



Borough of Highlands
 42 Shore Drive
 Highlands, NJ 07732
 (732) 872-1224
 www.highlandsborough.org

LAND USE BOARD APPLICATION

FOR OFFICIAL USE	Date Rec'd: <u>02/23/2022</u> Application #: _____	Fee: <u>\$ 1,750</u>	Escrow: <u>\$ 3,500</u>
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1. APPLICANT

Name: Arjika Properties
 Address: 8 Strawberry Lane
 City: Monroe State: N.J. Zip: 08839
 Phone: 732-558-1928
 Email: info@hilliardconstruction.com
 Relation to property: owner

2. OWNER

Name: Same
 Address: _____
 City: _____ State: _____ Zip: _____
 Phone: _____
 Email: _____

3. TYPE OF APPLICATION (Check all that apply)

- | | |
|---|---|
| <input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Major Subdivision – Preliminary
<input type="checkbox"/> Major Subdivision – Final
<input checked="" type="checkbox"/> Minor Site Plan
<input type="checkbox"/> Major Site Plan – Preliminary
<input checked="" type="checkbox"/> Major Site Plan – Final
<input type="checkbox"/> Variance
<input checked="" type="checkbox"/> Use Variance | <input type="checkbox"/> Appeal – Zoning Denial date _____
<input type="checkbox"/> Appeal – Land Use Decision date _____
<input type="checkbox"/> Informal Concept Plan Review
<input type="checkbox"/> Extension of Approval
<input checked="" type="checkbox"/> Revision/Resubmission of Prior Application
<input type="checkbox"/> Other _____ |
|---|---|

4. PROPERTY INFORMATION

Block 81 Lot(s) 12 Address: 289 Bay ave
 Lot size 5,000 SF # of Existing Lots _____ # of Proposed Lots _____
 Zone CBD Are there existing Deed Restrictions or Easements? No Yes – Please attach copies
 Has the property been subdivided? No Yes If yes, when? _____
 Attach copies of approved map or approved resolution
 Property taxes paid through 2/21/2022 Sewer paid through _____

5. ATTORNEY (A corporation, LLC, Limited Partnership, or S-Corp **must** be represented by a NJ attorney)

Name: Brad Batcha from Batcha & Batcha
 Address: 600 Broad street shrewsbury NJ 07702
 Phone: 732-747-8180 Email: brad@batchalaw.com



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6. APPLICANT'S OTHER PROFESSIONAL(S) – Engineer, Planner, Architect, etc.

Name: Marc Leiber Engineer
 Address: 11 south Main street
Marlboro, NJ.07746
 Phone: 732-577-0180
 Email: mleber@eastpointeng.com

Name: Patrick Ward Planner
 Address: 1955 NJ-34 #1a
 Phone: 732-531-7100
 Email: patrick@insiteeng.net

7. LAND USE

A. PROPERTY HISTORY –Describe in detail, nature of prior use(s) on the site, start date of such use, any prior Land Use Board applications for this site (attach copy of resolution, if applicable), history of current ownership, etc.

There was a single family home, Arjicka went for a subdivision for two single family homes and was denied

B. PROPOSED PLAN –Describe in detail, proposed use for property, including, but not limited to: 1) portion to be subdivided; 2) sell lot only; 3) construct house(s) for sale; 4) how trash will be disposed; 5) landscaping; 6) hours of operation; 7) type of goods/services; 8) fire lane. Attach additional sheets if necessary.

Arjicka is proposing 4 single bedroom apartment on top of one commercial on main level. Parking will be in the rear of building. Garbage cans will be in the rear of building as well for four units and commercial portion.

C. ADDITIONAL INFORMATION:

		Existing	Proposed
Residential:	How many dwelling units?	<u>0</u>	<u>4</u>
	How many bedrooms in each unit?	<u>0</u>	<u>1</u>
	How many on-site parking spaces?	<u>0</u>	<u>5</u>
Commercial:	How many commercial uses on site?	<u>0</u>	<u>1</u>
	How many on-site parking spaces?	<u>0</u>	<u></u>



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8. VARIANCE REQUESTS Complete section(s) related to the relief being requested.

	Req'd	Exist.	Prop'd
Minimum Lot Requirements			
Lot Area	no	-	5,000sq
Frontage	0		50ft
Lot Depth	-		100ft
Minimum Yard Requirements			
Front Yard Setback	0		0
2 nd Front Yard Setback			
Rear Yard Setback	12ft		36ft
Side Yard Setback, right	5ft		10ft
Side Yard Setback, left	5ft		10ft
Building Height	36ft		36ft

	Req'd	Exist.	Prop'd
Accessory Structures			
Fence/Wall Height			
Garage/Shed Height			
Garage/Shed Area			
Pool Setback			
Parking Requirements			
On-site Parking Spaces			5
Other (please add)			

9. OTHER RELIEF REQUESTED Please specify relief(s) and explain below.



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10. NOTARIZED SIGNATURE OF APPLICANT

I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual Applicant, or that I am an Officer of the Applicant authorized to sign the application for the business organization. Additionally, I certify that the survey or plans submitted with this application shows and discloses the premises in its entirety, and I further certify that no buildings, fences, or other facilities have been constructed, installed, or otherwise located on the premises after the date of the survey with the exception of the structures shown.

SWORN & SUBSCRIBED to before me this
 22 day of February 2022 (year)
 _____ (notary)

[Signature] _____
 Signature Date
 2/22/22

KEVIN ROONEY
 Notary Public, State of New Jersey
 Commission # 50170501
 My Commission Expires Sept. 1, 2026

_____ Print Full Name

11. NOTARIZED CONSENT OF OWNER

I certify that I am the Owner of the property which is the subject of this application, hereby consent to the making of this application and approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency (if owned by a corporation, a resolution must be attached authorizing the application and officer signature).

SWORN & SUBSCRIBED to before me this
 22 day of 2 2022 (year)
 _____ (notary)
 (Seal)

_____ Signature Date

Paul Arora

_____ Print Full Name

12A. DISCLOSURE STATEMENT Circle all that apply.

Pursuant to N.J.S.A. 40:55D-48.1 & 48.2, please answer the following questions:

- | | | |
|--|-----|----|
| Is this application to subdivide a parcel of land into six (6) or more lots? | Yes | No |
| Is this application to construct a multiple dwelling of 25 or more units? | Yes | No |
| Is this an application for approval of a site(s) for non-residential purposes? | Yes | No |
| Is this Applicant a corporation? | Yes | No |
| Is the Applicant a limited liability corporation? | Yes | No |
| Is the Applicant a partnership? | Yes | No |

If you circled **YES** to any of the above, please complete the following Ownership Discloser Statement (use additional sheets if necessary).



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12B. BUSINESS ORGANIZATION OWNERSHIP DISCLOSURE STATEMENT

Name of Corporation, Partnership, LLC, LLP, S-Corp:

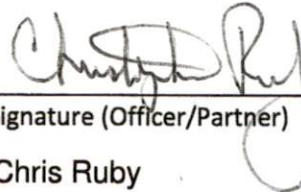
Listed below are the names and addresses of all owners of 10% or more of the stock/interest* in the above referenced business organization:

NAME	ADDRESS
Paul Arora	8 strawbery Lane Monroe 08839

*If a corporation or a partnership owns 10% or more of the stock of a corporation, or 10% or great interest in a partnership, that corporation or partnership shall list the names and address of its stockholders holding 10% or more of its stock or 10% or greater interest in the partnership, and this requirement shall be followed until the names and addresses of the non-corporate stockholders and individual partners, exceeding the 10% owner ship criterion established have been listed.

SWORN & SUBSCRIBED to before me this
 22 day of 2 2022 (year)
 Kevin Rooney (notary)
 (Seal)

KEVIN ROONEY
 Notary Public, State of New Jersey
 Commission # 50170501
 My Commission Expires Sept. 1, 2026


 Signature (Officer/Partner) Date 2/22/22
 Chris Ruby Partner
 Print Full Name Title

arjika properties inc
8 strawberry lane
monroe, NJ 08831
7324251475

7669
1-2/210

2/22 2022

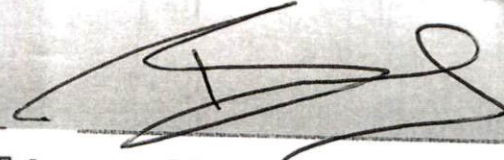
PAY TO THE
ORDER OF

Borough of Highlands \$ 3,500.⁰⁰
Three Thousand Five Hundred & ⁰⁰/₁₀₀ DOLLARS

chase bank
JP MORGAN CHASE BANK,NA

FOR

Escrow 289 Bay



⑆021000021⑆890808038⑆

7669

Majestic America

arjika properties inc
8 strawberry lane
monroe, NJ 08831
7324251475

7670
1-2/210

2/22 2022

PAY TO THE
ORDER OF

Borough of Highlands \$ 1,750.⁰⁰
One Thousand Seven Hundred Fifty & ⁰⁰/₁₀₀ DOLLARS

