

ENGINEER'S REPORT

FOR

14 & 32 NORTH PEAK STREET

*Borough of Highlands
Monmouth County, New Jersey*

Prepared by:

CME ASSOCIATES
1460 Route 9 South
Howell, New Jersey 07731



Bennett A. Matlack, PE, CME, CFM
Professional Engineer
NJ License No. 49346

March 30, 2023
File: HHI00520.01



CONSULTING AND MUNICIPAL ENGINEERS

TABLE OF CONTENTS

	<u>PAGE</u>
1. PROJECT BACKGROUND AND EXISTING CONDITIONS	1
2. SOIL EROSION AND SEDIMENT CONTROL STANDARDS	2
3. PROJECT OVERVIEW AND DESCRIPTION	3

APPENDICES

A	PHOTO EXHIBIT
B	GRADING PLAN REVIEWS
C	TREE REMOVAL PERMITS
D	VIOLATIONS, SUMMONS & STOP CONSTRUCTION ORDERS
E	CONSTRUCTION PERMITS & MISCELLANEOUS

1. **PROJECT BACKGROUND AND EXISTING CONDITIONS**

The subject property discussed within this report is, Block 35, Lots 8 & 9, known as 14 & 32 North Peak Street located in Highlands, New Jersey. This property is owned by Home and Land Development Corp. Home and Land Development Corp demolished all existing structures on site in anticipation of residential development on the property. The Property is situated at the north end of North Peak Street, a narrow road only approximately 14 feet wide situated within a 40-foot-wide right-of-way. The subject property has an elevation of 146 on the north side and slopes to the south to an elevation of 111. A "Preliminary Grading Worksheet: prepared by Andrew R. Stockton, PE dated December 2, 2021, showing existing topography for the site can be found in Appendix B.

2. **PROJECT OVERVIEW AND DESCRIPTION**

Home and Land Development Corp received two tree removal permits (Appendix C) from Highlands Borough on September 27, 2021. There was 10 trees listed for removal on each permit. Home and Land Development did not submit a site plan or markup indicating which trees were designated to be removed from the property. The site was cleared of all existing trees upon approval of the permit by the Borough. It is unclear if there were any trees removed that were not indicated on the permit application.

Home and Land Development Corp received a construction permit on November 16, 2021 from the Borough of Highlands for the demolition of a single family dwelling located at 14 North Peak Street. Home and Land Development Corp submitted a grading review application to the Borough on April 10, 2021. Proposed improvements included constructing a series of retaining walls prior to the construction of two new homes on the property. CME Associates issued a letter on December 14, 2021 (Appendix B) stating that the grading review was not acceptable due to the following:

1. *Retaining walls are proposed in Borough right-of-way to the South of the property and at North Peak Street to the North. Wall is also proposed on adjacent property to the East. No construction will be permitted on Borough Property or property unowned by applicant.*
2. *According to §21-848 of the Highlands Municipal Code, no disturbance of slopes exceeding 35% is permitted.*
3. *Grading Plan must be signed and sealed by a NJ licensed professional engineer.*
4. *Applicant does not provide spot elevations along property lines, at property corners or onto adjacent properties.*

On April 11, 2022 William F. Brunt, Code Enforcement Officer for the Borough of Highlands issued a violation notice and summons to Home and Land Development Corp (Appendix D). The violation specifically noted the following violation:

1. *Code 301.3 - Vacant structures and land.*
 - i. *All vacant structures and premises thereof or vacant land shall be maintained in a clean, safe, secure and sanitary condition as provided hereto so as not to cause a blighting problem or adversely affect the public health or safety.*
2. *Ord 10-10.1 Removal of Brush, Weeds, Trash, and Debris.*
 - i. *Notwithstanding the provisions of the International Property Maintenance Code, and without superseding its incorporation into Borough ordinance, every owner or tenant of lands or dwellings in the Borough shall keep the lands or dwellings free of fire hazards, brush, weeds, including ragweed, dead and dying trees, stumps, roots, obnoxious growths, filth and garbage (trash and debris in cans, bags and/or in bulk), and shall maintain the land or dwellings in a clean and sanitary condition.*

Following, the summons issued to Home and Land Development, a stop construction order (Appendix D) was issued by the Highlands Building Department dated May 5, 2022. The stop work order was a result of “failure to obtain prior approvals engineering/zoning”. The order indicated that permission to resume construction would be granted after Home and Land Development obtained such approvals.

Over the next several months, there continued to be erosion identified on the adjoining properties due to the un-stabilized fill that was placed on site. The developer was ordered to remove the fill until the proper approvals were obtained by the appropriate parties.

A notice of violation and order to terminate was served to Home and Land Development Corp on June 9, 2022. This notice was in response to violating the original stop work order which was issued on May 5, 2022 for performing work without required permits. Home and Land Development Corp was ordered to terminate the said violation on or before June 14, 2022. Specific violations can be found below:

1. *On 6/8/2022, you were found to be in violation of the State Uniform Construction Code Act and Regulations promulgated thereunder, in that you [] made a false or misleading written statement, or omitted required information in an application or request for approval; or [X] failed to obtain a construction permit; or [] failed to request required inspections; or [] allowed occupancy prior to receiving a certificate of occupancy.*
2. *On 6/8/2022, you were found to be in violation of the State Uniform Construction Code Act and Regulations promulgated thereunder. A Stop Construction Order was issued. Re-inspection of the work site on 6/8/2022 revealed a failure to comply with that Stop Construction Order.*

In addition to the above, our office issued a letter recommending stabilization measures being installed due to erosion issues and complaints from the neighboring property at 102 Valley Avenue (Appendix D).

3. CURRENT CONDITIONS

Current conditions on site can be seen in Appendix A with various site photos from April 11, 2022 and March 3, 2023. The site appears to have not been altered since the stop construction order on June 9, 2022. The site remains mostly un-vegetated so the potential for erosions should be considered.

APPENDIX A

SITE PHOTOS

1. Photos from April 11, 2022.
2. Photos from March 3, 2023.



1

14 & 32 North Peak ST 4-11-22.pdf



2

14 & 32 North Peak ST 4-11-22.pdf







7

14 & 32 North Peak ST 4-11-22.pdf



8

14 & 32 North Peak ST 4-11-22.pdf







13

14 & 32 North Peak ST 4-11-22.pdf



14

14 & 32 North Peak ST 4-11-22.pdf



PHOTO #1:



PHOTO #2:



PHOTOGRAPHS

LOCATION: 14 & 32 North Peak Street
MUNICIPALITY: Holmdel Township
COUNTY: Monmouth County
FILE NO: HHI00520.01



PHOTO #3:



PHOTO #4:



PHOTOGRAPHS

LOCATION: 14 & 32 North Peak Street
MUNICIPALITY: Holmdel Township
COUNTY: Monmouth County
FILE NO: HH100520.01



PHOTO #5:



PHOTO #6:



PHOTOGRAPHS

LOCATION: 14 & 32 North Peak Street
MUNICIPALITY: Holmdel Township
COUNTY: Monmouth County
FILE NO: HHI00520.01



PHOTO #7:



PHOTO #8:



PHOTOGRAPHS

LOCATION: 14 & 32 North Peak Street
MUNICIPALITY: Holmdel Township
COUNTY: Monmouth County
FILE NO: HHI00520.01



APPENDIX B

GRADING PLAN REVIEWS

1. Grading Plan Review #1, Prepared by CME Associates dated December 14, 2021.
2. Grading Review Application dated April 10, 2021.



JOHN H. ALLGAIR, PE, PP, LS (1983-2001)
DAVID J. SAMUEL, PE, PP, CME
JOHN J. STEFANI, PE, LS, PP, CME
JAY B. CORNELL, PE, PP, CME
MICHAEL J. McCLELLAND, PE, PP, CME
GREGORY R. VALES, PE, PP, CME

TIM W. GILLEN, PE, PP, CME (1991-2019)
BRUCE M. KOCH, PE, PP, CME
LOUIS J. PLOSKONKA, PE, CME
TREVOR J. TAYLOR, PE, PP, CME
BEHRAM TURAN, PE, LSRP
LAURA J. NEUMANN, PE, PP
DOUGLAS ROHMEYER, PE, CFM, CME
ROBERT J. RUSSO, PE, PP, CME
JOHN J. HESS, PE, PP, CME

December 14, 2021

Sent via Electronic & Regular Mail

Borough of Highlands
42 Shore Drive
Highlands, NJ 07732

Attn: Joseph Kachinsky – Construction Official

**Re: Grading Plan Review #1
14 & 32 North Peak Street – Block 35, Lots 8 & 9
Borough of Highlands, Monmouth County, NJ
Our File: HHIE0035.01**

Dear Mr. Kachinsky:

Our office is in receipt of and has reviewed the following for the above referenced property:

- Plan entitled “Preliminary Grading Worksheet for Home and Land Development Corp, Block 35 Lots 8 and 9, Highlands Borough, Monmouth County, New Jersey”, consisting of one (1) sheet, prepared by Eastern Civil Engineering, LLC, dated December 2, 2021, unrevised; and
- Plan entitled “Stone Strong System – Gravity Retaining Wall – Home & Land Development North Peak Street” consisting of six (6) sheets, prepared by Garden State Precast Inc, dated November 15, 2021.
- Completed Grading Review Application, dated April 10, 2021.

The Applicant is proposing to construct a series retaining walls prior to the construction of two new homes on the properties. It appears the existing topography of the property is generally sloped towards the Southwesterly corner of the lot. The plan generally depicts drainage patterns on the property are proposed to remain consistent with the existing conditions. As depicted on the FEMA Preliminary Flood Insurance Rate Map (FIRM), the property lies in Zone X, an area of minimal flood hazard. Based upon the NJDEP NJ-GeoWeb online resource, the property is located in a CAFRA zone but no wetlands are identified on or in the immediate proximity of the site.

In accordance with your request, our office has reviewed the submitted items for compliance with the applicable Borough requirements. Based upon our review, we find the Preliminary Grading Worksheet Plan dated December 2, 2021, **not acceptable** from a grading standpoint, due to the following conditions:

1. Retaining walls are proposed in Borough right-of-way to the South of the property and at North Peak Street to the North. Wall is also proposed on adjacent property to the East. No construction will be permitted on Borough Property or property unowned by applicant.

S:\Highlands Borough\Plan Reviews\21-12-14 grading review #1 B35-L8,9.docx

CONSULTING AND MUNICIPAL ENGINEERS

1460 ROUTE 9 SOUTH • HOWELL, NEW JERSEY 07731 • (732) 462-7400 • FAX: (732) 409-0756



Borough of Highlands
Re: Grading Plan Review #1
14 & 32 North Peak Street – Block 35 Lots 8 & 9

December 14, 2021
Our File No. HHIE0035.01
Page 2

2. According to §21-84B of the Highlands Municipal Code, no disturbance of slopes exceeding 35% is permitted.
3. Grading Plan must be signed and sealed by a NJ licensed professional engineer.
4. Applicant does not provide spot elevations along property lines, at property corners or onto adjacent properties.

Please note this review includes only grading and drainage elements. We defer review of lot coverage and other applicable zoning requirements to the Borough Zoning Department.

The scope of this review is limited to grading and does not include a full zoning review of any other sections of the Highlands development regulations. Additionally, the structural stability of any existing or proposed improvements were not evaluated as part of this review. Please note the granting of any permit or approval in any slope area shall not constitute a representation, guarantee, or warranty of any kind by the Borough or by any official or employee thereof of the practicability or safety of any structure, use or other plan proposed, and shall create no liability upon, or cause any action against, such public body, official or employee for any damages that may result pursuant hereto.

We trust that this is all the information you require at this time. However, should you have any questions or require any additional information regarding the above, please feel free to contact this office.

Very truly yours,

CME Associates

Drew E. Pavlick, PE, PP, CME, CFM
Borough Engineer's Office

DEP/PMK

cc: Michael Muscillo – Borough Administrator
Michelle Hutchinson, CMR – Municipal Clerk
Marianne Dunn – Zoning Officer
Bennett A. Matlack, PE – Borough Engineer
Patti Merse – Building Dept.
Home & Land Development Corp – Applicant
Andrew R. Stockton, PE – Applicant's Engineer



RECEIVED DEC 13 2021

Borough of Highlands
42 Shore Drive
Highlands, NJ 07732
(732) 872-1224
www.highlandsborough.org

Grading Review Application

GRADING PLAN REVIEW APPLICATION

DATE: 4/10/21

NOTE: Please allow a minimum of 3-4 weeks for review and processing of application.

APPLICANT NAME: HOME & LAND DEVELOPMENT CORP

MAILING ADDRESS: 88-1 PORTLAND RD

ZIP CODE: 07732

PHONE: 917 686 4111

EMAIL: GNF718@AOL.COM

PROJECT SITE DETAILS:

BLOCK: 35 LOT(S): 8 & 9

PROPERTY ADDRESS: 14 NORTH PEAK 32 NORTH PEAK
(Include zip code)

PROPOSED DESCRIPTION OF DEVELOPMENT / IMPROVEMENTS:

(Example: New dwelling, swimming pool, retaining walls, etc.)

~~RETAINING WALL PRIOR TO BUILD TWO NEW HOMES~~

THE FOLLOWING MUST BE SUBMITTED WITH THE APPLICATION:

- TWO (2) COPIES OF THIS COMPLETED REQUEST FORM
- TWO (2) COPIES OF ...

210195

SECURED BY B2BFIELD

55-138/212

HOME & LAND DEVELOPMENT CORP
88-1 PORTLAND RD
HIGHLANDS, NJ 07732

Date 12/10/21

Pay to the order of Borough of Highlands \$ 425.00
Four Hundred Twenty Five Dollars

VALLEY BANK
WWW.VALLEY.COM

For 14-32 N PEAK ST

⑈ 210195 ⑈ ⑆ 021201383 ⑆ ⑈ 000041300130 ⑈

Security Features
Details on Deck

MP



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Borough of Highlands
42 Shore Drive
Highlands, NJ 07732
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(Include zip code)

PROPOSED DESCRIPTION OF DEVELOPMENT / IMPROVEMENTS:

(Example: New dwelling, swimming pool, retaining walls, etc.)

~~RETAINING WALL PRIOR TO BUILD TWO NEW HOMES~~

THE FOLLOWING MUST BE SUBMITTED WITH THE APPLICATION:

- TWO (2) COPIES OF THIS COMPLETED REQUEST FORM
- TWO (2) COPIES OF ENGINEERED GRADING PLAN WITH TOPOGRAPHY & APPLICABLE DETAILS
- EMAIL DIGITAL FILE (PDF) OF PLAN TO CASHIER@HIGHLANDSBOROUGH.ORG
- TWO (2) COPIES OF ARCHITECTURAL PLANS (FOUNDATION & 1st FLOOR PLANS, APPLICABLE DETAILS)
- TWO (2) COPIES OF COMPLETED GRADING PLAN PREPARATION CHECKLIST
- \$425.00 ENGINEERING REVIEW FEE, RESUBMITTALS REQUIRE A \$175.00 REVIEW FEE.
(NOTE: COMMERCIAL GRADING PLAN REVIEW FEES BASED ON SUBDIVISION & SITE PLAN FEE SCHEDULE)
(Checks made payable to the "Borough of Highlands")
- SUPPORTING DOCUMENTATION PER CHECKLIST
- TWO (2) COPIES OF TOPOGRAPHIC AS-BUILT SURVEY AT COMPLETION OF PROJECT
- NOTE THAT COLOR PHOTOGRAPHS OF ENTIRE INFILTRATION SYSTEM INSTALLATION ARE REQUIRED

PLEASE ANSWER THE FOLLOWING:

Yes ___ or No Was the subject lot/property created by Subdivision Approval within the last 20 years?

If yes, provide copies of the Board Resolution and set of approved mappings.

Yes ___ or No Has the proposed work required approval from the Land Use Board for a variance, site plan, subdivision?

If yes, provide copies of the Board Resolution and set of approved mappings

Yes ___ or No Does the property contain any easements, right-of-way or other restrictions?

Yes ___ or No Is the property located in the 100-year floodplain?

If yes, approval from the Building Department is required prior to issuance of construction permits. Additionally, a NJDEP Flood Hazard Permit may be required.

Yes ___ or No Is the property situated within 50' of any ponds, streams, brooks, marshes, river, lakes, bogs, ditches, creeks, swamps, etc. or other low lying areas?

If you answered yes, you must contact the NJDEP to obtain clearance/approval. If you are unsure you should contact the NJDEP to clarify applicability. Violations of wetlands and other environmentally sensitive areas could result in fines imposed by the State of NJ. The phone number for the NJDEP is (609) 777-0454.

Yes ___ or No Is the property located within 300 ft. of the mean high water line or any area regulated by the NJ Department of Environmental Protection?

If you answered yes, you must contact the NJDEP to obtain clearance/approval. If you are unsure you should contact the NJDEP to clarify applicability. Violations in environmentally sensitive areas could result in fines imposed by the State of NJ. The phone number for the NJDEP is (609) 777-0454.

Yes ___ or No Is the property located within a Special Flood Hazard Zone?

Prior to issuance of any building permits, the applicant must comply with N.J.A.C. Title Chapter 13, Flood Hazard Area (FHA) Control Rules, where applicable. The applicant may obtain an Applicability Determination from the NJDEP if it is not clear what FHA permit is required, if any. If the project is subject to a General or Individual Permit from the New Jersey Department of Environmental Protection or the applicant obtains an Applicability Determination or issues a permit-By-Rule Notice, the applicant must provide the Borough with copies of the documents with the grading plan application. If the applicant believes the project is subject to a Permit-By-Rule, the applicant must provide a letter documenting the basis for that relief.

NOTES TO APPLICANT:

ALLOW MINIMUM THREE TO FOUR WEEKS FOR REVIEW AND PROCESSING OF APPLICATION ONCE COMPLETE.

AN APPLICATION THAT IS NOT COMPLETE WILL NOT BE ACCEPTED AND MAY RESULT IN A PERMIT DENIAL.

IT IS YOUR RESPONSIBILITY TO COMPLY WITH ANY CONDITIONS OF THE REVIEW LETTER.

IF A REVISION TO THE PLAN IS REQUIRED AND / OR APPLICATION IS DENIED, AN ADDITIONAL \$175.00 FEE MUST BE SUBMITTED WITH THE REVISED PLAN. REVISED PLANS MUST HAVE REVISION DATE ACCORDINGLY.

HIGHLANDS BOROUGH GRADING PLAN PREPARATION CHECKLIST

*** THIS CHECKLIST MUST BE COMPLETED AND ATTACHED TO THE GRADING PLAN ***

- Existing boundary, location and topographic survey information is prepared by a NJ Licensed Land Surveyor and duly referenced on the grading plan.
- Grading plan is entitled "Grading Plan" and prepared by a NJ Licensed Professional Engineer.
- Sufficient existing and proposed spot elevations and contours are provided for the subject property as well as adjacent properties (minimum 25 ft. overlap) to identify existing drainage patterns. Spot elevations are provided on the property, at building corners, along property lines, at property corners, 25 ft. overlap onto adjacent properties, curb, gutters, top and bottom wall, etc. Failure to provide overlapping topographic data including spot elevations may result in the denial of the application. Contours at 1 (one) foot intervals are provided and vertical datum indicated on plan.
- Indicated existing and proposed utility connections, including water, gas, sewer & electric.
- A minimum of 2% pitch away from all building foundations is provided. Swales are labeled and include spot elevations and highpoints. Proposed site grading will not negatively affect adjacent properties.
- Finished floor elevation, garage floor elevation (at overhead doors & at rear of garage), crawlspace floor elevation, and basement floor elevation are provided where applicable.
- Limit of disturbance, silt fence location, and a silt fence detail are provided on the plan. Notes provided regarding seeding and stabilization. Limit of disturbance line includes utility trenching in roadway.
- Note is placed on plans stating that "silt fencing to be placed around the area of disturbance and left in place until the property is permanently stabilized."
- A copy of the Freehold Soil Conservation District approval, (for projects disturbing 5,000 sq. ft. or more) or exemption letter is provided.
- Architectural plans are provided (at a minimum, the foundation and first floor plans need to be provided, along with elevation views). Dimensions of buildings must be shown on the Grading Plan.
- Zoning chart providing bulk zoning requirements provided on the plan indicating required, existing and proposed information, including lot area and existing & proposed impervious coverage in square feet. Each impervious coverage item must be listed separately in square feet. **Impervious cover includes all walks, driveways, buildings, patios, walls, pads, decks and stone areas for grading plans and drywell sizing.**
- Provide construction details for sidewalk, curb, driveway, driveway apron, retaining walls and drywells, where applicable.
- A drywell must be provided for all projects to mitigate increases in **impervious cover**. Roof leaders must be piped to proposed drywell or runoff collected via yard grates and piping per applicable design. Locations of drywells, downspouts, pipe sizes, pipe slopes and inverts, and grates must be provided. A drywell detail must be provided along with supporting drainage calculations and a permeability test to confirm proper sizing. Drywell must be sufficiently sized to store 1.25 inches times the net-increased impervious area. Clean stone has an acceptable void ratio of 0.30. Locations of yard grates must also be shown on the plan, where applicable.
- For construction of in-ground swimming pools the grading plan must include:
 - Location of Pool filters and equipment, and screened from view. Location of Pool backwash discharge.
 - Spot elevations along edges of pool (corners) and patio.
 - Delineation of pool fence enclosure, including type, height, and provide safety latch.
 - Drywell provided to mitigate net-increase in impervious coverage.
- Copies of approvals from all relevant outside agencies have been provided (Land Use Board, NJDEP, Monmouth County Planning Board, Freehold Soil Conservation District, etc.). Resolutions of approval and related engineering/planning letters and approved plans referenced are attached with submittal.

**FAILURE TO PROVIDE THE ABOVE LISTED ITEMS MAY RESULT IN GRADING APPLICATION DENIAL.
PREPARER'S CERTIFICATION OF SUBMITTALS:**

I hereby certify that (circle one) 1) I am the owner of the property;

or

2) I have permission from the property owner to submit the application for Grading Plan review.

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Furthermore, I certify to the best of my knowledge all information contained within this application is correct; and the survey/grading plan provided is accurate and shows all existing and proposed improvements drawn to scale and with setbacks indicated; In addition, I grant permission to the Borough of Highlands and their agents to come onto the subject property for the purposes of conducting inspections related to this application.

CHARLES FARKOUH PRES

[Printed Name & Title]


[Signature and Date] 12/10/21

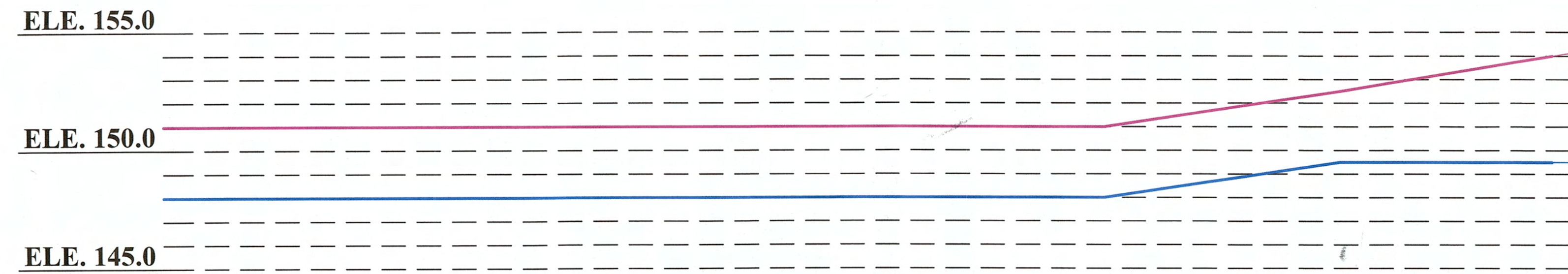
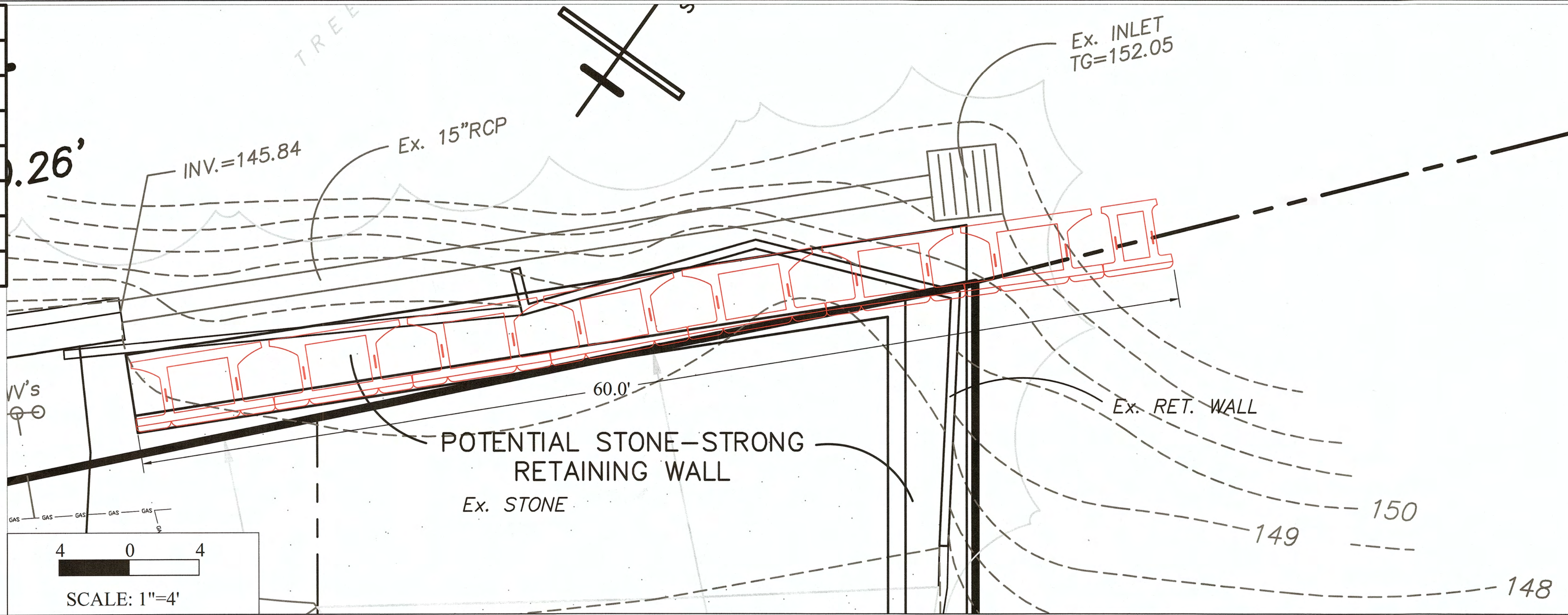
ADDITIONAL NOTE TO APPLICANT / OWNER:

The Following Mapping is Required for all Grading Plan & Swimming Pool Projects:

- An As-Built Topographic Survey is required to be submitted at completion of site-work and prior to receiving a Certificate of Occupancy. A minimum of three (3) sealed copies must be provided.
- The As-built Topographic Survey must depict, at a minimum, the following information:

As-built contours provided at a one-foot contour interval with vertical datum indicated. **Topographic As-built survey is required to be prepared and submitted to the Borough Engineer for review and approval prior to receiving a Certificate of Occupancy.** If necessary the applicant will be required to correct any deficiencies at the discretion of the Borough Engineer. As-Built Survey must be in conformance with requirements as listed on Request for Grading Plan Review Application & Checklist. As-built survey must include contours and spot elevations on the property, along property lines, top and bottom curb elevations, with 25 ft. overlap onto adjacent properties and sufficient spot elevations to determine slope of driveway, apron, sidewalks, swales, and pitch away from building foundations. Recharge system and related yard drains and piping must be shown on the As-built survey. Additionally, extensive spot elevations must be shown to confirm runoff patterns, elevations and that no runoff flows toward adjacent lots. Spot elevations must be provided at building corners, swales, swale highpoint, driveway, downspouts, driveway apron, and along curb. Location of all downspouts and yard drain piping to drywells must be shown on the plan. Any septic tank, subsurface disposal field and wells must be shown. If necessary the applicant will be required to correct any deficiencies at the discretion of the Borough Engineer. Failure to provide sufficient spot elevations may result in denial. Additionally, footprint of disturbance must be shown. Allow minimum ten (10) days for review and processing of As-built mappings and supporting documents. The Survey must be prepared by a NJ Licensed Land Surveyor.

