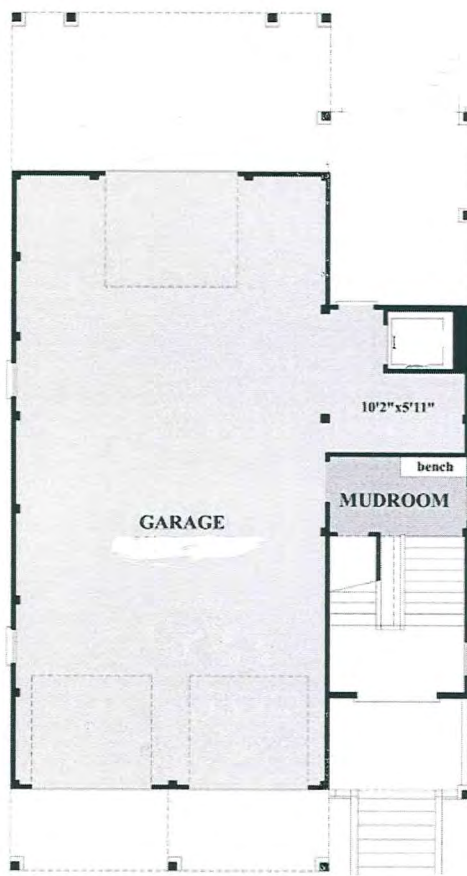
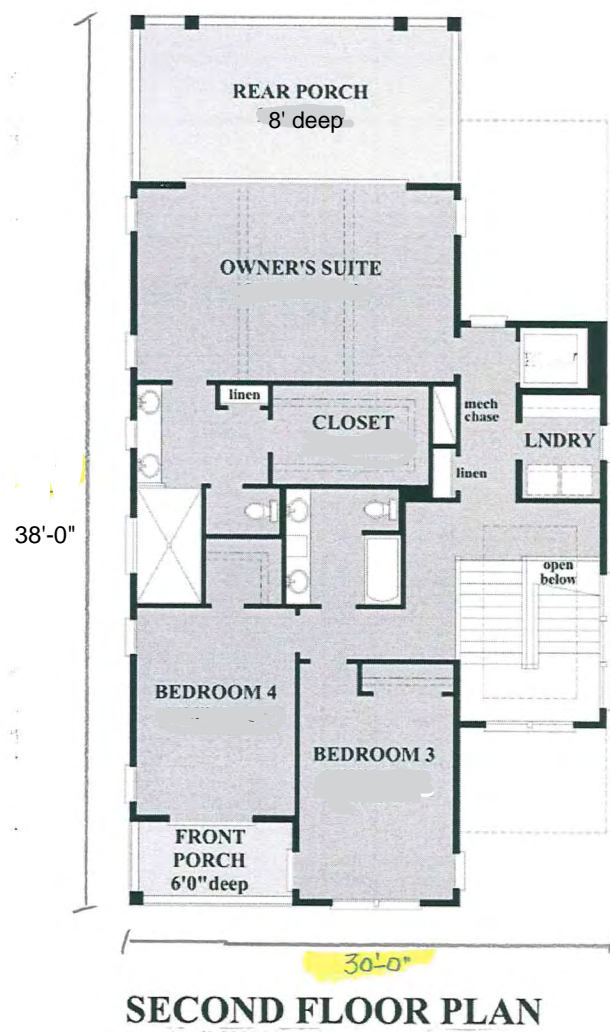
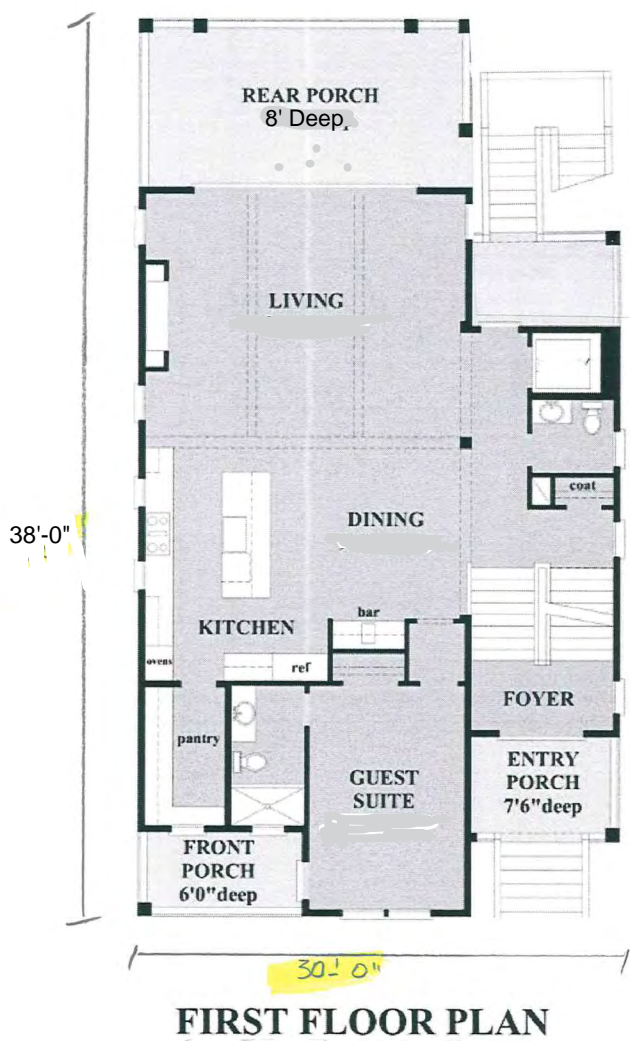


