

# FARRELL RESIDENCE

## PROPOSED ONE-CAR GARAGE RECONSTRUCTION

32 SHREWSBURY AVE.  
HIGHLANDS, NJ  
BLOCK: 43, LOT: 7

RECEIVED  
APR 28 2023  
LAND USE BOARD

PROPOSED GARAGE RECONSTRUCTION FOR FARRELL  
32 SHREWSBURY AVE., HIGHLANDS, NJ

DRAWING: COLLING A7000000  
DATE: NOVEMBER 1, 2022  
REVISED: FEBRUARY 15, 2023  
APRIL 5, 2023

### SCOPE OF WORK

THE PROJECT IS THE RECONSTRUCTION OF AN EXISTING ONE-STORY, WOOD-FRAME GARAGE WITH BRICK AIA WALL PINE-S AND V-ZONE CONSTRUCTION, ANY AND ALL NON-CONFORMING ZONING CONDITIONS (ENCLAVING AND PROPOSED) ARE INDICATED ON THE ZONING SCHEDULE.

### NUMERIC SUMMARY

EXISTING TWO-HALF (2 1/2) STORY, WOOD FRAMER, SINGLE-FAMILY RESIDENCE WITH DETACHED ONE-CAR GARAGE.

FLOOR	HOUSE	DETACHED GARAGE	FRONT PORCH	DECK
1ST FLOOR	94 SF.	212 SF.	257 SF.	22 SF.

### BUILDING CHARACTERISTICS

NUMBER OF STOREYS: 2 1/2 - STOREYS (EXISTING HOUSE TO REMAIN; 1 - STORY DETACHED GARAGE TO BE RECONSTRUCTED)

HEIGHT OF STRUCTURE: 10' 0" (GARAGE ROOF HEIGHT)

AREA - LARGEST FLOOR: 94 SF. (EXIST. HOUSE FIRST FLOOR)

CONSTRUCTION CLASSIFICATION: 5B IBC 2018

PLUMBING FLOOR ZONE: 7A-15 (V-ZONE CONSTRUCTION)

### ZONING SCHEDULE

TYPE	APPLICABLE ZONING DISTRICT	HEIGHT	AREA	PROPOSED
HOUSE	WOOD	30 FT. (MAXIMUM #2) 2 1/2 STORY	N/A	N/A
	WOOD	30 FT. (MAXIMUM #2) 2 1/2 STORY	2 1/2 STORY	7 1/2 STORY
	WOOD	30 FT. (MAXIMUM #2) 2 1/2 STORY	N/A	7 1/2 STORY
	WOOD	30 FT. (MAXIMUM #2) 2 1/2 STORY	N/A	7 1/2 STORY
GARAGE	WOOD	10 FT. (MAXIMUM #2) 1 STORY	N/A	N/A
	WOOD	10 FT. (MAXIMUM #2) 1 STORY	N/A	10 FT. (MAXIMUM #2) 1 STORY
	WOOD	10 FT. (MAXIMUM #2) 1 STORY	N/A	10 FT. (MAXIMUM #2) 1 STORY
	WOOD	10 FT. (MAXIMUM #2) 1 STORY	N/A	10 FT. (MAXIMUM #2) 1 STORY

### INDEX

- SHEET #1: USE GROUP CONSTRUCTION INT. HOUSE SUMMARY SCOPE OF WORK ZONING SCHEDULE BUILDING CHARACTERISTICS
- SHEET #2: GARAGE FOUNDATION PLAN GARAGE FLOOR PLAN GARAGE FRONT ELEVATION GARAGE LEFT SIDE ELEVATION GARAGE REAR ELEVATION GARAGE REAR SIDE ELEVATION
- SHEET #3: FLOOR PLAN