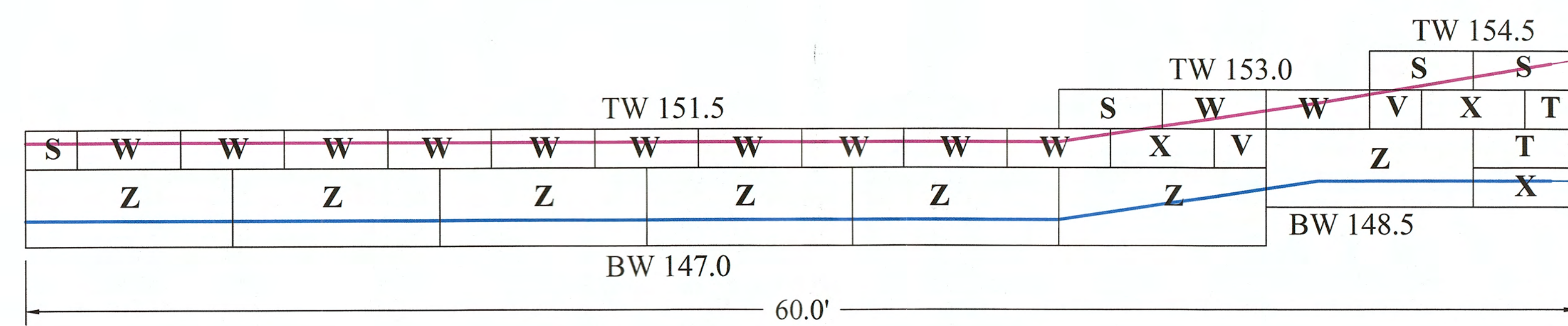
WALL 1 -BLOCK TABLE		
BLOCK	SF	QUANTITY
Z	24	7
X	6	3
W	6	12
S	9	4
T	6	2
V	3	2



■ TOP OF WALL (TW)
(ESTIMATED FROM PRELIM. GRADING WORKSHEET PLAN SET)

■ BOTTOM OF WALL (TW)
(ESTIMATED FROM PRELIM. GRADING WORKSHEET PLAN SET)

ELEVATION VIEW-WALL1



4 0 4
 SCALE: 1"=4'

PROFILE VIEW-WALL 1



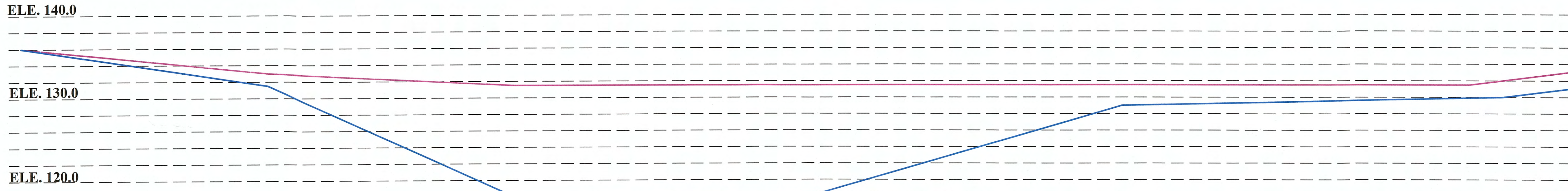
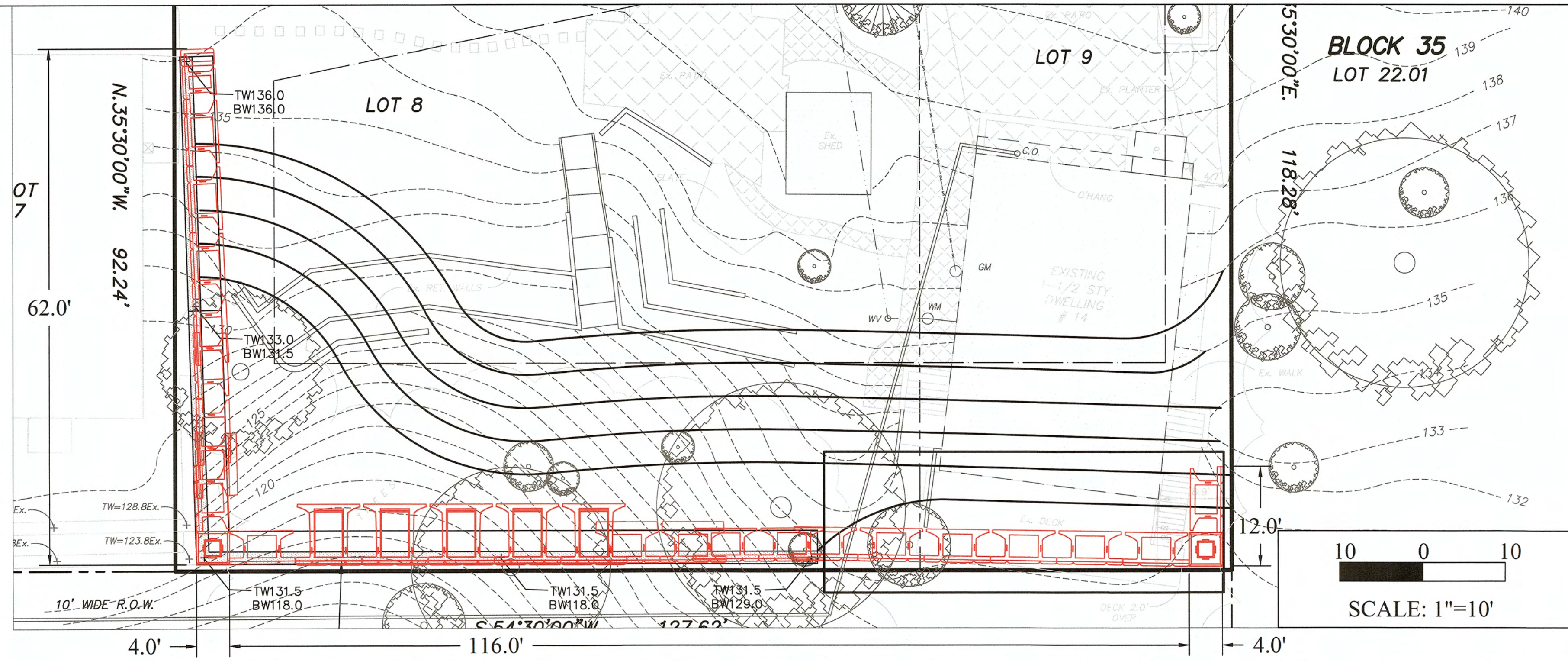
DESCRIPTION	DWG. NO.	APP. DATE
COMPILED DRAWINGS	R3	11/15/21
CONFIRMED LAYOUT	R2	11/12/21
REVISION TO DRAWINGS		

STONE STRONG SYSTEM - GRAVITY RETAINING WALL
 PROFILE / ELEVATION / PLAN VIEW - WALL 1
 HOME & LAND DEVELOPMENT
 NORTH PEAK STREET
 #21-54385

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GARDEN STATE PRECAST P.O. BOX 702 FARMINGDALE, NJ 07727 732-938-4436 732-938-7096 - FAX	SHEET 1 OF 6
---	--------------

WALL 2 - BLOCK TABLE		
BLOCK	SF	QUANTITY
Y	24	11
Z	24	30
X	6	13
W	6	19
Z12	24	8
Z86	24	5
S	9	4
U	3	6
C	6	14



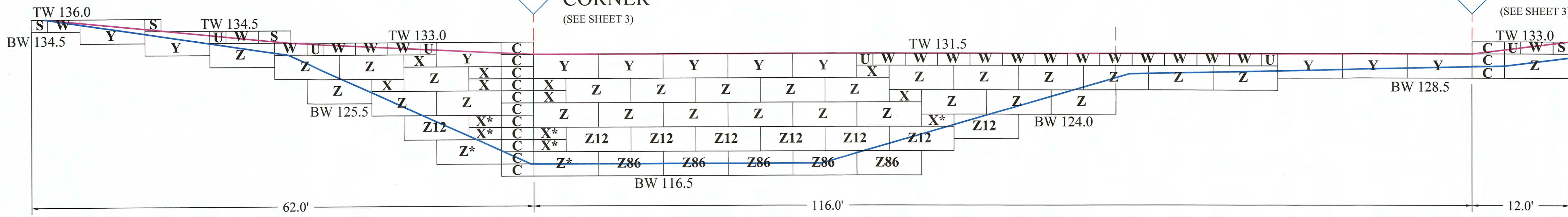
ELEVATION VIEW-WALL 2

90° OUT CORNER (SEE SHEET 3)

TOP OF WALL (TW) (FROM PRELIM. GRADING WORKSHEET PLAN SET)

BOTTOM OF WALL (TW) (FROM PRELIM. GRADING WORKSHEET PLAN SET)

90° OUT CORNER (SEE SHEET 3)



X*= X BLOCK WITH CAST-IN PLACE CONCRETE BACKFILL TO A DEPTH MINIMUM OF ADJACENT BLOCK

Z*= Z BLOCK WITH A CAST-IN PLACE CONCRETE EXTENSION

(SEE DETAILS ON SHEET 3)

PROFILE VIEW-WALL 2



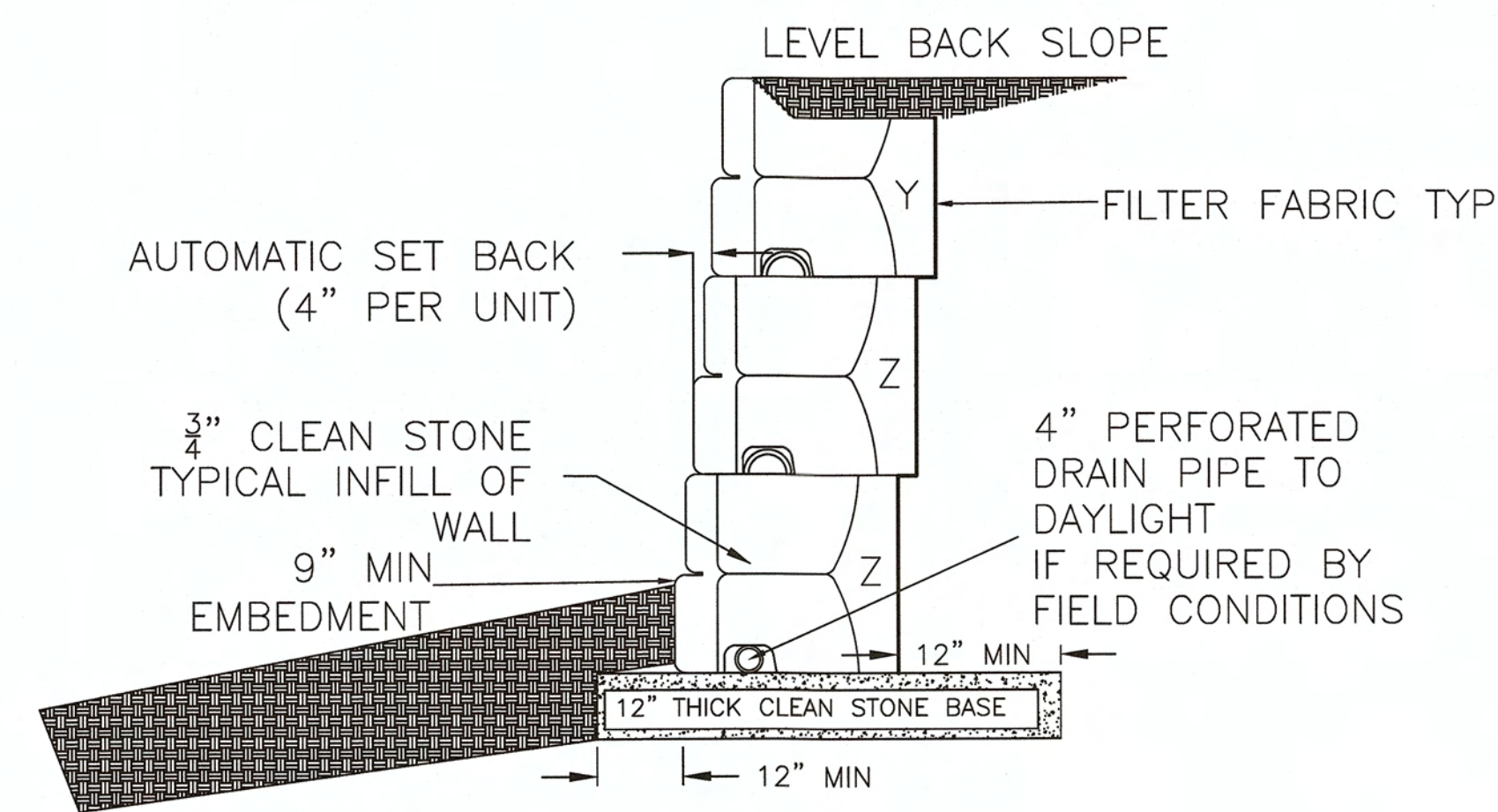
REVISION TO DRAWINGS	DESCRIPTION	DWG. NO.	APP. DATE
1	COMPILED DRAWINGS	R3	11/15/21
2	CONFIRMED LAYOUT	R2	11/12/21
3	EXTENDED WALL	R1	11/5/21

STONE STRONG SYSTEM - GRAVITY RETAINING WALL
PROFILE / ELEVATION / PLAN VIEW - WALL 2
HOME & LAND DEVELOPMENT
NORTH PEAK STREET
#21-54385

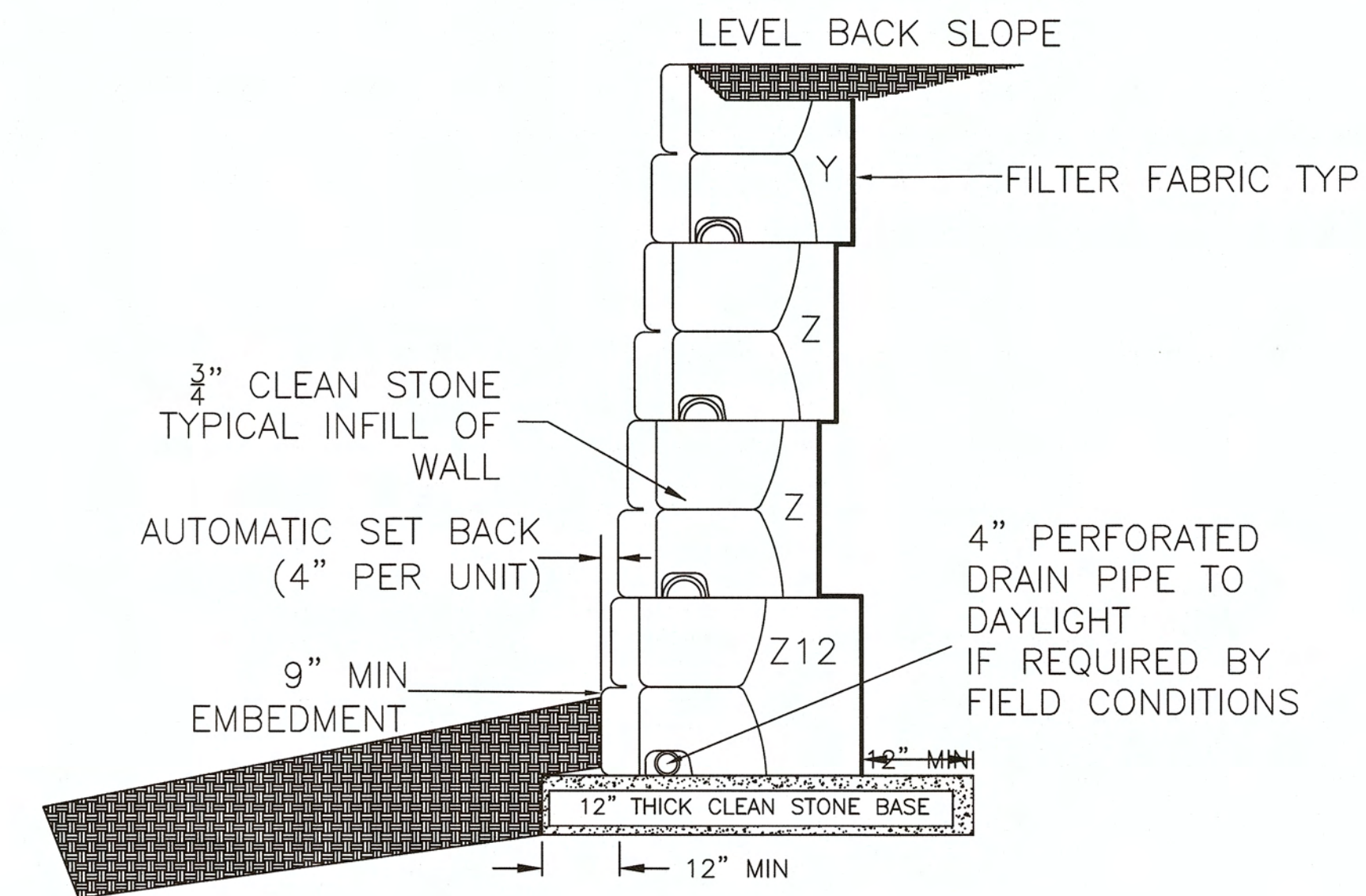
GARDEN STATE PRECAST
P.O. BOX 702
FARMINGDALE, NJ 07727
732-938-4436
732-938-7096 - FAX