MINOR SUBDIVISION PLAN
 OF
 LOTS 8 - 9 BLOCK 57
 BOROUGH OF HIGHLANDS
 MONMOUTH COUNTY, NJ



CERT. OF AUTH. NO. 24GA28117300
 257 MONMOUTH ROAD, BLDG. A, STE. 7, OAKHURST, NJ 07755
 PHONE - 732-223-1313

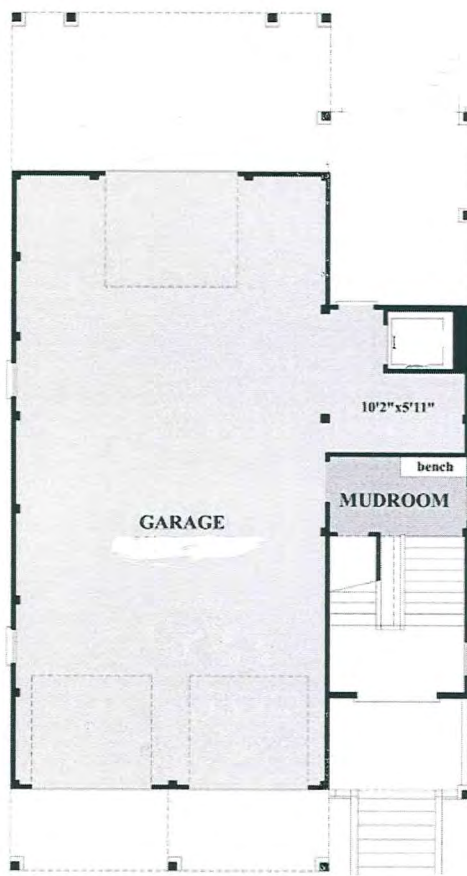
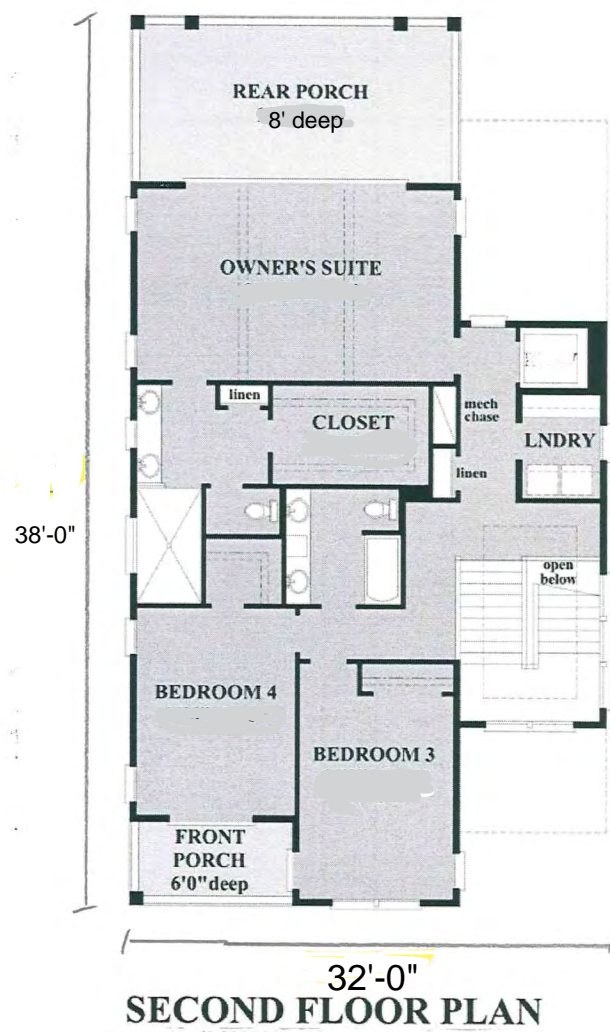
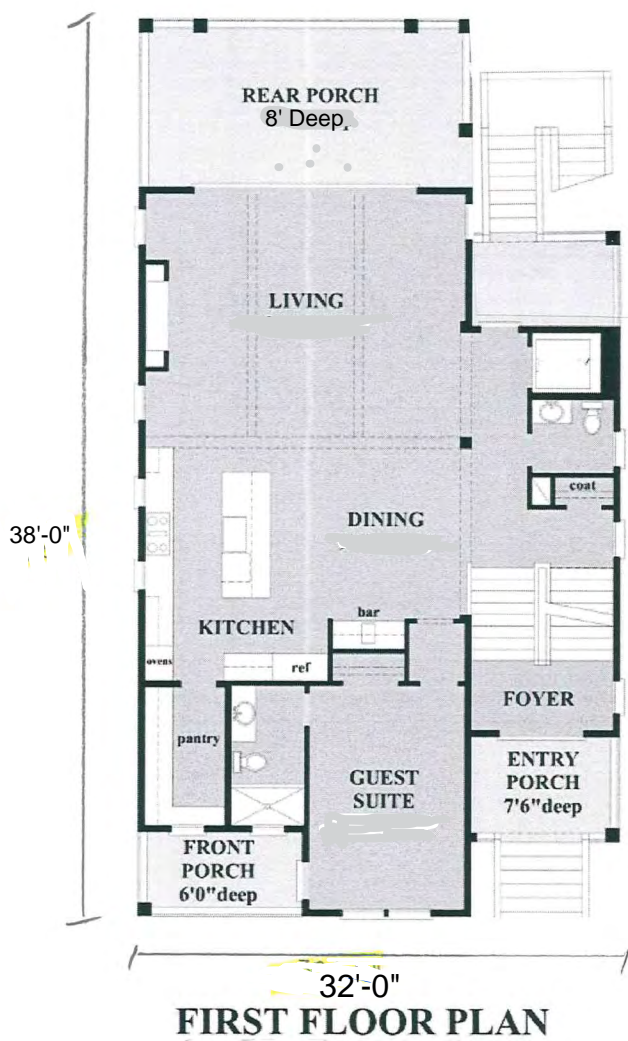
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Kirsh Kraft, LLC
Nine 5th Street
Borough of Highlands

Block 57, Lots 8 & 9
Minor Subdivision
Proposed Two Story 30'-0" x 38'-0"