chase bank
JP MORGAN CHASE BANK,NA

FOR

Bay 289



⑆021000021⑆890808038⑆

7670

Majestic America

RECEIVED

FEB 22 2022

LAND USE BOARD

PRELIMINARY & FINAL MAJOR SITE PLAN

289 BAY AVENUE

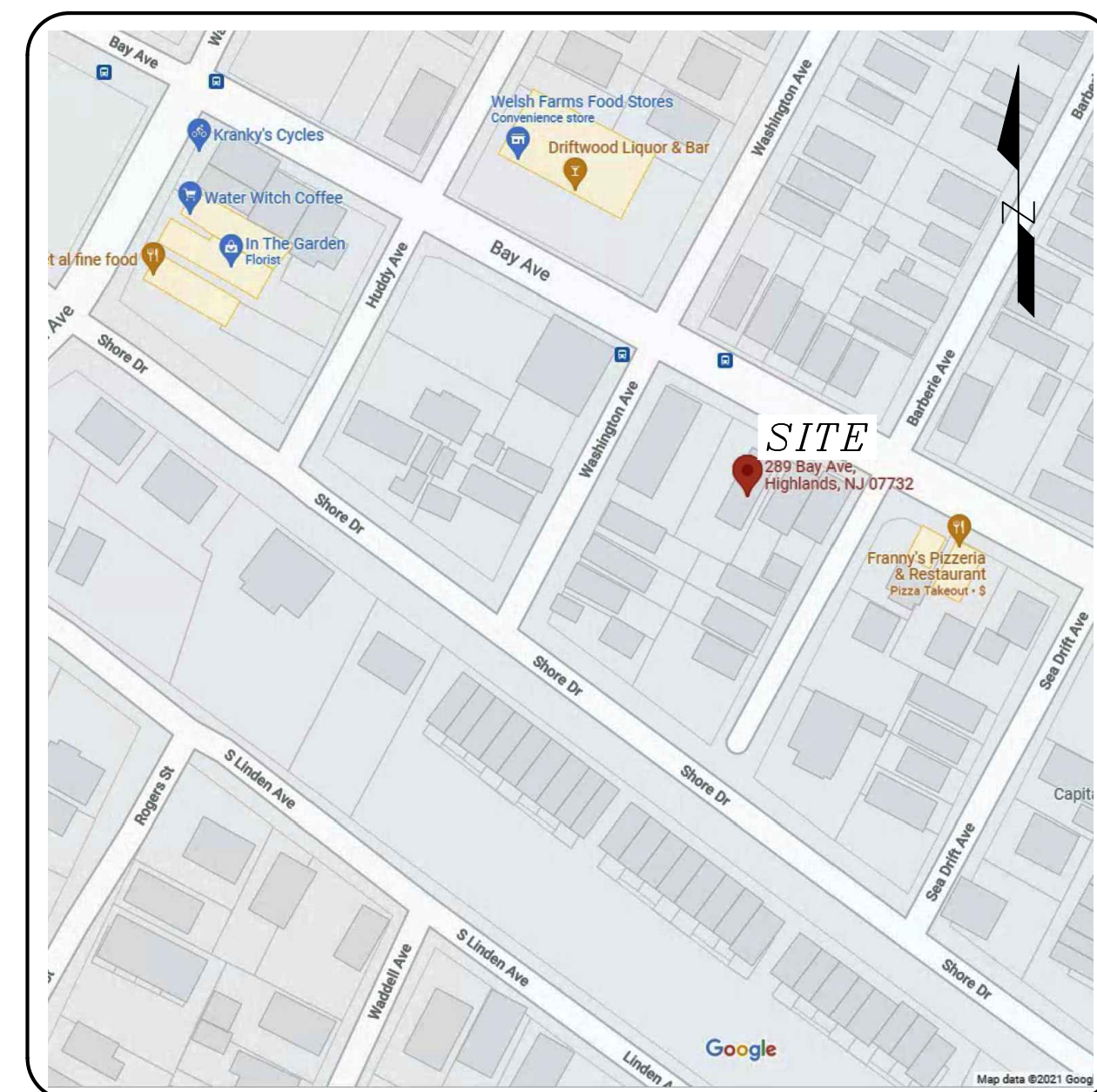
BLOCK 81, LOT 12

BOROUGH OF HIGHLANDS

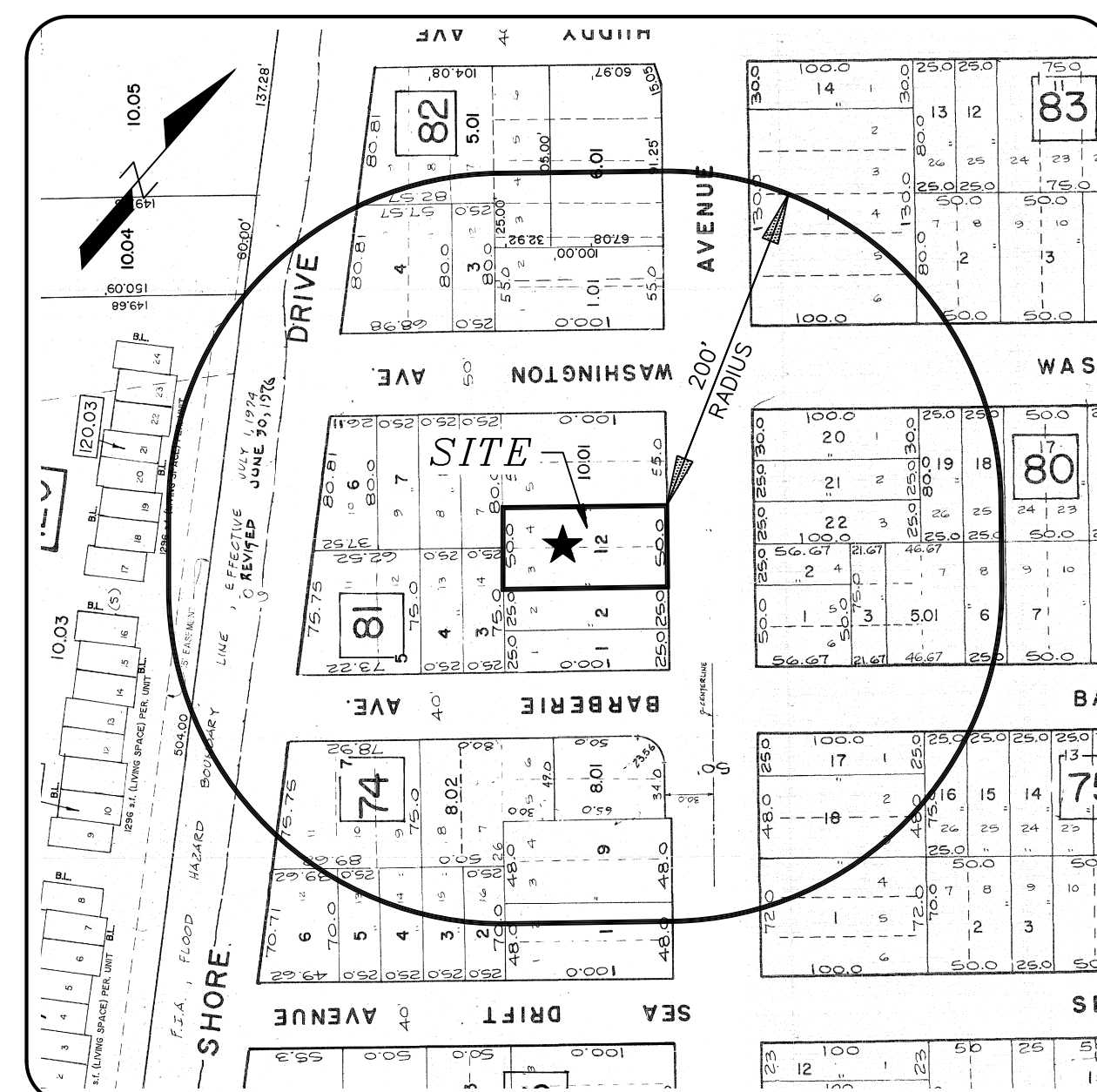
MONMOUTH COUNTY, NEW JERSEY

GENERAL NOTES

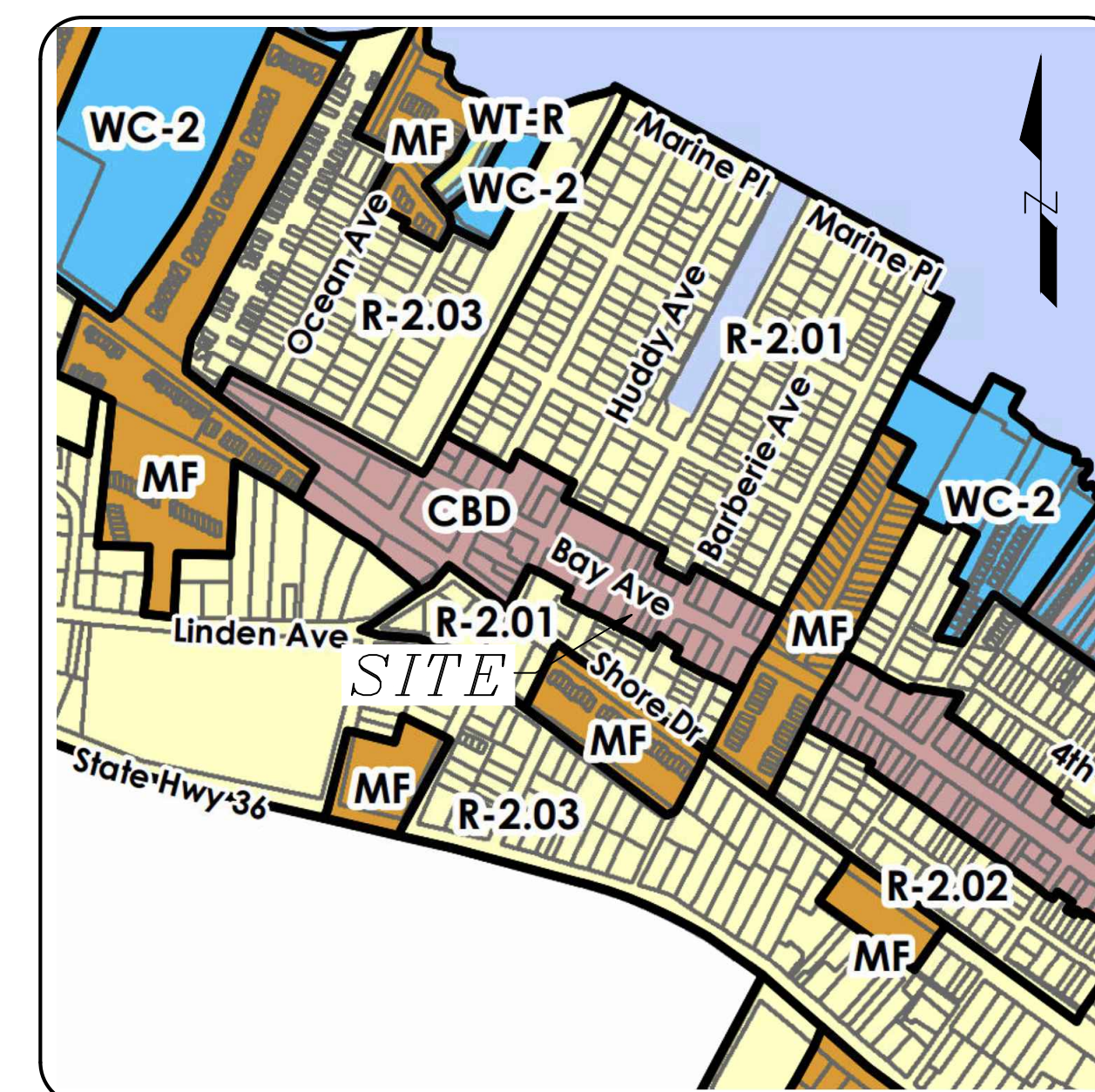
- SITE IS KNOWN AS BLOCK 81, LOT 12 AS DEPICTED ON SHEET 15 OF THE BOROUGH OF HIGHLANDS TAX MAPS. TOTAL LOT AREA IS 5,000 S.F. (0.115 AC).
- OWNER/APPLICANT:**
ARJKA PROPERTY, INC.
8 STRAWBERRY LANE
MONROE TOWNSHIP, NJ 08831
TEL: (732) 425-1475
E-MAIL: ARJKAPROPERTYINC@GMAIL.COM
- OUTBOUND & TOPOGRAPHIC SURVEY INFORMATION OBTAINED FROM A PLAN ENTITLED, "TOPOGRAPHICAL SURVEY FOR ARJKA PROPERTIES, INC., BLOCK 81, LOT 12, BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY RICHARD STOCKTON, PLS, DATED AUGUST 9, 2021.
- HORIZONTAL CONTROL BASED ON DEED NORTH. VERTICAL DATUM BASED ON NAVD 1988.
- THE SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE "AE" (AREAS INUNDATED WITH 1% ANNUAL CHANCE FLOODING, FOR WHICH BASE FLOOD ELEVATIONS HAVE BEEN DETERMINED. BASE FLOOD ELEVATION MAPPED AS 11 FEET NAVD88) AS SHOWN ON COMMUNITY PANEL No. 3402SC00886, EFFECTIVE DATE JUNE 20, 2018.
- THERE ARE NO FRESHWATER WETLANDS LOCATED ON THE PROPERTY.
- THE PROPERTY IS LOCATED WITHIN THE CBD "CENTRAL BUSINESS DISTRICT" ZONE. THE PROPOSED USE "MIXED COMMERCIAL/RESIDENTIAL" IS NOT PERMITTED IN THE ZONE, THEREFORE, APPROVAL BY THE BOROUGH BOARD OF ADJUSTMENT IS REQUIRED.
- APPLICANT PROPOSES TO CONSTRUCT A 1,920 S.F. (FOOTPRINT) THREE-STORY MIXED USE BUILDING. THE FIRST FLOOR IS PROPOSED FOR COMMERCIAL SPACE AND THE UPPER FLOORS CONTAIN A TOTAL OF FOUR (4) ONE-BEDROOM APARTMENTS.
- DO NOT SCALE DRAWINGS WITH RESPECT TO THE LOCATION OF SURROUNDING EXISTING FEATURES. ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC., ARE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE APPLICANT NAMED HEREON FOR THE PURPOSE OF MUNICIPAL AND REGULATORY AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION PLANS UNTIL ALL REQUIRED APPROVALS HAVE BEEN OBTAINED. NO OTHER PURPOSE IS INTENDED OR IMPLIED.
- REFER TO ARCHITECTURAL PLANS PREPARED BY SALVATORE LA FERLITA, R.A. FOR DETAILED BUILDING INFORMATION.
- CONSTRUCTION OF SITE IMPROVEMENTS AND PATIO SHALL BE IN COMPLIANCE WITH THE APPLICABLE BUILDING CODES, FEDERAL AND STATE BARRIER FREE AND A.D.A. REQUIREMENTS, TOWNSHIP DESIGN STANDARDS, AND NOISE CODE.
- THE PROPOSED BUILDING IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF SITE CONDITIONS OR TOPOGRAPHY DIFFER MATERIALLY FROM THOSE PRESENTED HEREON. THE UNDERSIGNED PROFESSIONAL SHALL BE GRANTED ACCESS TO REVIEW SAID CONDITION, AND/OR RENDER THE DESIGN SHOWN HEREON TO THE APPROPRIATE MUNICIPAL, COUNTY OR STATE OFFICIAL'S AND/OR UNDERSIGNED PROFESSIONAL SATISFACTION.
- STRUCTURAL / GEOTECHNICAL ENGINEER TO PROVIDE PLANS AND CALCULATIONS FOR ALL STRUCTURES AND FOUNDATIONS AS SHOWN ON THIS PLAN. THIS PLAN DOES NOT INCLUDE BUILDING CALCULATIONS EITHER STRUCTURAL OR GEOTECHNICAL AND THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR SAME.
- THE OWNER IS RESPONSIBLE FOR SITE SAFETY. THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21(E) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32(F) (OSHA COMPETENT PERSON).
- THESE PLANS DEPICT VARIOUS IMPROVEMENTS TO BE LOCATED ON THE PROPERTY IN QUESTION. IT IS THE DEVELOPER'S RESPONSIBILITY TO ENSURE THAT SAID IMPROVEMENTS ARE STAKED OUT IN THE CORRECT LOCATIONS, BOTH HORIZONTALLY AND VERTICALLY, BY RETAINING A NEW JERSEY LICENSED LAND SURVEYOR. THE ENGINEER SHALL NOT BEAR ANY RESPONSIBILITY OR LIABILITY FOR THE CONSTRUCTION OF ANY PROPOSED IMPROVEMENTS, SPECIFICALLY IF BUILT IN LOCATIONS OTHER THAN THOSE DEPICTED, OR AT ELEVATIONS THAT DIFFER FROM THE PLAN.
- UPON ISSUANCE OF CONSTRUCTION DOCUMENTS, IT IS EXPLICITLY UNDERSTOOD THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE PROSECUTION OF THE WORK, THE MEANS AND METHODS OF CONSTRUCTION, PROTECTION OF ADJACENT STRUCTURES OR PROPERTY, AND IS NOT TO BE HELD RESPONSIBLE FOR ANY DAMAGE WHATSOEVER TO ANY PROPERTY, INCLUDING OFFSITE LANDS, ASSOCIATED WITH CONSTRUCTION OF THE PROJECT.
- EXISTING UTILITY INFORMATION IS BASED ON INFORMATION OF RECORD AND HAS BEEN GATHERED FROM NUMEROUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION AND REQUEST A MARKOUT BY CONTACTING N.J. ONE-CALL AT (800) 272-1000. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



KEY MAP
SCALE: 1" = 125' ±



TAX MAP SHEET Nos. 15 & 16
SCALE: 1" = 100' ±



ZONING MAP
SCALE: 1" = 450' ±

OFF-STREET PARKING REQUIREMENTS (CH. 21-65.14.D.)

