



LAND USE BOARD APPLICATION

FOR OFFICIAL USE	•
Date Rec'd: 02 23 2022 Application #:	Fee: 1,750 Escrow: 3,500
1. APPLICANT Name: Arjika Properties Address: 8 Strawberrv Lane City: Monroe State: N.J. Zip: 08839 Phone: 732-558-1928 Email: _info@hilliardconstruction.com Relation to property: owner	2. OWNER Name: Same Address:
3. TYPE OF APPLICATION (Check all that apply)	
 Minor Subdivision Major Subdivision – Preliminary Major Subdivision – Final Minor Site Plan Major Site Plan – Preliminary Major Site Plan – Final Variance Use Variance 	 Appeal – Zoning Denial date Appeal – Land Use Decision date Informal Concept Plan Review Extension of Approval Revision/Resubmission of Prior Application Other
4. PROPERTY INFORMATION	
Block 81 Lot(s) 12	Address: 289 Bay ave
Lot size 5,000 SF # of Existing Lots	# of Proposed Lots
Has the property been subdivided? ✓ No □ Yes	ons or Easements?
5. ATTORNEY (A corporation, LLC, Limited Partnership,	or S-Corp must be represented by a NJ attorney)
Name: Brad Batcha from Batcha& Batcha	
Address: 600 Broad street shrewsbury NJ 07702	
Phone: 732-747-8180	Email: <u>brad@batchalaw.com</u>



Borough of Highlands 42 Shore Drive Highlands, NJ 07732 (732) 872-1224 www.highlandsborough.org

6. APPLICAN	T'S OTHER PROFESSIONAL(S) - Engine	er, Planner, Architect, etc.	,			
	Leiber Engineer	Name: Patrick V	Vard Planner			
	south Main street	Address: _1955 NJ-34 #1a				
Marlboro, N						
Phone: 732-5	577-0180	Phone: 732-531-7100				
	r@eastpointeng.com	Email: patrick@				
7. LAND USE						
Board applicat	HISTORY –Describe in detail, nature of prictions for this site (attach copy of resolutions)	n, if applicable), history of	current ownership, etc.			
There was denied	a single family home, Arjicka went	for a subdivision for tw	o single family homes and was			
-		*				
subdivided; 2) operation; 7) t Arjicka is pi	PLAN –Describe in detail, proposed use f sell lot only; 3) construct house(s) for sal type of goods/services; 8) fire lane. Attack roposing 4 single bedroom apartme	e; 4) how trash will be dispon additional sheets if necess ent on top of one comm	osed; 5) landscaping; 6) hours of sary. Hercial on main level. Parking			
will be in the	ne rear of building.Garbage cans wi	Il be in the rear of build	ling as well for four units and			
Commercia	portion.					
C. ADDITIONA	AL INFORMATION:	Existing	Proposed			
Residential:	How many dwelling units?	0	4			
	How many bedrooms in each unit? How many on-site parking spaces?	0				
		0	1			
Commercial:	How many commercial uses on site? How many on-site parking spaces?	0				





8. VARIANCE REQUESTS Complete section(s) related to the relief being requested.

	Req'd	Exist.	Prop'd
Minimum Lot Requirements			
Lot Area	no	-	5,000
Frontage	0		50ft
Lot Depth	-		100ft
Minimum Yard Requirements			
Front Yard Setback	0		0
2 nd Front Yard Setback			
Rear Yard Setback	12ft		36ft
Side Yard Setback, right	5ft		10ft
Side Yard Setback, left	5ft		10ft
Building Height	36ft		36ft

	Req'd	Exist.	Prop'd
Accessory Structures			
Fence/Wall Height			
Garage/Shed Height			
Garage/Shed Area			
Pool Setback			
Parking Requirements			
On-site Parking Spaces			5
Other (please add)			

OTHER RELIEF REQUESTED Please specify relief(s) and explain below.				





sheets if necessary).

10. NOTARIZED SIGNATURE OF APPLICANT

I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual Applicant, or that I am an Officer of the Applicant authorized to sign the application for the business organization. Additionally, I certify that the survey or plans submitted with this application shows and discloses the premises in its entirety, and I further certify that no buildings, fences, or other facilities have been constructed, installed, or otherwise located on the premises after the date of the survey with the exception of the structures shown.

	_ / \/ . / /		
SWORN & SUBSCRIBED to before me this	(The K		2/27/22
22 day of Febuary 20 22 (year)	Signature	\rightarrow	Date
www. Vosel (notary)			, ,
Notary Public, State of New Commission # 501708 My Commission Expires Sept.	ersey		
11. NOTARIZED CONSENT OF OWNER			
I certify that I am the Owner of the property which is application and approval of the plans submitted here connection with this application as deemed necessar must be attached authorizing the application and off	with. I further consent to to y by the municipal agency (ne inspection o	of this property in
SWORN & SUBSCRIBED to before me this			
22 day of 2 2022 (year)	Signature		Date
(notary)	Paul Arora		
(Seal)	Print Full Name		
12A. DISCLOSURE STATEMENT Circle all that apply	1.		
Pursuant to N.J.S.A. 40:55D-48.1 & 48.2, please answ	er the following questions:		
Is this application to subdivide a parcel of land into si	x (6) or more lots?	Yes	No
Is this application to construct a multiple dwelling of	25 or more units?	Yes	No
Is this an application for approval of a site(s) for non-	residential purposes?	Yes	No
Is this Applicant a corporation?		Yes	No
Is the Applicant a limited liability corporation?		Yes	No
Is the Applicant a partnership?		Yes	No
If you circled YES to any of the above, please complete	e the following Ownership	Discloser State	ement (use additional



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12B. BUSINESS ORGANIZATION OWNERSHIP DISCLOSURE STATEMENT

Name of Corporation, Partnership, LLC, LLP, S-Corp:

Listed below are the names and addresses of all owners of 10% or more of the stock/interest* in the above referenced business organization:

NAME	ADDRESS	
Paul Arora	8 strawbery Lane Monroe 08839	

*If a corporation or a partnership owns 10% or more of the stock of a corporation, or 10% or great interest in a partnership, that corporation or partnership shall list the names and address of its stockholders holding 10% or more of its stock or 10% or greater interest in the partnership, and this requirement shall be followed until the names and addresses of the non-corporate stockholders and individual partners, exceeding the 10% owner ship criterion established have been listed.