### DESIGN LOADS

1ST FLOOR: 40 PSF LIVE LOAD, 20 PSF DEAD LOAD

ROOF: 20 PSF LIVE LOAD, 30 PSF DEAD LOAD

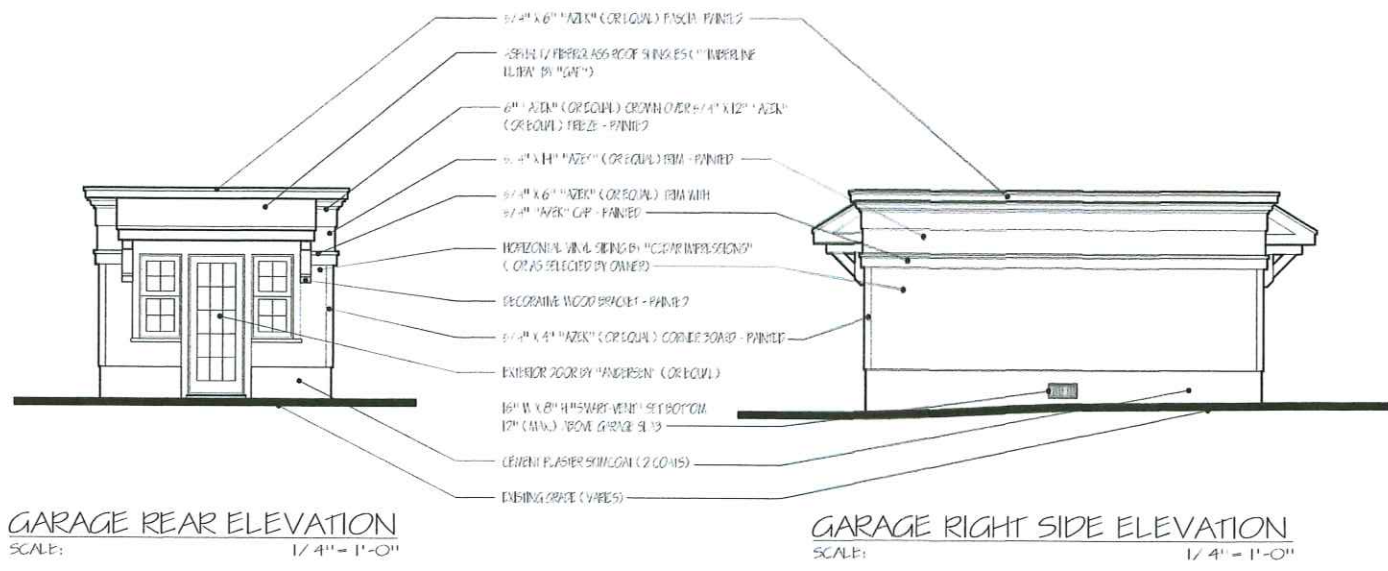
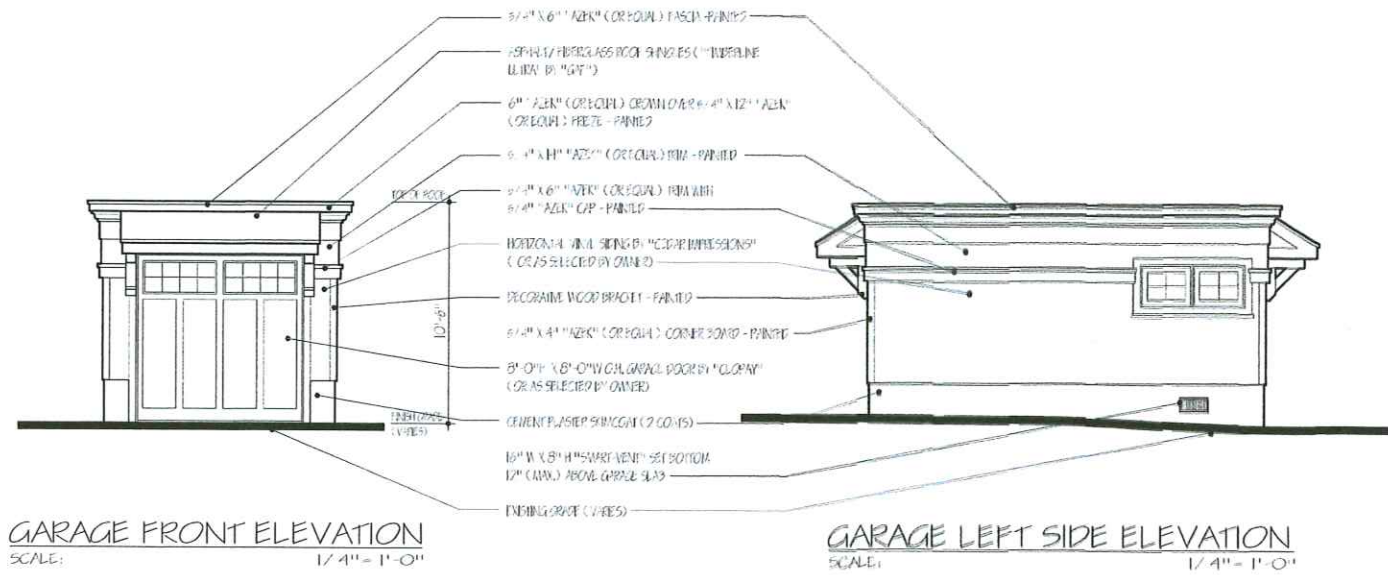
NOTE: FOR ALL HORIZONTAL STRUCTURAL MEMBERS THE MAXIMUM ALLOWABLE DEFLECTION UNDER TOTAL LOAD, AT MID-SPAN, SHALL BE 1/400 L/D.