RECEIVED DEC 13 2021

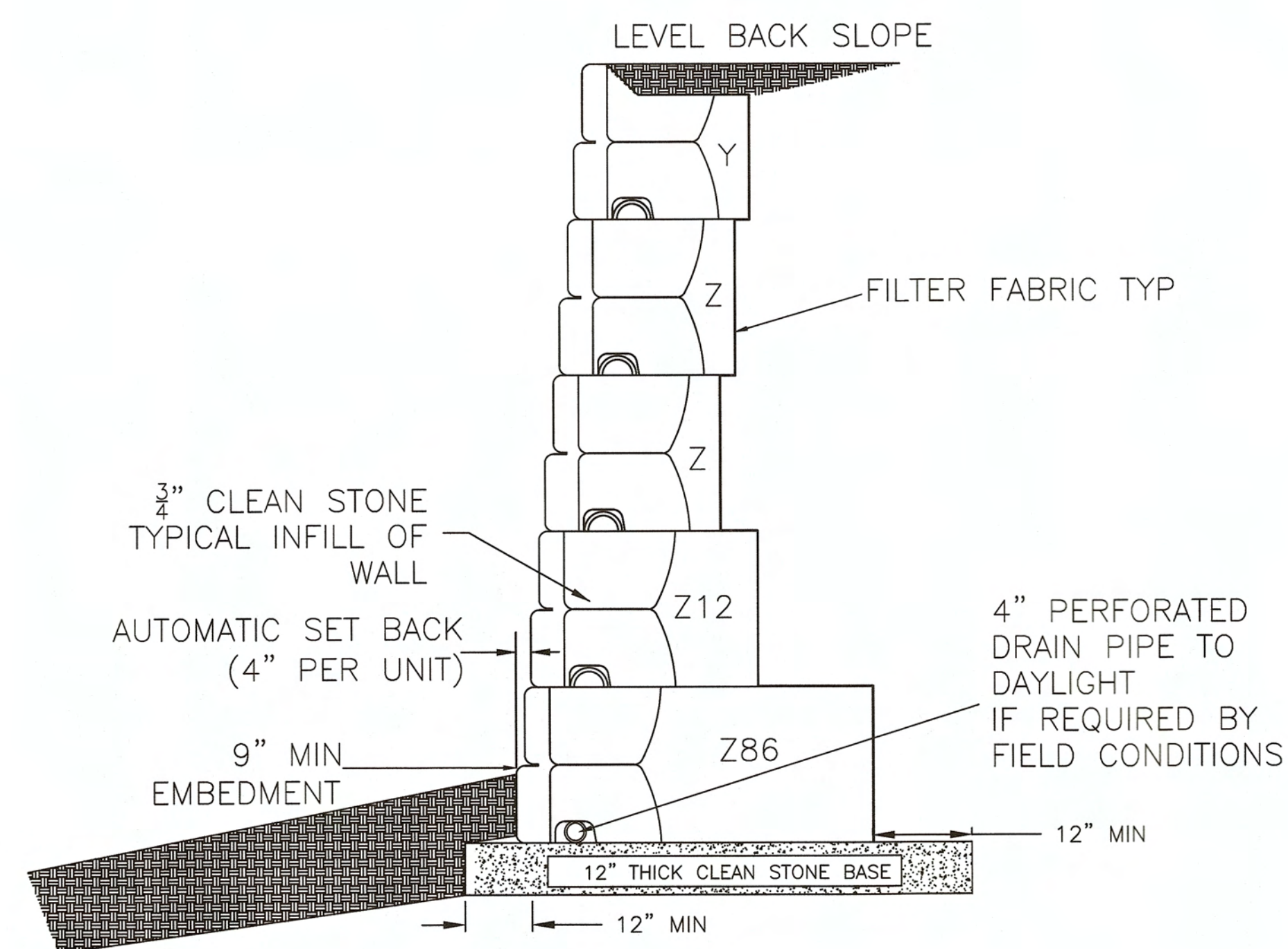
SHEET 2 OF 6



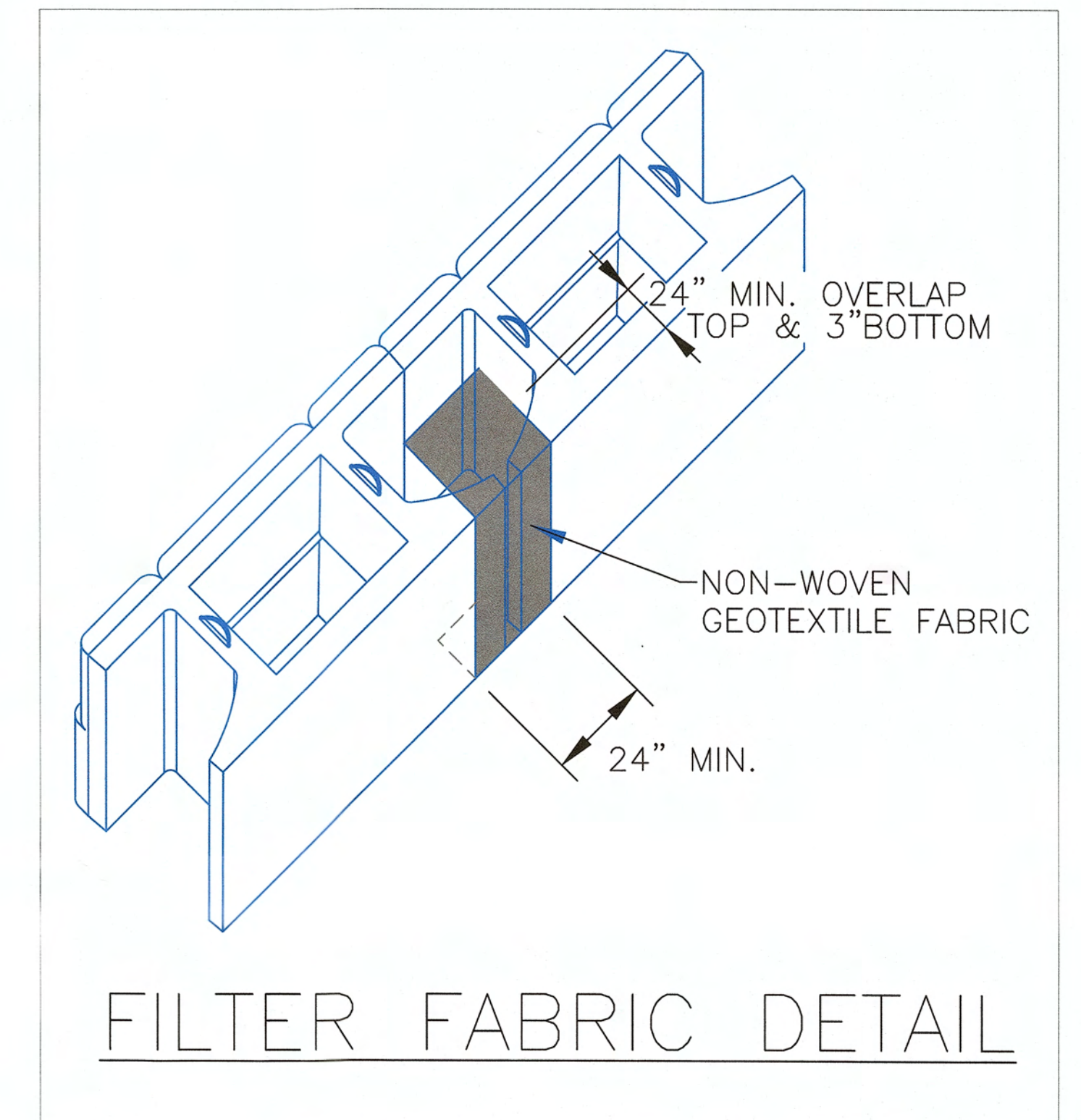
1.5-9.0 VF GRAVITY WALL
CROSS SECTION



10.5-12.0 VF GRAVITY WALL
CROSS SECTION



13.5-15.0 VF GRAVITY WALL
CROSS SECTION



FILTER FABRIC DETAIL

SCALE: NTS

COMPILED DRAWINGS	R3	11/15/21
CONFIRMED LAYOUT	R2	11/12/21
EXTENDED WALL	R1	11/5/21
DESCRIPTION	DWG. NO.	APP. DATE

REVISION TO DRAWINGS

SECTION DETAILS FOR WALL 1 AND WALL 2

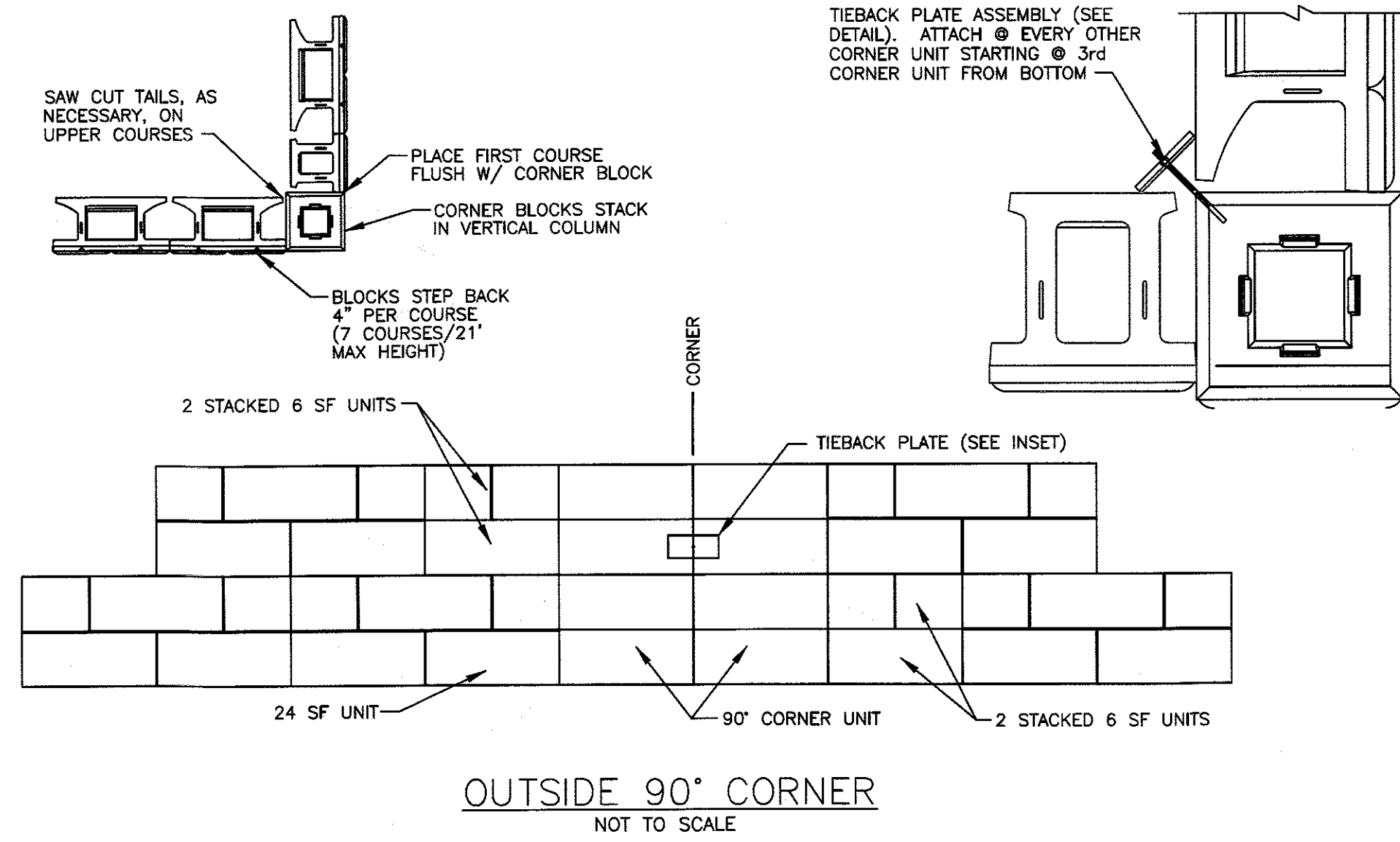
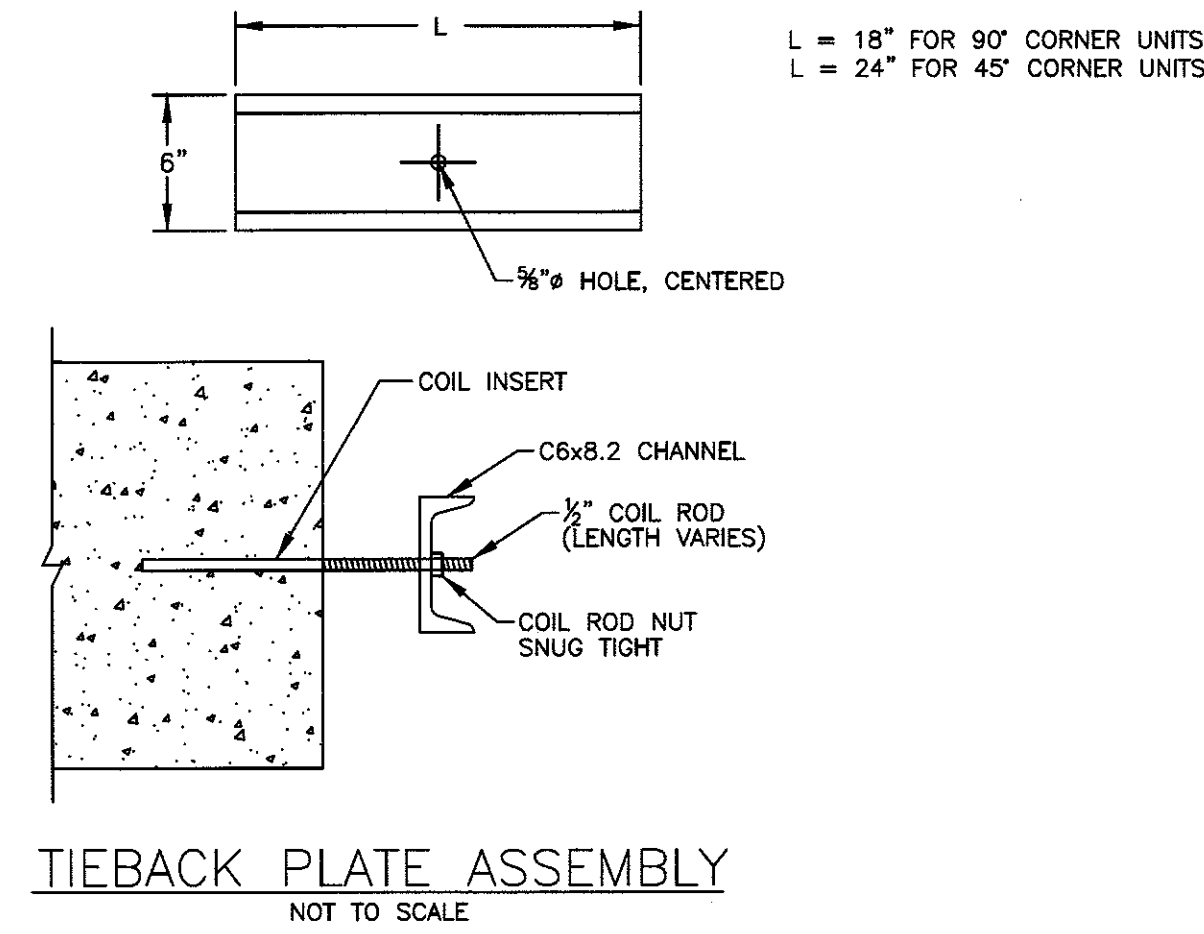
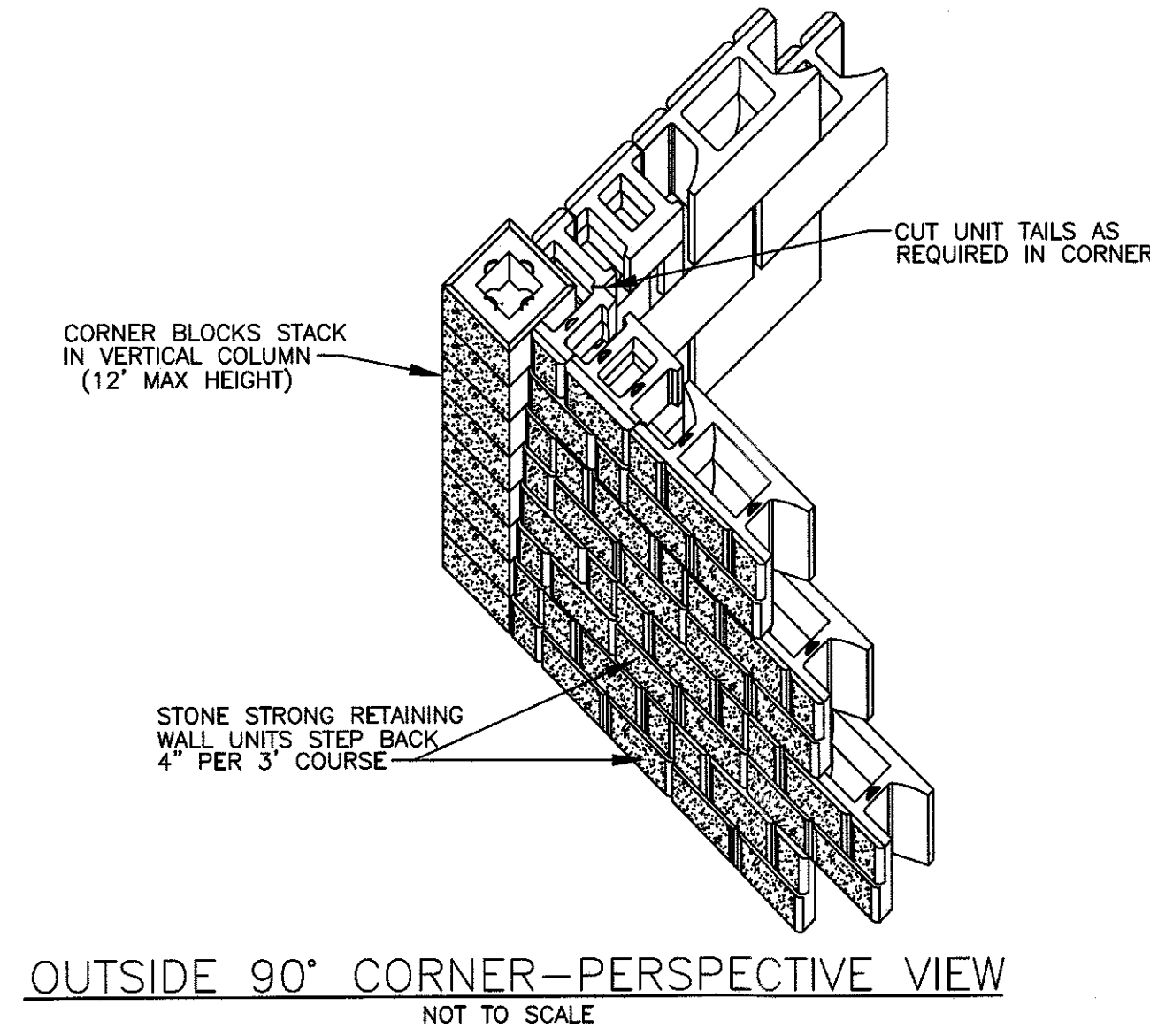
STONE STRONG SYSTEM - GRAVITY RETAINING WALL

HOME & LAND DEVELOPMENT
NORTH PEAK STREET
#21-54385

GARDEN STATE PRECAST
P.O. BOX 702
FARMINGDALE, NJ 07727
732-938-4436
732-938-7096 - FAX

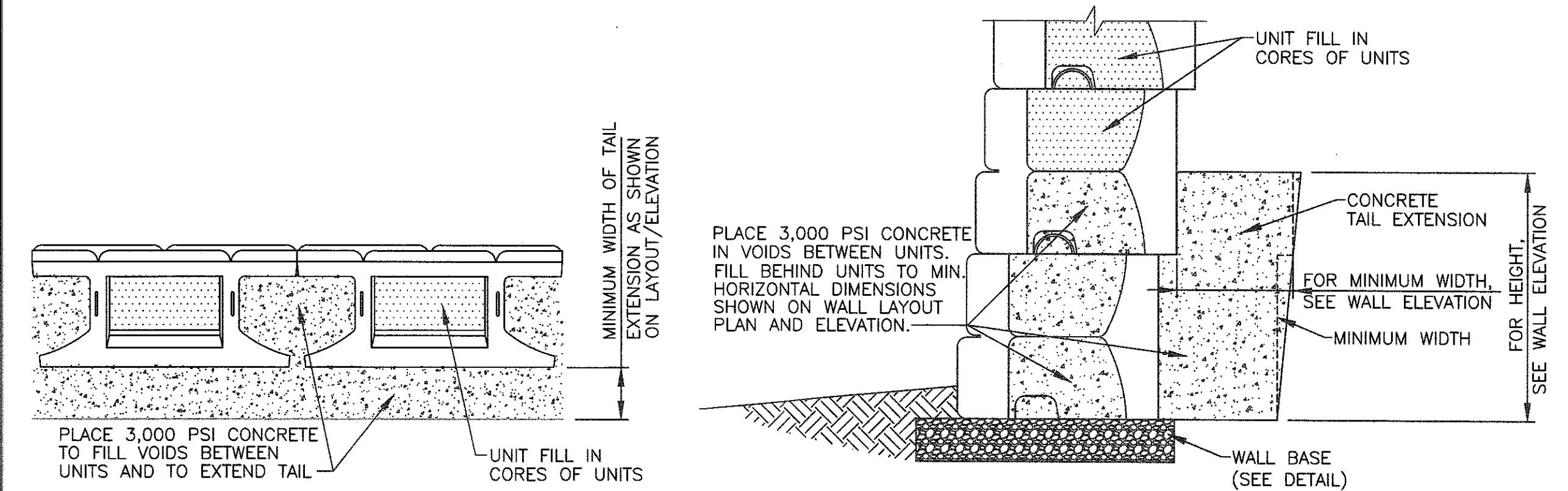
RECEIVED DEC 18 2021

NOTE:
TIEBACK RECOMMENDED FOR CORNERS 12' AND TALLER,
INSTALL TIE BACK EVERY 3' VERTICALLY
STARTING AT 3' ABOVE THE BASE.

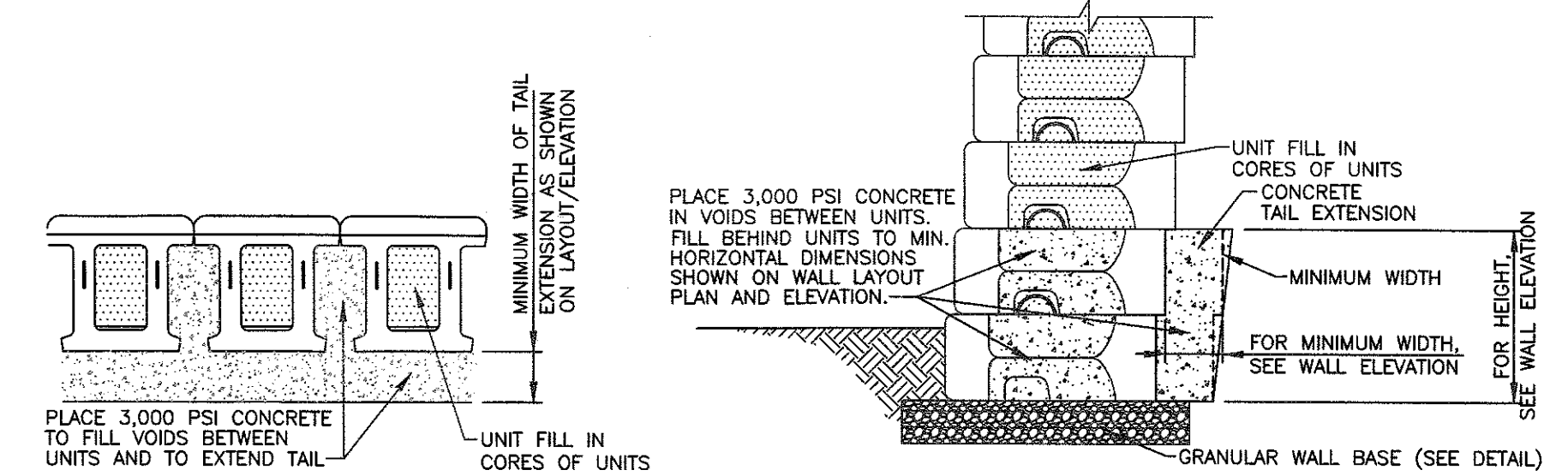


OUTSIDE 90° CORNER DETAIL

NOTE:
ON CONVEX CURVES, PROVIDE REINFORCEMENT TO ATTACH EXTENSION DUE TO REDUCED OPENING WIDTH BETWEEN TAILS.



CAST-IN PLACE CONCRETE BACKFILL TO A DEPTH MINIMUM OF ADJACENT BLOCK



CAST-IN PLACE CONCRETE BACKFILL TO A DEPTH MINIMUM OF ADJACENT BLOCK

CAST-IN PLACE TAIL EXTENSION DETAILS

MISC. DETAILS FOR WALL 2

STONE STRONG SYSTEM - GRAVITY RETAINING WALL

HOME & LAND DEVELOPMENT
NORTH PEAK STREET
#21-54385

GARDEN STATE PRECAST
P.O. BOX 702
FARMINGDALE, NJ 07727
732-938-4436
732-938-7096 - FAX

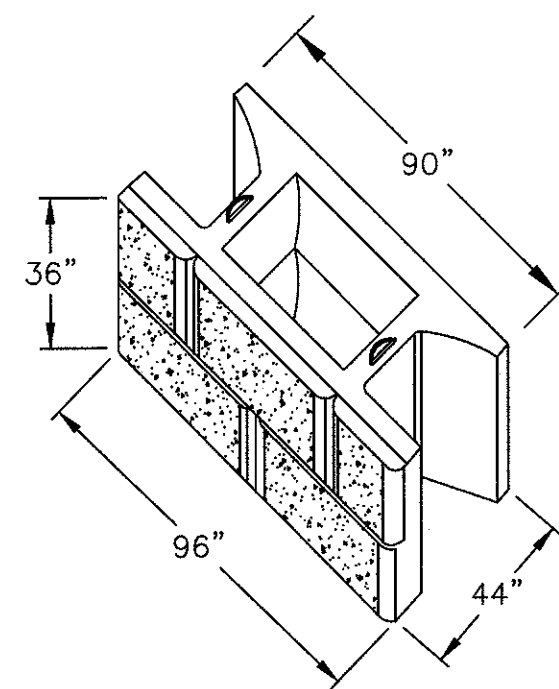
RECEIVED DEC 13 2021

SHEET 4 OF 6

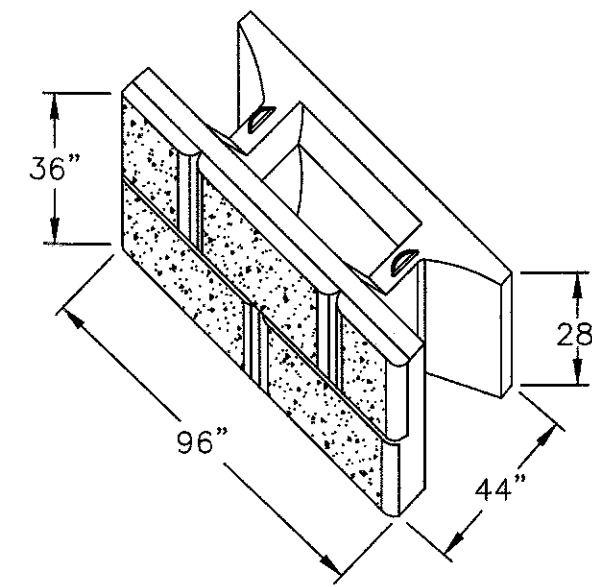
SCALE: NTS

DESCRIPTION	DWG. NO.	APP. DATE
COMPILED DRAWINGS	R3	11/15/21
CONFIRMED LAYOUT	R2	11/12/21
EXTENDED WALL	R1	11/5/21

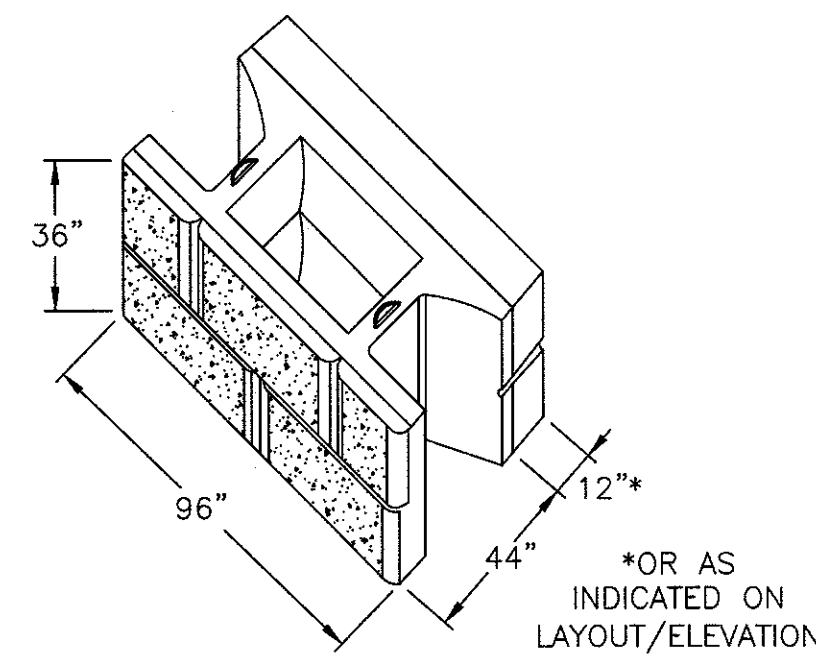
REVISION TO DRAWINGS



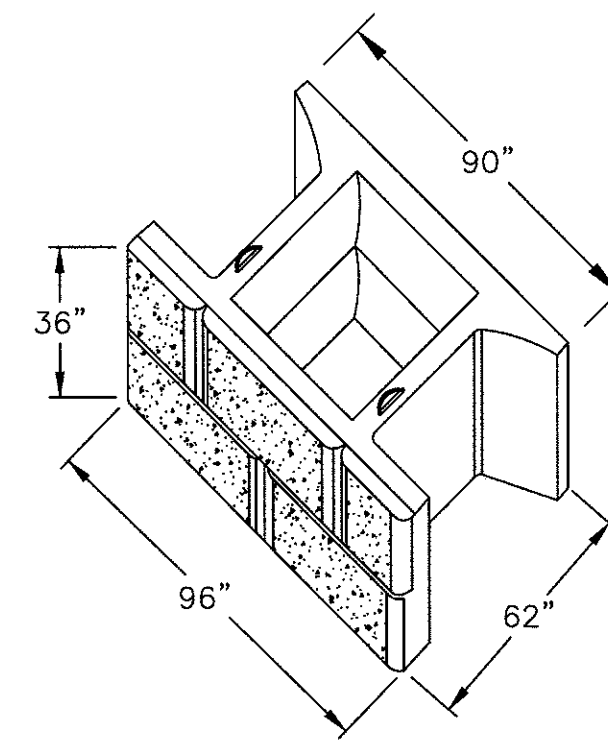
STONE STRONG
(Z) 24 SF UNIT



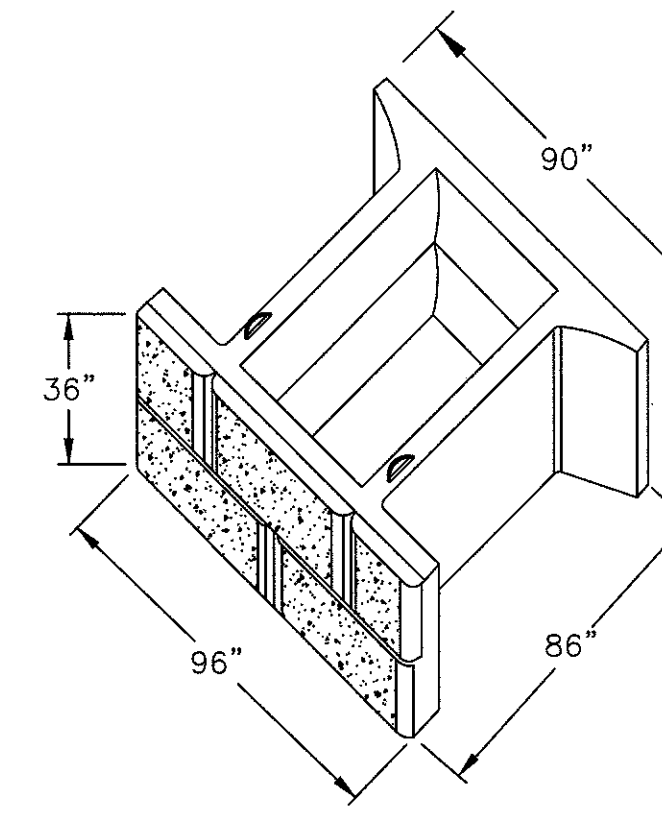
STONE STRONG
(Y) 24 SF TOP UNIT



STONE STRONG
(Z12) 24 SF MASS
EXTENDER UNIT



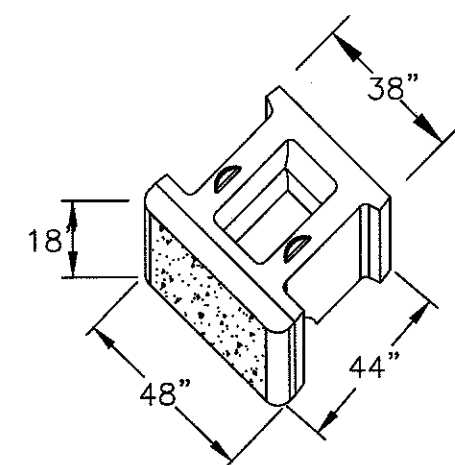
STONE STRONG
(Z62) 24 SF - 62 UNIT



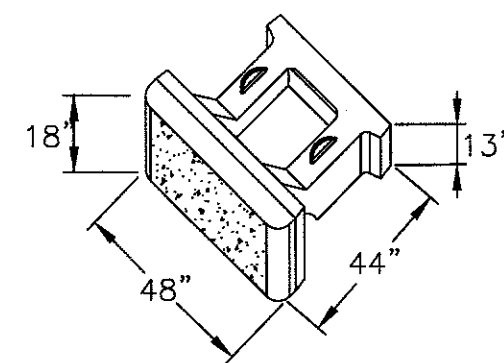
STONE STRONG
(Z86) 24 SF - 86 UNIT

COMPONENT DATA

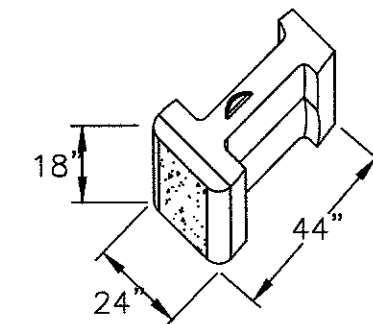
COMPONENT	BLOCK WEIGHT	CONCRETE VOLUME	ROCK IN-FILL
24 SF(Z)	6000 LB	1.50 CU YARDS	1.70 CU YARDS
24 SF TOP(Y)	5,400 LB	1.35 CU YARDS	1.50 CU YARDS
24 SF MASS EXTENDER(Z12)	10,000 LB	2.5 CU YARDS	1.70 CU YARDS
24 SF -62 UNIT(Z62)	6,600 LB	1.65 CU YARDS	2.81 CU YARDS
24 SF -86 UNIT(Z86)	7,400 LB	1.85 CU YARDS	4.27 CU YARDS
6 SF(X)	1,600 LB	0.37 CU YARDS	0.33 CU YARDS
6 SF TOP (W)	1,400 LB	0.35 CU YARDS	0.31 CU YARDS
3 SF(V)	800 LB	0.20 CU YARDS	0.17 CU YARDS
3 SF TOP(U)	720 LB	0.18 CU YARDS	0.16 CU YARDS
END UNIT(T)	1,500 LB	0.37 CU YARDS	0.00 CU YARDS
END UNIT TOP(S)	1,412 LB	0.35 CU YARDS	0.00 CU YARDS
CAP/STEP UNIT(P)	1,600 LB	0.40 CU YARDS	0.00 CU YARDS
CAP/STEP HALF UNIT(P5)	800 LB	0.20 CU YARDS	0.00 CU YARDS
DUAL FACE UNIT(Q)	3,520 LB	0.88 CU YARDS	0.00 CU YARDS
DUAL FACE HALF UNIT(Q5)	1,760 LB	0.44 CU YARDS	0.00 CU YARDS
90 DEGREE CORNER UNIT(C)	2,600 LB	0.65 CU YARDS	0.10 CU YARDS
45 DEGREE CORNER UNIT(R)	2,000 LB	0.50 CU YARDS	0.00 CU YARDS



