

FARRELL RESIDENCE

PROPOSED ONE-CAR GARAGE RECONSTRUCTION

32 SHREWSBURY AVE.
HIGHLANDS, NJ
BLOCK: 43, LOT: 7

SCOPE OF WORK

THE PROJECT IS THE RECONSTRUCTION OF AN EXISTING ONE-STORY, WOOD-FRAMED GARAGE WITH BREAK AWAY WALL PANELS AND V-ZONE CONSTRUCTION. ANY AND OR NON-CONFORMING ZONING CONDITIONS (EXISTING AND PROPOSED) ARE INDICATED ON THE ZONING SCHEDULE.

NUMERIC SUMMARY

EXISTING TWO-HALF (2-1/2) -STORY, WOOD-FRAMED, SINGLE-FAMILY RESIDENCE WITH DETACHED ONE-CAR GARAGE:

	HOUSE (EXIST. TO REMAIN)	DETACHED GARAGE (EXIST. TO BE RECONSTRUCTED)	FRONT PORCH (EXIST. TO REMAIN)	DECK (EXIST. TO REMAIN)
1ST FLOOR	914 SF.	212 SF.	252 SF.	229 SF.

BUILDING CHARACTERISTICS

NUMBER OF STORES	2 1/2 - STORES (EXISTING HOUSE TO REMAIN) 1 - STORY (DETACHED GARAGE TO BE RECONSTRUCTED)
HEIGHT OF STRUCTURE	10' - 6" (GARAGE ROOF HEIGHT)
AREA-LARGEST FLOOR	914 SF. (EXIST. HOUSE FIRST FLOOR) 212 SF. (DETACHED GARAGE)
CONSTRUCTION CLASSIFICATION	5B IBC 2018
FEMA FLOOD ZONE	AE-15 (V-ZONE CONSTRUCTION)

ZONING SCHEDULE

W-F-R	WATERFRONT TRANSITION-RESIDENTIAL ZONE	REQUIRED	EXISTING	PROPOSED
HEIGHT:	MAX. BLDG. 30 FT. (REFER TO NOTE #2) 2-1/2 STORY	N/A	N/A	N/A
LOT:	MIN. LOT AREA 9,000 MIN. LOT FRONTAGE 90.00 FT. MIN. LOT DEPTH 100.00 FT. MAX. LOT COVERAGE 4,976.00 SF. (70%) MAX. BLDG. COVERAGE 2,152.00 SF. (30%)	7,108.00 SF. 47.50 FT. ** 147.70 FT. 2,984.00 SF. (36.35%) 1,575.00 SF. (19.59%)	7,108.00 SF. 47.50 FT. ** 147.70 FT. 2,984.00 SF. (36.35%) 1,402.00 SF. (19.72%)	7,108.00 SF. 47.50 FT. ** 147.70 FT. 2,984.00 SF. (36.35%) 1,402.00 SF. (19.72%)
BUILDING:	MIN. FRONT SETBACK 35.00 FT. MIN. SIDE SETBACK 8.00 FT. MIN. CORR. SETBACK 20.00 FT. MIN. REAR SETBACK 25.00 FT.	64.50 FT. (HOUSE) 55.00 FT. (COV. PORCH) 8.50 FT. 21.00 FT. 44.00 FT. (HOUSE)	64.50 FT. (HOUSE) 55.00 FT. (COV. PORCH) 8.50 FT. 21.00 FT. 44.00 FT. (HOUSE)	64.50 FT. (HOUSE) 55.00 FT. (COV. PORCH) 8.50 FT. 21.00 FT. 44.00 FT. (HOUSE)
ACCESSORY:				
DETACHED GARAGE:	MIN. FRONT SETBACK 95.00 FT. (PORCH) MIN. SIDE SETBACK 3.00 FT. MIN. REAR SETBACK 3.00 FT. MAX. HEIGHT 15.00 FT. (REFER TO NOTE #2) DISTANCE FROM PRINCIPLE BLDG. N/A	54.80 FT. ** (REFER TO NOTE #1) 0.90 FT. ** 76.98 FT. 14.85 FT. (REFER TO NOTE #2) 0.50 FT.	54.80 FT. ** (REFER TO NOTE #1) 52.34 FT. ** (ROOF CANOPY) 0.90 FT. ** 76.98 FT. 74.08 FT. (ROOF CANOPY) 10.50 FT. (REFER TO NOTE #2) 0.50 FT.	54.80 FT. ** (REFER TO NOTE #1) 52.34 FT. ** (ROOF CANOPY) 0.90 FT. ** 76.98 FT. 74.08 FT. (ROOF CANOPY) 10.50 FT. (REFER TO NOTE #2) 0.50 FT.