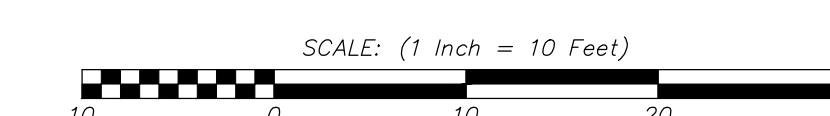
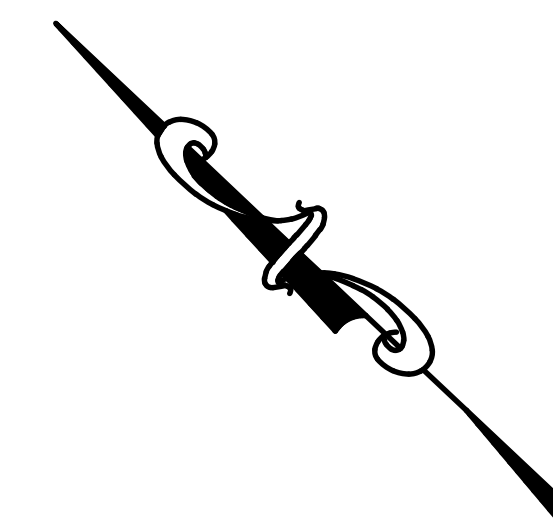
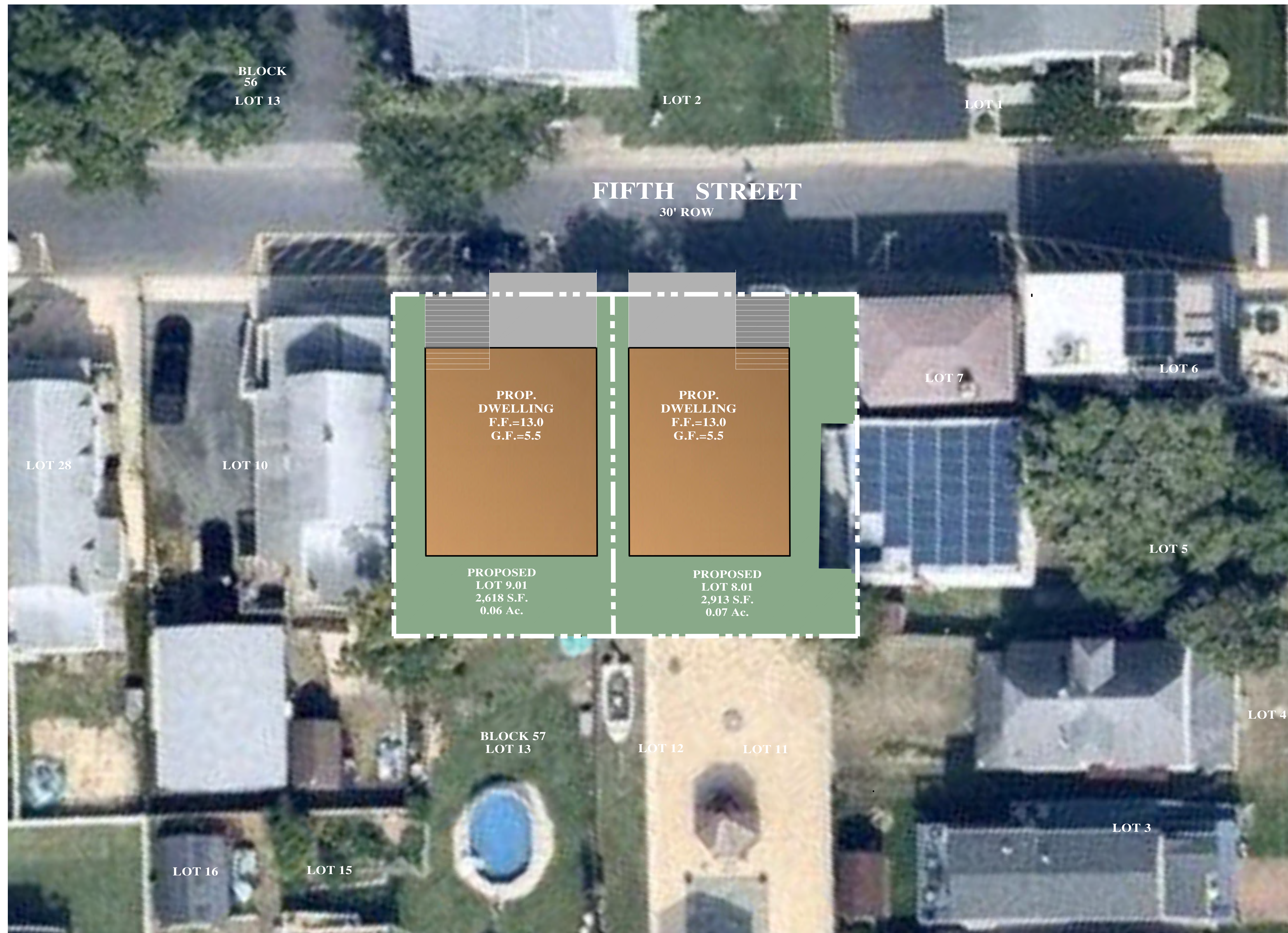
GROUND FLOOR PLAN



Kirsh Kraft, LLC
Nine 5th Street
Borough of Highlands

Block 57, Lots 8 & 9
Minor Subdivision
Proposed Two Story: 32'-0" - 38'-0"

GROUND FLOOR PLAN



MINOR SUBDIVISION PLAN
 OF
 LOTS 8 - 9 BLOCK 57
 BOROUGH OF HIGHLANDS
 MONMOUTH COUNTY, NJ



CERT. OF AUTH. NO. 24GA28117300
 257 MONMOUTH ROAD, BLDG. A, STE. 7, OAKHURST, NJ 07755
 PHONE - 732.223-1313

DRAWN BY: JFB DATE: 1/29/24 JOB NO.: 23203 SHEET NO.: 1 OF 1

200' ADJOINING OWNERS

Block/Lot	Current Owner	Mailing Address	Highlands NJ	07732
3139-56-8	GOOD NEIGHBORS LLC	29 SUREBURY AVENUE	HIGHLANDS NJ	07732
3139-56-11	BOROUGH OF HIGHLANDS	1000 29TH STREET APT 38	HIGHLANDS NJ	07732
3139-56-14	STELIOS H & PETROPOLIS VANDOPOLIS	171 8TH AVE	HIGHLANDS NJ	07732
3139-57-21	BOROUGH OF HIGHLANDS	PO BOX 3087	HIGHLANDS NJ	07732
3139-57-21-02	FRENCHY BUILDERS LLC	27 MILLER STREET	HIGHLANDS NJ	07732
3139-56-4	KEELY THOMAS & LAMARCO LEONARD	10 DOWN STREET	HIGHLANDS NJ	07732
3139-56-15	DIANA TEO & RENAMAMATI	23 MILLER STREET	HIGHLANDS NJ	07732
3139-56-7	JIMENEZ BETTY J	3 PRIVATE ROAD	HIGHLANDS NJ	07732
3139-57-24	CLYDE MAW	48 HOLLYWOOD ROAD	HIGHLANDS NJ	07732
3139-57-20-01	ROSE MICHAEL	20 MILLER STREET	HIGHLANDS NJ	07732
3139-57-21-01	LEONARDY MICHAEL & ANTONIOWA SANDRA	27 VALLEY STREET	HIGHLANDS NJ	07732
3139-57-15	DAVID GUERRA & JORGE	23 FIFTH STREET	HIGHLANDS NJ	07732
3139-57-27	PROVINCIO OLEG	21 FIFTH STREET	HIGHLANDS NJ	07732
3139-57-13	ROSEMARY SUGANNE	9 FOURTH STREET	HIGHLANDS NJ	07732
3139-58-8	MCKELLER BARRY & LINDA	14 MILLER STREET	HIGHLANDS NJ	07732
3139-56-13	CARVALHO MANUEL & MARINA	14 MILLER STREET	HIGHLANDS NJ	07732
3139-56-12	BERGOLD RICHARD	221 MAYTOWN AVE	HIGHLANDS NJ	07732
3139-56-1	WELLS & CONNOR DOUGLAS JR	24 MILLER STREET	HIGHLANDS NJ	07732
3139-56-3	CARD ILC	24 MILLER STREET	HIGHLANDS NJ	07732
3139-54-20-01	HIGGINS PHOENIX	411 CENTRAL PARK WEST	NEW YORK NY	10025
3139-54-21-01	LANCANGUAY FRANK & MARIA	21 MILLER STREET	HIGHLANDS NJ	07732
3139-56-19	WAGNER MICHAEL S	29 MILLER STREET	HIGHLANDS NJ	07732
3139-56-17	STAMILLER LLC	117 BERDMAN STREET #10	NEW YORK NY	10008
3139-56-22	IAN KROVNER MARK	122 STATION PLACE	HIGHLANDS NJ	07732
3139-57-28	HARTIGOVY BARBARA & HEATHER	14 FOURTH STREET	HIGHLANDS NJ	07732
3139-57-13	GAZZA RICHARD & WILLIAM	16 4TH STREET	HIGHLANDS NJ	07732
3139-57-15	HARTIGOVY RICHARD S H B	100 MANHATTAN AVE A-1009	HIGHLANDS NJ	07732
3139-57-11	SHALKA FERNANDEZ ROSALBA	275 OHMS STREET	LYNDEN NJ	07036
3139-57-2	FELEMAN MICHAEL & ANNA MARIE	12 DOGWOOD COURT	CLIFFWOOD NJ	07711
3139-57-3	WAGNER MICHAEL S	28 MILLER STREET	HIGHLANDS NJ	07732
3139-57-4	STAKE SUSAN COY WILSON	PO BOX 63	MIDDLETOWN NJ	07748
3139-56-16	SHIRLEY HELEN	23 7TH STREET	HIGHLANDS NJ	07732
3139-56-18	28 ST HEATHY LLC	33 7TH STREET	HIGHLANDS NJ	07732
3139-56-1	ELIA GEORGE THORSTE	202 E 15TH ST APT 40	NEW YORK NY	10003
3139-57-1	MURPHY MARK	42 MILLER STREET	HIGHLANDS NJ	07732
3139-57-6	PAULER EDWARD F III & LORNA	39 HIGHLAND AVENUE	HIGHLANDS NJ	07732
3139-57-10-01	GALENA MARK	30 4TH STREET	HIGHLANDS NJ	07732
3139-56-2	BL 3TH STREET LLC	30 DOWN STREET	HIGHLANDS NJ	07732
3139-56-5	FIVE STAR REAL ESTATE GROUP LLC	22 MILLER STREET	HIGHLANDS NJ	07732
3139-56-9	FRANK DAVID & BERTONICA VICTORIA	16 MILLER STREET	HIGHLANDS NJ	07732
3139-58-10	MINDLA ERICA	11 FOURTH STREET	HIGHLANDS NJ	07732
3139-58-11	MENHIRA VICTOR & BETH	15 FOURTH STREET	HIGHLANDS NJ	07732
3139-56-10-02	SEPS CAPUTI MARIA GRACE	45 MILLER STREET	HIGHLANDS NJ	07732
3139-57-11	JOSUDA LIZELLE	14 FOURTH STREET	HIGHLANDS NJ	07732
3139-57-25	CALLAN CHRYSTEN M & REESE NICOLETT	27 FIFTH STREET	HIGHLANDS NJ	07732
3139-56-13	BERNICK THOMAS & DARIA	24 BROOKDALE ROAD	FLORENCE PARK NJ	07922
3139-58-12	STREIB GARY & ELLEN	802 BANK NY	RED BANK NJ	07701
3139-57-23	31 FIFTH STREET LLC	31 SOUTH 7TH AVE STE2	LONG BRANCH NJ	07740
3139-57-5	SCHIO JOSEPH & PETRUCIO MARILIA	208 BRIGGTON STREET	STATEN ISLAND NY	10305