USE GROUP: R5 IBC / IRC 2018  
CONSTRUCTION TYPE: 5B IBC 2018

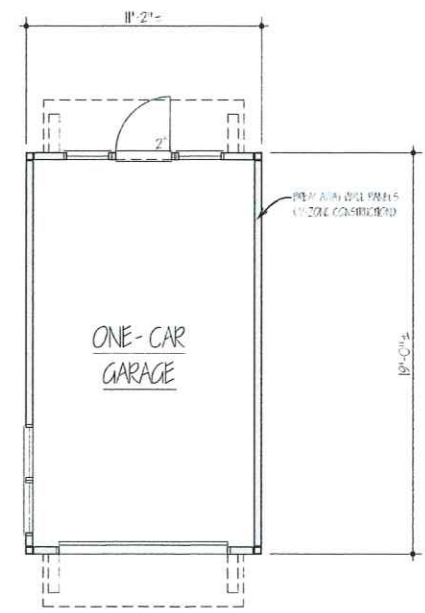
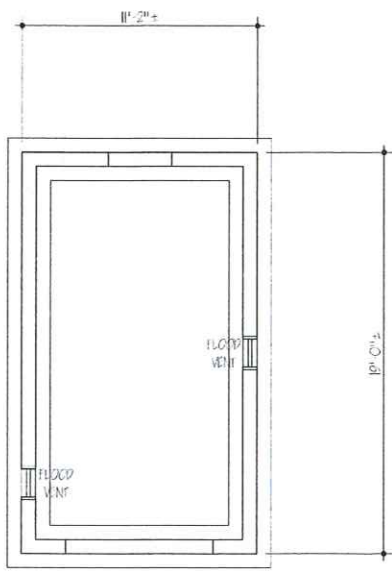
ROBERT W. ADLER & ASSOCIATES, PA ARCHITECTS  
WWW.RWAARCHITECTS.COM  
Tel: 732-571-1000

RWA  
1069 Broadway West Long Branch, NJ 07740

DATE: NOV 1 2022



**BLOCK VENT NOTE:**  
 PROVIDE "SMART VENT" MODEL #16-40-20 FOR BLOCK WALLS FOR HYDROSTATIC RELIEF OF 200 SQ. FT. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS. COORDINATE VENT COLOR WITH OWNER.  
 - DETACHED GARAGE: 212 SF. / 200 SF. = 2 VENTS (2 REQ.)



