



Borough of Highlands
151 Navesink Ave.
Highlands, NJ 07732
(732) 872-1224
www.highlandsnj.gov

LAND USE BOARD APPLICATION

FOR OFFICIAL USE

Date Rec'd: _____ Application #: _____ Fee: _____
Escrow: _____ Escrow Acct# _____

1. APPLICANT

Name: Solar Powered 44 LLC
Address: 44 Miller Street
City: Highlands State: NJ Zip: 07732
Phone: 973-572-5007
Email: mark@unitedsolarco.com
Relation to property: property owner

2. OWNER

Name: Mark Landgrebe
Address: 27 Miller Street
City: Highlands State: NJ Zip: 07732
Phone: 973-572-5007
Email: mark@unitedsolarco.com

3. TYPE OF APPLICATION (Check all that apply)

- ☐ Minor Subdivision
- ☐ Major Subdivision – Preliminary
- ☐ Major Subdivision – Final
- ☐ Minor Site Plan
- ☐ Major Site Plan – Preliminary
- ☐ Major Site Plan – Final
- ☐ Variance
- ☒ Use Variance

- ☐ Appeal – Zoning Denial date _____
- ☐ Appeal – Land Use Decision date _____
- ☐ Informal Concept Plan Review
- ☐ Extension of Approval
- ☐ Revision/Resubmission of Prior Application
- ☐ Other _____

4. PROPERTY INFORMATION

Block 58 Lot(s) 7.01 Address: 44 Miller Street
Lot size 4,920 SF # of Existing Lots 1 # of Proposed Lots 1
Zone R-2.02 Are there existing Deed Restrictions or Easements? ☒ No ☐ Yes – Please attach copies
Has the property been subdivided? ☒ No ☐ Yes If yes, when? _____
Attach copies of approved map or approved resolution
Property taxes paid through See attached. Sewer paid through _____

5. ATTORNEY (A corporation, LLC, Limited Partnership, or S-Corp **must** be represented by a NJ attorney)

Name: Kevin Kennedy, Esq.
Address: 165 Rt. 35, #1A Red Bank, NJ 07701
Phone: 732-936-1099 Email: _____



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6. APPLICANT'S OTHER PROFESSIONAL(S) – Engineer, Planner, Architect, etc.

Name: Donna M. Bullock, PE
Address: Morgan Engineering- PO Box 5232
Toms River, New Jersey 08754
Phone: 732-270-9690
Email: donnab@morganengineeringllc.com

Name: _____
Address: _____

Phone: _____
Email: _____

7. LAND USE

A. PROPERTY HISTORY –Describe in detail, nature of prior use(s) on the site, start date of such use, any prior Land Use Board applications for this site (attach copy of resolution, if applicable), history of current ownership, etc.

Applicant purchased a 2-family dwelling in 2020 and received approval for reconstruction of new ~~two family dwelling on existing footprint with 75% of construction completed.~~ In January 2024, Highlands reestablished the Building department and a stop work order was issued. Borough is now requiring a use variance application for a two-family swelling whereas one family dwelling is permitted.

B. PROPOSED PLAN –Describe in detail, proposed use for property, including, but not limited to: 1) portion to be subdivided; 2) sell lot only; 3) construct house(s) for sale; 4) how trash will be disposed; 5) landscaping; 6) hours of operation; 7) type of goods/services; 8) fire lane. Attach additional sheets if necessary.

The Applicant/owner is seeking to obtain a use variance approval for modifications to an existing structure for a two-family dwelling, where only single family dwellings are permitted in the R-2.02 zone

C. ADDITIONAL INFORMATION:

		Existing	Proposed
Residential:	How many dwelling units?	<u>1</u>	<u>2</u>
	How many bedrooms in each unit?	<u>2</u>	<u>2</u>
	How many on-site parking spaces?	<u>2</u>	<u>4</u>
Commercial:	How many commercial uses on site?	<u>0</u>	<u>0</u>
	How many on-site parking spaces?	<u>0</u>	<u>0</u>



8. VARIANCE REQUESTS Complete section(s) related to the relief being requested.

	Req'd	Exist.	Prop'd
Minimum Lot Requirements			
Lot Area	4,000 SF	4,920 SF	N.C.
Frontage	50 ft.	141.5 ft	N.C.
Lot Depth	75 ft	70.75 ft	N.C.
Minimum Yard Requirements			
Front Yard Setback	20 ft	0.9 ft	N.C.
2 nd Front Yard Setback	20 ft	3.6 ft	N.C.
Rear Yard Setback			
Side Yard Setback, right	6 ft	7.3 ft	N.C.
Side Yard Setback, left	8 ft	29.8 ft	N.C.
Building Height	32.5 ft	<32.5 ft	N.C.

	Req'd	Exist.	Prop'd
Accessory Structures			
Fence/Wall Height			
Garage/Shed Height			
Garage/Shed Area			
Pool Setback			
Parking Requirements			
On-site Parking Spaces	2.5	2	4
Other (please add)			

9. OTHER RELIEF REQUESTED Please specify relief(s) and explain below.

Use variance required for a proposed two-family residential dwelling, which is not permitted in the R-2.02 residential zone, along with Bulk "C" variances for the following: 1. front setback (4th Street); 2. Front setback (Miller Street); 3. Maximum building coverage



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10. NOTARIZED SIGNATURE OF APPLICANT

I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual Applicant, or that I am an Officer of the Applicant authorized to sign the application for the business organization. Additionally, I certify that the survey or plans submitted with this application shows and discloses the premises in its entirety, and I further certify that no buildings, fences, or other facilities have been constructed, installed, or otherwise located on the premises after the date of the survey with the exception of the structures shown.

SWORN & SUBSCRIBED to before me this
26th day of June 2025 (year)
Patricia A Meyer (notary)
PATRICIA A MEYER (Seal)
Notary Public
State of New Jersey
My Commission Expires Nov. 5, 2027

Signature: [Signature] Date: 6/26/25
Print Full Name: MARK LANDGREBE

11. NOTARIZED CONSENT OF OWNER

I certify that I am the Owner of the property which is the subject of this application, hereby consent to the making of this application and approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency (if owned by a corporation, a resolution must be attached authorizing the application and officer signature).

SWORN & SUBSCRIBED to before me this
26th day of June 2025 (year)
Patricia A Meyer (notary)
PATRICIA A MEYER (Seal)
Notary Public
State of New Jersey
My Commission Expires Nov. 5, 2027

Signature: [Signature] Date: 6/26/25
Print Full Name: MARK LANDGREBE

12A. DISCLOSURE STATEMENT Circle all that apply.

Pursuant to N.J.S.A. 40:55D-48.1 & 48.2, please answer the following questions:

- | | | |
|--|--------------------------------------|--------------------------|
| Is this application to subdivide a parcel of land into six (6) or more lots? | Yes | ☐ No |
| Is this application to construct a multiple dwelling of 25 or more units? | Yes | ☐ No |
| Is this an application for approval of a site(s) for non-residential purposes? | Yes | ☐ No |
| Is this Applicant a corporation? | ☒ Yes | No |
| Is the Applicant a limited liability corporation? | ☒ Yes | No |
| Is the Applicant a partnership? | Yes | ☐ No |

If you circled **YES** to any of the above, please complete the following Ownership Discloser Statement (use additional sheets if necessary).



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12B. BUSINESS ORGANIZATION OWNERSHIP DISCLOSURE STATEMENT

Name of Corporation, Partnership, LLC, LLP, S-Corp:

Solar Powered 44 LLC

Listed below are the names and addresses of all owners of 10% or more of the stock/interest* in the above referenced business organization:

NAME	ADDRESS
Mark Landgrebe	27 Miller St. Highlands, NJ 07732

*If a corporation or a partnership owns 10% or more of the stock of a corporation, or 10% or great interest in a partnership, that corporation or partnership shall list the names and address of its stockholders holding 10% or more of its stock or 10% or greater interest in the partnership, and this requirement shall be followed until the names and addresses of the non-corporate stockholders and individual partners, exceeding the 10% owner ship criterion established have been listed.

SWORN & SUBSCRIBED to before me this

20th day of June 2025 (year)
Patricia A. Mey (notary)

PATRICIA A MEY (Seal)

Notary Public

State of New Jersey

My Commission Expires Nov. 5, 2027

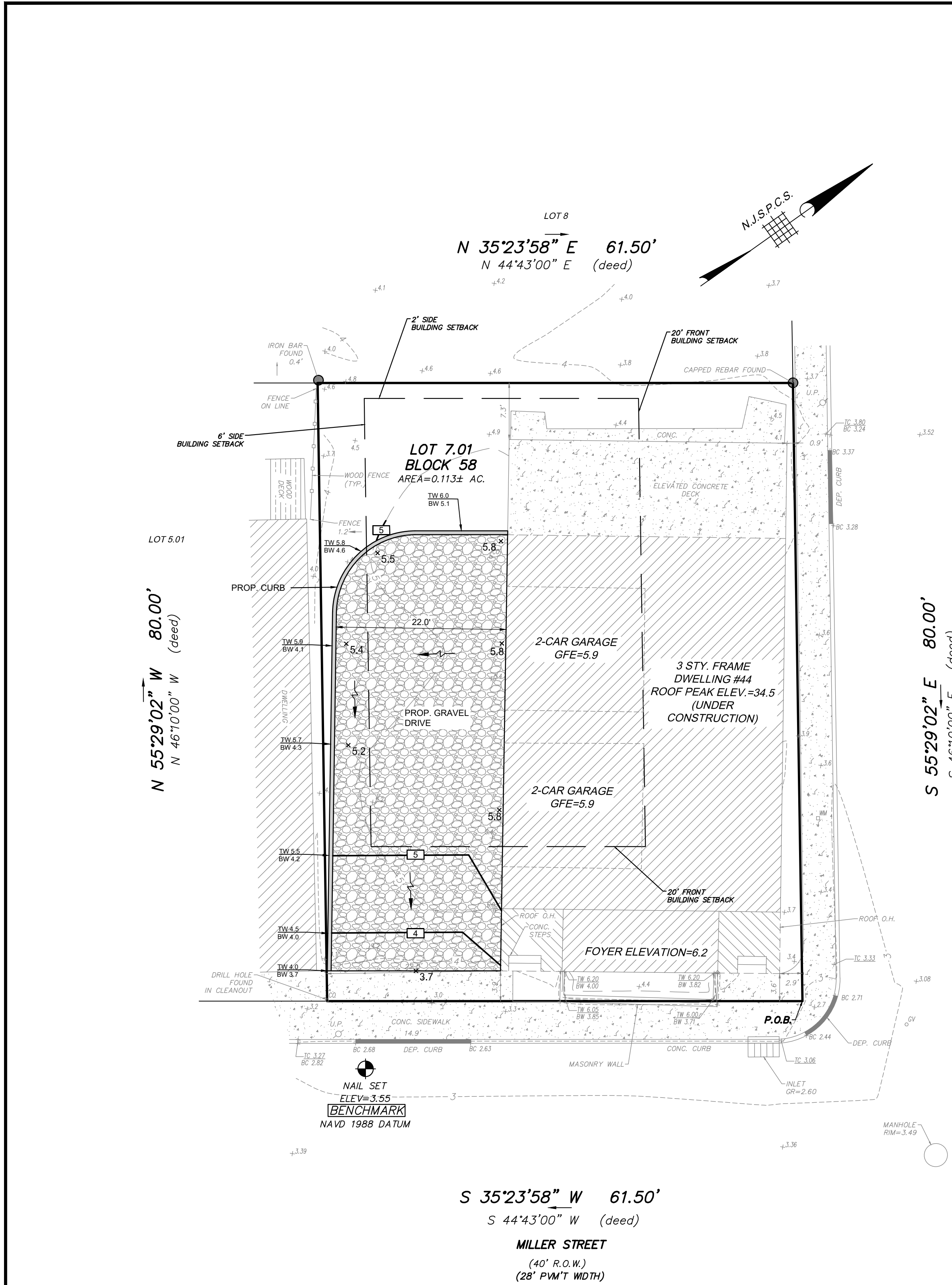
I.D.# 2206862

Signature (Officer/Partner)

Date

Print Full Name

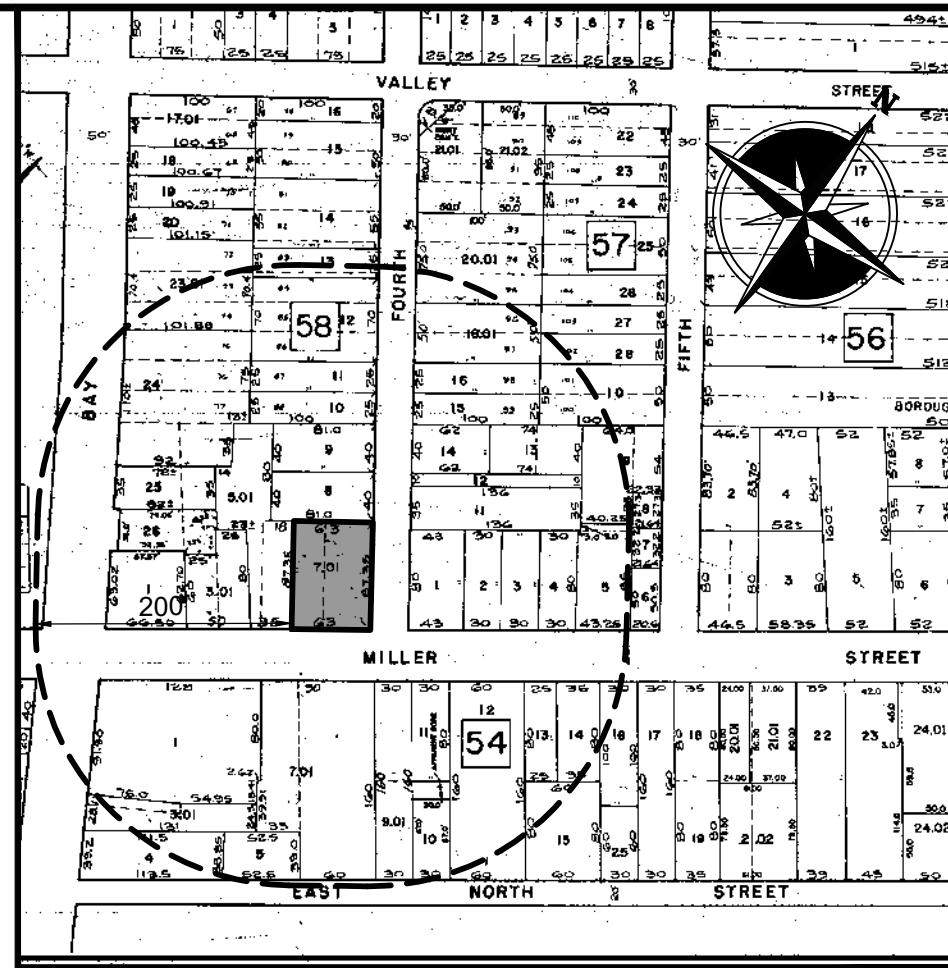
Title



200' PROPERTY OWNERS LIST

Block/Lot	Owner	Mailing address	City, State, Zip
200' List Block 58 Lot 7.01 44 Miller Street Highlands			
1319-54-1	SOYKA HELEN (ESTATE)	150 BAY AVENUE	HIGHLANDS NJ 07732
1319-54-7.011	LDN REAL ESTATE LLC	55 MILLER STREET	LITTLE SILVER NJ 07739
1319-54-7.012	LDN REAL ESTATE LLC	53 MILLER STREET	LITTLE SILVER NJ 07739
1319-54-7.013	LDN REAL ESTATE LLC	51 MILLER STREET	LITTLE SILVER NJ 07739
1319-54-7.014	LDN REAL ESTATE LLC	55 MILLER STREET	LITTLE SILVER NJ 07739
1319-54-7.015	LDN REAL ESTATE LLC	55 MILLER STREET	LITTLE SILVER NJ 07739
1319-54-4	CONSIGLIERE LLC	P.O. BOX 412	NAVESINK NJ 07752
1319-57-12	BOROUGH OF HIGHLANDS	151 NAVESINK AVE	HIGHLANDS NJ 07732
1319-58-7.01	SOLAR POWERED 44 LLC	27 MILLER STREET	HIGHLANDS NJ 07732
1319-58-23.01	DOCSIDE LLC	182 BAY AVENUE	HIGHLANDS NJ 07732
1319-58-24	HIGHLANDS POSTAL MANAGEMENT LLC	130 LEE AVENUE SUITE 356	BROOKLYN NY 11211
1319-58-25	YEUNG SAU WAN	29 WOODELY AVENUE	LONG BRANCH NJ 07740
1319-59-9	165 BAY HOLDINGS LLC	1041 HWY 36 SUITE 200	ATLANTIC HIGHLANDS NJ 07716
1319-59-10	BOROUGH OF HIGHLANDS	151 NAVESINK AVE	HIGHLANDS NJ 07732
1319-57-9	KIRSH KRAFT LLC	PO BOX 886	HAMMONTON NJ 08037
1319-54-14	CHAN TED & BENJAMIN	33 MILLER STREET	HIGHLANDS NJ 07732
1319-58-1	TKB PROPERTIES LLC	12 MILLER STREET	HIGHLANDS NJ 07732
1319-57-11	FITZGERALD SUZANNE	8 FOURTH STREET	HIGHLANDS NJ 07732
1319-57-27	LIPOVCHENKO OLEG	21 FIFTH STREET	HIGHLANDS NJ 07732
1319-57-20.01	KNOX MICHAEL	49 WATERMAN AVENUE	RUMSON NJ 07760
1319-57-15	CAIZZA WILLIAM & SUSAN	14 FOURTH STREET	HIGHLANDS NJ 07732
1319-57-16	MISITA JOSEPH	16 4TH STREET	HIGHLANDS NJ 07732
1319-57-28	HARTSGROVE BARBARA A & HEATHER	19 FIFTH STREET	HIGHLANDS NJ 07732
1319-58-8	MEKELLER BARRY & LINDA	9 FOURTH STREET	HIGHLANDS NJ 07732
1319-54-10	HONNOLD KRISTIA & THOMAS BURKE	71 WATERMAN AVENUE	RUMSON NJ 07760
1319-54-11	CARVALHO MANUEL & MARIA	5 SUNSET CT	FREEDOLD NJ 07728
1319-54-12	DIEBOLD RICHARD	221 NAVESINK AVE	HIGHLANDS NJ 07732
1319-54-5	FLANNERY JOHN M. & DANIELLE A.	38 NORTH STREET	HIGHLANDS NJ 07732
1319-54-16	MURRAY MICHAEL S	29 MILLER STREET	HIGHLANDS NJ 07732
1319-57-3	MAHMOUD ESMAT	38 MILLER STREET	HIGHLANDS NJ 07732

Block/Lot	Owner	Mailing address	City, State, Zip
200' List Block 58 Lot 7.01 44 Miller Street Highlands			
1319-57-4	STARK SUSAN C/O T. WILSON	P.O. BOX 63	MIDDLETOWN NJ 07748
1319-57-2	FELDMAN MICHAEL & ANNA MARIE	12 DOGWOOD COURT	CLIFFWOOD NJ 07721
1319-57-10	HARTSGROVE REGINALD S H JR	15 FIFTH STREET	HIGHLANDS NJ 07732
1319-57-13	CAIZZA WILLIAM	14 FOURTH STREET	HIGHLANDS NJ 07732
1319-57-14	CASAZZA LUCILLE	12 FOURTH STREET	HIGHLANDS NJ 07732
1319-57-1	AME REALTY LLC	42 MILLER STREET	HIGHLANDS NJ 07732
1319-54-3.01	DIRECO STEPHEN	127 OAK STREET	WOOD RIDGE NJ 07075
1319-58-26	ANDREW APARTMENTS LLC C/O A FRANK	48 SUMMERS AVENUE	WEST LONG BRANCH NJ 07764
1319-58-3.01	ELBERT PETER & BERNADETTE	50 MILLER STREET	HIGHLANDS NJ 07732
1319-57-18.01	CALDAS MARK	20 4TH STREET	HIGHLANDS NJ 07732
1319-58-9	PAHK DAVID & GOODMAN VICTORIA	11 FOURTH STREET	HIGHLANDS NJ 07732
1319-58-10	MIOLA ERICA	15 FOURTH STREET	HIGHLANDS NJ 07732
1319-58-11	MINERVA VICTOR & BETH	17 FOURTH STREET	HIGHLANDS NJ 07732
1319-54-9.011	SMITH SIMON	34 NORTH STREET	HIGHLANDS NJ 07732
1319-54-9.012	SEPE-CAPUTI MARIA GRACE	45 MILLER STREET	HIGHLANDS NJ 07732
1319-54-15	SHANNON ENTERPRISES LLC	300 BAY AVENUE	HIGHLANDS NJ 07732
1319-57-5	SCHIRO JOSEPH & PETRUCCI MARIA A	290 BRIGHTON STREET	STATEN ISLAND NY 10307
1319-54-13	KERWICK THOMAS & LAURA	24 BROOKLAKE ROAD	FLORHAM PARK NJ 07932
1319-58-12	FISHER GARY & ELLEN	90 CLIFFEDGE WAY	RED BANK NJ 07701
1319-58-5.01	TOMMILLER LLC	48 MILLER ST	HIGHLANDS NJ 07732



200' UTILITIES TO NOTIFY LIST

JCP&L
300 Madison Avenue
PO Box 1911
Morristown, NJ 07960

NEW JERSEY AMERICAN WATER COMPANY
Attn: Construction Department
661 Shrewsbury Ave
Shrewsbury, NJ 07702

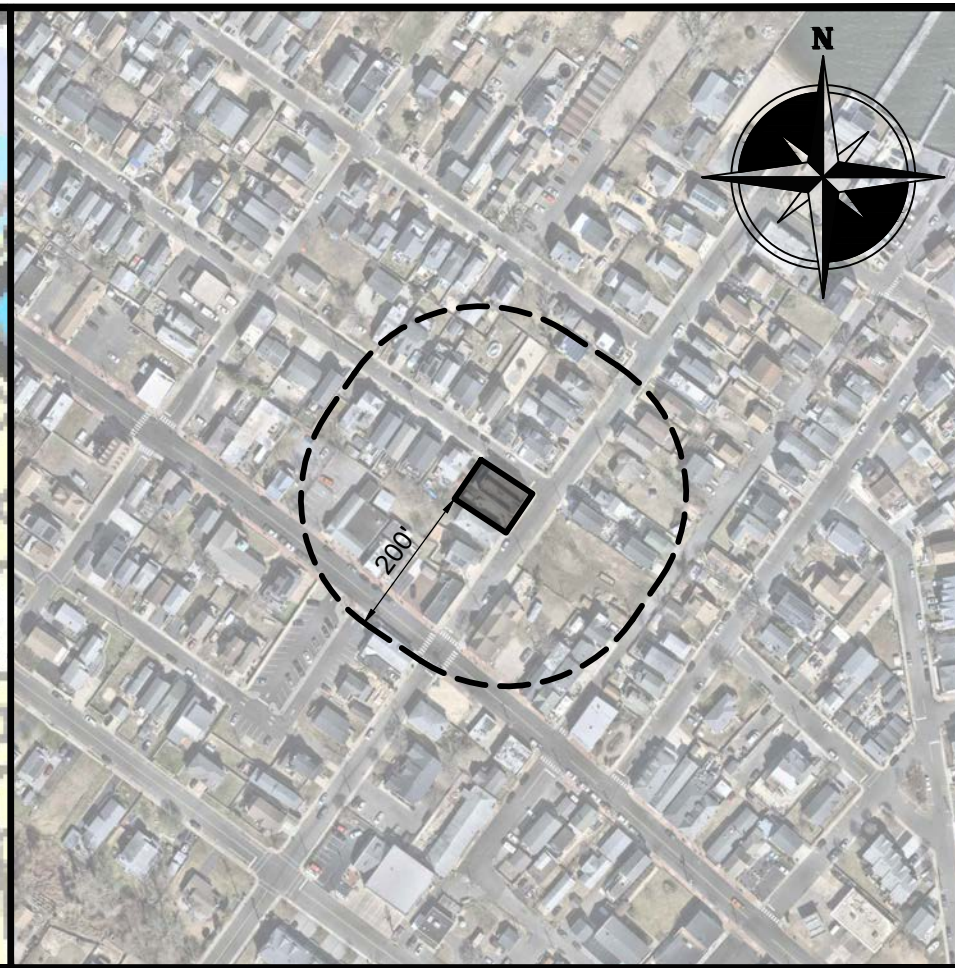
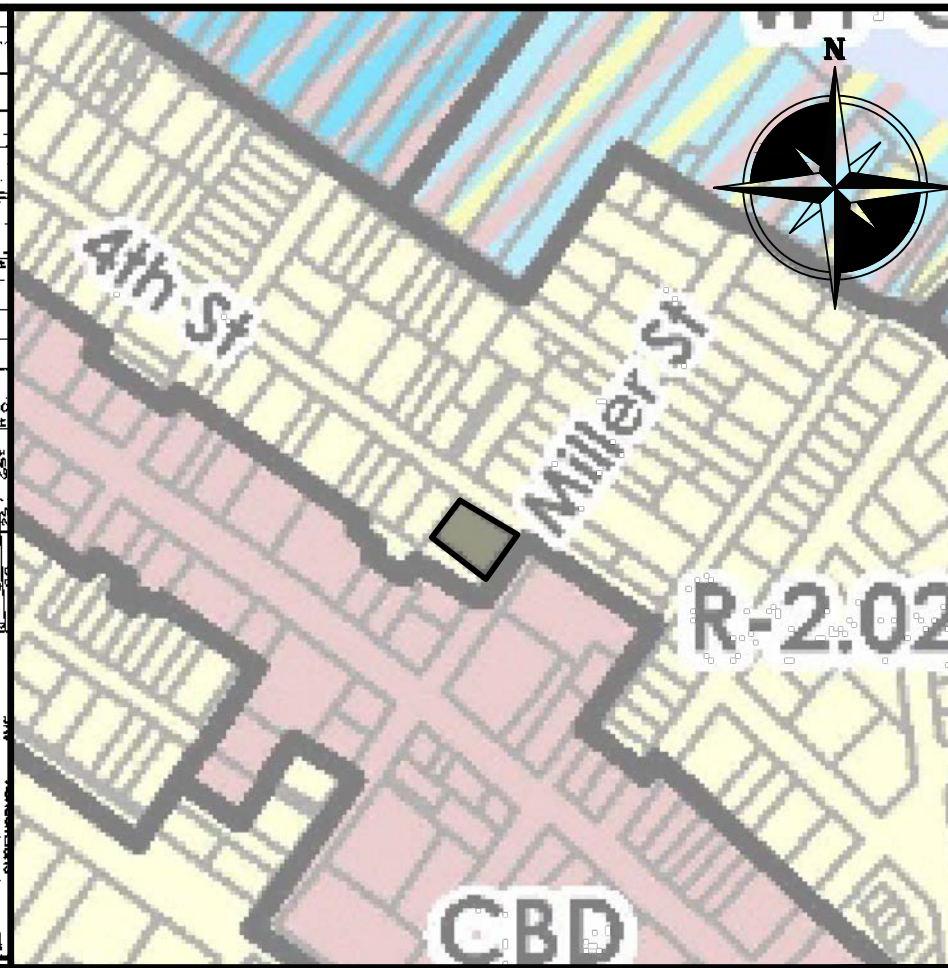
COMCAST COMMUNICATIONS OF MONMOUTH COUNTY
Ron Bertrand, Construction Foreman
403 South St
Eatontown, NJ 07724

VERIZON COMMUNICATIONS
One Verizon Way
Basking Ridge, NJ 07920

TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY
Raymond J. Nierstedt, P.E., Executive Director
PO Box 205, 100 Beverly Way
Belford, NJ 07718

NEW JERSEY NATURAL GAS COMPANY
Attn: Joan Purcuro
PO Box 1464
1415 Wyckoff Road
Wall, NJ 07719

MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY
Attn: Executive Director
200 Harbor Way
PO Box 184
Belford, NJ 07718



NOTES:

- THIS MAP IS NOT A SURVEY.
- THE PURPOSE OF THIS MAP IS FOR OBTAINING A USE VARIANCE FROM THE BOROUGH OF HIGHLANDS FOR THE CONSTRUCTION OF A TWO-FAMILY DWELLING WITH APPURTENANT SITE IMPROVEMENTS.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM A CERTAIN PLAN ENTITLED "TOPOGRAPHIC SURVEY, LOT NO. 7.01, BLOCK NO. 58, BOROUGH OF HIGHLANDS, COUNTY OF MONMOUTH, NEW JERSEY," PREPARED BY MORGAN ENGINEERING & SURVEYING, LLC, DATED 4/3/25.
- PER THE STATE OF NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF GIS/NGEOWEB INTERACTIVE MAPPING APPLICATION, WETLANDS DO NOT APPEAR TO EXIST ON THE SUBJECT PROPERTY.
- PROPERTY IS LOCATED IN FLOOD ZONE AE ELEV. 11 AS SHOWN ON CURRENT FIRM MAP #34025C0088H, DATED 6/15/2022.
- PROPERTY IS LOCATED IN FLOOD ZONE AE ELEV. 11 AS SHOWN ON PRELIMINARY FIRM MAP #34025C0088J, DATED 1/31/2014.
- EXISTING UTILITIES TO BE MARKED OUT PRIOR TO THE START OF CONSTRUCTION.
- ALL ELEVATIONS ARE IN NAVD 1988 DATUM THROUGH GPS OBSERVATIONS USING LEICA RTK GPS NETWORK.
- THIS PROPERTY IS LOCATED WITHIN THE R-2.02 (RESIDENTIAL) ZONE.
- MORGAN ENGINEERING HAS NOT EVALUATED THE SUBSURFACE SOIL CONDITIONS TO ASCERTAIN THE DEPTH TO GROUNDWATER OR THE SEASONAL HIGH WATER TABLE WITHIN THE FOOTPRINT OF THE DWELLING, THE HOMEOWNER, OR THEIR REPRESENTATIVE, SHALL COORDINATE WITH A QUALIFIED PROFESSIONAL TO ENSURE THE CONSTRUCTION COMPLIES WITH THE NEW JERSEY BUILDING CODE WITH RESPECT TO SEPARATION TO THE SEASONAL HIGH WATER TABLE. SHOULD THIS TESTING PRODUCE RESULTS IN CONFLICT WITH THE PROPOSED DESIGN, THE UNDERSIGNED PROFESSIONAL SHOULD BE NOTIFIED IMMEDIATELY.
- LIMIT OF DISTURBANCE = 1,500 S.F. / 0.034 AC.

VARIANCES REQUESTED:

- REQUIRED: FRONT YARD SETBACK (FOURTH STREET) = 20 FT. EXISTING & PROPOSED: FRONT YARD SETBACK (FOURTH STREET) = 0.9 FT.
- REQUIRED: FRONT YARD SETBACK (MILLER STREET) = 20 FT. EXISTING & PROPOSED: FRONT YARD SETBACK (MILLER STREET) = 3.6 FT.
- REQUIRED: MAXIMUM BUILDING COVERAGE IS 33%. EXISTING & PROPOSED: BUILDING COVERAGE IS 41.3%.
- REQUIRED: TWO-FAMILY DWELLINGS ARE NOT PERMITTED IN THE R-2.02 ZONE. EXISTING & PROPOSED: TWO-FAMILY DWELLING IN THE R-2.02 ZONE.

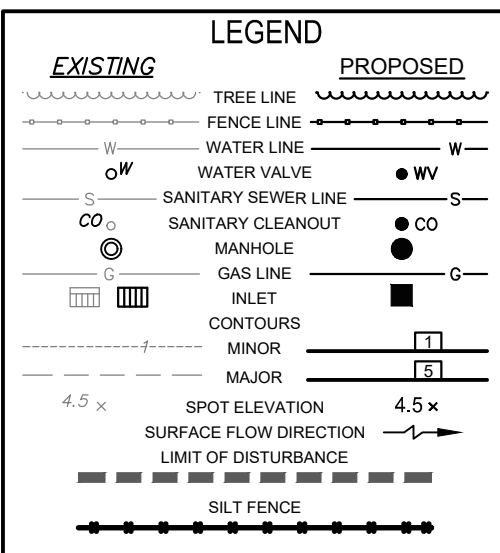
SUBMISSION WAIVERS REQUESTED:

- THE LOCATION OF ALL EXISTING WATERCOURSES, WOODED AREAS, EASEMENTS, RIGHTS-OF-WAY, STREETS, ROADS, HIGHWAYS, RIVERS, BUILDINGS, STRUCTURES AND ANY OTHER FEATURE ON THE PROPERTY AND WITHIN SEVENTY-FIVE (75) FEET OF THE PROPERTY LINE. PROVIDED: LOCATION OF ALL RIGHTS-OF-WAY, STREETS, BUILDINGS AND OTHER FEATURES ON THE SUBJECT SITE AND IN THE RIGHT-OF-WAY ALONG THE FRONTAGE OF THE PROPERTY.
- LOCATION OF ALL STRUCTURES WITHIN SEVENTY-FIVE (75) FEET OF THE PROPERTY PROVIDED: LOCATION OF ALL STRUCTURES ON THE SUBJECT SITE AND THE LOCATION OF THE NORTHEASTERN WALL/BUILDING CORNERS OF THE DWELLING ON THE ADJACENT LOT (LOT 5.01).
- STORMWATER MANAGEMENT AND SANITARY SEWER REPORTS, INCLUDING PROPOSED STORM DRAINAGE AND SANITARY DISPOSAL FACILITIES. SPECIFICALLY: THE LOCATION, TYPE AND SIZE OF ALL EXISTING AND PROPOSED CATCH BASINS, STORM DRAINAGE FACILITIES, UTILITIES, PLUS ALL REQUIRED DESIGN DATA SUPPORTING THE ADEQUACY OF THE EXISTING OR PROPOSED FACILITIES TO HANDLE FUTURE STORM FLOWS PROVIDED: NONE.
- EXISTING AND PROPOSED CONTOURS OF THE PROPERTY AND FOR SEVENTY-FIVE (75) FEET OUTSIDE THE PROPERTY AT ONE (1) FOOT INTERVALS WHEN NEW BUILDINGS OR PARKING AREAS ARE PROPOSED. SPOT ELEVATIONS FOR ANY DEVELOPMENT IN A FLOOD HAZARD AREA. PROVIDED: EXISTING CONTOURS AND SPOT ELEVATIONS ON THE SUBJECT SITE.

APPLICATION NO. APPROVED/DISAPPROVED BY THE HIGHLANDS BOROUGH PLANNING BOARD/BOARD OF ADJUSTMENT.

CHAIRMAN DATE

SECRETARY DATE



ABBREVIATION

TO/BC - TOP/BOTTOM CURB GRADE

TIW/BW - TOP/BOTTOM WALL

F.F.E. - FIRST FLOOR ELEVATION

B.F.E. - BASEMENT FLOOR ELEVATION

G.F.E. - GARAGE FLOOR ELEVATION

T.B.R. - TO BE REMOVED

N.T.S. - NOT TO SCALE

PREPARED FOR: SOLAR POWERED 44, LLC

CERTIFICATE OF AUTHORIZATION: 24GA28229800

MORGAN engineering & surveying

P.O. BOX 5232
TOMS RIVER, N.J. 08754
TEL: 732-270-9690
FAX: 732-270-9691
www.morganengineeringllc.com

D.M. Bullock
DONNA M. BULLOCK
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE No. 41931

VARIANCE PLAN

LOT 7.01 BLOCK 58

BOROUGH OF HIGHLANDS

COUNTY OF MONMOUTH NEW JERSEY

Scale: 1"=10' Drawn By: L.S. Date: 5/7/25 JOB #: E25-00271 CAD File #: VARIANCE PLAN Sheet #: 1 OF 1

PROJECT NOTES

GENERAL NOTES

CODES & STANDARDS: All work shall conform with the requirements of the N.J.U.C.C., IRC 2018 NJ Edition, National Electric Code, National Plumbing Code, N.F.P.A. recommendations, O.S.H.A., and all local codes and ordinances applicable to this project. Construction documents are in compliance with ASCE 24.

CLARIFICATIONS: Prior to submitting a bid, the contractor shall become familiar with the project by careful inspection of the site and construction documents. Should any error, omission, ambiguity or discrepancy exist on the drawings which the contractor might reasonably be expected to detect, the same shall be brought to the attention of the Architect for correction or clarification prior to proceeding with the work involved. Any work that proceeds otherwise shall, if incorrectly performed, be replaced or repaired at no additional cost.

DIMENSIONS: The Contractor shall not scale off the drawings; written dimensions shall govern. Dimensions given are nominal unless indicated otherwise. All dimensions and conditions shall be verified in the field by the Contractor and any discrepancy brought to the attention of the Architect. Where a door or a window is drawn near a corner and no dimension is given, offset, the opening enough to accommodate the full width of trim, minimum 4". Where elements are drawn centered in a space or opening, they shall be centered when installed. All corridors, stairs and clearance between counters and other built-ins shall be 36" minimum. All closets, unless noted otherwise, shall be 24" deep.

QUALITY: All work shall be performed in a workman-like manner. Match and align all surfaces where applicable to afford a finished, neat appearance. All existing surfaces and equipment shall be protected and any damage to such caused by the work shall be patched/repared such that they are left as they were before the commencement of the work. Contractor shall clean all dirt and refuse caused by the work.

INFERENCE: All work that is either implied or reasonably inferable from the contract documents shall be the responsibility of the contractor and a reference to any work by mention, note, detail or implication indicates the contractor shall perform a complete installation of such work. All equipment, fixtures and other devices shall be fully installed and shall be made fully operational and warranted when the job is complete.

SAFETY: Take full precaution to protect workers, passerby and adjacent property from any hazards caused by the work. Provide all fences, barricades and security as may be required to protect life and property. The Contractor shall protect all construction and materials from weather, vandalism, and theft. The Contractor shall be solely responsible for all property and personal damage or injury resulting from the conduct of the work and shall indemnify and save the Owner and the Architect harmless from all claims for loss of or damage to property or personal injury or death of any and all persons arising out of the work of this Contract.

COORDINATION: The Contractor shall be responsible for the coordination of the work of all subcontractors. The Contractor shall be responsible for the coordination of the work of this contract with the work of any other contractors hired separately by the Owner.

MATERIALS: products and equipment shall be new, standard, and of good quality, and all workmen and subcontractors shall be skilled in their trades. All products shall be installed in accordance with the manufacturers' written directions and/or recommendations.

PERMITS: The Contractor shall obtain and pay for all permits, fees, bonds and inspections. The Contractor shall make all arrangements for inspections. The Contractor shall file all required certificates of insurance.

CLEAN-UP: At the completion of the project the Contractors shall remove all rubbish from the site and leave the building broom clean.

DEMOLITION NOTES

STRUCTURAL INTEGRITY: The Contractor shall determine the direction of framing before removing any walls. If a wall is determined to be bearing and new structural support is not indicated on the drawings, notify Architect for additional design. Where structural support is to be removed, temporary shoring/bracing or new structural elements shall be added such that the structural stability and integrity of the building is maintained at all times.

ORDER: All demolition work shall be done carefully, neatly and in a systematic manner. Debris shall be removed regularly as the job proceeds such that it does not accumulate on the site.

UTILITIES: Remove or relocate all wiring, plumbing, ductwork and mechanical equipment affected by the demolition. Pipes to be removed shall be cut to a point of concealment behind or below finished surfaces and shall be properly capped or plugged.

WEATHER: The contractor shall provide adequate weather protection for the building and its contents during the course of the work. All openings in walls and roof shall be protected from all forms of water or weather penetration.

CONSTRUCTION NOTES

MATERIAL SELECTION: Unless noted otherwise, all new finishes, doors, hardware, trim, siding, roofing, coverplates, switches and all other exposed installations shall match existing. The Contractor shall verify all material selections with the Owner. In advance of material procurement and installation, provide samples for all exposed installations to the Owner for review, selection and approval of color, texture, shape, etc.

SYSTEMS: It shall be the responsibility of the contractor to hire qualified individuals to assess the existing building systems and to design and install all modifications/upgrades to the electrical, plumbing, mechanical and fire protection systems. The heating system shall be capable of maintaining inside temperature of 75 degrees F when the outdoor temperature is 0 degrees F and the wind velocity is 15 mph. The cooling system shall capable be of maintaining 78 degrees F when the outdoor temp. is 92 degrees F. All piping shall be protected from freezing. The Contractor shall coordinate with the Owner the quantity and location of all phone jacks, cable jacks, thermostats, and speakers. Relocate all existing meters, service connections, hose bibs, and other utility features to be affected by the work.

CENTERING: Unless noted otherwise, all beams/girders/headers shall be centered on the posts/columns which support them, and all posts/columns shall be centered on their footings.

VENTILATION: All attic spaces shall be ventilated by louvers and/or vents as required with a total clear opening of not less than one-third of one percent of the horizontally projected roof area. All crawl spaces shall be vented whereby the minimum net area of ventilation openings shall not be less than 1 square foot for each 150 s.f. of crawl space area. One vent shall be within 3 feet of each corner of the building.

ROOF DRAINAGE: Connect all leaders to existing underground storm water system. If no system exists, install new system to conduct storm water to a point 15' minimum from building.

ROOFING: All roofing materials shall be provided by a single roofing manufacturer. All penetrations through roof and interruptions of roof shall be flashed and counterflushed. Asphalt shingle roofing shall be min. 235 lb per square with a UL Class A fire rating and shall be self sealing. Provide 35 year manufacturer's warrantee on roofing and underlayment. Install Ice and Water Shield at all valleys, eaves & at all roof edges: 2' inward from face of wall below.

WALL OPENINGS: All windows, doors and other wall penetrations shall be flashed and sealed as recommended by manufacturer.

STEEL COLUMNS: All new steel columns and all existing steel columns in work area shall be painted with a zinc rich rust inhibitive paint.

GYPSUM BOARD: All exposed gypsum board surfaces shall be taped, spackled, sanded, primed and painted two coats minimum.

FOUNDATION NOTES

DEPTH: Bottom of all footings shall be minimum of 3'-0" below finished grade. If footings are stepped, the line of the footing shall be sloped not more then one foot vertical to two feet horizontal. Footings shall be formed to their full depth.

SOIL: All footing design is based on a presumptive soil bearing capacity of 2000 PSF, minimum. If conditions encountered under all or part of the footings do not allow such bearing capacity, notify Architect for redesign. Footing shall be on undisturbed virgin soil, free of frost. If required, provide stone or concrete fill under the supervision of a N.J. Registered Geotechnical Engineer.

BACKFILLING: Do all interior and exterior backfilling simultaneously. Backfilling against foundation walls shall not be performed until floors or roof they support have been completely installed.

FILL SOLID with concrete all block cells below grade. Also fill solid all cells where anchors occur, and entire top course.

HORIZONTAL JOINT REINFORCING ("dur-o-wall") shall be provided for full thickness of walls as follows: at 16" o/c vertical spacing, (every other block course); and provide at every course from top of footing to top of slab or grade level, whichever is higher, and provide at every course for two courses above and below all masonry wall openings, extending 3'-0" beyond opening in each direction; and provide at every course for 5'-0" in each direction at all corners.

CONCRETE NOTES

STRENGTH: All concrete shall be controlled stone type with a minimum ultimate compressive strength of 3000 PSI for footings and 4000 PSI for slabs. All concrete shall comply with current A.C.I. requirements.

REINFORCING shall be new, high grade billet steel deformed bars in accordance with ASTM-A-615 grade 60. Intermediate grade permissible for ties. Installation shall conform to A.C.I. Manual of Standard Practices. The length of reinforcing splices be 40 bar diameters minimum.

WOOD NOTES

GRADE: All lumber for framing shall be Douglas Fir Select Structural Grade or better clearly stamped and graded.

BLOCKING: Provide solid bearing under all joists, beams and posts. Provide solid blocking above sill plate below all posts.

DOUBLE FRAMING shall be provided around all openings through walls, floors and roofs and under all tubs and partitions parallel with the direction of framing.

HEADERS: provide (2)2x10 min. header for all wall openings 6'-0" wide or less, unless otherwise noted. All headers and beams spanning 6'-0" or more shall bear on a minimum of (2) 2x members.

TJI's (I-joists or engineered joists): Use web stiffeners, squash blocks, connectors and all other accessories as recommended by manufacturer. Use rim board manufactured by joist fabricator.

DETAILS: Set all beams and joists natural camber up. No structural valleys are to be formed unless noted otherwise. Members shall not be drilled or notched excessively (see code for limitations on notching lumber and manufacture's data for limitations on notching composite wood members). The minimum distance from grade to untreated lumber is 8". Provide metal joist and beam anchors, hangers, braces and connectors at all points of flush and suspended framing (products by Simpson, Teco or equal). Use hurricane anchors at all roof-to-wall connections, all wall-to-foundation connections, and all other connections as required by code. For composite wood girders, provide bearing as per manufacture's recommendations. Where girders are noted to be "flush", the bottom of girder is to align with the bottom of adjacent joists. Size, number and location for all nailing and other connectors shall be as per building code.

STAIR NOTES (RESIDENTIAL)

1. Stair to be minimum 36" wide.

2. Adjacent treads and adjacent risers shall not vary more than 3/16"

3. Tread depths and riser heights shall not vary more than 3/8" over the entire stair.

4. Guardrails at stair openings shall be 36" high min.

5. Max. rise between floors/landings to be 12'-0".

6. Guardrail balusters to spaced as to not permit the passage of an object 4" in diameter.

7. Handrails shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater then 2". Provide handrails on both sides of stairs.

8. All exterior stairs three risers or more shall have a footing

TYP. STAIR DETAIL

SITE PLAN

Two Family Residence
for
Landgrebe

44 Miller Street
Highlands, NJ

Lot# 7.01 Block# 58

DRAWING LIST:

A-1 TITLE / NOTES

A-2 BASEMENT & FIRST FL. PLANS

A-3 SECOND & THIRD FL. PLANS

A-4 ELEVATIONS

A-5 ELEVATIONS

PLAN SYMBOLS LEGEND

EXISTING WALL CONSTRUCTION - TO BE REMOVED.

NEW WALL CONSTRUCTION - FOR INT. WALLS: 1/2" GYP. BD. EACH SIDE OF 2x4 STUDS @ 16" O.C. (EXCEPT AS NOTED) -

NEW FOUNDATION CONSTRUCTION - REFER TO PLANS.

EXISTING DOOR TO REMAIN

NEW DOOR - NUMBER REFERS TO DOOR SIZE

BATH

SPACE NAME.

ALIGN SYMBOL.

BUILDING/SITE CHARACTERISTICS

1. NUMBER OF STORIES 3

2. HEIGHT OF STRUCTURE FT.

3. AREA - LARGEST FLOOR 1,948 SQ. FT.

4. NEW BUILDING AREA 2,686 SQ. FT.

5. VOLUME OF NEW STRUCTURE 24,243 CU. FT.

6. CONSTRUCTION CLASSIFICATION VB

7. TOTAL LAND AREA DISTURBED SQ. FT. AE-11

8. FLOOD HAZARD ZONE

9. BASE FLOOD ELEVATION 11.0+1.0=12.0'

10. WETLANDS YES NO X

11. MAX. LIVE LOAD 55 PSF.

12. MAX. OCCUPANCY LOAD 49 PERSONS

13. USE GROUP: RESIDENTIAL

14. WIND SPEED (PER ICC MAPS & ASCE 7): 120 MPH UP-LIFT RATING

15. EXPOSURE CATEGORY: 'B' IN COMPLIANCE WITH ASCE 7

16. SNOW LOAD (PER IBC&ASCE 7025): 30 PSF.

AREA CALCULATIONS

EXISTING PROPOSED TOTAL

BASEMENT FLOOR SQ.FT. SQ.FT. SQ.FT.

FIRST FLOOR SQ.FT. SQ.FT. SQ.FT.

SECOND FLOOR SQ.FT. SQ.FT. SQ.FT.

ATTIC FLOOR SQ.FT. SQ.FT. SQ.FT.

C.F. 1st SQ.FT. SQ.FT. SQ.FT.

C.F. 2nd SQ.FT. SQ.FT. SQ.FT.

AREA CALCULATIONS

GROUND FLOOR 0 SQ.FT. 204 SQ.FT. 204 SQ.FT.

GARAGE 0 SQ.FT. 1653 SQ.FT. 1653 SQ.FT.

PORCH(S) 0 SQ.FT. 131 SQ.FT. 131 SQ.FT.

SHED/ACCESS. STRUCT. - - -

BLDG. COVERAGE: TOTAL: 1,988 SQ.FT.

DRIVEWAY(S) 0 SQ.FT. 1305 SQ.FT. 1305 SQ.FT.

WALKWAY(S) - - -

PATIO(S) - - -

DECK(S) 30 SQ.FT. 421 SQ.FT. 451 SQ.FT.

POOL - - -

LOT COVERAGE (INCLUDES BLDG. COVER) TOTAL: 3,744 SQ.FT.

ZONING

ZONE: R-2.02 LOT: 7.01 BLOCK: 58

REQUIRED EXISTING PROPOSED COMMENTS

LOT AREA 4,000 SF 4,919 SF 4,919 SF

PRIMARY LOT FRONTAGE/WIDTH 50 FT 61.5 FT 61.5 FT MILLER STREET

SECONDARY LOT FRONTAGE/WIDTH 50 FT 80 FT 80 FT FOURTH STREET

PRIMARY LOT DEPTH 75 FT 80 FT 80 FT MILLER STREET

SECONDARY LOT DEPTH 75 FT 61.5 FT 61.5 FT FOURTH STREET

PRIMARY FRONT YARD SETBACK 20 FT 3.6 FT 3.6 FT MILLER STREET

SECONDARY FRONT YARD SETBACK 20 FT 2.5 FT 2.5 FT FOURTH STREET

PRIMARY SIDE YARD SETBACK 6/8 FT 24.0/2.5 FT 24.0/2.5 FT MILLER STREET

SECONDARY SIDE YARD SETBACK 6/8 FT 3.3/20.0 FT 3.3/20.0 FT FOURTH STREET

BOTH SIDE YARD TOTAL-MIN. - - -

BUILDING COVERAGE-MAX. 33% 40.3%

LOT COVERAGE (IMP)-MAX. 75% 76%

BUILDING HT./STORIES 30'** 24.5' 32.5'

STAIR SETBACK (FT) 3' - - -

ACCESSORY BUILDING: REAR YARD SETBACK - - -

ONE SIDE YARD SETBACK-MIN. - - -

BUILDING HT / STORIES-MAX. - - -

ISSUE DATE

COMMENTS

SEAL

FEBRUARY 23, 2021 PRELIMINARY - FOR REVIEW ONLY NJ LIC #11519

JANUARY 23, 2025 PRELIMINARY/REVISED - REVIEW ONLY

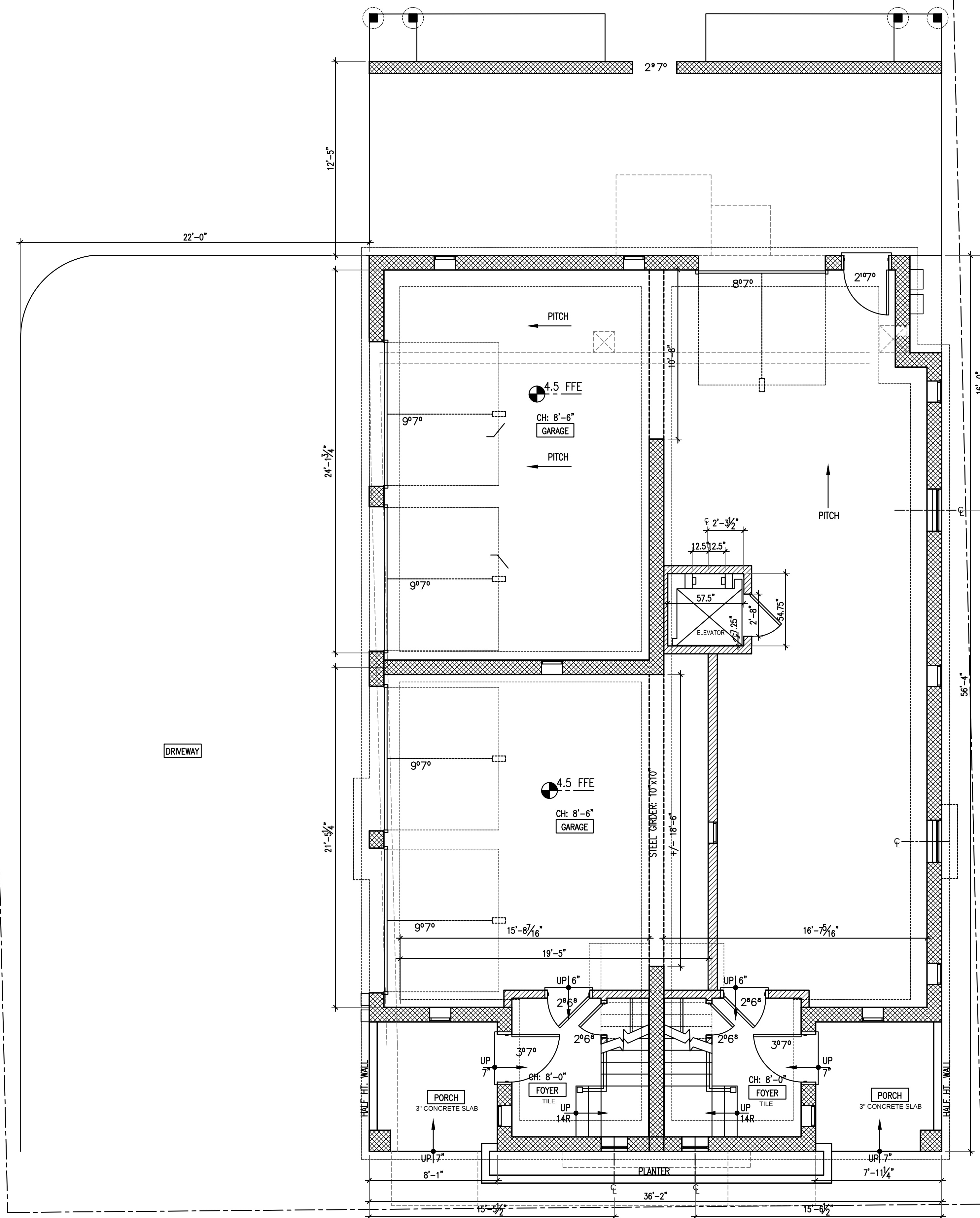
Landgrebe- Highlands, NJ

NJ LIC- #11519

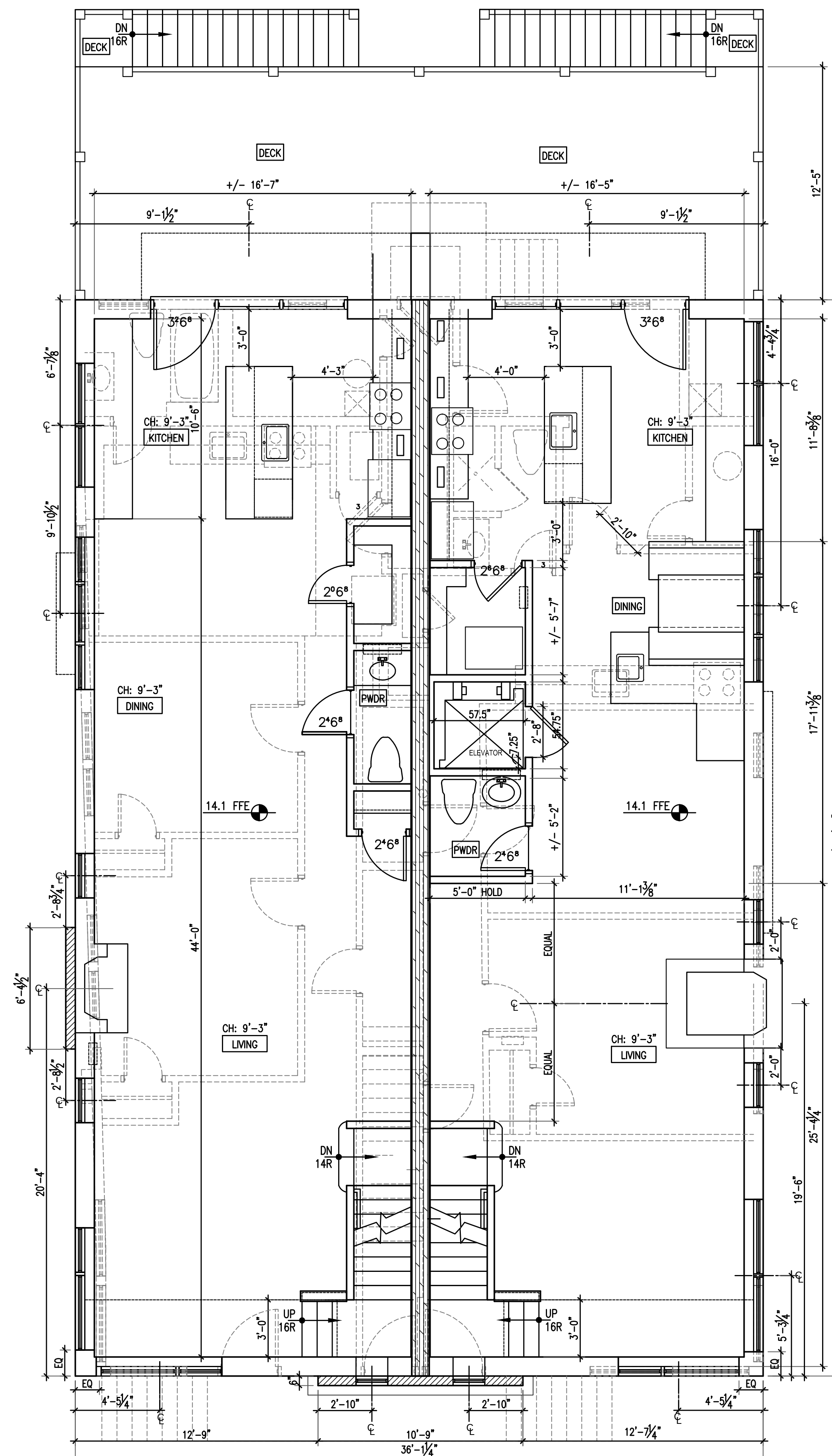
DRAWN: JP

A-1

JAMES T. DALEY ARCHITECT + ASSOCIATES 273 FIRST STREET, KEYPORT, NJ 07735 phone: 732-739-2684 fax: 732-739-0837



FOUNDATION PLAN
Scale: 1/4"=1'-0"



FIRST FLOOR PLAN
Scale: 1/4"=1'-0"

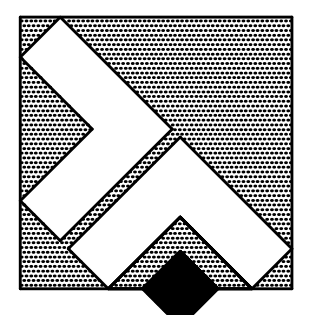
Landgrebe- Highlands, NJ

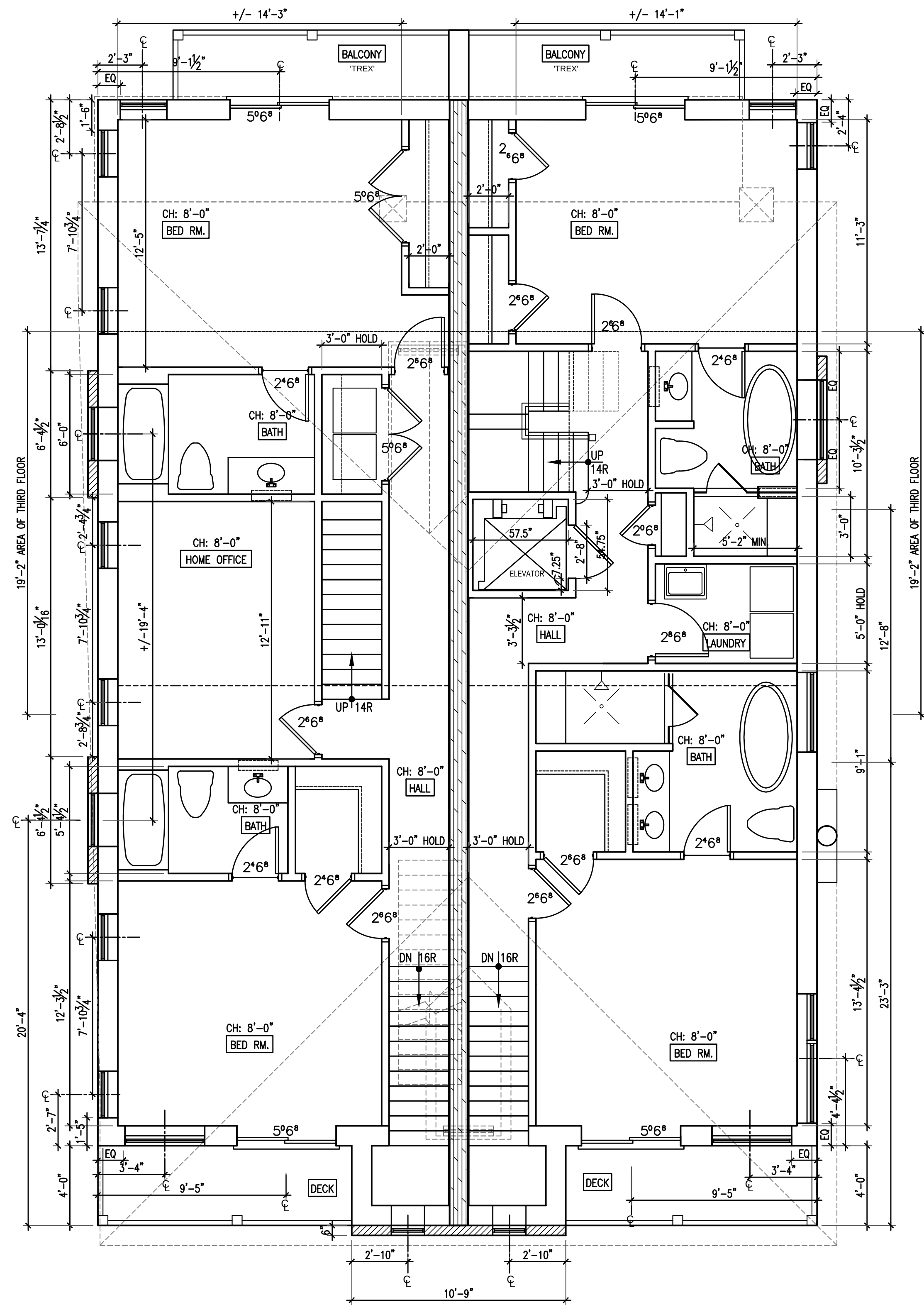
JAMES T. DALEY
ARCHITECT
+ ASSOCIATES
273 FIRST STREET, KEYPORT, NJ 07735
phone: 732-739-2684 fax: 732-739-0837

NJ LIC:
#11519

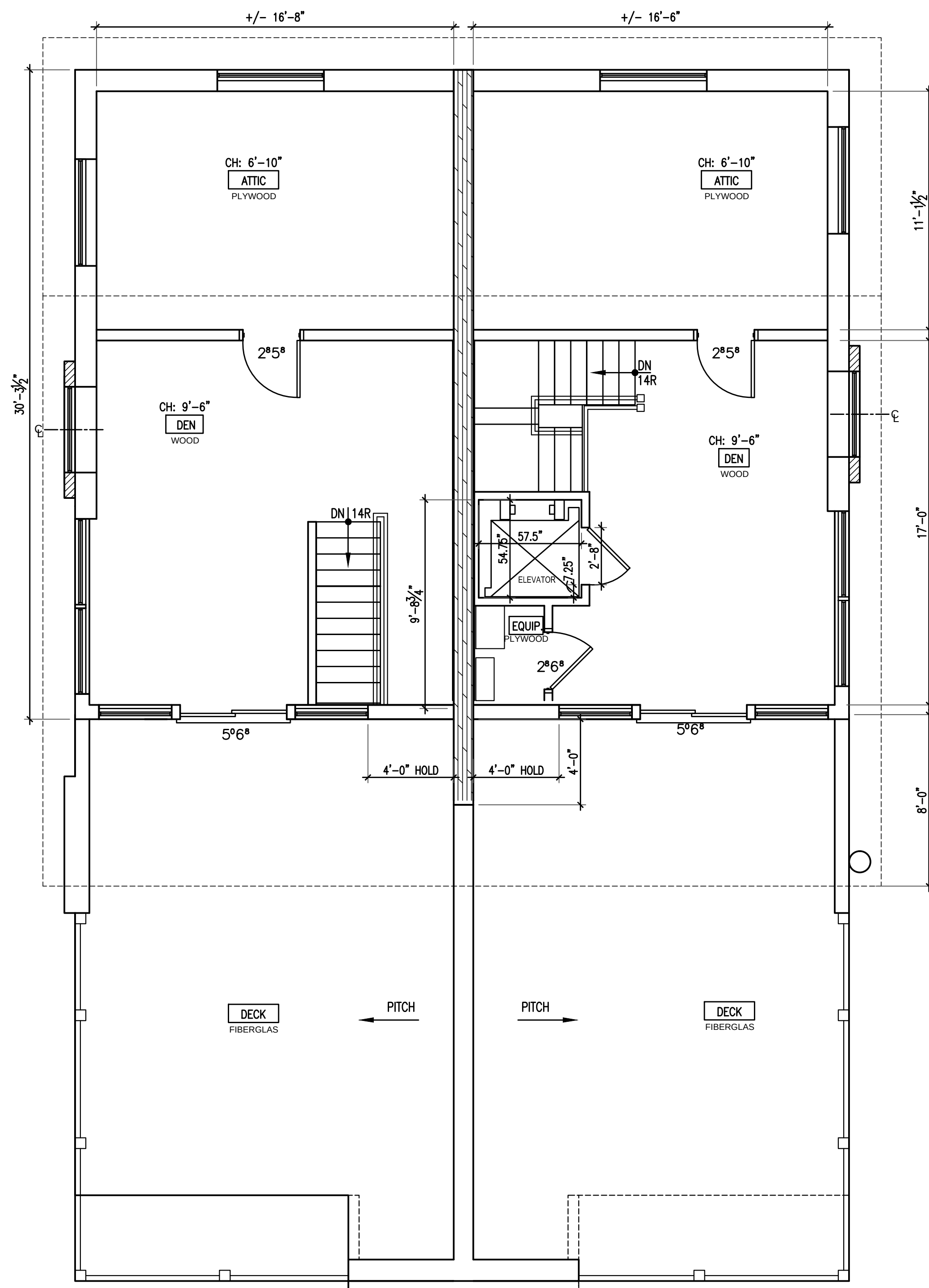
DRAWN: JP

A-2





SECOND FLOOR PLAN
Scale: 1/4"=1'-0"



1/3 FLOOR PLAN
Scale: 1/4"=1'-0"



FRONT ELEVATION
Scale: 1/4"=1'-0"



SIDE ELEVATION
Scale: 1/4"=1'-0"

Landgrebe- Highlands, NJ		NJ LIC: #11519	
JAMES T. DALEY ARCHITECT + ASSOCIATES		DRAWN: JP	
273 FIRST STREET, KEYPORT, NJ 07735 phone: 732-739-2684 fax: 732-739-0837		A-4	



REAR ELEVATION

Scale: 1/4"=1'-0"



SIDE ELEVATION

Scale: 1/4"=1'-0"

Landgrebe- Highlands, NJ		NJ LIC: #11519	
JAMES T. DALEY ARCHITECT + ASSOCIATES		DRAWN: JP	
273 FIRST STREET, KEYPORT, NJ 07735 phone: 732-739-2684 fax: 732-739-0837		A-5	



Borough of Highlands

151 Navesink Ave
Highlands, NJ 07732

Phone: (732) 872-1224

Control #: Z-0099

Date Issued: 8/20/2024

DENIAL OF ZONING PERMIT

IDENTIFICATION

Work Site Location:	44 MILLER STREET	Block:	58	Lot:	7.01	Zone:	R202
Owner in Fee:	SOLAR POWERED 44, LLC	Contractor/Agent:					
Address:	27 MILLER STREET	Address:					
	HIGHLANDS NJ 07732						
Telephone:	973-572-5007	Telephone:					
		Contractor License No:					

For the project/work located at the above address, your application for a permit to:

CONSTRUCT NEW TWO-FAMILY DUPLEX.

has been denied for noncompliance with provisions of Sections: 21-98.A, 21-98.C of the Municipal Zoning Ordinance for the following reasons:

D(1) use variance approval is required to construct a new two-family duplex in the R-2.02 single family zone.

Information on procedures for an appeal of this decision to the Land Use Board can be obtained from the Secretary of the Land Use Board. It should be noted that under State Statute, notice of appeal of this decision must be filed with this office not later than (20) days from the date of this notice. You can also file for a variance to the Land Use Board and can obtain from the Secretary of the Land Use Board the required forms.

The permit which you submitted has been placed in the inactive files in the Zoning Department. Please contact this office to reactivate the permit.

Denied by:

Zoning



July 7, 2025

Hand-Delivery

Borough of Highlands Land Use Board
151 Navesink Avenue
Highlands, NJ 07732

**RE: Use & Bulk Variance Application –
44 Miller St, Borough of Highlands
Lot 7.01, Block 58
Applicant: Solar Powered 44 LLC**

To Whom it May Concern:

Enclosed please find the following documents in support of the above-referenced application:

- Two (2) copies of the Borough of Highlands- Denial of Zoning Permit dated August 20, 2024
- One (1) original (signed & notarized) Borough of Highlands Land Use Board Application;
- Two (2) copies of the plan entitled *Variance Plan: #44 Miller St. Borough of Highlands* prepared by Donna M. Bullock, PE, of Morgan Engineering & Surveying dated May 7, 2025;
- Two (2) copies of the survey entitled *Topographic Survey* prepared by Morgan Engineering & Surveying LLC dated April 3, 2025
- Two (2) copies of the architectural plans entitled *Addition & Renovations to the Landgebe Residence: 44 Miller Street* prepared by James T. Daley Architect & Associates dated January 23, 2025
- Current Tax and Sewer payment records for the property
- One (1) flash drive containing digital copies of the enclosed documents

The following application and escrow fees are included in this submission:

- ☐ One (1) postal money order in the amount of \$275 for the required application fee
- ☐ One (1) postal money order in the amount of \$750 for the initial escrow deposit

If you have any questions or require any additional materials, please do not hesitate to contact this office.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'DM Bullock', written in a cursive style.

Donna M. Bullock, PE
Morgan Engineering, LLC

P.O. Box 5232
Toms River, NJ 08754
732.270.9690 office
donnab@MorganEngineeringLLC.com



Roberts
ENGINEERING GROUP LLC
Women Business Enterprise Certified

1670 Whitehorse-Hamilton Square Rd.
Hamilton, New Jersey 08690
609-586-1141 fax 609-586-1143
www.RobertsEngineeringGroup.com

August 12, 2025

Nancy Tran
Land Use Board Secretary
Borough of Highlands Land Use Board
151 Navesink Avenue
Highlands, New Jersey 07732

Re: Completeness Review No. 1
Applicant: Mark Landgrebe
Use Variance
Block 58, Lot 7.01
44 Miller Street
Borough of Highlands, Monmouth County, New Jersey
Our File No.: HLPB25-10

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations.

The Applicant is currently submitting a new application (#25-10) for a use variance which supersedes the former application (24-07, September 27, 2024) which was not presented to the Board. The Applicant seeks to complete the construction of a three-story, two (2) unit duplex with parking on the existing lot. The partially constructed duplex is situated on a 4,920 sf (0.113 Ac) lot and is located in the R-2.02 Single-Family Residential District and in the AE Flood Hazard area.

The former duplex on the lot collapsed and was subsequently demolished. A new duplex is partially constructed on the former foundation as per the Applicant. A Stop Work Order was issued on March 4, 2024, and the following is a property history leading to the current application.

The Applicant purchased the property in 2021 with an existing attached duplex. An approved zoning permit was issued on March 31, 2021, by Middletown Township/Borough of Highlands to lift the existing duplex to meet the required BFE, over existing footprint and having no bedroom increase. The vacant dwelling collapsed and was demolished on August 10, 2021. The Applicant then began new construction (date unknown and approvals unknown).

Ms. Courtney Lopez, Zoning Officer, found a partially constructed two-family structure to be non-conforming within the R-2.02 Single-Family Residential District and issued a Notice of Zoning Violations stating a Stop Work Order on March 4, 2024 under Section 21-98.A of the Municipal Zoning Ordinance (shown at end of the section). The notice stated, "Infraction: The existing nonconforming two-family dwelling has been removed (2021) and a new two-family structure has been constructed without proper zoning. We are issuing you a Stop Work Order for any future property improvements until an application is submitted to the Land Use Board for d(1) use variance approval and all proper permits are issued from any and all required departments prior to any further work being conducted at this site.". To comply by April 3, 2024.

August 20, 2024, the applicant received a Denial of Zoning Permit and construction to halt. The denial referenced Sections 21-98.A and C of the Municipal Zoning Ordinance (shown at end of the section). The Denial of Zoning Permit stated, "Construction of New Two-Family Duplex has been denied for noncompliance with provisions of Sections 21-98.A and C of the Municipal Zoning Ordinance for the following reasons: D(1) use variance approval is required to construct a new two-family duplex in the R2.02 single family zone."

The Applicant received a Notice of Unsafe Structure on September 13, 2024, and was ordered to demolish the new two-family structure by October 4, 2024.

The Applicant received a follow up to the Notice of Unsafe Structure status on December 17, 2024, and was fined on January 12, 2025.

To summarize, the original duplex was an existing non-conforming use in the R-2.02 Single-Family Residential District. In 2021, the original duplex was approved to be raised, however the structure was vacant, collapsed and was demolished. Once the structure was demolished and removed, the former non-conforming use became invalid for the property according to Sections 21-98.A and C. The Applicant was instructed by the March 4, 2024, and August 20, 2024, denials that a use variance was required and could be submitted for approval by the Land Use Board. However, the Applicant received a Notice of Unsafe Structure on September 13, 2024, and was ordered to demolish the new two-family structure by October 4, 2024.

On September 27, 2024, an application for a Variance and an appeal for the zoning denial was submitted with Surveys and Architectural Plans. Subsequently, on February 10, 2025, sketches and architectural plans were submitted for review.

The Completeness Review letters dated October 21, 2024, and February 19, 2025, corresponding to the September and February submissions, noted Sections 21-98.A and C with the full descriptions. Both reviews noted the application as incomplete and that a D (1) Use Variance, Site Plan and checklist were required for the Board to make an informed review and decision regarding the application.

The new application (#25-10) has been submitted as a "Variance Plan" consisting of zoning information, proposed dwelling, deck, covered porch, driveway, utilities, grading and other site improvements. There are several bulk variances, and there are a number of site improvements that are required to be addressed under a Minor Site Plan as was noted in the October and February review letters. A Minor Site Plan is required for this property.

Section 21-98.A.

Continuance. Except as otherwise provided herein, nonconforming uses or structures which lawfully existed at the time of passage of this chapter may be continued even though such uses or structures do not comply with the regulations of this chapter; provided, however, that:

1. A nonconforming use shall not be expanded or changed to another nonconforming use.
2. Any addition to an existing nonconforming building may be constructed to continue the existing building setback but shall not be permitted to encroach further into the required setback than the existing structure.
3. Abandonment. A nonconforming use that has been abandoned shall not thereafter be reinstated. A nonconforming use shall be judged to have been abandoned:
 - a. When it is changed to a conforming use.
 - b. In cases where such nonconforming use is a building or structure designed for such use, when it has been voluntarily discontinued for a period of twenty-four (24) consecutive months.
 - c. In cases where such nonconforming use is of a building or structure not designed for such use or is of a lot or land whereon there is no consequential building or structure devoted to such use, when it has been voluntarily discontinued for a period of twelve (12) consecutive months.

Section 21-98.C.

*Restoration. If a nonconforming use or structure is deemed to be one hundred percent (100%) destroyed (damages equal to or greater than the full equalized value of the structure) **by any cause whatsoever**, it shall only be reestablished so as to conform to all zoning standards in the zone in which it is located.*

I. COMPLETENESS

We recommend this application be deemed COMPLETE subject to the submission of a Minor Site Plan application along with the Minor Site plan checklist. However, we have reviewed the application against the Minor Site Checklist so that the applicant knows the comments we would anticipate having for an application.

We have reviewed the following documents submitted in support of the above referenced application for completeness purposes:

1. Copy of submission letter addressed to Borough of Highlands Land Board from Donna M. Bullock, PE, Morgan Engineering, LLC. dated July 7, 2025;
2. Copy of the Land Use Board Application for Use Variance, received is undated and signed June 26, 2025;

3. Copy of the Notice of Zoning Violations issued on March 4, 2024, by Courney Lopez, Zoning Officer for the Borough of Highlands;
4. Copy of the Denial of Zoning Permit issued on August 20, 2024, by Courney Lopez, Zoning Officer for the Borough of Highlands;
5. Copy of a plan entitled, "Variance Plan, 44 Miller Street, Lot 7.01, Block 58, Borough of Highlands, Monmouth County, New Jersey", prepared by Morgan Engineering, signed and dated May 7, 2025;
6. Copy of a set of architectural plans entitled, "Two Family Residence for Landgrebe, 44 Miller Street, Highlands, NJ, Lot# 7.01, Block# 58", prepared by James T. Daley Architect + Associates, dated February 23, 2021, and last issued date January 23, 2025. 5 sheets;
7. Copy of a plan entitled, "Topographic Survey, Lot 7.01, Block 58, Borough of Highlands, Monmouth County, New Jersey", prepared by Morgan Engineering, signed and dated April 3, 2025;
8. Copy of a plan entitled "Survey of Property, 44 Miller Street, Lot 7.01, Block 58, Borough of Highlands, Monmouth County, New Jersey", prepared and signed by Charles Surmonte, PE, PLS, dated November 11, 2020. Survey provided with first and second submission;
9. Copy of Application Zoning Permit Z-2.02, 2021-21 dated March 31, 2021;
10. Copy of Notice of Unsafe Structure, No. 2024-00033, dated September 13, 2024;
11. Copy of email Unsafe Structures from Construction Official to Applicant, dated December 17, 2025;
12. Copy of Fine invoice, Ref No. 2024-00033, dated January 12, 2025;
13. Site photos from inspector on August 9 & 10, 2021.

We offer the following comments and recommendations for the Land Use Board's consideration:

II. ZONING

1. This property is a corner lot located in the R-2.02 Single-Family Residential District at the northwest corner of Miller Street and Fourth Street.
2. The Lot requires a D(1) Use Variance Use. A two-family dwelling is not permitted in the R-2.02 Single-Family Residential District.

To be entitled to use variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A 40:55D-70d.

The Applicant will be required to provide proof during testimony.

3. The Applicant requires five (5) bulk variances based on the current information. To be entitled to bulk "c" variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A 40:55D-70c for bulk variances.

The Applicant will be required to provide proof during testimony.

4. The following bulk requirement summary is provided for the Board's reference.

Schedule I – Bulk and Area Requirements				
R-2.02 Single Family Residential District				
	Required	Existing	Proposed	Variance
Min. Lot Area (sf)	4,000	4,920	4,920	No
Lot Frontage/Width (ft)	50			
Miller Street		61.50	61.50	No
Fourth Street		80.00	80.00	No
Lot Depth (ft)	75	70.75	70.75	Yes
Min. Front Yard Setback (ft)	20 ⁽²⁾			
Miller Street		3.3 ⁽⁴⁾ F	3.6	Yes
Fourth Street		1.1 ⁽⁴⁾ F	±1.1	Yes
Min. Side Yard Setback (ft)	6/8			
Miller Street		24.0 F	22.5	No
Fourth Street		20.0 F	29.8	No
Max. Building Height (ft) ⁽³⁾	30	24.5	32.0	No
Max. Lot Coverage (%)	75	Unknown	55.9%	No
Max. Building Coverage (%)	33	Unknown	41.3%	Yes
Min. Deck/Stairs Setback (ft)	3	-	0.9	Yes
On-Site Parking (spaces) ⁽⁴⁾	3	2	4	No

F = Foundation of Former Dwelling per Survey dated 11/11/20

(1) Existing non-conformity

(2) Or the average of the existing front yard setback within two hundred (200) feet in the same block and zone, per § 21-79.B

(3) Where a dwelling is constructed or reconstructed to provide the required parking under the structure, the maximum height shall be increased by two and one-half feet

(4) 1.5 spaces per unit with 2 bedrooms x 2 units

III. CHECKLIST ITEMS

1. Date, name, location of site, name of owner, scale, and reference meridian. **Provided.**
2. Area of the lot and all lot line dimensions and bearings. **Provided.**
3. The location of all existing watercourses, wooded areas, easements, rights-of-way, streets, roads, highways, rivers, buildings, structures, and any other feature on the property and within seventy-five (75) feet of the property line. **Applicant seeks waiver. Acceptable. However, the dwelling and driveway on adjoining Lot 8 need to be shown on the plans.**
4. Location, use and ground floor area of all existing and proposed buildings, with the building setback, sideline, and rear yard distance. **Partially provided.**
5. Elevations at the corners of all proposed buildings and paved areas and at property corners if new buildings or paved areas are proposed. **Provided.**
6. The location and widths of existing and proposed streets servicing the site plan. **Provided.**
7. Specifications for and location of proposed surface paving and curbing. **Not applicable.**
8. Location of all structures within seventy-five (75) feet of the property. **Partially provided.**

Applicant seeks waiver. Need dwelling on adjoining Lot 8.
9. Location of off-street parking areas, with dimensions, showing proposed parking and loading spaces, with dimensions, width of proposed access drives and aisles and traffic circulation. **Not applicable.**

10. Stormwater management and sanitary sewer reports, including proposed storm drainage and sanitary disposal facilities; specifically, the location, type and size of all existing and proposed catch basins, storm drainage facilities, utilities, plus all required design data supporting the adequacy of the existing or proposed facilities to handle future storm flows.

Applicant seeks waiver. Acceptable. Please see the General Comments below regarding existing and proposed utilities.

11. Existing and proposed contours of the property and for seventy-five (75) feet outside the property at one (1) foot intervals when new buildings or parking areas are proposed. Spot elevations for any development in a flood hazard area.

Applicant seeks waiver. The Applicant has provided sufficient information.

12. The location and treatment of proposed entrances and exits to public rights-of-way, including the possible utilization of traffic signals, channelization, acceleration and deceleration lanes, additional widths, and any other devices necessary to traffic safety and/or convenience. **Provided.**

13. The location and identification of proposed open space, parks, or other recreation areas. **Not applicable.**

14. The location and design of landscaping, buffer areas and screening areas showing size, species and spacing of trees and plants and treatment of unpaved areas. **Not applicable**

15. The location of sidewalks, walkways, traffic islands and all other areas proposed to be devoted to pedestrian use. **Provided.**

16. The nature and location of public and private utilities, including maintenance and solid waste disposal, recycling and/or storage facilities. **The Applicant has provided sufficient information.**

17. Specific location and design of traffic control devices, signs, and lighting fixtures. The Board may require of the applicant expert testimony concerning the adequacy of proposed traffic control devices, signs, and lighting fixtures. **Not applicable.**

18. Preliminary architectural plans for the proposed buildings or structures, indicating typical floor plans, elevations, heights and general design or architectural styling. **Provided.**

19. The present and past status use and contemplated use of the property and all existing buildings on the property. A cleanup plan where such is necessary because of the past or present use of the site. **Not applicable.**

20. A soil erosion and sediment control plan are required. Said plan shall be submitted to the Soil Conservation District and approval of the application shall be conditioned upon certification of the soil erosion and sediment control plan by the District. **Exempted by Freehold Soil Conservation District. To provide an exemption letter.**

21. Soil borings, when required by the Board Engineer. **Not provided and not applicable. Existing foundation in place.**

22. Certification statement for the required municipal signatures, stating:

Application No. _____ approved/disapproved by the Borough of Highlands Land Use Board as a Minor Site Plan on (date). **Provided.**

Chairman

Secretary

23. Certification statement for the County Planning Board approval/disapproval, if required. **Not provided.**
24. The Board may require any additional information which is reasonably necessary to ascertain compliance with the provisions of this chapter. **Open.**

IV. GENERAL COMMENTS

1. Please rename the plan to Minor Site Plan.
2. Please provide a complete Minor Site Plan checklist. Note and explain any waivers.
3. Please update the Certification statement on the engineering plan. Refer to Checklist Item #22.
4. The existing information shown in the zoning requirements table represents the current partially built duplex. The former 2-family dwelling was demolished with the foundation remaining on the lot. The existing information should represent the former dwelling. The former dwelling is shown on the "Survey of Property" dated November 11, 2020. The current dwelling is shown on the "Topographic Survey" dated April 3, 2025, which represents the proposed conditions.

Please update the existing front and side setbacks according to the November 11, 2020 survey prior to demolition.

Please provide a deck setback category on the zoning table.

Provide the 3 ft deck setback line along the front and side property line.

Provide the proposed front and side yard setbacks (building) for Fourth Street on the plan. The deck setbacks are shown.

Update the frontage/width.

Provide building dimensions on the proposed dwelling.

5. Please provide signed and sealed Architectural plans.
6. Please update the zoning information on the Architectural plans to be consistent with the Site Plan.
7. Please update the building height as 32'-0" and add elevations to a side section on the Architectural plans.
8. Please update the parking requirement table according to §21-65.14.C.1 Off-street parking.

One-family and two-family units with 2-bedrooms require 1.5 spaces for each unit.

According to the N.J.A.C. 5:21 Residential Site Improvement Standards Section 4.14. a Two Family (Duplex) stipulates that "Single-Family Detached" values shall apply to each unit. A 2-bedroom single-family requires 1.5 spaces. Each proposed unit has a 2-car garage.

Please remove the reference N.J.A.C. 5:21-4.14 regarding the removal of half-spaces. This pertains to developments having many spaces and not single lots.

9. Please provide the dwelling and driveway on Lot 8.
10. Please provide the front and side overhangs with offsets to Miller Street and Fourth Street rights-of-ways on the Site Plan.

Please include the first and second floor projections along Miller Street and Fourth Street.

11. Dimension the encroachments of the masonry planter to the Miller Street rights-of-way line and note any encroachments.
12. Please provide elevations for the front and rear corners of the proposed building.
13. Please indicate the BFE and FF. The roof peak elevation shown on the site plan is not consistent with the architectural plans.
14. Please clarify if the boundary of the gravel driveway is a curb or a wall. TW and BW elevations are shown, and the boundary is noted as proposed curb.

Some existing elevations are overlain by the proposed gravel hatching. Please indicate.

Please confirm that runoff is not directed from the bottom grade of the curb/wall of the gravel driveway towards the dwelling on adjoining Lot 5.01.

15. The 1-story rear and side yard concrete deck appears to be open below. Please indicate the material under the deck.
16. Please indicate the roof leaders and confirm discharge is the street and not adjoining properties.
17. Please indicate the purpose of the irregular shaped concrete area in the rear of the proposed dwelling.
18. Indicate the stairways and landings for the elevated deck.
19. Provide a concrete pad for the landing of both stairways to the elevated deck. Provide grades.
20. This application proposes a gravel driveway.
21. Indicate the grass and any landscaped areas on the plan.
22. Provide a note on the plans that the Applicant is responsible for any damage to any/all existing curb, sidewalk, roadway, and other off-site objects made during construction and must be repaired and/or replaced to the satisfaction of the Borough Engineer and costs paid by the Applicant.
23. Provide the location of existing water, sewer and gas service lines. Indicate if any changes are proposed. Will any service lines be replaced or relocated?
24. Confirm if the cleanout which is located at the common corner of Lot 7.01 and Lot 5.01 serves Lot 7.01 and indicate on the plan. Indicate if it is to remain in service or be abandoned.
25. Any water, sewer and gas utilities that are proposed to connect to existing valves and cleanout in the existing sidewalk along Miller Street and Fourth Street will require replacement of the concrete sidewalk.

The sidewalk along Fourth Street is in poor condition and we recommend full replacement.
26. According to §21-123.2 mechanical, plumbing and electrical systems should be above Local Design Flood Elevation (LDLE). Please provide a note.

27. Please provide construction details:

- a. Sidewalk according to § 21-65.17.
- b. Gravel driveway
- c. Wall
- d. Curb

e. Pavement repair according to § 21-65.15, if needed.

28. The Applicant has indicated that the proposed dwelling will be FEMA elevation compliant and within municipal flood regulations. A grading plan will be required and deferred as a condition of approval.

V. APPROVALS

Approval of this application will be conditioned upon the Applicant obtaining or providing approved documents for the following:

1. Freehold Soil Conservation Permit (exemption letter)
2. NJDEP FHA
3. Coastal Area Facilities Review Act (CAFRA) Zone, if required per NJDEP
4. Monmouth County (Bay Avenue is within 200 ft. of the site)

Should you have any questions, please do not hesitate to contact me.

Very truly yours,



Carmela Roberts, PE, CME, CPWM
Land Use Board Engineer

cc: Michael Muscillo, Borough Administrator, (mmuscillo@highlandsborough.org)
Dustin F. Glass, Esq., Land Use Board Attorney (dglass@semerarolaw.com)
Steve Winters, Construction Official, Floodplain Administrator (swinters@highlandsborough.org)
Courtney Lopez, Zoning Officer (clopez@highlandsborough.org)
Kathy Shaw, CRS Coordinator (kshaw@highlandsnj.gov)
Donna M. Bullock, PE, Applicant's Engineer (donnab@MorganEngineeringLLC.com)
James Daley, AIA, Applicant's Architect (gymteedaily@aol.com)
Cameron Corini, PE, CME, CPWM, Roberts Engineering Group, LLC
GS Bachman, EIT, Roberts Engineering Group, LLC



September 24, 2025

Hand-Delivery

Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board
151 Navesink Avenue
Highlands, New Jersey 07732

**Re: Completeness Review No. 1
Minor Site Plan w/ Use Variance
Applicant: Mark Landgrebe
Block 58, Lot 7.01
44 Miller Street
Borough of Highlands, Monmouth County, New Jersey
REG File No.: HLPB25-10**

To whom it may concern:

Enclosed please find the following documents in support of the above-referenced application:

- Sixteen (16) copies of the plan entitled *Variance Plan: #44 Miller St. Borough of Highlands* prepared by Donna M. Bullock, PE, of Morgan Engineering & Surveying dated May 7, 2025, September 19, 2025;
- One (1) flash drive containing digital copies of the enclosed documents

The enclosed plans and documents have been revised as necessary in accordance with Roberts Engineering Group LLC Completeness Review No. 1 dated August 12, 2025.

Roberts Engineering Group Completeness Review No. 1 dated August 12, 2025

Checklist Items

3. The location of all existing watercourses, wooded areas, easements, rights-of-way, streets, roads, highways, rivers, buildings, structures, and any other feature on the property and within seventy-five (75) feet of the property line. *Applicant seeks waiver. Acceptable. However, the dwelling and driveway on adjoining Lot 8 need to be shown on the plans.*
Response: The existing driveway and dwelling for adjacent Lot 8 have been added to the Minor Site plan set.
4. Location, use and ground floor area of all existing and proposed buildings, with the building setback, sideline, and rear yard distance. *Partially provided.*
Response: The location of garage, storage and foyer as well as elevations have been added. All building setbacks have been added.
8. Location of all structures within seventy-five (75) feet of the property. *Partially provided. Applicant seeks waiver. Need dwelling on adjoining Lot 8.*
Response: The existing driveway and dwelling for adjacent Lot 8 have been added to the Minor Site plan set.

General Comments

1. Please rename the plan to Minor Site Plan.

Response: The plans are now titled 'Minor Site Plan w/ 'D' Variance, as requested.

2. Please provide a complete Minor Site Plan checklist. Note and explain any waivers.

Response: Checklist enclosed.

3. Please update the Certification statement on the engineering plan. Refer to Checklist Item #22.

Response: Chairmen and secretary certification block has been add to the Minor Site plan set.

4. The existing information shown in the zoning requirements table represents the current partially built duplex. The former 2-family dwelling was demolished with the foundation remaining on the lot. The existing information should represent the former dwelling. The former dwelling is shown on the "Survey of Property" dated November 11, 2020. The current dwelling is shown on the "Topographic Survey" dated April 3, 2025, which represents the proposed conditions.

Response: Statement of Fact.

Please update the existing front and side setbacks according to the November 11, 2020 survey prior to demolition.

Response: The zoning schedule has been updated accordingly.

Please provide a deck setback category on the zoning table.

Response: The zoning schedule has been updated accordingly.

Provide the 3 ft deck setback line along the front and side property line.

Response: The zoning schedule has been updated accordingly.

Provide the proposed front and side yard setbacks (building) for Fourth Street on the plan. The deck setbacks are shown.

Response: The zoning schedule has been updated accordingly.

Update the frontage/width.

Response: The zoning schedule has been updated accordingly.

Provide building dimensions on the proposed dwelling.

Response: The building dimensions have been added as requested.

5. Please provide signed and sealed Architectural plans.

Response: To be provided under separate cover.

6. Please update the zoning information on the Architectural plans to be consistent with the Site Plan.

Response: Updated Architectural plans to be provided under separate cover.

7. Please update the building height as 32'-0" and add elevations to a side section on the Architectural plans.

Response: Updated Architectural plans to be provided under separate cover.

8. Please update the parking requirement table according to §21-65.14.C.1 Off-street parking.

One-family and two-family units with 2-bedrooms require 1.5 spaces for each unit.

According to the N.J.A.C. 5:21 Residential Site Improvement Standards Section 4.14, a Two Family (Duplex) stipulates that “Single-Family Detached” values shall apply to each unit. A 2-bedroom single-family requires 1.5 spaces. Each proposed unit has a 2-car garage.

Please remove the reference N.J.A.C. 5:21-4.14 regarding the removal of half-spaces. This pertains to developments having many spaces and not single lots.

Response: The parking criteria have been updated accordingly.

9. Please provide the dwelling and driveway on Lot 8.

Response: The existing driveway and dwelling for adjacent Lot 8 have been added to the Minor Site plan set.

10. Please provide the front and side overhangs with offsets to Miller Street and Fourth Street rights-of-ways on the Site Plan.

Please include the first and second floor projections along Miller Street and Fourth Street.

Response: The roof overhang has been added to the building on Fourth Street, adjacent to the 1st. story open deck. A 1.5-foot floor projection line and front yard setback distances have been added to the Minor Site Plan set.

11. Dimension the encroachments of the masonry planter to the Miller Street rights-of-way line and note any encroachments.

Response: The masonry planters offset into the R.O.W. of Miller Street has been added as requested.

12. Please provide elevations for the front and rear corners of the proposed building.

Response: Elevations have been provided at the building corners.

13. Please indicate the BFE and FF. The roof peak elevation shown on the site plan is not consistent with the architectural plans.

Response: The architectural plans proposed finish floor elevations must be revised to reflect the existing conditions/topographic information. The Minor Site Plan set provided the Finish floor elevations for garage, covered porch, foyer and first floor elevations along with a building height detail with the design flood elevation.

14. Please clarify if the boundary of the gravel driveway is a curb or a wall. TW and BW elevations are shown, and the boundary is noted as proposed curb.

Response: The gravel driveway is bounded by concrete curb.

Some existing elevations are overlain by the proposed gravel hatching. Please indicate.

Response: The gravel hatching has been removed from the Minor Site Plan set for clarity.

Please confirm that runoff is not directed from the bottom grade of the curb/wall of the gravel driveway towards the dwelling on adjoining Lot 5.01.

Response: A note stating same has been added to the Minor Site Plan set.

The 1-story rear and side yard concrete deck appears to be open below. Please indicate the material under the deck.

Response: Concrete slab is provided under the first story open deck.

15. Please indicate the roof leaders and confirm discharge is the street and not adjoining properties.

Response: A note stating same has been added to the Minor Site Plan set.

16. Please indicate the purpose of the irregular shaped concrete area in the rear of the proposed dwelling.

Response: the irregular shaped concrete is to be removed and grass in its place in the rear yard area.

17. Indicate the stairways and landings for the elevated deck.

Response: The stairs and landings have been added to the Minor Site plan set.

18. Provide a concrete pad for the landing of both stairways to the elevated deck. Provide grades.

Response: A six foot long concrete pad has been provided at the bottom of the stairs where the stairs meet grade.

19. This application proposes a gravel driveway.

Response: Statement of Fact.

20. Indicate the grass and any landscaped areas on the plan.

Response: Grass is proposed in the rear area of the site.

21. Provide a note on the plans that the Applicant is responsible for any damage to any/all existing curb, sidewalk, roadway, and other off-site objects made during construction and must be repaired and/or replaced to the satisfaction of the Borough Engineer and costs paid by the Applicant.

Response: A note stating same has been added to the Minor Site Plan set.

22. Provide the location of existing water, sewer and gas service lines. Indicate if any changes are proposed. Will any service lines be replaced or relocated?

Response: Existing utilizes located within the R.O.W. of Fourth Street and Miller street has been added to the plan. Clean outs and water valves are also shown. There are to be no proposed water and sanitary sewer connections proposed. The existing connections shall be reused.

23. Confirm if the cleanout which is located at the common corner of Lot 7.01 and Lot 5.01 serves Lot 7.01 and indicate on the plan. Indicate if it is to remain in service or be abandoned.

Response: It appears that the clean out is not associated with Lot 7.01.

24. Any water, sewer and gas utilities that are proposed to connect to existing valves and cleanout in the existing sidewalk along Miller Street and Fourth Street will require replacement of the concrete sidewalk.

Response: Statement of Fact.

The sidewalk along Fourth Street is in poor condition and we recommend full replacement.

Response: The sidewalk along Fourth Street has been called out for replacement in kind.



25. According to §21-123.2 mechanical, plumbing and electrical systems should be above Local Design Flood Elevation (LDFL). Please provide a note.

Response: A note stating same has been added to the Minor Site Plan set.

26. Please provide construction details:

- a. Sidewalk according to § 21-65.17.
- b. Gravel driveway
- a. Wall
- c. Curb

Response: Details have been provided, as requested.

If you have any questions or require any additional materials, please do not hesitate to contact this office.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'DM Bullock', is written over the typed name.

Donna M. Bullock, PE

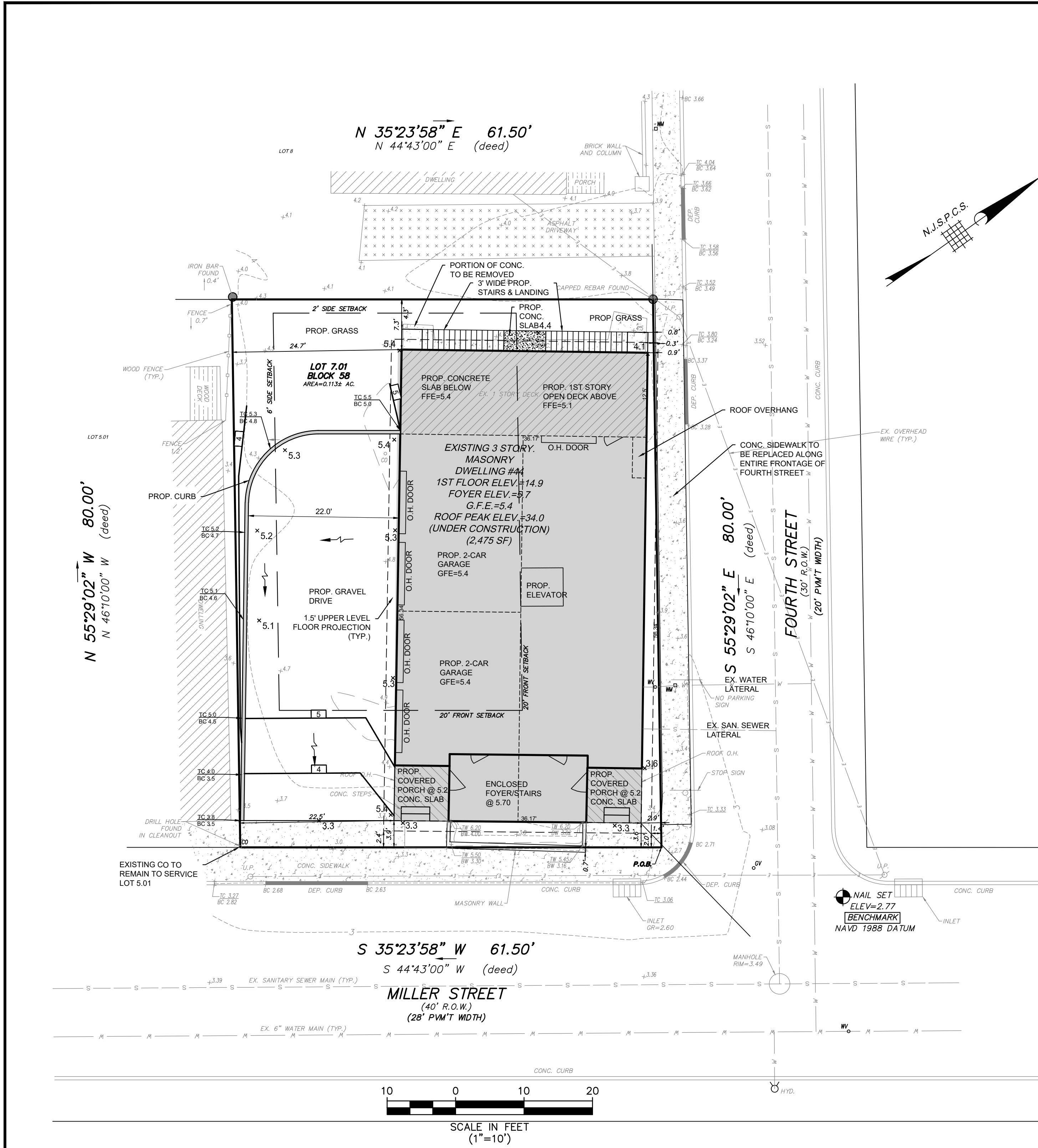
Morgan Engineering, LLC

P.O. Box 5232

Toms River, NJ 08754

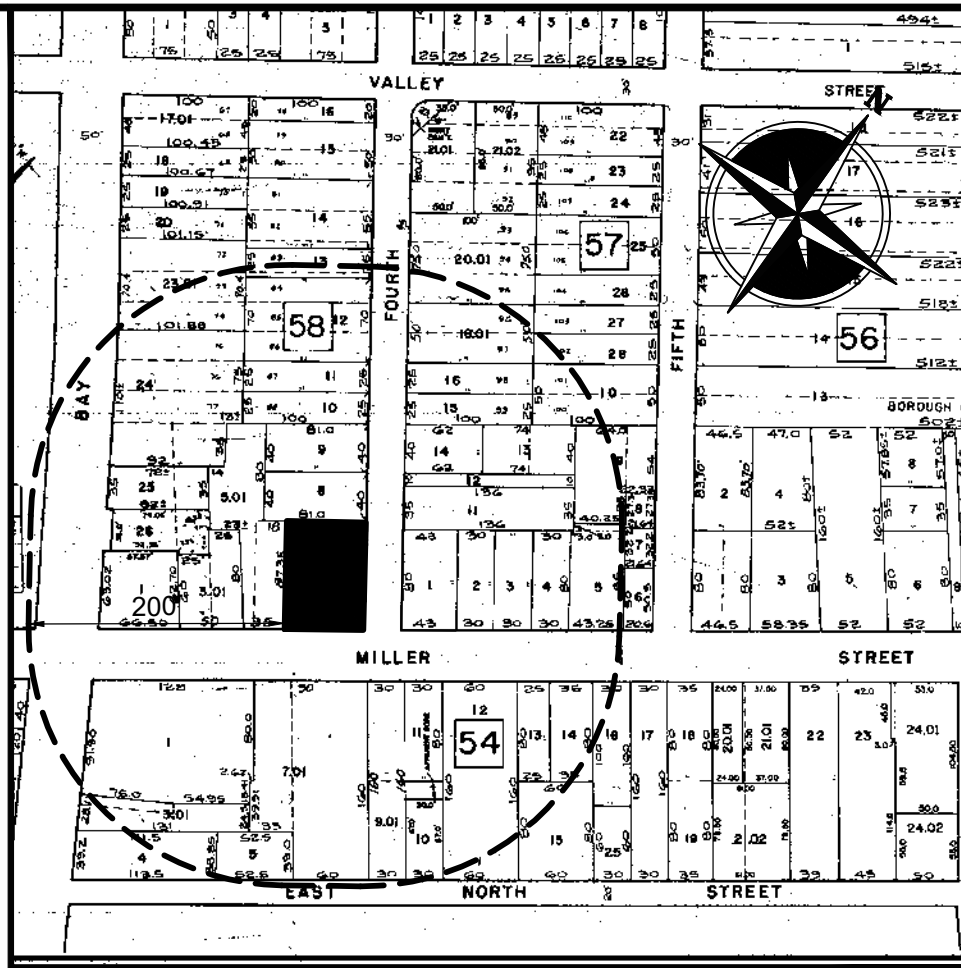
732.270.9690 office

donnab@MorganEngineeringLLC.com



200' PROPERTY OWNERS LIST

Block/Lot	Owner	Mailing address	City, State, Zip
200' List Block 58 Lot 7.01 44 Miller Street Highlands			
319-54-1	SOVKA HELEN (ESTATE)	150 BAY AVENUE	HIGHLANDS NJ 07732
319-54-7.011	LDN REAL ESTATE LLC	55 MILLER STREET	LITTLE SILVER NJ 07739
319-54-7.012	LDN REAL ESTATE LLC	53 MILLER STREET	LITTLE SILVER NJ 07739
319-54-7.013	LDN REAL ESTATE LLC	55 MILLER STREET	LITTLE SILVER NJ 07739
319-54-7.014	LDN REAL ESTATE LLC	55 MILLER STREET	LITTLE SILVER NJ 07739
319-54-7.015	LDN REAL ESTATE LLC	55 MILLER STREET	LITTLE SILVER NJ 07739
319-54-4	CONSILIERE LLC	P.O. BOX 412	NAVESINK NJ 07752
319-57-12	BOROUGH OF HIGHLANDS	151 NAVESINK AVE	HIGHLANDS NJ 07732
319-58-7.01	SOLAR POWERED 44 LLC	27 MILLER STREET	HIGHLANDS NJ 07732
319-58-23.01	DOCSIDE LLC	182 BAY AVENUE	HIGHLANDS NJ 07732
319-58-24	HIGHLANDS POSTAL MANAGEMENT LLC	130 LEE AVENUE SUITE 366	BROOKLYN NY 11211
319-58-25	YEUNG SAUWAN	29 WOODLEY AVENUE	LONG BRANCH NJ 07740
319-58-9	165 BAY HOLDINGS LLC	1041 HWY 36 SUITE 200	ATLANTIC HIGHLANDS NJ 07716
319-59-10	BOROUGH OF HIGHLANDS	151 NAVESINK AVE	HIGHLANDS NJ 07732
319-57-9	KIRSH KRAFT LLC	PO BOX 686	HAWKINTON NJ 08037
319-54-14	CHAN TED & BENJAMINAPAT	53 MILLER STREET	HIGHLANDS NJ 07732
319-58-1	T&B PROPERTIES LLC	12 MILLER STREET	HIGHLANDS NJ 07732
319-57-11	FITZGERALD SUZANNE	8 FOURTH STREET	HIGHLANDS NJ 07732
319-57-27	LPOCHENOW CLEG	21 FIFTH STREET	HIGHLANDS NJ 07732
319-57-20.01	INNOV MICHAEL	48 WATERMAN AVENUE	RUMSON NJ 07760
319-57-15	GAZZA WILLIAM & SUSAN	14 FOURTH STREET	HIGHLANDS NJ 07732
319-57-16	MISTA JOSEPH	16 4TH STREET	HIGHLANDS NJ 07732
319-57-28	HARTSDORF BARBARA A & HEATHER	19 FIFTH STREET	HIGHLANDS NJ 07732
319-58-8	MECKLER BARRY & LINDA	9 FOURTH STREET	HIGHLANDS NJ 07732
319-54-10	HONNOLD KRISTA & THOMAS BURKE	71 WATERMAN AVENUE	RUMSON NJ 07760
319-54-13	CARVALHO MANUJAL & MARIA	5 SUNSET CT	FREEHOLD NJ 07728
319-54-12	DEBOLD RICHARD	121 NAVESINK AVE	HIGHLANDS NJ 07732
319-54-15	FLANNERY JOHN M & DANIELLEA	36 NORTH STREET	HIGHLANDS NJ 07732
319-54-16	MURRAY MICHAELS	29 MILLER STREET	HIGHLANDS NJ 07732
319-57-3	MAHMOUD ESMAT	38 MILLER STREET	HIGHLANDS NJ 07732
200' List Block 58 Lot 7.01 44 Miller Street Highlands			
319-57-4	STARK SUSAN C/O T. WILSON	P.O. BOX 63	MIDDLETOWN NJ 07748
319-57-2	FELDMAN MICHAEL & ANNA MARIE	12 DOGWOOD COURT	CLIFFWOOD NJ 07721
319-57-10	HARTSGROVE REGIONAL S.H.R.	15 FIFTH STREET	HIGHLANDS NJ 07732
319-57-15	GAZZA WILLIAM	14 FOURTH STREET	HIGHLANDS NJ 07732
319-57-14	CASAZZA LUCILLE	12 FOURTH STREET	HIGHLANDS NJ 07732
319-57-1	AME REALTY LLC	42 MILLER STREET	HIGHLANDS NJ 07732
319-54-3.01	CIRECO STEPHEN	127 OAK STREET	WOOD RIDGE NJ 07075
319-58-36	ANDREW APARTMENTS LLC C/O A FRANK	48 SUMMERS AVENUE	WEST LONG BRANCH NJ 07784
319-58-3.01	ELBERT PETER & BERNADETTE	50 MILLER STREET	HIGHLANDS NJ 07732
319-57-18.01	CALDAS MARK	20 4TH STREET	HIGHLANDS NJ 07732
319-58-24	PAK DAVID & GOODMAN VICTORIA	11 FOURTH STREET	HIGHLANDS NJ 07732
319-58-10	MOLLA ERICK	15 FOURTH STREET	HIGHLANDS NJ 07732
319-58-11	MINERVA VICTOR & BETH	17 FOURTH STREET	HIGHLANDS NJ 07732
319-54-9.011	SMITH SIMON	34 NORTH STREET	HIGHLANDS NJ 07732
319-54-9.012	SEPE CARUT MARIA GRACE	45 MILLER STREET	HIGHLANDS NJ 07732
319-54-15	SHANDON ENTERPRISES LLC	300 BAY AVENUE	HIGHLANDS NJ 07732
319-57-15	SCHIRO JOSEPH & PETRUCCI MARIA A	200 BRIGHTON STREET	STATEN ISLAND NY 10307
319-54-13	KERWICK THOMAS & LAURA	24 BROOKLAKE ROAD	FLORHAM PARK NJ 07932
319-58-12	FISHER GARY & ELLEN	96 CLIFFEDGE WAY	RED BANK NJ 07701
319-58-6.01	TOMMILLER LLC	40 MILLER ST	HIGHLANDS NJ 07732
JCRB	300 Madison Avenue PO Box 1911 Morristown, NJ 07960		
NEW JERSEY NATURAL GAS COMPANY	Attn: Jean Puccio PO Box 1464 1415 Wyckoff Road Wall, NJ 07719		
VERIZON COMMUNICATIONS	One Verizon Way Basking Ridge, NJ 07920		
NEW JERSEY AMERICAN WATER COMPANY	Attn: Construction Department 661 Shrewsbury Ave Shrewsbury, NJ 07702		
MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY	Attn: Executive Director 200 Harbor Way PO Box 184 Belford, NJ 07718		
CONCAT COMMUNICATIONS OF MONMOUTH COUNTY	Bob Betts, Construction Foreman 403 South St Eatontown, NJ 07724		



TAX MAP
SCALE: 1"=150'
TAX MAP INFORMATION TAKEN FROM "TAX MAP" BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY SHEET NUMBER #13

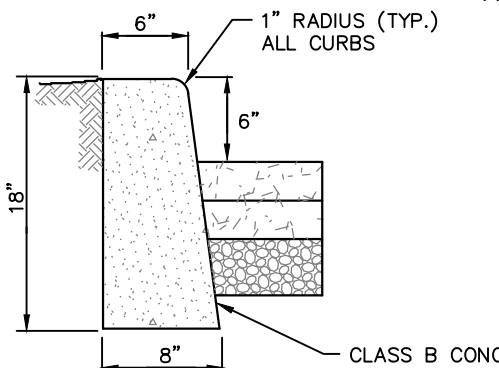
ZONE R-2.02 REQUIREMENTS		
	REQUIRED	EXISTING
MIN. LOT AREA	4,000 S.F.	4,920 S.F.
MIN. LOT DEPTH	75 FT.	70.75 FT.
MIN. LOT FRONTAGE/WIDTH		
FOURTH STREET	50 FT.	80 FT.
MILLER STREET	50 FT.	61.50 FT.
MIN. FRONT SETBACK:		
FOURTH STREET	20 FT.	1.1 FT.*
MILLER STREET	20 FT.	3.3 FT.*
MASONRY WALL	20 FT.	-
MIN. SIDE SETBACK	68 FT.	7,329.8 FT.
FOURTH STREET	2 FT.	20 FT.
MILLER STREET	6 FT.	24 FT.
MAX. BUILDING COVERAGE	33%	-
MAX. LOT COVERAGE	75%	-
MIN. DECK/STAIRS SETBACK	3	-
BUILDING HEIGHT***	32.5 FT.	24.5 FT.
ON-SITE PARKING	3	2

* - VARIANCE REQUIRED
** - PER § WHERE A DWELLING IS CONSTRUCTED OR RECONSTRUCTED TO PROVIDE THE REQUIRED PARKING UNDER THE STRUCTURE, THE MAXIMUM BUILDING HEIGHT SHALL BE INCREASED BY TWO AND ONE-HALF (2 1/2) FEET.
N.C. - NO CHANGE

BUILDING COVERAGE		
DESCRIPTION	EXISTING	PROPOSED
DWELLING	2,032 S.F.	N.C.
BUILDING/LOT COVERAGE	2,032 S.F.	N.C.
LOT AREA		4,920 S.F.
TOTAL BUILDING	41.3%	N.C.
LOT COVERAGE		

LOT COVERAGE		
DESCRIPTION	EXISTING	PROPOSED
BUILDING COVERAGE	2,032 S.F.	N.C.
CONCRETE	236 S.F.	N.C.
CURB	443 S.F.	37 S.F.
ELEV. CONC. DECK	443 S.F.	55.9%
IMPERVIOUS LOT COVERAGE	2,711 S.F.	2,748 S.F.
LOT AREA		4,920 S.F.
TOTAL IMPERVIOUS	55.1%	55.9%
LOT COVERAGE		

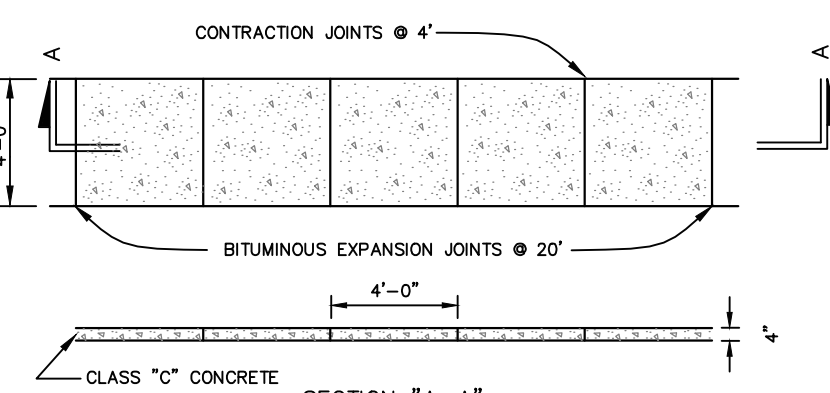
PARKING CRITERIA:
REQUIRED: 1.5 SPACES/UNIT FOR TWO-BEDROOM UNIT
2 UNITS X 1.5 SPACES = 3.0 SPACES REQUIRED
PROVIDED: 2 GARAGE SPACES/UNIT + 4 SPACES TOTAL - COMPLIES



NOTES:

- EXPANSION JOINTS SHALL BE CONSTRUCTED 20' ON CENTER, AND CONTRACTION JOINTS SHALL BE CONSTRUCTED 10' ON CENTER.
- TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS IMPREGNATED FIBER FILLER, COMPLYING WITH ALL OF THE REQUIREMENTS OF AASHTO SPEC. M 213, RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB. ALL JOINTS TO BE FULL DEPTH OF 18".

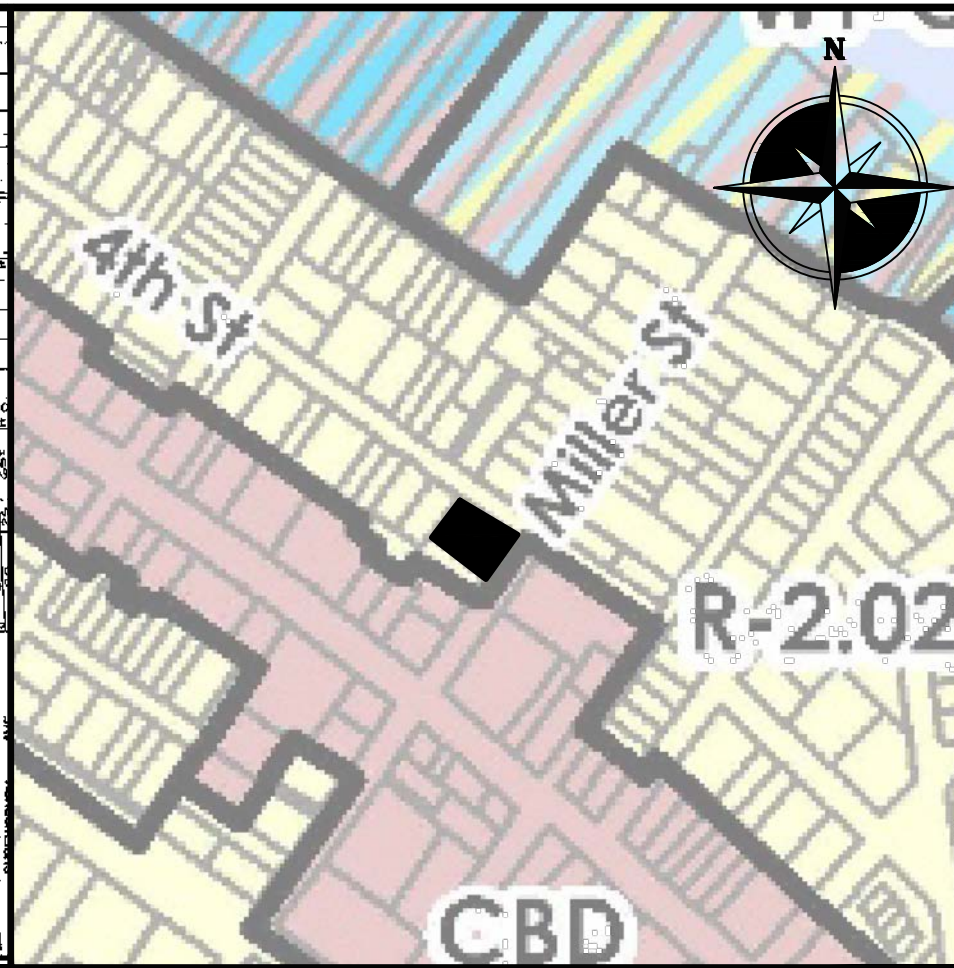
CONCRETE CURB DETAIL



PROPOSED STONE DRIVEWAY SECTION

SIDEWALK NOTES:
1. A PREFORMED, BITUMINOUS EXPANSION JOINT 1/2" THICK, 4" WIDE, AND EXTENDING THE FULL WIDTH OF THE WALK, UNBROKEN, SHALL BE INSTALLED EVERY 20 FEET.
CONTRACTION JOINTS SHALL BE INSTALLED EVERY 4 FEET THE FULL WALK WIDTH.
2. THERE SHALL BE A FLOAT FINISH WITH THE EDGES FINISHED WITH A SUITABLE TOOL.
N.T.S. - NOT TO SCALE

SIDEWALK DETAIL



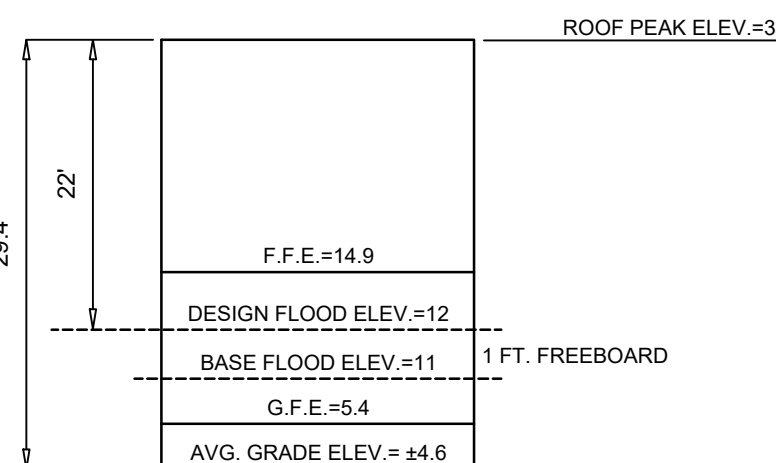
ZONING MAP
N.T.S.

VARIANCES REQUIRED:

- REQUIRED: FRONT YARD SETBACK (FOURTH STREET) = 20 FT. EXISTING & PROPOSED: FRONT YARD SETBACK (FOURTH STREET) = 0.9 FT.
- REQUIRED: FRONT YARD SETBACK (MILLER STREET) = 3.6 FT. EXISTING & PROPOSED: FRONT YARD SETBACK (MILLER STREET) = 0.9 FT.
- REQUIRED: FRONT YARD SETBACK (MILLER STREET RET. WALL) = 20 FT. EXISTING & PROPOSED: FRONT YARD SETBACK (MILLER STREET RET.) = -0.9 FT.
- REQUIRED: FRONT YARD SETBACK STEPS/LANDING (FOURTH ST) = 3 FT. EXIST. & PROPOSED: FRONT SETBACK STEPS/LANDING (FOURTH STREET) = 0.8 FT.
- REQUIRED: MAXIMUM BUILDING COVERAGE IS 33% EXISTING & PROPOSED: BUILDING COVERAGE IS 41.3%
- REQUIRED: TWO-FAMILY DWELLINGS ARE NOT PERMITTED IN THE R-2.02 ZONE. EXISTING & PROPOSED: TWO-FAMILY DWELLING IN THE R-2.02 ZONE

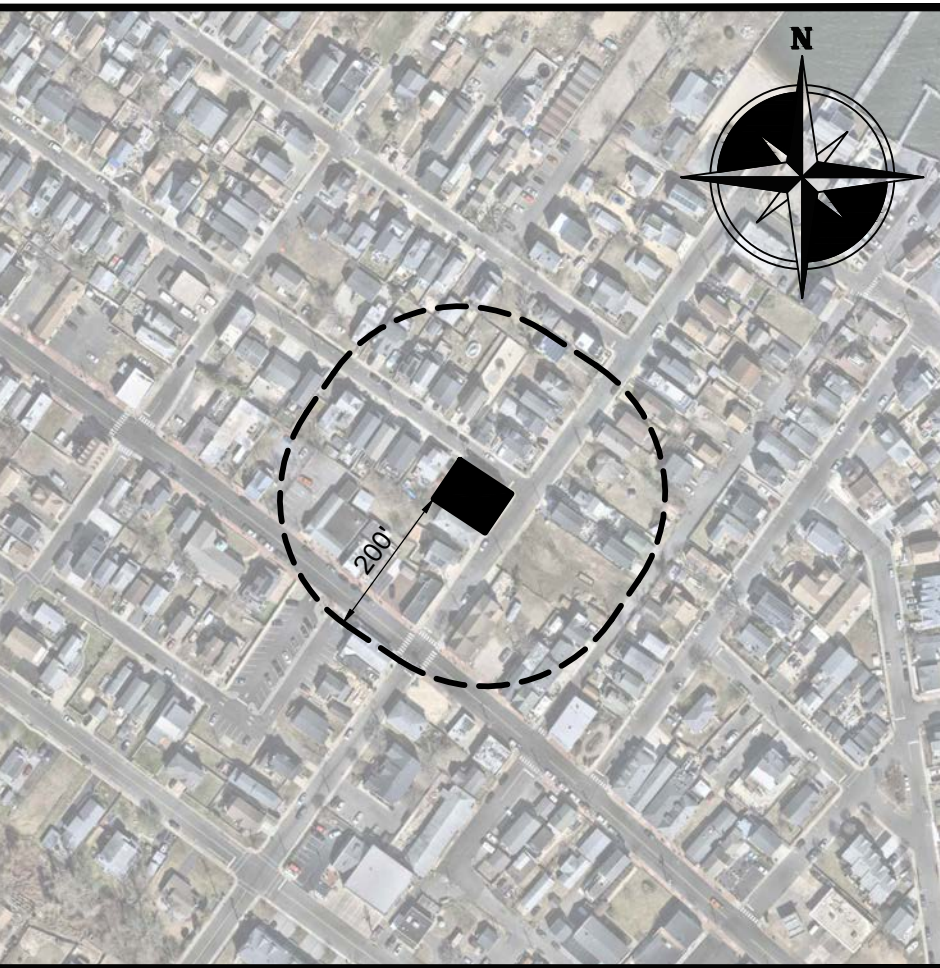
SUBMISSION WAIVERS REQUESTED:

- THE LOCATION OF ALL EXISTING WATERCOURSES, WOODED AREAS, EASEMENTS, RIGHTS-OF-WAY, STREETS, ROADS, HIGHWAYS, RIVERS, BUILDINGS, STRUCTURES AND ANY OTHER FEATURE ON THE PROPERTY AND WITHIN SEVENTY-FIVE (75) FEET OF THE PROPERTY LINE.
PROVIDED: LOCATION OF ALL RIGHTS-OF-WAY, STREETS, BUILDINGS AND OTHER FEATURES ON THE SUBJECT SITE AND IN THE RIGHT-OF-WAY ALONG THE FRONTAGE OF THE PROPERTY.
- LOCATION OF ALL STRUCTURES WITHIN SEVENTY-FIVE (75) FEET OF THE PROPERTY.
PROVIDED: LOCATION OF ALL STRUCTURES ON THE SUBJECT SITE AND THE LOCATION OF THE NORTHEASTERN WALL/BUILDING CORNERS OF THE DWELLING ON THE ADJACENT LOT (LOT 5.01) AND SOUTHWESTERLY BUILDING CORNER AND DRIVEWAY OF ADJACENT LOT 8.
- STORMWATER MANAGEMENT AND SANITARY SEWER REPORTS, INCLUDING PROPOSED STORM DRAINAGE AND SANITARY DISPOSAL FACILITIES, SPECIFICALLY, THE LOCATION, TYPE AND SIZE OF ALL EXISTING AND PROPOSED CATCH BASINS, STORM DRAINAGE FACILITIES, UTILITIES, PLUS ALL REQUIRED DESIGN DATA SUPPORTING THE ADEQUACY OF THE EXISTING OR PROPOSED FACILITIES TO HANDLE FUTURE STORM FLOWS.
PROVIDED: NONE.
- EXISTING AND PROPOSED CONTOURS OF THE PROPERTY AND FOR SEVENTY-FIVE (75) FEET OUTSIDE THE PROPERTY AT ONE (1) FOOT INTERVALS WHEN NEW BUILDINGS OR PARKING ARE PROPOSED. SPOT ELEVATIONS FOR ANY DEVELOPMENT IN A FLOOD HAZARD AREA.
PROVIDED: EXISTING CONTOURS AND SPOT ELEVATIONS ON THE SUBJECT SITE.



BUILDING HEIGHT DETAIL

N.T.S.



KEY MAP
N.T.S.

GENERAL NOTES:

- THIS MAP IS NOT A SURVEY.
- THE PURPOSE OF THIS MAP IS FOR OBTAINING A USE VARIANCE FROM THE BOROUGH OF HIGHLANDS FOR THE CONSTRUCTION OF A TWO-FAMILY DWELLING WITH APPROPRIATE SITE IMPROVEMENTS.
- PROPOSED DWELLING:
LOWER LEVEL - GARAGE/STORAGE/ELEVATOR
1ST STORY - LIVING SPACE/OPEN DECK
2ND STORY - LIVING SPACE
3RD STORY - ATTIC/OPEN DECK
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM A CERTAIN PLAN ENTITLED "TOPOGRAPHIC SURVEY, LOT NO. 7.01, BLOCK NO. 58, BOROUGH OF HIGHLANDS, COUNTY OF MONMOUTH, NEW JERSEY," PREPARED BY MORGAN ENGINEERING & SURVEYING, LLC, DATED 4/9/25, LAST REVISED 8/29/25.
- AN UPDATED BOUNDARY AND TOPOGRAPHIC SURVEY HAS BEEN PROVIDED TO LOCATED THE EXISTING DWELLING AND DRIVEWAY ON ADJACENT LOT 8.
- PER THE STATE OF NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF GIS/WEBSITE INTERACTIVE MAPPING APPLICATION, WETLANDS DO NOT APPEAR TO EXIST ON THE SUBJECT PROPERTY.
- PROPERTY IS LOCATED IN FLOOD ZONE AE ELEV. 11 AS SHOWN ON CURRENT FIRM MAP #34025C0088H, DATED 6/15/2022.
- PROPERTY IS LOCATED IN FLOOD ZONE AE ELEV. 11 AS SHOWN ON PRELIMINARY FIRM MAP #34025C0088J, DATED 1/31/2014.
- NO NEW SEWER & WATER OR GAS CONNECTIONS ARE REQUIRED FOR THE PROPOSED DWELLING. EXISTING SEWER AND WATER LATERALS TO BE UTILIZED.
- EXISTING UTILITIES TO BE MARKED OUT PRIOR TO THE START OF CONSTRUCTION.
- ALL ELEVATIONS ARE IN NAVD 1988 DATUM THROUGH GPS OBSERVATIONS USING LEICA RTK GPS NETWORK.
- THIS PROPERTY IS LOCATED WITHIN THE R-2.02 (SINGLE FAMILY RESIDENTIAL) ZONE.
- TWO-FAMILY DWELLINGS ARE NOT PERMITTED IN THE R-2.02 SINGLE FAMILY RESIDENTIAL DISTRICT.
- MORGAN ENGINEERING HAS NOT EVALUATED THE SUBSURFACE SOIL CONDITIONS TO ASCERTAIN THE DEPTH TO GROUNDWATER OR THE SEASONAL HIGH WATER TABLE WITHIN THE FOOTPRINT OF THE DWELLING. THE HOMEOWNER, OR THEIR REPRESENTATIVE, SHALL COORDINATE WITH A QUALIFIED PROFESSIONAL TO ENSURE THE CONSTRUCTION COMPLIES WITH THE NEW JERSEY BUILDING CODE WITH RESPECT TO SEPARATION TO THE SEASONAL HIGH WATER TABLE. SHOULD THIS TESTING PRODUCE RESULTS IN CONFLICT WITH THE PROPOSED DESIGN, THE UNDERSIGNED PROFESSIONAL SHOULD BE NOTIFIED IMMEDIATELY.
- LIMIT OF DISTURBANCE = 1,500 S.F. / 0.034 AC.
- APPLICANT IS RESPONSIBLE FOR ANY DAMAGE TO ANY EXISTING CURB, SIDEWALK, ROADWAY AND OTHER OFF-SITE OBJECTS MADE DURING CONSTRUCTION AND MUST BE REPAIRED AND/OR REPLACED TO THE SATISFACTION OF THE BOROUGH ENGINEER AND COSTS PAID BY THE APPLICANT.
- ALL ROOF LEADERS ARE TO BE DIRECTED TOWARD FOURTH STREET AND MILLER STREET. NO RUNOFF FROM THE ROOF LEADERS SHALL DISCHARGE TO ADJACENT PROPERTY.
- MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS SHOULD BE ABOVE LOCAL DESIGN FLOOD ELEVATION (LDFL).

BUILDING HEIGHT CALCULATION EXHIBIT

SCALE: 1"=40'

APPLICATION NO. 25-10 APPROVED/DISAPPROVED BY THE HIGHLANDS BOROUGH PLANNING BOARD/BOARD OF ADJUSTMENT.

CHAIRMAN		DATE	
SECRETARY		DATE	
APP #25-10			
REV	DATE	DESCRIPTION	L.S.
1	9/19/25	REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25	

PREPARED FOR: SOLAR POWERED 44, LLC

CERTIFICATE OF AUTHORIZATION: 24GA28228900

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DONNA M. BULLOCK
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE No. 41931

MINOR SITE PLAN
W/ 'D' VARIANCE
44 MILLER STREET
LOT 7.01 BLOCK 58
BOROUGH OF HIGHLANDS
COUNTY OF MONMOUTH NEW JERSEY

Scale: 1"=10' Drawn By: L.S. Date: 5/7/25 JOB #: E25-00271 CAD File #: VARIANCE PLAN Sheet #: 1 OF 1