



RECEIVED

FEB 23 2023

Borough of Highlands
42 Shore Drive
Highlands, NJ 07732
(732) 872-1224
www.highlandsborough.org

LAND USE BOARD

LAND USE BOARD APPLICATION

FOR OFFICIAL USE			
Date Rec'd: <u>2/23/2023</u>	Application #: <u>LUB2023-01</u>	Fee: <u>1,175.00</u>	Escrow: <u>\$3,350.00</u>

1. APPLICANT

Name: Catcherman, LLC
 Address: 68 South Bay Ave
 City: Highlands State: NJ Zip: 07732
 Phone: 215.262.2063
 Email: rdavis704@verizon.net
 Relation to property: owner/applicant

2. OWNER

Name: Same as applicant
 Address: _____
 City: _____ State: _____ Zip: _____
 Phone: _____
 Email: _____

3. TYPE OF APPLICATION (Check all that apply)

- Minor Subdivision
- Major Subdivision – Preliminary
- Major Subdivision – Final
- Minor Site Plan
- Major Site Plan – Preliminary
- Major Site Plan – Final
- Variance
- Use Variance

- Appeal – Zoning Denial date _____
- Appeal – Land Use Decision date _____
- Informal Concept Plan Review
- Extension of Approval
- Revision/Resubmission of Prior Application
- Other _____

4. PROPERTY INFORMATION

Block 76 Lot(s) 4, 5, 7, 01 Address: #30 Sea Drift Avenue
 Lot size 70' x 133.33' # of Existing Lots 3 # of Proposed Lots 4 total
 Zone R-2.01 Are there existing Deed Restrictions or Easements? No Yes – Please attach copies
 Has the property been subdivided? No Yes If yes, when? _____
 Attach copies of approved map or approved resolution
 Property taxes paid through _____ Sewer paid through _____

5. ATTORNEY (A corporation, LLC, Limited Partnership, or S-Corp must be represented by a NJ attorney)

Name: Kevin Kennedy, Esq.
 Address: 165 Hwy 35, Red Bank, NJ 07701
 Phone: 732-930-1099 Email: kkennedy@kevinkennedylaw.net



6. APPLICANT'S OTHER PROFESSIONAL(S) – Engineer, Planner, Architect, etc.

Name: Andrew R. Stockton PE/P/S Name: _____
Address: Eastern Civil Engineering, LLC Address: _____
31 Grand Tour, Highlands _____
Phone: 732.872.7736 Phone: _____
Email: arstockton@gmail.com Email: _____

7. LAND USE

A. PROPERTY HISTORY –Describe in detail, nature of prior use(s) on the site, start date of such use, any prior Land Use Board applications for this site (attach copy of resolution, if applicable), history of current ownership, etc.

Existing SF dwelling to be renovated and
vacant lots

B. PROPOSED PLAN –Describe in detail, proposed use for property, including, but not limited to: 1) portion to be subdivided; 2) sell lot only; 3) construct house(s) for sale; 4) how trash will be disposed; 5) landscaping; 6) hours of operation; 7) type of goods/services; 8) fire lane. Attach additional sheets if necessary.

Subdivide property to create four new lots:
one for the existing dwelling to remain
and three new building lots for future
home construction.

C. ADDITIONAL INFORMATION:

	Existing	Proposed
Residential: How many dwelling units?	<u>1</u>	<u>3</u>
How many bedrooms in each unit?	_____	_____
How many on-site parking spaces?	_____	_____
Commercial: How many commercial uses on site?	_____	_____
How many on-site parking spaces?	_____	_____

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8. VARIANCE REQUESTS Complete section(s) related to the relief being requested.

	Req'd	Exist.	Prop'd	
Minimum Lot Requirements				
Lot Area	3150	9333	2333	Ea.
Frontage	50	133.33	33.33	Ea
Lot Depth	75	70	NO Change	
Minimum Yard Requirements				
Front Yard Setback	12	9.3	12.2	Ea.
2 nd Front Yard Setback				
Rear Yard Setback	20	16.3	14.8	Ea.
Side Yard Setback, right	6	1.6	6.2	Ea
Side Yard Setback, left	8	11.7	6.2	Ea
Building Height	32.5	43.5	5	Ea.

	Req'd	Exist.	Prop'd
Accessory Structures			
Fence/Wall Height	N/A		
Garage/Shed Height			
Garage/Shed Area			
Pool Setback			
Parking Requirements			
On-site Parking Spaces	8	8+	8
Other (please add)			

9. OTHER RELIEF REQUESTED Please specify relief(s) and explain below.

As specified on plan

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10. NOTARIZED SIGNATURE OF APPLICANT

I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual Applicant, or that I am an Officer of the Applicant authorized to sign the application for the business organization. Additionally, I certify that the survey or plans submitted with this application shows and discloses the premises in its entirety, and I further certify that no buildings, fences, or other facilities have been constructed, installed, or otherwise located on the premises after the date of the survey with the exception of the structures shown.

SWORN & SUBSCRIBED to before me this
2 day of FEBRUARY 20 23 (year)
Carolyn Broullon (notary)
(Seal)

X Cynthia Davis Signature 2/2/2023 Date

X Cynthia Davis
Print Full Name
CAROLYN BROULLON
New Jersey
Notary Public
My Commission Expires 07/07/2025
Commission # 50130681

11. NOTARIZED CONSENT OF OWNER

I certify that I am the Owner of the property which is the subject of this application, hereby consent to the making of this application and approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency (if owned by a corporation, a resolution must be attached authorizing the application and officer signature).

SWORN & SUBSCRIBED to before me this
2 day of FEBRUARY 20 23 (year)
Carolyn Broullon (notary)
(Seal)

X Cynthia Davis Signature 2/2/2023 Date

X Cynthia Davis
Print Full Name
CAROLYN BROULLON
New Jersey
Notary Public
My Commission Expires 07/07/2025
Commission # 50130681

12A. DISCLOSURE STATEMENT Circle all that apply.

Pursuant to N.J.S.A. 40:55D-48.1 & 48.2, please answer the following questions.

- Is this application to subdivide a parcel of land into six (6) or more lots? Yes No
- Is this application to construct a multiple dwelling of 25 or more units? Yes No
- Is this an application for approval of a site(s) for non-residential purposes? Yes No
- Is this Applicant a corporation? Yes No
- Is the Applicant a limited liability corporation? Yes No
- Is the Applicant a partnership? Yes No

If you circled YES to any of the above, please complete the following Ownership Discloser Statement (use additional sheets if necessary).



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12B. BUSINESS ORGANIZATION OWNERSHIP DISCLOSURE STATEMENT

Name of Corporation, Partnership, LLC, LLP, S-Corp:

Catcherman, LLC

Listed below are the names and addresses of all owners of 10% or more of the stock/interest* in the above referenced business organization:

NAME	ADDRESS
Cynthia Davis	608 S. Bay Ave, Highlands, NJ 07732
Robert Davis	608 S. Bay Ave, Highlands, NJ 07732

*If a corporation or a partnership owns 10% or more of the stock of a corporation, or 10% or great interest in a partnership, that corporation or partnership shall list the names and address of its stockholders holding 10% or more of its stock or 10% or greater interest in the partnership, and this requirement shall be followed until the names and addresses of the non-corporate stockholders and individual partners, exceeding the 10% owner ship criterion established have been listed.

SWORN & SUBSCRIBED to before me this
2 day of FEBRUARY 2023 (year)
Carolyn Broullon (notary)
 (Seal)

X Cynthia Davis 2/21/2023
 Signature (Officer/Partner) Date

X Cynthia Davis mgt member
 Print Full Name Title



CAROLYN BROULLON
New Jersey
Notary Public
My Commission Expires 07/07/2025
Commission # 50130681

8D43
DEPOSIT TICKET
FOR CLEAR COPY, PRESS FIRMLY WITH BALL POINT PEN.



DATE 2/23/2023

CURRENCY	DOLLARS	CENTS
COIN		
LIST EACH CHECK		
1 1021	1175	00
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
	\$	1175 00

PATRICK J DEBLASIO
BOROUGH OF HIGHLANDS
CURRENT FUND
42 SHORE DRIVE

UB 2023-01
Catcher

55-138/212
TOTAL ITEMS
PLEASE BE SURE ALL ITEMS ARE PROPERLY ENDORSED.
DEPOSITS MAY NOT BE AVAILABLE FOR IMMEDIATE WITHDRAWAL.

1175.00

CATCHERMAN LLC

Borough of Highlands

2/3/2023

1021

1,175.00

Firsttrust CKG (-4452)

1,175.00

8D43
DEPOSIT TICKET
FOR CLEAR COPY, PRESS FIRMLY WITH BALL POINT PEN.



DATE 2/23/2023

CURRENCY	DOLLARS	CENTS
COIN		
LIST EACH CHECK		
1 1022	2350	00
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	\$	2350 00

55-138/212

TOTAL ITEMS
PLEASE BE SURE ALL ITEMS ARE PROPERLY ENDORSED.
DEPOSITS MAY NOT BE AVAILABLE FOR IMMEDIATE WITHDRAWAL.

2350.00

CATCHERMAN LLC

Borough of Highlands

2/3/2023

1022

Subdivision Escrow Fee - Seadrift

2,350.00

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LAND USE BOARD

EASTERN CIVIL ENGINEERING, LLC

Civil Engineering – Surveying & Mapping – Land Use Planning – Site Design
31 Grand Tour, Highlands, NJ 07732 – Phone/Fax: 732.872.7736

February 3, 2023

Ms. Nancy Tran, Secretary
Highlands Borough Land Use Board
42 Shore Drive
Highlands, NJ 07732

Re: Subdivision for Catcherman, LLC
Block 76 Lots, 4, 5, & 7.01, Sea Drift Avenue
Highlands Borough, Monmouth Co., NJ
Project No. 2202137

From the Desk of:
ANDREW R. STOCKTON
Professional Engineer & Land Surveyor
Professional Planner

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LAND USE BOARD

Dear Ms. Tran:

On behalf of the applicant, Catcherman, LLC, enclosed please our initial application for zoning permit and subdivision review with regard to the above referenced property. This package contains the following information:

- Two copies of the original Zoning Permit application;
- Two copies of the Land Use Board application;
- The Zoning Permit application fee = \$50.00;
- The Preliminary & Final Major Subdivision application fee = \$1,175.00 calculated as: (\$500.00 + \$50.00/lot x 4 lots)prelim + (50% x prelim fee)final + (\$125.00)variance;
- The Subdivision Escrow Review fee = #2,350.00;
- Two sets of our subdivision plans, consisting of four sheets dated 12-27-22;
- Two additional sets of our subdivision plans, shrunk to fit 11"x17"; and
- Two copies of our cover letter and application form as submitted to Monmouth County Planning Board for review by that agency.

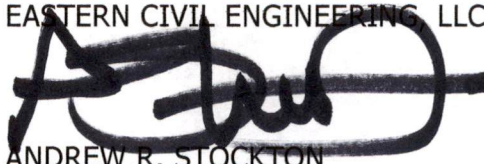
The owner and application for the subject property is Catcherman, LLC, whose address is 68 South Bay Avenue, Highlands NJ. The property is situated along the northwesterly side of Sea Drift Avenue between Cheerful Place and Recreation Place, within the R-2.01 residential zone district. The property consists of three existing lots that the applicant intends to combine and re-subdivide into four new lots; one for an existing dwelling to remain, and three new building lots for future home construction. Variances are also sought pertaining to minimum required lot area; minimum required lot frontage; existing lot depth; and existing and proposed building setbacks.

To: Ms. Nancy Tran, Secretary
Highlands Borough Land Use Board
Re: Subdivision for Catcherman, LLC
Block 76 Lots, 4, 5, & 7.01, Sea Drift Avenue
Highlands Borough, Monmouth Co., NJ
Project No. 2202137

February 3, 2023
Page 2 of 2

Please review this information, deem the application complete, and schedule the matter for the next available Land Use Board hearing. Feel free to contact this office directly if you should have any questions or if you need any additional information with regard to this matter.

Very truly yours,
EASTERN CIVIL ENGINEERING, LLC

A handwritten signature in black ink, appearing to read 'Andrew R. Stockton', is written over the printed name below.

ANDREW R. STOCKTON
Professional Engineer & Land Surveyor
For the Firm

cc. Cynthis Davis, Catcherman LLC
Kevin E. Kennedy, Esq.

EASTERN CIVIL ENGINEERING, LLC

Civil Engineering – Surveying & Mapping – Land Use Planning – Site Design
31 Grand Tour, Highlands, NJ 07732 – Phone/Fax: 732.872.7736

February 3, 2023

From the Desk of:
ANDREW R. STOCKTON
Professional Engineer & Land Surveyor
Professional Planner

Mr. Edward Sampson
Monmouth County Planning Board
Hall of Records Annex, One East Main Street
Freehold, NJ 07728-1255

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LAND USE BOARD

Re: Subdivision for Catcherman, LLC
Block 76 Lots, 4, 5, & 7.01, Sea Drift Avenue
Highlands Borough, Monmouth Co., NJ
Project No. 2202137

Dear Mr. Sampson:

On behalf of the applicant, Catcherman, LLC, enclosed please find our initial application for subdivision review at the above referenced project site. This package contains the following information:

- The original Monmouth County Planning Board application form;
- Our check in the amount of \$600.00 for the initial application fee; and
- Three copies of our subdivision plans consisting of 4 sheets dated 12-27-22.

This project involves the creation of four new lots out of three existing lots; where the existing dwelling remain on one lot and three new building lots will be created. The project site is not situated along a County roadway and the scope of work does not impact a County drainage facility.

Please review this information and issue your approval soon. Feel free to contact this office directly if you have any questions or if you need additional information with regard to this matter.

Very truly yours,
EASTERN CIVIL ENGINEERING, LLC



ANDREW R. STOCKTON
Professional Engineer & Land Surveyor
For the firm

cc. Cynthia Davis, Catcherman, LLC
Kevin E. Kennedy, Esq.
Highlands Borough Land Use Board

MONMOUTH COUNTY PLANNING BOARD

HALL OF RECORDS ANNEX
ONE EAST MAIN STREET
FREEHOLD, NEW JERSEY 07728-1255
Phone, 732.431.7460 Fax, 732.409.7540
Web Site: www.visitmonmouth.com



FILE NUMBER _____

SUBDIVISION APPLICATION FORM

Municipality Highlands Borough Project Name Subdivision
Applicant Catcherman, LLC Name of Person and Andrew B. Stockton
Address 68 South Bay Avenue Firm Preparing Plan Eastern Civil Eng
Highlands, NJ 07732 Address 31 Grand Tour
Telephone 215.264.2063 Highlands, NJ 07732
Owner Same Telephone 732.872.7736
(if other than applicant)
Address _____ Attorney _____
Address _____ Address _____
Telephone _____ Telephone _____

Indicate which Municipal Agency that plans have been filed with:

Planning Board Board of Adjustment

Tax Map: Block(s) 76 Lot(s) 4, 5, 7, 01
Location: (Road, intersecting roads, between what roads?) Sea Drift Avenue
Site Street Address: #30 Sea Drift Avenue, Highlands NJ
Zone R-2.0 Proposed Use SF Residential
Number of Proposed Lots 4 Gross density 18.7 du/ac
Number of Proposed Dwelling Units 3 Sell Vacant Lots
Average Lot Size 33.33 x 70.0' Linear Feet of New Roads 0
Area of Entire Tract 9333 SF Area Being Subdivided 9333 SF
Impervious Area: Existing 990 SF Proposed 3394 SF Total 4384 SF
Signature of Applicant or Agent X [Signature] Date 2.03.23

The review period will not commence until the proper fee, three (3) sets of sealed plans (two [2] if not on county road) and a completed Monmouth County Development Review Checklist for applications on county roads, are received.

Checks or Money Orders shall be made payable to the County of Monmouth. Cash will not be accepted.

State, county and municipal governments and quasi-governmental entities are exempt from the payment of application fees and inspection fees.

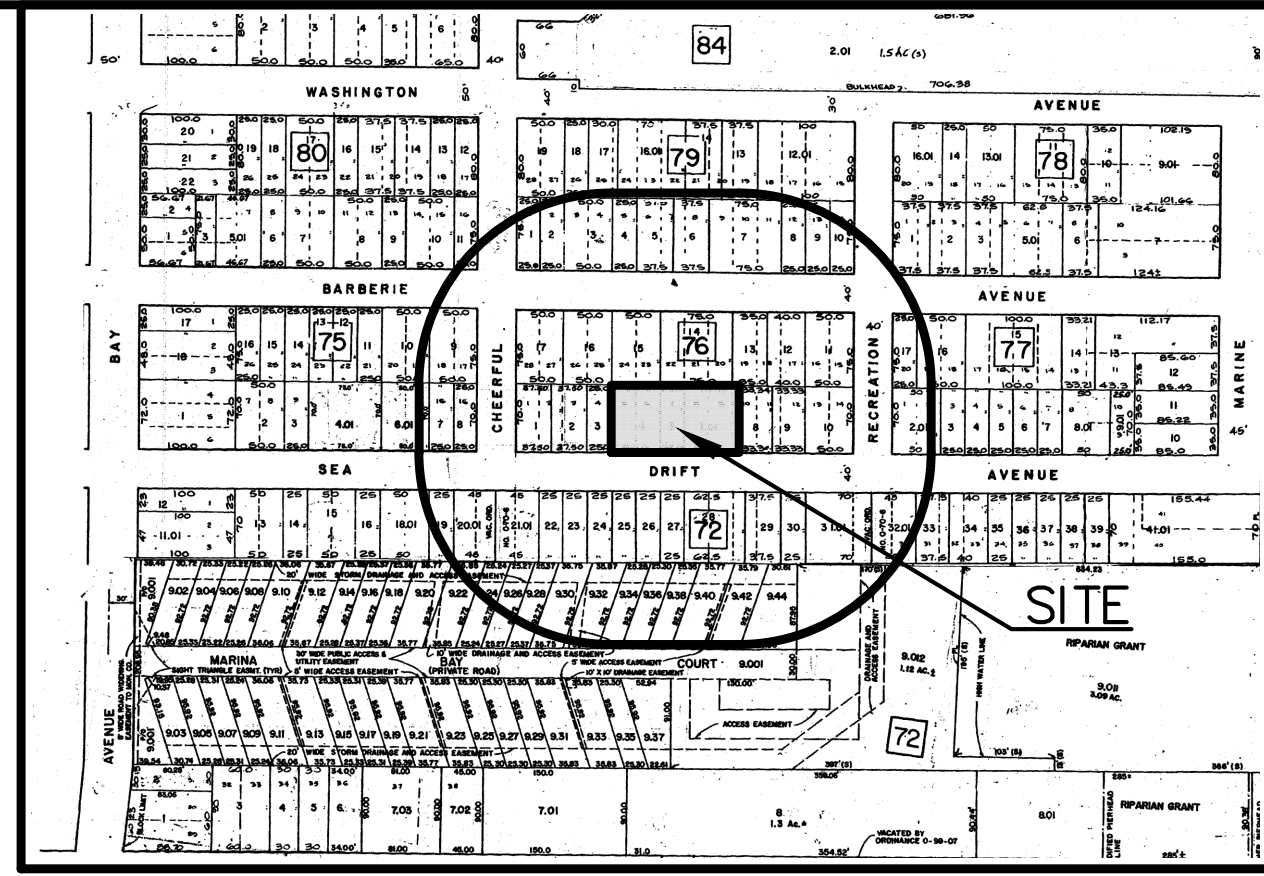
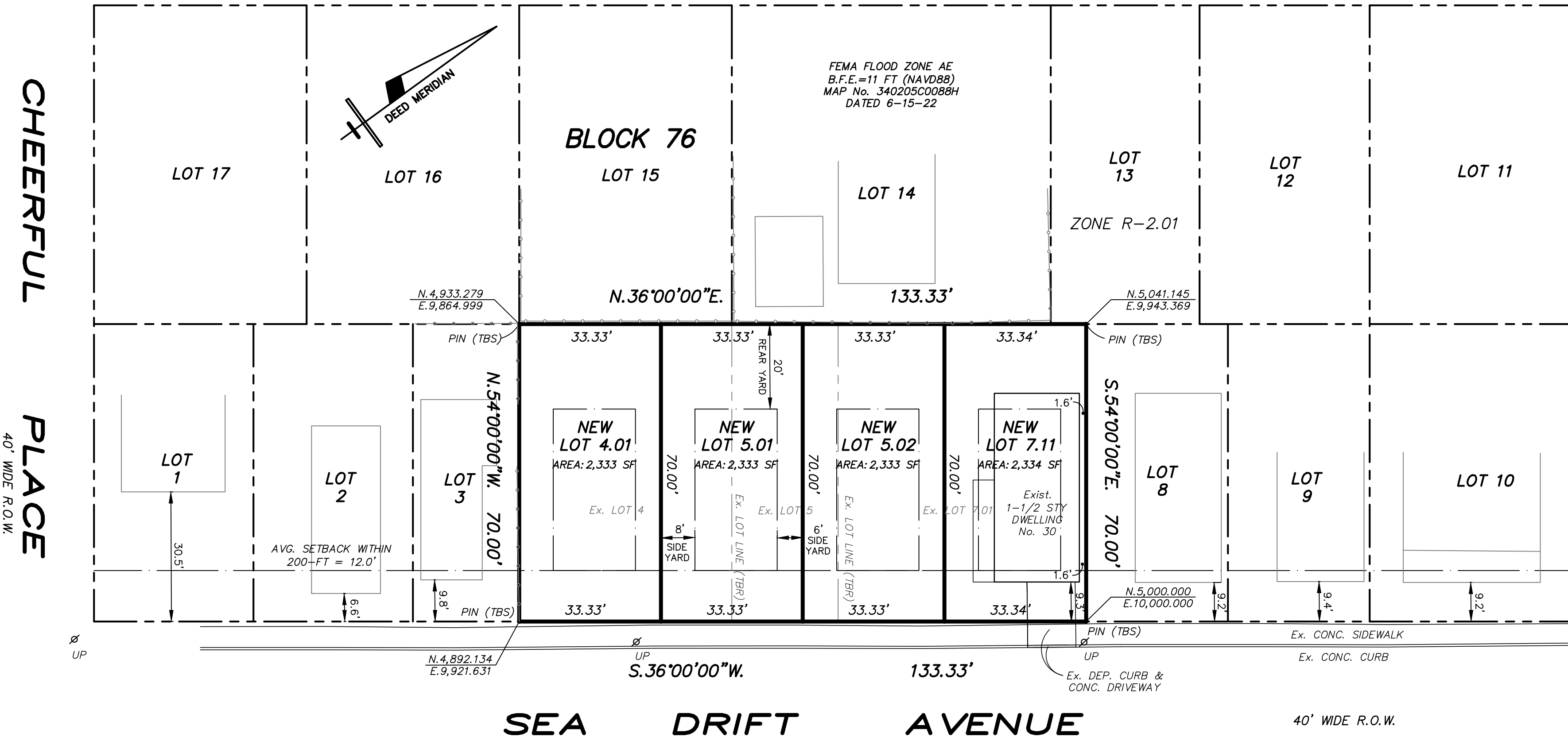
Do Not Write Below This Line