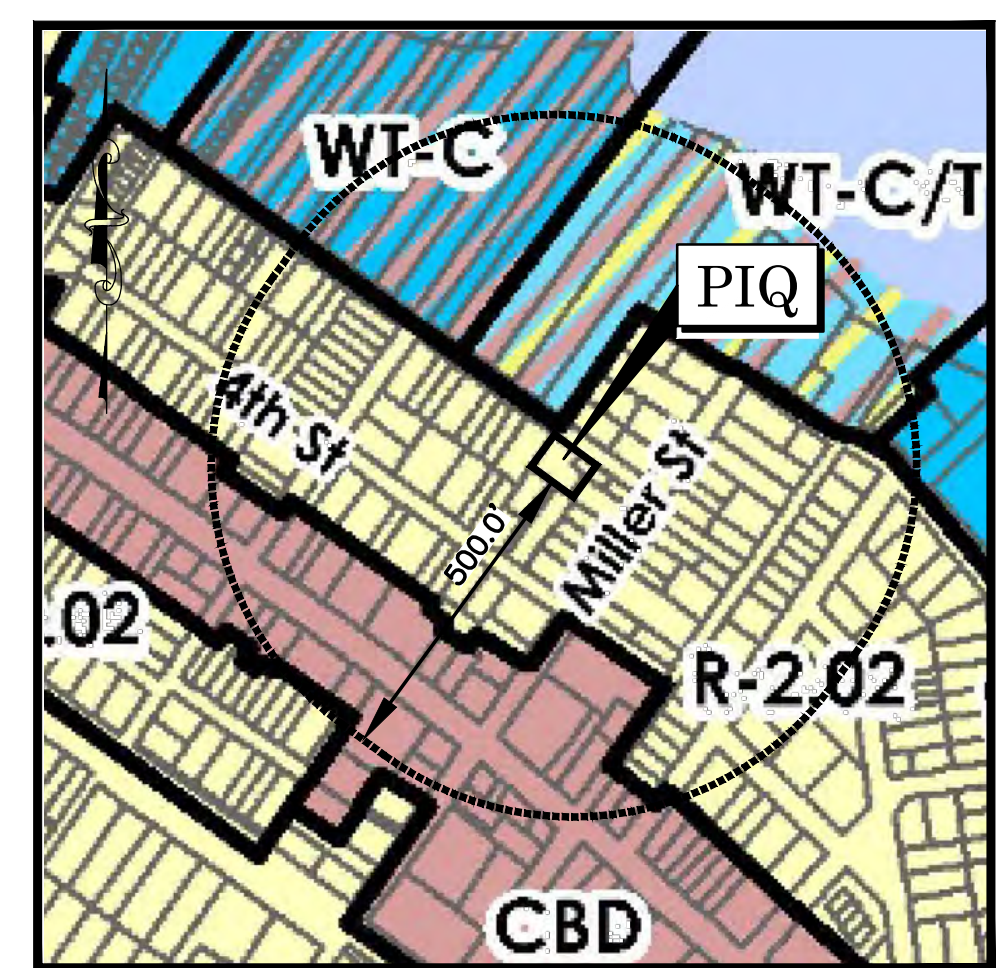
* If you are located within 200 feet of a State Highway, you MUST notify the NJ Department of Transportation:
 NJ Dept. of Transportation
 1015 Piny Avenue
 PO Box 600
 Trenton, NJ 08625

If you are within 200 feet of a County owned road, you MUST notify the Monmouth County Planning Board:
 Monmouth County Planning Board
 Hall of Records Annex 2nd Floor
 One East Main St.
 PO Box 3205
 Freehold, NJ 07728