USE	REQUIREMENT	PROPOSED	SPACES REQUIRED
RESIDENTIAL	1.8 SPACES PER ONE-BEDROOM APARTMENT	4 UNITS	7.2
COMMERCIAL	1 SPACE / 250 S.F.	1,450 S.F.	5.8
TOTAL REQUIRED			13 SPACES
TOTAL PROVIDED			5 SPACES *

* VARIANCE REQUESTED FOR 8 SPACE DEFICIENCY

DRAWING INDEX

SHEET NO.	DESCRIPTION	DATE	REVISION DATE
1	COVER SHEET	12-30-21	-
2	EXISTING CONDITIONS PLAN	12-30-21	-
3	SITE LAYOUT & GRADING PLAN	12-30-21	-
4	SOIL EROSION & SEDIMENT CONTROL PLAN	12-30-21	-
5	LIGHTING PLAN	12-30-21	-

CBD CENTRAL BUSINESS DISTRICT ZONE AREA, YARD & BUILDING REQUIREMENTS

	REQUIRED	PROPOSED	VARIANCE REQ.
LOT DIMENSIONS			
MIN. LOT AREA	-	5,000 S.F.	NO
MIN. LOT FRONTAGE/WIDTH	-	50 FT	NO
MIN. LOT DEPTH	-	100 FT	NO
PRINCIPAL BUILDING SETBACKS			
MIN. FRONT YARD	0 FT	0 FT	NO
MIN. SIDE YARD	5 FT	10 FT	NO
MIN. REAR YARD	12 FT	36 FT	NO
LOT COVERAGE			
MAX. BUILDING COVERAGE PRINCIPAL AND ACCESSORY	35%	34.8% (1,740 S.F.)	NO
MAX. LOT COVERAGE ALL IMPROVEMENTS	80%	100% (5,000 S.F.)	YES
BUILDING HEIGHT			
MAX. BLDG. HEIGHT	36 FT	36 FT	NO
MAX. FLOOR AREA RATIO	0.65	1.15 (5,760 S.F.)	YES
MIN. OUTDOOR LIVING SPACE	100 S.F./UNIT PLUS 50 S.F./BR (600 S.F.)	600 S.F.	NO

SIGNATURE BLOCKS

APPLICATION NO. _____ APPROVED
BY THE BOROUGH OF HIGHLANDS
BOARD OF ADJUSTMENT AS A MAJOR SITE PLAN
ON _____ DATE

BOARD CHAIRMAN _____

BOARD SECRETARY _____

BOROUGH ENGINEER _____

NO.	DATE	DESCRIPTION
PRELIMINARY & FINAL MAJOR SITE PLAN 289 BAY AVENUE COVER SHEET BLOCK 81, LOT 12 TAX MAP SHEET NO. 15 BOROUGH OF HIGHLANDS MONMOUTH COUNTY, NEW JERSEY		
EAST POINT ENGINEERING, LLC NEW JERSEY CERTIFICATE OF AUTHORIZATION NO. 246A28169800		11 South Main Street Marlboro, NJ 07746 Tel: 732.577.0180
 MARK S. LEBER N.J. PROFESSIONAL ENGINEER, LICENSE NO. 24604452400 N.J. PROFESSIONAL PLANNER, LICENSE NO. 33100599800		DATE: 12-30-21 SCALE: N/A PROJECT NUMBER: 21-1465 CHECKED BY: BNP SHEET NO. 1 OF 5

WASHINGTON 50' ROW AVE.

SHORE DRIVE

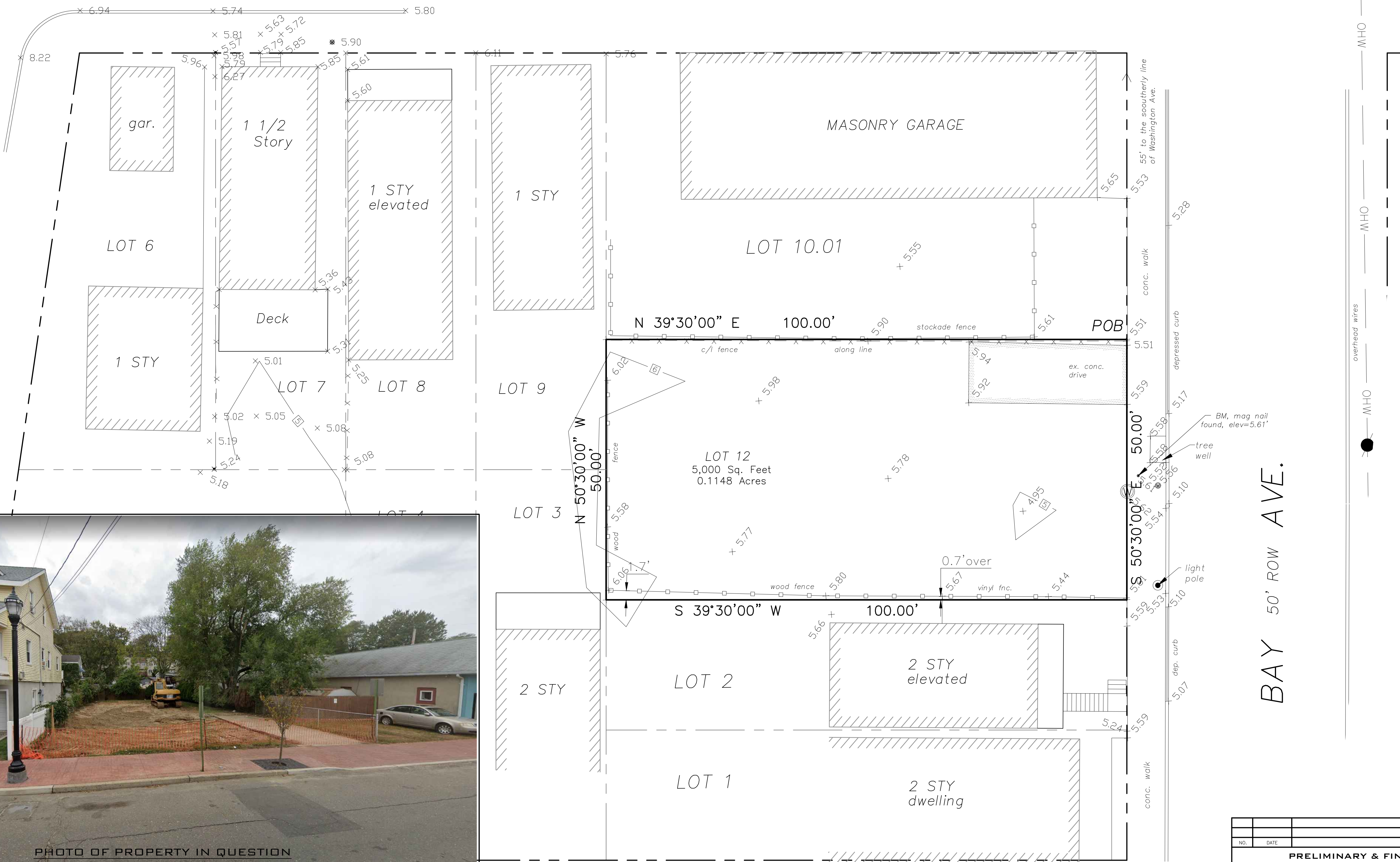
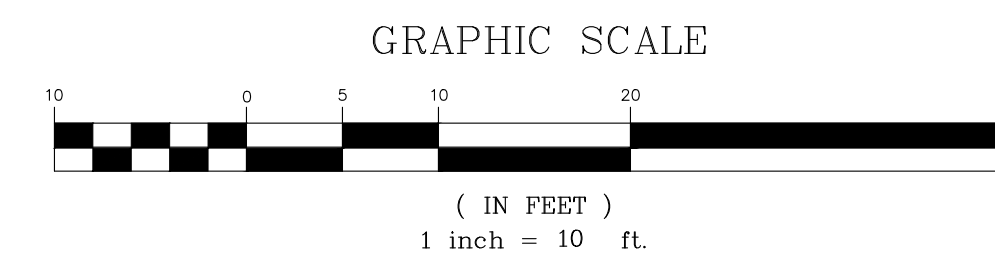


PHOTO OF PROPERTY IN QUESTION

LEGEND:
+ 5.41 = SPOT ELEVATION

BARBERIE 40' ROW AVE.

NOTE:
ELEVATIONS REFER TO NGVD-1988 DATUM. LOCAL BM, MAG NAIL FND, CONCRETE WALK, ELEV=5.61', AS SHOWN.



NO.	DATE	DESCRIPTION
		PRELIMINARY & FINAL MAJOR SITE PLAN 289 BAY AVENUE EXISTING CONDITIONS PLAN BLOCK 81, LOT 12 TAX MAP SHEET NO. 15 BOROUGH OF HIGHLANDS MONMOUTH COUNTY, NEW JERSEY
		EAST POINT ENGINEERING, LLC NEW JERSEY CERTIFICATE OF AUTHORIZATION NO. 246A28169800 11 South Main Street Marlboro, NJ 07746 Tel: 732.577.0180
		DATE: 12-30-21 SCALE: 1" = 10' PROJECT NUMBER: 21-465 CHECKED BY: BNP SHEET NO. 2 OF 5

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WASHINGTON 50' ROW AVE.