REVIEW FEE PAID Amount _____ Date Received _____
Received By _____

OWNERS OF RECORD WITHIN 200'-FT

BLOCK	LOT	OWNER NAME	BLOCK	LOT	OWNER NAME
72	9.20	BRAN GALBREATH 130 MARINA BAY COURT, HIGHLANDS NJ	76	2	KAREN JAMUS 79 WINDSOR PLACE, GLEN RIDGE, NJ
72	9.22	JOANNE DEPIA 124 MARINA BAY COURT, HIGHLANDS NJ	76	3	FRED HORN 42 SEA DRIFT AVENUE, HIGHLANDS NJ
72	9.24	FRANK & JAVNE WOODRUFF 122 MARINA BAY COURT, HIGHLANDS NJ	76	8	VERONICA MURILLO & JOAN PANASOTOU 27 SEA DRIFT AVENUE, HIGHLANDS NJ
72	9.26	KATE OHARA 120 MARINA BAY COURT, HIGHLANDS NJ	76	9	JUSTIN MELL & DANIELLE DUIN 26 SEA DRIFT AVENUE, HIGHLANDS NJ
72	9.28	LAURE MCLEOD 118 MARINA BAY COURT, HIGHLANDS NJ	76	10	STEPHEN GREGO 22 SEA DRIFT AVENUE, HIGHLANDS NJ
72	9.30	ROBERT & CATHY ARLBORN 115 MARINA BAY COURT, HIGHLANDS NJ	76	11	EDGAR & PAMELA JOHNSON 160 HIGHLAND AVENUE, HIGHLANDS NJ
72	9.32	TIMOTHY LYONS 114 MARINA BAY COURT, HIGHLANDS NJ	76	12	DEBORAH MILOT 27 BARBERIE AVENUE, HIGHLANDS NJ
72	9.34	EMILIE LONE 112 MARINA BAY COURT, HIGHLANDS NJ	76	13	NOBLE DESANTIS 31 BARBERIE AVENUE, HIGHLANDS NJ
72	9.36	DAVID & JEANNE GROSSMAN 110 MARINA BAY COURT, HIGHLANDS NJ	76	14	DIANE GREGO 33 BARBERIE AVENUE, HIGHLANDS NJ
72	9.38	ADELITA BONET 108 MARINA BAY COURT, HIGHLANDS NJ	76	15	CHRISTOPHER MARRON 39 BARBERIE AVENUE, HIGHLANDS NJ
72	9.40	MICHAEL GUMMARRINO 100 MARINA BAY COURT, HIGHLANDS NJ	76	16	DEBRA ANN HIGGS PO BOX 679, NAVESINK NJ
72	9.42	FRANCO REYNOLDS 104 MARINA BAY COURT, HIGHLANDS NJ	76	17	KATHLEEN KAMATANI 47 BARBERIE AVENUE, HIGHLANDS NJ
72	9.44	SCOTT FEILER & RAY WORTHINGTON 102 MARINA BAY COURT, HIGHLANDS NJ	77	2.01	WILLIAM & TONNE JOY ROSETTI 18 SEA DRIFT AVENUE, HIGHLANDS NJ
72	18.01	ROBERT DEHT 50 SEA DRIFT AVENUE, HIGHLANDS NJ	77	16	STEVEN HAGER 17 BARBERIE AVENUE, HIGHLANDS NJ
72	19	PENSOO TRUST CO., LLC PO BOX 173859, DENVER CO	77	17	TONNE ROSETTI 18 SEA DRIFT AVENUE, HIGHLANDS NJ
72	20.01	STANLEY & KAREN TERKULGER 143 PRINCETON ROAD, HAVERTON PA	78	1	JOSEPH KILLINGER 20 BARBERIE AVENUE, HIGHLANDS NJ
72	21.01	CHARLOTTE SMITH 47 SEA DRIFT AVENUE, HIGHLANDS NJ	79	1	48 BARBERIE AVE, LLC 12 HARBOR COURT, W. LONG BRANCH NJ
72	22	FRANK MCALPIN 45 SEA DRIFT AVENUE, HIGHLANDS NJ	79	2	FOLLY HANS 48 BARBERIE AVENUE, HIGHLANDS NJ
72	23	KEVIN DALY 40 SEA DRIFT AVENUE, HIGHLANDS NJ	79	3	HALEY BOMBAY & WILLIAM MCGURK 48 BARBERIE AVENUE, HIGHLANDS NJ
72	24	WILLIAM & SUZANNE KAHLY 117 REGENCY COURT, MORGANVILLE NJ	79	4	ERIK LIEPINS & ERICA JOHNSON 42 BARBERIE AVENUE, HIGHLANDS NJ
72	25	LORIANE CARLOS 5 BUCKLEBURY WAY, BOXTON NJ	79	5	CATHERINE & ROBERT WORTHINGTON 40 BARBERIE AVENUE, HIGHLANDS NJ
72	26	JOSEPH & LOS CARNEVALE 200 PAZE AVENUE, LINDHURST NJ	79	6	KAREN RADZIKOWSKI 39 BARBERIE AVENUE, HIGHLANDS NJ
72	27	GENEVIEVE DAMANTE 169 COMANCHE DRIVE, OCEANPORT, NJ	79	7	DUANE LEIST 32 BARBERIE AVENUE, HIGHLANDS NJ
72	28	FRANK DIMARCO 31 SEA DRIFT AVENUE, HIGHLANDS NJ	79	8	ROBERT & JOANNE HUGHES 39 BARBERIE AVENUE, HIGHLANDS NJ
72	29	TODD VACCARO 27 SEA DRIFT AVENUE, HIGHLANDS NJ	79	9	VALERIE BROWNING 24 BARBERIE AVENUE, HIGHLANDS NJ
72	30	CAROLA CORNIO 25 SEA DRIFT AVENUE, HIGHLANDS NJ	79	10	PAUL BITER 22 BARBERIE AVENUE, HIGHLANDS NJ
72	31.01	SHANNON ENTERPRISES, LLC VANDERBILT AVENUE, HIGHLANDS NJ	79	12.01	DAVID JODZEWICZ & ANYA CULIBREO 23 WASHINGTON AVENUE, HIGHLANDS NJ
72	32.01	ISADORE SACHOWITZ & LAUREN VINCIGLI 19 SEA DRIFT AVENUE, HIGHLANDS NJ	79	13	JOHN & GERALDINE SEYLAZ 27 WASHINGTON AVENUE, HIGHLANDS NJ
72	33	PHILIP HOLLENBERG 17 SEA DRIFT AVENUE, HIGHLANDS NJ	79	14	MICHAEL & MARY ANNE ROTH 33 WASHINGTON AVENUE, HIGHLANDS NJ
72	6.01	KELLIA & BONNIE BURTON 54 SEA DRIFT AVENUE, HIGHLANDS NJ	79	16.01	ARTHUR CAVALLLO 33 WASHINGTON AVENUE, HIGHLANDS NJ
72	7	EMILIE LONE 52 SEA DRIFT AVENUE, HIGHLANDS NJ	79	17	SHARON BERTMAN 18 ERICA ROAD, LAKEWOOD NJ
72	8	ARTHUR & CHRISTINE CARBANO 50 SEA DRIFT AVENUE, HIGHLANDS NJ	79	18	MICHAEL ANASTAT 41 WASHINGTON AVENUE, HIGHLANDS NJ
72	9	DAVID CARLO PROPERTIES, LLC 85 PEVERSHAM ROAD, NUTLEY NJ	79	19	CHARLES, DARREN & JORDAN BASS 45 WASHINGTON AVENUE, HIGHLANDS NJ
72	10	ANNA ROTHROCKA 50 BARBERIE AVENUE, HIGHLANDS NJ	80	11	TOM KELLY 40 BARBERIE AVENUE, HIGHLANDS NJ

BARBERIE AVENUE 40' WIDE R.O.W.



KEY MAP
1" = 200'+-

GENERAL NOTES

- THE SUBJECT PROPERTY IS KNOWN AS LOTS 4, 5 & 7.01 IN BLOCK 76 AS SHOWN ON SHEET 16 OF THE CURRENT TAX MAP FOR HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY.
- THE SUBJECT PROPERTY IS SITUATED IN THE R-2.01 RESIDENTIAL ZONE DISTRICT. APPLICANT PROPOSES TO SUBDIVIDE THE PROPERTY TO CREATE FOUR NEW LOTS; ONE FOR THE EXISTING HOME TO REMAIN; AND THREE NEW BUILDING LOTS FOR FUTURE HOME CONSTRUCTION.
- SURVEY INFORMATION SHOWN HEREON IS BASED ON FIELD SURVEY MADE ON THE GROUND BY RICHARD E. STOCKTON & ASSOC., INC. DATED 8-11-2020. ALL DIMENSIONS, BOTH LINEAR AND ANGULAR, OF THE SUBJECT EXTERIOR BOUNDARIES OF THE SUBDIVISION AND OF THE EXISTING AND PROPOSED LOT LAYOUTS BALANCE AND THEIR DESCRIPTIONS CLOSE WITHIN A LIMIT OF ERROR OF NOT MORE THAN ONE PART IN TEN THOUSAND (1:10,000). ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
- THE LIMITS OF WORK AT THE SUBJECT PROPERTY ARE SITUATED WITHIN FEMA FLOOD ZONE AE (BASE FLOOD ELEVATION 11 FT (NAV88)) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NO. 340205C0088H DATED 6-15-22. CERTAIN ACTIVITIES IN FLOOD HAZARD AREAS ARE REGULATED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENT AND NATURE PROTECTION. CERTAIN ACTIVITIES MAY BE PROHIBITED ON THIS SITE OR MAY REQUIRE A PERMIT. CONTACT THE DIVISION OF LAND USE REGULATION AT (609) 292-0060 FOR MORE INFORMATION PRIOR TO ANY CONSTRUCTION ON SITE.
- THE FLOOD HAZARD AREA DESIGN FLOOD ELEVATION FOR THIS SITE IS ELEVATION 11 FT (NAV88) AS DETERMINED BY METHOD 2 (FEMA TIDAL METHOD) ACCORDING TO NJDEP FLOOD HAZARD AREA RULES AT NJAC 7:13-3.4(d).
- CONSTRUCTION IN FEMA FLOOD ZONE AE SHALL BE IN ACCORDANCE WITH ASCE24. THE LIVING SPACE FOR NEW BUILDING CONSTRUCTION SHALL BE ELEVATED ON FOUNDATION SO THAT THE FIRST FLOOR IS SET AT LEAST 1-FT ABOVE THE FLOOD HAZARD AREA DESIGN FLOOD ELEVATION AS REQUIRED BY CODE. THE AREA BENEATH THE DWELLING MAY BE ENCLOSED AS PERMITTED BY NJDEP FLOOD HAZARD AREA RULES AT NJAC 7:13-11.5(N)(4)(P) AND AS PERMITTED BY FEMA COASTAL CONSTRUCTION GUIDELINES. THE ENCLOSED AREA SHALL BE UN-FINISHED SPACE USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS, OR FOR INDUSTRIAL STORAGE. ENCLOSURES UNDER ELEVATED BUILDINGS IN FEMA FLOOD ZONE AE SHALL INCLUDE THE USE OF FLOOD DAMAGE RESISTANT MATERIALS AND THE INSTALLATION OF PERMANENT OPENINGS TO ALLOW FOR AUTOMATIC ENTRY AND EXIT OF FLOOD WATERS.
- ATTENTION OF THE CONTRACTOR IS DIRECTED TO THE FACT THAT APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND UTILITIES THAT MAY BE ENCOUNTERED WITHIN OR ADJACENT TO THE SUBJECT PROPERTY OR LIMITS OF WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER. CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION AND GRADE OF THESE UTILITIES BEFORE OTHER CONSTRUCTION OBSTACLES PRIOR TO STARTING WORK. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES THAT MAY AFFECT THE PROJECT DESIGN.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY, INCLUDING PROVISIONS FOR APPROPRIATE SAFETY DEVICES AND REQUIRED TRAINING.
- SILT FENCE SHALL BE PLACED AROUND THE PERIMETER OF THE LIMITS OF WORK AS SHOWN ON THE PLAN AND SHALL REMAIN IN PLACE UNTIL THE LIMITS OF WORK ARE PERMANENTLY STABILIZED.
- SOIL SHALL BE PERMANENTLY STABILIZED (SEEDED/SOODED) IN ACCORDANCE WITH CURRENT NJ SOIL EROSION AND SEDIMENT CONTROL STANDARDS PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ROOF LEADER DOWNSPOUTS SHALL DISCHARGE TO SPLASH BLOCKS AT GRADE TO DIRECT RUNOFF TOWARD THE STREET AND/OR INTO EXISTING ESTABLISHED DRAINAGE PATTERNS, SO AS TO NOT IMPACT ADJACENT PROPERTIES.
- SPECIAL ATTENTION SHALL BE GIVEN TO SWALES TO ENSURE POSITIVE RUNOFF AND NO PONDING ON PROPERTY.
- A MINIMUM 2% SLOPE SHALL BE MAINTAINED AWAY FROM BUILDING FOUNDATION.
- ANY EXISTING CURB, SIDEWALK, PAVEMENT, UTILITY LINES AND/OR STORM DRAINAGE INFRASTRUCTURE DAMAGED AS A RESULT OF THIS PROJECT SHALL BE REPLACED AT THE DIRECTION OF THE BOROUGH ENGINEER PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- A ROAD OPENING PERMIT IS REQUIRED FROM THE DEPARTMENT OF PUBLIC WORKS PRIOR TO STARTING WORK IN THE RIGHT-OF-WAY, INCLUDING CURB, DRIVEWAY APRON, AND SIDEWALK IMPROVEMENTS.
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR SITE IMPROVEMENTS AS SHOWN HEREON SHALL BE IN ACCORDANCE WITH: A) NJ DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION; B) NJ RESIDENTIAL SITE IMPROVEMENT STANDARDS; C) CURRENT PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS; D) CURRENT PREVAILING UTILITY COMPANY / UTILITY AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS; E) CURRENT PREVAILING MANUFACTURER'S SPECIFICATIONS; AND F) CURRENT PREVAILING ADA AND PROWAG REGULATIONS, WHERE APPLICABLE.
- ALL IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT ADA ACCESSIBILITY AND SLOPE REQUIREMENTS, WHERE APPLICABLE.
- IT IS THE APPLICANT'S RESPONSIBILITY TO ENSURE ADHERENCE TO BOROUGH ORDINANCES AND TO PREHOLD SOIL CONSERVATION DISTRICT REGULATIONS REGARDING SOIL EROSION AND SEDIMENT CONTROL MEASURES. APPLICANT SHALL COMPLY WITH FEDERAL, STATE, COUNTY, NJDEP AND LOCAL REGULATIONS PRIOR TO ANY CONSTRUCTION ON THE PROPERTY.
- SHOULD ANY PORTION OF THE POST-DEVELOPMENT IMPROVEMENTS IMPACT DRAINAGE CONDITIONS ON THE LOT OR ADJACENT PROPERTIES, THE APPLICANT WILL BE REQUIRED TO SUBMIT ADDITIONAL AS-BUILT SURVEYS AND SUBSEQUENTLY CORRECT ANY DEFICIENCIES AT THE DIRECTION OF THE BOROUGH ENGINEER.
- DETAILED GRADING AND DRAINAGE PLANS ARE REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR NEW HOME AND PROPOSED SITE IMPROVEMENTS ON THE NEW BUILDING LOTS. ANY DEVIATIONS FROM THE APPROVED GRADING PLAN, INCLUDING FLIPPING HOUSE AND DRIVEWAY MODIFICATIONS, REQUIRE WRITTEN NOTICE TO THE BOROUGH ENGINEER'S OFFICE AND ARE SUBJECT TO REVIEW.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH CURRENT NJ RJS STANDARDS.
- ALL CONSTRUCTION APPROVALS AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY ARE SUBJECT TO FINAL INSPECTION BY THE BOROUGH ENGINEER AND BUILDING DEPARTMENT OFFICIALS.

PROJECT VARIANCES AND WAIVERS

- VARIANCES ARE REQUESTED FROM ORD. SECT. 21-86.A.4.G SCHEDULE I, WHERE MINIMUM LOT AREA IS REQUIRED TO BE 3,750 SF, EACH OF THE PROPOSED NEW LOTS IS 2,333 SF.
- VARIANCES ARE REQUESTED FROM ORD. SECT. 21-86.A.4.A SCHEDULE I, WHERE MINIMUM LOT FRONTAGE IS REQUIRED TO BE 50 FT, EACH OF THE PROPOSED NEW LOTS IS 33.33 FT.
- VARIANCES ARE REQUESTED FROM ORD. SECT. 21-86.A.4.A SCHEDULE I, WHERE MINIMUM LOT DEPTH IS REQUIRED TO BE 75 FT, EXISTING LOT DEPTH IS ONLY 70 FT FOR EACH OF THE PROPOSED NEW LOTS.
- VARIANCES ARE REQUESTED FROM ORD. SECT. 21-86.A.4.A SCHEDULE I, WHERE THE MINIMUM FRONT YARD SETBACK IS REQUIRED TO BE 12 FT, 9.3 FT ARE EXISTING ON LOT 7.01 AND PROPOSED TO REMAIN ON NEW LOT 7.11.
- VARIANCES ARE REQUESTED FROM ORD. SECT. 21-86.A.4.A SCHEDULE I, WHERE THE MINIMUM SIDE YARD SETBACK IS REQUIRED TO BE 6 FT, 1.6 FT ARE EXISTING ON LOT 7.01 AND PROPOSED TO REMAIN ON NEW LOT 7.01.
- VARIANCES ARE REQUESTED FROM ORD. SECT. 21-86.A.4.A SCHEDULE I, WHERE THE TOTAL OF THE TWO SIDE YARDS IS REQUIRED TO BE 14 FT, 12.3 FT ARE PROPOSED FOR NEW LOTS 4.01, 5.01, AND 5.02, AND 13.3 FT ARE PROPOSED FOR NEW LOT 7.11.
- VARIANCES ARE REQUESTED FROM ORD. SECT. 21-86.A.4.A SCHEDULE I, WHERE THE MINIMUM REAR YARD SETBACK IS REQUIRED TO BE 20 FT, 14.8 FT ARE PROPOSED FOR NEW LOTS 4.01, 5.01, AND 5.02, AND 16.3 FT ARE EXISTING ON LOT 7.01 AND PROPOSED TO REMAIN ON NEW LOT 7.11.
- WAIVER IS REQUESTED FROM ORD. SECT. 21-65.10.B WHERE STREET TREES ARE REQUIRED TO BE PLANTED, NONE ARE PROPOSED.

LOT COVERAGE COMPUTATIONS

LOT COVERAGE - EXISTING LOT 7.01 (AREA: 4,083 SF)	
EXISTING BUILDING FOOTPRINT AREA =	888 SF = 21.8 % COVERAGE
EXISTING DECK FOOTPRINT AREA =	120 SF (0 SF)
EXISTING DRIVEWAY FOOTPRINT AREA =	102 SF
TOTAL EXISTING IMPERVIOUS COVERAGE =	990 SF = 24.3 % COVERAGE

LOT COVERAGE - PROPOSED LOT 4.01 (AREA: 2,333 SF)	
PROPOSED BUILDING FOOTPRINT AREA =	903 SF = 38.7 % COVERAGE
PROPOSED 2ND STY DECK FOOTPRINT AREA =	105 SF
PROPOSED DECK FOOTPRINT AREAS =	315 SF (0 SF)
PROPOSED DRIVEWAY FOOTPRINT AREA =	90 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE =	1,098 SF = 47.1 % COVERAGE

LOT COVERAGE - PROPOSED LOT 5.01 (AREA: 2,333 SF)	
PROPOSED BUILDING FOOTPRINT AREA =	903 SF = 38.7 % COVERAGE
PROPOSED 2ND STY DECK FOOTPRINT AREA =	105 SF
PROPOSED DECK FOOTPRINT AREAS =	315 SF (0 SF)
PROPOSED DRIVEWAY FOOTPRINT AREA =	90 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE =	1,098 SF = 47.1 % COVERAGE

LOT COVERAGE - PROPOSED LOT 5.02 (AREA: 2,333 SF)	
PROPOSED BUILDING FOOTPRINT AREA =	903 SF = 38.7 % COVERAGE
PROPOSED 2ND STY DECK FOOTPRINT AREA =	105 SF
PROPOSED DECK FOOTPRINT AREAS =	315 SF (0 SF)
PROPOSED DRIVEWAY FOOTPRINT AREA =	90 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE =	1,098 SF = 47.1 % COVERAGE

LOT COVERAGE - PROPOSED LOT 7.11 (AREA: 2,334 SF)	
EXIST. BUILDING FOOTPRINT AREA (TO REMAIN) =	888 SF = 38.0 % COVERAGE
PROPOSED 2ND STY DECK FOOTPRINT AREA =	100 SF
PROPOSED DECK FOOTPRINT AREAS =	300 SF (0 SF)
EXISTING DRIVEWAY FOOTPRINT AREA (TO REMAIN) =	102 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE =	1,090 SF = 46.7 % COVERAGE

SHEET NO.	INDEX OF SHEETS	DATE
1	PRELIMINARY PLAT - MAJOR SUBDIVISION	12-27-22
2	GRADING, DRAINAGE & UTILITY PLAN	12-27-22
3	SOIL EROSION & SEDIMENT CONTROL PLAN	12-27-22
4	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	12-27-22

OWNER/APPLICANT:
CATCHERMAN, LLC
68 SOUTH BAY AVENUE
HIGHLANDS, NJ 07732

I (WE) HEREBY CERTIFY TO BE THE OWNER(S) OF RECORD OF THE LAND AS DESCRIBED ON THIS MAP AND DO HEREBY CONSENT WITH THE FILING THEREOF WITH THE APPROPRIATE REGULATORY AGENCIES.

[Signature] *[Signature]*
OWNER DATE

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND SURVEY DATED 8-11-2020 MEETS THE MINIMUM DETAIL REQUIREMENTS, AS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS; THAT THIS MAP HAS BEEN MADE UNDER MY SUPERVISION; THAT THIS MAP COMPLIES WITH THE PROVISIONS OF THE "MAP RECORDATION ACT"; AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND, OR SET.

[Signature] 12-27-22
ANDREW R. STOCKTON
PROFESSIONAL ENGINEER AND LAND SURVEYOR
NEW JERSEY LICENSE NUMBER 35405

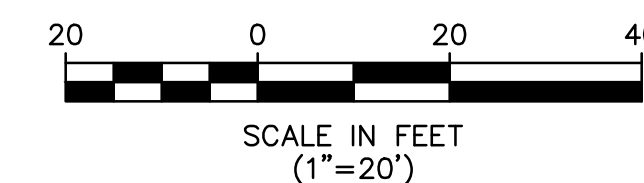
APPLICATION No. _____ CLASSIFIED AND APPROVED AS A MAJOR SUBDIVISION BY THE HIGHLANDS BOROUGH LAND USE BOARD ON: _____

CHAIRMAN _____ DATE _____
SECRETARY _____ DATE _____

THIS PLAT SHALL BE FILED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK ON OR BEFORE _____ WHICH DATE IS 90 DAYS AFTER APPROVAL AS A MAJOR SUBDIVISION BY THE HIGHLANDS BOROUGH LAND USE BOARD.

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF "THE MAP RECORDATION ACT"; THE RESOLUTION OF APPROVAL, AND MUNICIPAL ORDINANCES AND REQUIREMENTS APPLICABLE THERE TO.

LAND USE BOARD ENGINEER _____ DATE _____



No.	DATE	REVISION	BY

EASTERN CIVIL ENGINEERING, LLC
CIVIL ENGINEERING - SURVEYING & MAPPING - LAND USE PLANNING - SITE DESIGN

31 GRAND TOUR, HIGHLANDS NJ 07732 PHONE: 732.872.7736

PRELIMINARY AND FINAL MAJOR SUBDIVISION FOR
CATCHERMAN, LLC
BLOCK 76 LOTS 4, 5 & 7.01
TAX MAP SHEET No. 16

[Signature]
ANDREW R. STOCKTON
PROFESSIONAL ENGINEER & LAND SURVEYOR
NEW JERSEY LIC. NO. 35405

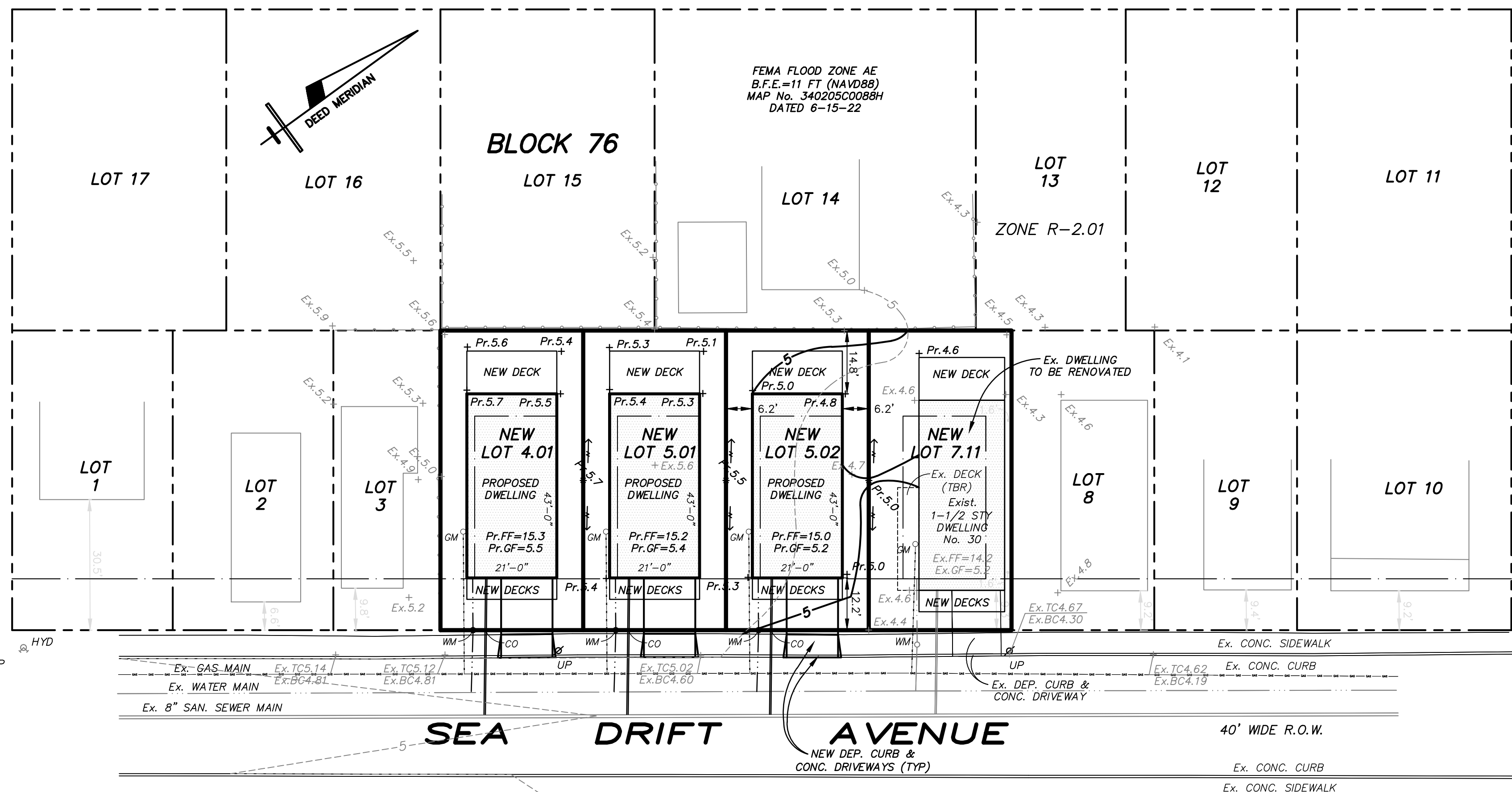
DATE: 12-27-22	SCALE: 1" = 20'	DESIGN BY: ARS	PROJECT NO.: 2202137	SHEET NO.: 1 of 4
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BARBERIE AVENUE

40' WIDE R.O.W.

CHEERFUL PLACE
40' WIDE R.O.W.

RECREATION PLACE
40' WIDE R.O.W.