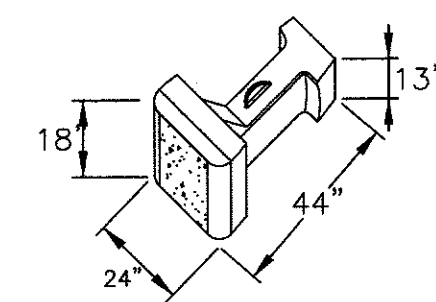
STONE STRONG
(X) 6 SF UNIT



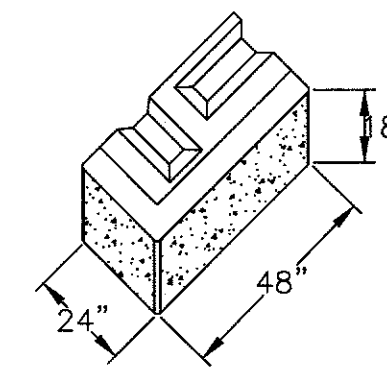
STONE STRONG
(W) 6 SF TOP UNIT



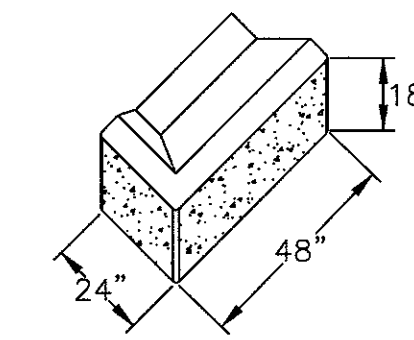
STONE STRONG
(V) 3 SF UNIT



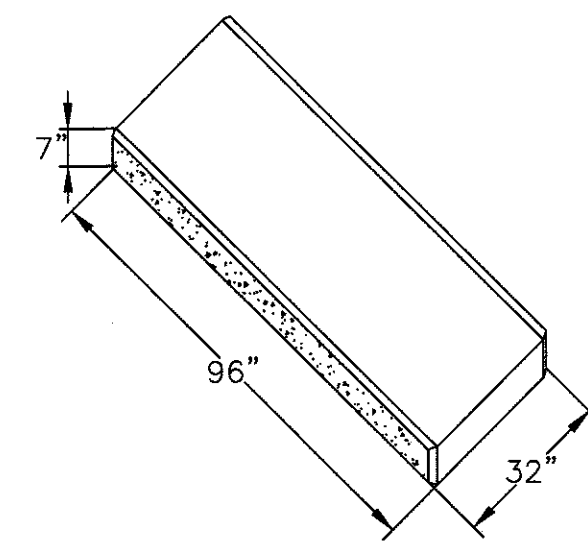
STONE STRONG
(U) 3 SF TOP UNIT



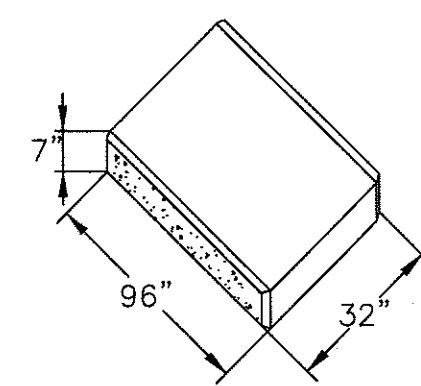
STONE STRONG
(T) END UNIT



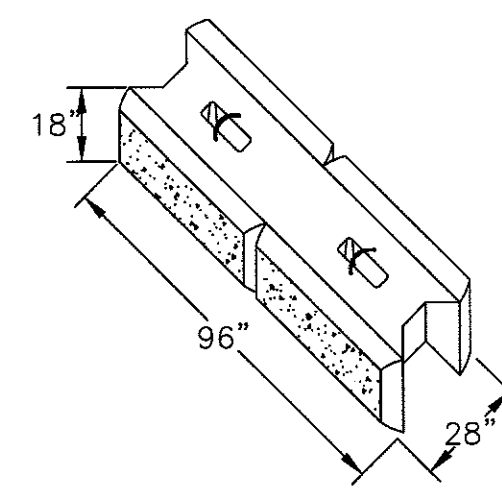
STONE STRONG
(S) TOP END UNIT



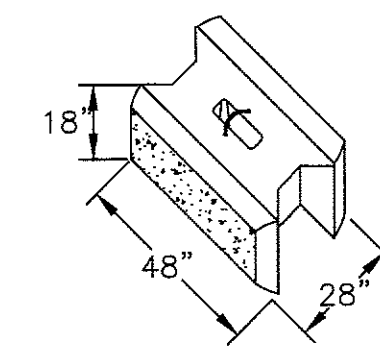
STONE STRONG
(P) CAP STEP BLOCK



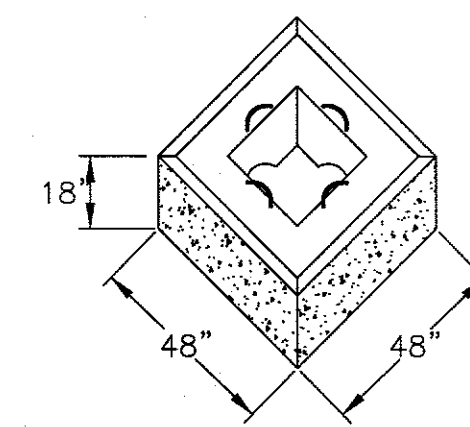
STONE STRONG
(P5) CAP STEP HALF BLOCK



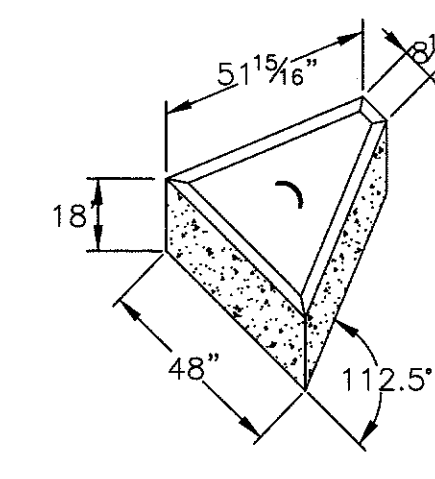
STONE STRONG
(Q) DUAL FACE UNIT



STONE STRONG
(Q5) DUAL FACE HALF UNIT



STONE STRONG
(C) 90° CORNER UNIT



STONE STRONG
(R) 45° CORNER UNIT

DESCRIPTION	DWG. NO.	APP. DATE
COMPILED DRAWINGS	R3	11/15/21
CONFIRMED LAYOUT	R2	11/12/21
EXTENDED WALL	R1	11/5/21
SUPPLEMENTAL DRAWINGS		

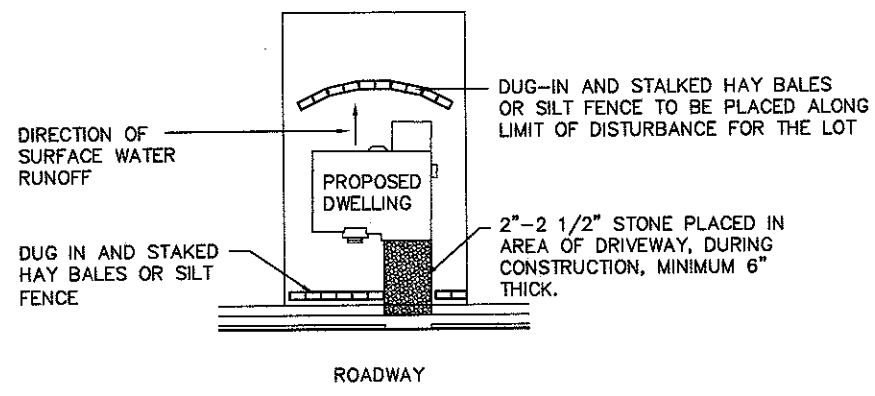
BLOCK REFERENCE

STONE STRONG SYSTEM - GRAVITY RETAINING WALL

HOME & LAND DEVELOPMENT
NORTH PEAK STREET
#21-54385

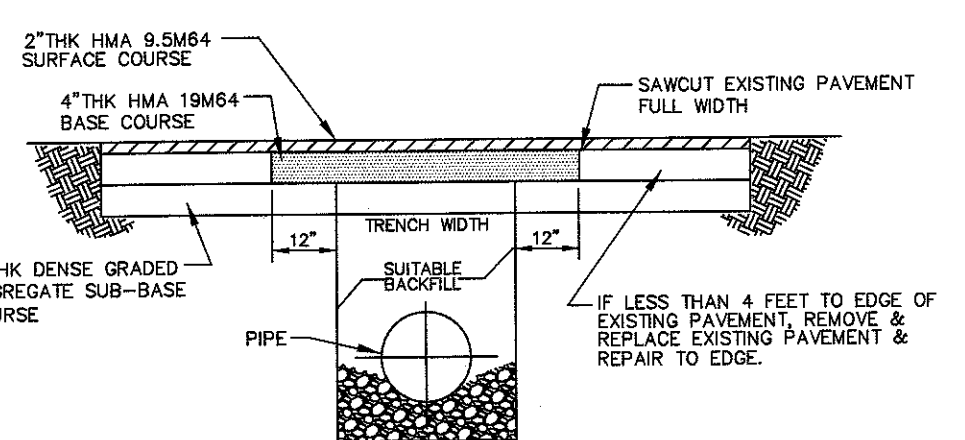
GARDEN STATE PRECAST
P.O. BOX 702
FARMINGDALE, NJ 07727
732-938-4436
732-938-7096 - FAX

RECEIVED DEC 13 2021



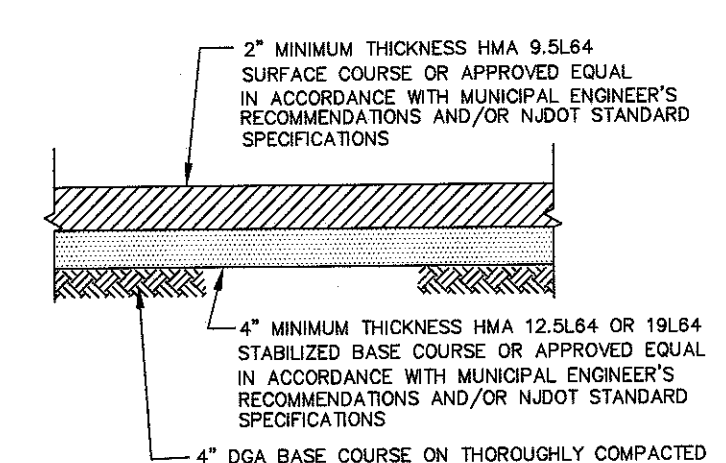
TYPICAL LOT DETAIL
N.T.S.

NOTE: RESPONSIBILITY FOR PLACEMENT AND MAINTENANCE OF SOIL EROSION MEASURES ON ANY GIVEN LOT BELONGS TO THE PERSON(S) DOING THE DISTURBANCE OR CONSTRUCTION.



MUNICIPAL PAVEMENT REPAIR
N.T.S.

SUPERFICIAL SURFACE DAMAGE CAUSED BY THE CONTRACTOR OUTSIDE THE LIMIT SHOWN, SHALL BE PAVED WITH SURFACE COURSE. IF THE BASE COURSE OF THE EXISTING PAVEMENT IS DAMAGED BEYOND THE LIMIT SHOWN, THE CONTRACTOR SHALL EXCAVATE 6\"/>

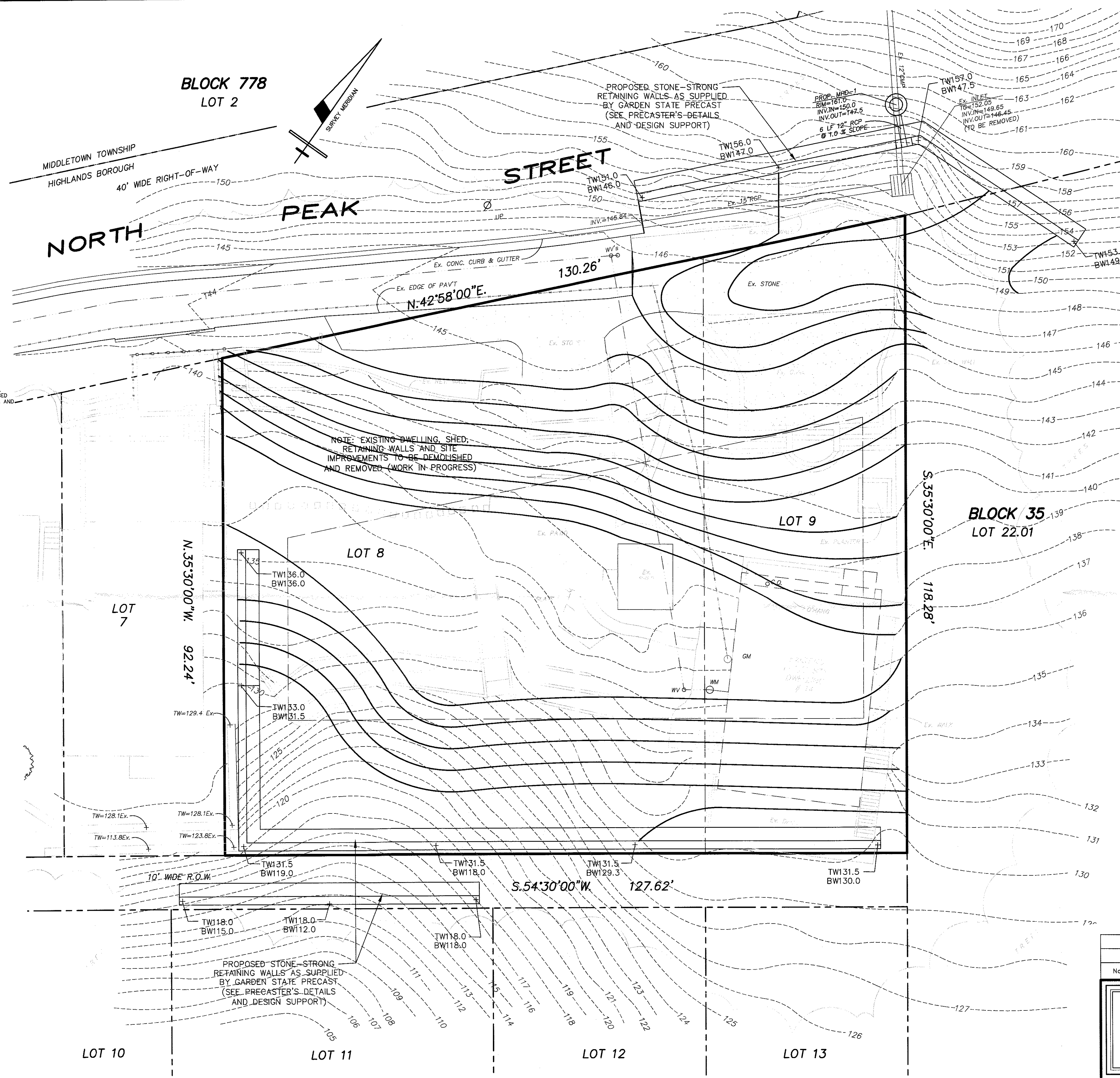


DRIVEWAY PAVEMENT SECTION
N.T.S.

ZONE DATA

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	5,000 SF	13,423 SF	N/A
MINIMUM LOT FRONTAGE	50 FT	130.26 FT	N/A
MINIMUM LOT WIDTH	50 FT	127.62 FT	N/A
MINIMUM LOT DEPTH	100 FT	105.26 FT	N/A
PRINCIPAL BUILDING			
MINIMUM FRONT YARD SETBACK	35 FT*	60.6 FT	N/A
MINIMUM SIDE YARD SETBACK	8 FT	4.7 FT(E)	N/A
TOTAL TWO SIDE YARD SETBACKS	20 FT	96.9	N/A
MINIMUM REAR YARD SETBACK	25 FT	8.6 FT(E)	N/A
MAXIMUM BUILDING HEIGHT	30 FT**	TBD	N/A
MAXIMUM BUILDING COVERAGE	30 %	TBD	N/A
MAXIMUM LOT COVERAGE	70 %	N/A	N/A

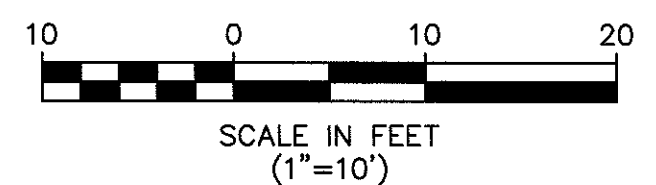
(E) = PRE-EXISTING NON-CONFORMING CONDITION
(V) = REQUIRED VARIANCE
* = 35 FT OR AVERAGE OF EXISTING FRONT YARD SETBACKS WITHIN 200 FT



GENERAL NOTES

1. THE SUBJECT PROPERTY IS KNOWN AS LOT 8 AND LOT 9 IN BLOCK 35 AS SHOWN ON SHEET 10 OF THE CURRENT TAX MAP FOR HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY. TOTAL TRACT AREA = 13,423 SF = 0.308 AC.
2. TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON IS BASED ON FIELD SURVEY MADE ON THE GROUND BY EASTERN CIVIL ENGINEERING, LLC DATED 9-22-21. ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988.
3. THE SUBJECT PROPERTY IS SITUATED IN THE R-1.01 RESIDENTIAL ZONE DISTRICT. APPLICANT PROPOSES TO DEMOLISH AND REMOVE EXISTING DWELLING, EXISTING RETAINING WALLS, PARKING AREAS AND EXISTING SITE IMPROVEMENTS. THEN CONSTRUCT A NEW RETAINING WALL AND YARD GRADING IN PREPARATION FOR FUTURE DEVELOPMENT.
4. PROPERTY OWNER'S GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE GRADING AND CONSTRUCTION ACTIVITY. CONTRACTOR SHALL CONTACT NJ ONE CALL SYSTEM AT (800)272-1000 FOR UTILITY MARK-OUT PRIOR TO EXCAVATION ON-SITE OR WITHIN MUNICIPAL RIGHT-OF-WAY.
5. ATTENTION OF THE CONTRACTOR IS DIRECTED TO THE FACT THAT APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES THAT MAY BE ENCOUNTERED WITHIN OR ADJACENT TO THE SUBJECT PROPERTY OR LIMITS OF WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER. CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION AND GRADE OF THESE UTILITIES OR OTHER CONSTRUCTION OBSTACLES PRIOR TO STARTING WORK. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES THAT MAY AFFECT THE PROJECT DESIGN.
6. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY, INCLUDING PROVISIONS FOR APPROPRIATE SAFETY DEVICES AND REQUIRED TRAINING.
7. SILT FENCE SHALL BE PLACED AROUND THE PERIMETER OF THE LIMITS OF WORK AS SHOWN ON THE PLAN AND SHALL REMAIN IN PLACE UNTIL THE LIMITS OF WORK ARE PERMANENTLY STABILIZED.
8. SOIL SHALL BE PERMANENTLY STABILIZED (SEEDED/SODDED) IN ACCORDANCE WITH CURRENT NJ SOIL EROSION AND SEDIMENT CONTROL STANDARDS PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
9. ROOF LEADER DOWNSPOUTS SHALL DISCHARGE TO SPLASH BLOCKS AT GRADE TO DIRECT RUNOFF TOWARD THE STREET, SO AS TO NOT IMPACT ADJACENT PROPERTIES.
10. SPECIAL ATTENTION SHALL BE GIVEN TO SWALES TO ENSURE POSITIVE RUNOFF AND NO PONDING ON PROPERTY.
11. A MINIMUM 2% SLOPE SHALL BE MAINTAINED AWAY FROM BUILDING FOUNDATION.
12. ANY EXISTING CURB, SIDEWALK, PAVEMENT, UTILITY LINES AND/OR STORM DRAINAGE INFRASTRUCTURE DAMAGED AS A RESULT OF THIS PROJECT SHALL BE REPLACED AT THE DIRECTION OF THE MUNICIPAL ENGINEER PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
13. A ROAD OPENING PERMIT IS REQUIRED FROM THE DEPARTMENT OF PUBLIC WORKS PRIOR TO STARTING WORK IN THE RIGHT-OF-WAY, INCLUDING CURB, DRIVEWAY APRON, AND/OR SIDEWALK IMPROVEMENTS.
14. IT IS THE APPLICANT'S RESPONSIBILITY TO ENSURE ADHERENCE TO MUNICIPAL ORDINANCES AND TO FREEHOLD SOIL CONSERVATION DISTRICT REGULATIONS REGARDING SOIL EROSION AND SEDIMENT CONTROL MEASURES. APPLICANT SHALL COMPLY WITH FEDERAL, STATE, COUNTY, NJDEP AND LOCAL REGULATIONS PRIOR TO ANY CONSTRUCTION ON THE PROPERTY.
15. SHOULD ANY PORTION OF THE POST-DEVELOPMENT IMPROVEMENTS IMPACT DRAINAGE CONDITIONS ON THE LOT OR ADJACENT PROPERTIES, THE APPLICANT WILL BE REQUIRED TO SUBMIT ADDITIONAL AS-BUILT SURVEYS AND SUBSEQUENTLY CORRECT ANY DEFICIENCIES AT THE DIRECTION OF THE BOROUGH ENGINEER.
16. ANY DEVIATIONS FROM THE APPROVED GRADING PLAN, INCLUDING FLIPPING HOUSE AND DRIVEWAY MODIFICATIONS, REQUIRE WRITTEN NOTICE TO THE BOROUGH ENGINEER'S OFFICE AND ARE SUBJECT TO REVIEW.
17. ALL CONSTRUCTION APPROVALS AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY ARE SUBJECT TO FINAL INSPECTION BY THE BOROUGH ENGINEER AND BUILDING DEPARTMENT OFFICIALS.

OWNER / APPLICANT:
HOME & LAND DEVELOPMENT CORP.
88-1 PORTLAND ROAD
HIGHLANDS, NJ 07732



RECEIVED DEC 13 2021

No.	DATE	REVISION	BY

EASTERN CIVIL ENGINEERING, LLC
CIVIL ENGINEERING - SURVEYING & MAPPING - LAND USE PLANNING - SITE DESIGN

31 GRAND TOUR, HIGHLANDS NJ 07732 PHONE: 732.872.7736

PRELIMINARY GRADING WORKSHEET FOR
HOME & LAND DEVELOPMENT CORP.
BLOCK 35 LOTS 8 AND 9
TAX MAP SHEET NO. 10

HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY

ANDREW R. STOCKTON
PROFESSIONAL ENGINEER & LAND SURVEYOR
NEW JERSEY LIC. NO. 35405

DATE:	SCALE:	DESIGN BY:	PROJECT NO.:	SHEET NO.:
12-02-21	1" = 20'	ARS	2101980	1 of 1

APPENDIX C

TREE REMOVAL PERMITS

1. Email correspondence regarding Tree Permit Applications dated September 27, 2021.
2. Tree Permit Application dated September 21, 2021.
3. Tree Permit Application dated September 22, 2021.



Christian Lee <christian.r.lee@gmail.com>

Tree Permit applications for 14 and 32 North Peak Street

2 messages

Nancy Tran <ntran@highlandsborough.org> Mon, Sep 27, 2021 at 10:52 AM
To: CHRISTIAN LEE <christian.r.lee@gmail.com>
Cc: "gnf718@aol.com" <gnf718@aol.com>, "Kevin Rooney, Cashier" <cashier@highlandsborough.org>, "William F. Brunt, Jr." <code@highlandsborough.org>

Hi Christian,

Attached are the 2 tree permit applications that we just received. Please let me know if you need anything else.

Nancy Tran

Borough of Highlands

42 Shore Dr.

Highlands, NJ 07732

(732) 872-1224 x202

www.highlandsborough.org

2 attachments

 **Block 35 Lot 8 32 North Peak TreePermit 20210927.pdf**
212K

 **Block 35 Lot 9 14 North Peak TreePermit 20210927.pdf**
499K

Christian Lee <christian.r.lee@gmail.com> Mon, Sep 27, 2021 at 8:18 PM
To: "gnf718@aol.com" <gnf718@aol.com>
Cc: "Kevin Rooney, Cashier" <cashier@highlandsborough.org>, "William F. Brunt, Jr." <code@highlandsborough.org>, Nancy Tran <ntran@highlandsborough.org>

Hello Mr. Farkouh,

Please find your approved tree permits attached.

Thank you

Christian Lee, Ph.D.
Shade Tree Commissioner
Borough of Highlands
732-582-4203

CONFIDENTIALITY NOTICE: This communication, together with any attachments hereto or links contained herein, is for the sole use of the intended recipient(s) and may contain information that is confidential or legally protected. If you are not

the intended recipient, you are hereby notified that any review, disclosure, copying, dissemination, distribution or use of this communication is STRICTLY PROHIBITED. Unauthorized interception, review, use or disclosure is prohibited and may violate applicable laws including the Electronic Communications Privacy Act. If you have received this communication in error, please notify the sender immediately by return e-mail message and delete the original and all copies of the communication, along with any attachments hereto or links herein, from your system.

[Quoted text hidden]

2 attachments

Block 35 Lot 8 32 North Peak TreePermit 20210927_approved.pdf

212K



Block 35 Lot 9 14 North Peak TreePermit 20210927_approved.pdf

497K



Borough of Highlands
 42 Shore Drive, Highlands, NJ 07732
 Phone: (732) 872-1224
 www.highlandsborough.org

Tree Permit Application

APPLICANT Name: Home & Land Develop Corp Date: 9/21/21
 Phone# 967 684411 Email: GW718@ADL.com
 Address: 32 NORTH PEAK Block 35 Lot 8

TREE INFORMATION

Tree #	Type	Diameter	Height
Tree #1	SOFT MAPLE	6"	25'
Tree #2	HICKORY	12"	50'
Tree #3	HICKORY	8"	40'
Tree #4	HICKORY	12"	50'
Tree #5	DEAD WILLOW	15"	60'
Tree #6	MAPLE "DEAD" Hollow	16"	60'
Tree #7	"Broken up Hickory"	16"	60'
Tree #8	DEAD Cherry	6"	20'
Tree #9	Hickory 4"	4"	25'
Tree #10	Hickory 4"	4"	30'

Reason for removal: Prep work for new home & build

INSTRUCTIONS

Are you the owner of the property? YES X NO _____

If no, we need a letter signed from your landlord with permission to do so.

If more than ten (10) trees are to be removed, you must see the Building Department secretary.

Must be accompanied by a survey or tax map showing tree location(s) to be removed.