SWORN & SUBSCRIBED to before me this 22 day of 2 20 (year)	Chatal	2/22/22
$\frac{2}{20}$ day of $\frac{2}{20}$ (year)	Signature (Officer/Partner)	/ Date
(notary)	Chris Ruby Partner	
(Seal)	Print Full Name	Title
KEVIN ROONEY		

KEVIN ROONEY
Notary Public, State of New Jersey
Commission # 50170501
My Commission Expires Sept. 1, 2026



arjika properties inc 8 strawberry lane monroe, NJ 08831 7324251475	2/22 20 3 2
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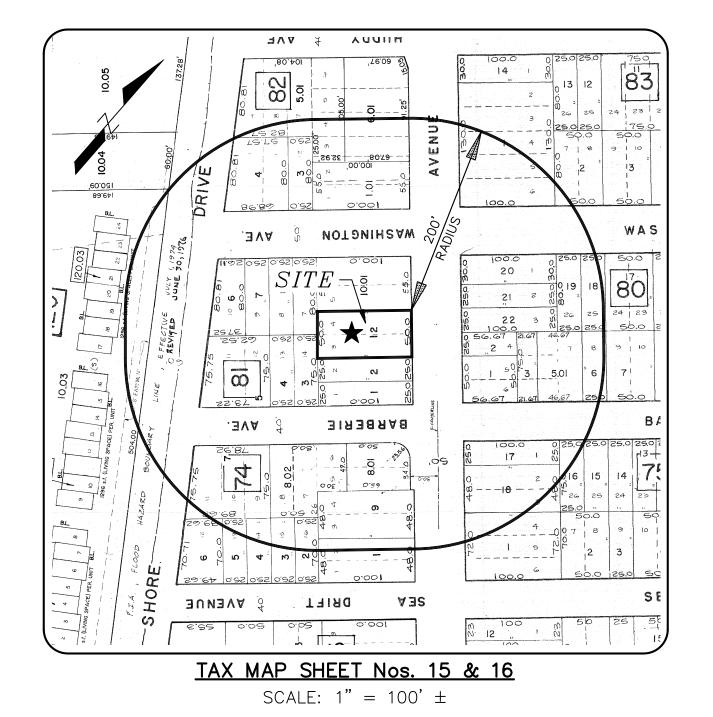
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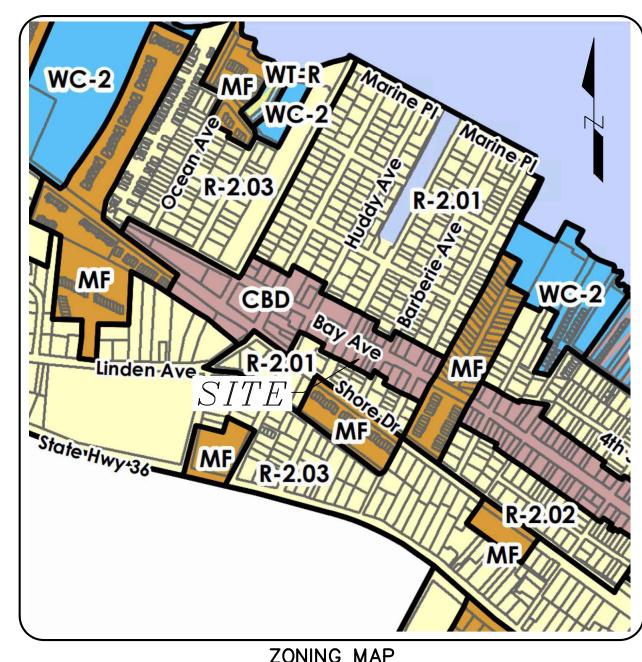
FEB 2 2 2022

LAND USE BOARD

PRELIMINARY & FINAL MAJOR SITE PLAN 289 BAY AVENUE BLOCK 81, LOT 12 BOROUGH OF HIGHLANDS MONMOUTH COUNTY, NEW JERSEY







ZONING MAP

SCALE: $1" = 450' \pm$

OFF-STREET PARKING REQUIREMENTS (CH. 21-65.14.D.)

USE	REQUIREMENT	PROPOSED	SPACES REQUIRED
RESIDENTIAL	1.8 SPACES PER ONE—BEDROOM APARTMENT	4 UNITS	7.2
COMMERCIAL	1 SPACE / 250 S.F.	1,450 S.F.	5.8
	TOTAL REQUIRED		
	TOTAL PROVIDED		

* VARIANCE REQUESTED FOR 8 SPACE DEFICIENCY

<u>г NО.</u>	<u>DESCRIPTION</u>	<u>DATE</u>	REVISION DATE
	COVER SHEET	12-30-21	_
	EXISTING CONDITIONS PLAN	12-30-21	_
	SITE LAYOUT & GRADING PLAN	12-30-21	_
	SOIL EROSION & SEDIMENT CONTROL PLAN	12-30-21	_