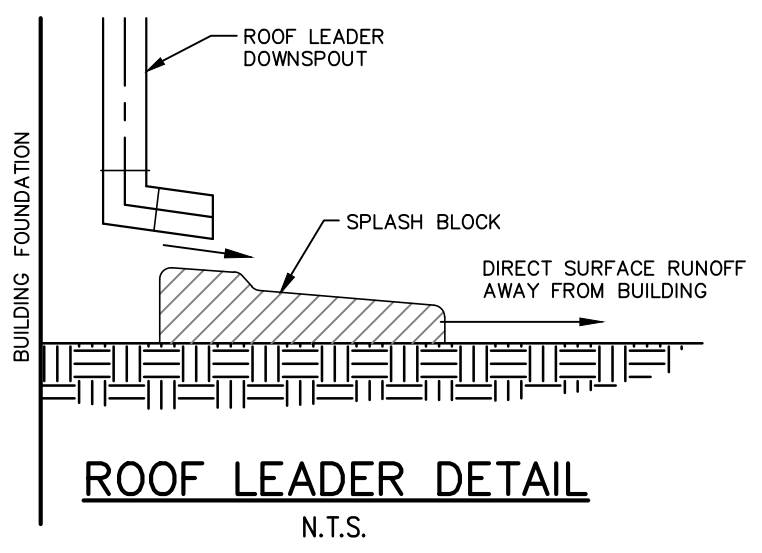


FEMA FLOOD ZONE AE
B.F.E.=11 FT (NAVD88)
MAP No. 340205C0088H
DATED 6-15-22

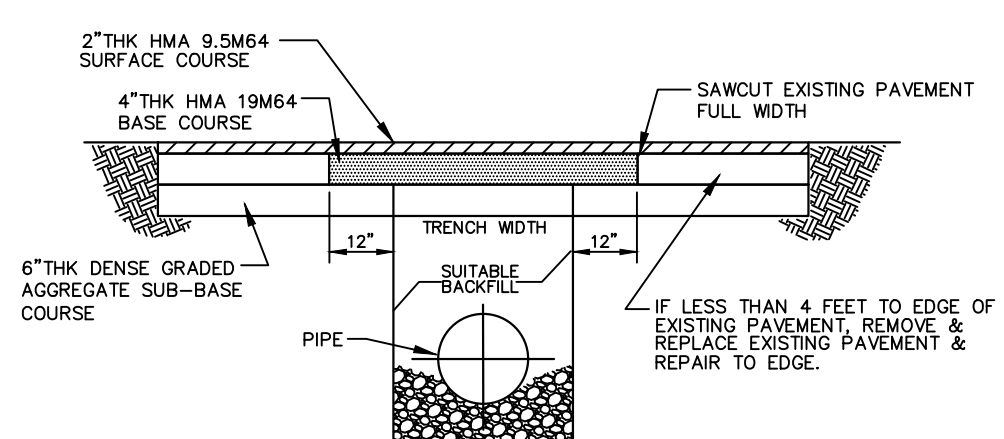
ZONE R-2.01

SEA DRIFT AVENUE

40' WIDE R.O.W.

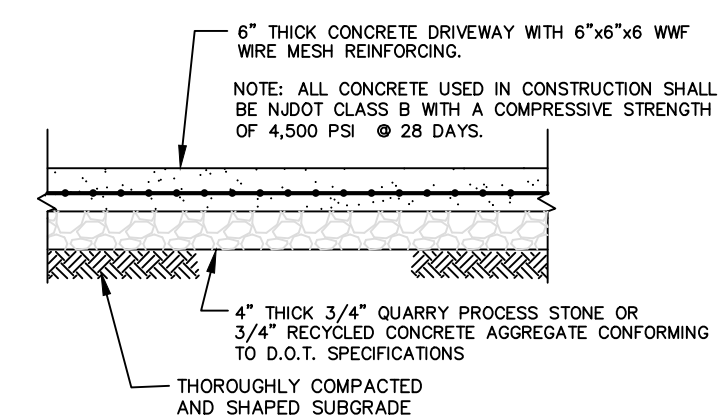


ROOF LEADER DETAIL
N.T.S.



MUNICIPAL PAVEMENT REPAIR
N.T.S.

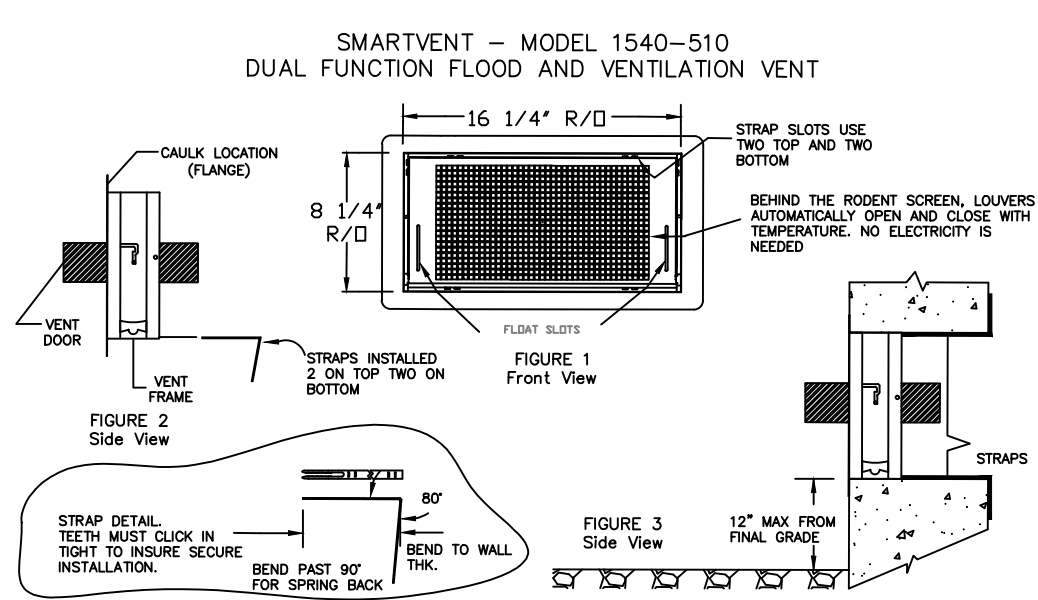
SUPERFICIAL SURFACE DAMAGE CAUSED BY THE CONTRACTOR OUTSIDE THE LIMIT SHOWN, SHALL BE PAVED WITH SURFACE COURSE. IF THE BASE COURSE OF THE EXISTING PAVEMENT IS DAMAGED BEYOND THE LIMIT SHOWN, THE CONTRACTOR SHALL EXCAVATE 6" BEYOND THE DAMAGED AREA AND REPLACE IT WITH BITUMINOUS STABILIZED BASE COURSE.



CONCRETE DRIVEWAY PAVEMENT
N.T.S.

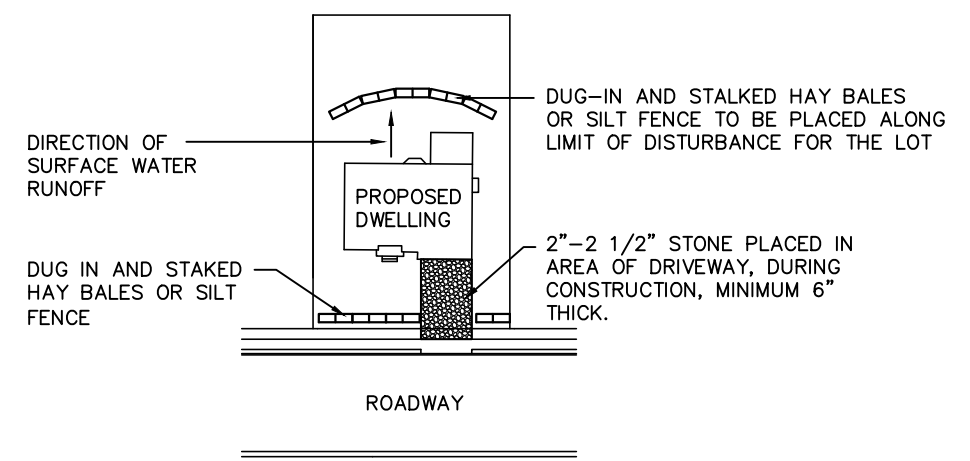
REQUIRED NUMBER OF FLOOD VENTS:

ENCLOSED FOOTPRINT AREA = 903 SF (EACH)
SMARTVENT MODEL No. 1540-510 PROVIDES EQUALIZATION OF FLOOD WATERS WITH 1 VENT PER 200 SF OF FOOTPRINT AREA AS VERIFIED AND APPROVED BY FEMA AND NJDEP.
REQUIRED # VENTS = 903 SF X 1 VENT/200 SF = 4.5
TOTAL # VENTS PROVIDED = 5 (EACH)



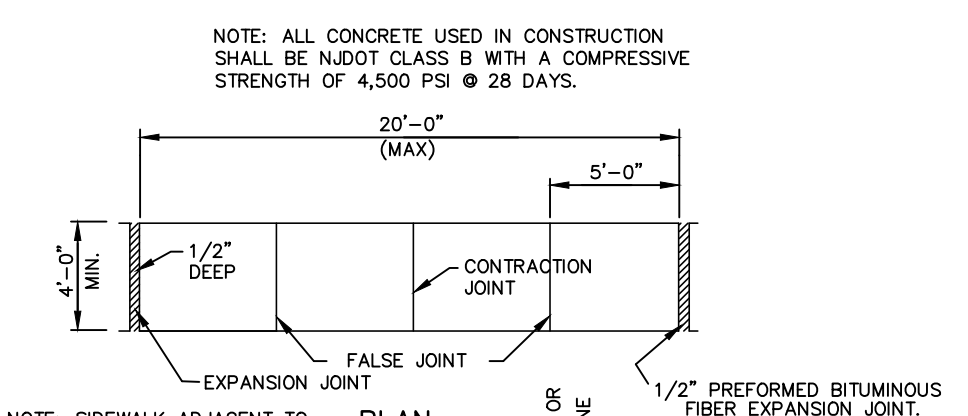
FLOOD VENT DETAIL
N.T.S.

NOTE: FOR FLOOD VENTS INSTALLED IN GARAGE DOOR PANELS USE SMART VENT MODEL NO. 1540-574.



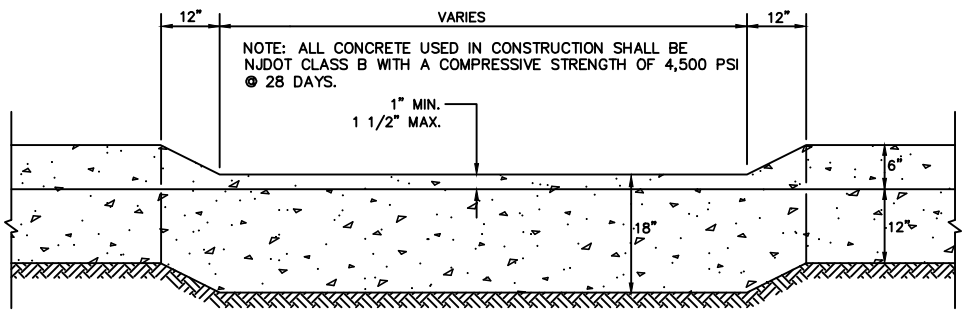
TYPICAL LOT DETAIL
N.T.S.

NOTE: RESPONSIBILITY FOR PLACEMENT AND MAINTENANCE OF SOIL EROSION MEASURES ON ANY GIVEN LOT BELONGS TO THE PERSON(S) DOING THE DISTURBANCE OR CONSTRUCTION.

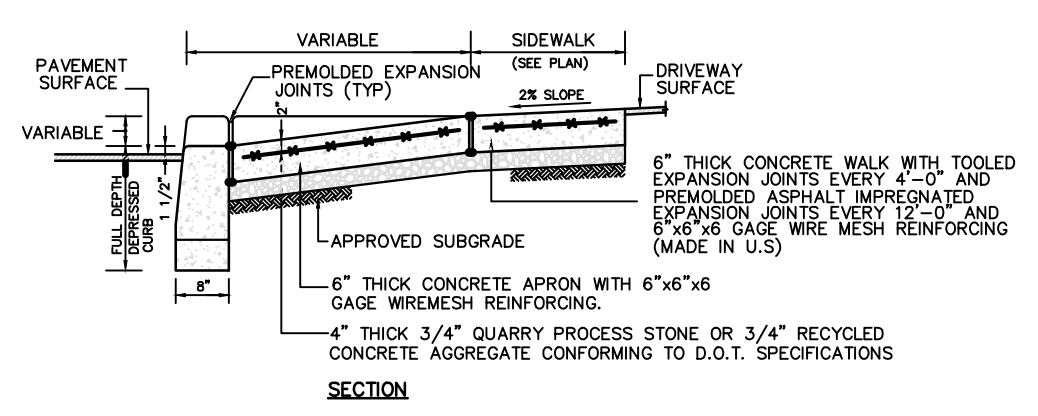


CONCRETE SIDEWALK SPOT DETAIL
N.T.S.

NOTE: THE SIDEWALK CROSS SLOPE SHALL BE MORE THAN 2% IN ACCORDANCE WITH CURRENT ADA AND PROWAG REQUIREMENTS.

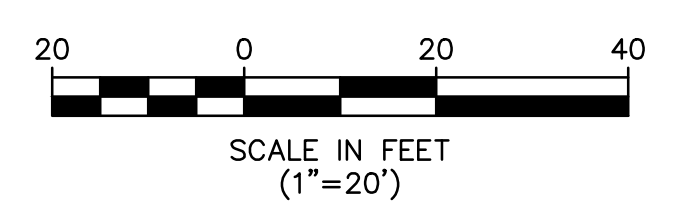


DEPRESSED CURB DETAIL
N.T.S.



CONCRETE DRIVEWAY APRON DETAIL
N.T.S.

NOTE: ALL CONCRETE USED IN CONSTRUCTION SHALL BE NDOT CLASS B WITH A COMPRESSIVE STRENGTH OF 4,500 PSI @ 28 DAYS.



OWNER/APPLICANT:
CATCHERMAN, LLC
68 SOUTH BAY AVENUE
HIGHLANDS, NJ 07732

No.	DATE	REVISION	BY

EASTERN CIVIL ENGINEERING, LLC
CIVIL ENGINEERING - SURVEYING & MAPPING - LAND USE PLANNING - SITE DESIGN
31 GRAND TOUR, HIGHLANDS NJ 07732 PHONE: 732.872.7736

GRADING, DRAINAGE & UTILITY PLAN FOR
CATCHERMAN, LLC
BLOCK 76 LOTS 4, 5 & 7.01
TAX MAP SHEET No. 16
HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY

ANDREW R. STOCKTON
PROFESSIONAL ENGINEER & LAND SURVEYOR
NEW JERSEY LIC. NO. 35405

DATE:	SCALE:	DESIGN BY:	PROJECT NO.:	SHEET NO.:
12-27-22	1" = 20'	ARS	2202137	2 of 4

BARBERIE AVENUE

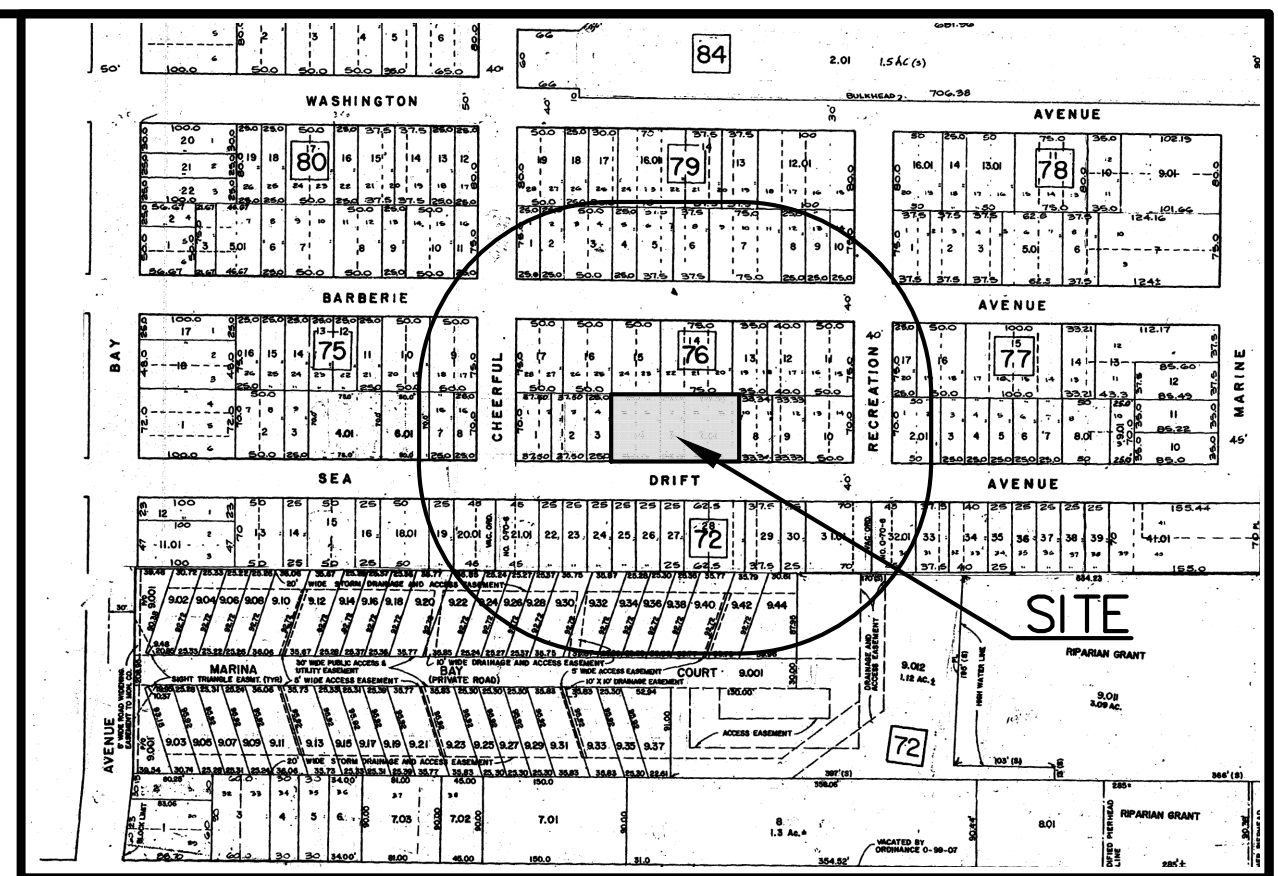
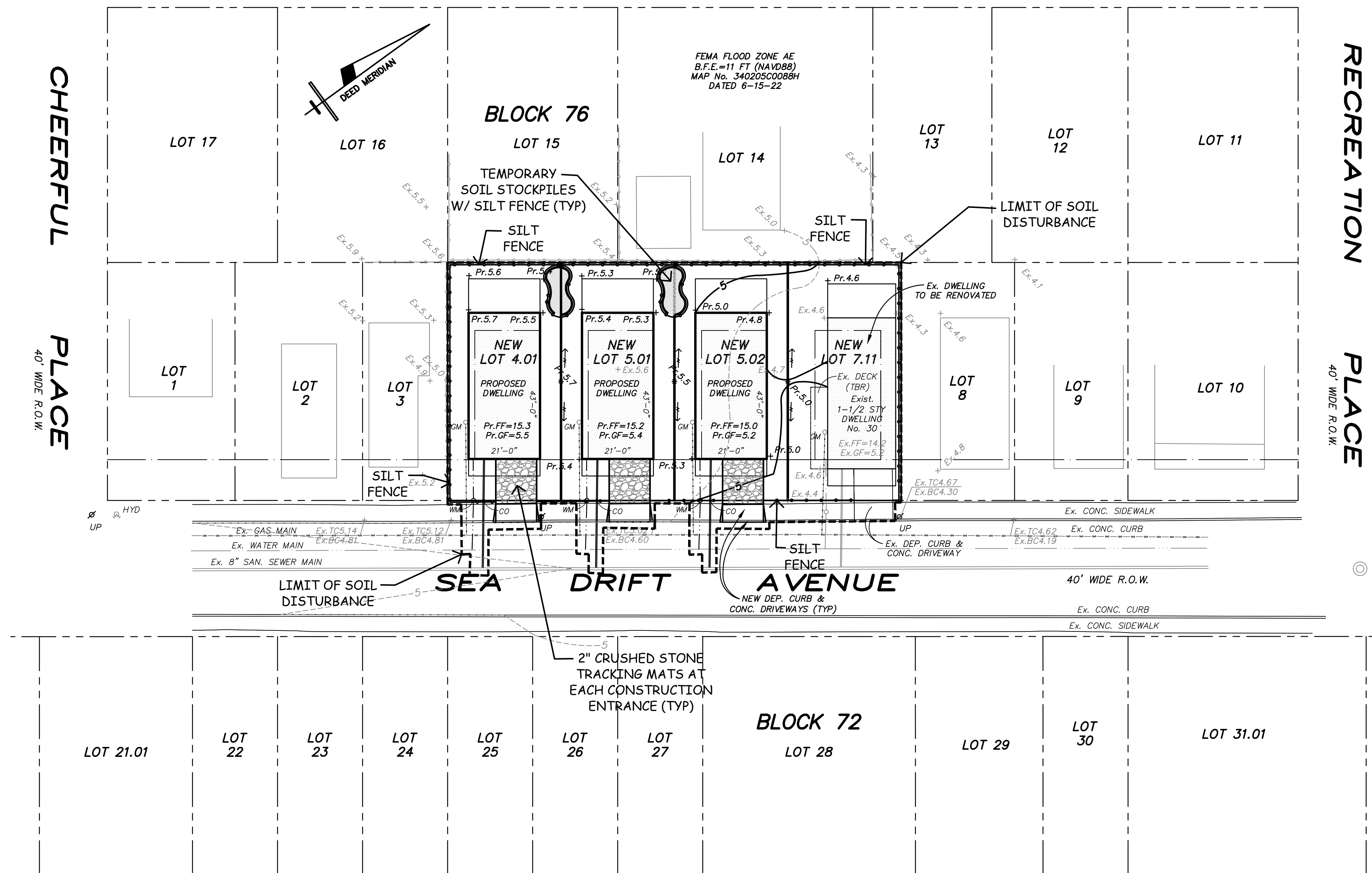
40' WIDE R.O.W.

CHEERFUL PLACE

40' WIDE R.O.W.

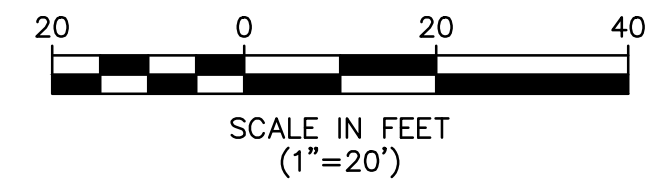
RECREATION PLACE

40' WIDE R.O.W.

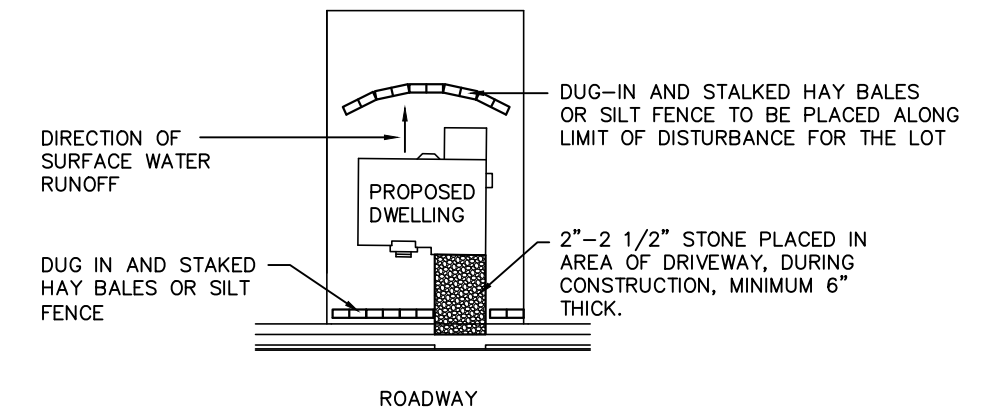


KEY MAP
1" = 200'+-

OWNER/APPLICANT:
CATCHERMAN, LLC
68 SOUTH BAY AVENUE
HIGHLANDS, NJ 07732



NOTE:
THIS PLAN SHALL BE USED FOR SOIL EROSION & SEDIMENT CONTROL MEASURES - ONLY !



TYPICAL LOT DETAIL
N.T.S.

NOTE:
RESPONSIBILITY FOR PLACEMENT AND MAINTENANCE OF SOIL EROSION MEASURES ON ANY GIVEN LOT BELONGS TO THE PERSON(S) DOING THE DISTURBANCE OR CONSTRUCTION.