SHORE DRIVE

MHO

MHO

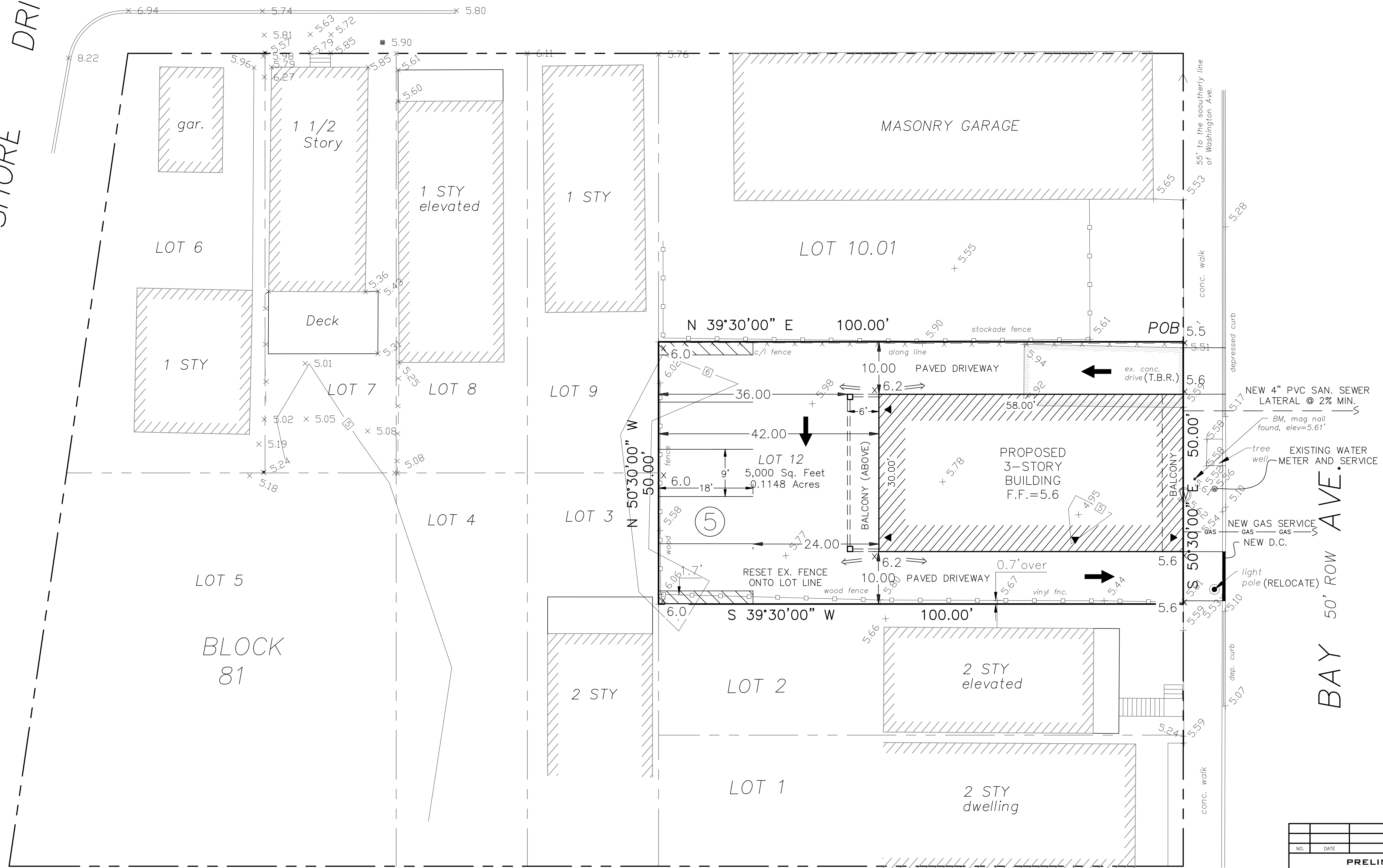
MHO

MHO

MHO

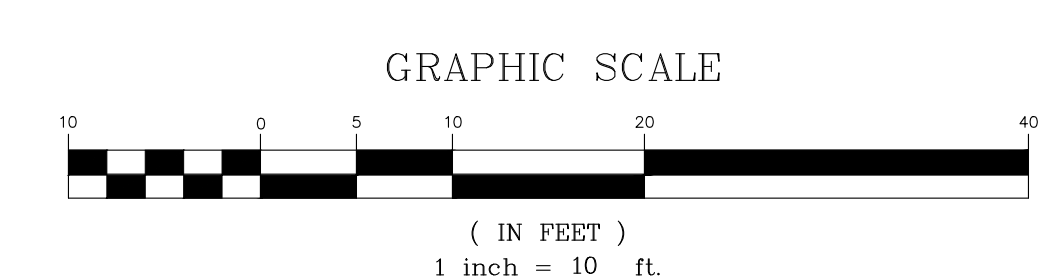
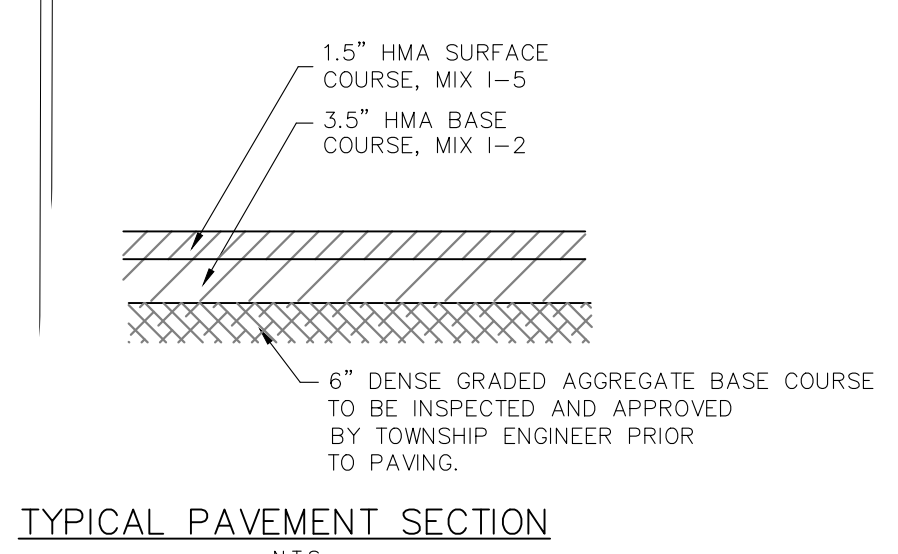
BAY 50' ROW AVE.

BARBERIE 40' ROW AVE.



LEGEND:
+ 5.41 = SPOT ELEVATION

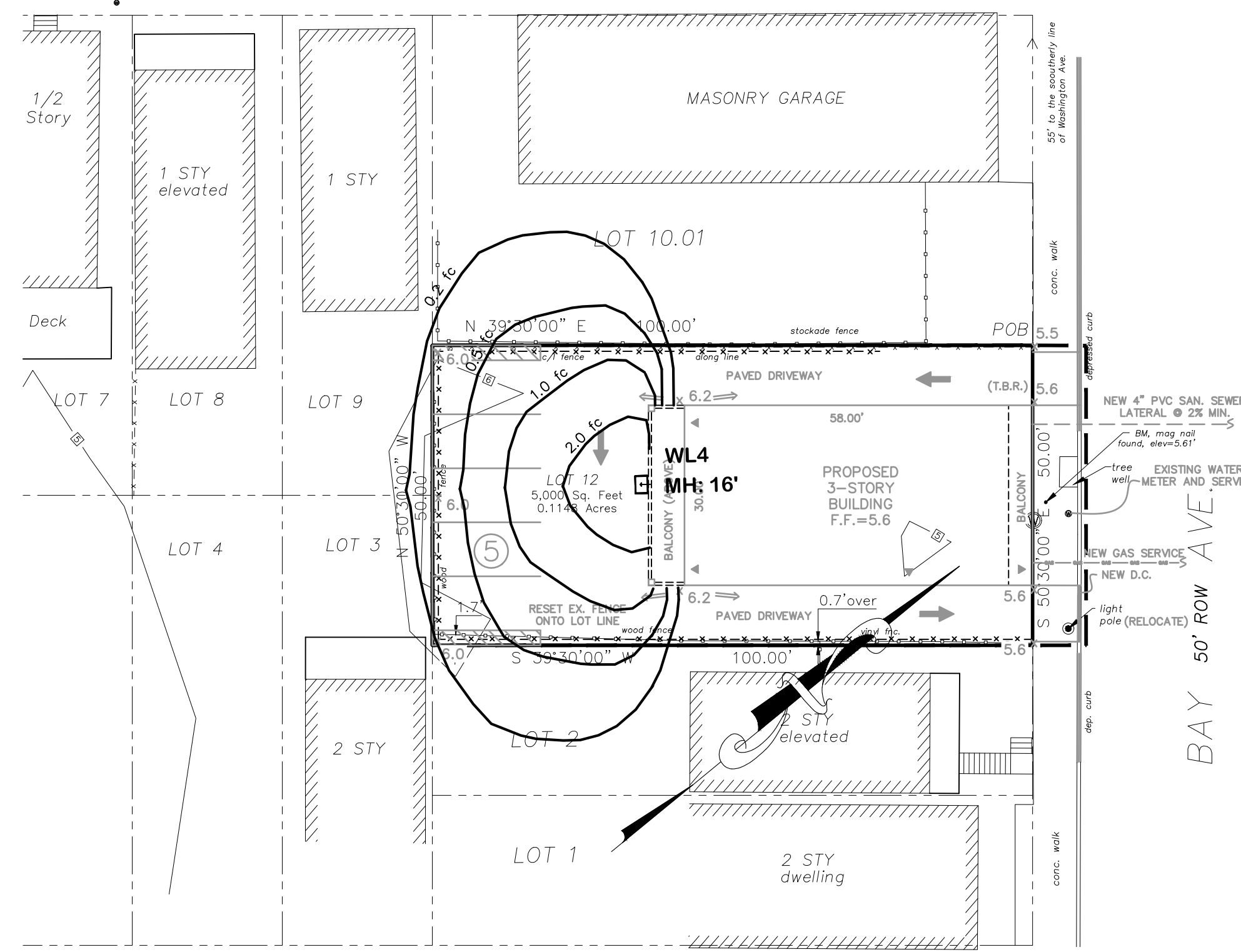
NOTE:
ELEVATIONS REFER TO NGVD-1988 DATUM. LOCAL BM, MAG NAIL FND, CONCRETE WALK, ELEV=5.61', AS SHOWN.



NO.	DATE	DESCRIPTION
PRELIMINARY & FINAL MAJOR SITE PLAN 289 BAY AVENUE SITE LAYOUT & GRADING PLAN BLOCK 81, LOT 12 TAX MAP SHEET NO. 15 BOROUGH OF HIGHLANDS MONMOUTH COUNTY, NEW JERSEY		
		11 South Main Street Marlboro, NJ 07746 Tel: 732.577.0180
DATE: 12-30-21 SCALE: 1" = 10' PROJECT NUMBER: 21-465		CHECKED BY: BNP SHEET NO. 3 OF 5

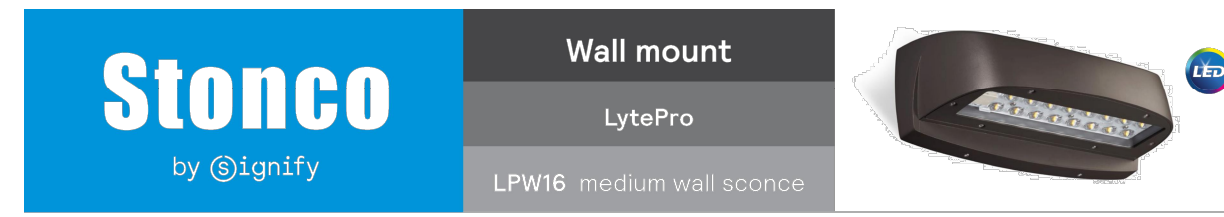
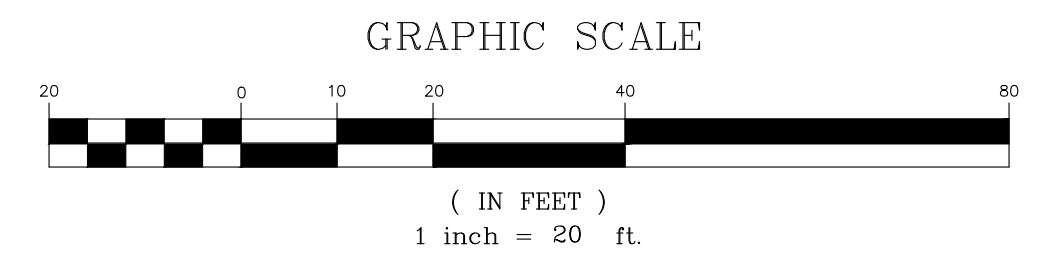
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WASHINGTON 50' ROW AVE.



NOTE:
ELEVATIONS REFER TO NGVD-1988 DATUM, LOCAL BM,
MAG NAIL FND, CONCRETE WALK, ELEV=5.61', AS SHOWN.

BARBERIE 40' ROW AVE.

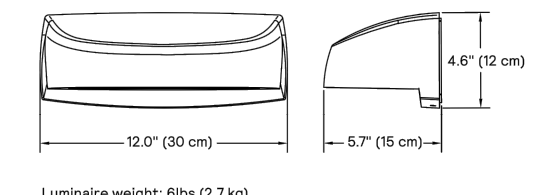


Stonco LytePro LED medium wall sconce LPW16 features outstanding value in a compact, architectural design. This powerful and precise combination offers outstanding energy savings with excellent photometric performance. LPW16 is ideal for entryways and corridors in addition to wall lighting applications requiring strong lateral spacing and forward pattern projection.

Product	WALL MOUNT
Location	
Color	
Type	WA
Temp	City
Notes	

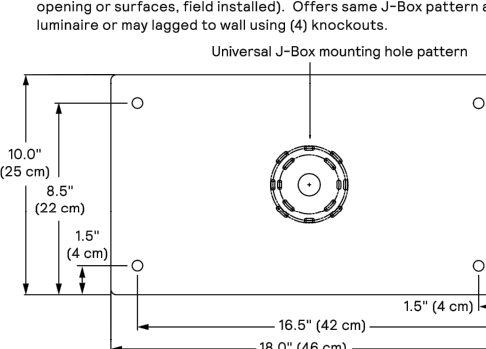
LPW16 LytePro
LED medium wall sconce

Dimensions



Accessory dimensions (ordered separately)

LPWCVRLT-BZ LPW Universal wall cover mounting plate, 0.08\"/>



LPW16 LytePro
LED medium wall sconce

General Description

LytePro LED medium wall sconce LPW16 combines excellent performance, design and value to meet the needs of the energy and budget conscious. The LPW16 is available for use in downward facing, surface wall mount applications, over recessed, joist or where power can be directly fed through back surface, integral connections. Options can be made inside the luminaire housing. Two SKUs are available as in-stock configurations only (2-day quick ship).