12-30-21

DRAWING INDEX

LIGHTING PLAN

CBD CENTRAL BUSINESS DISTRICT ZONE AREA, YARD & BUILDING REQUIREMENTS

	REQUIRED	<u>PROPOSED</u>	VARIANCE RE
LOT DIMENSIONS			
MIN. LOT AREA	_	5,000 S.F.	NO
MIN. LOT FRONTAGE/WIDTH	_	50 FT	NO
MIN. LOT DEPTH	_	100 FT	NO
PRINCIPAL BUILDING SETBACKS			
MIN. FRONT YARD	O FT	O FT	NO
MIN. SIDE YARD	5 FT	10 FT	NO
MIN. REAR YARD	12 FT	36 FT	NO
LOT COVERAGE			
MAX. BUILDING COVERAGE PRINCIPAL AND ACCESSORY	35%	34.8% (1,740 S.F.)	NO
MAX. LOT COVERAGE ALL IMPROVEMENTS	80%	100% (5,000 S.F.)	YES
BUILDING HEIGHT		, ,	
MAX. BLDG. HEIGHT	36 FT	36 FT	NO
MAX. FLOOR AREA RATIO	0.65	1.15 (5,760 S.F.)	YES
MIN. OUTDOOR LIVING SPACE	100 S.F./UNIT PLUS 50 S.F./BR (600 S.F.)	600 S.F.	NO

GENERAL NOTE

- 1. SITE IS KNOWN AS BLOCK 81, LOT 12 AS DEPICTED ON SHEET 15 OF THE BOROUGH OF HIGHLANDS TAX MAPS. TOTAL LOT AREA IS 5,000 S.F. (0.115 AC).
- 2. <u>OWNER/APPLICANT:</u>
 ARJIKA PROPERTY, INC.
 - ARJIKA PROPERTY, INC.

 8 STRAWBERRY LANE
 MONROE TOWNSHIP, NJ 08831
 TEL: (732) 425-1475

E-MAIL: ARJIKAPROPERTYINC@GMAIL.COM

- 3. OUTBOUND & TOPOGRAPHIC SURVEY INFORMATION OBTAINED FROM A PLAN ENTITLED, "TOPOGRAPHICAL SURVEY FOR ARJIKA PROPERTIES, INC., BLOCK 81, LOT 12, BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY RICHARD STOCKTON, PLS, DATED AUGUST 9, 2021.
- 4. HORIZONTAL CONTROL BASED ON DEED NORTH. VERTICAL DATUM BASED ON NAVD
- 5. THE SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE "AE" (AREAS INUNDATED WITH 1% ANNUAL CHANCE FLOODING, FOR WHICH BASE FLOOD ELEVATIONS HAVE BEEN DETERMINED. BASE FLOOD ELEVATION MAPPED AS 11 FEET NAVD88) AS SHOWN ON COMMUNITY PANEL No. 34025C0088G, EFFECTIVE DATE JUNE 20, 2018.
- 6. THERE ARE NO FRESHWATER WETLANDS LOCATED ON THE PROPERTY.
- 7. THE PROPERTY IS LOCATED WITHIN THE CBD "CENTRAL BUSINESS DISTRICT" ZONE.
 THE PROPOSED USE "MIXED COMMERCIAL/RESIDENTIAL" IS NOT PERMITTED IN THE
 ZONE, THEREFORE, APPROVAL BY THE BOROUGH BOARD OF ADJUSTMENT IS
- 8. APPLICANT PROPOSES TO CONSTRUCT A 1,920 S.F. (FOOTPRINT) THREE—STORY MIXED USE BUILDING. THE FIRST FLOOR IS PROPOSED FOR COMMERCIAL SPACE AND THE UPPER FLOORS CONTAIN A TOTAL OF FOUR (4) ONE—BEDROOM APARTMENTS.
- 9. DO NOT SCALE DRAWINGS WITH RESPECT TO THE LOCATION OF SURROUNDING EXISTING FEATURES. ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC., ARE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN
- 10. THIS SET OF PLANS HAS BEEN PREPARED FOR THE APPLICANT NAMED HEREON FOR THE PURPOSE OF MUNICIPAL AND REGULATORY AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION PLANS UNTIL ALL REQUIRED APPROVALS HAVE BEEN OBTAINED. NO OTHER PURPOSE IS INTENDED OR IMPLIED.
- 11. REFER TO ARCHITECTURAL PLANS PREPARED BY SALVATORE LA FERLITA, R.A. FOR DETAILED BUILDING INFORMATION.
- 12. CONSTRUCTION OF SITE IMPROVEMENTS AND PATIO SHALL BE IN COMPLIANCE WITH THE APPLICABLE BUILDING CODES, FEDERAL AND STATE BARRIER FREE AND A.D.A. REQUIREMENTS, TOWNSHIP DESIGN STANDARDS, AND NOISE CODE.
- 13. THE PROPOSED BUILDING IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
- 14. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF SITE CONDITIONS OR TOPOGRAPHY DIFFER MATERIALLY FROM THOSE PRESENTED HEREON. THE UNDERSIGNED PROFESSIONAL SHALL BE GRANTED ACCESS TO REVIEW SAID CONDITION, AND/OR RENDER THE DESIGN SHOWN HEREON TO THE APPROPRIATE MUNICIPAL, COUNTY OR STATE OFFICIAL'S AND/OR UNDERSIGNED PROFESSIONAL SATISFACTION.
- 15. STRUCTURAL / GEOTECHNICAL ENGINEER TO PROVIDE PLANS AND CALCULATIONS FOR ALL STRUCTURES AND FOUNDATIONS AS SHOWN ON THIS PLAN. THIS PLAN DOES NOT INCLUDE BUILDING CALCULATIONS EITHER STRUCTURAL OR GEOTECHNICAL AND THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR SAME.
- 16. THE OWNER IS RESPONSIBLE FOR SITE SAFETY. THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21(E) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32(F) (OSHA COMPETENT PERSON).
- 17. THESE PLANS DEPICT VARIOUS IMPROVEMENTS TO BE LOCATED ON THE PROPERTY IN QUESTION. IT IS THE DEVELOPER'S RESPONSIBILITY TO ENSURE THAT SAID IMPROVEMENTS ARE STAKED OUT IN THE CORRECT LOCATIONS, BOTH HORIZONTALLY AND VERTICALLY, BY RETAINING A NEW JERSEY LICENSED LAND SURVEYOR. THE ENGINEER SHALL NOT BEAR ANY RESPONSIBILITY OR LIABILITY FOR THE CONSTRUCTION OF ANY PROPOSED IMPROVEMENTS, SPECIFICALLY IF BUILT IN LOCATIONS OTHER THAN THOSE DEPICTED, OR AT ELEVATIONS THAT DIFFER FROM THE PLAN.
- 18. UPON ISSUANCE OF CONSTRUCTION DOCUMENTS, IT IS EXPLICITLY UNDERSTOOD THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE PROSECUTION OF THE WORK, THE MEANS AND METHODS OF CONSTRUCTION, PROTECTION OF ADJACENT STRUCTURES OR PROPERTY, AND IS NOT TO BE HELD RESPONSIBLE FOR ANY DAMAGE WHATSOEVER TO ANY PROPERTY, INCLUDING OFFSITE LANDS, ASSOCIATED WITH CONSTRUCTION OF THE PROJECT.
- 19. EXISTING UTILITY INFORMATION IS BASED ON INFORMATION OF RECORD AND HAS BEEN GATHERED FROM NUMEROUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION AND REQUEST A MARKOUT BY CONTACTING N.J. ONE—CALL AT (800) 272—1000. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION

SIGNATURE BLOCKS

APPLICATION NO. ______ APPROVED
BY THE BOROUGH OF HIGHLANDS
BOARD OF ADJUSTMENT AS A MAJOR SITE PLAN
ON ______.

DATE

BOARD CHAIRMAN

BOARD SECRETARY

DATE	DESCRIPTION						
F	PRELIMINARY & FINAL MAJOR SITE PLAN 289 BAY AVENUE						
	COVER SHEET						

BLOCK 81, LOT 12 TAX MAP SHEET NO. 15 BOROUGH OF HIGHLANDS MONM

X MAP SHEET NO. 15 MONMOUTH COUNTY, NEW JERSEY



BOROUGH ENGINEER

11 South Main Street Marlboro, NJ 07746 Tel: 732.577.0180

MARE S. LEBER

N.J. PROFESSIONAL ENGINEER, LICENSE NO. 24GE04452400

N.J. PROFESSIONAL PLANNER, LICENSE NO. 33LI00589800

DATE:
12-30-21

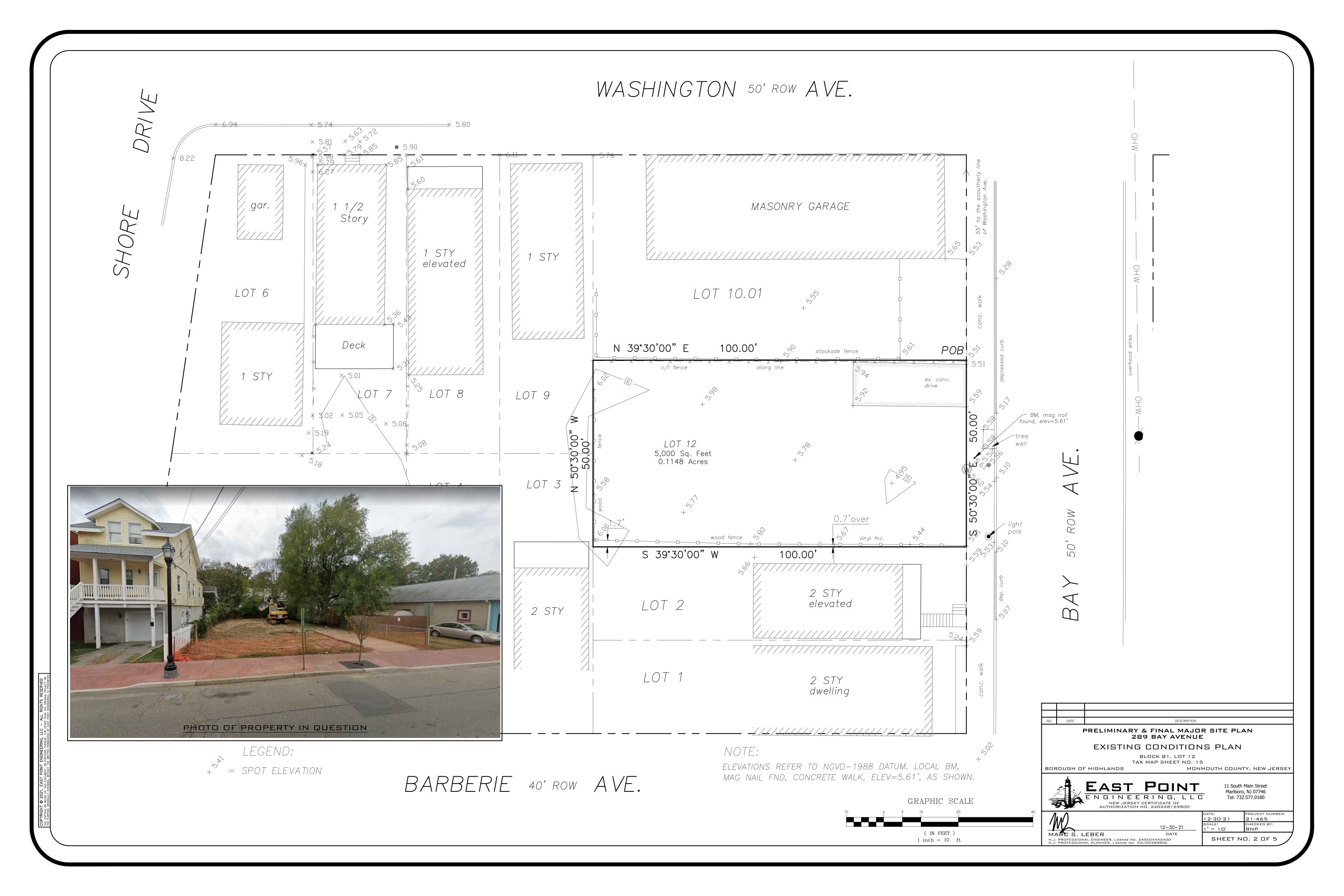
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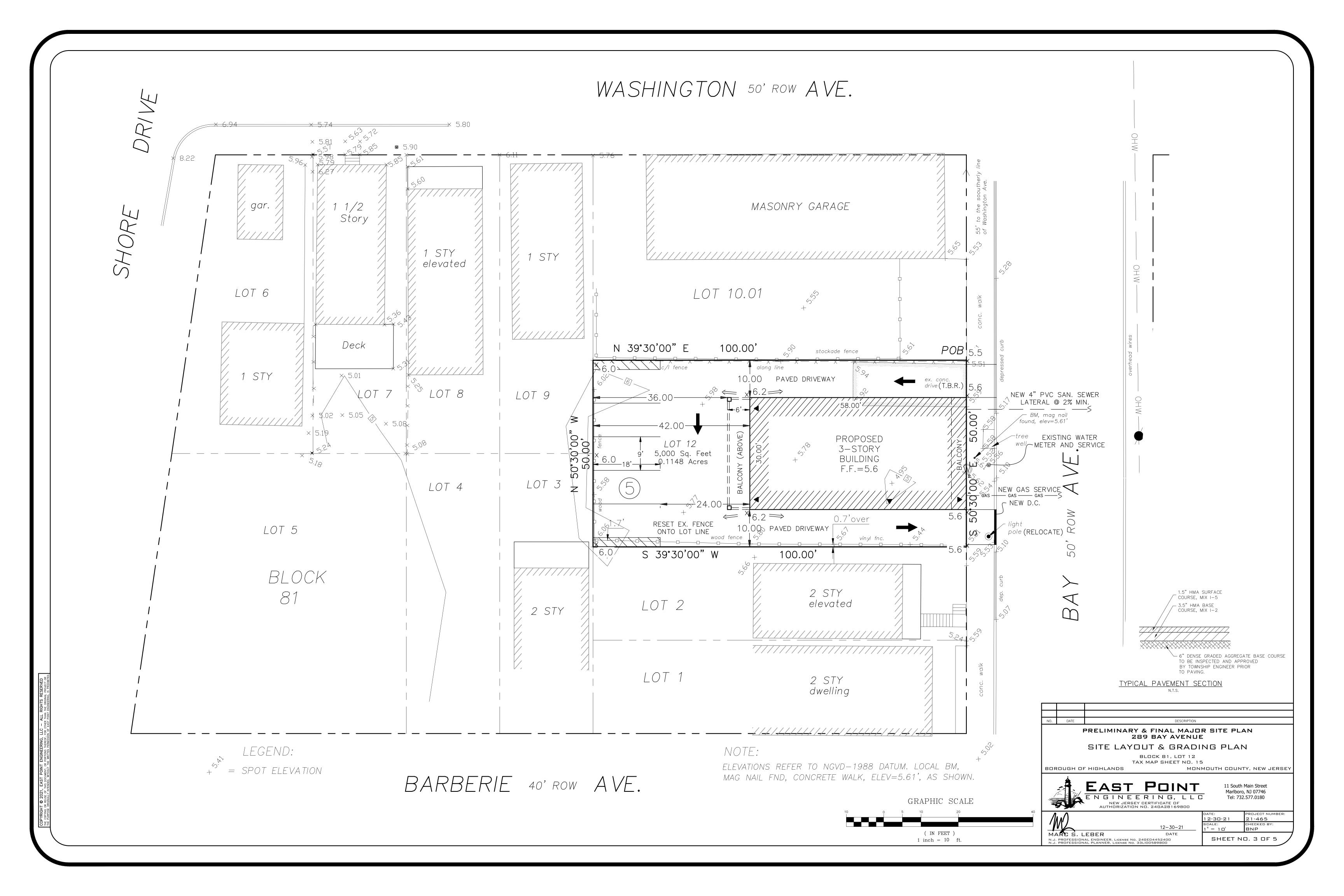
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SHEET NO. 1 OF 5

KIGHT & ZOZI, EAST FOUNT ENGINEERING, LLC — ALL KIGHT) KEEKTVED. PYNIG OR REUSE OF THIS DOCUMENT, OR POPRIONS THEREOF, FOR OTHER THAN THE ORIGINAL PROJECT OR RPOSE ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF EAST POINT ENGINEERING, IS PROHIBITED.





PROVISIONS FOR STABILIZATION AND SITE WORK.

TEN (10) DAYS AFTER FINAL GRADING.

2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.

3. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.

4. N.J.S.A. 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY AND A REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING

5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED FOR MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 21/2 TONS PER ACRE, ACCORDING TO STATE STANDARD FOR STABILIZATION WITH MULCH ONLY.

6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.

7. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF PRELIMINARY GRADING.

8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF ONE INCH TO TWO INCH (1" - 2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.

9. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO THE PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY.

10. PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN

11. AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE

12. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE, (OR 450 LBS/SQ FT OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A PH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PLANTED.

13. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.

14. UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.

15. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.

16. STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5,000 SQUARE

17. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.

18. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF

SEEDING SCHEDULE - ZONE 6B

(rev. 2014)

SITE AND SEEDBED PREPARATION: TO BE PERFORMED IN ACCORDANCE WITH CHAPTERS 4-1, 7-1 AND 8-1 F THE 2014 STANDARDS FOR SOIL EROSION & SEDIMENT CONTROL IN NEW JERSEY.