No.	DATE	REVISION	BY

EASTERN CIVIL ENGINEERING, LLC
CIVIL ENGINEERING - SURVEYING & MAPPING - LAND USE PLANNING - SITE DESIGN

31 GRAND TOUR , HIGHLANDS NJ 07732 PHONE: 732.872.7736

SOIL EROSION & SEDIMENT CONTROL PLAN FOR		<p>ANDREW R. STOCKTON PROFESSIONAL ENGINEER & LAND SURVEYOR NEW JERSEY LIC. NO. 35405</p>	
CATCHERMAN, LLC			
BLOCK 76 LOTS 4, 5 & 7.01			
TAX MAP SHEET No. 16			
HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY			
DATE: 12-27-22	SCALE: 1" = 20'	DESIGN BY: ARS	PROJECT NO.: 2202137
			SHEET NO.: 3 of 4

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE FREEHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
3. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
4. N.J.S.A. 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR A PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL. NEW EROSION AND A REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.
5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2-1/2 TONS PER ACRE, ACCORDING TO THE STANDARD FOR STABILIZATION WITH MULCH ONLY.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. SOIL STOCKPILES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
7. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRING A STABILIZED CONSTRUCTION ACCESS CONSISTING OF ONE INCH (1") TO TWO INCH (2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
9. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY.
10. PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
11. AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
12. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF TEN (10) TONS PER ACRE, (OR 450 LBS PER 1,000 SF OF SURFACE AREA) AND COVERED WITH A COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SETTLED SOIL WITH A PH OF 5 OR MORE, OR TWENTY FOUR (24) INCHES WHERE TREES OR SHRUBS ARE TO BE PLANTED.
13. CONDUIT UNLITLED PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
14. UNLITLED DETERAERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DETERAERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DETERAERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DETERAERING.
15. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
16. STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE. ACCORDING TO THE CERTIFIED PLAN, STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5,000 SF IS DISTURBED.
17. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
18. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

STABILIZATION WITH MULCH ONLY

1. SITE PREPARATION
 - A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
2. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
3. PROTECTIVE MATERIALS
 - A. UN-ROOTED SMALL-GRAIN STRAW, OR SALT HAY AT 2.0 TO 2.5 TONS PER ACRE SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE-DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
 - B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
 - C. WOOD-FIBER OR PAPER-FIBER MULCH AT A RATE OF 1,500 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.
 - D. MULCH NETTING SUCH AS PAPER, JUTE, EXCELSOR, COTTON, OR PLASTIC MAY BE USED.
 - E. WOOD CHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2-INCHES MAY BE USED. WOOD CHIPS SHALL NOT BE USED WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT.
 - F. GRAVEL, CRUSHED STONE, OR SLAG AT A RATE OF 9 CUBIC YARDS PER 1,000 SF APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3-INCHES MAY BE USED. SIZE 3 OR 3 (ASTM C-33) IS RECOMMENDED.
4. MULCH ANCHORING
 - A. MULCH ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR TO MINIMIZE LOSS BY WIND OR WATER. THIS SHOULD BE ACCOMPLISHED BY:
 - A. PEG AND TWINE - DRIVE 8" TO 10" WOODEN STAKES TO WITHIN 2 TO 3 INCHES OF SURFACE EVERY 4- FEET IN EACH DIRECTION, AND SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS PATTERN;
 - B. MULCH NETTING - STAPLE PAPER, COTTON, OR PLASTIC NETTING OVER MULCH, USING DEGRADABLE NETTING IN AREAS TO BE MOWED;
 - C. CRIMPER MULCH ANCHORING CUTTING TOOL - A TRACTOR DRAWN IMPLEMENT ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE;
 - D. LIQUID MULCH BINDER - APPLICATIONS SHOULD BE HEAVIER AT THE EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. USE ONE OF THE FOLLOWING:
 - 1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY DURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOOTOXIC EFFECT OR IMPURE GROWTH OF TURF GRASS. USE AT RATES AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
 - 2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MOBILE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION OF MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS. NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
2. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
3. PROTECTIVE MATERIALS
 - A. UN-ROOTED SMALL-GRAIN STRAW, OR SALT HAY AT 2.0 TO 2.5 TONS PER ACRE SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE-DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
 - B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
 - C. WOOD-FIBER OR PAPER-FIBER MULCH AT A RATE OF 1,500 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.
 - D. MULCH NETTING SUCH AS PAPER, JUTE, EXCELSOR, COTTON, OR PLASTIC MAY BE USED.
 - E. WOOD CHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2-INCHES MAY BE USED. WOOD CHIPS SHALL NOT BE USED WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT.
 - F. GRAVEL, CRUSHED STONE, OR SLAG AT A RATE OF 9 CUBIC YARDS PER 1,000 SF APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3-INCHES MAY BE USED. SIZE 3 OR 3 (ASTM C-33) IS RECOMMENDED.
4. MULCH ANCHORING
 - A. MULCH ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR TO MINIMIZE LOSS BY WIND OR WATER. THIS SHOULD BE ACCOMPLISHED BY:
 - A. PEG AND TWINE - DRIVE 8" TO 10" WOODEN STAKES TO WITHIN 2 TO 3 INCHES OF SURFACE EVERY 4- FEET IN EACH DIRECTION, AND SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS PATTERN;
 - B. MULCH NETTING - STAPLE PAPER, COTTON, OR PLASTIC NETTING OVER MULCH, USING DEGRADABLE NETTING IN AREAS TO BE MOWED;
 - C. CRIMPER MULCH ANCHORING CUTTING TOOL - A TRACTOR DRAWN IMPLEMENT ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE;
 - D. LIQUID MULCH BINDER - APPLICATIONS SHOULD BE HEAVIER AT THE EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. USE ONE OF THE FOLLOWING:
 - 1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY DURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOOTOXIC EFFECT OR IMPURE GROWTH OF TURF GRASS. USE AT RATES AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
 - 2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MOBILE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION OF MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS. NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

SEQUENCE OF CONSTRUCTION

1. SITE CLEARING, DEMOLITION AND DE-CONSTRUCTION OF EXISTING IMPROVEMENTS, ESTABLISH LIMIT OF DISTURBANCE PER SILT FENCE / SEDIMENT BARRIER INSTALLATION, AND PLACE CONSTRUCTION ENTRANCE STONE TRACKING PAD (1 WEEK)
2. INSTALL INLET SILTATION PROTECTION AND SILT FENCE (1 DAY). DISTURBED AREAS SHALL BE STABILIZED AS DEFINED IN SOIL EROSION AND SEDIMENT CONTROL NOTES. (ON-GOING FROM COMMENCEMENT OF PROJECT).
3. ROUGH GRADING FOR NEW BUILDING AND DRIVEWAY AREAS - ALL EXPOSED SURFACES SHALL BE STABILIZED AS DEFINED IN SOIL EROSION AND SEDIMENT CONTROL NOTES. (1 WEEK PER LOT).
4. BUILDING CONSTRUCTION CONCURRENT WITH OTHER SITE WORK (9 MONTHS TO 1 YEAR PER LOT).
5. ESTABLISH FINISH GRADES AROUND BUILDING AND YARD AREAS, REMOVE SOIL STOCKPILE AREAS, PLACE AND ESTABLISH PERMANENT VEGETATIVE COVER (2 WEEKS PER LOT).
6. SUBSOIL COMPACTION REMEDIATION BY SCARIFICATION / TILLAGE TO A DEPTH OF 6-INCHES WITHIN RECOMMENDED AREAS AS SHOWN (1 DAY PER LOT).
7. REMOVE TEMPORARY ACCESS PROTECTION, SILT FENCE, AND INLET PROTECTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, AT THE DIRECTION OF SOIL CONSERVATION DISTRICT PERSONNEL.
8. PAVE PROPOSED DRIVEWAY AND COMPLETE FINAL LANDSCAPING. (1 WEEK PER LOT).

PERMANENT SEEDING SPECIFICATIONS

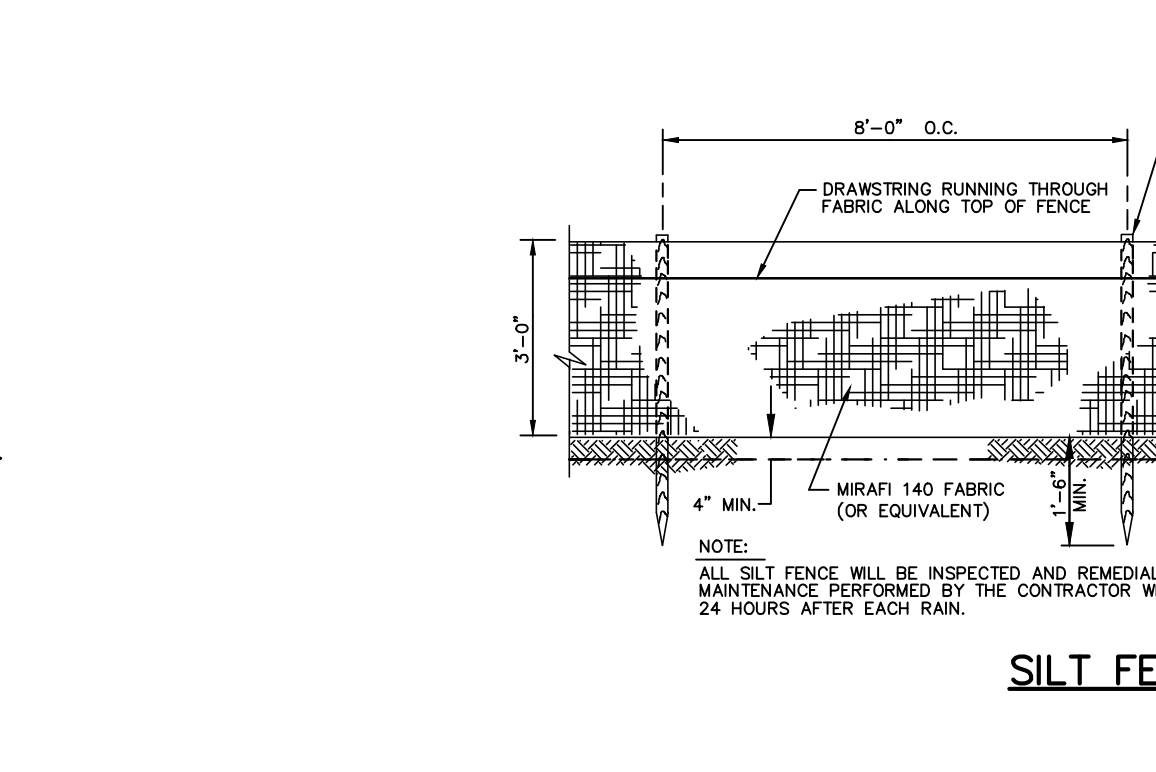
- METHODS AND MATERIALS
- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
 - B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
 - C. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
 - D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
2. SEEDBED PREPARATION
- A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FRIED, ACCORDING TO SOIL TEST RECOMMENDATIONS. SOIL SAMPLE MEASUREMENTS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES (HTTP://NAJES.RUTGERS.EDU/COUNTY/), FERTILIZER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER. UNLESS A SOIL TEST INDICATES OTHERWISE, APPLY LIMESTONE AT THE RATE OF 2 TONS/ACRE UNLESS SOIL TESTING INDICATES OTHERWISE. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.
 - B. WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
 - C. HIGH ACID PRODUCING SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 6 OR MORE BEFORE INITIATING SEEDBED PREPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH ACID-PRODUCING SOILS FOR SPECIFIC REQUIREMENTS.
3. SEEDING
- A. SELECT MIXTURE FROM THOSE LISTED BELOW OF AN APPROVED EQUAL AS SPECIFIED IN TABLE 4-3 OF THE STANDARD, AND APPLY AS NOTED BELOW.

MIX #	TALL FESCUE	PERENNIAL RYE GRASS	WHITE CLOVER
MIX #10	265 LBS/AC	20 LBS/AC	5 LBS/AC, OR
MIX #12	TURF-TYPE TALL FESCUE	350 LBS/AC, OR	
MIX #15	HARD FESCUE	130 LBS/AC	45 LBS/AC
	CHEWINGS FESCUE	45 LBS/AC	45 LBS/AC
	STRONG KEEPERING REED FESCUE	10 LBS/AC	

- NOTE: SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED.
1. SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. IN RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE. THESE RATES APPLY TO ALL METHODS OF SEEDING, ESTABLISHING PERMANENT VEGETATION THROUGH MULCH COVERAGE WITH THE SPECIFIED SEED MIXTURES AND MOWED ONCE.
 2. SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAINTAIN GROUND COVER AT HIGH TEMPERATURES, GENERALLY 85°F AND ABOVE. SEE TABLE 4-3 MIXTURES 1 TO 7. PLANTING RATES FOR WARM-SEASON GRASSES SHALL BE THE AMOUNT OF PURE LIVE SEED (PLS) AS DETERMINED BY GERMINATION TESTING RESULTS.
 3. COOL-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAINTAIN GROUND COVER AT TEMPERATURES BELOW 85°F. MANY GRASSES BECOME ACTIVE AT 65°F. SEE TABLE 4-3, MIXTURES 8-20. ADJUSTMENT OF PLANTING RATES TO COMPENSATE FOR THE AMOUNT OF PLS IS NOT REQUIRED FOR COOL-SEASON GRASSES.
 4. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDER OR CULTIPACKED SEEDS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDING PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR BRACING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.
 5. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDING EFFICIENCY. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET DRAGON WILL MINIMIZE AND WATER CONSERVATION ON SITE.
 6. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK, OR TRAILER-MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHOULD BE APPLIED TO THE SEEDBED IMMEDIATELY AFTER SEEDING. HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL WHEN PEG SEED TO SOIL CONTACT COVERAGE. THERE IS A REDUCED SEED GERMINATION AND GROWTH.
 7. MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTRIBUTE SOIL EROSION SHALL BE DETERMINED COMPLIANCE WITH THIS MULCHING REQUIREMENT.

- A. STRAW OR HAY, UNROOTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT SPREAD THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.
- B. WOOD-FIBER OR PAPER-FIBER MULCH - SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS. USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER.
 - 1) USE ONE OF THE FOLLOWING:
 - (1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY DURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOOTOXIC EFFECT OR IMPURE GROWTH OF TURF GRASS. USE AT RATES AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
 - (2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MOBILE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION OF MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS. NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.
 - (3) LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCH.
- (4) APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.
- (5) USE ONE OF THE FOLLOWING:
 - (1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY DURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOOTOXIC EFFECT OR IMPURE GROWTH OF TURF GRASS. USE AT RATES AS RECOMMENDED BY THE PRODUCT MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
 - (2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MOBILE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION OF MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS. NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
2. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
3. PROTECTIVE MATERIALS
 - A. UN-ROOTED SMALL-GRAIN STRAW, OR SALT HAY AT 2.0 TO 2.5 TONS PER ACRE SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE-DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
 - B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
 - C. WOOD-FIBER OR PAPER-FIBER MULCH AT A RATE OF 1,500 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.
 - D. MULCH NETTING SUCH AS PAPER, JUTE, EXCELSOR, COTTON, OR PLASTIC MAY BE USED.
 - E. WOOD CHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2-INCHES MAY BE USED. WOOD CHIPS SHALL NOT BE USED WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT.
 - F. GRAVEL, CRUSHED STONE, OR SLAG AT A RATE OF 9 CUBIC YARDS PER 1,000 SF APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3-INCHES MAY BE USED. SIZE 3 OR 3 (ASTM C-33) IS RECOMMENDED.
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 - A. MULCH ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR TO MINIMIZE LOSS BY WIND OR WATER. THIS SHOULD BE ACCOMPLISHED BY:
 - A. PEG AND TWINE - DRIVE 8" TO 10" WOODEN STAKES TO WITHIN 2 TO 3 INCHES OF SURFACE EVERY 4- FEET IN EACH DIRECTION, AND SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS PATTERN;
 - B. MULCH NETTING - STAPLE PAPER, COTTON, OR PLASTIC NETTING OVER MULCH, USING DEGRADABLE NETTING IN AREAS TO BE MOWED;
 - C. CRIMPER MULCH ANCHORING CUTTING TOOL - A TRACTOR DRAWN IMPLEMENT ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE;
 - D. LIQUID MULCH BINDER - APPLICATIONS SHOULD BE HEAVIER AT THE EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. USE ONE OF THE FOLLOWING:
 - 1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY DURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOOTOXIC EFFECT OR IMPURE GROWTH OF TURF GRASS. USE AT RATES AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
 - 2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MOBILE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION OF MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS. NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.



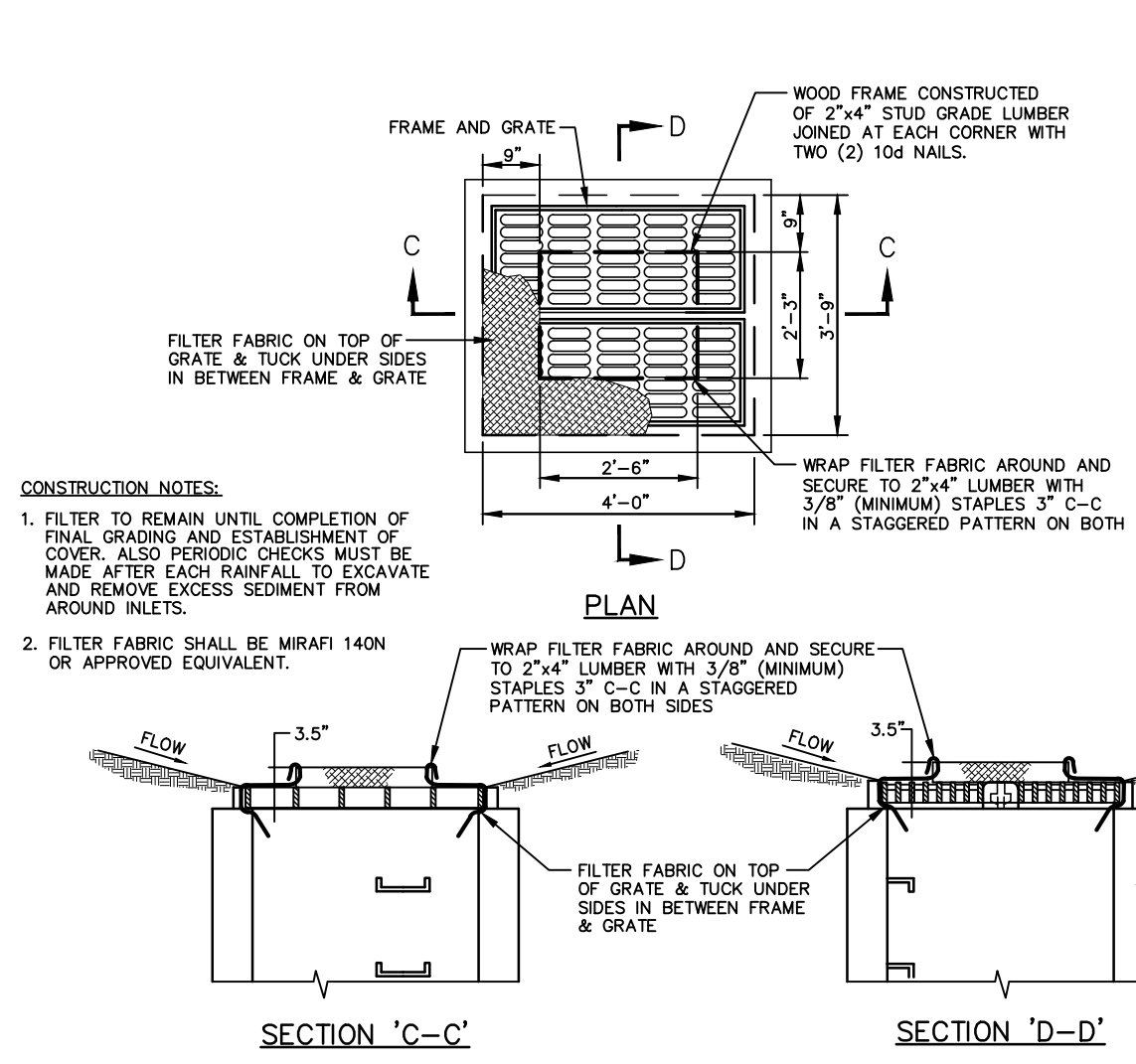
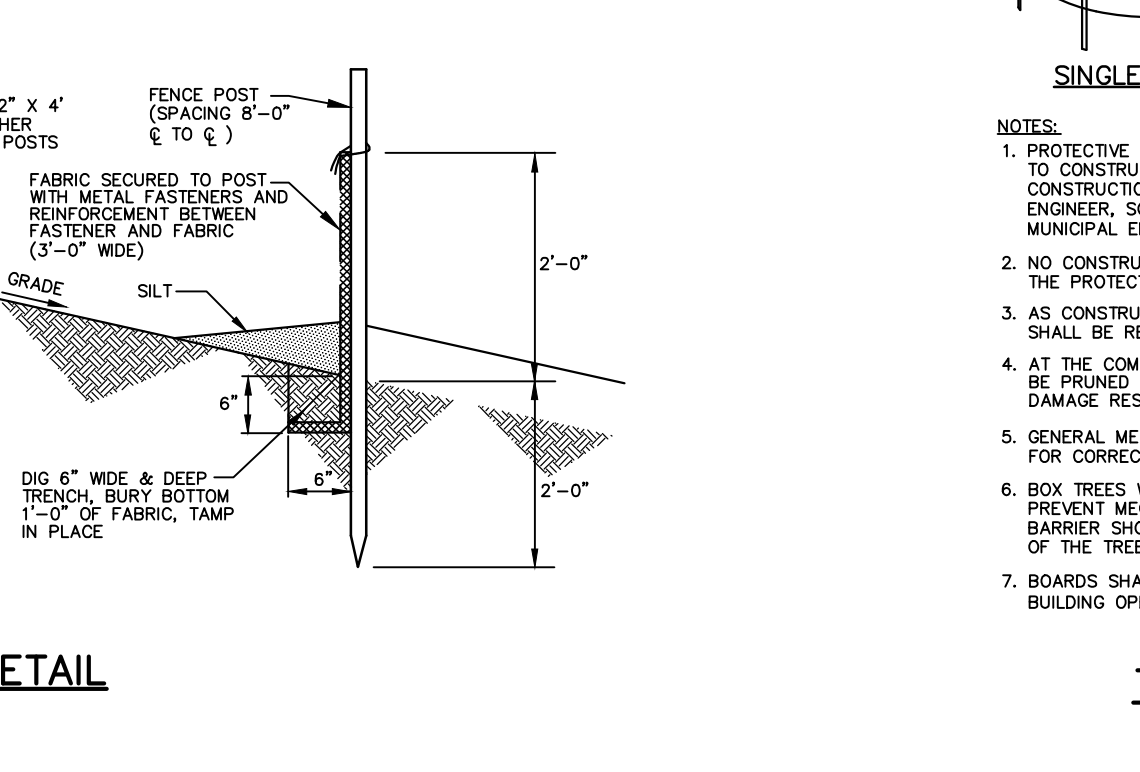
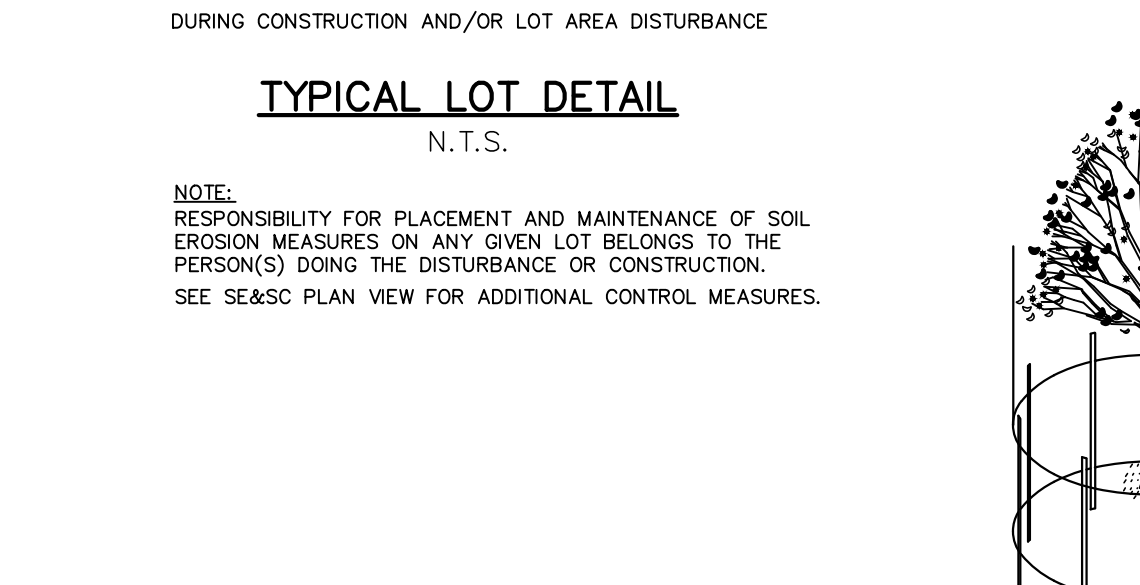
TEMPORARY SEEDING SPECIFICATIONS

1. SITE PREPARATION
 - A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
 - B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
 - C. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES.
2. SEEDBED PREPARATION
 - A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MEASUREMENTS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. APPLY LIMESTONE AT THE RATE OF 2 TONS/ACRE UNLESS SOIL TESTING INDICATES OTHERWISE. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.
 - B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARRROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARRROW OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
 - C. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED IN ACCORDANCE WITH THE ABOVE.
 - D. SOILS HIGH IN SULFIDES OR HAVING A PH OF 4 OR LESS REFER TO STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, PG. 1-1.
3. SEEDING
 - A. SELECT MIXTURE FROM THOSE LISTED BELOW OF AN APPROVED EQUAL AS SPECIFIED IN TABLE 7-2 OF THE STANDARD, AND APPLY AS NOTED BELOW.

MIX #	PERENNIAL RYE GRASS	SPRING OATES
MIX #1	100 LBS/AC, OR	
MIX #2	86 LBS/AC	

- NOTE: SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED.
1. SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. IN RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE. THESE RATES APPLY TO ALL METHODS OF SEEDING, ESTABLISHING PERMANENT VEGETATION THROUGH MULCH COVERAGE WITH THE SPECIFIED SEED MIXTURES AND MOWED ONCE.
 2. SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAINTAIN GROUND COVER AT HIGH TEMPERATURES, GENERALLY 85°F AND ABOVE. SEE TABLE 4-3 MIXTURES 1 TO 7. PLANTING RATES FOR WARM-SEASON GRASSES SHALL BE THE AMOUNT OF PURE LIVE SEED (PLS) AS DETERMINED BY GERMINATION TESTING RESULTS.
 3. COOL-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAINTAIN GROUND COVER AT TEMPERATURES BELOW 85°F. MANY GRASSES BECOME ACTIVE AT 65°F. SEE TABLE 4-3, MIXTURES 8-20. ADJUSTMENT OF PLANTING RATES TO COMPENSATE FOR THE AMOUNT OF PLS IS NOT REQUIRED FOR COOL-SEASON GRASSES.
 4. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDER OR CULTIPACKED SEEDS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDING PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR BRACING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.
 5. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDING EFFICIENCY. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET DRAGON WILL MINIMIZE AND WATER CONSERVATION ON SITE.
 6. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK, OR TRAILER-MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHOULD BE APPLIED TO THE SEEDBED IMMEDIATELY AFTER SEEDING. HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL WHEN PEG SEED TO SOIL CONTACT COVERAGE. THERE IS A REDUCED SEED GERMINATION AND GROWTH.
 7. MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTRIBUTE SOIL EROSION SHALL BE DETERMINED COMPLIANCE WITH THIS MULCHING REQUIREMENT.