Housing

Die-cast housing houses both the LED and driver assemblies. Design incorporates an integrated heat sink to maximize thermal performance and reliability. Backplate is corrosion free, composite polycarbonate, with built-in level bubble, offers integral mounting hook and mount design for easy installation.

Mounting

Easy installing hook and mount housing/backplate design for easy installation. Mounts over 3/8\"/>

IP Rating

Optical compartment is IP65 rated.

LED Board and Array

Provides up to 104 sq/W at the system level. Standard color temp is 4000K or 3000K +/- 250K, minimum 70 CRI.

Electrical

Driver efficiency (90% standard), 120-277V and 347-480V available. All drivers are dimmable. Temp range -40°C (-40°F) to 40°C (104°F). Open/circuit protection. Inherent surge protection up to (8kVA). RoHS compliant.

Surge protection (SPD)

Surge protection device tested in accordance with ANSI/IEEE C62.45 per ANSI/IEEE C62.41.2 Scenario I Category C High Exposure (100/100kA waveforms for Line-Ground, Line-Neutral and Neutral-Ground, and in accordance with IES/IESLC Model Specification for LED Roadway Luminaires Appendix D Electrical Immunity High test level 10kV/100kA.

Listings

Product is eULus listed suitable for Wet Locations. Suitable for use in ambients from -40°C to 40°C (-40°F to 104°F). Designlights Consortium qualified.

Finish

Each luminaire receives a fade and abrasion resistant, electrocoat applied, thermally cured, triglycid isocyanate (TICI) textured polyester powdercoat finish.

Warranty

LPW16 luminaires, the LED arrays, and the drivers are all covered by a 5-year limited warranty. See www.ignify.com/warranty for details.

Label	Qty	Symbol	Manufacture	Description	LLF	Arr. Watts	Arr. Lum. Lumens
WL4	1	[Symbol]	STONCO / KEENE	LPW-16-50-NW-G3-4 (MOUNT. HT. 16.0')	0.850	47.9	4463

Ordering guide Example: LPW16-20-NW-G3-3-120-PCB-BZ

Prefix	Wattage	LED Color/Gen	Distribution	Voltage	Options	Photocontrol	Finish
LPW16	30 30W 32 30W 50 50W	NW-G3 Neutral White 3000K 70 CRI Generation 3	3 Type 3 4 Type 4	120 208 240 277 347 480	None PCB None	Black Photocontrol Buttont	Textured WH White BZ Bronze DGY Dark Gray MGY Medium Gray
		WW-G3 Warm White 3000K 70 CRI Generation 3					
		LNW 120-277V (50/60Hz)					
		NW 347-480V (50/60Hz)					

Stocked luminaires - Ordering guide

Catalog Number	Description	Master Pack, Qty	LPC Code
LPW16-G3-BZ	LPW16, 30W, 650mA, 4000K, Type 3, 120-277V, Bronze textured paint	6	822252R3872
LPW16-G3-DDP	LPW16, 30W, 650mA, 4000K, Type 3, 120-277V, Dark gray textured paint	6	822252R3885

Stocked accessories - Ordering guide (Must be ordered separately)

Catalog Number	Description	Master Pack, Qty	LPC Code
LPWCVRLT-BZ	LPW Universal wall cover mounting plate, Bronze textured paint	(none)	100081544860

1 Must specify voltage. Not available in 347V or 480V.
2 Other colors available upon request as made-to-order.

LED Wattage and Lumen Values

Ordering Code	Total LEDs (104)	LED Current (mA)	Color Temp.	Average System Watts	Lumen Output	Type 3		Type 4	
						BUS Rating (L79)	Lumen Output	BUS Rating (L79)	Lumen Output
LPW-16-30-NW-G3	16	400	4000	22.3	2,336	2,342	104	2,242	81-U0-G1 101
LPW-16-30-NW-G3	16	650	4000	34.3	3,474	3,484	101	3,384	81-U0-G1 98
LPW-16-50-NW-G3	16	900	4000	48.0	4,629	4,639	96	4,482	81-U0-G1 93
LPW-16-20-NW-G3	16	400	3000	22.3	2,332	2,332	96	2,085	81-U0-G1 93
LPW-16-30-WW-G3	16	650	3000	24.3	2,500	2,500	93	3,098	81-U0-G1 90
LPW-16-50-WW-G3	16	900	3000	37.6	4,263	4,263	90	4,128	81-U0-G1 87

Values from photometric tests performed in accordance with IESNA LM-79 and are representative of the configurations shown. Actual performance may vary due to installation and environmental variables. LED and driver tolerances, and field measurement considerations. It is highly recommended to confirm performance with a photometric report.

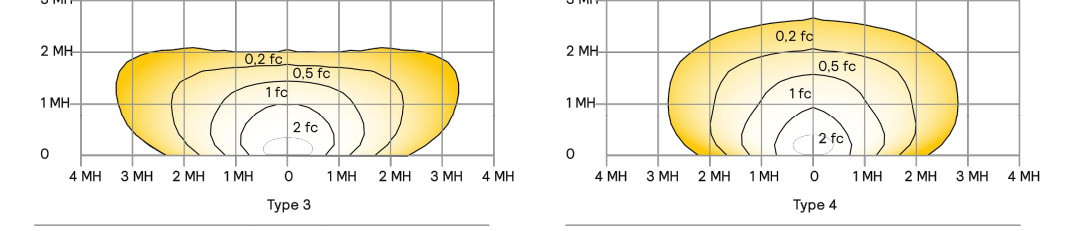
NOTE: Some data may be based based on tests of similar (but not identical) luminaires. Contact factory for configuration not shown.

Predicted lumen depreciation data

Operating Temperature (°C)	Calculated Life Hours	Typical L70 (hrs)	Lumen Maintenance % at 60,000 hrs
up to 40°C	>100,000 hours	>54,000 hours	>95%

Optical distributions

Based on LPW16-30-NW-G3 at 15' mounting height



Mounting height	15 ft	15 ft	15 ft
Multiplex	1.87	1.84	1.00



PRELIMINARY & FINAL MAJOR SITE PLAN
289 BAY AVENUE
LIGHTING PLAN
BLOCK 81, LOT 12
TAX MAP SHEET NO. 15
BOROUGH OF HIGHLANDS MONMOUTH COUNTY, NEW JERSEY

EAST POINT ENGINEERING, LLC
NEW JERSEY CERTIFICATE OF AUTHORIZATION NO. 24GA28169800

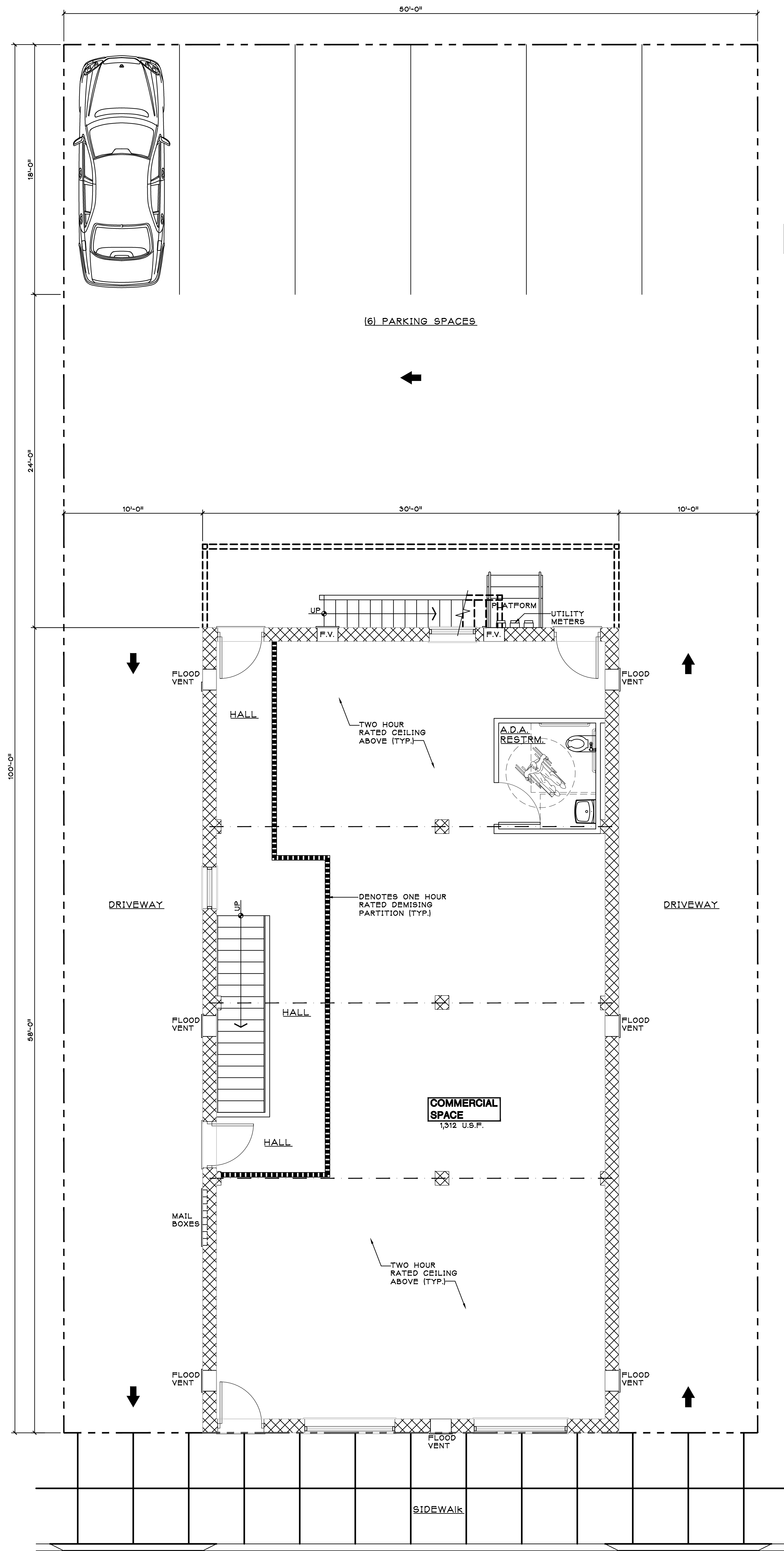
11 South Main Street
Marlboro, NJ 07746
Tel: 732.577.0180

