85*
Max Lot Coverage****	75%	75%	-	TBD.
Max Building Coverage****	30%	35%	-	TBD.
On-Site Parking (spaces)	2	1	-	2

- * Proposed Variance
 ** Existing non-conformity
 *** Where a dwelling is constructed or reconstructed to provide the required parking under the structure, the maximum height shall be increased by two and one-half (2 ½) feet.
 **** §21-86 A.4.b(c) Total building coverage shall not exceed thirty-five (35%) percent of the total lot area and total lot coverage shall not exceed seventy-five (75%) percent except for those situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28.

II. VARIANCES REQUIRED:

- N.J.S.A. 40:55D70d
 D (6) Bulk Variance required
 §21-86A.4.b (2)(d)
 The building height shall not exceed twenty (20) feet.
- Those noted in the Table.

III. APPLICATION FEES (PART 6 FEE SCHEDULE ARTICLE XXIII, ORD. 21-107)

The Applicant may be subject to additional application fees subject to the submission of the remaining building and setback measurements.

As posted on Borough website under Land Use forms

Variances:			
Residential "c" (max. building height) x1	1 EA	\$ 150.00	\$ 150.00
Residential "c" (minimum lot area) x1	1 EA	\$ 125.00	\$ 125.00
Residential "c" (minimum lot depth) x1	1 EA	\$ 125.00	\$ 125.00
Residential "c" (minimum lot width) x1	1 EA	\$ 125.00	\$ 125.00

Subtotal \$525.00

IV. CHECKLIST ITEMS

A Site Plan is not required per §21-86A.4.b(2)(e) thus a checklist is not required for this submission.

V. COMPLETENESS

We recommend this application be deemed incomplete. Additional information must be provided to perform a complete technical review and fee calculation for the application.

The Bungalow Colony is defined in the municipal code as a cluster of small, detached dwelling units originally designed for summer occupancy only, located on property held in common ownership. There are other properties in the immediate vicinity that have recently developed lots with large multiple storied dwellings.

The property is required to follow the bulk requirements for the Bungalow Colony area.

VI. GENERAL COMMENTS

Although the property does not require a site plan, the following information is required:

1. Please provide a signed and dated survey, and a plan that shows where the new house will be located along with its proposed setbacks.
2. Please provide a zoning bulk and area requirements table on the plan noting zoning for bungalow parameters.
3. Please confirm the proposed building and lot coverages.
4. Please provide the nearest proposed front, back, and side building offsets on the plan.
5. Please indicate the number of parking spaces proposed and where the parking spots will be located.
6. Please indicate the location of the proposed building on the lot.
7. Please confirm if any accessories or impervious surfaces are proposed for the site.
8. Water appears to flow towards the sides and pond at the back of the lot. Applicant to propose grading to direct water away from the side and back lots, and towards the roadway.
9. Please provide the base and design flood elevations.

We will continue our review upon submission of revised plans.

Should you have any questions, please do not hesitate to contact me.

Very truly yours,



Carmela Roberts, PE, CME, CPWM
Land Use Board Engineer

cc: Michael Muscillo, Borough Administrator, (mmuscillo@highlandsborough.org)
Austin P. Mueller, Assoc., Land Use Board Attorney (amueller@weiner.law)
Courtney Lopez, Zoning Officer (clopez@highlandsborough.org)
Suzanne McGhee, Applicant (sue@mesuey.com)
Brian Baer, RA, Applicant's Architect (brianbaer@theelevatedstudio.org)
Cameron Corini, PE, CME, CPWM, Roberts Engineering Group, LLC
Kelly Pham, EIT, Roberts Engineering Group, LLC



October 25, 2024

Nancy Tran
Land Use Board Secretary
Borough of Highlands Land Use Board
151 Navesink Avenue
Highlands, New Jersey 07732

Re: Completeness Review No. 2
Applicant: Suzanna McGhee
43 Gravelly Point Road
Block 100, Lot 26.43
Borough of Highlands, Monmouth County, New Jersey
Our File No.: HLPB24-05

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations.

The Applicant seeks to construct a 2-story, 3-bedroom dwelling. The previous single-story, single-bedroom dwelling has since been demolished.

The existing lot is located in the Bungalow Colonies area of the R-2.03 Single Family Residential Zoning District. The property is located in the AE Flood Hazard area.

A site plan is not required per §21-86A.4.b(2)(e):

Zone R-2.03 shall require an application for a site plan for the entire property except for those situated in Block 100, Lots 26.01- 26.76 and Block 69, Lots 15.01-15.28. This applies to subject property, Block 100, Lot 26.43.

We have reviewed the following documents submitted in support of the above referenced application for completeness purposes:

1. Copy of the Land Use Board Application for Subdivision and Variance dated August 21, 2024.
2. Copy of the Denial of Zoning Permit Identification form dated July 17, 2024.
3. Copy of an unsigned Survey entitled, "Location Survey for: Susan McGhee prepared by Ronald L. Trinada, PLS, from R & T Land Surveying, dated May 29, 2024.", as shown on the architectural plan set.
4. Copy of unsigned Plan Set entitled, "McGhee Residence, 43 Gravelly Point Road, Highlands, NJ, Renovations, prepared by The Elevated Studio, consisting of 15 sheets having various individual dates in the last 5 years.

We offer the following comments and recommendations for the Land Use Board's consideration:

I. ZONING

1. This property is located in an area designated as the Bungalow Colonies within the R-2.03 Single Family Residential District. The property is subject to the Bungalow Colonies' bulk requirements and applicable ordinances.
2. The Applicant requires one D (6) variance because the proposed building height exceeds the maximum height permitted in the district for a principal structure. To be entitled to "d" variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A 40:55D-

70d. The Applicant is proposing a two-story building with a building height of 25.85 feet, where 20 feet is permitted. The Applicant will be required to provide proof during testimony.

- The Applicant must provide measurements for the proposed dwelling width and length as well as the front yard, side yard, and rear yard setbacks to fully determine all bulk "c" variances being requested. In addition, the Applicant must indicate if any accessory buildings or additional impervious coverage is proposed for the lot.

The Applicant requires one (1) bulk "d" variance for maximum building height and three (3) bulk "c" variances for minimum lot area, minimum lot depth, and minimum lot width. To be entitled to bulk "c" variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A 40:55D-70c.

The Applicant will be required to provide proof during testimony.

- The following bulk requirement summary is provided for the Board's reference. In accordance with Ordinance §21-86A.4.b existing and proposed bulk deficiencies which require bulk "c" variances have been noted:

Requirement	R-2.03 Residential Zone	Bungalow Colonies Required	Existing Lot 26.43 Bungalow Colonies	Proposed Lot 26.43 Bungalow Colonies
Min. Lot Area (sf)	5,000	5,000	1,347.5**	1,347.5*
Lot Frontage/Width (ft)	50	50	24.50**	24.50*
Min. Lot Depth (ft)	100	100	55**	55.00*
Min. Front Yard Setback (ft)	20	3	-	9.02#
Min. Side Yard Setback (ft)	6/8	3	-	3/3 #
Min. Rear Yard Setback (ft)	20	3	-	3
Max. Building Height (ft)***	30	20	-	25.85*
Max Lot Coverage****	75%	75%	-	71.4% Includes decks
Max Building Coverage****	30%	35%	-	64.5% Includes roof
On-Site Parking (spaces)	2	1	-	2

* Proposed Variance

** Existing non-conformity

*** Where a dwelling is constructed or reconstructed to provide the required parking under the structure, the maximum height shall be increased by two and one-half (2 ½) feet.

**** §21-86 C.4.b and §21-86 A.4.b Total building coverage shall not exceed thirty-five (35%) percent of the total lot area and total lot coverage shall not exceed seventy-five (75%) percent except for those situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28.

Unable to confirm. Refer to Zoning Section Note 5.

- Please confirm the front yard setback of 9.02 ft. The front yard setback distance is noted on the zoning table shown on Sheet 3 of the Architectural plan set, however the same is not shown on the accompanying plot plan. Please indicate the front yard setback distance on the plot plan.

Please confirm both side yard setbacks of 3 ft.

The second level floor plan indicates a width of 18.75 ft.

The 18.75 ft width would not conform to the required 3 ft side yard setbacks.

Lot width of 24.5 ft minus 6 ft (both side setbacks) =18.50.
Please update the proposed side yard setback on the zoning table, if applicable.

Additionally, the distance between the outside edge of the block pillars scales 18.5 ft on the lower-level floor plan. Please confirm and provide dimensions on the lower-level floor plan.

Please indicate the variances and/or design waivers on the zoning table shown on the architectural set.

II. VARIANCES REQUIRED:

1. N.J.S.A. 40:55D70d
D (6) Bulk Variance required
§21-86A.4.b (2)(d)
The building height shall not exceed twenty (20) feet.
2. Those noted in the Table.

III. APPLICATION FEES (PART 6 FEE SCHEDULE ARTICLE XXIII, ORD. 21-107)

The Applicant may be subject to additional application fees subject to the submission of the remaining building and setback measurements.

As posted on Borough website under Land Use forms

Variances:			
Residential "d" (max. building height) x1	1 EA	\$ 150.00	\$ 150.00
Residential "c" (minimum lot area) x1	1 EA	\$ 125.00	\$ 125.00
Residential "c" (minimum lot depth) x1	1 EA	\$ 125.00	\$ 125.00
Residential "c" (minimum lot width) x1	1 EA	\$ 125.00	\$ 125.00
Subtotal			\$525.00

IV. CHECKLIST ITEMS

A Site Plan is not required per §21-86A.4.b(2)(e) thus a checklist is not required for this submission.

V. COMPLETENESS

We recommend this application be deemed incomplete. Additional information must be provided to perform a complete technical review and fee calculation for the application.

The Bungalow Colony is defined in the municipal code as a cluster of small, detached dwelling units originally designed for summer occupancy only, located on property held in common ownership. There are other properties in the immediate vicinity that have recently developed lots with large multiple storied dwellings.

The property is required to follow the bulk requirements for the Bungalow Colony area.

VI. GENERAL COMMENTS

Although the property does not require a site plan, the following information is required:

1. A signed and dated survey, and a plan that shows where the new house will be located along with its proposed setbacks are required.

An unsigned survey entitled "Location Survey for Susan McGhee" prepared by R & T Land Surveying is shown on Sheet 1 of the Architectural plans.

A plot plan has been provided on Sheet 3 of the submitted Architectural plans indicating the dimensions of the lot, proposed dwelling and setbacks.

The plot plan is incomplete.

Please provide a proper plot plan indicating the proposed dwelling on the survey, existing dwellings on the adjoining lots, existing and proposed grades and the road name. Please indicate the lawn and pavement areas to the north of the lot and the road name.

2. The resubmitted Architectural plan set includes ten additional sheets and the individual sheets remain with the former dates of October 13, 2022, and October 29, 2022.

Please confirm that this set represents the current resubmission. Provide plan and revision dates.

The plans do not indicate a licensed architect or have signatures including dates.

All plans must be dated, signed and sealed for submission.

Some architectural sheets are incomplete with missing reference information.

3. The proposed first floor deck extends over the front setback by 2.91 ft (2'-11"). Please explain the proposed deck location in reference to §21-86A.4.b(2)(a) for bungalow colonies.

§21-86A.4.b(2)(a) states as follows:

Every unit shall have associated with it a minimum yard requirement around the perimeter of the unit and attached accessory structures of three (3) feet, except for those decks attached to the front of the dwellings situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28, which may extend to locations equivalent to those which existed prior to elevation or reconstruction as determined by prior property surveys conducted by a licensed surveyor.

For those properties situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28 that do not have prior property surveys available, any new decks attached to the front of the dwelling can extend to a location which is the equivalent of the location of the front decks located on adjacent properties situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28.

4. Please add the calculated building height to the Architectural plans. The building height is noted as 25.85 ft on the zoning table and the Denial of Zoning Permit with calculations. The application notes 28.85 ft. Please clarify and correct, as necessary.
5. Please clarify if any of the support columns from the former dwelling (demolished) remain or are all replaced with new columns. The architectural plans note both existing and proposed columns on the floor plans and wall sections. The survey indicates different offsets of the columns to the right-of-way as compared to the architectural plans.
6. Please confirm the lot and building coverages as noted on the zoning table shown on Sheet 3. The Applicant has noted that the lot coverage includes decks.

The plans include unroofed decks. According to §21-65.27.A, unroofed decks are not included in the lot coverage. Please recalculate the lot coverage.

In accordance with §21-86A.4.b(2)(c) for bungalow colonies, the noted total building coverage and total lot coverage does not apply thus no variance for the building coverage is required for Lot 26.43.

7. Please indicate the proposed number of parking spaces and the location on the plot and architectural plans. Indicate the surface material and construction detail.
8. Please provide any additional impervious coverage on the plan.

Completeness Review No. 2
Applicant: Suzanna McGhee
43 Gravelly Point Road
Block 100, Lot 26.43
Borough of Highlands, Monmouth County, New Jersey
Our File No.: HLPB24-04
Page 5 of 5

9. Runoff appears to flow towards the sides and pond at the back of the lot. Applicant to propose grading to direct water away from the side and back lots, and towards the roadway. Runoff shall not flow onto adjoining properties. Provide existing and proposed elevations at all building and property corners including midpoints of same.
10. Please indicate roof leaders and how the discharge is managed to not impact adjoining properties.
11. Please provide the location of the existing and proposed utilities.

We will continue our review upon submission of revised plans.

Should you have any questions, please do not hesitate to contact me.

Very truly yours,



Carmela Roberts, PE, CME, CPWM
Land Use Board Engineer

cc: Michael Muscillo, Borough Administrator, (mmuscillo@highlandsborough.org)
Austin P. Mueller, Assoc., Land Use Board Attorney (amueller@weiner.law)
Courtney Lopez, Zoning Officer (clopez@highlandsborough.org)
Suzanne McGhee, Applicant (sue@mesuey.com)
Brian Baer, RA, Applicant's Architect (brianbaer@theelevatedstudio.org)
Cameron Corini, PE, CME, CPWM, Roberts Engineering Group, LLC
GS Bachman, EIT, Roberts Engineering Group, LLC



December 6, 2024

Nancy Tran
Land Use Board Secretary
Borough of Highlands Land Use Board
151 Navesink Avenue
Highlands, New Jersey 07732

Re: Completeness Review No. 3
Applicant: Suzanna McGhee
43 Gravelly Point Road
Block 100, Lot 26.43
Borough of Highlands, Monmouth County, New Jersey
Our File No.: HLPB24-05

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations.

The Applicant seeks to construct a 2-story, 3-bedroom dwelling. The previous single-story, single-bedroom dwelling has since been demolished.

The existing lot is located in the Bungalow Colonies area of the R-2.03 Single Family Residential Zoning District. The property is located in the AE Flood Hazard area.

A site plan is not required per §21-86A.4.b(2)(e):

Zone R-2.03 shall require an application for a site plan for the entire property except for those situated in Block 100, Lots 26.01- 26.76 and Block 69, Lots 15.01-15.28. This applies to subject property, Block 100, Lot 26.43.

We have reviewed the following documents submitted in support of the above referenced application for completeness purposes:

1. Copy of a response letter to Review No. 1 from Brian Baer, RA, The Elevated Studio, dated December 3, 2024.
2. Copy of an unsigned Survey entitled, "Location Survey for: Susan McGhee prepared by Ronald L. Trinada, PLS, from R & T Land Surveying, dated May 29, 2024.", as shown on the architectural plan set.
3. Copy of Plan Set entitled, "McGhee Residence, 43 Gravelly Point Road, Highlands, NJ, Renovations, prepared by The Elevated Studio, consisting of 6 sheets with different plan dates and each last revised on December 3, 2024, and signed.
4. Copy of the Land Use Board Application for Subdivision and Variance dated August 21, 2024.
5. Copy of the Denial of Zoning Permit Identification form dated July 17, 2024.

We offer the following comments and recommendations for the Land Use Board's consideration:

I. ZONING

1. This property is located in an area designated as the Bungalow Colonies within the R-2.03 Single Family Residential District. The property is subject to the Bungalow Colonies' bulk requirements and applicable ordinances.
2. The Applicant requires one D (6) variance because the proposed building height exceeds the maximum height permitted in the district for a principal structure. To be entitled to "d" variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A 40:55D-

70d. The Applicant is proposing a two-story building with a building height of 26.0 feet, where 20 feet is permitted. The Applicant will be required to provide proof during testimony.

The Applicant requires three (3) bulk “c” variances for minimum lot area, minimum lot depth, and minimum lot width. To be entitled to bulk “c” variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A 40:55D-70c.

The Applicant will be required to provide proof during testimony.

- The following bulk requirement summary is provided for the Board’s reference. In accordance with Ordinance §21-86A.4.b existing and proposed bulk deficiencies which require variances have been noted:

Requirement	R-2.03 Residential Zone	Bungalow Colonies Required	Existing Lot 26.43 Bungalow Colonies	Proposed Lot 26.43 Bungalow Colonies
Min. Lot Area (sf)	5,000	5,000	1,347.5**	1,347.5*
Lot Frontage/Width (ft)	50	50	24.50**	24.50*
Min. Lot Depth (ft)	100	100	55**	55.00*
Min. Front Yard Setback (ft)	20	3	-	9.73
Min. Side Yard Setback (ft)	6/8	3	-	3/3
Min. Rear Yard Setback (ft)	20	3	-	3
Max. Building Height (ft)***	30	20	-	26.0*
Max Lot Coverage****	75%	75%	-	71.4% Includes decks
Max Building Coverage****	30%	35%	-	64.5% Includes roof
On-Site Parking (spaces)	2	1	-	2

- * Proposed Variance
- ** Existing non-conformity
- *** Where a dwelling is constructed or reconstructed to provide the required parking under the structure, the maximum height shall be increased by two and one-half (2 ½) feet.
- **** §21-86 C.4.b and §21-86 A.4.b Total building coverage shall not exceed thirty-five (35%) percent of the total lot area and total lot coverage shall not exceed seventy-five (75%) percent except for those situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28.