1. TEMPORARY GRASS SEEDING SHALL CONSIST OF SPRING OATS APPLIED AT A RATE OF 2.0 LBS. PER 1,000 S.F. OPTIMUM SEEDING DATES ARE BETWEEN AUGUST 15 AND OCTOBER 15. AN ALTERNATIVE TEMPORARY GRASS SEEDING SHALL CONSIST OF WINTER CEREAL RYE APPLIED AT A RATE OF 2.8 LBS. PER 1,000 S.F. OPTIMUM SEEDING DATES ARE BETWEEN AUGUST 1 AND DECEMBER

TEMPORARY SEEDING SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING. IF ANY SERIOUS EROSION PROBLEM OCCURS, THE ERODED AREAS SHALL BE REPAIRED AND STABILIZED WITH A MULCH AS INDICATED IN NOTE 6.

PERMANENT SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE AS APPROVED BY THE FREEHOLD SOIL CONSERVATION DISTRICT:

USDA PLANT HARDINESS ZONE 6b, TABLE 4-3

ACCEPTABLE SEEDING DATES ARE BETWEEN MARCH 1 AND APRIL 30 ACCEPTABLE SEEDING DATES ARE BETWEEN MAY 1 AND AUGUST 14 (IF IRRIGATION PRESENT)

OPTIMUM SEEDING DATES ARE BETWEEN AUGUST 15 AND OCTOBER 15

58% HARD FESCUE (135 LBS/ACRE)

19% CHEWINGS FESCUE (45 LBS/ACRE) 19% STRONG CREEPING RED FESCUE (45 LBS/ACRE)

4% PERENNIAL RYE GRASS (10 LBS/ACRE)

*APPLY AT A SEEDING RATE OF 230 LBS/ACRE OR 5.25 LBS/1000 S.F. PERMANENT SEEDING TO BE APPLIED BY HYDROSEEDING AT A RATE OF 160 LBS. PER ACRE, SLOPED AREAS TO BE COVERED WITH MULCH AS INDICATED IN NOTE 6.

FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE 10-10-10 (OR EQUIVALENT) APPLIED AT A RATE OF 500 LBS. PER ACRE OR 11 LBS. PER 1,000 S.F. WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES.

IF THE TIME OF YEAR PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREA TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE 6.

MULCH TO CONSIST OF SMALL GRAIN STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER OR AN APPROVED EQUAL.

ALL SEEDED AREAS SHALL BE MULCHED IN ACCORDANCE WITH THE MULCH AND MULCH ANCHORING

WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING

SPECIFICATIONS ON THIS SHEET. OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM. FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.

REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS OR OTHER UNSUITABLE MATERIAL.

10. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.

STANDARDS FOR TOPSOILING

B. STRIPPING AND STOCKPILING

A. MATERIALS 1. Topsoil should be friable, loamy, free of debris, objectionable weeds and stones, and contain no toxic substance or adverse chemical or physical condition that may be harmful to plant growth. Soluble salts should not be excessive (conductivity less than 0.5 millimhos per centimeter. More than 0.5 millimhos may desicate seedlings

and adversely impact growth). Topsoil hauled in from offsite should have a minimum organic matter content of 2.75 percent. Organic matter content may be raised by additives.

2. Topsoil substitute is a soil material which may have been amended with sand, silt, clay, organic matter, fertilizer or lime and has the appearance of topsoil. Topsoil substitutes may be utilized on sites with insufficient topsoil for establishing permanent vegetation. All topsoil substitute materials shall meet the requirements of topsoil noted above. Soil tests shall be performed to determine the components of sand, silt, clay, organic matter, soluble salts and pH level.

1. Field exploration should be made to determine whether quantity and or quality of

surface soil justifies stripping. 2. Stripping should be confined to the immediate construction area.

3. Where feasible, lime may be applied before stripping at a rate determined by soil tests to bring the soil pH to approximately 6.5. In lieu of soil tests, see lime rate guide in seedbed preparation for Permanent Vegetative Cover for Soil Stabilization,

CANNOT BE SEEN BELOW THE MULCH.

SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR

STRAW TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE

UTILIZING PEG AND TWINE, MULCH NETTINGS, OR CRIMPER MULCH ANCHORING COUTLER TOOL IN ACCORDANCE WITH CHAPTER 5-1 OF

THE STANDARDS FOR SOIL EROSION & SEDIMENT CONTROL IN NEW

MULCH ANCHORING

4. A 4-6 inch stripping depth is common, but may vary depending on the particular

5. Stockpiles of topsoil should be situated so as not to obstruct natural drainage or cause off—site environmental damage.

6. Stockpiles should be vegetated in accordance with standards previously described herein; see standards for Permanent (Chapter 4—1) or Temporary (Chapter 7—1) Vegetative Cover for Soil Stabilization. Weeds should not be allowed to grow on stockpiles.

C. <u>SITE PREPARATION</u>

1. Grade at the onset of the optimal seeding period so as to minimize the duration and area of exposure of disturbed soil to erosion. Immediately proceed to establish vegetative cover in accordance with the specified seed mixture. Time is of the essence.

2. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application and anchoring, and maintenance. See the Standard for Land Grading, Chapter 19-1.

3. As guidance for ideal conditions, subsoil should be tested for lime requirement. Limestone, if needed, should be applied to bring soil to a pH of approximately 6.5 and incorporated into the soil as nearly as practical to a

4. Immediately prior to topsoiling, the surface should be scarified 6" to 12" where there has been soil compaction. This will help insure a good bond between the topsoil and subsoil. This practice is permissible only where there is no danger to underground utilities (cables, irrigation systems, etc.).

5. Employ needed erosion control practices such as diversions, grade stabilization structures, channel stabilization measures, sedimentation basins, and waterways. See Standards 11 through 42.

1. Topsoil should be handled only when it is dry enough to work without damaging soil structure; i.e., less than field capacity (see glossary).