MARD S. LEBER
N.J. PROFESSIONAL ENGINEER, LICENSE NO. 34604452400
N.J. PROFESSIONAL PLANNER, LICENSE NO. 33100589600

DATE: 12-30-21
SCALE: 1" = 20'
PROJECT NUMBER: 21-465
CHECKED BY: BNP
SHEET NO. 5 OF 5

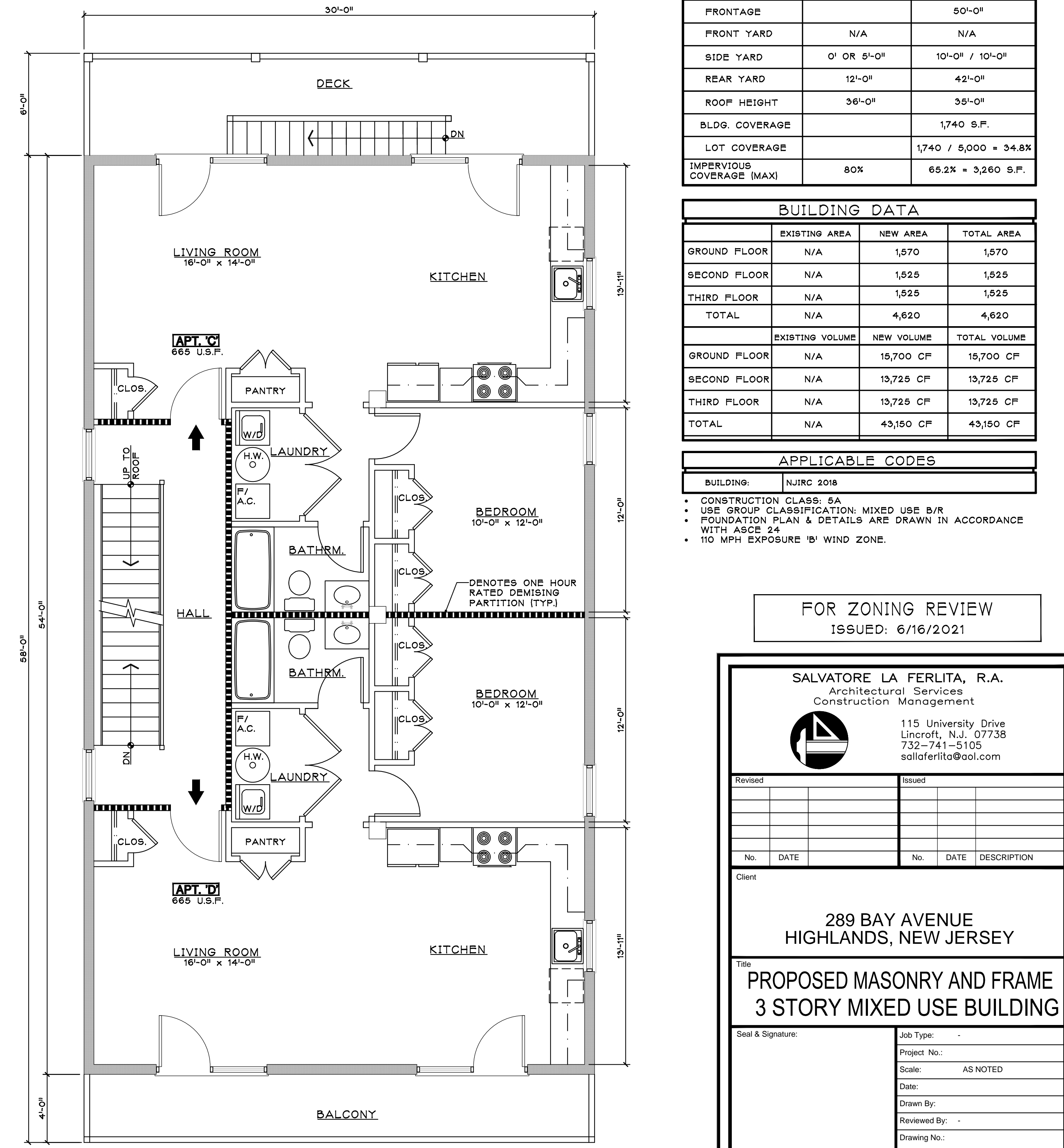
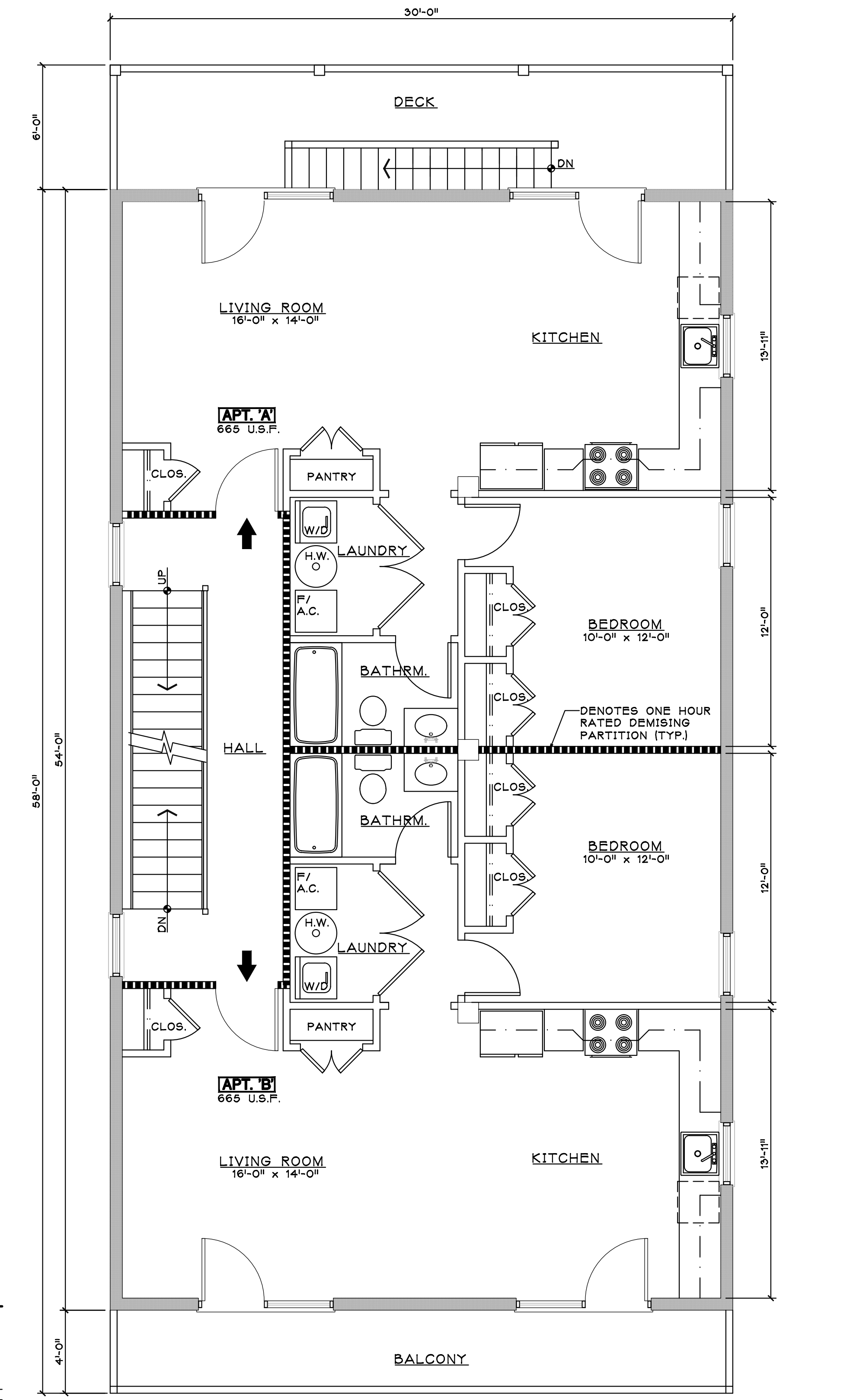
COPYRIGHT © 2021, EAST POINT ENGINEERING, LLC - ALL RIGHTS RESERVED. THE DESIGN, DRAWING, AND/OR ANY PART THEREOF IS THE PROPERTY OF EAST POINT ENGINEERING, LLC. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF EAST POINT ENGINEERING, LLC.





1 PROPOSED FRONT ELEVATION

2 PROPOSED REAR ELEVATION



B SECOND FLOOR PLAN APARTMENTS

C THIRD FLOOR PLAN APARTMENTS

ZONING DATA		
ZONE: B2	BLOCK: B1	LOT: 12
LOT AREA	REQUIRED	PROVIDED
		5,000 S.F.
F.A.R.	0.65X	1.04X
FRONTAGE		50'-0"
FRONT YARD	N/A	N/A
SIDE YARD	0' OR 5'-0"	10'-0" / 10'-0"
REAR YARD	12'-0"	42'-0"
ROOF HEIGHT	36'-0"	35'-0"
BLDG. COVERAGE		1,740 S.F.
LOT COVERAGE		1,740 / 5,000 = 34.8%
IMPERVIOUS COVERAGE (MAX)	80%	65.2% = 3,260 S.F.

BUILDING DATA			
FLOOR	EXISTING AREA	NEW AREA	TOTAL AREA
GROUND FLOOR	N/A	1,570	1,570
SECOND FLOOR	N/A	1,525	1,525
THIRD FLOOR	N/A	1,525	1,525
TOTAL	N/A	4,620	4,620
FLOOR	EXISTING VOLUME	NEW VOLUME	TOTAL VOLUME
GROUND FLOOR	N/A	15,700 CF	15,700 CF
SECOND FLOOR	N/A	13,725 CF	13,725 CF
THIRD FLOOR	N/A	13,725 CF	13,725 CF
TOTAL	N/A	43,150 CF	43,150 CF

- APPLICABLE CODES
- BUILDING: NJRC 2018
- CONSTRUCTION CLASS: SA
 - USE GROUP CLASSIFICATION: MIXED USE B/R
 - FOUNDATION PLAN & DETAILS ARE DRAWN IN ACCORDANCE WITH ASCE 24
 - 110 MPH EXPOSURE 'B' WIND ZONE.

FOR ZONING REVIEW
ISSUED: 6/16/2021

SALVATORE LA FERLITA, R.A.
Architectural Services
Construction Management

115 University Drive
Lincroft, N.J. 07738
732-741-5105
salloferlita@aol.com

Revised: _____ Issued: _____

No.	DATE	No.	DATE	DESCRIPTION

Client: _____

289 BAY AVENUE
HIGHLANDS, NEW JERSEY

Title: **PROPOSED MASONRY AND FRAME
3 STORY MIXED USE BUILDING**

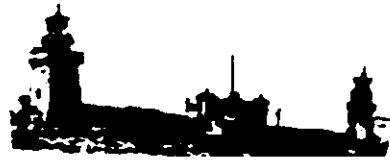
Job Type: _____
Project No.: _____
Scale: AS NOTED
Date: _____
Drawn By: _____
Reviewed By: _____
Drawing No.: _____

A-100

N.J. LIC. #A115228 SHEET No.: 1 OF _____

BOROUGH OF HIGHLANDS, N. J.

INCORPORATED 1900



HISTORIC "TWIN LIGHTS"

42 SHORE DRIVE
HIGHLANDS, NJ 07732
COUNTY OF MONMOUTH

732-872-1224 PH
732-872-0670 FX

WWW.HIGHLANDBOROUGH.ORG

CAROLYN BROULLON
MAYOR

MICHAEL MUSCILLO
ADMINISTRATOR

MICHELLE HUTCHINSON
ACTING BOROUGH CLERK

August 27, 2021

Arjika Properties

Sent via email

RE: DP#2021-67
289 Bay Avenue
Block 81, Lot 12

Please be advised that the above referenced application to construct a mixed use (retail/residential), 3-story, 4,620 s.f. building has been reviewed for compliance with the Borough of Highlands Zoning Ordinance. The property is located in the B-2 (Central Business District) zone.

The following approvals will be necessary:

#21-97L1 Use "d" variance
#21-55 Major site plan approval
#21-91A4 Lot coverage: 80% is permitted, 100% is proposed
Maximum Floor area ratio: 65% is permitted, 99% is proposed

Six off street spaces are proposed. The applicant must provide a parking analysis.

To proceed with an application/appeal of this decision to the Land Use Board, please contact the Michelle Hutchinson, Board Secretary. Should you have any questions, feel free to contact me at 732-615-2278.

Sincerely,


Marianne Dunn
Zoning Officer

C: Land Use Board



HGPB- R1841

April 5, 2022
Via Email

Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board
42 Shore Drive
Highlands, New Jersey 07732

**Re: Arjika Properties, Inc.
289 Bay Avenue
Block 81, Lot 12
Review of Preliminary Site Plan Requirements (completeness)
CBD Zone**

Dear Ms. Tran:

As requested, we have reviewed the above-referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations section entitled Part 3, Subdivision and Site Plan Review, Article VI, Application Procedure, and Article VIII, Plat and Plan Details, section 21-58.E – Preliminary Site Plan.

The applicant submitted the following documents in support of this application:

1. Land Use Board Application, dated February 22, 2022.
2. Zoning Denial, dated August 27, 2021.
3. One (1) Preliminary and Final Major Site Plan prepared by Marc S. Leber, P.E., of East Point Engineering, LLC, dated, December 30, 2021, consisting of one (1) sheet.
4. One (1) Architectural Plan prepared Salvatore La Ferlita, R.A., dated June 16, 2021, consisting of three (3) sheets.