EXISTING LOT COVERAGE INCLUDES:	PROPOSED LOT COVERAGE INCLUDES:
EXISTING FIRST FLOOR (914 SF.)	EXISTING FIRST FLOOR TO REMAIN (914 SF.)
EXISTING FRONT COVERED PORCH (292 SF.)	EXISTING FRONT COVERED PORCH TO REMAIN (292 SF.)
EXISTING DETACHED GARAGE (212 SF.)	EXISTING DETACHED GARAGE TO BE RECONSTRUCTED (212 SF.)
EXISTING CANOPY (24 SF.)	EXISTING CANOPY TO BE RECONSTRUCTED (24 SF.)
EXISTING DECK (0 SF. - REFER TO NOTE #5)	EXISTING DECK TO REMAIN (0 SF. - REFER TO NOTE #5)
EXISTING DRIVEWAY (495 SF.)	EXISTING DRIVEWAY TO REMAIN (471 SF. - NOT COVERED BY CANOPY)
EXISTING EXTERIOR STAIRS/BULKHEAD (109 SF.)	EXISTING EXTERIOR STAIRS/BULKHEAD TO REMAIN (109 SF.)
EXISTING WALKWAYS (49 SF.)	EXISTING WALKWAYS TO REMAIN (49 SF.)
EXISTING PAVER PATIO (94 SF. - NOT COVERED BY CANOPY)	EXISTING PAVER PATIO (94 SF. - NOT COVERED BY CANOPY)
EXISTING CANOPY (24 SF.)	PROPOSED CANOPY (24 SF.)

EXISTING BLDG. COVERAGE INCLUDES:	PROPOSED BLDG. COVERAGE INCLUDES:
EXISTING FIRST FLOOR (914 SF.)	EXISTING FIRST FLOOR TO REMAIN (914 SF.)
EXISTING FRONT COVERED PORCH (292 SF.)	EXISTING FRONT COVERED PORCH TO REMAIN (292 SF.)
EXISTING DETACHED GARAGE (212 SF.)	EXISTING DETACHED GARAGE TO BE RECONSTRUCTED (212 SF.)
EXISTING CANOPY (24 SF.)	EXISTING CANOPY (24 SF.)
EXISTING CANOPY (24 SF.)	PROPOSED CANOPY (24 SF.)

NOTES:
1. ACCESSORY STRUCTURES FRONT SETBACK, EXISTING NON-CONFORMING CONDITION WITH ACCESSORY STRUCTURE IN THE FRONT YARD, AS PER THE HIGHLANDS ZONING ORDINANCE, SECTION 21-78(A)3. NO ACCESSORY STRUCTURE SHALL BE PERMITTED CLOSER TO THE FRONT PROPERTY LINE THAN THE FRONT SETBACK REQUIREMENT ON THE FRONT FACE OF THE PRINCIPAL STRUCTURE, WHICHEVER IS THE LESSER. THE PROPOSED RECONSTRUCTED GARAGE SHALL MATCH EXISTING SETBACK OF 94.80 FT. WHERE THE PRINCIPLE STRUCTURE SETBACK IS 95.00 FT. ** VARIANCE REQUIRED**
2. BUILDING HEIGHT: AS PER THE HIGHLANDS ZONING DEFINITIONS, THE BUILDING HEIGHT IS THE VERTICAL DISTANCE AS MEASURED FROM THE GRADE PLANE TO THE AVERAGE HEIGHT OF THE HIGHEST ROOF SURFACE. IN THE CASE OF SLOPED ROOFS, THE AVERAGE HEIGHT IS THE MID-POINT BETWEEN THE LOWEST ROOF EDGE OF THE TOP FLOOR AND THE RIDGE.
3. DECKS: AS PER THE HIGHLANDS ZONING ORDINANCE, SECTION 21-65.27, DECKS SHALL NOT BE CONSIDERED IN THE DETERMINATION OF YARD SIZE OR LOT COVERAGE, PROVIDED, HOWEVER, THAT SUCH TERRACE OR DECK IS UNROOFED AND WITHOUT WALLS, PARAPETS, OR OTHER FORM OF ENCLOSURE.
* NON-CONFORMING ZONING CONDITION CREATED BY EXISTING CONDITIONS.
** NON-CONFORMING ZONING CONDITION CREATED BY PROPOSED NEW WORK.

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SHEET #3:	PLOT PLAN

DESIGN LOADS

1ST FLOOR-	40 PSF LIVE LOAD,	20 PSF DEAD LOAD
ROOF-	20 PSF LIVE LOAD, SNOW LOAD 125%	20 PSF DEAD LOAD

NOTE:
FOR ALL HORIZONTAL STRUCTURAL MEMBERS THE MAXIMUM ALLOWABLE DEFLECTION UNDER TOTAL LOAD, AT MID-SPAN, SHALL BE .35" MAXIMUM.

USE GROUP: R5 IBC/ IRC 2018
CONSTRUCTION TYPE: 5B IBC 2018

PROPOSED
GARAGE
RECONSTRUCTION
FOR
FARRELL
52 SHREWSBURY AVE.
HIGHLANDS, NJ

DRAWING:
COVER PAGE INFORMATION

DATE:
NOVEMBER 11, 2021

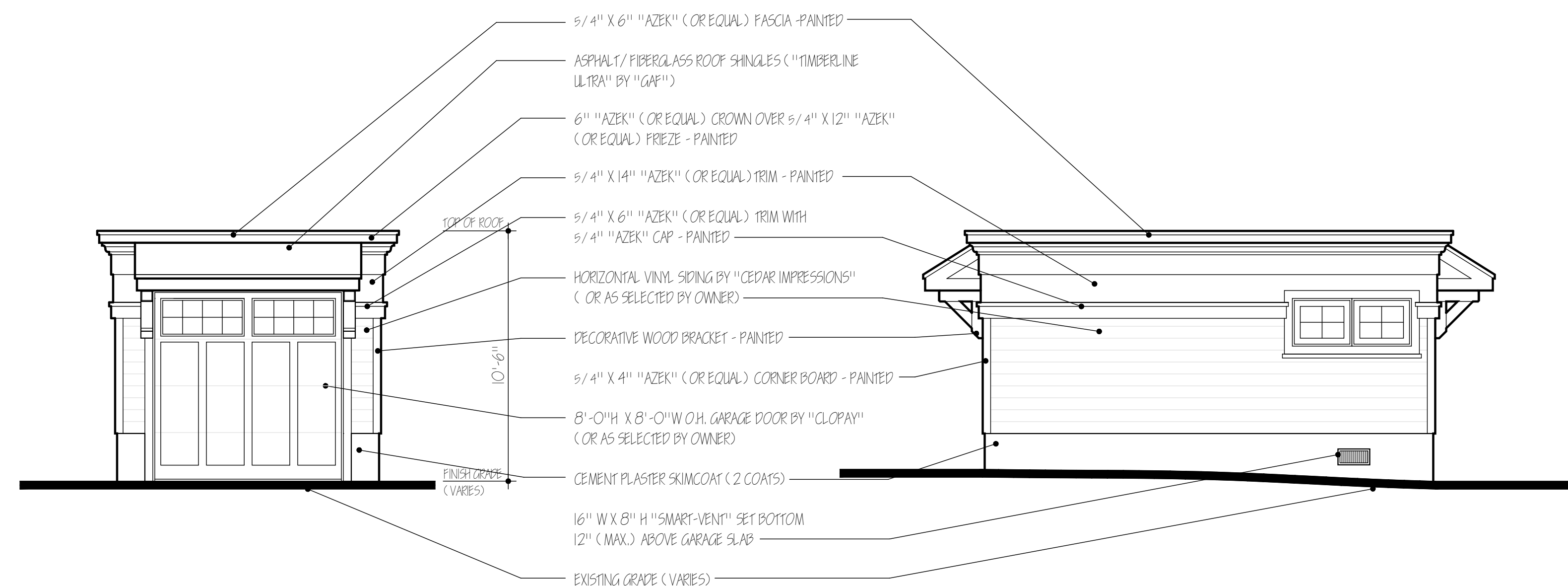
REVISED:
FEBRUARY 15, 2023
APRIL 9, 2023

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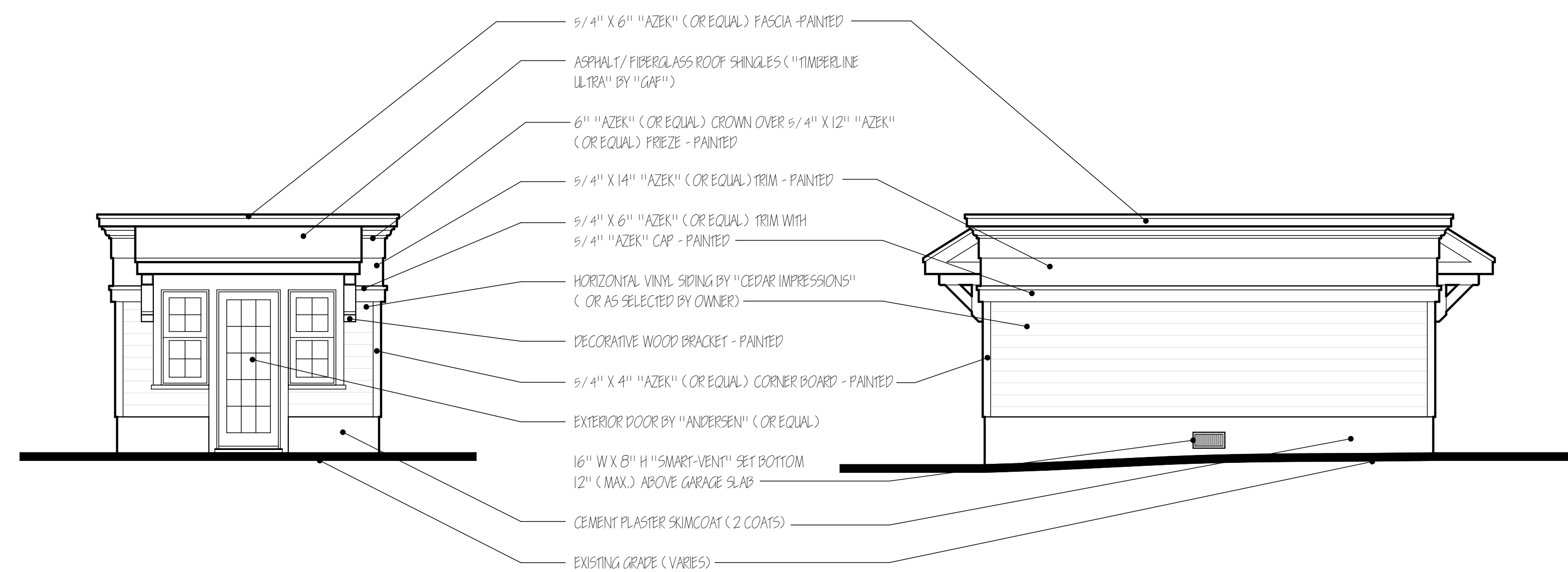
LICENSES:
NJ 10795
NY 02685J
MD 9678
PA RA-012365-B
FL AR-100476