- A. STRAW OR HAY, UNROOTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT SPREAD THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.
- B. WOOD-FIBER OR PAPER-FIBER MULCH - SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS. USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER.
 - 1) USE ONE OF THE FOLLOWING:
 - (1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY DURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOOTOXIC EFFECT OR IMPURE GROWTH OF TURF GRASS. USE AT RATES AS RECOMMENDED BY THE PRODUCT MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
 - (2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MOBILE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION OF MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS. NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.
 - (3) LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCH.
- (4) APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.
- (5) USE ONE OF THE FOLLOWING:
 - (1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY DURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOOTOXIC EFFECT OR IMPURE GROWTH OF TURF GRASS. USE AT RATES AS RECOMMENDED BY THE PRODUCT MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
 - (2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MOBILE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION OF MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS. NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.



MONMOUTH COUNTY DEVELOPMENT REVIEW COMMITTEE

HALL OF RECORDS ANNEX
ONE EAST MAIN STREET
FREEHOLD, NEW JERSEY 07728-1255
DEVELOPMENTREVIEW@CO.MONMOUTH.NJ.US
(732) 431-7460

Subdivision Action

Our File # HMJ833

This is to inform the Borough of Highlands Planning Board
that the Subdivision Application of Catcherman, LLC
known as Catcherman, LLC

located in Tax Map Block 76 Lots 4, 5, 7.01

Owned by: Applicant

Drawn by: Eastern Civil Engineering

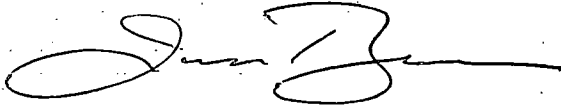
and dated 12/27/2022, was received in this office on 2/9/2023. On 2/27/2023 the following action
was taken by the: X Development Review Committee Planning Director

X Preliminary Approval

This action does not release the applicant from obtaining a consistency determination pursuant to N.J.A.C. 7:8-1 et seq. (Monmouth County Areawide Water Quality Management Plan). Prior to commencing any work within the right-of-way of a county highway or before doing any work that affects a county bridge, the applicant is required to obtain a road opening permit from the Monmouth County Highway Department. A review of the location of subsurface utilities within county road rights-of-way will be conducted by the County Highway Department upon application for a road opening permit. Prior to planting or removal of trees or shrubs within or along the right-of-way of a county highway, the applicant is required to obtain a permit from the Monmouth County Shade Tree Commission.

Note: County review is made only on items covered by statutory authority.

- Prior to final approval, the applicant shall submit the final plat, final plat fee (\$100.00) and a CD containing an AutoCAD drawing (.dxf format) of the approved final subdivision plat.



Joseph Barris, P.P., A.I.C.P., C.F.M.
Director of Planning
For the Development Review Committee

cc: Eastern Civil Engineering
Catcherman, LLC
Mark R. Aikins, Esq.
J. Ettore; V. Cardone; R. Bragg; T. Lombardi; V. Zabat
Highway Department
Construction Official
HMJ833 1414 PA

RECEIVED

MAR - 6 2023

LAND USE BOARD

MONMOUTH COUNTY DEVELOPMENT REVIEW COMMITTEE

HALL OF RECORDS ANNEX
ONE EAST MAIN STREET
FREEHOLD, NEW JERSEY 07728-1255
DEVELOPMENTREVIEW@CO.MONMOUTH.NJ.US
(732) 431-7460

Subdivision Action

Our File # HMJ833

This is to inform the Borough of Highlands Planning Board
that the Subdivision Application of Catcherman, LLC
known as Catcherman, LLC

located in Tax Map Block 76 Lots 4, 5, 7, 01

Owned by: Applicant

Drawn by: Eastern Civil Engineering

and dated 12/27/2022, was received in this office on 2/9/2023. On 2/27/2023 the following action

was taken by the: Development Review Committee Planning Director

Preliminary Approval

This action does not release the applicant from obtaining a consistency determination pursuant to N.J.A.C. 7:8-1 et seq. (Monmouth County Areawide Water Quality Management Plan). Prior to commencing any work within the right-of-way of a county highway or before doing any work that affects a county bridge, the applicant is required to obtain a road opening permit from the Monmouth County Highway Department. A review of the location of subsurface utilities within county road rights-of-way will be conducted by the County Highway Department upon application for a road opening permit. Prior to planting or removal of trees or shrubs within or along the right-of-way of a county highway, the applicant is required to obtain a permit from the Monmouth County Shade Tree Commission.

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Joseph Barris, P.P., A.I.C.P., C.F.M.
Director of Planning
For the Development Review Committee

cc: Eastern Civil Engineering
Catcherman, LLC
Mark R. Aikins, Esq.
J. Ettore; V. Cardone; R. Bragg; T. Lombardi; V. Zabat
Highway Department
Construction Official
HMJ833 1414 PA

RECEIVED

MAR - 6 2023

LAND USE BOARD



HGPB- R2010

March 17, 2023
Via Email

Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board
42 Shore Drive
Highlands, New Jersey 07732

**Re: Sea Drift Avenue, Catcherman, LLC
Block 76, Lot 4, 5, & 7.01
Review of Major Subdivision, Plat Requirements (completeness)
R-2.01 Zone**

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations section entitled Part 3, Subdivision and Site Plan Review, Article VI, Application Procedure, and Article VIII, Plat and Plan Details, section 21-58.B – Preliminary Subdivision Plat.

The applicant submitted the following documents in support of this application:

1. Land Use Board Application for Subdivision, dated February 23, 2023.
2. Proposed Preliminary/Final Major Subdivision Plan for lots 4, 5 & 7.01, prepared by Andrew R. Stockton, dated December 27, 2022.

This property falls within the R-2.01 zone of the Borough and single-family dwellings are permitted in the zone.

This application, while technically a “major subdivision”, will act more like a minor subdivision, as there are no proposed roadways, stormwater basins, lighting, etc. Each proposed lot will have frontage on an existing municipal street.

The following information was reviewed for completeness purposes pursuant to Ordinance Section 21-58.B:

Preliminary Subdivision Plat: The preliminary plat shall be designed in accordance with the provisions of this chapter, by a licensed New Jersey Land Surveyor and Professional Engineer, at a scale of not less than one (1) inch equals one hundred (100) feet, for consideration by the Board prior to the granting of preliminary approval. The plat shall show or be accompanied by sufficient information to establish the design, arrangement and dimensions of streets, lots and other planned features as to form, size and location. This information shall form the basis for the general terms and conditions upon which preliminary approval may be granted and shall include:

1. A key map at a scale not less than 1" = 400' showing the entire subdivision and its relation to the surrounding areas. **Provided.**
2. All existing structures, wooded areas and topographical features, such as slump blocks, within the tract to be subdivided and within seventy-five (75) feet thereof. **Provided.**
3. The name and address of all adjoining property owners, within two hundred (200) feet, as disclosed by the most recent municipal tax record. If there is no positive evidence of ownership, a certificate will be presented from the custodian of tax recorders to that effect. **Provided.**



Re: Sea Drift Avenue, Catcherman, LLC
Block 76, Lot 4, 5, &7.01
Review of Major Subdivision, Plat Requirements (completeness)
R-2.01 Zone

4. The tract name, date, reference meridian and graphic scale. **Provided.**
 5. Name and address of the owner and applicant. **Provided.**
 6. Certification that the applicant is the owner of the land or his authorized agent or that the owner has given consent under an option agreement. **Provided.**
 7. Name and address, seal, signature and license number of the person who prepared the map. **Provided.**
 8. Certificate from Tax Collector that all taxes and assessments for local improvements are paid to date. **Not provided.**
 9. Certification statement for the required municipal signatures, stating: **Provided.**
 - o Application No. _____ approved/disapproved by the Highlands Land Use Board as a Preliminary Major Subdivision on _____.
(date)
- _____
Chairman
- _____
Secretary
10. Certification statement for the County Planning Board approval/disapproval, if required. **Not provided.**
 11. The Tax Map sheet, block and lot numbers. **Provided.**
 12. Acreage of tract to be subdivided, to the nearest hundredth of an acre. **Provided.**
 13. Sufficient elevations or contours to determine the general slope and natural drainage of the land and the high and low points of the profiles of all proposed new streets, contours at five (5) foot intervals for slopes averaging ten (10%) percent or greater and at one (1) foot intervals for land of lesser slope. All land in the flood hazard area shall be referenced to NGVD (1929). **Provided.**
 14. The location of existing and proposed property lines, streets, existing buildings, watercourses, bridges, culverts, drain pipes and any natural features such as wooded areas and rock formations, on-tract and within seventy-five (75) feet of the property. **Provided.**
 15. The area, in square feet, of each lot. **Provided.**
 16. Minimum street setback line and side and rear yard setback lines of each lot. **Provided.**
 17. A copy of any proposed protective covenants or deed restrictions applying to the land being subdivided. **None reported.**
 18. A grading plan showing existing and final contours (using no less than one (1) foot contours) of each lot. Spot elevations shall be provided in the flood hazard zone. **Provided.**
 19. A soil erosion and sediment control plan, if required. Said plan shall be submitted to the Soil Conservation District and approval of the application shall be conditioned upon certification of the soil erosion and sediment control plan by the District. **Provided.**
 20. Soil borings, where required by the Board Engineer. **Not applicable.**



Re: Sea Drift Avenue, Catcherman, LLC
Block 76, Lot 4, 5, &7.01
Review of Major Subdivision, Plat Requirements (completeness)
R-2.01 Zone

21. A wetlands statement provided by a qualified expert. **Not provided.**
22. Plans, profiles and cross sections of all proposed streets. **Not applicable.**
23. Stormwater management and sanitary sewer reports, including proposed storm drainage and sanitary disposal facilities; specifically, the location, type and size of all existing and proposed catch basins, storm drainage facilities, utilities, plus all required design data supporting the adequacy of the existing or proposed facilities to handle future storm flows. **Provided.**
24. Plans and profiles of proposed utility layouts, such as but not limited to sewers, storm drains, water, gas and electricity, showing feasible connections to existing or any proposed utility system. When an individual water supply or sewage disposal system, or both, is or are proposed, the plan for each such system must be approved by the appropriate local, County or State health agency. When a public sewer system is not available, the subdivider shall comply with the requirements of N.J.A.C. 7:9A for the installation of an on-site disposal system. The subdivider shall submit with the preliminary plat the results of all tests which are conducted, whether passing or failing the statutory requirements. The Borough reserves the right to supervise or witness all or any tests which are conducted, and the subdivider shall notify the Board of Health at least forty-eight (48) hours prior to the conducting of any tests. Any subdivision or part thereof which does not meet the requirements of this subsection or other applicable regulations shall not be approved. **Not applicable.**
25. Where public water is available, a certification from the municipal, private, or regional water supply agency that sufficient water is available for each proposed lot for the foreseeable needs of the subdivision. **Not provided.**
26. Where public sewers are available, a certification from the municipal or regional sewage authority that treatment capacity is available for each proposed lot for the foreseeable needs of the subdivision. **Not provided.**

At this point, adequate information has been provided for us to perform a technical review and fee calculation for the application. The applicant shall address all items noted above as “not provided” during the pendency of the application process.

UPON CONFIRMATION FROM THE BOARD SECRETARY THAT THE BALANCE OF ALL APPLICATION AND ESCROW FEES HAS BEEN DULY POSTED, THE FOLLOWING SHALL OCCUR:

1. The application shall be deemed **COMPLETE**.
2. The Board Secretary shall refer the application to the Board Chairman for consideration of scheduling the public hearing, and so notify the applicant and interested parties in writing regarding the public hearing date and any notice requirements.
3. The Board Engineer shall commence the technical review.



**Re: Sea Drift Avenue, Catcherman, LLC
Block 76, Lot 4, 5, &7.01
Review of Major Subdivision, Plat Requirements (completeness)
R-2.01 Zone**

Should you have any questions or require any additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.
LAND USE BOARD ENGINEER

EWH:EJC

cc: Michael Muscillo, Borough Administrator (via email)
Ron Cucchiaro, Esq., Land Use Board Attorney (via email)
Catcherman, LLC, applicant (rdavis704@verizon.net)
Andrew R. Stockton, P.L.S., applicant's surveyor (arstockton@gmail.com)

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HGPB- R2010

March 17, 2023
Via Email

Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board
42 Shore Drive
Highlands, New Jersey 07732

**Re: Sea Drift Avenue, Catcherman, LLC
Block 76, Lot 4, 5, & 7.01
Review of Major Subdivision, Fee calculation
R-2.01 Zone**

Dear Ms. Tran,

As requested, we have reviewed the above-referenced application in accordance with the Borough of Highlands Land Use Regulations Part 6 - Fee Schedule.

The applicant submitted the following documents in support of this application:

1. Land Use Board Application for Subdivision, dated February 23, 2023.
2. Proposed Preliminary/Final Major Subdivision Plan for proposed lots 4, 5 & 7.01 , prepared by Andrew R. Stockton, dated December 27, 2022.

Please note the following fee calculations:

1. **Application fee: \$5,925.00**
2. **Escrow fee: \$11,850.00. (Given the nature of the application, I would recommend that the applicant post a total escrow of \$6,000 initially, inclusive of the initial deposit).**

The applicant shall post the balance of fees.

Should you have any questions or require any additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.
LAND USE BOARD ENGINEER

Att.

EWH:EJC

cc: Michael Muscillo, Borough Administrator (via email)
Ron Cucchiaro, Esq., Land Use Board Attorney (via email)
Catcherman, LLC, applicant (rdavis704@verizon.net)
Andrew R. Stockton, P.L.S., applicant's surveyor (arstockton@gmail.com)

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HGPB-R2010

DETERMINATION OF FEES

Sea Drift Ave

Block 76, Lot 4,5 & 7.01

A. APPLICATION FEES (Ord. 21-107)

A. Variances

3. Residential "c" (lot area x 4)	4	EA	\$	125.00	\$	500.00
Residential "c" (lot frontage x 4)	4	EA	\$	125.00	\$	500.00
Residential "c" (front yard setback x 1)	1	EA	\$	125.00	\$	125.00
Residential "c" (side yard setback x 1)	1	EA	\$	125.00	\$	125.00
Residential "c" (building coverage x 4)	4	EA	\$	125.00	\$	500.00
Residential "c" (lot depth x 4)	4	EA	\$	125.00	\$	500.00
Residential "c" (two side yard setbacks x 4)	4	EA	\$	125.00	\$	500.00
Residential "c" (rear yard setback x 4)	4	EA	\$	125.00	\$	500.00

B. Subdivisions

3. Major

b. Preliminary plat	1	EA	\$	500.00	\$	500.00
Per lot	4	EA	\$	50.00	\$	200.00
c. Final (50% of preliminary fee)	1	EA		50%	\$	1,975.00

TOTAL APPLICATION FEE

\$ 5,925.00

B. ESCROW FEES (Ord. 21-108)

B. Escrow Deposits (twice Application Fee; Minimum \$750)	2	EA	\$	5,925.00	\$	11,850.00
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Application fees subtotal \$ 5,925.00

Escrow fee subtotal \$ 11,850.00

Total \$ 17,775.00



HGPB- R2010

May 19, 2023
Via Email

Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board
42 Shore Drive
Highlands, New Jersey 07732

**Re: Sea Drift Avenue, Catcherman, LLC
Block 76, Lot 4, 5, & 7.01
Single Family Residential (R-2.01) Zone
Major Subdivision w/ Bulk 'C' Variances
First Engineering Review**

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations.

The applicant submitted the following documents in support of this application:

1. Land Use Board Application for Subdivision, dated February 23, 2023.
2. Proposed Preliminary/Final Major Subdivision Plan for lots 4, 5 & 7.01, prepared by Andrew R. Stockton, dated December 27, 2022.

Based on our review of the submitted documents, we offer the following comments for the Board's consideration:

A. Project Description

The 9,333 square foot tract consists of three (3) existing lots. Existing Lot 4 (3,500 square feet) and existing Lot 5 (1,750 square feet) are currently vacant. Existing Lot 7.01 (4,083 square feet) contains an existing 1-1/2 story single-family dwelling. The site is located in the R-2.01 Single-Family Residential Zone.

With this proposal, the applicant is seeking preliminary major subdivision approval to create three (3) new 2,333 square foot lots and one (1) new 2,334 square foot lot. The applicant intends to construct three (3) new residential dwellings on proposed Lots 4.01, 5.01, & 5.02. The existing dwelling on proposed Lot 7.11 is to be renovated, with the addition of a front and a rear deck.

B. Zoning and Planning

1. To be entitled to bulk variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A. 40: 55D-70c for the bulk variances:
 - a. Positive Criteria. The applicant must prove either a hardship in developing the site in conformance to the zone standards due to exceptional narrowness, shallowness, or shape of the property; or due to exceptional topographic conditions or physical features uniquely affecting the property; or due to an extraordinary and exceptional situation affecting the property or its lawful existing structures. Alternatively, the applicant may satisfy the positive criteria by demonstrating that the variance relief will promote a public purpose as



Re: **Sea Drift Avenue, Catcherman, LLC
 Block 76, Lot 4, 5, & 7.01
 Single Family Residential (R-2.01) Zone
 Major Subdivision w/ Bulk 'C' Variances
 First Engineering Review**

set forth in the Municipal Land Use Law (N.J.S.A. 40:55D-2) and thereby provide improved community planning that benefits the public and the benefits of the variance substantially outweigh any detriment.

- b. Negative Criteria. The applicant must also show that the bulk variances can be granted without substantial detriment to the public good or substantially impairing the intent and purpose of the zone plan. This requires consideration of the impact of the proposed variances on surrounding properties and a determination as to whether or not the variance would cause such damage to the character of the neighborhood as to constitute a substantial detriment to the public good.

2. The following bulk requirement summary is provided for the Board's reference. In accordance with Section 21-86 of the Ordinance, existing/proposed bulk deficiencies which require bulk 'c' variances are noted as follows:

Standard	R-2.01 Zone	Existing Lot 4	Existing Lot 5	Existing Lot 7.01	Prop. Lot 4.01	Prop. Lot 5.01	Prop. Lot 5.02	Prop. Lot 7.11
Min. Lot Area (sf)	3,750	3,500(E)	1,750(E)	4,083	2,333(V)	2,333(V)	2,333(V)	2,334(V)
Min. Lot Frontage/Width (ft)	50	50	25(E)	58.33	33.33(V)	33.33(V)	33.33(V)	33.33(V)
Min. Lot Depth (ft)	75	70(E)	70(E)	70(E)	70(V)	70(V)	70(V)	70(V)
Min. Front Yard Setback (ft)	20 (12*)	NA	NA	9.3(E)	12.2***	12.2***	12.2***	9.3(V)***
Min. Side Yard Setback (ft)	6	NA	NA	1.6 (E)	6.1	6.1	6.1	1.6(V)
	8	NA	NA	36.73	6.2 (V)	6.2 (V)	6.2 (V)	11.7
Min. Rear Yard Setback (ft)	20	NA	NA	16.3(E)	14.8(V)	14.8(V)	14.8(V)	16.3(V)
Max. Building Height (ft)	32.5**	NA	NA	<32.5	<32.5	<32.5	<32.5	<32.5
Max. Lot Coverage (%)	75	NA	NA	27.2	47.1	47.1	47.1	46.7
Max. Building Coverage (%)	33	NA	NA	24.7	38.7(V)	38.7(V)	38.7(V)	38.0(V)

(E) – Existing Nonconformity
 (V) – Variance
 NA – Not Applicable

* Or the average of the existing front yard setback within two hundred (200) feet in the same block and zone, per Ordinance Section 21-79B. The prevailing setback shall be the average setback of buildings on the same block in the same zone, but not less than the average of the setbacks of the buildings on the two (2) nearest adjacent lots and in no case, less than half the required setback.
 ** Where a dwelling is constructed or reconstructed to provide the required parking under the structure, the maximum height shall be increased by two and one-half feet (2.5').
 *** Any deck that extends above the elevation of the first floor of the principal structure shall meet the setback requirements for that principal structure.



**Re: Sea Drift Avenue, Catcherman, LLC
Block 76, Lot 4, 5, & 7.01
Single Family Residential (R-2.01) Zone
Major Subdivision w/ Bulk 'C' Variances
First Engineering Review**

3. The applicant has calculated the average front yard setback of buildings on the subject block to be 12 feet. However, the plan also notes “new decks” on the fronts of the proposed dwellings. Ordinance Section 21-65.27 asserts that “any deck that extends above the elevation of the first floor of the principal structure shall meet the setback requirements for that principal structure”. The applicant should be prepared to define this potential additional relief that may be required.
4. It is noted that architectural plans were not provided with this submission. Certain bulk requirements cannot be confirmed without these (building height, meter platform requirements and setbacks, deck setbacks, etc.). The Board should determine if these plans should be required. The applicant should be aware that any future plot plans that need additional relief would have to come back to the Board.
5. As per Borough Ordinance §21-65.27A., decks shall not project into any yard to a point closer than three (3) feet from any lot line. The proposed decks on Lot 7.11 provide 1.6 feet to the side lot line. A variance may be required.

C. Site Requirements & Layout

1. The plans shall be revised to demonstrate if off-street parking will be provided which is in accordance with Borough Ordinance §21-65.14C. The applicant shall provide testimony on the adequacy of the proposed number of parking spaces for the dwellings.
2. The existing curbs along Sea Drift Avenue contain curb cuts and sidewalk depressions to the vacant lots, which are not shown on the plan. The plans shall be revised to show all existing curb and sidewalk depressions will be replaced with full height curb and sidewalk.
3. The limits of all proposed curb, sidewalk, and asphalt shall be clearly shown on the plans. Considering the extent of replacement necessitated by the proposed improvements, it is recommended that all sidewalk and curb is replaced along the property frontage.
4. We recommend milling, base repair where needed, and 2” surface course replacement across the frontage of the project up to either the centerline of the roadway, or the outer limits of the utility trenches, which ever extends further across Sea Drift Avenue.
5. Construction details for the proposed driveway apron and depressed curb shall be revised to provide driveway depression with slopes no greater than 12H:1V on the sidewalk approach and a 2% cross slope for ADA compliance.
6. Construction details for the proposed water and sewer connections shall be provided on the plans.

E. Grading, Drainage, & Utilities

1. The proposed development will not disturb an area exceeding 1 acre, nor will it create more than a quarter acre of new impervious surfaces. Therefore, the project is not considered a “major



**Re: Sea Drift Avenue, Catcherman, LLC
Block 76, Lot 4, 5, & 7.01
Single Family Residential (R-2.01) Zone
Major Subdivision w/ Bulk 'C' Variances
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development” as defined by NJAC. 7:8, and is not subject to the NJDEP Stormwater Management stormwater quantity, quality and recharge requirements of a major development.

2. While the project is not considered a major development, the applicant is proposing to increase impervious coverage by approximately 3,400 square feet. The applicant shall provide testimony confirming that the increase from pre- to post-development stormwater runoff is de minimis. Additional stormwater runoff mitigation measures may be required.
3. The plans shall be revised to ensure all grading is directed towards the roadway, and not towards adjacent properties. Runoff which cannot be directed towards the roadway should be mitigated through the use of stormwater management improvements.
4. The applicant shall confirm there will be no adverse drainage impacts to the adjacent properties as a result of the proposed improvements.
5. The applicant shall provide testimony regarding the suitability of existing utility connections and/or additional utility connections or improvements necessitated by the subject application.

F. Landscaping

1. Per Ordinance §21-65.10.A, all areas not devoted to structures, paving, or other required uses shall be appropriately graded, landscaped, and maintained in accordance with a landscaping plan approved by the Board. No landscaping is proposed.
2. The applicant has requested a waiver from providing street trees in accordance with Borough Ordinance §21-65.10.B. Testimony shall be provided to support this request. If no street tree are provided, it is recommended the equivalent number of street trees required are provided elsewhere on the lot, in accordance with this ordinance.

G. Miscellaneous

1. The project site is located within the "AE" flood zone with a Base Flood Elevation (BFE) of 11 feet. The applicant shall confirm the elevations on the individual architectural plans. Additionally, it is recommended that the applicant obtain an Elevation Certificate for the subject properties.

We defer further review to the Flood Plain Administrator and Construction Official for any applicable building requirements accordingly.

2. The project site is located in the Coastal Area Facilities Review Act (CAFRA) Zone. The applicant shall comply with any applicable NJDEP requirements (including Flood Hazard Area) and should confirm any specific restrictions and/or permitting requirements accordingly. We recommend a jurisdictional determination be provided. We defer further review to NJDEP.
3. The applicant shall provide testimony as to the proposed locations of any mechanical equipment including but not limited to A/C units and backup power generators.