The following information was reviewed for completeness purposes pursuant to Ordinance Section 21-58.E:

Preliminary Site Plan: The preliminary site plan shall be drawn at a scale of not more than one hundred (100) feet to the inch and shall include such details as may be necessary to properly evaluate the application and determine compliance with this chapter. The site plan shall be drawn by a licensed New Jersey professional engineer and land surveyor and, where applicable to the proposed use or construction, the following information shall be clearly shown:

1. Date, name, location of site, name of owner, scale and reference meridian. **Provided.**
2. Area of the lot and all lot line dimensions and bearings. **Provided.**
3. The location of all existing watercourses, wooded areas, easements, rights-of-way, streets, roads, highways, rivers, buildings, structures and any other feature on the property and within seventy-five (75) feet of the property line. **Provided.**
4. Location, use and ground floor area of all existing and proposed buildings, with the building setback, side line and rear yard distance. **Provided.**
5. Elevations at the corners of all proposed buildings and paved areas and at property corners if new buildings or paved areas are proposed. **Provided.**



Re: Arjika Properties, Inc.
289 Bay Avenue
Block 81, Lot 12
Review of Preliminary Site Plan Requirements (completeness)
CBD Zone

6. The location and widths of existing and proposed streets servicing the site plan. **Provided. (50' ROW shown).**
7. Specifications for and location of proposed surface paving and curbing. **Partially provided. Details for paving and curbing shall be added to the site plans.**
8. Location of all structures within seventy-five (75) feet of the property. **Provided.**
9. Location of off-street parking areas, with dimensions, showing proposed parking and loading spaces, with dimensions, width of proposed access drives and aisles and traffic circulation. **Provided.**
10. Stormwater management and sanitary sewer reports, including proposed storm drainage and sanitary disposal facilities; specifically, the location, type and size of all existing and proposed catch basins, storm drainage facilities, utilities, plus all required design data supporting the adequacy of the existing or proposed facilities to handle future storm flows. **Not provided. Applicant shall provide prior to public hearing.**
11. Existing and proposed contours of the property and for seventy-five (75) feet outside the property at one (1) foot intervals when new buildings or parking areas are proposed. Spot elevations for any development in a flood hazard area. **Provided.**
12. The location and treatment of proposed entrances and exits to public rights-of-way, including the possible utilization of traffic signals, channelization, acceleration and deceleration lanes, additional widths and any other devices necessary to traffic safety and/or convenience. **Provided.**
13. The location and identification of proposed open space, parks or other recreation areas. **Not applicable.**
14. The location and design of landscaping, buffer areas and screening areas showing size, species and spacing of trees and plants and treatment of unpaved areas. **Not provided.**
15. The location of sidewalks, walkways, traffic islands and all other areas proposed to be devoted to pedestrian use. **Provided.**
16. The nature and location of public and private utilities, including maintenance and solid waste disposal, recycling and/or storage facilities. **Provided.**
17. Specific location and design of traffic control devices, signs and lighting fixtures. The Board may require of the applicant expert testimony concerning the adequacy of proposed traffic control devices, signs and lighting fixtures. **Provided.**
18. Preliminary architectural plans for the proposed buildings or structures, indicating typical floor plans, elevations, heights and general design or architectural styling. **Provided.**
19. The present and past status and use and contemplated use of the property and all existing buildings on the property. A cleanup plan where such is necessary because of the past or present use of the site. **Not applicable.**
20. A soil erosion and sediment control plan is required. Said plan shall be submitted to the Soil Conservation District and approval of the application shall be conditioned upon certification of the soil erosion and sediment control plan by the District. **Provided.**
21. Soil borings, when required by the Board Engineer. **Not applicable.**
22. Certification statement for the required municipal signatures, stating: **Provided.**



Re: Arjika Properties, Inc.
289 Bay Avenue
Block 81, Lot 12
Review of Preliminary Site Plan Requirements (completeness)
CBD Zone

- o Application No. _____ approved/disapproved by the Highlands Borough Planning Board/Board of Adjustment as a Major Site Plan on _____.
(date)

Chairman

Secretary

23. Certification statement for the County Planning Board approval / disapproval, if required. **Not provided. Bay Avenue is County Route 8; therefore, County Planning Board approval will be required.**

24. The Board may require any additional information which is reasonably necessary to ascertain compliance with the provisions of this chapter. **Continuing comment.**

At this point, adequate information has been provided for us to perform a technical review and fee calculation for the application. Therefore, at this time the application is deemed **COMPLETE**.

Should you have any questions or require any additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.
LAND USE BOARD ENGINEER

EWH:KJO:DV

- cc: Michael Muscillo, Borough Administrator (via email)
Ron Cucchiaro, Esq., Land Use Board Attorney (via email)
Rob Knox, Land Use Board Chairman (via email)
Annemarie Tierney, Land Use Board Vice Chairman (via email)
Brad Batcha, Esq., Applicant's Attorney (brad@batchalaw.com)
Salvatore La Ferlita, Applicant's Architect, (Sallaferlita@aol.com)
Marc S. Leber, Applicant's Engineer, (mleber@eastpointeng.com)



YOUR GOALS. OUR MISSION.

HGPB- R1841

April 5, 2022

Michelle Hutchinson, Land Use Board Secretary
Borough of Highlands Land Use Board
42 Shore Drive
Highlands, New Jersey 07732

**Re: Arjika Properties, Inc.
289 Bay Avenue
Block 81, Lot 12
Review of Preliminary Site Plan, Fee and Escrow Calculation
CBD Zone**

Dear Ms. Hutchinson:

As requested, we have reviewed the above-referenced site plan application. The applicant submitted the following documents in support of this application:

1. Land Use Board Application, dated February 22, 2022.
2. Zoning Denial, dated August 27, 2021.
3. One (1) Preliminary and Final Major Site Plan prepared by Marc S. Leber, P.E., of East Point Engineering, LLC, dated, December 30, 2021, consisting of one (1) sheet.
4. One (1) Architectural Plan prepared Salvatore La Ferlita, R.A., dated June 16, 2021, consisting of three (3) sheets.

Please note the following fee calculations:

- | | |
|---------------------|-------------|
| 1. Application fee: | \$ 2,672.11 |
| 2. Escrow fee: | \$ 5,344.22 |

We have commenced our technical review and expect to issue that this week.

If you have any questions or require additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.
LAND USE BOARD ENGINEER

EWH:KJO:DV

Enclosure



**Re: Arjika Properties, Inc.
289 Bay Avenue
Block 81, Lot 12
Review of Preliminary Site Plan, Fee and Escrow Calculation
CBD Zone**

cc: Michael Muscillo, Borough Administrator (via email)
Ron Cucchiaro, Esq., Land Use Board Attorney (via email)
Rob Knox, Land Use Board Chairman (via email)
Annemarie Tierney, Land Use Board Vice Chairman (via email)
Brad Batcha, Esq., Applicant's Attorney (brad@batchalaw.com)
Salvatore La Ferlita, Applicant's Architect, (Sallaferlita@aol.com)
Marc S. Leber, Applicant's Engineer, (mleber@eastpointeng.com)

\\tandmassociates.local\Public\Projects\HGPB\R1841\Correspondence\R1841_EWH_MH_Arjika_289 Bay Ave_B81_L12_Fee Letter.docx



HGPB-R1841

DETERMINATION OF FEES

289 Bay Avenue
Block 81, Lot 12

A. APPLICATION FEES (Ord. 21-107)

A. Variances

3. Nonresidential "c" (max. lot coverage)	1	EA	\$	250.00	\$	250.00
Nonresidential "c" (parking requirement)	1	EA	\$	250.00	\$	250.00
4. Nonresidential "d" (exceeding floor area ratio)	1	EA	\$	500.00	\$	500.00

B. Site Plans

2. Major

b. Preliminary approval (\$1,000+\$50/acre+\$20/floor area; or \$20/unit)	1	EA	\$	1,114.74	\$	1,114.74
c. Final approval (1/2 preliminary fee)	1	EA	\$	557.37	\$	557.37

B. ESCROW FEES (Ord. 21-108)

B. Escrow Deposits (twice Application Fee; Minimum \$750)	1	LS	\$	5,344.22	\$	5,344.22
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Application fees subtotal \$ 2,672.11

Escrow fee subtotal \$ 5,344.22

Total \$ 8,016.33

AFFIDAVIT OF PUBLICATION

Publisher's Fee \$37.84 Affidavit \$35.00

STATE OF WISCONSIN

Brown County

Personally appeared D. Roberts at County of Brown, State of Wisconsin.

Of the **Asbury Park Press**, newspaper printed in Freehold, New Jersey and published in Neptune, in State of New Jersey and Monmouth/Ocean Counties, and of general circulation in Monmouth/Ocean Counties, who being duly sworn, depose and saith that the advertisement of which the annexed is a true copy, has been published in the said newspaper 1 times, once in each issue dated as follows:

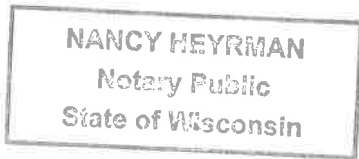
07/03/2022 **A.D 2022**

Nancy Heyrman

Notary Public State of Wisconsin County of Brown

5.15.23

My commission expires



**BOROUGH OF HIGHLANDS
LAND USE BOARD**

**NOTICE OF HEARING
Pursuant to NJSA 40:55D-12**

**IN THE MATTER OF THE APPLICATION
ARJIKA PROPERTY, INC FOR PREMISES
KNOWN AS LOT 12 IN BLOCK 81 ON THE OFFICIAL
TAX MAP OF THE BOROUGH OF HIGHLANDS**

PLEASE TAKE NOTICE that the Land Use Board of the Borough of Highlands will hold a public hearing on Thursday, July 14, 2022 at 7:00 p.m., in the Community Center, 22 Snug Harbor, Highlands, New Jersey to further consider the application of Arjika Property Inc. for premises known as Lot 12 in Block 81 as shown on the Official Tax Map of the Borough of Highlands and located at 289 Bay Avenue, Highlands, New Jersey 07732. The property is located in the CBD Zone, which is also designated as a 'Redevelopment Area' pursuant to the Central Business District Redevelopment Plan, adopted by the Borough of Highlands in Ordinance No. 22-10."

THE APPLICATION:

The application is to construct 4 one-bedroom apartments on top of one commercial unit. The applicant will seek a variance for lot coverage of 100% where the maximum coverage permitted is 80% and a floor area ratio variance of 1.15 where maximum floor area ratio permitted is .65. The applicant will also seek all other variances required by the board and its professionals including those that may be required under the Redevelopment Ordinance No 22-10.

PUBLIC INSPECTION OF APPLICATION:

The application and supporting documents are on file with the Borough of Highlands' Land Use Board, at the Borough Hall, 42 Shore Drive, Highlands, NJ 07732 and are available for inspection during normal business hours.

F. Bradford Batcha, Esq.
600 Broad Street,
Shrewsbury, New Jersey 07702
732-747-8300
brad@batchalaw.com

(\$37.84)

0005319843-01

AFFIDAVIT OF MAILING

STATE OF NEW JERSEY)
) ss:
COUNTY OF MONMOUTH)

Frank Illiano

says under oath:

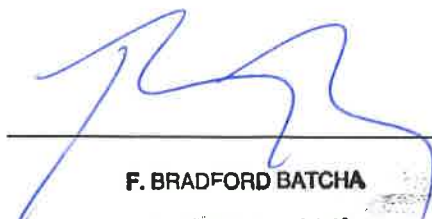
1. On July 1, 2022 I personally mailed by Certified Mail through the U.S. Post Office a copy of the attached notice to the names and addresses on the attached list as evidenced by the attached Certified Mail Receipts.



Frank Illiano

Signed and sworn to before me

On July 13, 2022



F. BRADFORD BATCHA
ATTORNEY AT LAW
STATE OF NEW JERSEY

**BOROUGH OF HIGHLAND
LAND USE BOARD
NOTICE TO OWNERS WITHIN 200 FT OF PROPOSED DEVELOPMENT**

**IN THE MATTER OF THE APPLICATION OF
ARJIKA PROPERTY, INC FOR PREMISES KNOWN
AS LOT 12 IN BLOCK 81 ON THE OFFICIAL
TAX MAP OF THE BOROUGH OF HIGHLANDS**

NOTICE OF HEARING
Pursuant to NJSA 40:55D-12

PLEASE TAKE NOTICE that the Land Use Board of the Borough of Highlands will hold a public hearing on Thursday, July 14, 2022 at 7:00 p.m., in the Community Center, 22 Snug Harbor, Highlands, New Jersey to further consider the application of Arjika Property Inc. for premises known as Lot 12 in Block 81 as shown on the Official Tax Map of the Borough of Highlands and located at 289 Bay Avenue, Highlands, New Jersey 07732. The property is located in the CBD Zone, which is also designated as a 'Redevelopment Area' pursuant to the Central Business District Redevelopment Plan, adopted by the Borough of Highlands in Ordinance No. 22-10."

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PUBLIC INSPECTION OF APPLICATION:

The application and supporting documents are on file with the Borough of Highlands' Land Use Board, at the Borough Hall, 42 Shore Drive, Highlands, NJ 07732 and are available for inspection during normal business hours.

F. Bradford Batcha, Esq.
600 Broad Street,
Shrewsbury, New Jersey 07702
732-747-8300
brad@batchalaw.com



BOROUGH OF HIGHLANDS
COUNTY OF MONMOUTH

Date Issued: May 23, 2022

CERTIFICATION OF 200-FOOT LIST

BLOCK 81 LOT 12

PROPERTY LOCATION: 289 Bay Ave., Highlands, NJ 07732

TO THE BEST OF MY KNOWLEDGE this is a true and accurate list, as of this date, taken from the most current tax records of the Borough of Highlands, NJ.

The addresses on this list are pertinent to the Borough of Highlands exclusively. If the subject property is within 200 feet of a neighboring municipality, you MUST contact that municipality, to obtain a listing of any properties that may be inclusive in the 200 foot perimeter. THIS LIST IS VALID FOR 90 DAYS.

A handwritten signature in black ink, appearing to read "Nancy Tran", written over a horizontal line.