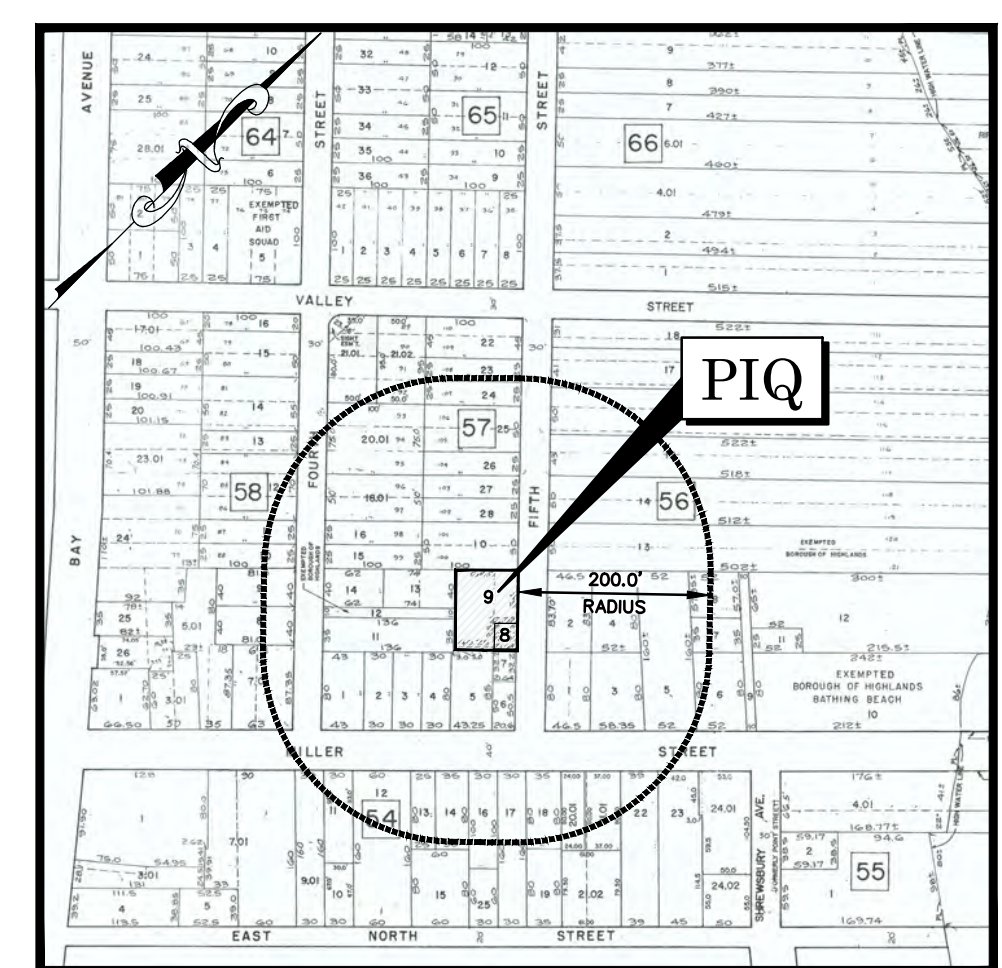
You must also notify all utilities located within the 200 foot range of the subject property:
 NJPW
 300 Madison Avenue
 PO Box 3311
 Morristown, NJ 07960
 NEW JERSEY AMERICAN WATER COMPANY
 Attn: Construction Department
 661 Shrewsbury Ave
 Shrewsbury, NJ 07702
 COMCAST COMMUNICATIONS OF MONMOUTH COUNTY
 Jon Bertland, Construction Foreman
 403 South St
 Easton, NJ 07724
 VERIZON COMMUNICATIONS
 One Verizon Way
 Basking Ridge, NJ 07920
 TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY
 Raymond J. Nardone, P.E., Executive Director
 PO Box 205, 100 Beverly Way
 Belvidere, NJ 07718
 NEW JERSEY NATURAL GAS COMPANY
 Attn: Joan Purcuro
 PO Box 384
 1415 Wyckoff Road
 Wall, NJ 07719
 MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY
 Attn: Executive Director
 200 Harbor Way
 PO Box 384
 Belvidere, NJ 07718

GENERAL NOTES:

- OWNER (LOT 8) - TREVOR KIRSH
 9 FIFTH STREET
 HIGHLANDS, NJ 07732
- OWNER (LOT 9) - KIRSH KRAFT, LLC
 13 FIFTH STREET
 HIGHLANDS, NJ 07732
- APPLICANT - KIRSH KRAFT, LLC
 PO BOX 293
 MONMOUTH BEACH NJ 07750
- THE PROPERTY IS KNOWN AS LOTS 8 & 9, BLOCK 57 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY.
 - OUTBOUND AND EXISTING CONDITIONS INFORMATION DEPICTED HEREON TAKEN FROM A PLAN ENTITLED "MINOR SUBDIVISION PLAN FOR LOT LINE ADJUSTMENT" PREPARED BY RICHARD E. STOCKTON & ASSOC., INC., DATED 1/12/21. LAST REVISED 8/3/21.
 - EXISTING USE: SINGLE FAMILY RESIDENTIAL.
 - PROPOSED USE: SINGLE FAMILY RESIDENTIAL.
 - THIS SITE IS LOCATED WITHIN FLOOD ZONE AE, EL. 11, SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY 1% ANNUAL CHANCE FLOOD, PER FLOOD INSURANCE RATE MAP (FIRM) #34025C0088H, EFFECTIVE DATE JUNE 15, 2022.
 - DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THEREON.
 - THIS PLAN HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS PLAN SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION".
 - PURSUANT TO NJDEP GEOWH, NO WETLANDS EXIST ONSITE.
 - ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD=88).
 - ERROR OF CLOSURE MEETS OR EXCEEDS ACCURACY STANDARDS FOR THIRD ORDER CLASS 1 = 1:10,000



ZONE MAP
 SCALE: 1"=300'