Tree must be marked by having a red ribbon tied around it –supplied by Borough upon application. ✓

Application Fee \$25.00 per tree –NON-REFUNDABLE

Amount paid \$ _____ Check # _____ Cash _____

BOROUGH HALL USE ONLY

Applicant is hereby: Approved X Denied _____ Date September 27, 2021

Applicant is hereby required to replace removed tree(s) as follows:

Type of tree to be planted landscape project on completion

Location of replacement tree(s) project site

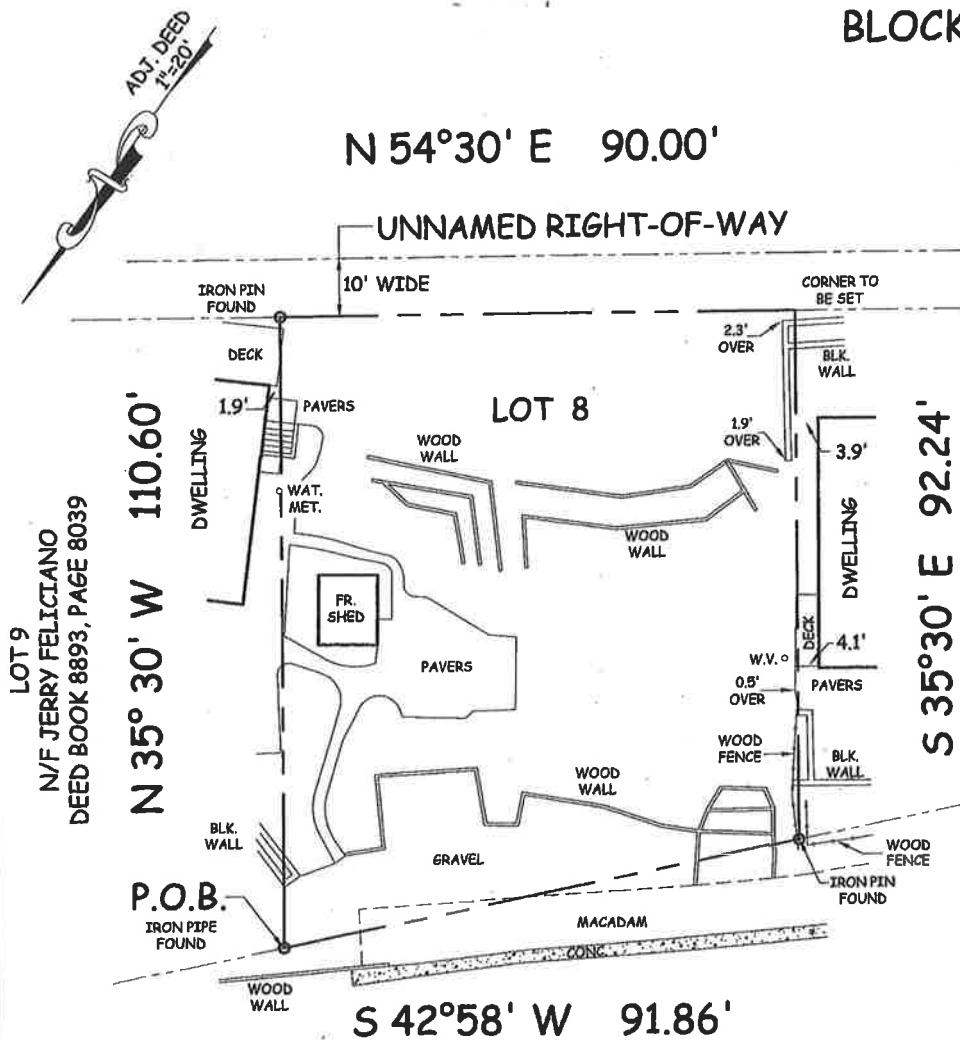
Applicant is not required to replace tree(s) buy must pay \$ X in lieu of replacing the tree(s).

Work to be done by a licensed tree service and all debris to be removed.

Christian Lee
 Official Signature

N 54°30' E 90.00'

UNNAMED RIGHT-OF-WAY



NORTH PEAK STREET
40' R.O.W.

PREMISES COMMONLY KNOW AS
#32 NORTH PEAK STREET.

REFERENCES:

DEED BOOK 8893, PAGE 8034; BOROUGH OF
HIGHLANDS TAX MAP SHEET 10.

CORNER MARKERS TO BE
SET AT A LATER DATE.

TITLE #315-174444

	BRUNSWICK WEBB, INC. <small>LICENSED LAND SURVEYORS 219 1/2 SOUTH MAIN STREET FLEMINGTON, NEW JERSEY 08822-1783 PHONE (908) 284-0988 FAX (908) 284-2819</small>	I HEREBY CERTIFY THIS SURVEY TO: THOMAS WALSH AND OLIVIA HORTON; CHAMLIN, ULIANO AND WALSH; ANDREW WALSH, ESQUIRE; FOUNDATION TITLE, LLC - EATONTOWN; FIDELITY NATIONAL TITLE INSURANCE COMPANY. 	
	PLAN OF SURVEY THOMAS WALSH AND OLIVIA HORTON BOROUGH OF HIGHLANDS MONMOUTH, NEW JERSEY BLOCK 35, LOT 8 C.A. #246A28022700		
	Drawn by <u>RSZ</u> Job No. <u>21.1249</u> Date <u>5/17/2021</u> Checked by <u>HP</u> Drawing No. _____ Scale <u>1"=20'</u>		RICHARD S. ZINN N.J.L.S. 34888



BRUNSWICK WEST, INC.

LICENSED LAND SURVEYORS

219 1/2 SOUTH MAIN STREET FLEMINGTON, NEW JERSEY 08822

PHONE: (908) 284-0888 FAX: (908) 284-2818

EMAIL: BRUNSWICKWEST@EMBARQMAIL.COM

Legal Description

N/F Thomas Walsh & Olivia Horton

Block 35, Lot 8

Borough of Highlands-Monmouth County, NJ

Beginning at an iron pipe in the southeasterly line of North Peak Street (40' R.O.W.), where the same is intersected by the common line dividing Lots 8 & 9 in Block 35, said point also being the most westerly corner of Lot 9, Lands N/F Jerry Feliciano (Deed Book 8893, Page 8039) and thence,

- 1. Along the southeasterly line of North Peak Street, S. 42 degrees 58 minutes 00 seconds W. 91.86' to an iron pin and thence,*
- 2. S. 35 degrees 30 minutes 00 seconds E. 92.24' to a point in the northwesterly line of an unnamed right-of-way and thence,*
- 3. Along the same, N. 54 degrees 30 minutes 00 seconds E. 90.00' to an iron pin and thence,*
- 4. N. 35 degrees 30 minutes 00 seconds W. 110.60' to the point or place of beginning.*

The above described lands are known as Lot 8 in Block 35 as shown on the current Official Tax Maps of the Borough of Highlands.

Premises more commonly known as 32 North Peak Street.

The above description is in accordance with a survey prepared by Brunswick West, Inc. dated 5/17/2021 as File No. 21.1249.

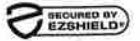
Richard S. Zinn, NJLS
License #34888

RICHARD S. ZINN
N.J.L.S. 34888



HOME & LAND DEVELOPMENT CORP
 88-1 PORTLAND RD
 HIGHLANDS, NJ 07732

210129



55-138/212

Date 9/24/21

Pay to the
order of

Bussel at Hilltop
two hundred fifty dollars

\$ 250.00

Dollars

Security Features
Details on Back

VALLEY BANK
WWW.VALLEY.COM

For 32 N. PEAK

⑈ 210129 ⑆ 021201383 ⑆ 000044300130 ⑆

©CHECKS UNLIMITED™ BLUE SAFETY

MP



Borough of Highlands
 42 Shore Drive, Highlands, NJ 07732
 Phone: (732) 872-1224
 www.highlandsborough.org

Tree Permit Application

APPLICANT Name: Hong Island Dulap Corp Date: 9/22/21
 Phone# 917 686 4111 Email: lucifer@dul.com
 Address: 14 North Peak Block 35 Lot 9

TREE INFORMATION

Tree #1 Type	<u>White Oak</u>	Diameter	<u>24"</u>	Height	<u>35'</u>
Tree #2 Type	<u>Black Cherry Dead</u>	Diameter	<u>10"</u>	Height	<u>12'</u>
Tree #3 Type	<u>North Maple</u>	Diameter	<u>14"</u>	Height	<u>50'</u>
Tree #4 Type	<u>White Oak Beam</u>	Diameter	<u>24"</u>	Height	<u>35'</u>
Tree #5 Type	<u>Sliver Cherry</u>	Diameter	<u>8"</u>	Height	<u>30'</u>
Tree #6 Type	<u>Black Oak</u>	Diameter	<u>8"</u>	Height	<u>50'</u>
Tree #7 Type	<u>Hickory</u>	Diameter	<u>14"</u>	Height	<u>55'</u>
Tree #8 Type	<u>Norway Maple</u>	Diameter	<u>6"</u>	Height	<u>35'</u>
Tree #9 Type	<u>Other tree</u>	Diameter	<u>14"</u>	Height	<u>70'</u>
Tree #10 Type	<u>Compound Maple Tree</u>	Diameter	<u>20"</u>	Height	<u>70'</u>

Reason for removal: new home & build new entrance walkway
Fix entrance.

INSTRUCTIONS

Are you the owner of the property? YES NO

If no, we need a letter signed from your landlord with permission to do so.

If more than ten (10) trees are to be removed, you must see the Building Department secretary.

Must be accompanied by a survey or tax map showing tree location(s) to be removed.

Tree must be marked by having a red ribbon tied around it –supplied by Borough upon application.

Application Fee \$25.00 per tree –**NON-REFUNDABLE**

Amount paid \$ _____ Check # _____ Cash _____

BOROUGH HALL USE ONLY

Applicant is hereby: Approved Denied Date September 27, 2021

Applicant is hereby required to replace removed tree(s) as follows:

Type of tree to be planted landscape project upon completion

Location of replacement tree(s) project site

Applicant is not required to replace tree(s) buy must pay \$ X in lieu of replacing the tree(s).

Christian Lee

Official Signature

Work to be done by a licensed tree service and all debris to be removed.



LOT 22.01
N/F SANDY HOOK INTERIORS, INC.

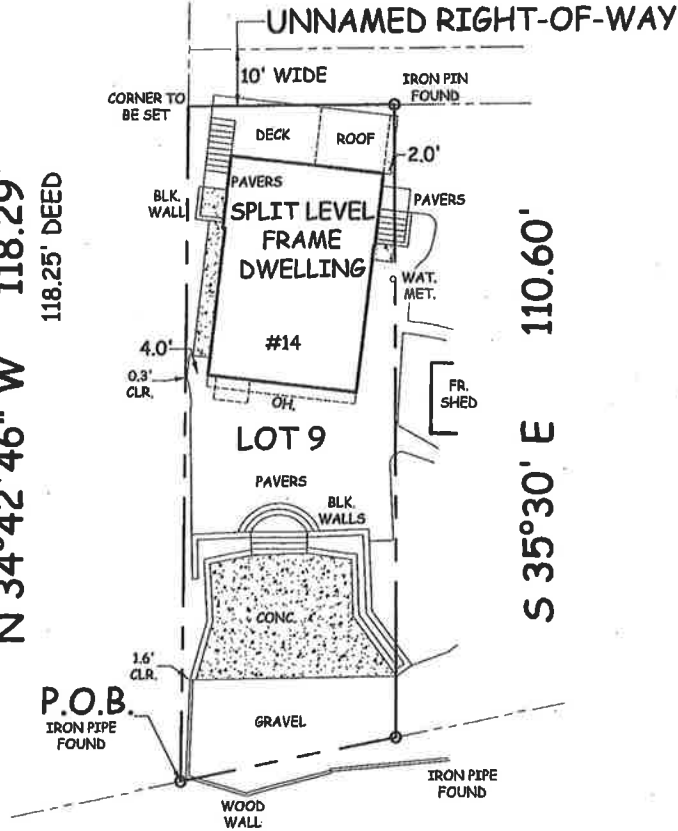
N 34°42'46" W 118.29'
118.25' DEED

P.O.B.
IRON PIPE FOUND

WOOD WALL

S 42°58' W 38.40'

NORTH PEAK STREET
40' R.O.W.



S 35°30' E 110.60'

REFERENCES:

DEED BOOK 8893, PAGE 8039; BOROUGH OF HIGHLANDS TAX MAP SHEET 10.

CORNER MARKERS TO BE SET AT A LATER DATE.

	BRUNSWICK WEST, INC. <small>LICENSED LAND SURVEYORS</small> 219 1/2 SOUTH MAIN STREET FLEMINGTON, NEW JERSEY 08822-1703 PHONE (908) 284-0988 FAX (908) 284-2018	I HEREBY CERTIFY THIS SURVEY TO: THOMAS WALSH AND OLIVIA HORTON; CHAMLIN, ULIANO AND WALSH; ANDREW WALSH, ESQUIRE; FOUNDATION TITLE, LLC - EATONTOWN; FIDELITY NATIONAL TITLE INSURANCE COMPANY. 	
	PLAN OF SURVEY THOMAS WALSH AND OLIVIA HORTON BOROUGH OF HIGHLANDS MONMOUTH, NEW JERSEY BLOCK 35, LOT 9 C.A. #246A28022700		
	Drawn by <u>RSZ</u> Job No. <u>21.1250</u> Date <u>01/17/2021</u> Checked by <u>HP</u> Drawing No. _____ Scale <u>1"=20'</u>		RICHARD S. ZINN N.J.L.S. 34888



BRUNSWICK WEST, INC.

LICENSED LAND SURVEYORS

219 1/2 SOUTH MAIN STREET FLEMINGTON, NEW JERSEY 08822

PHONE: (908) 284-0888 FAX: (908) 284-2818

EMAIL: BRUNSWICKWEST@EMBARQMAIL.COM

Legal Description

N/F Thomas Walsh & Olivia Horton

Block 35, Lot 9

Borough of Highlands-Monmouth County, NJ

Beginning at an iron pipe in the southeasterly line of North Peak Street (40' R.O.W.), where the same is intersected by the common line dividing Lots 9 & 22.01 in Block 35, said point also being the most westerly corner of Lot 22.01, Lands N/F Sandy Hook Interiors, Inc. and thence,

- 1. Along the southeasterly line of North Peak Street, S. 42 degrees 58 minutes 00 seconds W. 38.40' to an iron pipe and thence,*
- 2. S. 35 degrees 50 minutes 00 seconds E. 110.60' to an iron pin in the northwesterly line of an unnamed right-of-way and thence,*
- 3. Along the same, N. 54 degrees 30 minutes 00 seconds E. 36.00' to a point and thence,*
- 4. N. 34 degrees 42 minutes 46 seconds W. 118.29' to the point or place of beginning.*

The above described lands are known as Lot 9 in Block 35 as shown on the current Official Tax Maps of the Borough of Highlands.

Premises more commonly known as 14 North Peak Street.

The above description is in accordance with a survey prepared by Brunswick West, Inc. dated 5/17/2021 as File No. 21.1250.

Richard S. Zinn, NJLS
License #34888

RICHARD S. ZINN
N.J.L.S. 34888

BLOCK 778
LOT 2

MIDDLETOWN TOWNSHIP
HIGHLANDS BOROUGH

UP ϕ **NORTH**

40' WIDE RIGHT-OF-WAY N.42.58'00"E. ϕ UP

PEAK
130.26'

ST

432.20' TO THE NORTHERLY
LINE OF VALLEY AVENUE

(P.O.B.)

1.000' FD

CONC. CURB & GUTTER
EDGE OF PAV'T

91.86'

WV'S ϕ

15" ROP

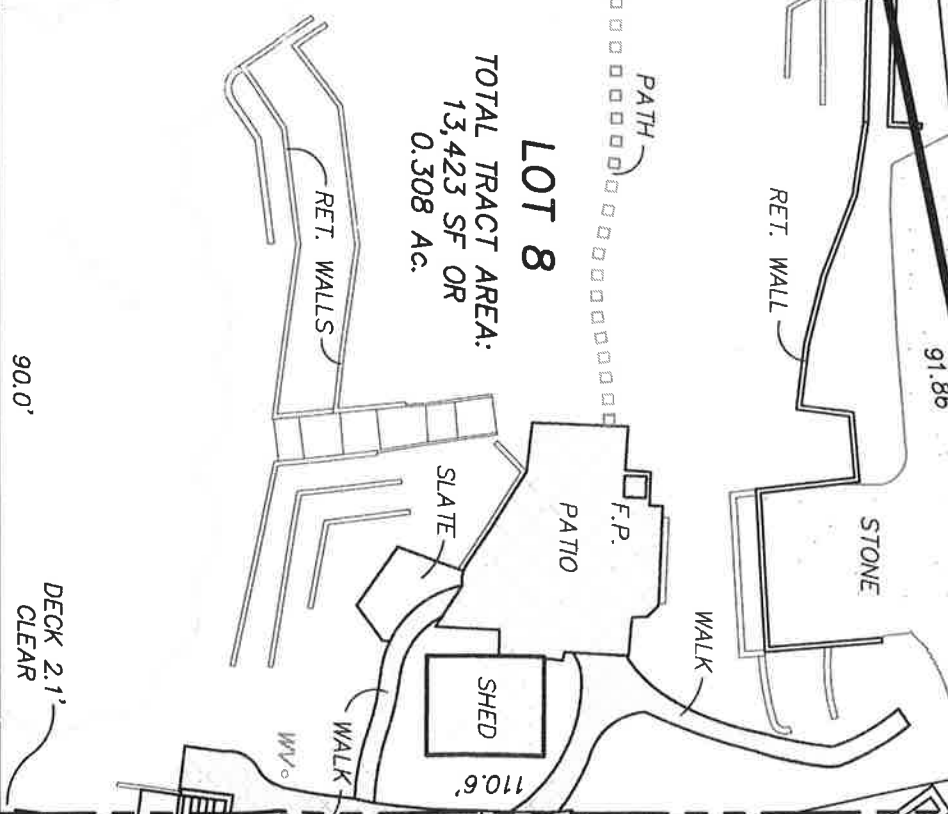
PIN FD

38.4'

STONE

LOT 6
LOT 7
N.35.30'00"W. 92.24'

LOT 8
TOTAL TRACT AREA:
13,423 SF OR
0.308 Ac.



90.0'

DECK 2.1'
CLEAR

10' WIDE R.O.W.

S.54.30'00"W.

127.62'

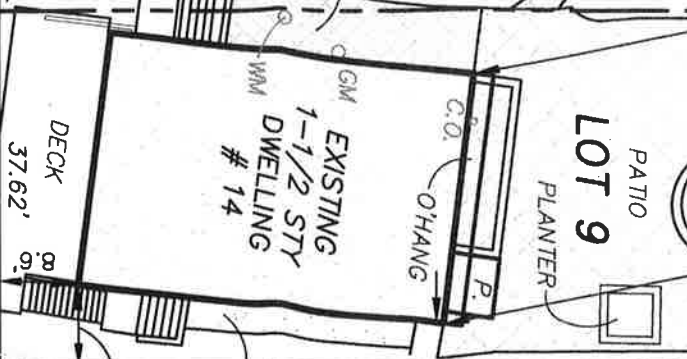
6' WIDE R.O.W.

LOT 10

LOT 11

LOT 12

LOT 13



60.6'

CONC.

88.9'

PATIO

LOT 9

PLANTER

C.O.

OHANG

GM

EXISTING

1-1/2 STY

DWELLING

14

DECK 2.0'

OVER

37.62'

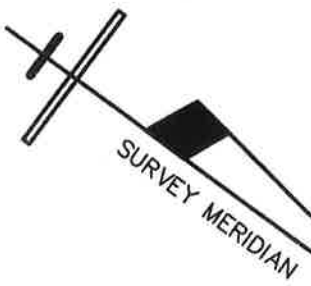
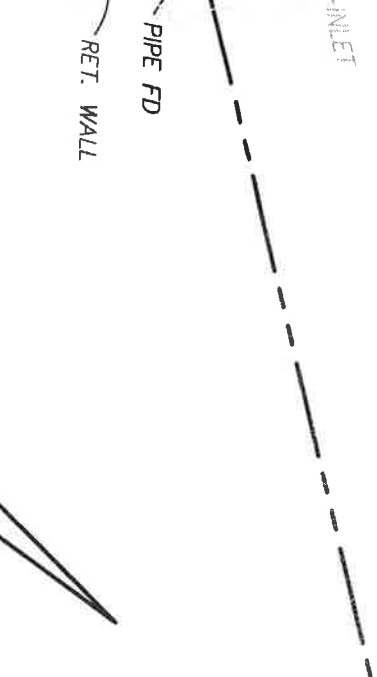
DECK

SEA VIEW TERRACE

MUNICIPAL BOUNDARY

SHEET

- GENERAL NOTES**
1. SUBJECT PROPERTY IS KNOWN AS LOTS 8 AND 9 IN BLOCK 35 AS SHOWN ON SHEET 10 OF THE CURRENT MUNICIPAL TAX MAPS FOR HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY.
 2. OFFSET DISTANCES SHOWN FROM BUILDINGS TO TRACT BOUNDARIES SHALL NOT BE USED TO RE-ESTABLISH PROPERTY LINES.
 3. UNDERGROUND UTILITY LINES, UNDERGROUND STORM DRAINAGE LINES, AND/OR UNDERGROUND ENCROACHMENTS, IF ANY, ARE SCHEMATIC REPRESENTATIONS ONLY.
 4. THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO MAKE ANY DETERMINATION AS TO THE EXISTENCE OR NON-EXISTENCE OF FRESHWATER WETLANDS AND/OR TOXIC WASTES. NO STATEMENT IS BEING MADE OR IMPLIED HEREON, NOR SHOULD IT BE ASSUMED OR CONSTRUED THAT ANY STATEMENT IS BEING MADE, WITH REGARD TO THE PRESENCE OR ABSENCE OF FRESHWATER WETLANDS AND/OR TOXIC WASTES. CLIENT IS ADVISED TO PURSUE THESE MATTERS AS ITEMS SEPARATE AND APART FROM THIS SURVEY.



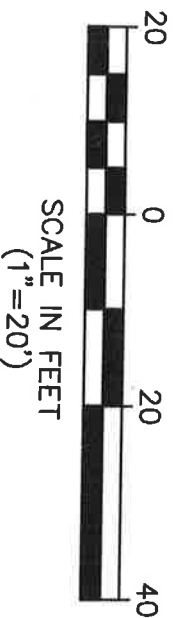
BLOCK 35
LOT 22.01

SURVEY CERTIFICATION:

CERTIFIED TO: CHARLES FARKOUH; AND
HOME AND LAND DEVELOPMENT CORP. (PURCHASERS); AND
XXXXXXXXXXXX TITLE AGENCY, LLC;
XXXXXXXXXXXX TITLE INSURANCE COMPANY; AND
XXXXXXXXXXXX, ESQ.; THEIR SUCCESSORS AND/OR ASSIGNS AS THEIR
INTERESTS MAY APPEAR FOR THE ABOVE NAMED PURCHASERS, ONLY

THIS IS TO CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS MAP OR PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED ON SEPTEMBER 22, 2021 BY ME OR UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE "STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS". THE INFORMATION DEPICTED HEREON, REPRESENTS THE CONDITIONS FOUND AT THE SITE, AND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY BELOW THE SURFACE AND NOT VISIBLE. ACCORDINGLY THE UNDERSIGNED PROFESSIONAL IS NOT RESPONSIBLE FOR THE PRESENCE OF UNDERGROUND UTILITIES OR STRUCTURES, IF SAME ARE NOT VISIBLE OR OTHERWISE DISCLOSED.

THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS THAT ARE THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE, INFORMATION, AND BELIEF, AND IN ACCORDANCE WITH COMMONLY ACCEPTED PROCEDURES, CONSISTENT WITH APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED.



No.	DATE	REVISION	BY

EASTERN CIVIL ENGINEERING, LLC
CIVIL ENGINEERING - SURVEYING & MAPPING - LAND USE PLANNING - SITE DESIGN
31 GRAND TOUR, HIGHLANDS NJ 07732 PHONE: 732.872.7736

SURVEY OF PROPERTY FOR

**HOME & LAND.
DEVELOPMENT CORP.**
BLOCK 35 LOTS 8 AND 9
TAX MAP SHEET No. 10

HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY

ANDREW R. STOCKTON
PROFESSIONAL ENGINEER & LAND SURVEYOR
NEW JERSEY LIC. NO. 35405

DATE: 9-23-21 SCALE: 1" = 20' DESIGN BY: ARS PROJECT NO.: 2101980 SHEET NO. 1 of 1



HOME & LAND DEVELOPMENT CORP
 88-1 PORTLAND RD
 HIGHLANDS, NJ 07732

210125



55-138/212

Date 9/22/21

Pay to the
 order of

Borough of Highlands
two hundred sixty dollars

\$200.00

Dollars Security Features
 Includes Details on Back

VALLEY BANK
 WWW.VALLEY.COM

For 19 N. Pt

⑈ 210125⑈ ⑆ 021201383⑆ ⑆ 000041300130⑈

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APPENDIX D

VIOLATIONS, SUMMONS & STOP CONSTRUCTION ORDERS

1. Violation Notice dated April 11, 2022.
2. Stop Construction Order dated May 9, 2022.
3. Notice of Violation and Order to Terminate dated June 9, 2022.
4. Notice of Order of Penalty to Terminate dated June 9, 2022.
5. Letter from CME Associates regarding violations dated June 17, 2022.

Borough of Highlands

Municipal Building

42 Shore Drive

Highlands, NJ 07732

(732)872-1224 FAX (732)872-0670

Registration No.

Inspection No.

Block/Lot

7881

35/8

Violation
32 NORTH PEAK ST

Respondent

Co-Respondent

Home and Land Development Corp
88-1 Portland Rd
Highlands, NJ 07732

Date of Notice 4/11/2022 Abate By _____ Date of Inspection 4/11/2022

Local Comments Summons issued.
Photos attached.
To avoid further summonses, abate immediately.

Specific Violations

<u>Code</u>	<u>Code Description</u>	<u>OK if Abated</u>	<u>Date Abated</u>
301.3	Vacant structures and land. All vacant structures and premises thereof or vacant land shall be maintained in a clean, safe, secure and sanitary condition as provided hereto so as not to cause a blighting problem or adversely affect the public health or safety.		
Ord 10-10.1	Removal of Brush, Weeds, Trash, and Debris. Notwithstanding the provisions of the International Property Maintenance Code, and without superseding its incorporation into Borough ordinance, every owner or tenant of lands or dwellings in the Borough shall keep the lands or dwellings free of fire hazards, brush, weeds, including ragweed, dead and dying trees, stumps, roots, obnoxious growths, filth and garbage (trash and debris in cans, bags and/or in bulk), and shall maintain the land or dwellings in a clean and sanitary condition.		

If you have any questions, please call William F. Brunt, Jr., Code Enforcement at (732)872-1224

_____ 4/11/22 _____
 Official(at time of notice) Date Official (When all items are abated) Date



STOP CONSTRUCTION ORDER

Building & Inspection
1 Kings Highway
Middletown, NJ 07748
732-615-2106

Application Date:
Application ID:
Permit Number:
Date Permit Issued:
Notice Date: 5/5/2022
Violation Number: 2022-00004

IDENTIFICATION

Work Site Location: 14 NORTH PEAK STREET Block: 35 Lot: 9 Qual: _____

Owner in Fee: HOME & LAND DEVELOPMENT Contractor/Agent: _____

Address: 88-1 PORTLAND RD. Address: _____

HIGHLANDS NJ 07732 Address: _____

Telephone: _____ Telephone: _____

To: Owner Other

Contractor/Agent

Date of Inspection: 5/2/2022 Date of Notice: 5/5/2022

CCNY

ACTION

You are hereby **ORDERED** to STOP

Building Electrical Plumbing Fire Protection Mechanical Elevator All CONSTRUCTION

at the above Location as of 5/2/2022 until further notice from this enforcing agency.