Nancy Tran, Acting Borough Clerk

5/23/2022 11:26 AM

* If you are located within 200 feet of a State Highway, you **MUST** notify the NJ Department of Transportation:

NJ Dept. of Transportation
1035 Pkwy Avenue
PO Box 600
Trenton, NJ 08625

*If you are within 200 feet of a County owned road, you **MUST** notify the Monmouth County Planning Board:

Monmouth County Planning Board
Hall of Records Annex 2nd Floor
One East Main St.
PO Box 1255
Freehold, NJ 07728

You must also notify all utilities located within the 200-foot range of the subject property:

JCP&L

300 Madison Avenue
PO Box 1911
Morristown, NJ 07960

NEW JERSEY AMERICAN WATER COMPANY

Attn: Construction Department
661 Shrewsbury Ave
Shrewsbury, NJ 07702

COMCAST COMMUNICATIONS OF MONMOUTH COUNTY

Ron Bertrand, Construction Foreman
403 South St
Eatontown, NJ 07724

VERIZON COMMUNICATIONS

One Verizon Way
Basking Ridge, NJ 07920

TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY

Raymond J. Nierstedt, P.E., Executive Director
PO Box 205, 100 Beverly Way
Belford, NJ 07718

NEW JERSEY NATURAL GAS COMPANY

Attn: Joan Purcaro
PO Box 1464
1415 Wyckoff Road
Wall, NJ 07719

MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY

Attn: Executive Director
200 Harbor Way
PO Box 184
Belford, NJ 07718

200 Foot Map Block 81 Lot 12 289 Bay Avenue



200 Foot List for Block 81 Lot 12 - 289 Bay Avenue

1319-81-10.01 VALINOTI JR. JOSEPH 85 WASHINGTON AVENUE HIGHLANDS NJ 07732	1319-75-17 CLARK EVELYN ROSE, 282 BAY AVENUE HIGHLANDS NJ 07732	1319-74-3 COLACI KATHLEEN 88 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-120-10.2-23 HOFFMAN JEANNETTE 255 SHORE DR 23 HIGHLANDS NJ 07732
1319-81-12 ARJIKA PROPERTY INC 8 STRAWBERRY LANE MONROE NJ 08831	1319-81-8 EUGENIO JAIME 87 WASHINGTON AVENUE HIGHLANDS NJ 07732	1319-74-1 CHESBRO JAMES B. 273 BAY AVENUE HIGHLANDS NJ 07732	1319-120-10.2-19 HINTZ MARY 17 AMELIA CIRCLE LITTLE SILVER NJ 07739
1319-74-9 RIPRAPS LLC 25 NAUTILUS AVENUE LEONARDO NJ 07737	1319-81-9 VALINOTI JOSEPH JR 85 WASHINGTON AVE HIGHLANDS NJ 07732	1319-83-2 BIANCO-HESS CANDICE 66 WASHINGTON AVENUE HIGHLANDS NJ 07732	1319-81-1 SGALAMBRO DAVID & MELANIE 285 BAY AVENUE HIGHLANDS NJ 07732
1319-83-1 SHANNON ENTERPRISES LLC 300 BAY AVENUE HIGHLANDS NJ 07732	1319-80-19 NAVISTA ENTERPRISES LLC 2 VISTA PLACE RED BANK NJ 07701	1319-74-5 O LOUGHLIN MICHAEL 92 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-82-5.01 C.X. INVESTMENTS LLC 18 BLEVINS AVENUE MIDDLETOWN NJ 07748
1319-74-6 O LOUGHLIN MICHAEL 92 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-81-4 BENDER PATRICIA 88 BARBARIE AVENUE HIGHLANDS NJ 07732	1319-74-7 STRANGE MAGIC LLC 25 NAUTILUS DRIVE LEONARDO NJ 07737	
1319-82-1.01 ICE HOLDINGS LLC 494 SYCAMORE AVE STE.100 SHREWSBURY NJ 07702	1319-80-3 ANDREWS HEATHER 72 BARBERIE AVENUE HIGHLANDS NJ 07732	1319-80-17 LAWRENCE CYNTHIA 63 WASHINGTON AVE HIGHLANDS NJ 07732	
1319-82-6.01 BAY AVENUE DEVELOPERS LLC 297 BAY AVENUE HIGHLANDS NJ 07732	1319-81-2 HORNIACEK JAMES & DAWN 287 BAY AVENUE HIGHLANDS NJ 07732	1319-75-16 MORAN JAMES P & PATRICIA J 67 BARBERIE AVENUE HIGHLANDS NJ 07732	
1319-74-8.01 RIPRAPS LLC 25 NAUTILUS AVENUE LEONARDO NJ 07737	1319-80-20 TROCCOLI MICHELLE E 294 BAY AVE HIGHLANDS NJ 07732	1319-75-15 BIRCHWOOD INC 1662 WEST END AVE POINT PLEASANT NJ 08742	
1319-74-8.02 KENNY PAUL & BURKE-KENNY MARY JO 39 EAST TWIN ROAD HIGHLANDS NJ 07732	1319-80-22 SERVIDIO FRANK PETER JR 290 BAY AVENUE HIGHLANDS NJ 07732	1319-82-4 JAPNGIE PATRICIA 88 WASHINGTON AVENUE HIGHLANDS NJ 07732	
1319-74-4 SHANNON ENTERPRISES LLC 300 BAY AVENUE HIGHLANDS NJ 07732	1319-80-6 MURRAY (STEIB) LAURA 49 WATERCREST DRIVE DOYLESTOWN PA 18901	1319-80-21 MAIN %LINDA GRAYBILL 292 BAY AVENUE HIGHLANDS NJ 07732	
1319-80-1 CONRAD DONNA MARIE 286 BAY AVENUE HIGHLANDS NJ 07732	1319-80-7 CARRILLO JEANNETTE 64 BARBERIE AVE HIGHLANDS NJ 07732	1319-81-3 COFFEY CHRISTOPHER & MOYER HENRY 571 HIGHWAY 36 BELFORD NJ 07718	
1319-80-2 HUVANE MARTIN & GENEVIEVE 18 DIMOND AVENUE CORTLANDT MANOR NY 10566	1319-75-18 CLARK EVELYN R. 282 BAY AVENUE HIGHLANDS NJ 07732	1319-80-5.01 KOLE JEFFREY B JR 70 BARBARIE AVENUE HIGHLANDS NJ 07732	
1319-82-3 LUCHNICK ALLISON 746 PARAMOUNT WAY BRICK NJ 08724	1319-81-6 LOW CAROL 91 WASHINGTON AVENUE HIGHLANDS NJ 07732	1319-120-10.04 CARERI JILL 13 RIVERGATE WAY LONG BRANCH NJ 07740	
1319-80-18 ROHRIG HAROLD A & DOROTHY C/O V B 2 MEADOWVIEW LANE BERKELEY HEIGHTS NJ 07922	1319-81-7 BUNTING CONSTANCE 89 WASHINGTON AVENUE HIGHLANDS NJ 07732	1319-75-1 GRAM RIVER DRIVE LLC 32 WEST SUNSET ROAD POMPTON PLAINS NJ 07444	
1319-81-5 CORNELIUSEN JOHN JR & ELEANOR L 118 EAST GARFIELD AVE ATLANTIC HIGHLANDS NJ 07716	1319-74-2 DOS SANTOS KRYSAL 86 SEADRIFT AVENUE HIGHLANDS NJ 07732	1319-120-10.2-22 WILD LAURA 255-22 SHORE DRIVE HIGHLANDS NJ 07732	

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Monmouth County Planning Board
Hall of Records Annex 2nd Floor
One East Main St.
PO Box 1255
Freehold, NJ 07728

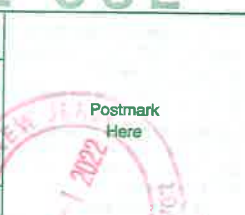
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Valinoti Jr., Joseph
85 Washington Avenue
Highlands, NJ 07732

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Ripraps LLC
25 Nautilus Avenue
Leonardo, NJ 07737

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Shannon Enterprises LLC
300 Bay Avenue
Highlands, NJ 07732

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O'Loughlin, Michael
92 Seadrift Avenue
Highlands, NJ 07732

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Ice Holdings LLC
494 Sycamore Ave STE. 100
Shrewsbury, NJ 07702

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Bay Avenue Developers LLC
297 Bay Avenue
Highlands, NJ 07732

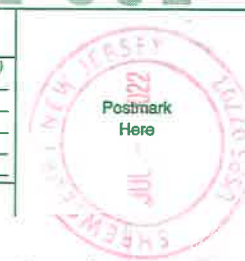
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Kenny, Paul & Burke-Kenny, Mary Jo
39 East Twin Road
Highlands, NJ 07732

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7020 3160 0001 9854 2172

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7020 3160 0001 9854 2189

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Navista Enterprises LLC
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Andrews, Heather
72 Barberie Avenue
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Horniacek, James & Dawn
287 Bay Avenue
Highlands, NJ 07732

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Troccoli, Michelle E
294 Bay Avenue
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Servidio, Frank Peter Jr
290 Bay Avenue
Highlands, NJ 07732

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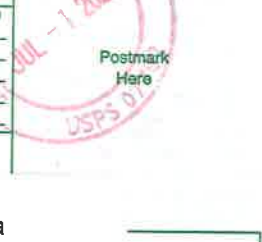
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Murray (Steib), Laura
49 Watercrest Drive
Doylestown, PA 18901

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Carrillo, Jeanette
64 Barberie Avenue
Highlands, NJ 07732

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Clark, Evelyn R.
282 Bay Avenue
Highlands, NJ 07732

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Low, Carol
91 Washington Avenue
Highlands, NJ 07732

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Bunting, Constance
89 Washington Avenue
Highlands, NJ 07732

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Dos Santos, Krystal
86 Seadrift Avenue
Highlands, NJ 07732

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Colaci, Kathleen
88 Seadrift Avenue
Highlands, NJ 07732

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Chesbro, James B.
273 Bay Avenue
Highlands, NJ 07732

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Bianco-Hess, Candice
66 Washington Avenue
Highlands, NJ 07732

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Strange Magic LLC
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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$



Lawrence, Cynthia
63 Washington Avenue
Highlands, NJ 07732

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<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Moran, James P & Patricia J
67 Barberie Avenue
Highlands, NJ 07732

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<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Birchwood INC
1662 West End Avenue
Point Pleasant, NJ 08742

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<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Japngie, Patricia
88 Washington Avenue
Highlands, NJ 07732

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<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Main %Linda Graybill
292 Bay Avenue
Highlands, NJ 07732

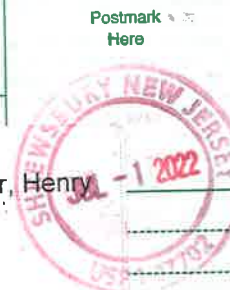
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<input type="checkbox"/> Certified Mail Restricted Delivery	\$
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<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Coffey, Christopher & Moyer, Henry
571 Highway 36
Belford, NJ 07718

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<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Kole, Jeffrey B Jr
70 Barberie Avenue
Highlands, NJ 07732

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<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Careri, Jill
13 Rivergate Way
Long Branch, NJ 07740

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<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Gram River Drive LLC
32 West Sunset Road
Pompton Plains, NJ 07444

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7021 0950 0001 8943 0511
7021 0950 0001 8943 0535
7021 0950 0001 8943 0221
7021 0950 0001 8943 0245

8950 0528
8943 0001
7021 0950 0001 8943 0214
8943 0001
7021 0950 0001 8943 0238
8943 0001
7021 0950 0001 8943 0252

7021 0950 0001 8943 0269

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<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage	\$
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Wild, Laura
255-22 Shore Drive
Highlands, NJ 07732

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7021 0950 0001 8943 0276

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Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage	\$
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Hoffman, Jeannette
255 Shore Drive 23
Highlands, NJ 07732

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7021 0950 0001 8943 0263

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Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage	\$
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Hintz, Mary
17 Amelia Circle
Little Silver, NJ 07739

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7021 0950 0001 8943 0290

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<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage	\$
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Sgalambro, David & Melanie
285 Bay Avenue
Highlands, NJ 07732

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<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage	\$
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C.X. Investments LLC
18 Blevins Avenue
Middletown, NJ 07748

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<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage	\$
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JCP&L
300 Madison Avenue
PO Box 1911
Morristown, NJ 07960

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<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage	\$
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New Jersey American Water Company
Attn: Construction Department
661 Shrewsbury Avenue
Shrewsbury, NJ 07702

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7021 0950 0001 8939 3410

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<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage	\$
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Comcast Communications of Monmouth County
Ron Bertrand, Construction Foreman
403 South Street
Eatontown, NJ 07724

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Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage

Verizon Communications
One Verizon Way
Basking Ridge, NJ 07920



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Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage

Township of Middletown Sev
Raymond J. Nierstedt, P
Director
PO Box 205, 100 Be
Belford, NJ 07

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Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage

New Jersey Natural Gas Company
Attn: Joan Purcaro
PO Box 1464
1415 Wyckoff Road
Wall, NJ 07719



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Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage

Monmouth County Bayshore
Attn: Executive D
200 Harbor V
PO Box 18
Belford, NJ 07

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7021 0950 0001 8939 3427

7021 0950 0001 8939 3441