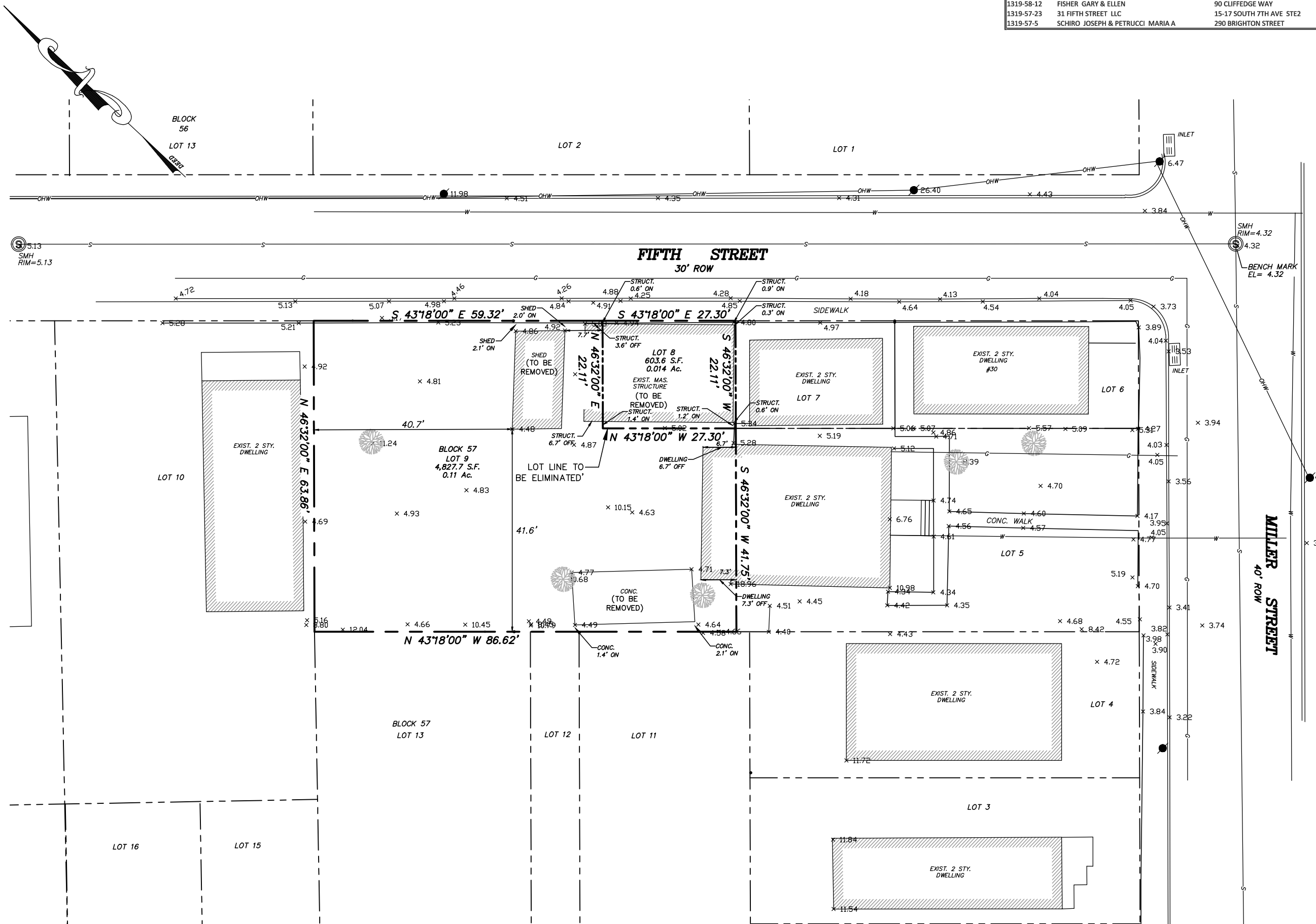


TAX MAP
 SCALE: 1"=200'

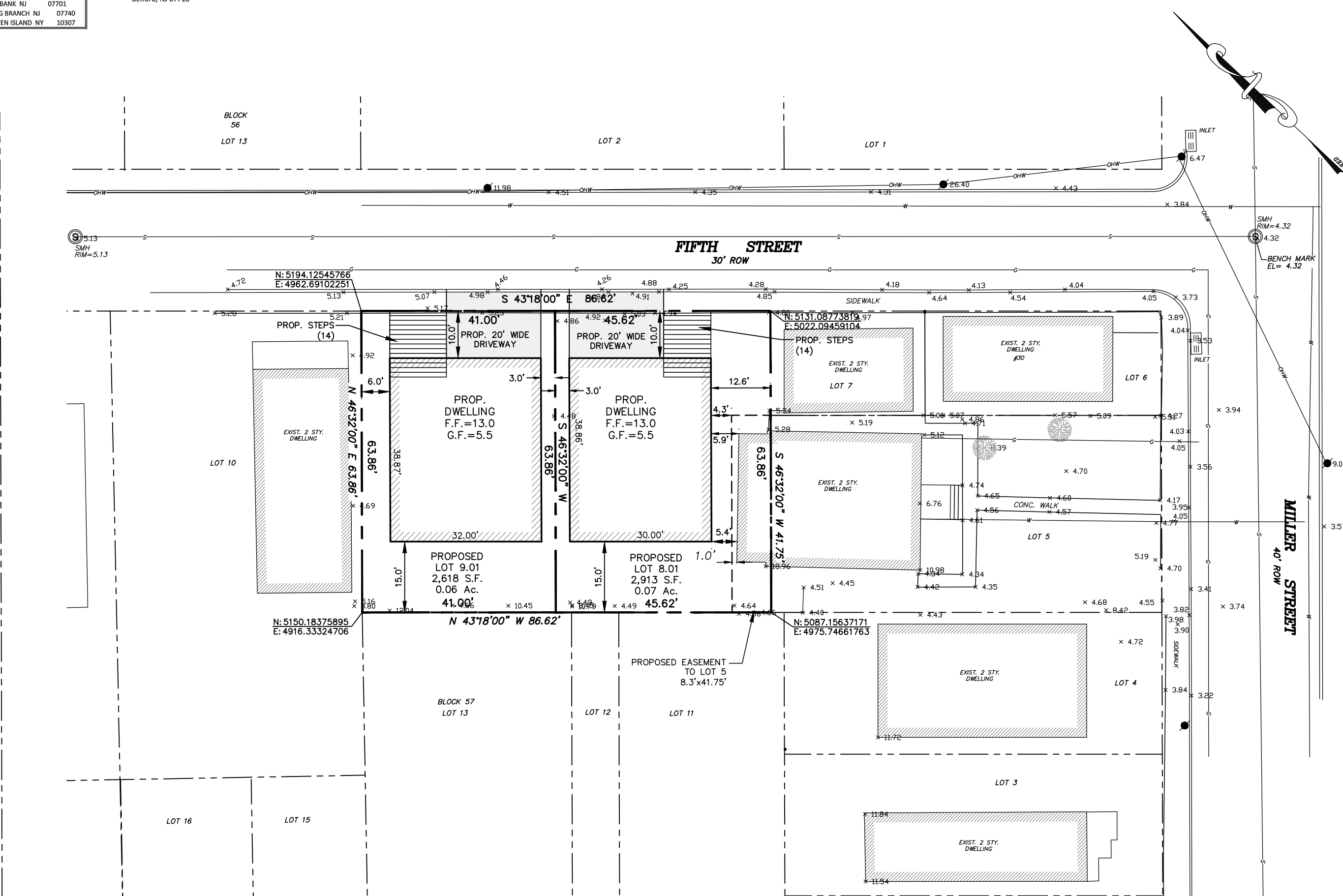
ZONING TABLE
 R-2.02 SINGLE FAMILY RESIDENTIAL ZONE DISTRICT

	REQUIRED	EXISTING LOT 8	EXISTING LOT 9	PROPOSED LOT 8.01	PROPOSED LOT 9.01
MIN. LOT AREA	4,000 S.F.	**603.60 S.F.	4,827.70 S.F.	*2,913 S.F.	*2,618 S.F.
MIN. LOT FRONTAGE	50 FT.	**27.30 FT.	59.52 FT.	*45.62 FT.	*41.00 FT.
MIN. LOT WIDTH	50 FT.	**27.30 FT.	59.52 FT.	*45.62 FT.	*41.00 FT.
MIN. LOT DEPTH	75 FT.	**22.11 FT.	**63.86 FT.	*63.86 FT.	*63.86 FT.
MIN. FRONT YARD SETBACK	20 FT.	**0.6 FT.	**2.0 FT.	*10 FT.	*10 FT.
MIN. SIDE YARD SETBACK	6/8 FT.	**0.3/-3.6 FT.	7.7/40.7 FT.	*3/5.8 FT.	*3/8 FT.
MIN. REAR YARD SETBACK	20 FT.	**1.2 FT.	41.6 FT.	*15 FT.	*15 FT.
MAX. BUILDING HEIGHT	30 FT.	< 35 FT.	< 35 FT.	N/A	N/A
MAX. BUILDING COVERAGE	33%	**89.28%	9.74%	*40.03%	*47.52%
MAX. LOT COVERAGE	75%	**89.28%	15.25%	50.33%	59.74%