**Re: Sea Drift Avenue, Catcherman, LLC
Block 76, Lot 4, 5, & 7.01
Single Family Residential (R-2.01) Zone
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4. The Building Department should review the architectural plans for ADA compliance.
5. The applicant will ultimately be obligated to comply with the Borough's Affordable Housing obligations/requirements.
6. The applicant should be aware that construction of habitable space below the base flood elevation could subject this space to inundation by floodwaters. This construction could also have an impact on the applicant's future flood insurance premiums. The applicant should clarify any/all uses of ground floor area.
7. Should this application ultimately secure Board approval, a plat consistent with the State's Title Recordation Act will be required.
8. Should this application ultimately secure Board approval, individual Plot Grading Plans will be required to be submitted for review by the Borough Engineer prior to the construction of the proposed dwellings.
9. Approvals or waivers should be obtained from any agencies having jurisdiction. These may include, but shall not be limited to, the following:
 - a. Monmouth County Planning Board
 - b. Freehold Soil Conservation District
 - c. New Jersey Department of Environmental Protection
 - d. Construction Office
 - e. DPU/DPW
 - f. Fire Official

Should you have any questions or require any additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.
LAND USE BOARD ENGINEER

EWH:GTG:GMM

cc: Michael Muscillo, Borough Administrator (via email)
Ron Cucchiaro, Esq., Land Use Board Attorney (via email)
Catcherman, LLC, Applicant (rdavis704@verizon.net)
Andrew R. Stockton, P.L.S., Applicant's Engineer/Surveyor (arstockton@gmail.com)



LAW OFFICES OF
BYRNES, O'HERN & HEUGLE

Sean F. Byrnes
Daniel J. O'Hern, Jr.°
Robert L. Heugle, Jr.*°

Loryn M. Lawson†
Shawn Wallach†
Donna M. Alkin†
John F. Byrnes

◊R 1:40 Qualified Court-Approved Civil Mediator
*Certified by the Supreme Court of NJ as a Civil Trial Attorney (1996-2019)
†Licensed in New York

May 31, 2023

VIA FEDERAL EXPRESS

Ms. Nancy Tran
Highlands Land Use Board Secretary
42 Shore Drive
Highlands, NJ 07732

Re: 30-40 Seadrift Avenue, Highlands, NJ - Block 76 – Lots 4, 5 and 7.01

Dear Ms. Tran:

My office represents the applicant, Catcherman LLC. I enclose our Affidavit of Service, which attaches the Affidavit of Publication; Notice of Public Hearing to Property Owners; list of property owners within 200 feet of Block 76, Lots 4, 5 and 7.01; and original green receipt cards and white slips.

Thank you.

Very truly yours,


DANIEL J. O'HERN, JR.

w/enclosures

NOTICE OF PUBLIC HEARING

Borough of Highlands Land Use Board

PLEASE TAKE NOTICE that on **Thursday June 8, 2023 at 7:00 p.m.** a public hearing will be held before the Borough of Highlands Land Use Board (the "Board") in the Community Center, 22 Snug Harbor Avenue, Highlands, New Jersey, on the application of the undersigned that has been made to the Board.

The property in question is located at 30-40 Seadrift Avenue, in the Borough of Highlands, County of Monmouth, State of New Jersey, also known as Block 76, Lots 4, 5 and 7.01, on the Highlands Tax Map.

The property is located in the Borough's R-2.01 zone.

The applicant is seeking preliminary/final major subdivision plan approval with variance relief for the purpose of constructing single-family, two-story dwellings on each of the four proposed new lots. In addition to subdivision approval, the applicant is seeking the following variances to allow the proposed construction of the single-family, two-story residential dwelling on each of the proposed new lots: (i) variances are requested from Borough Ord. Section 21-86.A.4.a Schedule I, where minimum lot area is required to be 3,750 square feet, and each of the proposed new lots is 2,333 square feet (ii) variances are requested from Borough Ord. Section 21-86.A.4.A Schedule I, where minimum frontage is required to be 50 feet, and each of the proposed new lots is 33.33 feet; (iii) variances are requested from Borough Ord. Section 21-86.A.4.A Schedule I, where minimum lot depth is required to be 75 feet, existing lot depth is 70 feet for each of the proposed new lots; (iv) variance is requested from Borough Ord. Section 21-86.A.4.A Schedule I, where the minimum front yard setback is required to be 12 feet (20 feet or the average of the existing front yard setback within two hundred (200) feet in the same block and zone per Section 21-80), and 9.3 feet are existing on Lot 7.01 and proposed to remain on new Lot 7.11; (v) variance is requested from Borough Ord. Section 21-86.A.4.a Schedule I, where the minimum side yard setback is required to be 6 feet, 1.6 feet are existing on Lot 7.01 and proposed to remain on new Lot 7.11; (vi) variances are requested from Borough Ord. Section 21-86.A.4.a Schedule I, where the total of the two side yards is required to be 14 feet, 12.3 feet are proposed for new Lots 4.01, 5.01 and 5.02, and 13.3 feet are proposed for new Lot 7.11; (vii) variances are requested from Borough Ord. Section 21-86.A.4.a Schedule I, where the minimum rear yard setback is required to be 20 feet, and 14.8 feet are proposed for new Lots 4.01, 5.01 and 5.02, and 16.3 feet are existing on Lot 7.01 and

proposed to remain on new Lot 7.11. The Applicant shall also seek any other variance relief that the Board may deem necessary and/or appropriate.

You are in receipt of this notice because the above referenced property is within 200 feet of your property. You may appear either in person, or by agent, or by an attorney, and present any comments or objections to the granting of the relief being sought.

A copy of the application and all documents, plans or other papers filed in connection with this application are on file with the Board Secretary at the Board's Office located at 42 Shore Drive, Highlands, New Jersey, and may be inspected Monday through Friday, 9:00 a.m. to 4:00 p.m.

Daniel J. O'Hern, Jr., Esq.
Byrnes, O'Hern & Heugle,
LLC

195 East Bergen Place
Red Bank, New Jersey 07701
732-219-7711

Attorneys for the Applicant
Catcherman LLC

NOTICE OF PUBLIC HEARING

Borough of Highlands Land Use Board

PLEASE TAKE NOTICE that on Thursday June 8, 2023 at 7:00 p.m. a hearing will be held before the Borough of Highlands Land Use Board (the "Board") in the Community Center, 22 Snug Harbor Avenue, Highlands, New Jersey, on the application of the undersigned that has been made to the Board, at which time and place all interested persons will be given an opportunity to be heard.

The property in question is located at 30-40 Seadrift Avenue, in the Borough of Highlands, County of Monmouth, State of New Jersey, also known as Block 76, Lots 4, 5 and 7.01, on the Highlands Tax Map.

The property is located in the Borough's R-2.01 zone.

The applicant is seeking preliminary/final major subdivision plan approval with variance relief for the purpose of constructing single-family, two-story dwellings on each of the four proposed new lots. In addition to subdivision approval, the applicant is seeking the following variances to allow the proposed construction of the single-family, two-story residential dwelling on each of the proposed new lots: (i) variances are requested from Borough Ord. Section 21-86.A.4.a Schedule I, where minimum lot area is required to be 3,750 square feet, and each of the proposed new lots is 2,333 square feet; (ii) variances are requested from Borough Ord. Section 21-86.A.4.(a) Schedule I, where minimum frontage is required to be 50 feet, and each of the proposed new lots is 33.33 feet; (iii) variances are requested from Borough Ord. Section 21-86.A.4.(a) Schedule I, where minimum lot depth is required to be 75 feet, and existing lot depth is 70 feet for each of the proposed new lots; (iv) variance is requested from Borough Ord. Section 21-86.A.4.(a) Schedule I, where the minimum front yard setback is required to be 12 feet (20 feet or the average of the existing front yard setback within two hundred (200) feet in the same block and zone per Section 21-80), and 9.3 feet are existing on Lot 7.01 and proposed to remain on new Lot 7.11; (v) variance is requested from Borough Ord. Section 21-86.A.4.a Schedule I, where the minimum side yard setback is required to be 6 feet, and 1.6 feet are existing on Lot 7.01 and proposed to remain on new Lot 7.11; (vi) variances are requested from Borough Ord. Section 21-86.A.4.a Schedule I, where the total of the two side yards is required to be 14 feet, and 12.3 feet are proposed for new Lots 4.01, 5.01 and 5.02, and 13.3 feet are proposed for new Lot 7.11; (vii) variances are requested from Borough Ord. Section 21-86.A.4.a Schedule I, where the minimum rear yard setback is required to be 20 feet, and 14.8 feet are proposed for new Lots 4.01, 5.01 and 5.02, and 16.3 feet are existing on Lot 7.01 and proposed to remain on new Lot 7.11. The Applicant shall also seek any other variance relief that the Board may deem necessary and/or appropriate.

A copy of the application and all documents, plans or other papers filed in connection with this application are on file with the Board Secretary at the Board's Office located at 42 Shore Drive, Highlands, New Jersey, and may be inspected Monday through Friday, 9:00 a.m. to 4:00 p.m.

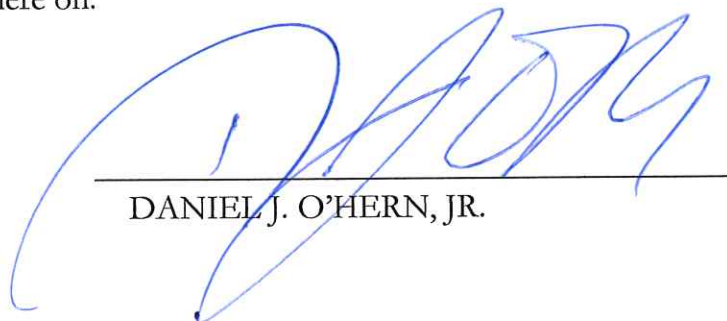
Daniel J. O'Hern, Jr., Esq.
Byrnes, O'Hern & Heugle, LLC
195 East Bergen Place
Red Bank, New Jersey 07701
732-219-7711
Attorneys for the Applicant
Catcherman LLC
(\$53.68)

**AFFIDAVIT OF SERVICE
BOROUGH OF HIGHLANDS LAND USE BOARD**

Attached to this Affidavit is a list of the property owners served, showing the method of service and date of service.

DANIEL J. O'HERN, JR., ESQUIRE, of full age, being duly sworn according to law, deposes and says that his business is located at Byrnes, O'Hern & Heugle, LLC, 195 E. Bergen Place, Red Bank, New Jersey 07701, and hereby acknowledges that the applicant has submitted an application to the Borough of Highlands Land Use Board in connection with the property known as Block 76, Lots 4, 5 and 7.01 and also known as 30-40 Seadrift Avenue, Highlands, New Jersey.

And that he gave written notice of the hearing for this application to any and all of the property owners affected, in the form attached, and according to the attached list, and in the manner, on the date indicated there on.



DANIEL J. O'HERN, JR.

Sworn to and subscribed before me

on this 31st day of May, 2023



ANNA L. DICARLO
Notary Public of New Jersey
My Commission Expires 10/12/2026





BOROUGH OF HIGHLANDS
COUNTY OF MONMOUTH

Date Issued: May 16, 2023

CERTIFICATION OF 200-FOOT LIST

BLOCK 76 LOTS 4, 5, & 7.01

PROPERTY LOCATION: 30-40 Seadrift Ave., Highlands, NJ 07732

TO THE BEST OF MY KNOWLEDGE this is a true and accurate list, as of this date, taken from the most current tax records of the Borough of Highlands, NJ.

*The addresses on this list are pertinent to the Borough of Highlands exclusively. If the subject property is within 200 feet of a neighboring municipality, you **MUST** contact that municipality, to obtain a listing of any properties that may be inclusive in the 200 foot perimeter. THIS LIST IS VALID FOR 90 DAYS.*

A handwritten signature in black ink, appearing to read "Nancy Tran", written over a horizontal line.

Nancy Tran, Borough Clerk

5/16/2023 6:01 PM

* If you are located within 200 feet of a State Highway, you **MUST** notify the NJ Department of Transportation:

NJ Dept. of Transportation
1035 Pkwy Avenue
PO Box 600
Trenton, NJ 08625

*If you are within 200 feet of a County owned road, you **MUST** notify the Monmouth County Planning Board:

Monmouth County Planning Board
Hall of Records Annex 2nd Floor
One East Main St.
PO Box 1255
Freehold, NJ 07728

You must also notify all utilities located within the 200-foot range of the subject property:

JCP&L

300 Madison Avenue
PO Box 1911
Morristown, NJ 07960

NEW JERSEY AMERICAN WATER COMPANY

Attn: Construction Department
661 Shrewsbury Ave
Shrewsbury, NJ 07702

COMCAST COMMUNICATIONS OF MONMOUTH COUNTY

Ron Bertrand, Construction Foreman
403 South St
Eatontown, NJ 07724

VERIZON COMMUNICATIONS

One Verizon Way
Basking Ridge, NJ 07920

TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY

Raymond J. Nierstedt, P.E., Executive Director
PO Box 205, 100 Beverly Way
Belford, NJ 07718

NEW JERSEY NATURAL GAS COMPANY

Attn: Joan Purcaro
PO Box 1464
1415 Wyckoff Road
Wall, NJ 07719

MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY

Attn: Executive Director
200 Harbor Way
PO Box 184
Belford, NJ 07718

765

200 Foot List for Block 746 Lot 4



200 Foot List Block 76 Lot 4

1319-72-9.001
BAKER S MARINA ON THE BAY LLC
190 BOUNDARY ROAD
MARLBORO NJ 07746

1319-72-9.012
BAKER S MARINA ON THE BAY LLC
190 BOUNDARY ROAD
MALBORO NJ 07746

1319-76-5
CATCHERMAN LLC
68 SOUTH BAY AVENUE
HIGHLANDS NJ 07732

1319-76-4
CATCHERMAN LLC
68 SOUTH BAY AVENUE
HIGHLANDS NJ 07732

1319-80-11
KELLY TOM
50 BARBERIE AVENUE
HIGHLANDS NJ 07732

1319-72-28
DIMARCO FRANK E
31 SEADRIFT AVENUE
HIGHLANDS NJ 07732

1319-72-30
CORNEJO CAROLA
25 SEADRIFT AVENUE
HIGHLANDS NJ 07732

1319-75-7
JONES MICHELLE L
52 SEADRIFT AVENUE
HIGHLANDS NJ 07732

1319-75-9
DAVECAROL PROPERTIES LLC
85 POVERSHAM ROAD
NUTLEY NJ 07110

1319-72-21.01
SMITH CHARLOTTE
47 SEADRIFT AVENUE
HIGHLANDS NJ 07732

1319-76-10
CIRECO STEPHEN
22 SEADRIFT AVE
HIGHLANDS NJ 07732

1319-76-11
JOHNSON EDGAR L & PAMELA L
160 HIGHLANDS AVENUE
HIGHLANDS NJ 07732

1319-76-7.01
CATCHERMAN LLC
68 SOUTH BAY AVENUE
HIGHLANDS NJ 07732

1319-76-8
PANAGIOTOU VERONICA MURILLO & IOAN
28 SEADRIFT AVENUE
HIGHLANDS NJ 07732

1319-79-14
ROTH MICHAEL & MARY ANNE
31 WASHINGTON AVE
HIGHLANDS NJ 07732

1319-79-16.01
CAVALLO ARTHUR J
33 WASHINGTON AVENUE
HIGHLANDS NJ 07732

1319-79-17
BENTHAM SHARON DELORES
18 ERICA RD
LAKEWOOD NJ 08701

1319-79-18
ANSTATT MICHAEL
43 WASHINGTON AVENUE
HIGHLANDS NJ 07732

1319-79-4
LIEPINS ERIK & JOHNSON ERICA
42 BARBARIE AVENUE
HIGHLANDS NJ 07732

1319-79-5
WORTHINGTON CATHERINE & ROBERT
40 BARBERIE AVENUE
HIGHLANDS NJ 07732

1319-79-6
RADZIKOWSKI KAREN
36 BARBERIE AVENUE
HIGHLANDS NJ 07732

1319-79-7
LEIST DUANE
32 BARBERIE AVENUE
HIGHLANDS NJ 07732

1319-79-1
48 BARBERIE AVE LLC
12 HARBOR COURT
W LONG BRANCH NJ 07764

1319-72-18.01
DENT ROBERT F
55 SEADRIFT AVENUE
HIGHLANDS NJ 07732

1319-72-19
PENSCO TRUST COMPANY LLC
PO BOX 173859
DENVER CO 80217

1319-72-20.01
TERWILLIGER STANLEY & KAREN
103 PRINCETON RD
HAVERTON PA 19183

1319-79-2
HANS POLLY
46 BARBARIE AVENUE
HIGHLANDS NJ 07732

1319-79-8
HUGHES ROBERT W & JOANNE
26 BARBERIE AVENUE
HIGHLANDS NJ 07732

1319-79-9
BROWNING VALERIE
24 BARBERIE AVENUE
HIGHLANDS NJ 07732

1319-76-9
MELE JUSTIN & DUNN DANIELLE
26 SEADRIFT AVENUE
HIGHLANDS NJ 07732

1319-76-13
DESANTIS NICOLE M
31 BARBARIE AVENUE
HIGHLANDS NJ 07732

1319-76-14
GREGGINS DIANE KATHERINE
35 BARBARIE AVENUE
HIGHLANDS NJ 07732

1319-76-15
MARRON CHRISTOPHER
39 BARBARIE AVENUE
HIGHLANDS NJ 07302

1319-72-22
MCLAUGHLIN FRANK BERNARD
45 SEADRIFT AVENUE
HIGHLANDS NJ 07732

1319-72-23
DALY KEVIN R
43 SEADRIFT AVENUE
HIGHLANDS NJ 07732

1319-72-24
KAHALY WILLIAM J & SUZANNE
117 REGENCY COURT
MORGANVILLE NJ 07751

1319-72-25
CARUSO LORRAINE
5 ELIZABETH WAY
BOONTON TWP. NJ 07005

1319-72-26
CARNEVALE JOSEPH C. & LOIS P
200 PAGE AVENUE
LYNDHURST NJ 07071

1319-72-27
DIAMANTE GENEVIEVE
169 COMANCHE DRIVE
OCEANPORT NJ 07757

1319-72-29
VACCARO TODD JR
27 SEADRIFT AVENUE
HIGHLANDS NJ 07732

1319-76-1
46 SEA DRIFT LLC
79 WINDSOR PLACE
GLEN RIDGE NJ 07028

1319-76-2
JARMUSZ KAREN
44 SEADRIFT AVENUE
HIGHLANDS NJ 07732

1319-76-3
HOHN FRED
42 SEADRIFT AVENUE
HIGHLANDS NJ 07732

1319-75-8
CARMANO ARTHUR R JR & CHRISTINE M
50 SEADRIFT AVENUE
HIGHLANDS NJ 07732

1319-76-16
HICKS DEBRA ANN
P.O. BOX 679
NAVESINK NJ 07752

1319-75-10
PIOTROWSKA ANNA
55 BARBERIE AVENUE
HIGHLANDS NJ 07732

1319-75-6.01
BURTON KELLI A & BONNIE M
54 SEADRIFT AVENUE
HIGHLANDS NJ 07732

1319-76-17
KAMATANI KATHLEEN
47 BARBARIE AVENUE
HIGHLANDS NJ 07732

1319-76-12
MILOT DEBORAH E
27 BARBARIE AVENUE
HIGHLANDS NJ 07732

1319-79-19
BASS CHARLES & DARREN & JORDAN
45 WASHINGTON AVE
HIGHLANDS NJ 07732

1319-79-3
BOMBOY HALEY N & MCGURK WILLIAM H
44 BARBERIE AVENUE
HIGHLANDS NJ 07732

1319-72-31.01
SHANNON ENTERPRISES LLC
300 BAY AVENUE
HIGHLANDS NJ 07732

1319-72-9.20
GAILBREATH BRIAN A
126 MARINA BAY COURT
HIGHLANDS NJ 07732

1319-72-9.22
DIPISA JOANNE M
124 MARINA BAY COURT
HIGHLANDS NJ 07732

1319-72-9.24
MCENERNEY FRANCIS & JAYNE
122 MARINA BAY COURT
HIGHLANDS NJ 07732

1319-72-9.26
O HARA KATIE
120 MARINA BAY COURT
HIGHLANDS NJ 07732

1319-72-9.28
MCLEOD LAURIE E
118 MARINA BAY COURT
HIGHLANDS NJ 07732

1319-72-9.30
AHLBORN ROBERT F & CATHY M
116 MARINA BAY COURT
HIGHLANDS NJ 07732

1319-72-9.32
LYONS TIMOTHY P
114 MARINA BAY COURT
HIGHLANDS NJ 07732

1319-72-9.34
SWETLAND KIMBERLY A
112 MARINA BAY COURT
HIGHLANDS NJ 07719

200 List bl 76 lt 4

1319-72-9.36
GROSSMAN DAVID B. JEANNE F.
110 MARINA BAY COURT
HIGHLANDS NJ 07732

1319-72-9.38
BONET ADELITA
108 MARINA BAY COURT
HIGHLANDS NJ 07732

1319-72-9.40
GIAMMARINO MICHAEL
106 MARINA BAY COURT
HIGHLANDS NJ 07732

1319-72-9.42
REYNOLDS FRANCIS B.
104 MARINA BAY COURT
HIGHLANDS NJ 07732

1319-72-9.44
FEGLER SCOTT & NIGHTINGALE AMY G
102 MARINA BAY COURT
HIGHLANDS NJ 07732

200 Foot List Block 76 Lot 5



200 Foot List Block 76 Lot 5

1319-72-9.001 BAKER S MARINA ON THE BAY LLC 190 BOUNDARY ROAD MARLBORO NJ 07746	1319-76-9 MELE JUSTIN & DUNN DANIELLE 26 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-72-25 CARUSO LORRAINE 5 ELIZABETH WAY BOONTON TWP. NJ 07005	1319-72-32.01 SACKOWITZ ISIDORE J&VINCELLI LAUREN 19 SEADRIFT AVENUE HIGHLANDS NJ 07732
1319-72-9.012 BAKER S MARINA ON THE BAY LLC 190 BOUNDARY ROAD MALBORO NJ 07746	1319-76-13 DESANTIS NICOLE M 31 BARBARIE AVENUE HIGHLANDS NJ 07732	1319-72-26 CARNEVALE JOSEPH C. & LOIS P. 200 PAGE AVENUE LYNDHURST NJ 07071	1319-72-31.01 SHANNON ENTERPRISES LLC 300 BAY AVENUE HIGHLANDS NJ 07732
1319-76-5 CATCHERMAN LLC 68 SOUTH BAY AVENUE HIGHLANDS NJ 07732	1319-76-14 GREGGINS DIANE KATHERINE 35 BARBARIE AVENUE HIGHLANDS NJ 07732	1319-72-27 DIAMANTE GENEVIEVE 169 COMANCHE DRIVE OCEANPORT NJ 07757	1319-72-9.24 MCENERNEY FRANCIS & JAYNE 122 MARINA BAY COURT HIGHLANDS NJ 07732
1319-76-4 CATCHERMAN LLC 68 SOUTH BAY AVENUE HIGHLANDS NJ 07732	1319-76-15 MARRON CHRISTOPHER 39 BARBARIE AVENUE HIGHLANDS NJ 07302	1319-72-29 VACCARO TODD JR. 27 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-72-9.26 O HARA KATIE 120 MARINA BAY COURT HIGHLANDS NJ 07732
1319-72-28 DIMARCO FRANK E 31 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-76-1 46 SEA DRIFT LLC 79 WINDSOR PLACE GLEN RIDGE NJ 07028	1319-72-20.01 TERWILLIGER STANLEY & KAREN 103 PRINCETON RD HAVERTON PA 19183	1319-72-9.28 MCLEOD LAURIE E 118 MARINA BAY COURT HIGHLANDS NJ 07732
1319-72-30 CORNEJO CAROLA 25 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-76-2 JARMUSZ KAREN 44 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-79-2 HANS POLLY 46 BARBARIE AVENUE HIGHLANDS NJ 07732	1319-72-9.30 AHLBORN ROBERT F. & CATHY M 116 MARINA BAY COURT HIGHLANDS NJ 07732
1319-72-21.01 SMITH CHARLOTTE 47 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-76-3 HOHN FRED 42 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-79-4 LIEPINS ERIK & JOHNSON ERICA 42 BARBARIE AVENUE HIGHLANDS NJ 07732	1319-72-9.32 LYONS TIMOTHY P 114 MARINA BAY COURT HIGHLANDS NJ 07732
1319-79-14 ROTH MICHAEL & MARY ANNE 31 WASHINGTON AVE HIGHLANDS NJ 07732	1319-75-8 CARMANO ARTHUR R JR & CHRISTINE M 50 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-79-5 WORTHINGTON CATHERINE & ROBERT 40 BARBERIE AVENUE HIGHLANDS NJ 07732	1319-72-9.34 SWETLAND KIMBERLY A 112 MARINA BAY COURT HIGHLANDS NJ 07719
1319-79-16.01 CAVALLO ARTHUR J 33 WASHINGTON AVENUE HIGHLANDS NJ 07732	1319-76-16 HICKS DEBRA ANN P.O. BOX 679 NAVESINK NJ 07752	1319-79-6 RADZIKOWSKI KAREN 36 BARBERIE AVENUE HIGHLANDS NJ 07732	1319-72-9.36 GROSSMAN DAVID B JEANNE F 110 MARINA BAY COURT HIGHLANDS NJ 07732
1319-79-17 BENTHAM SHARON DELORES 18 ERICA RD LAKEWOOD NJ 08701	1319-79-8 HUGHES ROBERT W & JOANNE 26 BARBERIE AVENUE HIGHLANDS NJ 07732	1319-79-7 LEIST DUANE 32 BARBERIE AVENUE HIGHLANDS NJ 07732	1319-72-9.38 BONET ADELITA 108 MARINA BAY COURT HIGHLANDS NJ 07732
1319-75-9 DAVECAROL PROPERTIES LLC 85 POVERSHAM ROAD NUTLEY NJ 07110	1319-79-9 BROWNING VALERIE 24 BARBERIE AVENUE HIGHLANDS NJ 07732	1319-79-1 48 BARBERIE AVE LLC 12 HARBOR COURT W. LONG BRANCH NJ 07764	1319-72-9.40 GIAMMARINO MICHAEL 106 MARINA BAY COURT HIGHLANDS NJ 07732
1319-76-7.01 CATCHERMAN LLC 68 SOUTH BAY AVENUE HIGHLANDS NJ 07732	1319-79-10 RITTER PAUL 22 BARBERIE AVENUE HIGHLANDS NJ 07732	1319-79-13 SEYLAZ JOHN W & GERALDINE M 27 WASHINGTON AVENUE HIGHLANDS NJ 07732	1319-72-9.42 REYNOLDS FRANCIS B. 104 MARINA BAY COURT HIGHLANDS NJ 07732
1319-76-8 PANAGIOTOU VERONICA MURILLO & IOAN 28 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-72-22 MCLAUGHLIN FRANK BERNARD 45 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-76-17 KAMATANI KATHLEEN 47 BARBARIE AVENUE HIGHLANDS NJ 07732	1319-72-9.44 FEGLER SCOTT & NIGHTINGALE AMY G 102 MARINA BAY COURT HIGHLANDS NJ 07732
1319-76-10 CIRECO STEPHEN 22 SEADRIFT AVE HIGHLANDS NJ 07732	1319-72-23 DALY KEVIN R 43 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-76-12 MILOT DEBORAH E 27 BARBARIE AVENUE HIGHLANDS NJ 07732	
1319-76-11 JOHNSON EDGAR L & PAMELA L 160 HIGHLANDS AVENUE HIGHLANDS NJ 07732	1319-72-24 KAHALY WILLIAM J & SUZANNE 117 REGENCY COURT MORGANVILLE NJ 07751	1319-79-3 BOMBOY HALEY N & MCGURK WILLIAM H 44 BARBERIE AVENUE HIGHLANDS NJ 07732	