2. A uniform application to a depth of 5 inches (unsettled) is recommended. Soils with a pH of 4.0 or less or containing iron sulfide shall be covered with

a minimum depth of 12 inches of soil having a pH of 5.0 or more, in accordance with the Standard for Management of High Acid Producing Soil (Chapter 1−1).

STANDARDS FOR SEEDBED PREPARATION

(rev. 2014)

A. <u>SITE PREPARATION</u>

1. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standard for Land Grading.

2. Immediately prior to seeding and topsoil application, the subsoil shall be evaluated for compaction in accordance with the Standard for Land Grading.

3. Topsoil should be handled only when it is dry enough to work without damaging the soil structure. A uniform application to a depth of 5 inches (unsettled) is required on all sites. Topsoil shall be amended with organic matter, as needed, in accordance with the Standard for Topsoiling.

4. Install needed erosion control practices or facilities such as diversions, grade—stabilization structures, channel stabilization measures, sediment basins, and waterways.

B. <u>SEEDBED PREPARATION</u>

1. Uniformly apply ground limestone and fertilizer to topsoil which has been spread and firmed, according to soil test recommendations such as offered by Rutgers Co-operative Extension Soil sample mailers are available from the local Rutgers Cooperative Extension offices

(http://njaes.rutgers.edu/county/). Fertilizer shall be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-10-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise and incorporated into the surface 4 inches. If fertilizer is not incorporated, apply one-half the rate described above during seedbed preparation and repeat another one-half rate application of the same fertilizer within 3 to 5 weeks after seeding.

2. Work lime and fertilizer into the topsoil as nearly as practical to a depth of 4 inches with a disc, spring-tooth harrow, or other suitable equipment. The final harrowing or disking operation should be on the general contour. Continue tillage until a reasonable uniform seedbed is prepared.

3. High acid producing soil. Soils having a pH of 4 or less or containing iron sulfide shall be covered with a minimum of 12 inches of soil having a pH of 5 or more before initiating seedbed reparation. See Standard for Management of High Acid-Producing Soils for specific requirements.

> 1-1/2" TO 2-1/2" CLEAN STONE-AROUND ENTIRE PERIMETER

> > WIRE PROTECTION -

TO GRATE (TYP.)

PROVIDE WEIR FOR

DIAMETER PERFORATIONS

EXTERIOR PLYWOOD

2"x6" LUMBER OR 3/4"-

INLET FRAME-

The state of the s

1. Protecting Trees from Construction Damage- A Homeowners Guide, Gary R. Johnson, University Of Minnesota Extension Service, Saint Paul, MN,

ROOT PROTECTION DURING CONSTRUCTION GUIDE

(CRR)

-HINGE OR CORNER BRACE (TYP.)

NOTE: SILT TO BE REMOVED FROM AROUND INLET PERIODICALLY THROUGHOUT CONSTRUCTION

Critical root radius

TOP OF CURB-

SECTION

Estimate a tree's Protected Root Zone (PRZ) by calculating the

1. Measure the dbh (diameter of

tree at breast height, 4.5 feet

above ground on the uphill side of

2. Multiply measured dbh by 1.5 or 1.0. Express the result in feet.

Dbh x 1.5: Critical root radius for older, unhealthy, or sensitive

Dbh x 1.0: Critical root radius for younger, healthy or tolerant

Root Zone

(PRZ)

Critical Root Radius (crr).

INLET PROTECTION SHALL SAFELY FILTER OUT SEDIMENT

FROM THE 1 YEAR, 24—HOUR DESIGN STORM. THE STORM SEWER SYSTEM SHALL SAFELY CONVEY ALL FLOWS UP TO AND INCLUDING THE 25 YEAR DESIGN

. INLET PROTECTION SHALL BE INSPECTED PERIODICALLY THROUGHOUT CONSTRUCTION AND AFTER ALL STORM

3. FOR TYPE "A" AND "E" INLETS, PROVIDE SECOND WEIR PANEL ALONG FOURTH EDGE.

EVENTS. ACCUMULATED SILT SHALL BE REMOVED FROM

GROUND ~ - FULL WIDTH OF CARTWAY PLAN VIEW —R.O.W.— ---EXIST. GROUND LFILTER FABRIC └─6" OF STONE (SEE NOTE 2) <u>PROFILE</u> PROVIDE APPROPRIATE TRANSITION BETWEEN

1. PLACE STABILIZED CONSTRUCTION ENTRANCE AT LOCATION(S) AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.

2. STONE SIZE SHALL BE ASTM C-33, SIZE NO.2 OR 3, CRUSHED

3. THE THICKNESS OF THE STAB. CONST. ENT. SHALL NOT BE LESS

4. THE WIDTH AT THE EXIST. PAVEMENT SHALL NOT BE LESS THAN THE FULL WIDTH OF POINTS OF INGRESS AND EGRESS.

5. THE STAB. CONST. ENT. SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE R.O.W./PAVEMENT. THIS REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED

6. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO THE PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.

TO TRAP SEDIMENT.

Table 29-1: Lengths of Construction Exits on Sloping Roadbeds

Percent Slope of Roadway	Length of Stone Required				
	Coarse Grained Soils	Fine Grained Soils			
0 to 2%	50 ft	100 ft			
2 to 5%	100 ft	200 ft			
>5%	Entire surface stabilized with FABC base course				

STABILIZED CONSTRUCTION ENTRANCE

N.T.S.