** PRE-EXISTING NON-CONFORMITY
 * PROPOSED VARIANCE CONDITION



EXISTING CONDITIONS



MINOR SUBDIVISION

LEGEND

- Gas Valve
- Water Valve
- Water Meter
- Utility Manhole
- Drainage Manhole
- Electrical Manhole
- Sanitary Manhole
- Telephone Manhole
- Traffic Sign
- Traffic Sign (2 Post)
- Street Sign
- Light Post
- Utility Pole
- Fire Hydrant
- Drainage Inlet (Type "A")
- Drainage Inlet (Type "B")
- Drainage Inlet (Type "C")
- Drainage Line
- Electric Line
- Gas Line
- Sanitary Sewer Line
- Telephone Line
- Water Line
- Overhead Wires
- Monitoring Well
- Iron Pipe Found
- Capped Rebar Found
- Concrete Monument Found
- Survey
- File Map
- Gas Meter
- Drainage Curb
- F.C. Flush Curb
- Sole Boring Location
- Photograph Location

THE UNDERSIGNED INDIVIDUAL HEREBY DECLARES THAT HE IS THE OWNER OF THE LAND DELINEATED HEREON, AND HEREBY CONSENTS TO THE FILING OF THE OFFICE OF THE CLERK IN THE COUNTY OF MONMOUTH.

OWNER (LOT 8) _____ DATE _____

OWNER (LOT 9) _____ DATE _____

NOTARY PUBLIC _____ DATE _____

NOTARY PUBLIC _____ DATE _____

THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN THE TIME LIMIT PROVIDED IN THE "MUNICIPAL LAND USE LAW," P.L. 1975 c.291 (C.40:55D-1 et seq.) OR LOCAL ORDINANCE.

I CERTIFY THAT A BOND HAS BEEN GIVEN TO THE MUNICIPALITY, GUARANTEEING THE FUTURE SETTING OF THE MONUMENTS AS DESIGNATED AND SHOWN ON THIS PLAN.

THIS IS TO CERTIFY THAT THIS MAP COMPLIES WITH THE PROVISIONS OF P.L. 1960 c.141 (C.46:23-9.9 et seq.) KNOW AS THE "MAP FILING LAW" AND FURTHER CERTIFIES THAT THE MAP HAS BEEN APPROVED BY THE PLANNING BOARD OF THE BOROUGH OF HIGHLANDS, THE PROPER AUTHORITY FOR SUCH APPROVAL. THIS MAP SHALL BE FILED IN MONMOUTH COUNTY CLERK'S OFFICE ON OR BEFORE THE _____ DAY OF _____, 20____ WHICH IS 190 DAYS FROM THE DATE OF FINAL APPROVAL AS A MINOR SUBDIVISION BY THE BOROUGH OF HIGHLANDS PLANNING BOARD.

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF THE "MAP FILING LAW," RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

BOROUGH ENGINEER _____ DATE _____

CHAIRMAN OF THE PLANNING BOARD _____ DATE _____

SECRETARY OF THE PLANNING BOARD _____ DATE _____

THE UNDERSIGNED INDIVIDUAL HEREBY DECLARES THAT HE IS THE OWNER OF THE LAND DELINEATED HEREON, AND HEREBY CONSENTS TO THE FILING OF THE OFFICE OF THE CLERK IN THE COUNTY OF MONMOUTH.

OWNER (LOT 8) _____ DATE _____

OWNER (LOT 9) _____ DATE _____

NOTARY PUBLIC _____ DATE _____

NOTARY PUBLIC _____ DATE _____

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND MINOR SUBDIVISION PREPARED BY RICHARD E. STOCKTON & ASSOC., INC. DATED 1/12/21, LAST REVISED 8/03/21 MEET THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION AND COMPLIES WITH THE "MAP FILING LAW" AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND, OR SET.

I CERTIFY THAT THIS MAP HAS BEEN MADE UNDER MY SUPERVISION AND COMPLIES WITH APPLICABLE SECTIONS OF TITLE 46 OF THE REVISED STATUTES (N.J.S.A. 46:26A-1 THROUGH N.J.S.A. 46:26B-8 ET SEQ)

THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITIONS FOUND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, BELOW THE SURFACE AND NOT VISIBLE.

CHAIRMAN _____

SECRETARY _____

PETER P. BENNETT III
 PETER P. BENNETT III - N.J. PROFESSIONAL LAND SURVEYOR, LIC. No. 24G504065100

SCALE: (1 Inch = 20 Feet)

1. 4/5/24 UPDATE ZONING CHART AND NOTES. ADDED PROP. BUILDING FOOTPRINT, DRIVEWAY, STEPS AND DIMENSIONS. JFB

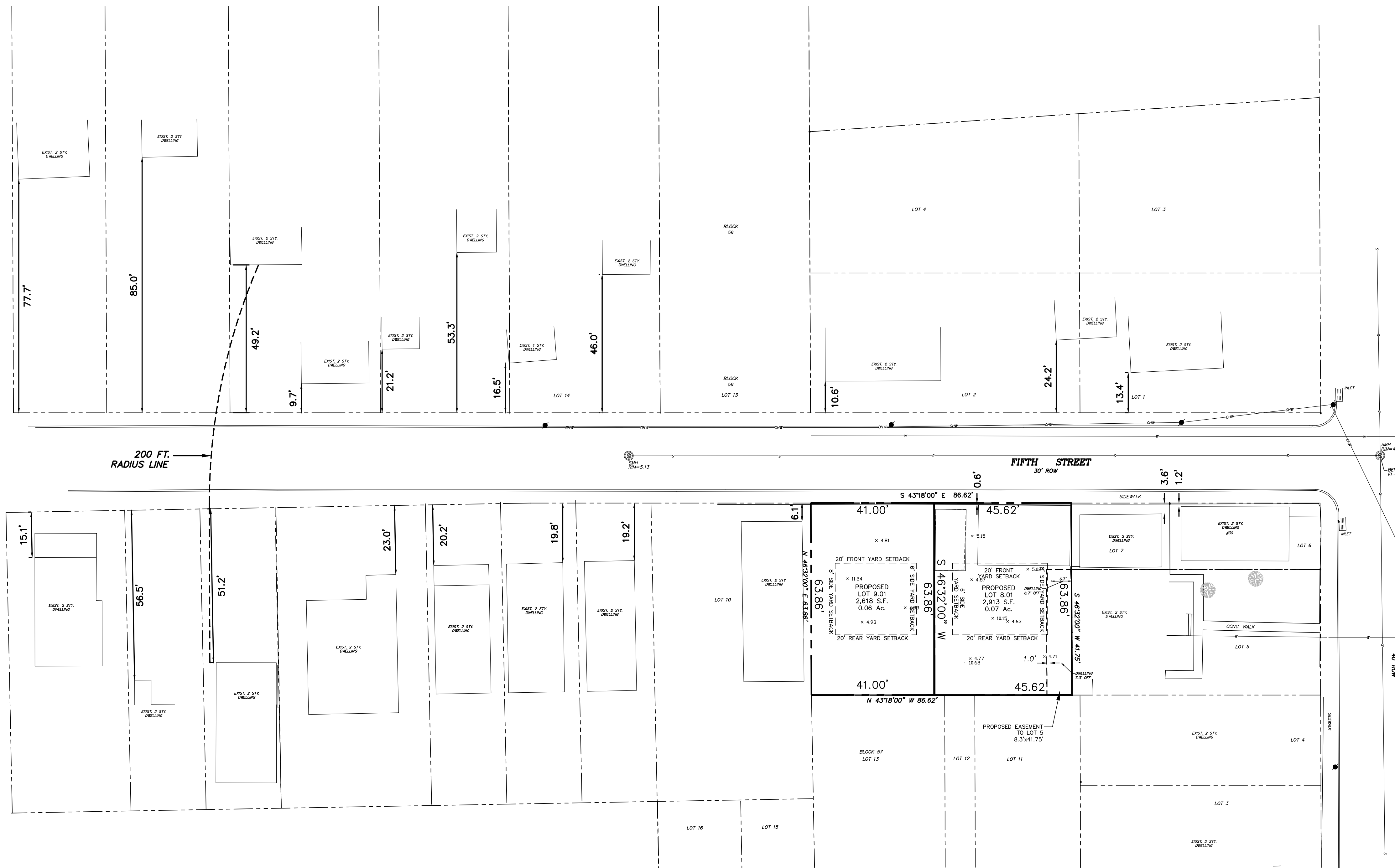
MINOR SUBDIVISION PLAN
 OF
 LOTS 8 & 9, BLOCK 57
 BOROUGH OF HIGHLANDS MONMOUTH COUNTY NEW JERSEY