This **ORDER** is entered pursuant to N.J.A.C. 5:23-2.31(d) for violation of 5:23 2.16(j)2 Failure to obtain prior approvals which provides: **FAILURE TO OBTAIN PRIOR APPROVALS (ENGINEERING/ZONING)**

Permission to resume construction may be obtained from this enforcing agency after the following conditions are met: **OBTAIN ENGINEERING AND ZONING APPROVALS**

Further, take **NOTICE** that failure to comply with this **ORDER** may result in the assessment of penalties up to \$2,000.00 per day per violation, and a certificate of occupancy will *not* be issued until such penalty has been paid.

If necessary, the enforcing agency will concurrently seek the Order of a court of competent jurisdiction restraining further work at the above location.

If you wish to contest this **ORDER**, you may request a hearing before the Construction Board of Appeals of the Monmouth County Construction Board of Appeals within 15 days of receipt of this **ORDER** as provided by N.J.A.C. 5:23A-2.1. The Application to the Construction Board of Appeals may be used for this purpose.

Your application for appeal must be in writing, setting forth your name and address, the address of the building or site in question, the permit number, the specific sections of the Regulations in question, and the extent and nature of the relief sought by you. You may append any documents that you consider useful.

The fee for an appeal is \$100.00 and should be forwarded with your application to the Construction Board of Appeals Office at: P.O. Box 1255 Freehold NJ 07728

If you have any questions concerning this matter, please call: .

By Order of: _____

Construction Official

Date: 5/9/2022

Sent by Certified Mail: _____



NOTICE OF VIOLATION AND ORDER TO TERMINATE

Building & Inspection
1 Kings Highway
Middletown, NJ 07748
732-615-2106

Application Date:
Application ID:
Permit Number:
Date Permit Issued:
Notice Date: 6/9/2022
Violation Number: 2022-00006

IDENTIFICATION

Work Site Location: 14 NORTH PEAK STREET
Owner in Fee: Home & Land Development
Address: 88-1 Portland Rd.
Highlands NJ 07732
Telephone: _____

Block: 35 Lot: 9 Qual: _____
Contractor/Agent: _____
Address: _____
Telephone: _____

To: Owner Other
 Contractor/Agent

Date of Inspection: 6/8/2022 Date of Notice: 6/9/2022 Compliance Due Date: 6/14/2022

ACTION

Take **NOTICE** that you have been found to be in violation of the State Uniform Construction Code Act and Regulation promulgated thereunder in that:

Violation of Stop Work Order
In violation of: N.J.A.C. 5:23-2.14(a) WORK PERFORMED WITHOUT REQUIRED PERMIT

You are hereby **ORDERED** to terminate the said violations on or before 6/14/2022.

No Certificate of Occupancy or Approval will be issued unless the said violations are corrected.

Further, take **NOTICE** that failure to comply with this **ORDER** may result in the assessment of penalties of up to \$2,000.00 per week per violation, and a certificate of occupancy will not be issued until such penalty has been paid.

If you wish to contest the **ORDER**, you may request a hearing before the Construction Board of Appeals of the

Monmouth County Construction Board of Appeals

within 15 days of receipt of this **ORDER** as provided by N.J.A.C. 5:23A-2.1. The application to the Construction Board of Appeals may be used for this purpose.

Your application for appeal must be in writing, setting forth your address and name, the address of the building or site in question, the permit number, the specific sections of the Regulations in question, and the extent and the nature of your reliance on them. You may include a brief statement setting forth your position and the nature of relief sought by you. You may also append any documents that you consider useful.

The Fee for an Appeal is \$100.00 and should be forwarded with your application to the Construction Board Of Appeals Office at:
P.O. Box 1255 Freehold NJ 07728

If you have any questions concerning this matter, please call: .

Notice of Violation and Order to Terminate: _____

Construction Official

Date: 6/9/2022

Sent by Certified Mail: _____

UCC F211



00012

NOTICE AND ORDER OF PENALTY

Application Date:
 Application ID:
 Permit Number:
 Date Permit Issued:
 Notice Date: 6/9/2022
 Violation Number: 2022-00006

Building & Inspection
 1 Kings Highway
 Middletown, NJ 07748
 732-615-2106

IDENTIFICATION

Work Site Location: 14 NORTH PEAK STREET Block: 35 Lot: 9 Qual: _____
 Owner in Fee: Home & Land Development Contractor/Agent: _____
 Address: 88-1 Portland Rd. Address: _____
Highlands NJ 07732 Telephone: _____
 Telephone: _____

To: Owner Other
 Contractor/Agent

ACTION

- On 6/8/2022, you were found to be in violation of the State Uniform Construction Code Act and Regulations promulgated thereunder. A Notice of Violation and Order to Terminate Notice of Unsafe Structure Notice of Imminent Hazard was issued. Reinspection of the work site on 6/8/2022 revealed the following violation(s) remain: 5:23-2.14 Construction permits--when required
Violation of Stop Work Order
- On 6/8/2022, you were found to be in violation of the State Uniform Construction Code Act and Regulations promulgated thereunder, in that you made a false or misleading written statement, or omitted required information in an application or request for approval; or failed to obtain a construction permit; or failed to request required inspections; or allowed occupancy prior to receiving a certificate of occupancy.
- On 6/8/2022, you were found to be in violation of the State Uniform Construction Code Act and Regulations promulgated thereunder. A Stop Construction Order was issued. Reinspection of the work site on 6/8/2022 revealed a failure to comply with that Stop Construction Order.

PENALTY

Therefore, you are hereby **ORDERED** to pay a penalty in the amount of \$2,000.00 for each violation for a total penalty of \$2,000.00.

Further, take **NOTICE** that for each day that any of the said violations remain outstanding after 6/14/2022, an additional penalty of \$100.00 per day shall result.

If you wish to contest this **ORDER**, you may request a hearing before the Construction Board of Appeals of the Monmouth County Construction Board of Appeals within 15 days of receipt of this **ORDER** as provided by N.J.A.C. 5:23A-2.1. The Application to the Construction Board of Appeals may be used for this purpose.

Your application for appeal must be in writing, setting forth your name and address, the address of the building or site in question, the permit number, the specific sections of the Regulations in question, and the extent and nature of the relief sought by you. You may append any documents that you consider useful.

The fee for an appeal is \$100.00 and should be forwarded with your application to the Construction Board of Appeals Office at: P.O. Box 1255 Freehold NJ 07728

If you have any questions concerning this matter, please call: .

Notice and Order of Penalty: _____

Construction Official

Date: 6/9/2022

Sent by Certified Mail: _____

U.C.C. F212

1317

SC

007578

HIGHLANDS BOROUGH
MUNICIPAL COURT
100 First Avenue
Atlantic Highlands, NJ 07716

Complaint

The State of New Jersey

(Please Print)

VS.

Defendant's Name: First Home + Land Development Corp initial Last

Address 88-1 Portland Rd City Highlands

State NJ Zip Code 07732 Telephone: Check if cell phone

Birth Date: Mo. Day Yr. Sex Eyes MDOB Weight Height Restrictions MDOB

Email Address Ethnicity MDOB Race MDOB

Driver's Lic. No. State Exp. Date

STATE OF NEW JERSEY
COUNTY OF

MONMOUTH

Complaining Witness: William F. Bryant Jr (Name)

of Highlands Code Enforcement (Identify Dept./Agency Represented) (Badge No.)

Residing at 42 Shore Dr Highlands NJ

by certification or on oath, says that to the best of his/her knowledge or information and belief, the named defendant on or about the

4/11/22 2:03pm
Month Day Year Time

in HIGHLANDS County of MONMOUTH NJ

did commit the following offense:

Vacant land to be kept clean
safe, secure + sanitary

in violation of (one charge only) IPMC 301.3
(Statute, Regulation or Ordinance Number)

LOCATION OF OFFENSE 4307 Describe Location 14+32 N. Pearl Fl

OATH: Subscribed and sworn to before me this ___ day of ___, yr. ___

CERTIFICATION: I certify that the foregoing statements made by me are true. I am aware that if any of the foregoing statements made by me are willfully false, I am subject to punishment.

OR

(Signature of Complaining Witness)

4/11/22
(Date)

(Signature of Person Administering Oath)

[Signature]
(Signature of Complaining Witness)

PROBABLE CAUSE DETERMINATION FOR ISSUANCE OF PROCESS:

COURT USE ONLY

LAW / CODE ENFORCEMENT USE ONLY

Probable cause is found for the issuance of this Complaint-Summons

The complaining witness is a law enforcement officer or a code enforcement officer with territorial and subject matter jurisdiction and a judicial probable cause determination is not required prior to the issuance of this Complaint-Summons.

- Yes
- No
- Yes
- No

(Signature of Judicial Officer)
(Signature of Judge)

YOU ARE HEREBY SUMMONED TO APPEAR

BEFORE THIS COURT TO ANSWER THIS COMPLAINT. IF YOU FAIL TO APPEAR ON THE DATE AND AT THE TIME STATED, A FINANCIAL SANCTION MAY BE IMPOSED, A WARRANT MAY BE ISSUED FOR YOUR ARREST, OR BOTH.

NOTICE TO APPEAR

COURT APPEARANCE REQUIRED COURT DATE Month Day Year Time AM PM
5 17 22 3 30 PM

4/11/22 [Signature]
(Date Summons Issued) (Signature of Person Issuing Summons)

COMPLAINT

COMPLAINT

SUMMONS

SUMMONS

1317

SC

007576

HIGHLANDS BOROUGH MUNICIPAL COURT 100 First Avenue Atlantic Highlands, NJ 07716

Complaint

The State of New Jersey

(Please Print)

VS.

Defendant's Name: First Initial Last Home and Land Development Corp.

Address 88-1 Portland Rd Highlands City

State NJ Zip Code 07732 Telephone: Check if cell phone

Birth Date: Mo. Day Yr. Sex Eyes Ears Weight Height Restrictions

Email Address Ethnicity Race

Driver's Lic. No. State Exp. Date

STATE OF NEW JERSEY COUNTY OF MONMOUTH

Complaining Witness: William F. Brunt Jr. (Name)

of Highlands Code Enforcement (Identity Dept./Agency Represented) (Badge No.)

Residing at 42 Stone Dr Highlands

by certification or on oath, says that to the best of his/her knowledge or information and belief, the named defendant on or about the

4/11/22 2:03 pm

in HIGHLANDS County of MONMOUTH NJ

did commit the following offense:

Weeds/Brush/Trash/Debris Removal (DESCRIPTION OF OFFENSE)

in violation of (one charge only) Ord 10-10 (Statute, Regulation or Ordinance Number)

LOCATION OF OFFENSE 130 E 14+32 N. Penn St Describe Location

OATH: Subscribed and sworn to before me this day of yr.

CERTIFICATION: I certify that the foregoing statements made by me are true. I am aware that if any of the foregoing statements made by me are willfully false, I am subject to punishment.

OR

(Signature of Complaining Witness)

4/11/22 (Date)

(Signature of Person Administering Oath)

(Signature of Complaining Witness)

PROBABLE CAUSE DETERMINATION FOR ISSUANCE OF PROCESS:

COURT USE ONLY

LAW / CODE ENFORCEMENT USE ONLY

Probable cause is found for the issuance of this Complaint-Summons

The complaining witness is a law enforcement officer or a code enforcement officer with territorial and subject matter jurisdiction and a judicial probable cause determination is not required prior to the issuance of this Complaint-Summons.

Yes No (Signature of Judicial Officer)

Yes No (Signature of Judge)

YOU ARE HEREBY SUMMONED TO APPEAR

BEFORE THIS COURT TO ANSWER THIS COMPLAINT. IF YOU FAIL TO APPEAR ON THE DATE AND AT THE TIME STATED, A FINANCIAL SANCTION MAY BE IMPOSED, A WARRANT MAY BE ISSUED FOR YOUR ARREST, OR BOTH.

NOTICE TO APPEAR

COURT APPEARANCE REQUIRED COURT DATE 5 17 22 Time 3 30 PM

4/11/22 (Date Summons Issued) W. Brunt Jr. (Signature of Person Issuing Summons)

COMPLAINT

COMPLAINT

SUMMONS

SUMMONS



JOHN H. ALLGAIR, PE, PP, LS (1983-2001)
DAVID J. SAMUEL, PE, PP, CME
JOHN J. STEFANI, PE, LS, PP, CME
JAY B. CORNELL, PE, PP, CME
MICHAEL J. McCLELLAND, PE, PP, CME
GREGORY R. VALES, PE, PP, CME

TIM W. GILLEN, PE, PP, CME (1991-2019)
BRUCE M. KOCH, PE, PP, CME
LOUIS J. PLOSKONKA, PE, CME
TREVOR J. TAYLOR, PE, PP, CME
BEHRAM TURAN, PE, LSRP
LAURA J. NEUMANN, PE, PP
DOUGLAS ROHMEYER, PE, CFM, CME
ROBERT J. RUSSO, PE, PP, CME
JOHN J. HESS, PE, PP, CME

June 17, 2022

Sent via Electronic Mail (gnf718@aol.com)

Mr. Charles Farkouh
Home & Land Development Corp.
88-1 Portland Road
Highlands, NJ 07732

**Re: 14 North Peak Street – Block 35, Lot 8
Borough of Highlands, Monmouth County, NJ
Our File No. HHIE0035.01**

Dear Mr. Farkouh:

As you are aware, our office prepared a Grading Plan Review #1 for the above property dated December 14, 2021 which was found to be not acceptable. It was brought to our attention that your property at 14 North Peak Street has been cleared and grading work has begun without grading plan approval. It is our understanding that the Township has issued a stop work order due to lack of proper approvals and work within a steep slope area. Additionally, it is our understanding that the Freehold Soil Conservation District has also issued violations for non-compliance with their requirements.

There have been several reported erosion issues by the neighboring property at 102 Valley Avenue. The below photos show un-stabilized soil and missing silt fence.





Borough of Highlands
Re: 14 North Peak Street – Block 35, Lot 8

June 16, 2022
Our File No. HHIE0035.01
Page 2

Additionally, due to the size of un-stabilized area and the slopes involved, the single layer of silt fence has not been able to hold back all sediment from the site. The area behind the silt fence, where it appears a utility easement was excavated is unprotected by silt fence.



It is our recommendation that immediate action is required to install silt fence around all areas of disturbance. We also recommend haybales along the rear property line to provide additional protection measures. Additionally, any disturbed area should be stabilized with vegetation in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey until proper approvals are secured.

Should you have any questions or require any additional information, please do not hesitate to contact this office.

Very truly yours,

CME Associates

Bennett A. Matlack, PE, CME, CFM
Borough Engineer's Office

BAM/JM

cc: Mayor Carolyn Broullon
Michael Muscillo – Borough Administrator
Joseph Kachinsky – Construction Official
Brian Chabarek, Esq. – Borough Attorney

APPENDIX E

CONSTRUCTION PERMITS & MISCELLANEOUS

1. Various emails regarding the subject property.
2. Construction Application Permit dated November 9, 2021.
3. Letter from Comcast dated October 11, 2021.
4. Letter from JCP&L dated November 3, 2021 and October 29, 2021.
5. Exemption Letter from Freehold County Soil Conservation District dated October 12, 2021.
6. Letter from NJNG dated October 25, 2021.
7. Various Licenses for Home & Land Development Corp.
8. Construction Permit issued by Borough of Highlands dated November 16, 2021.
9. Sewer Connection Permit application dated October 7, 2021.
10. Application for Street Excavation Permit dated October 17, 2021.

William F. Brunt, Jr.

From: gnf718@aol.com
Sent: Tuesday, May 3, 2022 6:47 AM
To: William F. Brunt, Jr.
Subject: Fwd: Highlands

I HIRED GIORDANO HALLERAN AND CIESLA TO DO THIS
THEY ALREADY GOT PAPERWORK FROM TOWN
SEE NEXT ATTACHED

From: MBruno@ghclaw.com
To: gnf718@aol.com
Cc: ezimmerman@ghclaw.com
Sent: 3/29/2022 2:21:54 PM Eastern Standard Time
Subject: FW: Highlands

Charlie, following up on our call, the 14 and 32 North Peak Steet, Highlands's property application for subdivision and variance relief related to the steep slopes will also require the municipal approval to permit the proposed retaining wall within the municipal right of way. You will also need the property owner to the east to consent to the application as a portion of the retaining wall is on that property also. We recommend that you speak with the municipality to make sure that subject to Planning Boar approval, they will be willing to allow the improvements within the right of way. Best scenario would be for the municipality to approve or consent to the application by Resolution at this time. Otherwise we can request that the Planning Board make it a condition of any action they take. In any event, you want to make sure the municipality is willing to allow the retaining wall as proposed. Let's discuss.

**Giordano
Halleran &
Ciesla**

Attorneys at Law

Michael A. Bruno, Esq.
vcard
Shareholder

[website](#) | [biography](#) |

Co-chairman, Real Estate, Redevelopment and Planned
Real Estate Department
www.ghclaw.com
Direct Dial: (732) 219-5498 • F: (732) 224-6599
125 Half Mile Road • Suite 300 • Red Bank, NJ 07701-
6777

From: gnf718@aol.com
To: Kowaleski, Paul; construction@highlandsborough.org; jkachins@middletownnj.org
Cc: Matlack, Bennett; Pavlick, Drew; Michael Muscillo; Michelle Hutchinson, Municipal Clerk; mdunn@middletownnj.org; pmerse@middletownnj.org; arstockton@gmail.com
Subject: Re: Grading Plan Review - 14 & 32 North Peak Street
Date: Wednesday, December 15, 2021 6:54:12 AM

Good. Morning. Everyone. Is it. Possible the. Engineers can meet at the site. To see why I put the wall. That location. Someone in prior past. Installed roadway. Way. Off course. Of the easement. Right across. 4. Homes. So. They encroached. On all propert lines by 20. Foot. We need to rectify that so by placing wall. Where we show it allows the easement. To be in its proper location. So basically. Fixing. A. Error from past. Engineering. At my cost.

Won't. Be the first time

Snd the Neighbor asked me if. I could extend. On his property to solve the issue he has been trying hsve. Town rectify years ago. So I told him I would assist.

He lives. In the home next door. He would like to be at the site. When we all meet.

Charles. Farkouh.

[Sent from the all new AOL app for iOS](#)

On Tuesday, December 14, 2021, 2:24 PM, Kowaleski, Paul <pkowaleski@cmeusa1.com> wrote:

Good Afternoon,

Please see attached for Grading Plan Review #1 for 14 & 32 North Peak Street (Block 35, Lots 8 & 9). Please reach out if you have any further questions.

Thanks,

Paul

PAUL KOWALESKI, E.I.T.

Design Engineer



**Consulting & Municipal
ENGINEERS**

1460 Rt. 9 South, Howell, NJ 07731

P:732.462.7400 F:732.409.0756

pkowaleski@cmeusa1.com

www.cmeusa1.com



Like us on
Facebook!



Follow us on
Twitter!



Follow us on
Instagram!

From: [William F. Brunt, Jr.](#)
To: [Matlack, Bennett](#)
Subject: FW: 14 N. Peak
Date: Friday, June 24, 2022 3:07:42 PM
Attachments: [14 N Peak Farkouh atty advice.pdf](#)
[Violation.pdf](#)

Hi Ben,

Below is the email from Joe Kachinsky regarding the work @ 14 N. Peak. I have also attached my report and tickets regarding this. Also attached is Charlie's own attorney telling him to get Land Use Board approval.

I thought that I sent him a letter also, but I am mistaken the letter that I was thinking of was to Michael Antico at Charlies other project at 88-6 Portland Rd.

Thank you.

Bill

William F. Brunt, Jr.
Code Enforcement Officer
Borough of Highlands
732-872-1224 ext. 215

From: Kachinsky, Joseph <jkachins@middletownnj.org>
Sent: Wednesday, May 25, 2022 12:09 PM
To: gnf718@aol.com
Cc: Michael Muscillo <mmuscillo@highlandsborough.org>; William F. Brunt, Jr. <code@highlandsborough.org>; Merse, Patti <pmerse@middletownnj.org>; O'Callahan, Brian <bocallahan@middletownnj.org>
Subject: 14 N. Peak

Good morning Charlie, can you please contact this office ASAP. Your voicemail has been full. There continues to be severe erosion to adjoining properties due to the fill that was placed at this site without the proper approvals. You have failed to adequately address this situation on several occasions despite contact from this office as well as Highlands Officials. Due to the fact no grading plan was submitted or approved this fill is to be removed immediately until such approvals are obtained. Failure to address this matter in a timely fashion will result in severe monetary penalties. Your cooperation on this matter is both anticipated and appreciated. Joe Kachinsky, Construction Official

CERTIFICATION IN LIEU OF OATH

I. OWNER SECTION (to be completed if the applicant is the owner in fee)

I hereby certify that I am the owner in fee of the property listed on Page 1.

Mark the following applicable boxes:

A. () I further certify that a new home (private residence) will be constructed on this property for my own use and occupancy. This dwelling is to be occupied by myself and is not to be used for any purpose other than single family residential use. I attest that all construction, plumbing, or electrical work will be done, in whole or in part, by me or by subcontractors under my supervision, in accordance with all applicable laws; and, I further acknowledge that said new home is not covered under the New Home Warranty and Builders Registration Act (N.J.S.A. 46:3B-1 et seq.) and that such fact shall be disclosed to any person purchasing this property within ten years of the date of issuance of a certificate of occupancy.

I UNDERSTAND THAT IN MARKING BOX A, I ACKNOWLEDGE THAT I AM ASSUMING RESPONSIBILITY FOR THE WORK DONE ON SAID PROPERTY, THE CONDITION OF THE PROPERTY PRIOR TO, DURING, AND AFTER ANY WORK PERFORMED, AND FOR THE PERFORMANCE OF THE SUBCONTRACTORS I HIRE, EMPLOY, OR OTHERWISE CONTRACT OR WITH WHOM I MAKE AGREEMENTS TO PERFORM WORK. I AM VOLUNTARILY AND KNOWINGLY ASSUMING THIS RESPONSIBILITY.

B. () I further certify the following as required by the New Jersey Uniform Construction Code, N.J.A.C. 5:23-2.15(f)1.ix:

I personally prepared the plans submitted for: 1) the new home referred to in A.; or, 2) an addition, alteration, renovation, or repair to an existing single family residence owned and occupied by myself and located on the property listed on Page 1; or, 3) a new structure that will be physically separate from, but that will be deemed part of, an existing single family residence that is owned and occupied by myself and located on the property listed on Page 1.

C. () I further certify that I will perform or supervise the following work:

- C.1. () Building
- C.2. () Fire Protection

I further certify that I will perform the following work:

- C.3. () Electrical
- C.4. () Plumbing

D. () I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(a)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I understand that if any of the above statements are willfully false, I am subject to punishment.

Signature _____ Date _____

II. AGENT SECTION (to be completed if the applicant is not the owner in fee)

I hereby certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(d): the proposed work is authorized by the owner in fee; and I have been authorized by the owner in fee to make this application as his agent.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(a)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I understand that if any of the above statements are willfully false, I am subject to punishment.

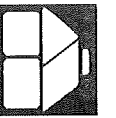
(X) Check if contractor.

Agent Name Charles Frankel
Address 884 Portland Rd
Highland, NJ 07732
Telephone (917) 686-4111
Signature _____

III. () LEAD HAZARD ABATEMENT: Include Homeowner or Building Owner Affidavit as per N.J.A.C. 5:17.



BUILDING SUBCODE TECHNICAL SECTION



A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO. 1-800-272-1000.

Block 3 Lot 14 N. Beach Qualification Code _____

Work Site Location Hillsboro RD Dept Ave

Owner In Fee: 917 676 4111 e-mail gms71v@aol.com

Tel. 917 676 4111 e-mail _____

Address 85-1 Porthall RD zip code 07732

Contractor: Steve's Land Devel incorporated Tel. 917 676 4111

Address 85-1 Porthall RD e-mail _____

Contractor License No. or Builder Registration No. 13VH110671 Exp. Date _____

Home Improvement Contractor Registration No. or Exemption Reason _____

Federal Emp. ID No. 470575322 FAX: 732 272 2039

JOB SUMMARY (Office Use Only)

PLAN REVIEW No Plans Required 11/3/12 Date 12 Initial MS

All _____ Inspections _____

Footings/Foundations _____ Footing _____

Structural/Framework _____ Foundation _____

Exterior _____ Slab _____

Interior _____ Frame _____

Joint Plan Review Required: _____ Truss Sys./Bracing _____

Elec. Plumb. Fire Elevator _____ Barrier-Free _____

SUBCODE APPROVAL FOR PERMIT _____ Insulation _____

Date: 11/3/12 _____ Finishes -Base Layer _____

Approved by: Michael... _____ Finishes -Final _____

SUBCODE APPROVAL FOR CERTIFICATE _____ Energy _____

CO CCO CA _____ Mechanical _____

Date: _____ TCO _____

Approved by: _____ Other _____

Barrier-Free _____ Final _____

B. BUILDING CHARACTERISTICS

Use Group Present _____ Proposed _____

No. of Stories _____

Height of Structure _____ ft. _____

Area — Largest Floor _____ sq. ft. _____

New Bldg. Area/All Floors _____ sq. ft. _____

Volume of New Structure _____ cu. ft. _____

Max. Live Load _____

Max. Occupancy Load _____

Constr. Class Present _____ Proposed _____

If Industrialized Building: _____

State Approved _____ HUD _____

Est. Cost of Bldg. Work: _____

1. New Bldg. \$ _____

2. Rehabilitation \$ _____

3. Total (1+ 2) \$ 3000

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application.

Sign here: _____

Print name here: Charles Frankel

D. TECHNICAL SITE DATA

DESCRIPTION OF WORK

Demolition
HPME

Area for technical site data description.

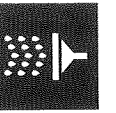
TYPE OF WORK:	FEE (Office Use Only)
<input type="checkbox"/> New Building	\$ _____
<input type="checkbox"/> Addition	\$ _____
<input type="checkbox"/> Rehabilitation	\$ _____
<input type="checkbox"/> Roofing	\$ _____
<input type="checkbox"/> Siding	\$ _____
<input type="checkbox"/> Fence _____ Height (exceeds 6')	\$ _____
<input type="checkbox"/> Sign _____ Sq. Ft.	\$ _____
<input type="checkbox"/> Pool	\$ _____
<input type="checkbox"/> Retaining Wall _____ Sq. Ft.	\$ _____
<input type="checkbox"/> Asbestos Abatement Subchapter 8	\$ _____
<input type="checkbox"/> Lead Haz. Abatement NJAC 5:17	\$ _____
<input type="checkbox"/> Radon Remediation	\$ _____
<input type="checkbox"/> Other _____	\$ _____
<input type="checkbox"/> Demolition	\$ _____

Administrative Surcharge	\$ _____
Minimum Fee	\$ _____
State Permit Surcharge Fee	\$ _____
TOTAL FEE	\$ _____

Date Received 11/9/12
Control # 2021-0137
Date Issued 210184
Permit # _____



PLUMBING SUBCODE TECHNICAL SECTION



A. IDENTIFICATION - APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 35 Lot 14 N. Peak St Qualification Code _____
Work Site Location Hotel, 25 0732

Owner in Fee: Ante Land Bldg. Corp
Tel. (117) 658 4111 e-mail _____

Address 1031 Sheela Dr Tel. (732) 751-9138
Contractor: Bob Fdy Mechanical LLC zip code _____

Address 1031 Sheela Dr e-mail _____
Contractor License No. NT Plumb 12307 Exp. Date 7.23

Home Improvement Contractor Registration No. or Exemption Reason (if applicable): _____
Federal Emp. ID No. 203921971 FAX: () _____

B. PLUMBING CHARACTERISTICS
Use Group 4 Present _____ Proposed _____
Building Sewer Size 4" Public Sewer _____ Private Septic _____
Water Service Size 1" Public Water 600- Private Well _____
Est. Cost of Plumbing Work \$ _____

JOB SUMMARY (Office Use Only)
PLAN REVIEW No Plans Required
 Partial - Under-slab Utilities Approved
Date: _____ Approved by: _____
Plumbing Plans Approved _____
Date: _____ Approved by: _____
Joint Plan Review Required: _____
 Bldg. Elec. Fire. Elev. Fixtures

INSPECTIONS		Dates (Month/Day)	
Type:	Failure	Failure	Approval
Slab	_____	_____	_____
Rough	_____	_____	_____
Water	_____	_____	_____
Sewer	_____	_____	_____
Fixtures	_____	_____	_____
Gas Equipment	_____	_____	_____
Gas Piping	_____	_____	_____
LP Gas Tank	_____	_____	_____
Fuel Oil Piping	_____	_____	_____
Solar	_____	_____	_____
TCO	_____	_____	_____
Final	_____	_____	_____

U.C.C. F130 Rev. 11/09

*JSM 9/13/22
NO CUT CAP OR TEMP WATER VISIBLE*

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application and perform the work listed on this application.
Applicant sign/Contractor [Signature]
sign and seal here: [Signature]
Print name here: Robert Bonitua
 Licensed Plumbing Contractor Exempt Applicant

D. TECHNICAL SITE DATA

QTY.	FIXTURE/EQUIPMENT	FEE (Office Use Only)
_____	Water Closet	_____
_____	Urinal/Bidet	_____
_____	Bath Tub	_____
_____	Lavatory	_____
_____	Shower	_____
_____	Floor Drain	_____
_____	Sink	_____
_____	Dishwasher	_____
_____	Drinking Fountain	_____
_____	Washing Machine	_____
_____	Hose Bibb	_____
_____	Water Heater	_____
_____	Fuel Oil Piping	_____
_____	Gas Piping	_____
_____	LP Gas Tank	_____
_____	Steam Boiler	_____
_____	Hot Water Boiler	_____
_____	Sewer Pump	_____
_____	Interceptor/Separator	_____
_____	Backflow Preventer	_____
_____	Greasetrap	_____
_____	Sewer Connection <u>CMS</u>	_____
_____	Water Service Connection	_____
_____	Stacks	_____
_____	Other <u>Temp Water Hydrant</u>	_____

Administrative Surcharge	\$ _____
Minimum Fee	\$ _____
State Permit Surcharge Fee	\$ _____
TOTAL FEE	\$ _____

*MOA 19 1130
Date Received 11/9/21
Control # 2021-0137*

*Date Issued 200184
Permit #*



*403 South Street
Eatontown, NJ 07724
(732)299-2958*

*LOCATION: 14 N PEAK ST
HIGHLANDS, NJ 07732*

RE: REMOVAL OF CABLE 10/11/2021

All Comcast cables that were attached to the building have been removed.

Sincerely,

GARY M EICKEN

*Gary M Eicken
Specialist 2, Construction*

11/3/2021

Home & Land Development Corp
1 Portland Rd
Highlands, NJ 07732

RE: 14 N Peak St, Highlands, NJ 07732

Dear Customer:

This letter confirms and gives notice that, effective as of the above date, Jersey Central Power & Light Company ("JCP&L" or "Company") has (1) removed or relocated its electric service cable(s) and meter(s) (the "Company Facilities") from, at, or on, the above referenced service location (the "Service Location") as you requested in order to accommodate proposed demolition and/or other construction activity; and (2) inspected to confirm that the requested removal or relocation of the Company Facilities at the Service Location has been completed. Please note that there may be other structures located around, at, or on the Service Location that continue to have electric service.

PLEASE REMEMBER: notwithstanding this confirmation and notice, you and your contractors are responsible to conduct all demolition and/or construction activities safely and in compliance with all applicable permits, laws and regulations governing such activity at the above-referenced Service Location including, but not limited to, demolition and/or construction activities undertaken around any other structures with an active electric service.

JCP&L would also like to take this opportunity to further remind you of the need to maintain proper clearance distance between buildings and power lines. The minimum clearance distances are set forth in the National Electrical Safety Code ("NESC"), which is the standard to which New Jersey electric public utilities, such as JCP&L, build and maintain their electric systems. Depending on the circumstances, construction and/or demolition activities may also be subject to additional standards such as, among other things, those found in the National Electrical Code ("NEC") and the Occupational Safety and Health Act ("OSHA").

Involving JCP&L early in the construction planning process may, where practicable, avoid the need for relocating and/or removing electrical facilities. Failing to plan for these clearance requirements early in the planning process may result in increased additional costs to the property owner in order to address later identified safety concerns. After construction is completed, the practicability of relocating utility facilities may be compromised or eliminated. This can lead, among other things, to (1) increased costs to the property owner, (2) the possible need for modifications (including demolition) to the newly constructed structure, and/or (3) the possible loss of electric service at the property until such conditions are rectified. Reviewing available options in advance of construction provides the property owner with the best opportunity to potentially avoid or reduce the risk of personal injury, property damage and/or increased costs.

JCP&L seeks to promote public safety and encourage close cooperation in addressing these issues efficiently and effectively prior to construction. Please contact JCP&L at 1-800-662-3115 in order to discuss the proximity of any future project to nearby power lines. The Company will schedule a field appointment with you so that the site and the proposed project can be reviewed with respect to the NESC minimum clearance requirements. Thank you for your prompt attention to this very important matter.

Yours truly,

Jersey Central Power and Light Company
Union Beach Operations

10/29/2021

Jerry Feliciano
14 N Peak St
Highlands NJ 07732

RE: 14 N Peak St, Highlands NJ 07732 – DR# 349944508

Dear Customer:

This letter confirms and gives notice that, effective as of the above date, Jersey Central Power & Light Company ("JCP&L" or "Company") has (1) removed or relocated its electric service cable(s) and meter(s) (the "Company Facilities") from, at, or on, the above referenced service location (the "Service Location") as you requested in order to accommodate proposed demolition and/or other construction activity; and (2) inspected to confirm that the requested removal or relocation of the Company Facilities at the Service Location has been completed. Please note that there may be other structures located around, at, or on the Service Location that continue to have electric service.

PLEASE REMEMBER: notwithstanding this confirmation and notice, you and your contractors are responsible to conduct all demolition and/or construction activities safely and in compliance with all applicable permits, laws and regulations governing such activity at the above-referenced Service Location including, but not limited to, demolition and/or construction activities undertaken around any other structures with an active electric service.

JCP&L would also like to take this opportunity to further remind you of the need to maintain proper clearance distance between buildings and power lines. The minimum clearance distances are set forth in the National Electrical Safety Code ("NESC"), which is the standard to which New Jersey electric public utilities, such as JCP&L, build and maintain their electric systems. Depending on the circumstances, construction and/or demolition activities may also be subject to additional standards such as, among other things, those found in the National Electrical Code ("NEC") and the Occupational Safety and Health Act ("OSHA").

Involving JCP&L early in the construction planning process may, where practicable, avoid the need for relocating and/or removing electrical facilities. Failing to plan for these clearance requirements early in the planning process may result in increased additional costs to the property owner in order to address later identified safety concerns. After construction is completed, the practicability of relocating utility facilities may be compromised or eliminated. This can lead, among other things, to (1) increased costs to the property owner, (2) the possible need for modifications (including demolition) to the newly constructed structure, and/or (3) the possible loss of electric service at the property until such conditions are rectified. Reviewing available options in advance of construction provides the property owner with the best opportunity to potentially avoid or reduce the risk of personal injury, property damage and/or increased costs.

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Yours truly,

Jersey Central Power and Light Company
Union Beach Operations



FREEHOLD SOIL CONSERVATION DISTRICT

(Serving Middlesex and Monmouth Counties)

4000 Kozloski Road, P.O. Box 5033
Freehold, New Jersey 07728-5033
Tel: (732) 683-8500
Fax: (732) 683-9140
E-mail: info@freeholdscd.org
Website: www.freeholdsoil.org

10/12/2021

HOME & LAND DEVELOPMENT CORP
88-1 PORTLAND ROAD
HIGHLANDS NJ 07732

Ref.#: 0012-C725
Proj.: 14 NORTH PEAK STREET
Twp. : HIGHLANDS
Block: 35
Lots : 9

PROJECT EXEMPT

DEMOLITION ONLY, LESS THAN 5,000 SQUARE FEET OF DISTURBANCE PROPOSED

Dear HOME & LAND DEVELOPMENT CORP,

This is to inform you that in accordance with the New Jersey Soil Erosion and Sediment Control Act; N.J.S.A. 4:24-39 et. seq., Chapter 251, P.L. 1975 and as amended by C. 264, P.L. 77 and C. 459, P.L. 79, anyone disturbing more than 5,000 square feet of surface area of land for demolition of existing structures must file an application along with soil erosion and sediment control plans with the local District office for review and certification.

In reference to the above project, the area of land to be disturbed for demolition only is less than 5,000 square feet; therefore, does not require certification of a Soil Erosion and Sediment Control plan.

However, should new construction be proposed which will exceed 5,000 square feet, submission and certification of Soil Erosion and Sediment Control plans would be required.

If you should have any questions, please feel free to contact our office.

Sincerely,

Ben Shotland
Resource Conservationist II

cc: Planning Board
Construction Official
Municipal Engineer
Applicant's Engineer

BACKGROUND AND MULTIPLE SECURITY FEATURES. PLEASE VERIFY AUTHENTICITY.

NOT AN ELECTRICIAN'S OR PLUMBER'S LICENSE

State Of New Jersey
New Jersey Office of the Attorney General
Division of Consumer Affairs

THIS IS TO CERTIFY THAT THE
Home Improvement Contractors

HAS REGISTERED

HOME & LAND DEVELOPEMENT CORP.
Charles Farkouh
16A Bellevue Ave
Rumson NJ 07760

FOR PRACTICE IN NEW JERSEY AS A(N): Home Improvement Contractor

New Jersey Office of the Attorney General
Division of Consumer Affairs
THIS IS TO CERTIFY THAT THE
Home Improvement Contractors
HAS REGISTERED
HOME & LAND DEVELOPEMENT CORP.
Home Improvement Contractor

NOT AN ELECTRICIAN'S OR PLUMBER'S LICENSE
01/05/2021 TO 03/31/2022
VALID

SIGNATURE

13VH01106800
License/Registration/Certificate #

Paul Rodriguez
DIRECTOR

01/05/2021 TO 03/31/2022
VALID

13VH01106800
LICENSE/REGISTRATION/CERTIFICATION #

Paul Rodriguez
DIRECTOR

Signature of Licensee/Registrant/Certificate Holder

PLEASE DETACH HERE
IF YOUR LICENSE/REGISTRATION/
CERTIFICATE ID CARD IS LOST
PLEASE NOTIFY:
Home Improvement Contractors
P.O. Box 45016
Newark, NJ 07101

PLEASE DETACH HERE

HOME & LAND DEVELOPEMENT CORP.

YOUR LICENSE/REGISTRATION/CERTIFICATE NUMBER IS 13VH 01106800 EXPIRATION DATE 2022
CORRESPONDENCE TO THE DIVISION OF CONSUMER AFFAIRS. PLEASE USE IT IN ALL
CHANGES. YOU ARE REQUIRED TO REPORT ANY ADDRESS CHANGES IMMEDIATELY TO THE ADDRESS NOTED
BELOW.

Home Improvement Contractors
P.O. Box 45016
Newark, NJ 07101

PRINT YOUR NEW ADDRESS OF RECORD BELOW.
YOUR ADDRESS OF RECORD IS THE ADDRESS THAT WILL PRINT ON
YOUR LICENSE/REGISTRATION/CERTIFICATE AND IT MAY BE MADE
AVAILABLE TO THE PUBLIC.

HOME

BUSINESS

TELEPHONE
INCLUDE AREA CODE

PRINT YOUR NEW MAILING ADDRESS BELOW.
YOUR MAILING ADDRESS IS THE ADDRESS THAT WILL BE USED BY
THE DIVISION OF CONSUMER AFFAIRS TO SEND YOU ALL
CORRESPONDENCE.

HOME

BUSINESS

TELEPHONE
INCLUDE AREA CODE

If the law governing your profession requires the current license/registration/certificate to be displayed, it should be within reasonable proximity of your original license/registration/certificate at your principal office or place of business.



October 25, 2021

MR. CHARLES G. FARKOUH
88 PORTLAND RD APT 1
HIGHLANDS, NJ 07732
GNF718@AOL.COM

Re: Gas Facility Removal Demolition Request
14 PEAK ST, HIGHLANDS (12531337)

Dear MR. FARKOUH,

Per your request, New Jersey Natural Gas Company has investigated the above referenced property for the presence of natural gas facilities. The facilities (if any) have been permanently retired at the main, which may be in the road or behind the curb.

*******IMPORTANT*******
PLEASE READ CAREFULLY

SHOULD YOU REQUIRE GAS SERVICE RESTORED, PLEASE FOLLOW THE DIRECTIONS BELOW:

1. Call 1-800-221-0051, a minimum of 6 weeks prior to the estimated reconnection date. This is necessary for us to obtain permits required to restore your service.
2. When you call, ask to speak to a **MARKETING REPRESENTATIVE**, who will assist you to have a new gas service line run.
3. Please be advised that the new service line must be installed according to the current company installation standards.

NEW JERSEY NATURAL GAS COMPANY
1420 Wyckoff Road
Wall, New Jersey 07719

- c. NBPT (12531337)
File - Operations Dept.

10/29/2021

Jerry Feliciano
14 N Peak St
Highlands NJ 07732

RE: 14 N Peak St, Highlands NJ 07732 – DR# 349944508

Dear Customer:

This letter confirms and gives notice that, effective as of the above date, Jersey Central Power & Light Company ("JCP&L" or "Company") has (1) removed or relocated its electric service cable(s) and meter(s) (the "Company Facilities") from, at, or on, the above referenced service location (the "Service Location") as you requested in order to accommodate proposed demolition and/or other construction activity; and (2) inspected to confirm that the requested removal or relocation of the Company Facilities at the Service Location has been completed. Please note that there may be other structures located around, at, or on the Service Location that continue to have electric service.

PLEASE REMEMBER: notwithstanding this confirmation and notice, you and your contractors are responsible to conduct all demolition and/or construction activities safely and in compliance with all applicable permits, laws and regulations governing such activity at the above-referenced Service Location including, but not limited to, demolition and/or construction activities undertaken around any other structures with an active electric service.

JCP&L would also like to take this opportunity to further remind you of the need to maintain proper clearance distance between buildings and power lines. The minimum clearance distances are set forth in the National Electrical Safety Code ("NESC"), which is the standard to which New Jersey electric public utilities, such as JCP&L, build and maintain their electric systems. Depending on the circumstances, construction and/or demolition activities may also be subject to additional standards such as, among other things, those found in the National Electrical Code ("NEC") and the Occupational Safety and Health Act ("OSHA").

Involving JCP&L early in the construction planning process may, where practicable, avoid the need for relocating and/or removing electrical facilities. Failing to plan for these clearance requirements early in the planning process may result in increased additional costs to the property owner in order to address later identified safety concerns. After construction is completed, the practicability of relocating utility facilities may be compromised or eliminated. This can lead, among other things, to (1) increased costs to the property owner, (2) the possible need for modifications (including demolition) to the newly constructed structure, and/or (3) the possible loss of electric service at the property until such conditions are rectified. Reviewing available options in advance of construction provides the property owner with the best opportunity to potentially avoid or reduce the risk of personal injury, property damage and/or increased costs.

JCP&L seeks to promote public safety and encourage close cooperation in addressing these issues efficiently and effectively prior to construction. Please contact JCP&L at 1-800-662-3115 in order to discuss the proximity of any future project to nearby power lines. The Company will schedule a field appointment with you so that the site and the proposed project can be reviewed with respect to the NESC minimum clearance requirements. Thank you for your prompt attention to this very important matter.

Yours truly,

Jersey Central Power and Light Company
Union Beach Operations



Borough of Highlands
1 Kings Highway
Middletown, NJ 07748
 Phone: 732-615-2106
 Fax: 732-671-2576

Permit Number: **2100184**
 Update Number:
 Control Number: **2021-0137**
 Application Date: **11/6/2021**
 Permit Date: **11/16/2021**

CONSTRUCTION PERMIT

IDENTIFICATION

OWNER/ PROPERTY DETAILS

Block: **35** Lot: **9** Qualifier:

Work Site Location **14 NORTH PEAK STREET**
HIGHLANDS NJ 07732

Owner in Fee **FELICIANO, JERRY**

Telephone

Address **14 NORTH PEAK ST**
HIGHLANDS NJ 07732

Use Group(s): **R-5**

Contractor **HOME & LAND DEVELOPEMENT**
 Telephone **(732)460-0692**
 Address **16A BELLEVUE AV**
RUMSON NJ 07760

Lic. No. / Bldrs. Reg. No
 Federal Emp. No.

is hereby granted permission to perform the following work:

Demolition **Building** **Plumbing**

DESCRIPTION OF WORK:
Demo Single Family Dwelling

ESTIMATED COST OF WORK:

Cost of Construction: **\$0.00**
 Cost of Alteration: **\$0.00**
 Cost of Demolition: **\$3,600.00**

Total Cost: \$3,600.00

If construction does not commence within one year of date of issuance,
 or if construction ceases for a period of six months, this permit is void

 Joseph Kachinsky
 Construction Official

Date: **11/16/2021**

- :: Failure to obtain all required inspections may result in administrative action
- :: Final inspections are required before final payment is to be made to contractor
- :: An approved set of plans must be kept at the worksite at all times

Notes:

PAYMENTS (Office Use Only)

Building	\$85.00
Electrical	
Plumbing	\$85.00
Fire Protection	
Elevator Devices	
Mechanical	
VolFee (DCA)	
AltFee (DCA)	
DCA Minimum Fee	
Other Fees	
CO Fee	
CCO Fee	
Minimum Fee	
Total	\$170.00
No Fees Waived	

Amount to be Paid: \$0.00

Check Amount: **\$170.00**
 Payment Date: **11/16/2021**
 Collected By: **Patti Merse**
 Reference No: **210185**

Total Check Amount \$170.00

Grand Total: \$170.00



BOROUGH OF HIGHLANDS, N. J.

Sewer Connection Permit Application

Account # 1970-0

Date: 9/21/21

The undersigned, being the owner of the property located at 14 North Peak, Block 35 Lot 89

does hereby request a permit to install and connect a building sewer to serve the above location, which is owned by Home & Land Development whose address is 88-1 Portland RD HIGHLANDS

The proposed building connection will be installed on the rear side of the street, now approximately n/a feet from n/a street.

The name and address of the Plumbing Contractor who will perform the work is Bonide Plumber License No.

The proposed size of the building sewer is 4"

The proposed pipe material to be used is 4"

Drawings showing the plan and profile of the building sewer are shown on the next page. The plan shall show the location of the building to be served, the alignment of the building sewer, clean-outs, distances from the house to the curb, location of water supply lines, and the minimum distance between the water supply line and the building sewer.

In consideration of the granting of this permit, the undersigned agrees to all the terms and conditions set forth on the reverse side of this application.

Signed (Applicant) 88-1 Portland RD HIGHLANDS NJ Phone 917 686 4111

RECEIVED SEP 27 2021

HIGHLANDS SEWER DEPARTMENT:

Street excavation permit fee paid as follows: \$190, \$500 deposit

Sewer connection fee paid as follows: \$5,142 Check # 210133

Received by: Nancy Tran Date: 10/1/2021

Street excavation permit # 810 2021-03

Application approved and permit issued:

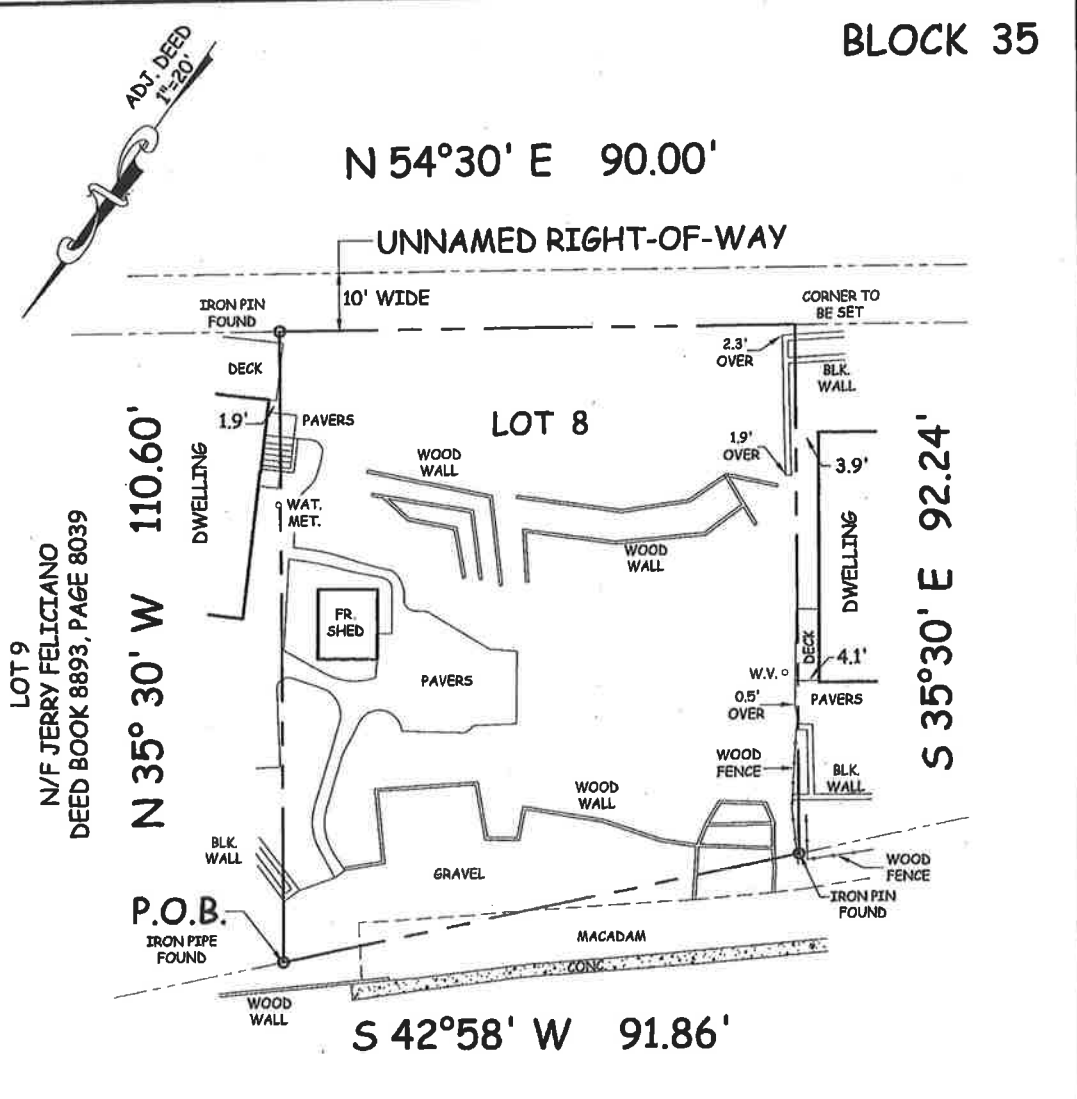
Signed: (DPW Inspector) Date: 10/7/21

INSPECTION:

Connection completed, inspected, and approved Date (DPW Inspector)

First Billing Date Date Keyed in Computer

First Billing Amount Connection Date



NORTH PEAK STREET
40' R.O.W.

PREMISES COMMONLY KNOW AS
#32 NORTH PEAK STREET.

REFERENCES:

DEED BOOK 8893, PAGE 8034; BOROUGH OF
HIGHLANDS TAX MAP SHEET 10.

CORNER MARKERS TO BE
SET AT A LATER DATE.

TITLE #316-174444

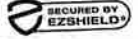
	BRUNSWICK WEST, INC. <small>LICENSED LAND SURVEYORS</small> 219 1/2 SOUTH MAIN STREET FLEMINGTON, NEW JERSEY 08822-1703 <small>PHONE (908) 284-0888 FAX (908) 284-2818</small>	I HEREBY CERTIFY THIS SURVEY TO: THOMAS WALSH AND OLIVIA HORTON; CHAMLIN, ULIANO AND WALSH; ANDREW WALSH, ESQUIRE; FOUNDATION TITLE, LLC - EATONTOWN; FIDELITY NATIONAL TITLE INSURANCE COMPANY. 	
	PLAN OF SURVEY THOMAS WALSH AND OLIVIA HORTON BOROUGH OF HIGHLANDS MONMOUTH, NEW JERSEY BLOCK 35, LOT 8 C.A. #246A28022700		
	Drawn by <u>RSZ</u> Job No. <u>21.1249</u> Date <u>5/17/2021</u> Checked by <u>HP</u> Drawing No. _____ Scale <u>1"=20'</u>		RICHARD S. ZINN N.J.L.S. 34888

RECEIVED SEP 27 2021



HOME & LAND DEVELOPMENT CORP
 88-1 PORTLAND RD
 HIGHLANDS, NJ 07732

210133



55-138/212

Date 9/25/21

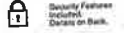
Pay to the order of

Borough of Highlands

\$ 5142⁰⁰

Five thousand one hundred forty two and 00/100

Dollars



VALLEY BANK
 WWW.VALLEY.COM

For State Comm 14 PERM

[Signature]

⑈ 210133 ⑈ ⑆ 021201383 ⑆ ⑈ 000041300130 ⑈

RECEIVED SEP 27 2021

Subject: RE: new project in highlands north peak st blk 35 lot 8 and 9
Date: 9/15/2021 3:10:35 PM Eastern Standard Time
From: dpavlick@cmeusa1.com
To: gnf718@aol.com
Cc: BMatlack@cmeusa1.com

Hi Charlie- please see attached for the tax map for this area. It appears Boro ROW exists to the rear of Block 35, Lots 8 & 9. Unfortunately as Boro Engineer we can't consult on private development in town, you would have to speak with your engineer about this. Here is the link to the municipal ordinance:

<https://ecode360.com/HI4100>

-Drew

From: gnf718@aol.com <gnf718@aol.com>
Sent: Wednesday, September 15, 2021 12:12 AM
To: Pavlick, Drew <dpavlick@cmeusa1.com>
Subject: new project in highlands north peak st blk 35 lot 8 and 9

Drew,

Sorry for late email but Im headin to pa back thursday. I am purchasing these two lots and would like to install this wall sysem the entire length of both lots and fix the grade . I used this system w t& m in redbank on a bluff and it went very well. Can you give me your thoughts and also there is a right of way behind those lots and i would like to run two sewer laterlas to valley . The home presently has a septic system..

<http://www.stonestrong.com/galleries/view/112-residential>

I would like to meet you at the lots.

Charlie Farkouh

Home & Land Development Corp

RECEIVED SEP 27 2021



BOROUGH OF HIGHLANDS, N. J.