RECEIVED  
 APR 28 2023  
 LAND USE BOARD

PROPOSED GARAGE RECONSTRUCTION FOR FARRELL

DRAWING: FOUNDATION PLAN, GARAGE FLOOR PLAN, GARAGE ELEVATIONS

DATE: NOV. 18<sup>TH</sup>, 2022

REVISED: FEBRUARY, 2023 BY: S. J. ADLER

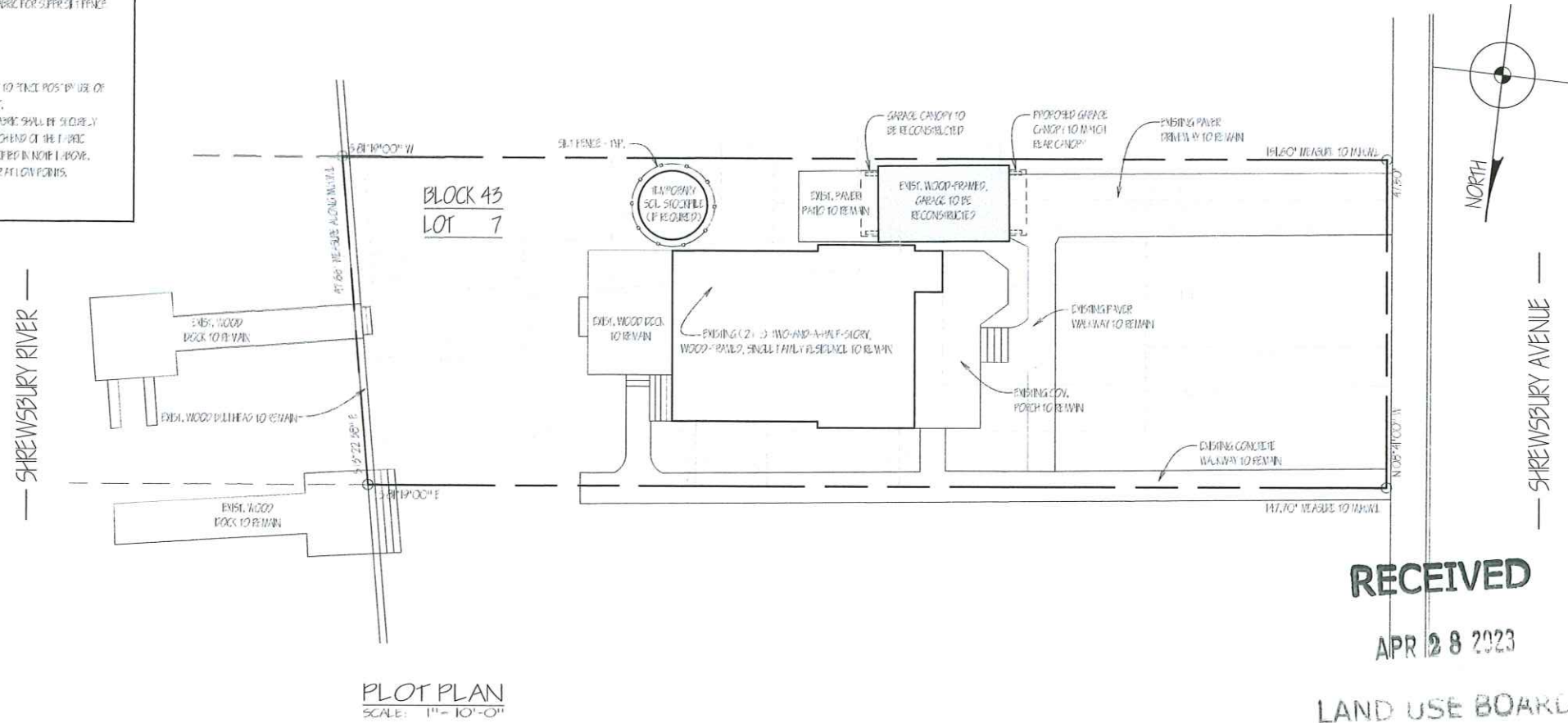
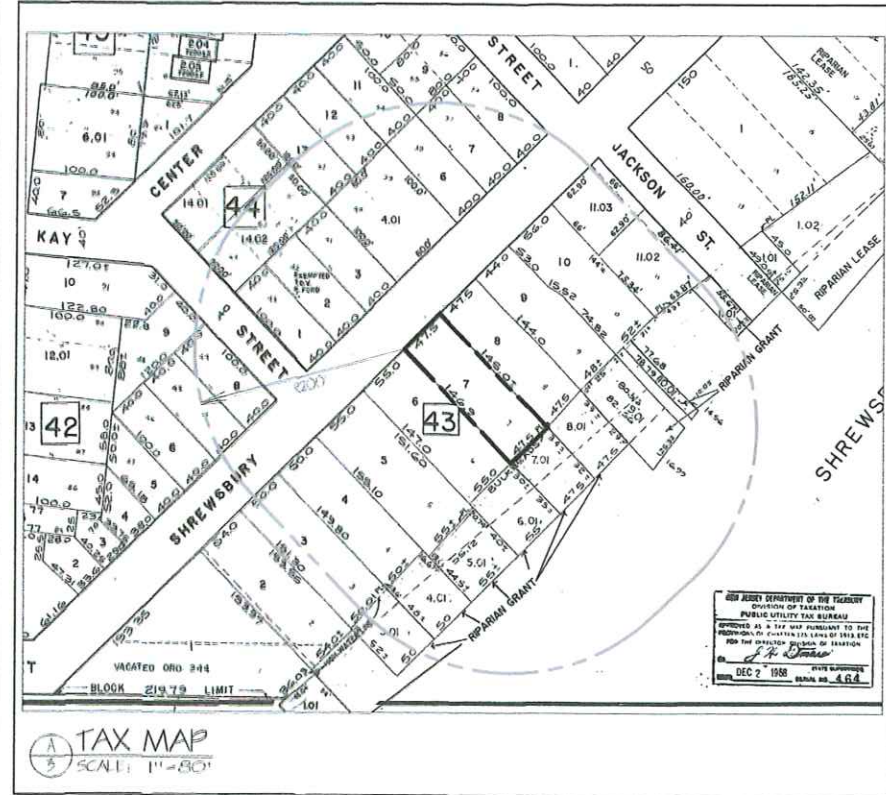
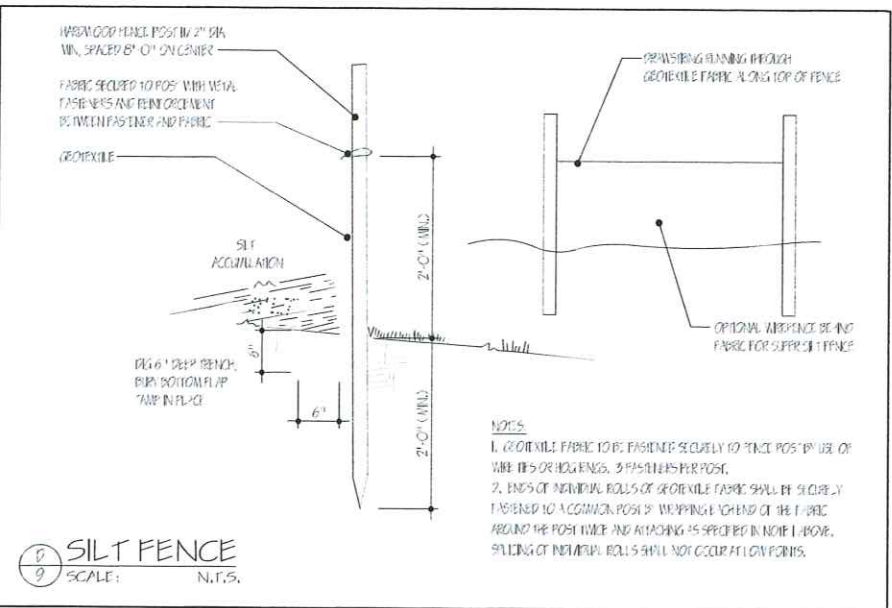
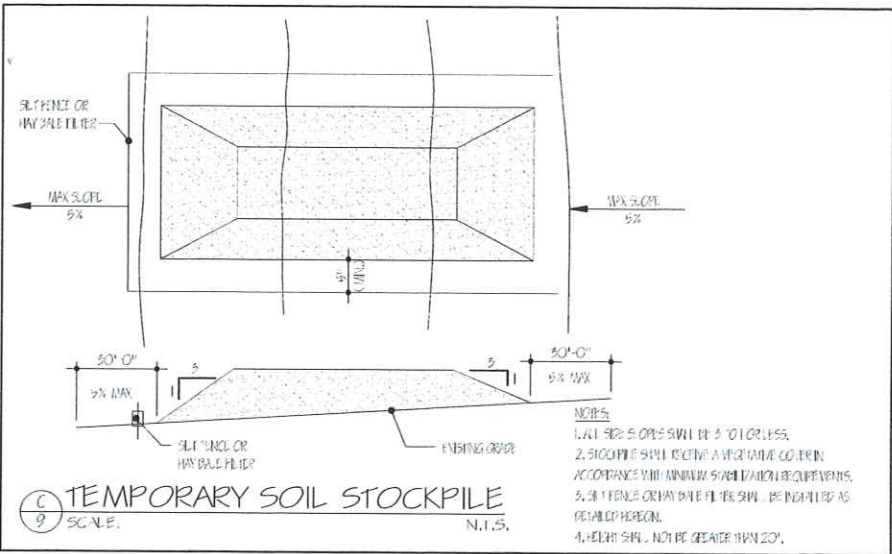
**ROBERT W. ADLER & ASSOCIATES, PA ARCHITECTS**  
 WWW.RWAADLERASSOCIATES.COM  
 TEL: 732-571-1000

**RWA**  
 1009 Broadway West Long Branch, NJ 07744

LICENSURE: [Signature]

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**NOTE:**  
INFORMATION TAKEN FROM SURVEY PROVIDED BY OWNER, DONE BY "PROVINCINGTON LAND SURVEYING", BEFORE NEW JERSEY AND PAID 2:14/15, 2019. REFER TO PLOTTING DRAWINGS FOR ANY ADDITIONAL NOTES AND DIMENSIONS.

FABRICATED GARAGE RECONSTRUCTION FOR  
**FARRELL**  
12545 25TH AVE  
LANCASTER, PA 17601

**DRAWING:**  
FC-182

**DATE:**  
NOV 20, 2023

**REVISED:**  
MARCH 15, 2024  
NO. 2, 2, 2, 2

**ROBERT W. ADLER & ASSOCIATES, PA ARCHITECTS**  
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APR 28 2023

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