MINOR SUBDIVISION

PETER P. BENNETT III
 N.J. PROFESSIONAL LAND SURVEYOR, LIC. No. 40651

WWW.WJENGINEERING.COM

SCALE: 1"=20' DRAWN BY: JFB DATE: 1/29/24 JOB No.: 23203 SHEET No.: 1 of 1



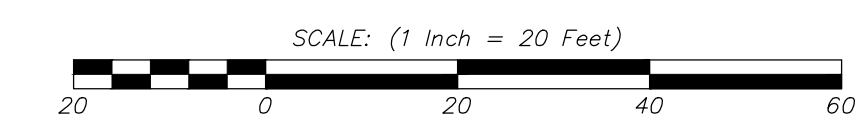
GENERAL NOTES:

OWNER/APPLICANT- HENRY F. WOLFF, III
79 FIRST AVENUE
ATLANTIC HIGHLANDS, NJ 07716

1. THE PROPERTY IS KNOWN AS LOTS 8 & 9, BLOCK 57 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY.
2. OUTBOUND AND EXISTING CONDITIONS INFORMATION DEPICTED HEREON TAKEN FROM A PLAN ENTITLED "MINOR SUBDIVISION PLAN FOR LOT LINE ADJUSTMENT" PREPARED BY RICHARD E. STOCKTON & ASSOC., INC., DATED 1/12/21, LAST REVISED 8/3/21.
3. EXISTING USE: SINGLE FAMILY RESIDENTIAL.
4. PROPOSED USE: SINGLE FAMILY RESIDENTIAL.
5. THIS SITE IS LOCATED WITHIN FLOOD ZONE AE, EL. 11, SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY 1% ANNUAL CHANCE FLOOD, PER FLOOD INSURANCE RATE MAP (FIRM) #34025C0088H, EFFECTIVE DATE JUNE 15, 2022.
6. DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC.. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
7. THIS PLAN HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS PLAN SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION".
8. PURSUANT TO N.J.E.P. GEOWEB, NO WETLANDS EXIST ONSITE.

ZONING TABLE					
R-2.02 SINGLE FAMILY RESIDENTIAL ZONE DISTRICT					
	REQUIRED	EXISTING LOT 8	EXISTING LOT 9	PROPOSED LOT 8.01	PROPOSED LOT 9.01
MIN. LOT AREA	4,000 S.F.	**603.60 S.F.	4,827.70 S.F.	*2,913 S.F.	*2,618 S.F.
MIN. LOT FRONTAGE	50 FT.	**27.30 FT.	59.52 FT.	*45.62 FT.	*41.00 FT.
MIN. LOT WIDTH	50 FT.	**27.30 FT.	59.52 FT.	*45.62 FT.	*41.00 FT.
MIN. LOT DEPTH	75 FT.	**22.11 FT.	**63.86 FT.	*63.86 FT.	*63.86 FT.
MIN. FRONT YARD SETBACK	20 FT.	**0.6 FT.	**2.0 FT.	N/A	N/A
MIN. SIDE YARD SETBACK	6/8 FT.	**0.3/-3.6 FT.	7.3/40.7 FT.	N/A	N/A
MIN. REAR YARD SETBACK	20 FT.	**1.2 FT.	41.6 FT.	N/A	N/A
MAX. BUILDING HEIGHT	30 FT.	< 35 FT.	< 35 FT.	N/A	N/A
MAX. BUILDING COVERAGE	33%	**89.28%	9.74%	N/A	N/A
MAX. LOT COVERAGE	75%	**89.28%	15.25%	N/A	N/A

** PRE-EXISTING NON-CONFORMITY
* PROPOSED VARIANCE CONDITION



- LEGEND**
- GAS VALVE
 - WATER VALVE
 - WATER METER
 - UTILITY MANHOLE
 - DRAINAGE MANHOLE
 - ELECTRICAL MANHOLE
 - SANITARY MANHOLE
 - TELEPHONE MANHOLE
 - TRAFFIC SIGN
 - TRAFFIC SIGN (2 POST)
 - STREET SIGN
 - LIGHT POST
 - UTILITY POLE
 - FIRE HYDRANT
 - DRAINAGE INLET (TYPE "A")
 - DRAINAGE INLET (TYPE "B")
 - DRAINAGE INLET (TYPE "C")
 - DRAINAGE LINE
 - ELECTRIC LINE
 - GAS LINE
 - SANITARY SEWER LINE
 - TELEPHONE LINE
 - WATER LINE
 - OVERHEAD WIRES
 - MONITORING WELL
 - IRON PIPE FOUND
 - CAPPED REBAR FOUND
 - CONCRETE MONUMENT FOUND
 - SURVEY
 - FILE MAP
 - GAS METER
 - DEPRESSION CURB
 - FLUSH CURB
 - SOIL BORING LOCATION
 - PHOTOGRAPH LOCATION

NO.	DATE	DESCRIPTION	DRAWN BY

MINOR SUBDIVISION PLAN
OF
LOTS 8 & 9, BLOCK 57
BOROUGH OF HIGHLANDS MONMOUTH COUNTY NEW JERSEY

PREVAILING SETBACK EXHIBIT

PETER P. BENNETT III
N.J. PROFESSIONAL LAND SURVEYOR, LIC. No. 40651

WJH ENGINEERING
CERT. OF AUTH. NO. 246A28117300
257 MONMOUTH ROAD,
BLDG. A, STE. 7,
OAKHURST, NJ 07755
PHONE: 732-223-1313
WWW.WJHENGINEERING.COM

SCALE: 1"=20'	DRAWN BY: JFB	DATE: 1/29/24	JOB No.: 23203	SHEET No.: 1 of 1
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2023

HERE

50 ft

REC