1 OF 3



GARAGE FRONT ELEVATION
SCALE: 1/4" = 1'-0"

GARAGE LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



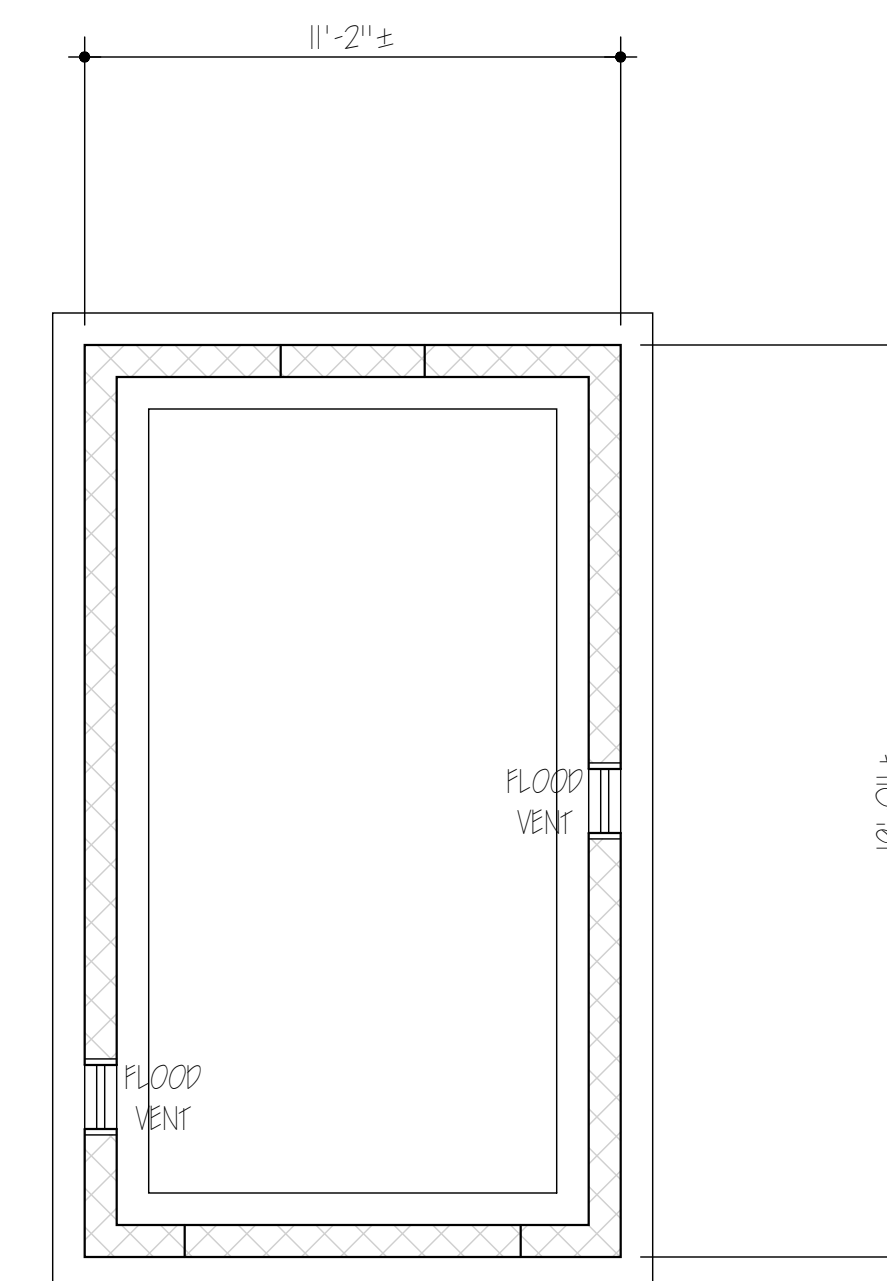
GARAGE REAR ELEVATION
SCALE: 1/4" = 1'-0"