Sewer Connection Permit Application

Account # 1971-0

Date: 9/21/21

The undersigned, being the Owner / authorized agent of the property located at 32 North Peak Ave, Block 35 Lot 28

does hereby request a permit to install and connect a building sewer to serve the above location, which is owned by Honolulu Design Corp whose address is 88-1 Portland RD Highlands

The proposed building connection will be installed on the Rear side of the street, approximately 200 feet from 200 street.

The name and address of the Plumbing Contractor who will perform the work is Dumble Plumbing & Drain License No.

The proposed size of the building sewer is 4" SCL&E 40

The proposed pipe material to be used is 4" SCL&E 40

Drawings showing the plan and profile of the building sewer are shown on the next page. The plan shall show the location of the building to be served, the alignment of the building sewer, clean-outs, distances from the house to the curb, location of water supply lines, and the minimum distance between the water supply line and the building sewer.

In consideration of the granting of this permit, the undersigned agrees to all the terms and conditions set forth on the reverse side of this application.

Signed [Signature] (Applicant) 88-1 Portland RD Highlands NJ 07722 Phone 917 626 4111

RECEIVED SEP 27 2021

HIGHLANDS SEWER DEPARTMENT: Street excavation permit fee paid as follows: \$190, \$500 deposit Sewer connection fee paid as follows: \$5,142 Check # 210134 Received by: Nancy Tran Date: 10/1/2021 Street excavation permit # S/O 2021-04

Application approved and permit issued: Signed [Signature] (DPW Inspector) Date: 10/7/21

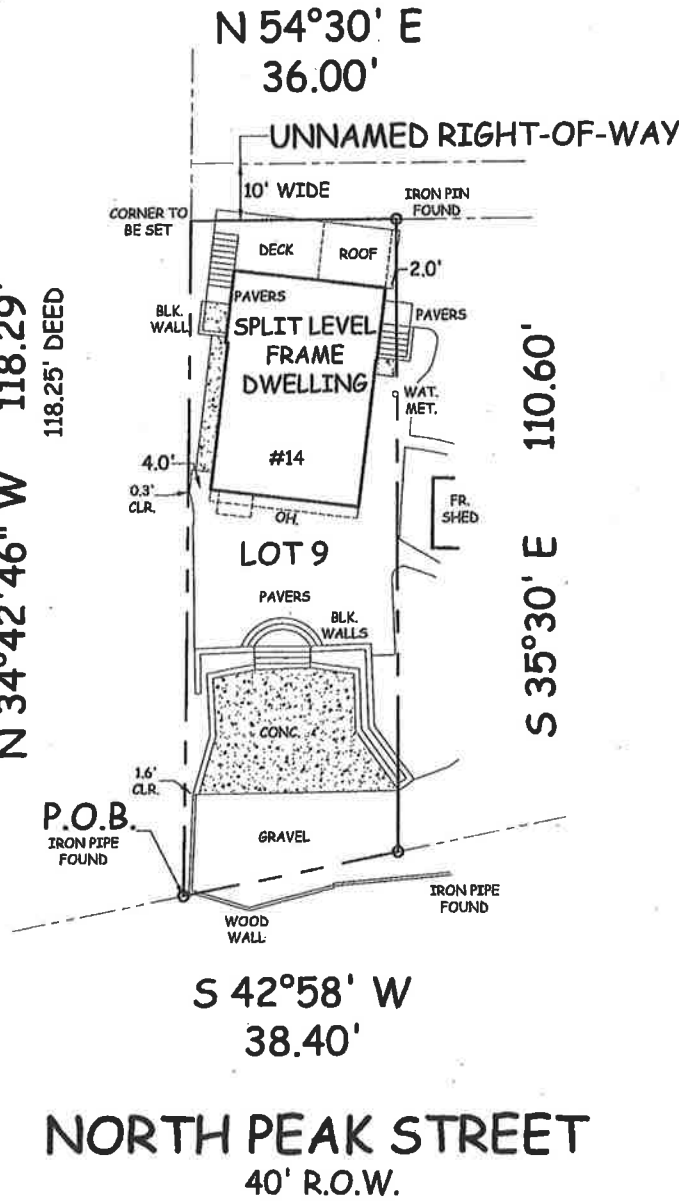
INSPECTION: Connection completed, inspected, and approved Date (DPW Inspector)

First Billing Date Date Keyed in Computer First Billing Amount Connection Date



LOT 22.01
N/F SANDY HOOK INTERIORS, INC.

N 34°42'46" W 118.29'
118.25' DEED



REFERENCES:

DEED BOOK 8893, PAGE 8039; BOROUGH OF HIGHLANDS TAX MAP SHEET 10.

CORNER MARKERS TO BE SET AT A LATER DATE.

	BRUNSWICK WEST, INC. <small>LICENSED LAND SURVEYORS 219 1/2 SOUTH MAIN STREET FLEMINGTON, NEW JERSEY 08822-1763 PHONE (908) 284-0886 FAX (908) 284-2818</small>	I HEREBY CERTIFY THIS SURVEY TO: THOMAS WALSH AND OLIVIA HORTON; CHAMLIN, ULIANO AND WALSH; ANDREW WALSH, ESQUIRE; FOUNDATION TITLE, LLC - EATONTOWN; FIDELITY NATIONAL TITLE INSURANCE COMPANY. 	
	PLAN OF SURVEY THOMAS WALSH AND OLIVIA HORTON BOROUGH OF HIGHLANDS MONMOUTH, NEW JERSEY BLOCK 35, LOT 9 C.A. #246A28022700		
	Drawn by <u>RSZ</u> Job No. <u>21.1250</u> Date <u>5/17/2021</u> Checked by <u>HP</u> Drawing No. _____ Scale <u>1"=20'</u>		RICHARD S. ZINN N.J.L.S. 34888

TITLE #315-174444

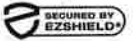
RECEIVED SEP 27 2021



HOME & LAND DEVELOPMENT CORP

88-1 PORTLAND RD
HIGHLANDS, NJ 07732

210134



55-138/212

Date 9/21/21

Pay to the order of Borough of Highlands \$ 5192⁰⁰
Five thousand one hundred forty two and 00/100 Dollars

VALLEY BANK
WWW.VALLEY.COM

For Star Lunch 32 Bank



⑈ 210134 ⑈ ⑆ 021201383 ⑆ ⑈ 000041300130 ⑈

©2005 UNITECH - BLUE SAFETY

Security Features
Include on this L

RECEIVED SEP 27 2021



8/0 2021-03

42 SHORE DRIVE
HIGHLANDS, NJ 07732
P: 732-872-1224 X 250
F: 732-872-0670

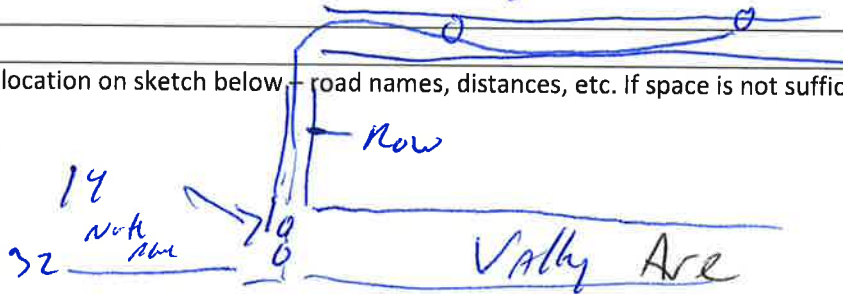
Borough of Highlands
APPLICATION FOR STREET EXCAVATION PERMIT
Permit Fee \$190 / Deposit \$500
MUST BE 2 SEPARATE CHECKS

gnfr18@aol.com

SECTION A: TO BE COMPLETED BY APPLICANT

Applicant's Name Highland Deep Corp Telephone # (917) 686-4111
 Address: 88-1 Pentland RD Highlands NJ 07732
 Contractor: Highland Deep Corp
 If other than applicant
 Address: 88-1 Pentland RD Highlands NJ 07732
 Location of excavation: Valley RD

Show location on sketch below - road names, distances, etc. If space is not sufficient, attach detailed drawing



Nature, purpose, and extent of excavation work:

Shower Curbs for 14 North^{peak} ST. B3569

For trenches only: Length: _____ FT Width: _____ FT Depth: _____ FT

Are street Closures or traffic rerouting required? () Yes () No
(if yes, attach sketch and description of proposed traffic control devices)

Proposed date of commencement: 10/15/21 Proposed completion: 10/17/21

Statement: The undersigned applicant for a street excavation permit hereby warrants that the information herein is correct and that he is familiar with, and agrees to abide by the requirement of the "Street Excavation Ordinance" if the Borough of Highlands.

Insurance Company: SEE ATTACH Policy Number: _____

Insurance Cert: _____ Expiration Date: _____

NOTE: APPLICANT SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT AT 732-872-1224 EXT 250 PRIOR TO COMMENCEMENT OF WORK.



42 SHORE DRIVE
HIGHLANDS, NJ 07732
P: 732-872-1224 X 250
F: 732-872-0670

Borough of Highlands
APPLICATION FOR STREET EXCAVATION PERMIT

SECTION B: TO BE COMPLETED BY PUBLIC WORKS SUPERINTENDENT*

*Or Borough Engineer if applicable

Estimated excavation size: _____

Deposit amount required: \$ 500 Permit Fee \$ 190

Surety Bond Recommendation:

Required? Yes No

Provisions (if any):

Approval: Yes () No

Disapproval Reason:


Public Works Superintendent Signature

10/7/21
Date

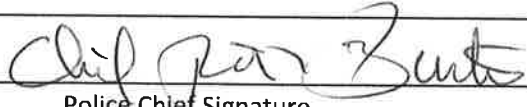
SECTION C: TO BE COMPLETED BY POLICE CHIEF*

WHEN STREET CLOSURES OR TRAFFIC REROUTING IS PROPOSED

Approved: Yes () No

Conditions of Approval (if any): PROPER SIGNS, ADVANCED NOTICE
TRAFFIC CONTROL

Reason for disapproval:


Police Chief Signature

10-7-21
Date



42 SHORE DRIVE
HIGHLANDS, NJ 07732
P: 732-872-1224 X 250
F: 732-872-0670

Borough of Highlands
APPLICATION FOR STREET EXCAVATION PERMIT

Section D: TO BE COMPLETED BY CASHIER

Permit Fee: \$190
Amount Paid: _____ Date received: 10/11/2021

Surety Bond:
Amount Paid: _____ Date received: _____

Deposit: \$500
Amount Paid: _____ Date received: 10/11/2021

[Signature]
Cashier Signature _____ Date 10/11/2021

Section E: TO BE COMPLETED BY BOROUGH CLERK *IF APPLICABLE*

Surety Bond # _____ Date Received: _____

Clerk Signature _____ Date _____

Section F: TO BE COMPLETED BY THE BOROUGH ADMINISTRATOR

[Signature]
Signature _____ Date 10.8.2021

Section G: TO BE COMPLETED UPON COMPLETION OF WORK*

To be completed by the DPW Superintendent

Date work finished: _____

Date of inspection: _____

Approval: () Yes () No

Authorized to release deposit () Yes () No

Authorized to release bond () Yes () No

Signature _____ Date _____

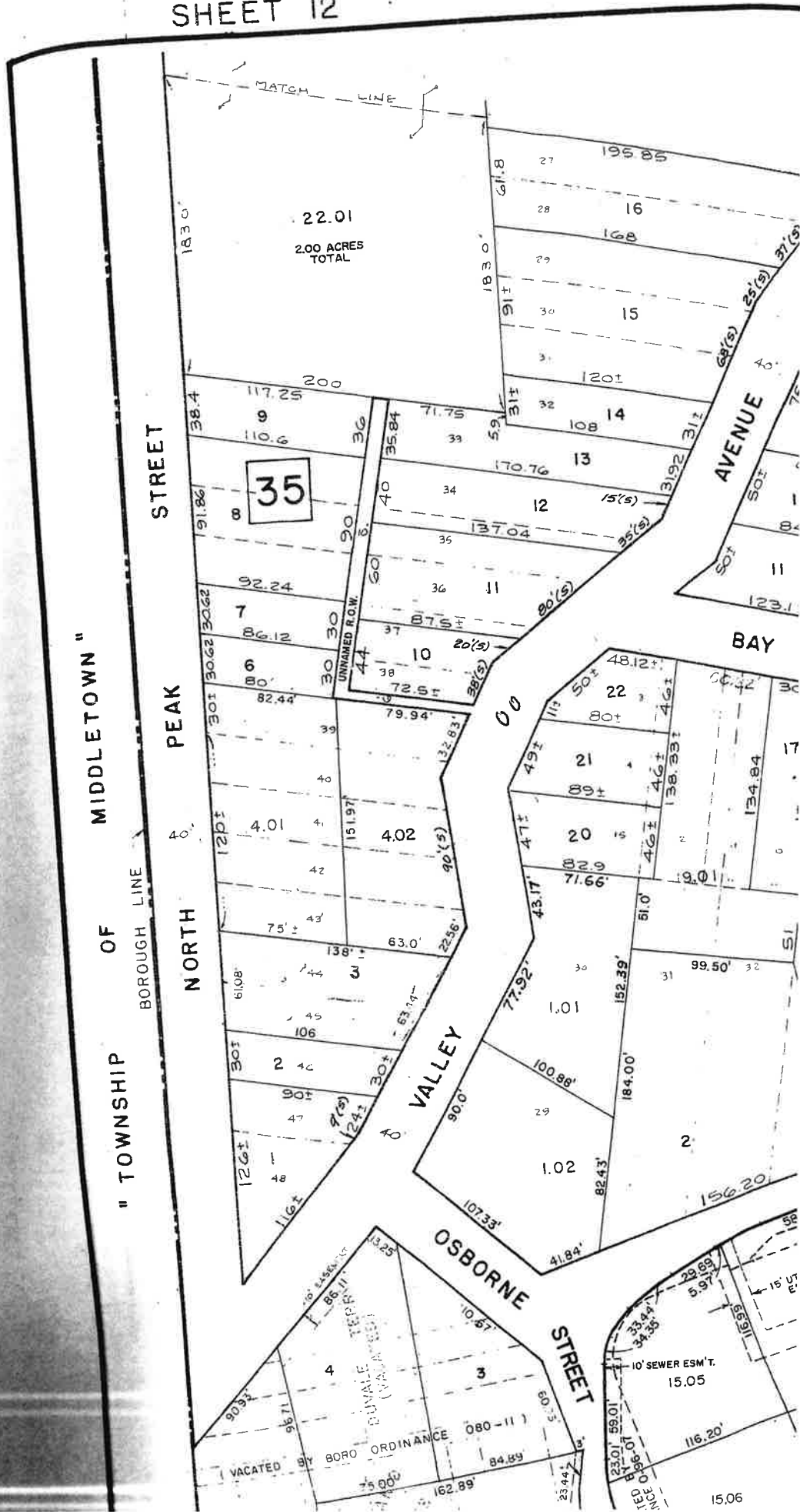
Section H: TO BE COMPLETED BY BOROUGH CLERK UPON COMPLETION

Bond released: Yes No

Signature _____ Date _____

Sewer connection
\$ 5,142

Street excavation
\$190 fee
\$500 deposit





CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

10/1/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Holmes & McDowell PO Box 348 Holmdel NJ 07733	CONTACT NAME: Anthony DiMeglio (Partner)
	PHONE (A/C, No, Ext): (732) 946-4800 FAX (A/C, No): (732) 946-4940
	E-MAIL ADDRESS: A.Dimeglio@holmesmcowell.com
	INSURER(S) AFFORDING COVERAGE
	INSURER A: Kinsale Insurance Company
	INSURER B: AmGUARD Insurance Company
	INSURER C:
	INSURER D:
	INSURER E:
	INSURER F:

COVERAGES CERTIFICATE NUMBER: 2021-2022 REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			0100041455-5	8/09/2021	8/09/2022	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ N/A PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$						<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS-MADE EACH OCCURRENCE \$ AGGREGATE \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below			R2WC242420	1/11/2021	1/11/2022	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER**CANCELLATION**

Borough of Highlands
14 & 32 N. Peak Street
Highlands, NJ 07732

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Anthony DiMeglio (Partner)

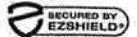
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HOME & LAND DEVELOPMENT CORP

88-1 PORTLAND RD
HIGHLANDS, NJ 07732

210103



55-138/212

Pay to the order of

Borough of Highlands

Date *9/28/14*

\$ *1,000*

One Thousand 00/100

Dollars Security Features Included. Details on Back.

VALLEY BANK
WWW.VALLEY.COM

For *ESKew HSLMS*
SOME

⑈ 210103 ⑆ ⑆ 021201383 ⑆ ⑆ 000041300130 ⑈

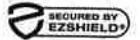
CHECKS UNLIMITED • BLUE SAFETY



HOME & LAND DEVELOPMENT CORP

88-1 PORTLAND RD
HIGHLANDS, NJ 07732

210104



55-138/212

Pay to the order of

Borough of Highlands

Date *9/30/14*

\$ *380.00*

Three hundred eighty 00/100

Dollars Security Features Included. Details on Back.

VALLEY BANK
WWW.VALLEY.COM

For *Street Example HSLMS*

⑈ 210104 ⑆ ⑆ 021201383 ⑆ ⑆ 000041300130 ⑈

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S/O 2021-04

42 SHORE DRIVE
HIGHLANDS, NJ 07732
P: 732-872-1224 X 250
F: 732-872-0670

Borough of Highlands
APPLICATION FOR STREET EXCAVATION PERMIT
Permit Fee \$190 / Deposit \$500
MUST BE 2 SEPARATE CHECKS

gnf718@aol.com

SECTION A: TO BE COMPLETED BY APPLICANT

Applicant's Name Home & Land Dev Co Telephone # 917 688 414
 Address: 88-1 Portals RD
 Contractor: Home & Land Dev Co
 If other than applicant
 Address: 88-1 Portals RD Highlands NJ 07732
 Location of excavation: Valley Ave

Show location on sketch below – road names, distances, etc. If space is not sufficient, attach detailed drawing



Nature, purpose, and extent of excavation work:

32 NORTH PEARL ST
BLK 35 LOT 8

For trenches only: Length: _____ FT Width: _____ FT Depth: _____ FT

Are street Closures or traffic rerouting required? () Yes () No
(if yes, attach sketch and description of proposed traffic control devices)

Proposed date of commencement: _____ Proposed completion: _____

Statement: The undersigned applicant for a street excavation permit hereby warrants that the information herein is correct and that he is familiar with, and agrees to abide by the requirement of the "Street Excavation Ordinance" if the Borough of Highlands.

Insurance Company: _____ Policy Number: _____

Insurance Cert: _____ Expiration Date: _____

SEE ATTACHED

NOTE: APPLICANT SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT AT 732-872-1224 EXT 250 PRIOR TO COMMENCEMENT OF WORK.



42 SHORE DRIVE
HIGHLANDS, NJ 07732
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Borough of Highlands
APPLICATION FOR STREET EXCAVATION PERMIT

SECTION B: TO BE COMPLETED BY PUBLIC WORKS SUPERINTENDENT*

*Or Borough Engineer if applicable

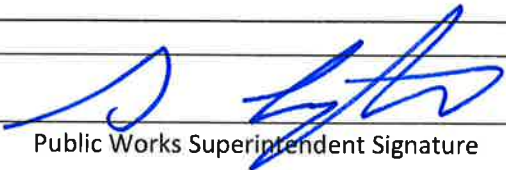
Estimated excavation size: _____
Deposit amount required: \$ 500 Permit Fee \$ 190

Surety Bond Recommendation:
Required? Yes No

Provisions (if any):

Approval: Yes () No

Disapproval Reason:


Public Works Superintendent Signature

10/7/21
Date

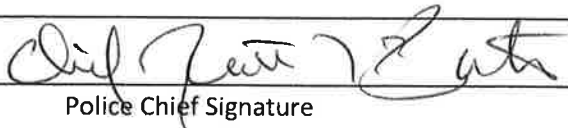
SECTION C: TO BE COMPLETED BY POLICE CHIEF*

WHEN STREET CLOSURES OR TRAFFIC REROUTING IS PROPOSED

Approved: Yes () No

Conditions of Approval (if any): ADVANCED NOTICE, TRAFFIC CONTROL
NOTICE TO NEIGHBORHOOD

Reason for disapproval:


Police Chief Signature

10-7-21
Date



42 SHORE DRIVE
HIGHLANDS, NJ 07732
P: 732-872-1224 X 250
F: 732-872-0670

Borough of Highlands
APPLICATION FOR STREET EXCAVATION PERMIT

Section D: TO BE COMPLETED BY CASHIER

Permit Fee:
Amount Paid: 190 Date received: 10/1/2021

Surety Bond:
Amount Paid: _____ Date received: _____

Deposit:
Amount Paid: 500 Date received: 10/1/2021

[Signature] _____ 10/1/2021
Cashier Signature Date

Section E: TO BE COMPLETED BY BOROUGH CLERK *IF APPLICABLE*

Surety Bond # _____ Date Received: _____

Clerk Signature Date

Section F: TO BE COMPLETED BY THE BOROUGH ADMINISTRATOR

[Signature] _____ 10.8.2021
Signature Date

Section G: TO BE COMPLETED UPON COMPLETION OF WORK*

To be completed by the DPW Superintendent

Date work finished: _____

Date of inspection: _____

Approval: () Yes () No

Authorized to release deposit () Yes () No

Authorized to release bond () Yes () No

Signature Date

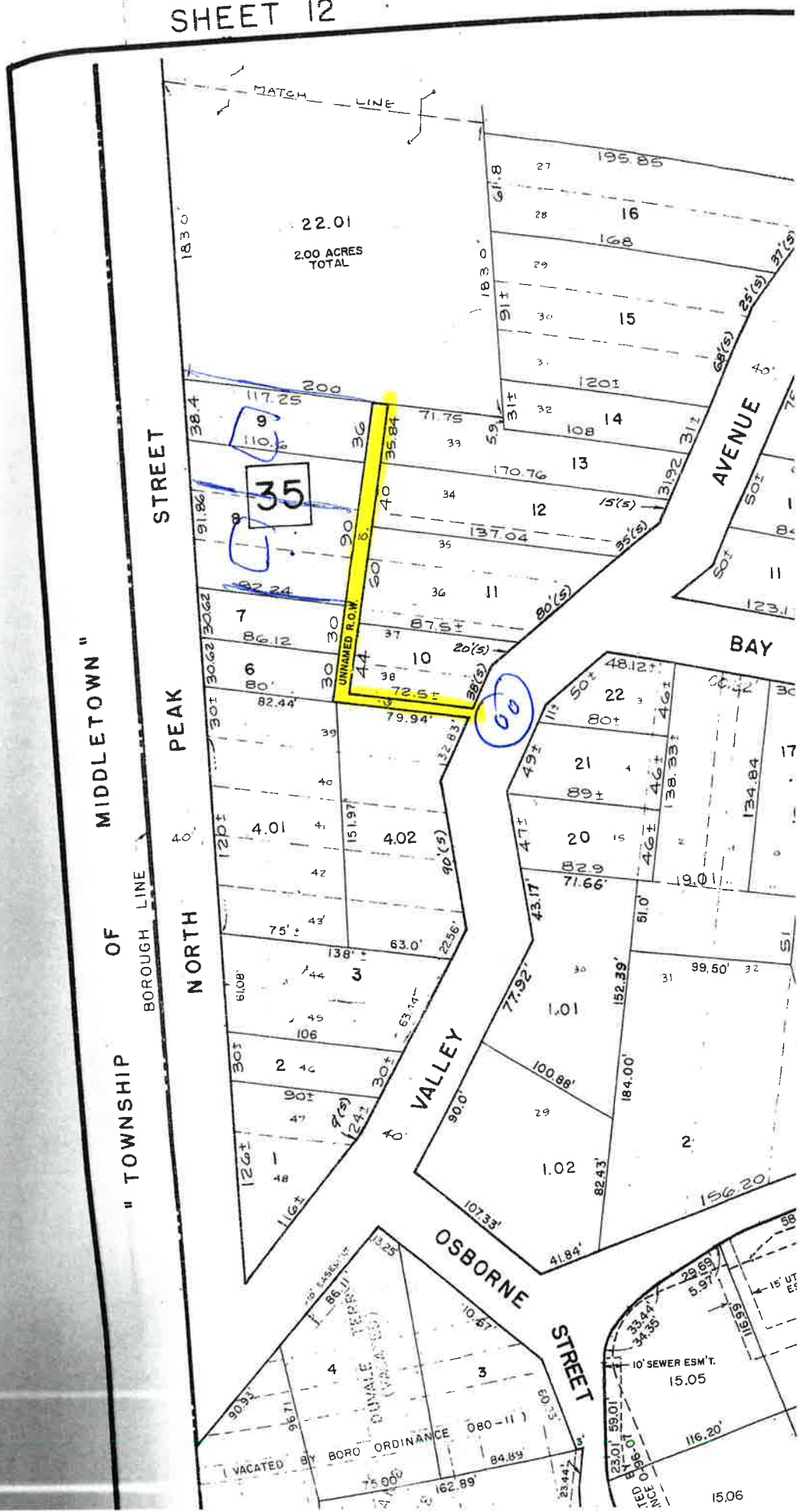
Section H: TO BE COMPLETED BY BOROUGH CLERK UPON COMPLETION

Bond released: Yes No

Signature Date

Sewer connection
\$ 5,142

Street excavation
\$190 fee
\$500 deposit





CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

10/1/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Holmes & McDowell PO Box 348 Holmdel NJ 07733	CONTACT NAME: Anthony DiMeglio (Partner) PHONE (A/C, No, Ext): (732) 946-4800 E-MAIL ADDRESS: A.Dimeglio@holmesmcdowell.com	FAX (A/C, No): (732) 946-4940
	INSURER(S) AFFORDING COVERAGE	
INSURED Home & Land Development Corp. 16a Bellevue Ave Rumson NJ 07760	INSURER A: Kinsale Insurance Company	
	INSURER B: AmGUARD Insurance Company	
	INSURER C:	
	INSURER D:	
	INSURER E:	
	INSURER F:	

COVERAGES **CERTIFICATE NUMBER: 2021-2022** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			0100041455-5	8/09/2021	8/09/2022	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ N/A PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below			R2WC242420	1/11/2021	1/11/2022	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER**CANCELLATION**

Borough of Highlands
 14 & 32 N. Peak Street
 Highlands, NJ 07732

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Anthony DiMeglio (Partner)

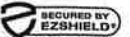
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HOME & LAND DEVELOPMENT CORP

88-1 PORTLAND RD
HIGHLANDS, NJ 07732

210103



55-138/212

Date 9/28/14

Pay to the order of

Borough of Highlands
One Third of

\$ 1,000

Dollars Security Features Included. Details on Back.

VALLEY BANK
WWW.VALLEY.COM

For ESKews HSLMS
Son

⑈ 210103 ⑈ ⑆ 021201383 ⑆ ⑈ 080041300130 ⑈

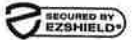
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HOME & LAND DEVELOPMENT CORP

88-1 PORTLAND RD
HIGHLANDS, NJ 07732

210104



55-138/212

Date 9/30/14

Pay to the order of

Borough of Highlands
Three hundred eighty Dollars

\$ 380.00

Dollars Security Features Included. Details on Back.

VALLEY BANK
WWW.VALLEY.COM

For Stout Example HSLMS

⑈ 210104 ⑈ ⑆ 021201383 ⑆ ⑈ 000041300130 ⑈

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