200 Foot List BI 76 Lt 7.01

1319-72-9.001 BAKER S MARINA ON THE BAY LLC 190 BOUNDARY ROAD MALBORO NJ 07746	1319-76-1 46 SEA DRIFT LLC 79 WINDSOR PLACE GLEN RIDGE NJ 07028	1319-79-7 LEIST DUANE 32 BARBERIE AVENUE HIGHLANDS NJ 07732	1319-76-17 KAMATANI KATHLEEN 47 BARBARIE AVENUE HIGHLANDS NJ 07732
1319-72-9.012 BAKER S MARINA ON THE BAY LLC 190 BOUNDARY ROAD MALBORO NJ 07746	1319-76-2 JARMUSZ KAREN 44 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-79-13 SEYLAZ JOHN W. & GERALDINE M. 27 WASHINGTON AVENUE HIGHLANDS NJ 07732	1319-76-12 MILOT DEBORAH E 27 BARBARIE AVENUE HIGHLANDS NJ 07732
1319-76-5 CATCHERMAN LLC 68 SOUTH BAY AVENUE HIGHLANDS NJ 07732	1319-76-3 HOHN FRED 42 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-72-22 MCLAUGHLIN FRANK BERNARD 45 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-79-3 BOMBOY HALEY N & MCGURK WILLIAM H 44 BARBERIE AVENUE HIGHLANDS NJ 07732
1319-77-17 00 BARBERIE COAST LLC 1301 PARK AVENUE HOBOKEN NJ 07030	1319-76-9 MELE JUSTIN & DUNN DANIELLE 26 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-72-23 DALY KEVIN R 43 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-72-32.01 SACKOWITZ ISIDORE J & VINCELLI LAUREN 19 SEADRIFT AVENUE HIGHLANDS NJ 07732
1319-76-4 CATCHERMAN LLC 68 SOUTH BAY AVENUE HIGHLANDS NJ 07732	1319-76-13 DESANTIS NICOLE M 31 BARBARIE AVENUE HIGHLANDS NJ 07732	1319-72-24 KAHALY WILLIAM J & SUZANNE 117 REGENCY COURT MORGANVILLE NJ 07751	1319-72-31.01 SHANNON ENTERPRISES LLC 300 BAY AVENUE HIGHLANDS NJ 07732
1319-78-1 KELLEHER JOSEPH 20 BARBERIE AVENUE HIGHLANDS NJ 07732	1319-76-14 GREGGINS DIANE KATHERINE 35 BARBARIE AVENUE HIGHLANDS NJ 07732	1319-72-25 CARUSO LORRAINE 5 ELIZABETH WAY BOONTON TWP. NJ 07005	1319-72-9.26 O HARA KATIE 120 MARINA BAY COURT HIGHLANDS NJ 07732
1319-72-28 DIMARCO FRANK E 31 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-76-15 MARRON CHRISTOPHER 39 BARBARIE AVENUE HIGHLANDS NJ 07302	1319-72-26 CARNEVALE JOSEPH C & LOIS P 200 PAGE AVENUE LYNDHURST NJ 07071	1319-72-9.28 MCLEOD LAURIE E 118 MARINA BAY COURT HIGHLANDS NJ 07732
1319-72-30 CORNEJO CAROLA 25 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-77-2.01 ROSSETTI WILLIAM & TOMME JOY 18 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-72-27 DIAMANTE GENEVIEVE 169 COMANCHE DRIVE OCEANPORT NJ 07757	1319-72-9.30 AHLBORN ROBERT F & CATHY M. 116 MARINA BAY COURT HIGHLANDS NJ 07732
1319-72-21.01 SMITH CHARLOTTE 47 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-79-8 HUGHES ROBERT W & JOANNE 26 BARBERIE AVENUE HIGHLANDS NJ 07732	1319-72-20.01 TERWILLIGER STANLEY & KAREN 103 PRINCETON RD HAVERTON PA 19183	1319-72-9.32 LYONS TIMOTHY P 114 MARINA BAY COURT HIGHLANDS NJ 07732
1319-79-14 ROTH MICHAEL & MARY ANNE 31 WASHINGTON AVE HIGHLANDS NJ 07732	1319-79-9 BROWNING VALERIE 24 BARBERIE AVENUE HIGHLANDS NJ 07732	1319-79-1 48 BARBERIE AVE LLC 12 HARBOR COURT W. LONG BRANCH NJ 07764	1319-72-9.34 SWETLAND KIMBERLY A 112 MARINA BAY COURT HIGHLANDS NJ 07719
1319-79-16.01 CAVALLO ARTHUR J 33 WASHINGTON AVENUE HIGHLANDS NJ 07732	1319-79-10 RITTER PAUL 22 BARBERIE AVENUE HIGHLANDS NJ 07732	1319-79-2 HANS POLLY 46 BARBARIE AVENUE HIGHLANDS NJ 07732	1319-72-9.36 GROSSMAN DAVID B. JEANNE F. 110 MARINA BAY COURT HIGHLANDS NJ 07732
1319-76-10 CIRECO STEPHEN 22 SEADRIFT AVE HIGHLANDS NJ 07732	1319-79-12.01 JODZIEWICZ DAVID & CLITEREO ANYA 23 WASHINGTON AVE HIGHLANDS NJ 07732	1319-72-29 VACCARO TODD JR. 27 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-72-9.38 BONET ADELITA 108 MARINA BAY COURT HIGHLANDS NJ 07732
1319-76-11 JOHNSON EDGAR L & PAMELA L 160 HIGHLANDS AVENUE HIGHLANDS NJ 07732	1319-79-4 LIEPINS ERIK & JOHNSON ERICA 42 BARBARIE AVENUE HIGHLANDS NJ 07732	1319-72-33 HOLLEMBEAK PHILIP N. 17 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-72-9.40 GIAMMARINO MICHAEL 106 MARINA BAY COURT HIGHLANDS NJ 07732
1319-76-7.01 CATCHERMAN LLC 68 SOUTH BAY AVENUE HIGHLANDS NJ 07732	1319-79-5 WORTHINGTON CATHERINE & ROBERT 40 BARBERIE AVENUE HIGHLANDS NJ 07732	1319-76-16 HICKS DEBRA ANN P.O BOX 679 NAVESINK NJ 07752	1319-72-9.42 REYNOLDS FRANCIS B. 104 MARINA BAY COURT HIGHLANDS NJ 07732
1319-76-8 PANAGIOTOU VERONICA MURILLO & IOAN 28 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-79-6 RADZIKOWSKI KAREN 36 BARBERIE AVENUE HIGHLANDS NJ 07732	1319-77-16 HAGER STEVEN 17 BARBERIE AVENUE HIGHLANDS NJ 07732	1319-72-9.44 FEGLER SCOTT & NIGHTINGALE AMY G 102 MARINA BAY COURT HIGHLANDS NJ 07732

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
NJ Dept. of Transportation
 1035 Pkwy Avenue
 PO Box 600
 Trenton, NJ 08625



2. Article Identification:
 7022 2410 0003 3009 7587

PS Form 3811, July 2020 PSN 7530-02-000-9053

RECIPIENT: COMPLETE THIS SECTION ON DELIVERY

- A. Signature
 X
- B. Received by (Printed Name)
- D. Is delivery address different from the address on the mailpiece?

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery

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Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postage \$

Total \$

Sent \$

Street & City, State, ZIP+4®

NJ Dept. of Transportation
 1035 Pkwy Avenue
 PO Box 600
 Trenton, NJ 08625



PS Form 3800, April 2015 PSN 7530-02-000-9047
 Domestic Return Receipt

See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
Monmouth County Planning Board
 Hall of Records Annex 2nd Floor
 One East Main St.
 PO Box 1255
 Freehold, NJ 07728



2. Article Identification:
 7022 2410 0003 3009 7570

PS Form 3811, July 2020 PSN 7530-02-000-9053

RECIPIENT: COMPLETE THIS SECTION ON DELIVERY

- A. Signature
 X
- B. Received by (Printed Name)

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery

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Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

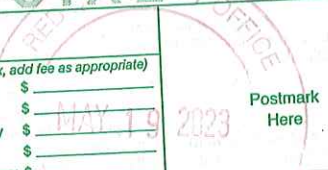
Postage \$

Total \$

Sent \$

Street & City, State, ZIP+4®

Monmouth County Planning Board
 Hall of Records Annex 2nd Floor
 One East Main St.
 PO Box 1255
 Freehold, NJ 07728



PS Form 3800, April 2015 PSN 7530-02-000-9047

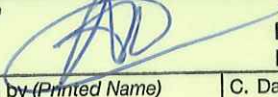
See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent Addressee

X 

B. Received by (Printed Name) _____ C. Date of Delivery _____

1. Article **JCP&L**
 300 Madison Avenue
 PO Box 1911
 Morristown, NJ 07960

Item 1? Yes No
 Below: Yes No



9590 9402 8135 2349 3095 39

3. Service Type
 Adult Signature
 Adult Signature Restricted Delivery
 Certified Mail®
 Certified Mail Restricted Delivery
 Collect on Delivery
 Priority Mail Express®
 Registered Mail™
 Registered Mail Restricted Delivery
 Signature Confirmation™
 Signature Confirmation Restricted Delivery

2. Article **7022 2410 0003 3009 7617**

PS Form 3811, July 2020 PSN 7530-02-000-9053

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Certified Mail Fee \$ _____
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$ _____
 Return Receipt (electronic) \$ _____
 Certified Mail Restricted Delivery \$ _____
 Adult Signature Required \$ _____
 Adult Signature Restricted Delivery \$ _____

Postmark Here
MAY 19 2023

JCP&L
 300 Madison Avenue
 PO Box 1911
 Morristown, NJ 07960

PSN 7530-02-000-9047 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent Addressee

X 

B. Received by (Printed Name) _____ C. Date of Delivery _____

1. Article Addressed to:
NEW JERSEY AMERICAN WATER COMPANY
 Attn: Construction Department
 661 Shrewsbury Ave
 Shrewsbury, NJ 07702

3. Service Type
 Adult Signature
 Adult Signature Restricted Delivery
 Certified Mail®
 Certified Mail Restricted Delivery
 Collect on Delivery
 Priority Mail Express®
 Registered Mail™
 Registered Mail Restricted Delivery
 Signature Confirmation™
 Signature Confirmation Restricted Delivery



9590 9402 8135 2349 3094 92

2. Article Number (Transfer from card)
7022 2410 0003 3009 7600

PS Form 3811, July 2020 PSN 7530-02-000-9053

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Certified Mail Fee \$ _____
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$ _____
 Return Receipt (electronic) \$ _____
 Certified Mail Restricted Delivery \$ _____
 Adult Signature Required \$ _____
 Adult Signature Restricted Delivery \$ _____

Postage _____

Postmark Here
MAY 19 2023

NEW JERSEY AMERICAN WATER COMPANY
 Attn: Construction Department
 661 Shrewsbury Ave
 Shrewsbury, NJ 07702

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent Addressee

X 

B. Received by (Printed Name) _____ C. Date of Delivery _____

1. Article **COMCAST COMMUNICATIONS OF MONMOUTH COUNTY**
 Ron Bertrand, Construction Foreman
 403 South St
 Eatontown, NJ 07724

3. Service Type
 Adult Signature
 Adult Signature Restricted Delivery
 Certified Mail®
 Certified Mail Restricted Delivery
 Priority Mail Express®
 Registered Mail™
 Registered Mail Restricted Delivery
 Signature Confirmation™
 Signature Confirmation Restricted Delivery



9590 9402 8135 2349 3095 46

2. Article **7022 2410 0003 3009 7624**

PS Form 3811, July 2020 PSN 7530-02-000-9053

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Certified Mail Fee \$ _____
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$ _____
 Return Receipt (electronic) \$ _____
 Certified Mail Restricted Delivery \$ _____
 Adult Signature Required \$ _____
 Adult Signature Restricted Delivery \$ _____

Postage _____

Postmark Here
MAY 19 2023

COMCAST COMMUNICATIONS OF MONMOUTH COUNTY
 Ron Bertrand, Construction Foreman
 403 South St
 Eatontown, NJ 07724

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

VERIZON COMMUNICATIONS
 One Verizon Way
 Basking Ridge, NJ 07920



9590 9402 8135 2349 3095 08

2. Article Number (Transfer from service label)

7022 2410 0003 3009 7594

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION

- A. Signature
 X *[Signature]*
- B. Received by (Printed Name)
[Signature]
- D. Is delivery address different from the address on the mailpiece?
 No
 Yes, enter delivery address

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Certified Mail Fee \$

- Extra Services & Fees (check box, add fee as appropriate)
- Return Receipt (hardcopy) \$
 - Return Receipt (electronic) \$
 - Certified Mail Restricted Delivery \$
 - Adult Signature Required \$
 - Adult Signature Restricted Delivery \$

Postage \$
Total Postage \$

Sent To

Street and Apt.

City, State, ZIP+4®

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See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY
 Raymond J. Nierstedt, P.E., Executive Director
 PO Box 205, 100 Beverly Way
 Belford, NJ 07718



9590 9402 8135 2349 3095 53

2. Article Number (Transfer from service label)

7022 2410 0003 3009 7631

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION

- A. Signature
 X *[Signature]*
- B. Received by (Printed Name)
[Signature]

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery Restricted Delivery (over \$500)

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OFFICIAL USE

Certified Mail Fee \$

- Extra Services & Fees (check box, add fee as appropriate)
- Return Receipt (hardcopy) \$
 - Return Receipt (electronic) \$
 - Certified Mail Restricted Delivery \$
 - Adult Signature Required \$
 - Adult Signature Restricted Delivery \$

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
NEW JERSEY NATURAL GAS COMPANY
 Attn: Joan Purcaro
 PO Box 1464
 1415 Wyckoff Road
 Wall, NJ 07719



9590 9402 8135 2349 3095 60

2. Article Number (Transfer from service label)

7022 2410 0003 3009 7648

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION

- A. Signature
 X *[Signature]*
- B. Received by (Printed Name)

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery Restricted Delivery (over \$500)
 - Insured Mail Restricted Delivery (over \$500)

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Certified Mail Fee \$

- Extra Services & Fees (check box, add fee as appropriate)
- Return Receipt (hardcopy) \$
 - Return Receipt (electronic) \$
 - Certified Mail Restricted Delivery \$
 - Adult Signature Required \$
 - Adult Signature Restricted Delivery \$

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

Domestic Return Receipt

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OFFICIAL USE

Certified Mail Fee	\$	
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$	
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	

Postmark Here
MAY 19 2023

Postage
MONMOUTH COUNTY BAYSHORE OUTFALL AUTI

Attn: Executive Director
200 Harbor Way
PO Box 184
Belford, NJ 07718

7022 2410 0003 3009 7655

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent Addressee

[Handwritten Signature]

B. Received by (Printed Name) *TRAIT* C. Date of Delivery *5/22/23*

1. Article Number *7022 2410 0003 3009 7662* Is delivery address different from item 1? Yes No

Baker's Marina on the Bay LLC
 190 Boundary Road
 Marlboro, NJ 07746



9590 9402 8135 2349 3094 85

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Insured Mail Restricted Delivery (over \$500)
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery

2. Article Number (Transfer from item 1) *7022 2410 0003 3009 7662* Restricted Delivery

PS Form 3811, July 2020 PSN 7530-02-000-9053

Domestic Return Receipt

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OFFICIAL USE

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark Here

Marina on the Bay LLC
 190 Boundary Road
 Marlboro, NJ 07746



PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7022 2410 0003 3009 7666

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OFFICIAL USE

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark Here

Postage \$

Total Postage \$

Sent To

Street and Apt. #

City, State, ZIP+4

Catcherman LLC
 68 South Bay Avenue
 Highlands, NJ 07732



PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7022 2410 0003 3009 7679

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OFFICIAL USE

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark Here

Postage \$

Total Postage \$

Sent To

Street and Apt. #

City, State, ZIP+4

Tom Kelly
 50 Barberie Avenue
 Highlands, NJ 07732



PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7022 2410 0003 3009 7693

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postage

\$

Total Postage

\$

Sent To

Street and

City, State

Frank E. DiMarco
31 Seadrift Avenue
Highlands, NJ 07732



PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7022 2410 0003 3009 7730

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

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OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$

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Carola Cornejo
25 Seadrift Avenue
Highlands, NJ 07732



PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7022 2410 0003 3009 7723

U.S. Postal Service™
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OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

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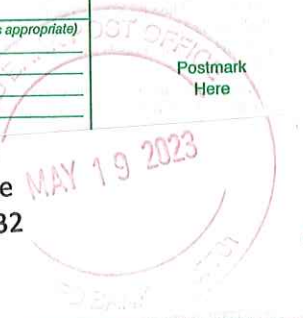
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Michelle L. Jones
52 Seadrift Avenue
Highlands, NJ 07732



PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7022 2410 0003 3009 7716

U.S. Postal Service™
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OFFICIAL USE

Certified Mail Fee
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restr. \$

Postage \$

Total Fee \$

Sent To

Street and

City, State, ZIP+4®

Postmark Here

May 19 2023

Savecarol Properties LLC
 85 Poversham Road
 Nutley, NJ 07110

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article

Charolette Smith
 47 Seadrift Avenue
 Highlands, NJ 07732

2. Article

7022 2410 0003 3009 7709

3. Service Type

Adult Signature

Adult Signature Restricted Delivery

Certified Mail®

Certified Mail Restricted Delivery

Insured Mail Restricted Delivery (over \$500)

Domestic Return Receipt

PS Form 3811, July 2020 PSN 7530-02-000-9053

7022 2410 0003 3009 7709

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restr. \$

Postage \$

Total Postage \$

Sent To

Street and

City, State, ZIP+4®

Postmark Here

May 19 2023

Charolette Smith
 47 Seadrift Avenue
 Highlands, NJ 07732

7022 2410 0003 3009 7709

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7022 2410 0003 3009 7754

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restr. \$

Postage \$

Total Postage \$

Sent To

Street and

City, State, ZIP+4®

Postmark Here

May 19 2023

Stephen Cireco
 22 Seadrift Avenue
 Highlands, NJ 07732

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article

Edgar and Pamela Johnson
160 Highlands Avenue
Highlands, NJ 07732

COMPLETE THIS SECTION ON DELIVERY

A. Signature
[Signature]
B. Received by (Printed Name)

3. Service Type
 Adult Signature
 Adult Signature Restricted Delivery
 Certified Mail®
 Certified Mail Restricted Delivery
 Collect on Delivery
 Collect on Delivery Restricted Delivery



9590 9402 8135 2349 3093 79

2. Article 7022 2410 0003 3009 7761 ed Delivery

PS Form 3811, July 2020 PSN 7530-02-000-9053

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For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postmark Here

Postage
 Edgar and Pamela Johnson
 160 Highlands Avenue
 Highlands, NJ 07732

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
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For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postmark Here

Postage
 Total P
 \$
 Sent To
 Street a
 City, State, ZIP+4®

Veronica Murillo Panagotou & Ican
26 Seadrift Avenue
Highlands, NJ 07732

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1.

Michael & Mary Anne Roth
31 Washington Avenue
Highlands, NJ 07732

COMPLETE THIS SECTION ON DELIVERY

A. Signature
[Signature]
B. Received by (Printed Name)

3. Service Type
 Adult Signature
 Adult Signature Restricted Delivery
 Certified Mail®
 Certified Mail Restricted Delivery
 Collect on Delivery
 Collect on Delivery Restricted Delivery
 All Restricted Delivery (over \$500)



9590 9402 8135 2349 3093 62

7022 2410 0003 3009 7778

PS Form 3811, July 2020 PSN 7530-02-000-9053

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

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OFFICIAL USE

Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$

Postmark Here

Michael & Mary Anne Roth
31 Washington Avenue
Highlands, NJ 07732

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Arthur Cavallo
33 Washington Avenue
Highlands, NJ 07732

7022 2410 0003 3009 7785

COMPLETE THIS SECTION

A. Signature *[Signature]*

X

B. Received by (Printed Name)

D. Is delivery address different from return address?

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Mail Restricted Delivery

9590 9402 8135 2349 3093 55

PS Form 3811, July 2020 PSN 7530-02-000-9053

U.S. Postal Service™
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Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark Here

Arthur Cavallo
33 Washington Avenue
Highlands, NJ 07732

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7022 2410 0003 3009 7785

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Sharon Delores Bentham
18 Erica Road
Lakewood, NJ 08701

7022 2410 0003 3009 7792

COMPLETE THIS SECTION

A. Signature *[Signature]*

X

B. Received by (Printed Name)

D. Is delivery address different from return address?

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Mail Restricted Delivery

9590 9402 8135 2349 3093 48

PS Form 3811, July 2020 PSN 7530-02-000-9053

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OFFICIAL USE

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark Here

Sharon Delores Bentham
18 Erica Road
Lakewood, NJ 08701

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7022 2410 0003 3009 7792

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Michael Anstatt
43 Washington Avenue
Highlands, NJ 07732

7022 2410 0003 3009 7822

COMPLETE THIS SECTION ON DELIVERY

A. Signature *[Signature]*

X

B. Received by (Printed Name)

D. Is delivery address different from return address?

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Mail Restricted Delivery (over \$500)

9590 9402 8135 2349 3094 78

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OFFICIAL USE

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark Here

Michael Anstatt
43 Washington Avenue
Highlands, NJ 07732

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7022 2410 0003 3009 7822

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OFFICIAL USE

Certified Mail Fee

Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$ _____
<input type="checkbox"/> Return Receipt (electronic)	\$ _____
<input type="checkbox"/> Certified Mail Restricted Delivery	\$ _____
<input type="checkbox"/> Adult Signature Required	\$ _____

Postmark
Here

Erik Liepins & Erica Johnson
42 Barbarie Avenue
Highlands, NJ 07732

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7022 2410 0003 3009 7815

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature
X *[Signature]*

B. Received by (Printed Name)

1. Article Addressed to:
Catherine & Robert Worthington
40 Barbarie Avenue
Highlands, NJ 07732



9590 9402 8135 2349 3093 31

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery

2. Article Number (Transfer from service label)
7022 2410 0003 3009 7808 (over 500)

PS Form 3811, July 2020 PSN 7530-02-000-9053

7022 2410 0003 3009 7808

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OFFICIAL USE

Certified Mail Fee

Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$ _____
<input type="checkbox"/> Return Receipt (electronic)	\$ _____
<input type="checkbox"/> Certified Mail Restricted Delivery	\$ _____
<input type="checkbox"/> Adult Signature Required	\$ _____
<input type="checkbox"/> Adult Signature Restricted Delivery	\$ _____

Postmark
Here

Catherine & Robert Worthington
40 Barbarie Avenue
Highlands, NJ 07732

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature
X *[Signature]*

B. Received by (Printed Name)

D. Is delivery address different from

1. Article Addressed to:
Karen Radzikowski
36 Barbarie Avenue
Highlands, NJ 07732



9590 9402 8135 2349 3094 47

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail

2. Article Number (Transfer from service label)
7022 2410 0003 3009 7853

PS Form 3811, July 2020 PSN 7530-02-000-9053

7022 2410 0003 3009 7853

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Certified Mail Fee

Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$ _____
<input type="checkbox"/> Return Receipt (electronic)	\$ _____
<input type="checkbox"/> Certified Mail Restricted Delivery	\$ _____
<input type="checkbox"/> Adult Signature Required	\$ _____
<input type="checkbox"/> Adult Signature Restricted Delivery	\$ _____

Postmark
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Postage
Total P
Sent To
Street a
City, State, ZIP+4®
Karen Radzikowski
36 Barbarie Avenue
Highlands, NJ 07732

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Duane Leist
32 Barbarie Avenue
Highlands, NJ 07732

2. A **7022 2410 0003 3009 7846**

3. Service type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Insured Mail
- Insured Mail Restricted Delivery (over \$500)

7022 2410 0003 3009 7846

PS Form 3811, July 2020 PSN 7530-02-000-9053

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OFFICIAL USE

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$

Postmark Here

Duane Leist
32 Barbarie Avenue
Highlands, NJ 07732

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Domestic Return Receipt

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OFFICIAL USE

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$

Postmark Here

48 Barbarie Ave LLC
12 Harbor Court
Highlands, NJ 07732

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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OFFICIAL USE

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark Here

Robert F. Dent
55 Seadrift Avenue
Highlands, NJ 07732

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7022 2410 0003 3009 7877

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OFFICIAL USE

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Postmark Here

Pensco Trust Company LLC
 PO Box 173859
 Denver, CO 80217

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to: Stanley & Karen Terwilliger
 103 Princeton Road
 Haverton, PA 19183

2. Article Number (Transfer from service label) 7022 2410 0003 3009 7860

3. Service Type

Adult Signature

Adult Signature Restricted Delivery

Certified Mail®

Certified Mail Restricted Delivery

Collect on Delivery

Delivery Restricted Delivery (over \$500)