GARAGE RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

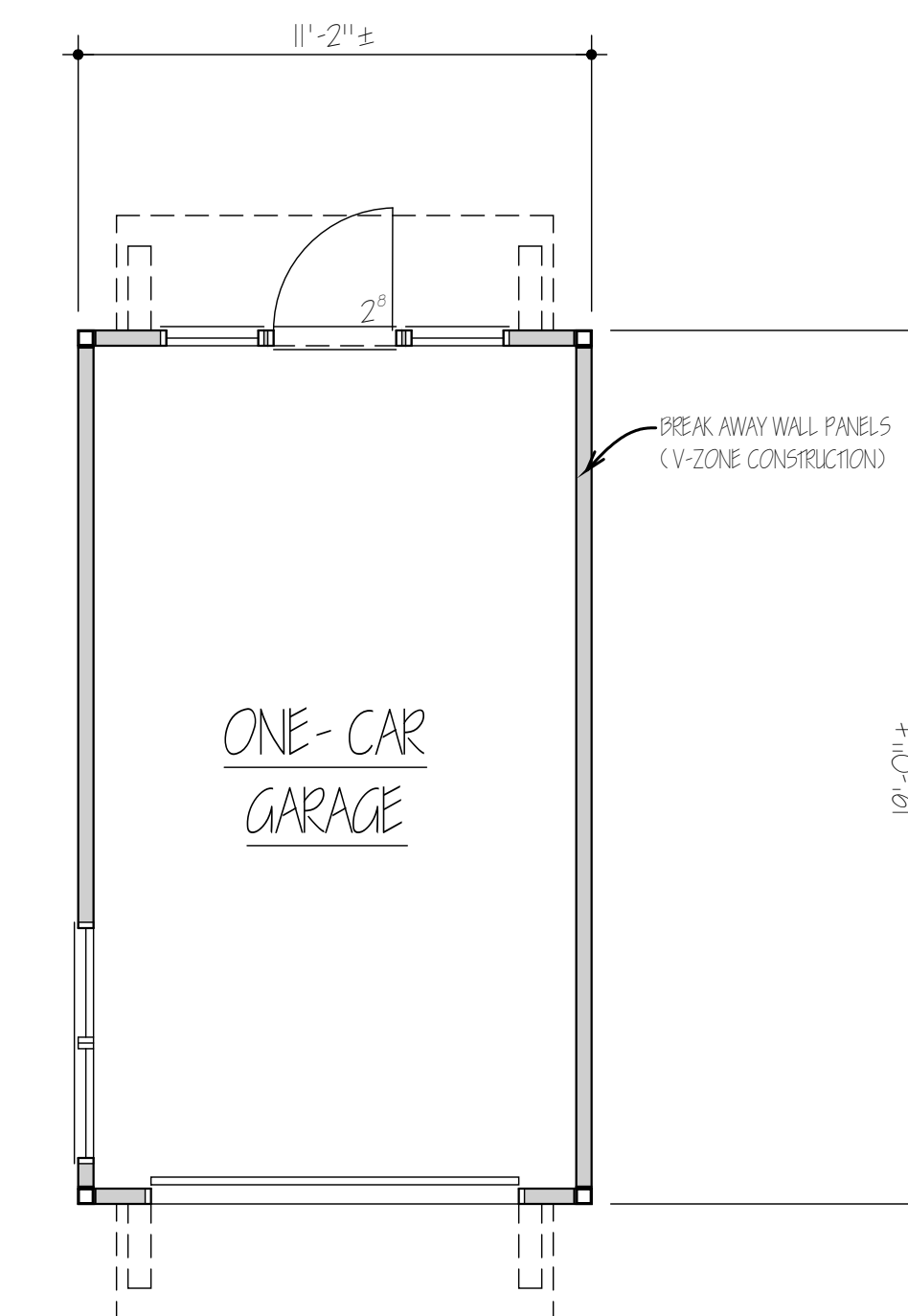
BLOCK VENT NOTE:

PROVIDE "SMART VENT" MODEL #1940-920 FOR BLOCK WALLS FOR HYDROSTATIC RELIEF OF 200 SQ. FT. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS. COORDINATE VENT COLOR WITH OWNER.

- DETACHED GARAGE: 212 S.F. / 200 S.F. = 2 VENTS (2 REQ.)



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



GARAGE FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROPOSED GARAGE RECONSTRUCTION FOR
FARRELL
52 SHEPHERD AVE.
HIGHLANDS, NJ

DRAWING:
FOUNDATION PLAN
GARAGE FLOOR PLAN
GARAGE ELEVATIONS

DATE:

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REVISED:

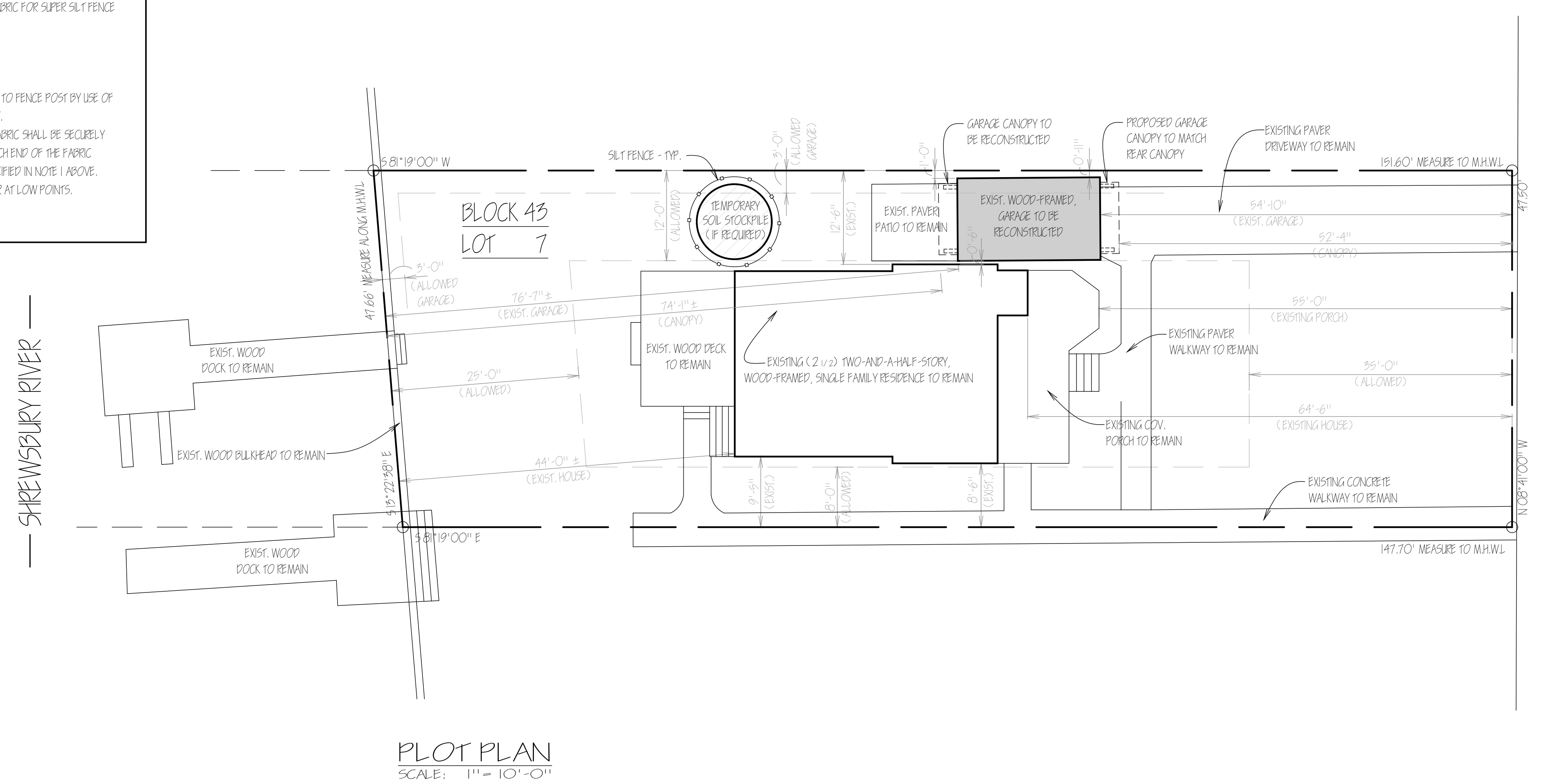
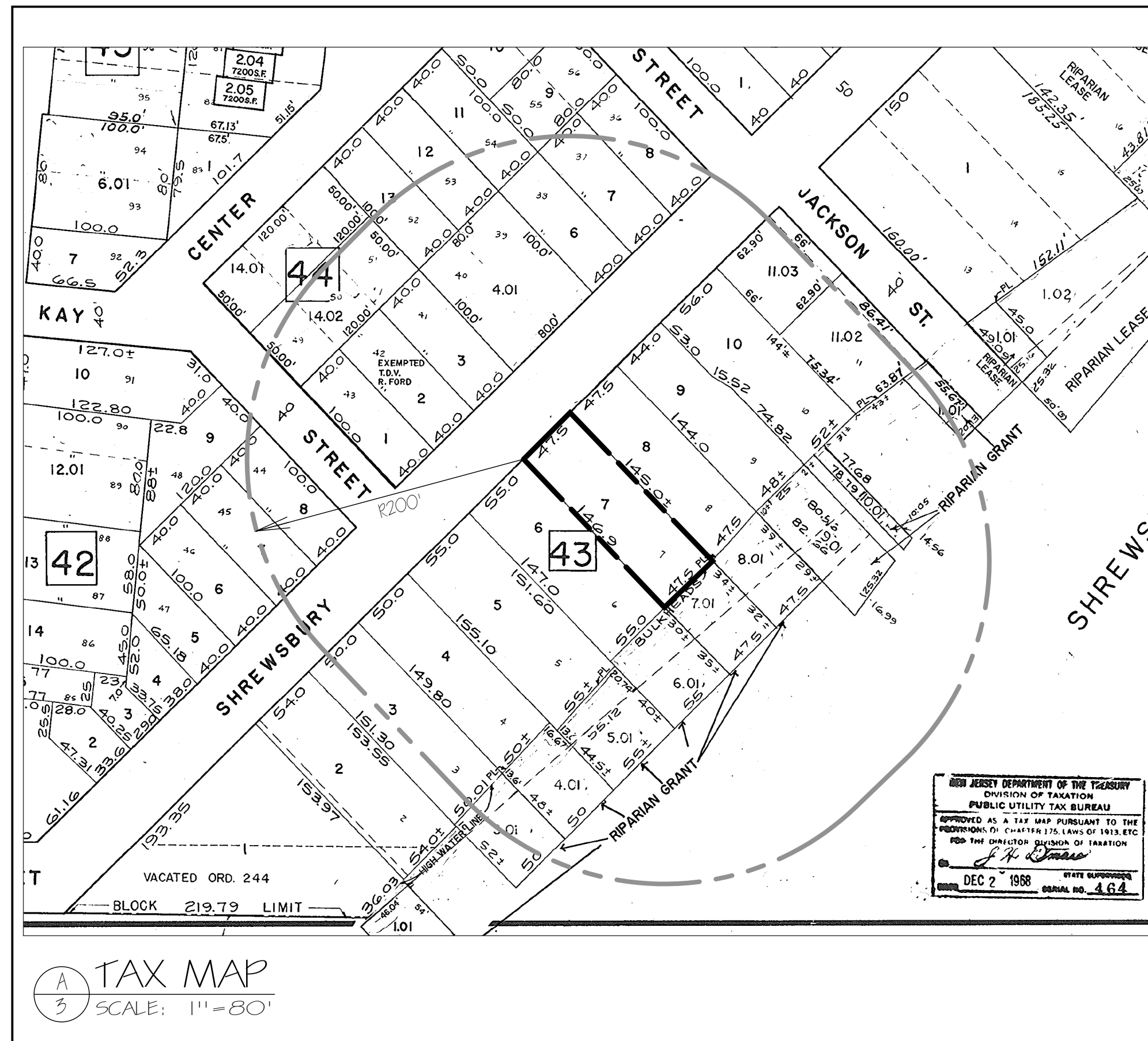
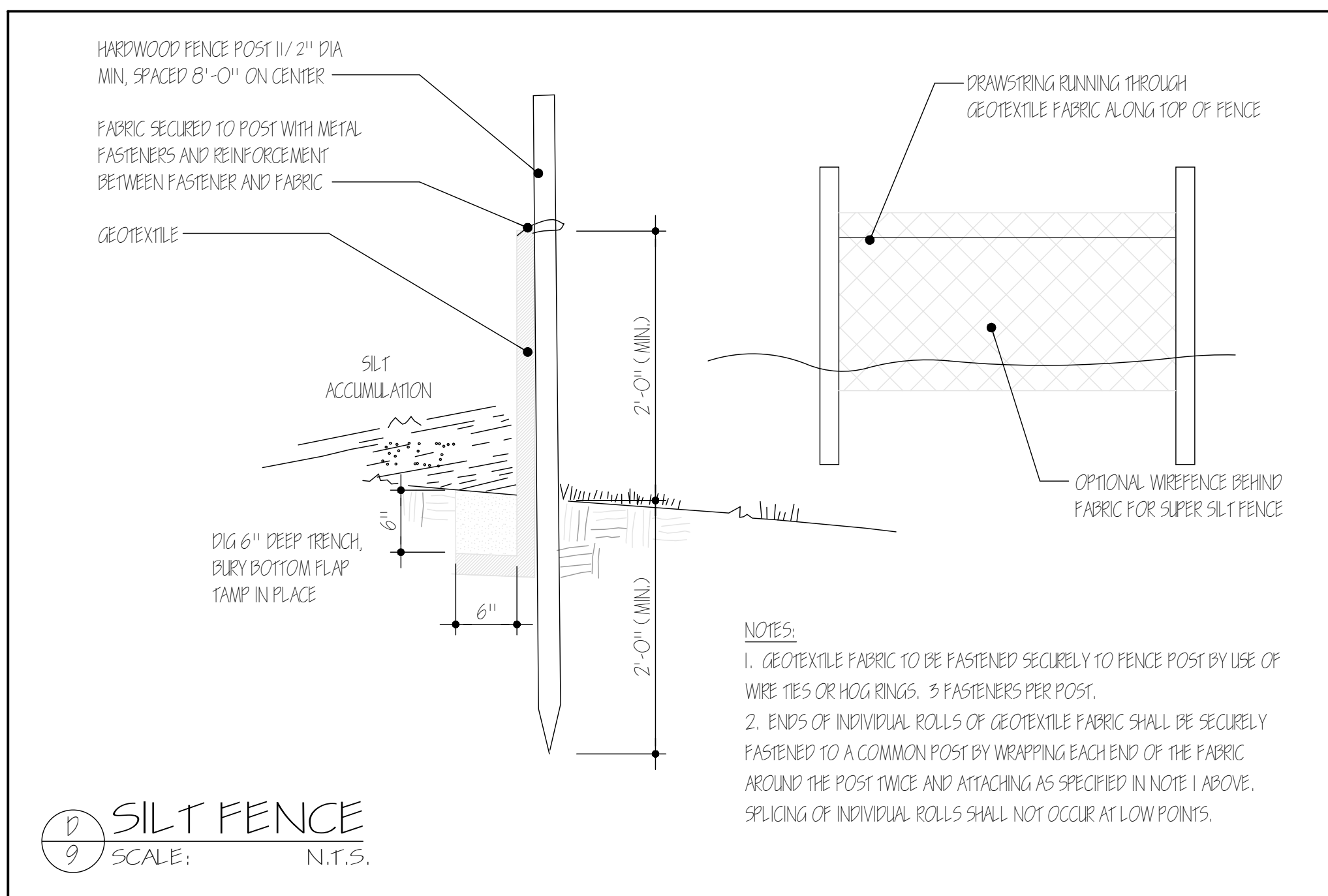
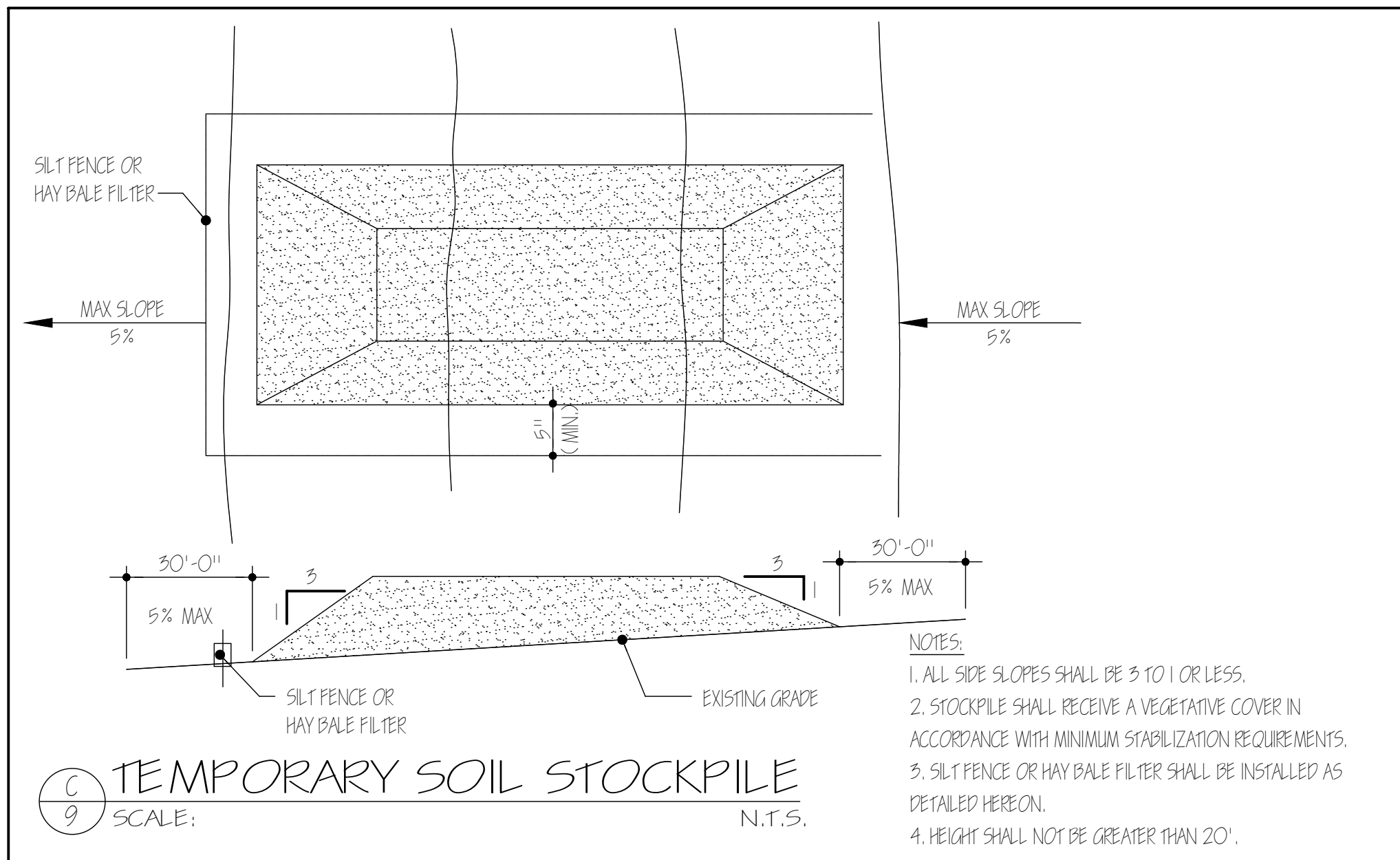
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NOTE:
INFORMATION TAKEN FROM SURVEY, PROVIDED BY OWNER, DONE BY "THOMAS FINNEGAN LAND SURVEYING", BELFORD, NEW JERSEY AND DATED JUNE 18, 2019. REFER TO THOSE DRAWINGS FOR ANY ADDITIONAL NOTES AND DIMENSIONS.

PROPOSED GARAGE RECONSTRUCTION FOR
FARRELL
52 SHREWSBURY AVE.
HIGHLANDS, NJ

DRAWING:
PLOT PLAN

DATE:
NOVEMBER 11, 2021

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