II. VARIANCES REQUIRED:

- N.J.S.A. 40:55D70d
 D (6) Bulk Variance required
 §21-86A.4.b (2)(d)

The building height shall not exceed twenty (20) feet.

- Those noted in the Table.

III. APPLICATION FEES (PART 6 FEE SCHEDULE ARTICLE XXIII, ORD. 21-107)

The Applicant may be subject to additional application fees subject to the submission of the remaining building and setback measurements.

As posted on Borough website under Land Use forms.

Variances:			
Residential "d" (max. building height) x1	1 EA	\$ 150.00	\$ 150.00
Residential "c" (minimum lot area) x1	1 EA	\$ 125.00	\$ 125.00
Residential "c" (minimum lot depth) x1	1 EA	\$ 125.00	\$ 125.00
Residential "c" (minimum lot width) x1	1 EA	\$ 125.00	\$ 125.00
Subtotal			\$525.00

IV. CHECKLIST ITEMS

A Site Plan is not required per §21-86A.4.b(2)(e) thus a checklist is not required for this submission.

V. COMPLETENESS

We recommend this application be deemed complete. Adequate information has been provided to perform a technical review and fee calculation for the application.

The Bungalow Colony is defined in the municipal code as a cluster of small, detached dwelling units originally designed for summer occupancy only, located on property held in common ownership. There are other properties in the immediate vicinity that have recently developed lots with large multiple storied dwellings.

The property is required to follow the bulk requirements for the Bungalow Colony area.

VI. GENERAL COMMENTS

Although the property does not require a site plan, the following information is required:

1. Please provide a signature on the survey entitled "Location Survey for Susan McGhee" prepared by R & T Land Surveying is shown on Sheet 1 of the Architectural plans.
2. Please indicate the variances on the Zoning Table shown on the architectural set, as existing non-conforming and proposed.
3. The proposed first floor deck extends over the front setback by 2.91 ft (2'-11").

This is acceptable.

The Applicant has indicated that the proposed deck conforms with §21-86A.4.b(2)(a) for it extends to a location equivalent to the prior deck and equivalent to the locations of the front decks on the adjacent properties.

4. According to §21-86A.4b the building height in the bungalow colonies shall not exceed twenty (20) feet. The garage under parking allows an additional 2.5 ft in building height or a maximum height of 22.5 feet.

The maximum building height is exceeded, and a variance is required.

The building height is incorrectly shown on the architectural plans.

Please update the maximum building height based on §21-8 Definitions for Building Height and Grade Plane shown on the Exterior Elevations. One foot is to be added to the BFE within the Flood Hazard Area. In the case of sloped roofs, the average height is the mid-point between the lowest roof eave of the top floor and the roof ridge.

Include the note, "Where a dwelling is constructed or reconstructed to provide the required parking under the structure, the maximum height shall be increased by two and one-half (2 ½) feet." in the Zoning Table.

Completeness Review No. 3
Applicant: Suzanna McGhee
43 Gravelly Point Road
Block 100, Lot 26.43
Borough of Highlands, Monmouth County, New Jersey
Our File No.: HLPB24-04
Page 4 of 4

5. In accordance with §21-86A.4.b(2)(c) for bungalow colonies, the noted total building coverage and total lot coverage does not apply thus no variance for the building coverage is required for Lot 26.43.
6. Applicant to demonstrate that runoff shall not flow onto adjoining properties. Provide existing and proposed elevations at all building and property corners including midpoints of same and the roadway.
7. Please explain how the rain dispersion system manages roof runoff and how the discharge is managed to not impact adjoining properties.

We will continue our review upon submission of revised plans.

Should you have any questions, please do not hesitate to contact me.

Very truly yours,



Carmela Roberts, PE, CME, CPWM
Land Use Board Engineer

cc: Michael Muscillo, Borough Administrator, (mmuscillo@highlandsborough.org)
Austin P. Mueller, Assoc., Land Use Board Attorney (amueller@weiner.law)
Courtney Lopez, Zoning Officer (clopez@highlandsborough.org)
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