PS Form 3811, July 2020 PSN 7530-02-000-9053

7022 2410 0003 3009 7860

U.S. Postal Service™
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 Domestic Mail Only

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OFFICIAL USE

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postmark Here

Stanley & Karen Terwilliger
 103 Princeton Road
 Haverton, PA 19183

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7022 2410 0002 0720 8863

U.S. Postal Service™
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OFFICIAL USE

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postmark Here

MAY 19 2023

Postage \$

Total \$

Sent To \$

Street \$

City, State, ZIP+4®

Polly Hans
 46 Barbarie Avenue
 Highlands, NJ 07732

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Robert & Joanne Hughes
 26 Barbarie Avenue
 Highlands, NJ 07732



9590 9402 8135 2349 3093 93

2. Article Number (Transfer from service label)

7022 2410 0003 3009 7907

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

B. Received by (Printed Name)

D. Is delivery address different from item? If YES, enter delivery address below

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$ 1.90 2023
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark Here

Postage

\$ Total
 \$ Sent
 \$ Street

Robert & Joanne Hughes
 26 Barbarie Avenue
 Highlands, NJ 07732

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

U.S. Postal Service™
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 Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark Here

Postage
 \$ Total
 \$ Sent
 \$ Street

Valerie Browning
 24 Barbarie Avenue
 Highlands, NJ 07732

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

U.S. Postal Service™
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 Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark Here

Postage
 \$ Total
 \$ Sent
 \$ Street

Justin Mele & Danielle Dunn
 26 Seadrift Avenue
 Highlands, NJ 07732

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
Nicole M. DeSantis
 31 Barbarie Avenue
 Highlands, NJ 07732

2. Article Number: **7022 2410 0002 0720 8146**

3. Service Type
 Adult Signature
 Adult Signature Restricted Delivery
 Certified Mail®
 Certified Mail Restricted Delivery
 Collect on Delivery
 Collect on Delivery Restricted Delivery

Priority Mail Express®
 Registered Mail™
 Registered Mail Restricted Delivery
 Signature Confirmation™
 Signature Confirmation Restricted Delivery

4. Is delivery address different from item 1? Yes No

U.S. Postal Service™ MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee
 \$ _____

Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$ _____
 Return Receipt (electronic) \$ _____
 Certified Mail Restricted Delivery \$ _____
 Adult Signature Required \$ _____

Postmark Here
 MAY 9 2023

Nicole M. DeSantis
 31 Barbarie Avenue
 Highlands, NJ 07732

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
Diane Katherine Greggins
 35 Barbarie Avenue
 Highlands, NJ 07732

2. Article Number: **7022 2410 0002 0720 8856**

3. Service Type
 Adult Signature
 Adult Signature Restricted Delivery
 Certified Mail®
 Certified Mail Restricted Delivery

Insured Mail
 Insured Mail Restricted Delivery (over \$500)

4. Is delivery address different from item 1? Yes No

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee
 \$ _____

Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$ _____
 Return Receipt (electronic) \$ _____
 Certified Mail Restricted Delivery \$ _____
 Adult Signature Required \$ _____

Postmark Here
 MAY 19 2023

Diane Katherine Greggins
 35 Barbarie Avenue
 Highlands, NJ 07732

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
Christopher Marron
 39 Barbarie Avenue
 Highlands, NJ 07732

2. Article Number: **7022 2410 0002 0720 8184**

3. Service Type
 Adult Signature
 Adult Signature Restricted Delivery
 Certified Mail®
 Certified Mail Restricted Delivery
 Collect on Delivery
 Collect on Delivery Restricted Delivery

Insured Mail
 Insured Mail Restricted Delivery (over \$500)

4. Is delivery address different from item 1? Yes No

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OFFICIAL USE

Certified Mail Fee
 \$ _____

Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$ _____
 Return Receipt (electronic) \$ _____
 Certified Mail Restricted Delivery \$ _____

Postmark Here
 MAY 19 2023

Christopher Marron
 39 Barbarie Avenue
 Highlands, NJ 07732

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X 
 B. Received by (Printed Name)

1. Article Number
 Frank Bernard McLaughlin
 45 Seadrift Avenue
 Highlands, NJ 07732



9590 9402 8135 2349 3092 32

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery

2. Article Number (Transfer from service label)
 7022 2410 0002 0720 8177 Restricted Delivery (over \$500)

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Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark Here

Frank Bernard McLaughlin
 45 Seadrift Avenue
 Highlands, NJ 07732

Postage \$

Total \$

Sent \$

Street

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

Domestic Return Receipt

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OFFICIAL USE

Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark Here

Kevin R. Daly
 43 Seadrift Avenue
 Highlands, NJ 07732

Postage \$

Total \$

Sent \$

Street

City, State, ZIP+4®

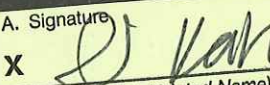
PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

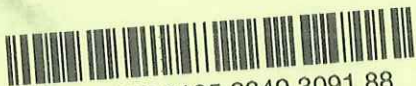
SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X 
 B. Received by (Printed Name)

1. Article Number
 William and Suzanne Kahaly
 117 Regency Court
 Morganville, NJ 07751



9590 9402 8135 2349 3091 88

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery

2. Article Number
 7022 2410 0002 0720 8214 Restricted Delivery (over \$500)

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OFFICIAL USE

Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark Here

William and Suzanne Kahaly
 117 Regency Court
 Morganville, NJ 07751

Postage \$

Total \$

Sent \$

Street

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

Domestic Return Receipt

U.S. Postal Service™
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OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark
Here

Postage

\$

Total P

\$

Sent To

Street

City, State, ZIP+4®

Lorriane Caruso
 5 Elizabeth Way
 Boonton Twp, NJ 07005

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7022 2410 0002 0720 8207

SENDER: COMPLETE THIS SECTION

COMPLETE THIS SECTION ON DELIVERY

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

A. Signature

B. Received by (Printed Name)

1. Article Addressed to:

Joseph & Lois Carnevale
 200 Page Avenue
 Lyndhurst, NJ 07071



9590 9402 8135 2349 3092 18

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery

Restricted Delivery (over \$500)

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OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark
Here

Postage

\$

Total Postage

\$

Sent To

Street and Apt.

City, State, ZIP

Joseph & Lois Carnevale
 200 Page Avenue
 Lyndhurst, NJ 07071

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7022 2410 0002 0720 8191

PS Form 3811, July 2020 PSN 7530-02-000-9053

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

COMPLETE THIS SECTION ON DELIVERY

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

A. Signature

B. Received by (Printed Name)

Agent

Addressee

C. Date of Delivery

1. Article Addressed to:

Genevieve Diamante
 169 Commanche Dr
 Oceanport, NJ 07757

from item 1? Yes
 Iss below: No

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$

Postmark
Here

Genevieve Diamante
 169 Commanche Dr
 Oceanport, NJ 07757



9590 9402 8135 2349 3091 71

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

Restricted Delivery (over \$500)

PS Form 3811, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

PS Form 3811, July 2020 PSN 7530-02-000-9053

Domestic Return Receipt

7022 2410 0002 0720 8245

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature
X Todd Vaccaro

B. Received by (Printed Name)

1. Article Addressed to:
 Todd Vaccaro Jr.
 27 Seadrift Avenue
 Highlands, NJ 07732



9590 9402 8135 2349 3090 96

2. Article Number (Transfer from service label)
 7022 2410 0002 0720 8238

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail Restricted Delivery (over \$500)

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Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark Here

Todd Vaccaro Jr.
 27 Seadrift Avenue
 Highlands, NJ 07732

Postage \$

Total Postage \$

Sent To

Street and Ap

City, State, Zi

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature
X [Signature]

B. Received by (Printed Name)

D. Is delivery address different from return address?

1. Article Addressed to:
 46 Sea Drift LLC
 79 Windsor Place
 Glen Ridge, NJ 07028



9590 9402 8135 2349 3092 49

2. Article Number (Transfer from service label)
 7022 2410 0002 0720 8221

3. Service type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail Restricted Delivery (over \$500)

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Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark Here

46 Sea Drift LLC
 79 Windsor Place
 Glen Ridge, NJ 07028

Postage \$

Total Postage \$

Sent To

Street and Ap

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

PS Form 3811, July 2020 PSN 7530-02-000-9053

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Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark Here

Karen Jarmusz
 44 Seadrift Avenue
 Highlands, NJ 07732

Postage \$

Total Postage \$

Sent To

Street and Ap

City, State

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, on the front if space permits.

Fred Hohn
42 Seadrift Avenue
Highlands, NJ 07732



9590 9402 8135 2349 3091 57

2. Article Number (Transfer from service label)
7022 2410 0002 0720 8269

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON

A. Signature
X *[Signature]*
B. Received by (Printed Name)

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Insured Mail Restricted Delivery (over \$500)



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OFFICIAL USE

Certified Mail Fee \$
Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postmark Here
MAY 19 2023

Postage \$
Total Postage \$
Sent To
Street and
City, State,

Fred Hohn
42 Seadrift Avenue
Highlands, NJ 07732

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, on the front if space permits.

1. Article Addressed to:

Arthur & Christine Carmano Jr.
50 Seadrift Avenue
Highlands, NJ 07732



9590 9402 8135 2349 3091 64

2. Article Number
7022 2410 0002 0720 8252

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON

A. Signature
X *[Signature]*
B. Received by (Printed Name)
D. Is delivery address

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Insured Mail Restricted Delivery (over \$500)

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OFFICIAL USE

Certified Mail Fee \$
Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postmark Here
MAY 19 2023

Postage \$
Total Postage \$
Sent To
Street and
City, State, ZIP+4

Arthur & Christine Carmano Jr.
50 Seadrift Avenue
Highlands, NJ 07732

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Domestic Return Receipt

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OFFICIAL USE

Certified Mail Fee \$
Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postmark Here
MAY 19 2023

Postage \$
Total Postage \$
Sent To
Street and
City, State, ZIP+4

Debra Ann Hicks
PO Box 679
Navesink, NJ 07752

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Anna Piotrowska
55 Barberie Avenue
Highlands, NJ 07732

COMPLETE THIS SECTION ON DELIVERY

A. Signature *[Signature]*

B. Received by (Printed Name) _____

D. Is delivery address different from service label? Yes No

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery



9590 9402 8135 2349 3091 19

2. A 7022 2410 0002 0720 8290

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OFFICIAL USE

Certified Mail Fee \$ _____

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$ _____
- Return Receipt (electronic) \$ _____
- Certified Mail Restricted Delivery \$ _____
- Adult Signature Required \$ _____
- Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total \$ _____

Sent \$ _____

Street _____

City, State, ZIP+4™ _____

Postmark Here

Anna Piotrowska
55 Barberie Avenue
Highlands, NJ 07732

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1.

Kelli & Bonnie Burton
54 Seadrift Avenue
Highlands, NJ 07732

COMPLETE THIS SECTION ON DELIVERY

A. Signature *[Signature]* Agent Addressee

B. Received by (Printed Name) _____ C. Date of Delivery _____

Is delivery address different from item 1? Yes No

Address below: Yes No

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery



9590 9402 8135 2349 3091 26

7022 2410 0002 0720 8283

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OFFICIAL USE

Certified Mail Fee \$ _____

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$ _____
- Return Receipt (electronic) \$ _____
- Certified Mail Restricted Delivery \$ _____
- Adult Signature Required \$ _____
- Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total \$ _____

Sent \$ _____

Street _____

City, State, ZIP+4™ _____

Postmark Here

Bonnie Burton
Seadrift Avenue
Highlands, NJ 07732

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article

Kathleen Kamatani
47 Barberie Avenue
Highlands, NJ 07732

COMPLETE THIS SECTION ON DELIVERY

A. Signature *[Signature]* Agent Addressee

B. Received by (Printed Name) _____ C. Date of Delivery _____

Is delivery address different from item 1? Yes No

Address below: Yes No

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery



9590 9402 8135 2349 3090 58

2. Article (Transfer from service label) 7022 2410 0003 3009 7358

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OFFICIAL USE

Certified Mail Fee \$ _____

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$ _____
- Return Receipt (electronic) \$ _____
- Certified Mail Restricted Delivery \$ _____
- Adult Signature Required \$ _____
- Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total \$ _____

Sent \$ _____

Street _____

City, State, ZIP+4™ _____

Postmark Here

Kathleen Kamatani
47 Barberie Avenue
Highlands, NJ 07732

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X *[Signature]*
 B. Received by (Printed Name)

1. Article Addressed to:

Deborah Milot
 27 Barberie Avenue
 Highlands, NJ 07732



9590 9402 8135 2349 3090 65

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery

2. Article Number (Transfer from service label)
 7022 2410 0003 3009 7341

PS Form 3811, July 2020 PSN 7530-02-000-9053

7341 3009 0003 2410 7022

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OFFICIAL USE

Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postmark Here

MAY 19 2023
 Deborah Milot
 27 Barberie Avenue
 Highlands, NJ 07732

Postage \$
 Total \$
 Sent To \$
 Street \$
 City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X *[Signature]*
 B. Received by (Printed Name)

1. Article Addressed to:

Charles & Darren & Jordon Bass
 45 Washington Avenue
 Highlands, NJ 07732



9590 9402 8135 2349 3090 72

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Priority Mail
 - Registered Mail
 - Registered Mail Restricted Delivery
 - Signature Required
 - Signature Restricted Delivery

2. Article Number (Transfer from service label)
 7022 2410 0003 3009 7334 Restricted Delivery

PS Form 3811, July 2020 PSN 7530-02-000-9053

7334 3009 0003 2410 7022

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OFFICIAL USE

Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postmark Here

MAY 19 2023
 Haley Bomboy & William Wogurk
 44 Barberie Avenue
 Highlands, NJ 07732

Postage \$
 Total \$
 Sent To \$
 Street \$
 City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X *[Signature]*
 B. Received by (Printed Name)

1. Article Addressed to:

Haley Bomboy & William Wogurk
 44 Barberie Avenue
 Highlands, NJ 07732



9590 9402 8135 2349 3090 10

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Priority Mail
 - Registered Mail
 - Registered Mail Restricted Delivery
 - Signature Required
 - Signature Restricted Delivery

2. Article Number (Transfer from service label)
 7022 2410 0003 3009 7389 Restricted Delivery

PS Form 3811, July 2020 PSN 7530-02-000-9053

7389 3009 0003 2410 7022



SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X *[Signature]*
 B. Received by (Printed Name)

1. Article Addressed to:

Shannon Enterprises LLC
 300 Bay Avenue
 Highlands, NJ 07723



9590 9402 8135 2349 3090 89

2. Article Number (Transfer from service label)

7022 2410 0003 3009 7372

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail

PS Form 3811, July 2020 PSN 7530-02-000-9053

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OFFICIAL USE

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

MAY 19 2023
 Postmark Here

Shannon Enterprises LLC
 300 Bay Avenue
 Highlands, NJ 07723

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X *[Signature]*
 B. Received by (Printed Name)

1. Article Addressed to:

Brian Gailbreath
 126 Marina Bay Court
 Highlands, nj 07732



9590 9402 8135 2349 3090 41

2. Article Number (Transfer from service label)

7022 2410 0003 3009 7365

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery

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Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

MAY 19 2023
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Brian Gailbreath
 126 Marina Bay Court
 Highlands, nj 07732

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

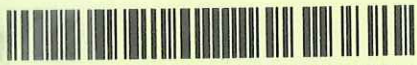
- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X *[Signature]*
 B. Received by (Printed Name)

1. Article Addressed to:

Joanne M. DiPisa
 124 Marina Bay Court
 Highlands, NJ 07732



9590 9402 8053 2349 7123 67

2. Article

7022 2410 0003 3009 7419

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery

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Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

MAY 19 2023
 Postmark Here

Postage \$
 Total \$
 Sent \$
 Street \$
 City, State, ZIP+4®

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Domestic Return Receipt

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Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$



Francis & Jayne McEnerney
 122 Marina Bay Court
 Highlands, NJ 07732

7022 2410 0003 3009 7402

Postage \$
 Total P \$
 Sent To \$
 Street \$
 City, Sta

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Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$



Kate O'Hara
 120 Marina Bay Court
 Highlands, NJ 07732

7022 2410 0003 3009 7396

Postage \$
 Total \$
 Sent \$
 Street \$
 City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION

A. Signature
 X
 B. Received by (Printed Name)

1. Address
 Kate O'Hara
 120 Marina Bay Court
 Highlands, NJ 07732



3. Service Type
 Adult Signature
 Adult Signature Restricted Delivery
 Certified Mail®
 Certified Mail Restricted Delivery
 Collect on Delivery
 Collect on Delivery Restricted Delivery

2. Article Number: 7022 2410 0003 3009 7396 Restricted Delivery

Domestic Return Receipt

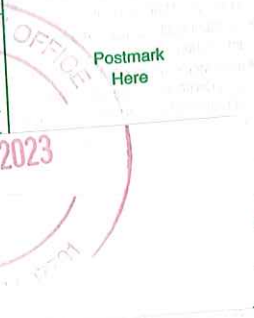
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OFFICIAL USE

Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$



Laurie E. McLeod
 118 Marina Bay Court
 Highlands, NJ 07732

7022 2410 0003 3009 7440


Postage \$
 Total \$
 Sent \$
 Street \$
 City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X 
 B. Received by (Printed Name)

Robert & Cathy Ahlborn
 116 Marina Bay Court
 Highlands, NJ 07732

1. Article



9590 9402 8053 2349 7123 98

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail

2. Article

7022 2410 0003 3009 7433

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postmark Here

Robert & Cathy Ahlborn
 116 Marina Bay Court
 Highlands, NJ 07732

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postmark Here

Timothy P. Lyons
 114 Marina Bay Court
 Highlands, NJ 07732




PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X 
 B. Received by (Printed Name)

Timothy P. Lyons
 114 Marina Bay Court
 Highlands, NJ 07732

1. Article



9590 9402 8053 2349 7124 04

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail

2. Article Number (Transfer from service label)

7022 2410 0003 3009 7426

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postmark Here

Kimberly Swetland
 112 Marina Bay Court
 Highlands, NJ 07732



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SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

David & Jeanne Grossman
110 Marina Bay Court
Highlands, NJ 07732



9590 9402 8135 2349 3089 52

2. Article Number

7022 2410 0003 3009 7464

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X *[Signature]*

B. Received by (Printed Name)

Daniel Grossman

D. Is delivery address different from item below:

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery (over \$500)

- Priority Mail
- Registered Mail
- Signature Required
- Signature Restricted Delivery

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Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark Here

David & Jeanne Grossman
110 Marina Bay Court
Highlands, NJ 07732

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Adelita Bonet
108 Marina Bay Court
Highlands, NJ 07732



9590 9402 8053 2349 7123 74

2. Article Number

7022 2410 0003 3009 7457

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X *[Signature]*

B. Received by (Printed Name)

D. Is delivery address different from item below: If YES, enter delivery address below:

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery

- Priority Mail
- Registered Mail
- Signature Required
- Signature Restricted Delivery

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Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark Here

Adelita Bonet
108 Marina Bay Court
Highlands, NJ 07732

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Michael Giammarino
106 Marina Bay Court
Highlands, NJ 07732



9590 9402 8135 2349 3089 83

2. Article Number

7022 2410 0003 3009 7501

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X *[Signature]*

B. Received by (Printed Name)

D. Is delivery address different from item below: If YES, enter delivery address below:

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail

- Priority Mail
- Registered Mail
- Signature Required
- Signature Restricted Delivery

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Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark Here

Michael Giammarino
106 Marina Bay Court
Highlands, NJ 07732

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

Domestic Return Receipt

7022 2410 0003 3009 7495

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
Postage	\$
Total P	\$
Sent To	
Street	
City, State, ZIP+4®	

Francis B. Reynolds
104 Marina Bay Court
Highlands, NJ 07732

Postmark Here
MAY 19 2023

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Scott Fegler & Amy Nightingale
102 Marina Bay Court
Highlands, NJ 07732

9590 9402 8135 2349 3089 76

7022 2410 0003 3009 7488

COMPLETE THIS SECTION ON DELIVERY

A. Signature
X

B. Received by (Printed Name)

D. Is delivery address different from item address?

3. Service type

<input type="checkbox"/> Adult Signature	<input type="checkbox"/> P
<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> R
<input type="checkbox"/> Certified Mail®	<input type="checkbox"/> D
<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> SI
<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> SR
<input type="checkbox"/> Collect on Delivery Restricted Delivery	<input type="checkbox"/> R
<input type="checkbox"/> Restricted Delivery	<input type="checkbox"/> R

PS Form 3811, July 2020 PSN 7530-02-000-9053 Domestic Return Receipt

7022 2410 0003 3009 7488

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
Postage	\$
Total P	\$
Sent To	
Street	
City, State, ZIP+4®	

Scott Fegler & Amy Nightingale
102 Marina Bay Court
Highlands, NJ 07732

Postmark Here
MAY 19 2023

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

PS Form 3811, July 2020 PSN 7530-02-000-9053 Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Paul Ritter
22 Barberie Avenue
Highlands, NJ 07732

9590 9402 8053 2349 7123 12

7022 2410 0003 5254 6261

COMPLETE THIS SECTION ON DELIVERY

A. Signature
X

B. Received by (Printed Name)

D. Is delivery address different from item address?

3. Service type

<input type="checkbox"/> Adult Signature	<input type="checkbox"/> P
<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> R
<input type="checkbox"/> Certified Mail®	<input type="checkbox"/> D
<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> SI
<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> SR
<input type="checkbox"/> Collect on Delivery Restricted Delivery	<input type="checkbox"/> R
<input type="checkbox"/> Restricted Delivery	<input type="checkbox"/> R

PS Form 3811, July 2020 PSN 7530-02-000-9053 Domestic Return Receipt

7022 2410 0003 5254 6261

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
Postage	\$
Total P	\$
Sent To	
Street and Apt. No., or P.O. Box	
City, State, ZIP+4®	

Paul Ritter
22 Barberie Avenue
Highlands, NJ 07732

Postmark Here
MAY 19 2023

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X
 B. Received by (Printed Name)
 D. Is delivery address different from item 1? Yes No
 If YES, enter delivery address below:

John & Geraldine Seylaz
 27 Washington Avenue
 Highlands, NJ 07732



9590 9402 8053 2349 7123 05

2. Article Number (Transfer from service label) 7022 2410 0003 5254 6254 Restricted Delivery

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Certified Mail Fee

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Ad	\$

Postmark Here

John & Geraldine Seylaz
 27 Washington Avenue
 Highlands, NJ 07732

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X
 B. Received by (Printed Name)
 D. Is delivery address different from item 1? Yes No
 If YES, enter delivery address below:

Isidore Sackowitz & Lauren Vincelli
 19 Seadrift Avenue
 Highlands, NJ 07732



9590 9402 8053 2349 7122 99

2. Article Number (Transfer from service label) 7022 2410 0003 3876 1794 Restricted Delivery

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Domestic Mail Only

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OFFICIAL USE

Certified Mail Fee

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult	\$

Postmark Here

Isidore Sackowitz & Lauren Vincelli
 19 Seadrift Avenue
 Highlands, NJ 07732

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X
 B. Received by (Printed Name)
 C. Date of Delivery

Barberie Coast LLC
 1301 Park Avenue
 Hoboken, NJ 07030



9590 9402 8053 2349 7123 43

2. Article Number (Transfer from service label) 7022 2410 0003 5254 6292 Restricted Delivery

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OFFICIAL USE

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult	\$

Postmark Here

Barberie Coast LLC
 1301 Park Avenue
 Hoboken, NJ 07030

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7022 2410 0003 5254 6285

U.S. Postal Service™
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For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee
\$

Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$

Postmark Here

Joseph Kelleher
20 Barberie Avenue
Highlands, NJ 07732

Post
\$
Total
\$
Sent
\$
Street

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION

A. Signature
X

B. Received by (Printed Name)

D. Is delivery address different

1. Article Addressed to:
William & Tomme Joy Rossetti
18 Seadrift Avenue
Highlands, NJ 07732



9590 9402 8053 2349 7123 29

2. Article Number (Transfer from service label)

7022 2410 0003 5254 6278

3. Service type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail

Delivery

Domestic Return Receipt

PS Form 3811, July 2020 PSN 7530-02-000-9053

7022 2410 0003 5254 6278

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OFFICIAL USE

Certified Mail Fee
\$

Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$

Postmark Here

William & Tomme Joy Rossetti
18 Seadrift Avenue
Highlands, NJ 07732

Post
\$
Total
\$
Sent
\$
Street

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7022 2410 0003 5254 6322

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee
\$

Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$

Postmark Here

David Jodzewicz & Anya Cuthereo
23 Washington Avenue
Highlands, NJ 07732

Post
\$
Total
\$
Sent
\$
Street

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

COMPLETE THIS SECTION ON DELIVERY

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

A. Signature
 X *[Signature]*
 B. Received by (Printed Name)

Philip Hollenbeak
 17 Seadrift Avenue
 Highlands, NJ 07732



9500 9402 8053 2349 7124 73

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail

2. Article Number: 7022 2410 0003 5254 6315

PS Form 3811, July 2020 PSN 7530-02-000-9053

Domestic Return Receipt

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee

- Extra Services & Fees (check box, add fee as appropriate)
- Return Receipt (hardcopy) \$
 - Return Receipt (electronic) \$
 - Certified Mail Restricted Delivery \$
 - Adult Signature Required \$
 - Adult Signature Restricted Delivery \$

Postage

Philip Hollenbeak
 17 Seadrift Avenue
 Highlands, NJ 07732

Postmark Here

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

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OFFICIAL USE

Certified Mail Fee

- Extra Services & Fees (check box, add fee as appropriate)
- Return Receipt (hardcopy) \$
 - Return Receipt (electronic) \$
 - Certified Mail Restricted Delivery \$
 - Adult Signature Required \$
 - Ad \$

Postage

Steven Hager
 17 Barberie Avenue
 Highlands, NJ 07732

Postmark Here

Total Fee

Sent To

Street

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions