

PROJECT NOTES

All notes below apply to this project except those sections marked with an "X": ☒

GENERAL NOTES

CODES & STANDARDS: All work shall conform with the requirements of the N.J.A.C. 17:27, 2018 NJ Edition, National Electric Code, National Plumbing Code, NFPA recommendations, ASHRAE, and all local codes and ordinances applicable to this project. Construction documents are in compliance with ASCE 24.

CLARIFICATIONS: Prior to submitting a bid, the contractor shall become familiar with the project by careful inspection of the site and construction documents. Should any error, omission, ambiguity or discrepancy exist on the drawings which the contractor might reasonably be expected to detect, the same shall be brought to the attention of the Architect for correction or clarification prior to proceeding with the work involved. Any work that proceeds otherwise shall, if incorrectly performed, be replaced or repaired at no additional cost.

DIMENSIONS: The Contractor shall not scale off the drawings; written dimensions shall govern. Dimensions given are nominal unless indicated otherwise. All dimensions and conditions shall be verified in the field by the Contractor and any discrepancy brought to the attention of the Architect. Where a door or window is shown near a corner and no dimension is given, offset the opening enough to accommodate the full width of trim, minimum 4". Where elements are shown centered in a space or opening, they shall be centered when installed. All corridors, stairs and clearance between counters and other built-in shall be 36" minimum. All closets, unless noted otherwise, shall be 24" deep.

QUALITY: All work shall be performed in a workman-like manner. Match and align all surfaces where applicable to afford a finished, neat appearance. All existing surfaces and equipment shall be protected and any damage to such caused by the work shall be patched/repaid such that they are left as they were before the commencement of the work. Contractor shall clean all dirt and refuse caused by the work.

INTERFERENCE: All work that is either implied or reasonably inferable from the contract documents shall be the responsibility of the contractor and a reference to any work by mention, note, detail or implication indicates the contractor shall perform a complete installation of such work. All equipment, fixtures and other devices shall be fully installed and shall be made fully operational and warranted when the job is complete.

SAFETY: Take full precaution to protect workers, passersby and adjacent property from any hazards caused by the work. Provide all fences, barricades and security as may be required to protect life and property. The Contractor shall protect all construction and materials from weather, vandalism, and theft. The Contractor shall be solely responsible for all property and personal damage or injury resulting from the conduct of the work and shall indemnify and save the Owner and the Architect harmless from all claims for loss of or damage to property or personal injury or death of any and all persons arising out of the work of this Contract.

COORDINATION: The Contractor shall be responsible for the coordination of the work of all subcontractors. The Contractor shall be responsible for the coordination of the work of this contract with the work of any other contractors hired separately by the Owner.

MATERIALS: products and equipment shall be new, standard, and of good quality, and all workmen and subcontractors shall be skilled in their trades. All products shall be installed in accordance with the manufacturers' written directions and/or recommendations.

PERMITS: The Contractor shall obtain and pay for all permits, fees, bonds and inspections. The Contractor shall make all arrangements for inspections. The Contractor shall file all required certificates of insurance.

CLEAN-UP: At the completion of the project the Contractors shall remove all rubbish from the site and leave the building broom clean.

DEMOLITION NOTES

STRUCTURAL INTEGRITY: The Contractor shall determine the direction of framing before removing any walls. If a wall is determined to be bearing and new structural support is not indicated on the drawings, notify Architect for additional design. Where structural support is to be removed, temporary shoring/bracing or new structural elements shall be added such that the structural stability and integrity of the building is maintained at all times.

ORDER: All demolition work shall be done carefully, neatly and in a systematic manner. Debris shall be removed regularly as the job proceeds such that it does not accumulate on the site.

UTILITIES: Remove or relocate all wiring, plumbing, ductwork and mechanical equipment affected by the demolition. Pipes to be removed shall be cut to a point of concealment behind or below finished surfaces and shall be properly capped or plugged.

WEATHER: The contractor shall provide adequate weather protection for the building and its contents during the course of the work. All openings in walls and roof shall be protected from all forms of water or weather penetration.

CONSTRUCTION NOTES

MATERIAL SELECTION: Unless noted otherwise, all new finishes, doors, hardware, trim, siding, roofing, insulation, wallboard and all other exposed installations shall meet the following: The Contractor shall verify all material selections with the Owner in advance of material procurement and installation, provide samples for approval of color, texture, shape, etc.

SYSTEMS: It shall be the responsibility of the contractor to hire qualified individuals to assess the existing building system and to design and install all modifications/approves to the electrical, plumbing, mechanical and fire protection systems. The heating system shall be capable of maintaining inside temperature of 75 degrees F when the outdoor temperature is 0 degrees F and the wind velocity is 15 mph. The cooling system shall be capable of maintaining 78 degrees F when the outdoor temp. is 92 degrees F. All piping shall be protected from freezing. The Contractor shall coordinate with the Owner the quantity relocate all existing meters, service connections, hose bibs, and other utility features to be affected by the work.

CENTERING: Unless noted otherwise, all beams/girders/headers shall be centered on the posts/columns which support them, and all posts/columns shall be centered on their footings.

VENTILATION: All attic spaces shall be ventilated by louvers and/or vents as required with a total clear opening of not less than one-third of one percent of the horizontally projected roof area. All crawl spaces shall be vented whereby the minimum net area of ventilation openings shall not be less than 1 square foot for each 150 s.f. of crawl space area. One vent shall be within 3 feet of each corner of the building.

ROOF DRAINAGE: Connect all leaders to existing underground storm water system. If no system exists, install new system to conduct storm water to a point 15' minimum from building.

ROOFING: All roofing materials shall be provided by a single roofing manufacturer. All penetrations through roof and interruptions of roof shall be flashed and counterflashed. Asphalt shingle roofing shall be min. 235 lb per square with a U.L. Class A fire rating and shall be self sealing. Provide 35 year manufacturer's warranty on roofing and underlayment. Install Ice and Water Shield at all valleys, eaves & at roof edges 2' inward from face of wall below.

WALL OPENINGS: All windows, doors and other wall penetrations shall be flashed and sealed as recommended by manufacturer.

STEEL COLUMNS: All new steel columns and all existing steel columns in work area shall be painted with a zinc rich rust inhibitive paint.

GYPSON BOARD: All exposed gypsum board surfaces shall be taped, spackled, sanded, primed and painted two coats minimum.

FLOORING: Contractor shall install new floor finish to all new floor areas. Where not indicated on drawings verify type and quality level with Owner.

CLOSETS: All closets shall be provided with a wood rod and a wood shelf.

FOUNDATION NOTES

DEPTH: Bottom of all footings shall be minimum of 3'-0" below finished grade. If footings are stepped, the top of the footing shall slope not more than one foot vertical to two feet horizontal. Footings shall be formed to their full depth.

SOIL: All footing design is based on a presumptive soil bearing capacity of 2000 PSF, minimum. If conditions encountered under all or part of the footings do not allow such bearing capacity, notify Architect for redesign. Footing shall be on undisturbed virgin soil, free of frost. If required, provide stone or concrete fill under the supervision of a N.J. Registered Geotechnical Engineer.

BACKFILLING: Do all interior and exterior backfilling simultaneously. Backfilling against foundation walls shall not be performed until floors or roof they support have been completely installed.

FILL SOLID: with concrete all block cells below grade. Also fill solid all cells where anchors occur, and entire top course.

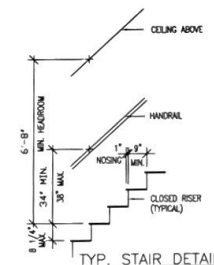
HORIZONTAL JOINT REINFORCING ("bar-o-wall") shall be provided for full thickness of walls as follows: at 16" o/c vertical spacing (every other block course); and provide at every course from top of footing to top of slab or grade level, whichever is higher, and provide at every course for two courses above and below all masonry wall openings, extending 3'-0" beyond opening in each direction, and provide at every course for 3'-0" in each direction of all corners.

WETLANDS: NO X

11. MAX. LIVE LOAD 55 PSF
12. MAX. OCCUPANCY LOAD 49 PERSONS
13. USE GROUP RESIDENTIAL

14. WIND SPEED (PER ICC MAPS & ASCE 7) 120 MPH W/UP-LIFT RATING
15. EXPOSURE CATEGORY "B" IN COMPLIANCE WITH ASCE 7
16. SNOW LOAD (PER IBC/ASCE 702) 30 PSF

SITE PLAN



TYP. STAIR DETAIL

SEE PREVIOUSLY
APPROVED ZONING SET
AND APPROVAL PERMIT

Reconstruction of Structure on Existing Footprint

for Landgrebe

44 Miller Street
Highlands, NJ

Lot# 7.01 Block# 58

MIDDLETOWN TOWNSHIP
BUILDING DEPARTMENT

PLANS REVIEWED

Building *1/13/21 JDS*
Planning
Electrical
Fire Protection

Glenn C. K. MD

GENERAL CONSTRUCTION NOTES:

VERIFY CONSTRUCTION DIMENSIONS ON FLOOR PLANS. COORDINATE AS REQUIRED.
INSTALL 60 GPHAT ROOF (50 YEAR) WITH UNDERLAYMENTS AND GUTTERS THROUGHOUT.
DISCONNECT UTILITIES AND VERIFY RE-INSTALLATION/HOOK-UP REQUIREMENTS. CONTACT ARCHITECT FOR CONFIRMATION PRIOR TO LIFTING.

EXISTING ELECTRIC IN BASED PORTION OF HOUSE TO REMAIN. PROTECT.

NOTE: NO DEBRIS PLATFORM REQUIRED FOR A/C.

DRAWING LIST:

- A-1 TITLE/NOTES
- A-2 FOUNDATION PLAN, GARAGE DETAILS + NAILING SCHEDULE
- A-3 FIRST FLOOR PLAN + DECK DETAILS
- A-4 SECOND & THIRD FLOOR PLANS
- A-5 ELEVATIONS & WINDOW SCHEDULE
- A-6 ELEVATIONS + ROOF & SOLAR PLANS
- A-7 BLDG. SECTION + DETAILS
- A-8 BLDG. SECTION + DETAILS

BUILDING/SITE CHARACTERISTICS

- 1. NUMBER OF STORIES 2.5
- 2. HEIGHT OF STRUCTURE 32.5 FT (max) off 12' ASFL
- 3. AREA - LARGEST FLOOR 1,948 SQ. FT.
- 4. NEW BUILDING AREA 2,686 SQ. FT.
- 5. VOLUME OF NEW STRUCTURE 24,243 CU. FT.
- 6. CONSTRUCTION CLASSIFICATION VB
- 7. TOTAL LAND AREA DISTURBED SQ. FT.
- 8. FLOOD HAZARD ZONE AE-11
- 9. BASE FLOOD ELEVATION 110+1.0=12.0'
- 10. WETLANDS YES
- 11. MAX. LIVE LOAD 55 PSF
- 12. MAX. OCCUPANCY LOAD 49 PERSONS
- 13. USE GROUP RESIDENTIAL
- 14. WIND SPEED (PER ICC MAPS & ASCE 7) 120 MPH W/UP-LIFT RATING
- 15. EXPOSURE CATEGORY "B" IN COMPLIANCE WITH ASCE 7
- 16. SNOW LOAD (PER IBC/ASCE 702) 30 PSF

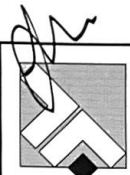
ISSUE DATE	COMMENTS	SEAL
APRIL 13, 2021	PRELIMINARY - FOR REVIEW ONLY	NJ LIC #11519
APRIL 30, 2021	FOR BUILDING PERMITS	
JUNE 21, 2021	REVISED - FOR BUILDING PERMITS	
Landgrebe - Highlands, NJ JAMES T. DALEY ARCHITECT + ASSOCIATES 273 FIRST STREET, KEYPORT, NJ 07735 phone 732-730-2684 fax 732-730-0837		DRAWING # A-1

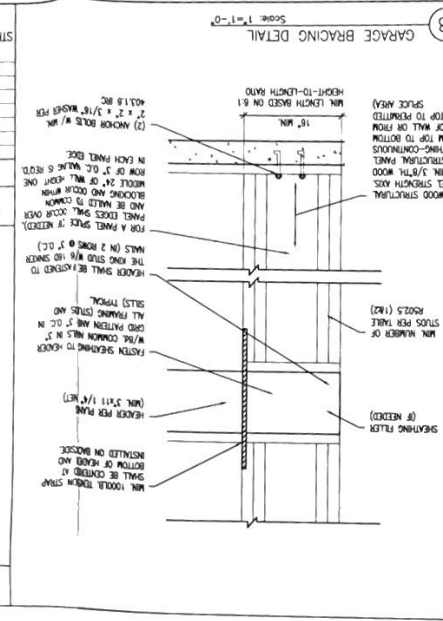
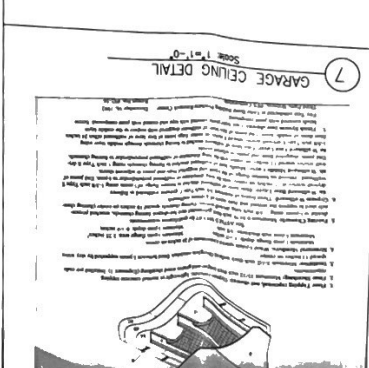
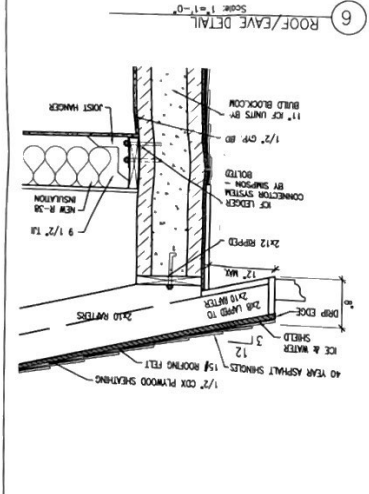
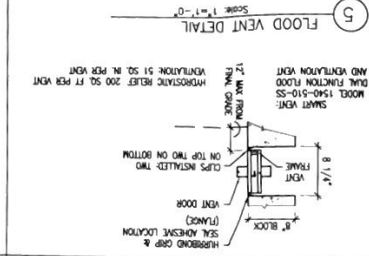
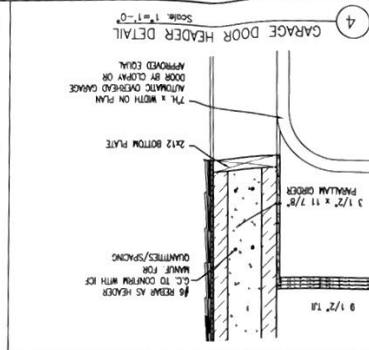
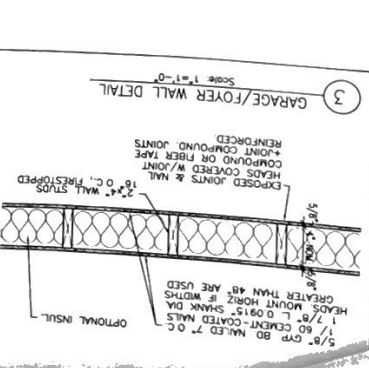
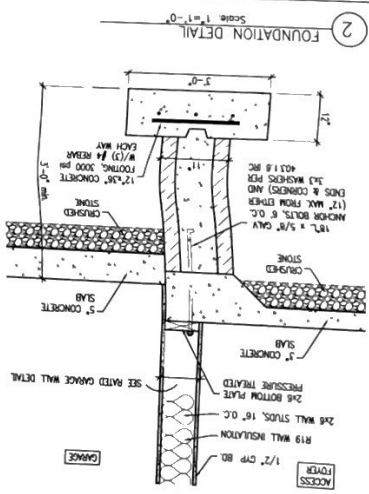
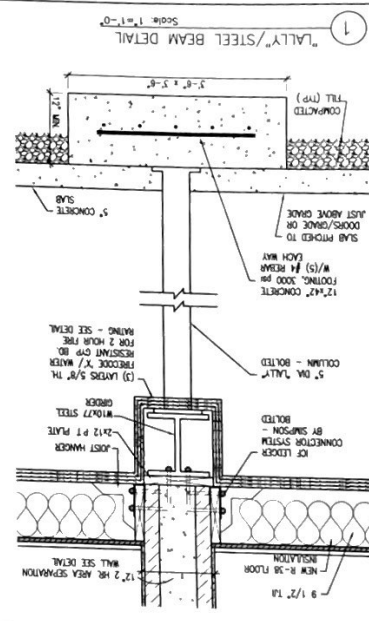
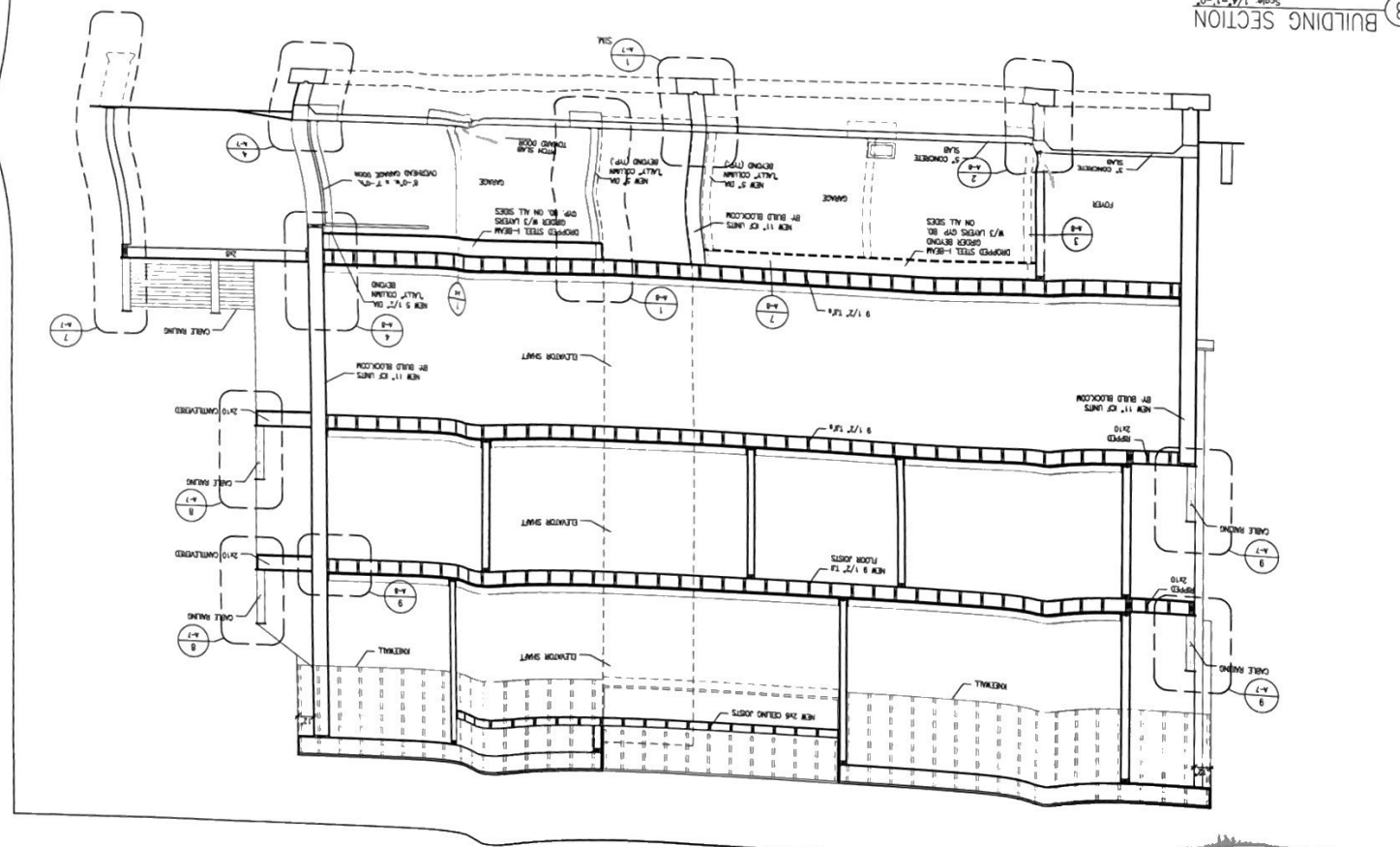
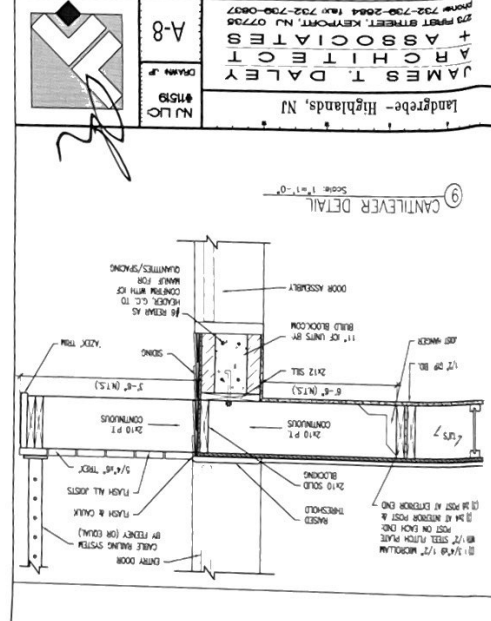


1. SUPPLY J-BOX W/ POWER FOR APPLIANCE AS PER WALL SPECIFICATIONS.
2. SUPPLY J-BOX W/ POWER FOR RANGE HOOD AS PER WALL SPECIFICATIONS.
3. CUSTOM MILLWORK CABINETRY, PROVIDE SHOP DRAWINGS PRIOR TO CONSTRUCTION
4. INSTALL NEW MARBLE SADDLE W/ BEVELED EDGES @ DOOR TRANSITION FROM WOOD FLOOR TO TILE FINISH
5. INSTALL RECESSED MEDICINE CABINET CENTERED ON SINK
6. 1000 CFM EXHAUST FAN
7. INSTALL 18" DEEP SHELF & CLOTHES ROD. PROVIDE COUNTER SUPPORT RODS IF LONGER THAN 5'.
8. 36" WIDE (C.C. TO VERIFY) WOOD STAIRS AND RAILING AS SHOWN.
9. CUSTOM BANQUETTE SEATING AS PER OWNER.
10. INSTALL SMOKE & CO DETECTORS AS REQUIRED BY CODE (TYPICAL)
11. MILLWORK SHELVING, REVENO WOOD FINISH & SPACING W/LEVER.



	SINGLE POLE SWITCH		INCANDESCENT CEILING-MOUNTED LIGHT FIXTURE
	THREE WAY SWITCH		INCANDESCENT WALL-MOUNTED LIGHT FIXTURE WET RATED FOR EXTERIOR INSTALLATIONS
	THREE WAY SWITCH		PENDIENT LIGHT FIXTURE
	DIMMER SWITCH		INCANDESCENT WALL SCONCE FIXTURE
	DOOR SWITCH		RECESSED CEILING FIXTURE
	250V, 30A RECEPTACLE, UNLESS NOTED OTHERWISE		INCANDESCENT WALL WASHER
	DUPLEX RECEPTACLE		UNDER CABINET LIGHT FIXTURE
	GROUND FAULT INTERRUPT DUPLEX RECEPTACLE		EXTERIOR FLOOD LIGHT
	QUAD RECEPTACLE		FAN / INCANDESCENT LIGHT FIXTURE COMBINATION
	WATERPROOF DUPLEX RECEPTACLE		DOWNSWEEP FAN - VENT TO EXTERIOR
	DUPLEX RECEPTACLE ON DEDICATED CIRCUIT		SMOKE DETECTOR / CARBON MONOXIDE DETECTOR TO BE HARDWIRED, INTERCONNECTED W/ BATTERY BACK-UP IN EACH UNIT.
	DUPLEX RECEPTACLE - FLOOR MOUNTED		
	TELEPHONE JACK		
	CABLE TV JACK		
	DOOR BELL		



[illegible]

Score: $1/4 = 1 - 0$



Solve: $1/4 = 1 - 0$



Scale: $1/8" = 1'-0"$



SOLAR PANEL PLAN

SOLAR PANEL PLAN



Scale: 1/8" = 1'-0"

ELEVATION KEY NOTES:

[illegible]

Landgrebe-Highlands, NJ

JAMES T. DALEY
ARCHITECT
+ ASSOCIATES
- FIRST STREET, KEYPORT, NJ 07738

A-5

DRANK J

DRANK J