CONSTRUCTION SCHEDULE AND PROCEDURE FOR IMPLEMENTATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES

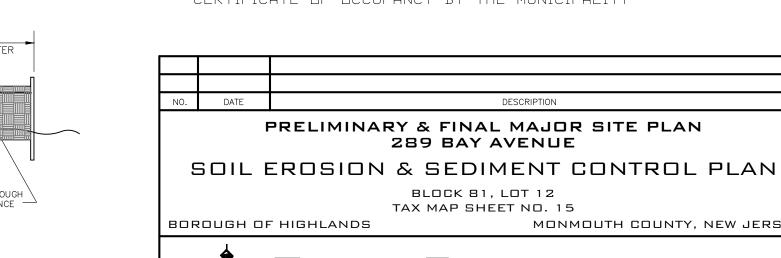
1. INSTALL SILT FENCE. 1 DAY 2. INSTALL CONSTRUCTION ENTRANCE. 3. STRIP AND STORE TOPSOIL IN STOCKPILE AND STABILIZE STOCKPILE. 2 DAYS 4. CLEAR AND ESTABLISH ROUGH GRADES AS NECESSARY TO CONSTRUCT 2 WEEKS BUILDING FOUNDATION AND PARKING AREAS. 5. CONSTRUCT FOUNDATION AND BUILDING. 9-12 MONTHS 6. CONSTUCT UTILITIES AND DRIVEWAYS. 2 WEEKS 7. CONSTRUCT FINE GRADING TO FINISHED GRADES AND 2 WEEKS ESTABLISH PERMANENT VEGETATIVE COVER ON LOT. 8. REMOVE SILT FENCE AFTER ALL DISTURBED AREAS HAVE BEEN 1 DAY ADEQUATELY STABILIZED.

DUST CONTROL NOTES

TO PREVENT BLOWING AND THE MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, CONSTRUCTION ACTIVITIES, AND TO REDUCE ON-SITE AND OFF-SITE DAMAGE AND HEALTH HAZARDS, DUST CONTROL MEASURES SHALL BE ENACTED ON THE PROJECT SITE.

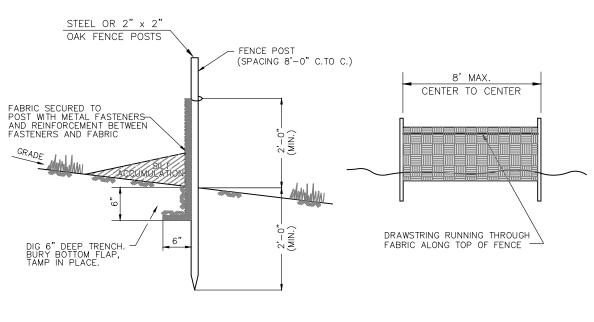
DURING CONSTUCTION, THE CONTRACTOR WILL BE REQUIRED TO PROVIDE REMEDIATION TO CONTROL PARTICLES AND DUST THAT WILL ENTER INTO THE AIR DURING THE REMOVAL OFF THE ON-SITE STRUCTURES. THESE PROCEDURES MAY INVOLVE COATING THE DEBRIS WITH WATER OR ANOTHER SPRAY-ON ADHESIVE.

NOTE: IN THAT N.J.S.A. 4:24-39 et seq. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES, ALL SITE WORK WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY



NOTE: SYNTHETIC FILTER FABRIC SHALL BE FIRMLY ATTACHED TO UPHILL SIDE OF FENCE POSTS. OPEN

SILT FENCE DETAIL



AREA SHALL BE GREATER THAN 4% BUT LESS THAN 10% MEETING U.S. ARMY CORPS. OF ENGINEERS SPECIFICATION NO. CW02215 FOR STRENGTH.

11 South Main Street Marlboro, NJ 07746 ENGINEERING, LLC Tel: 732.577.0180 NEW JERSEY CERTIFICATE OF AUTHORIZATION NO. 24GA28169800 21-465 12-30-21 BNP MARC S. LEBER DATE SHEET NO. 4 OF 5

PRELIMINARY & FINAL MAJOR SITE PLAN

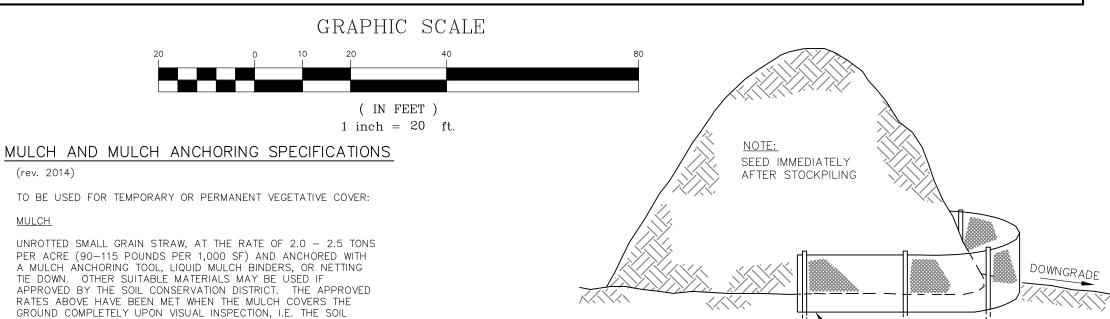
289 BAY AVENUE

BLOCK 81, LOT 12 TAX MAP SHEET NO. 15

MONMOUTH COUNTY, NEW JERSEY

MASONRY GARAGE ory 1 STY elevated LOT 10.01 - PROPOSED PROPOSED LIMIT OF ----SILT FENCE DISTURBANCE (5,500 S.F.) PROPOSED TEMP N 39°30'00" E stockade fence CONSTR. ENTRANCE LOT 7 LOT 8 LOT 9 LATERAL @ 2% MIN. − BM. maa nail Well METER AND SERVICE 0.1148 Acres F.F. = 5.6LOT 3 LOT 4 C NEW D.C. PAVED DRIVEWAY (RELOCATE) S 39°30′00″ W 2 STY LOT 2 elevated 2 STY LOT 1 2 STY dwellina ELEVATIONS REFER TO NGVD-1988 DATUM. LOCAL BM, MAG NAIL FND, CONCRETE WALK, ELEV=5.61', AS SHOWN. BARBERIE 40' ROW AVE.

WASHINGTON 50' ROW AVE.

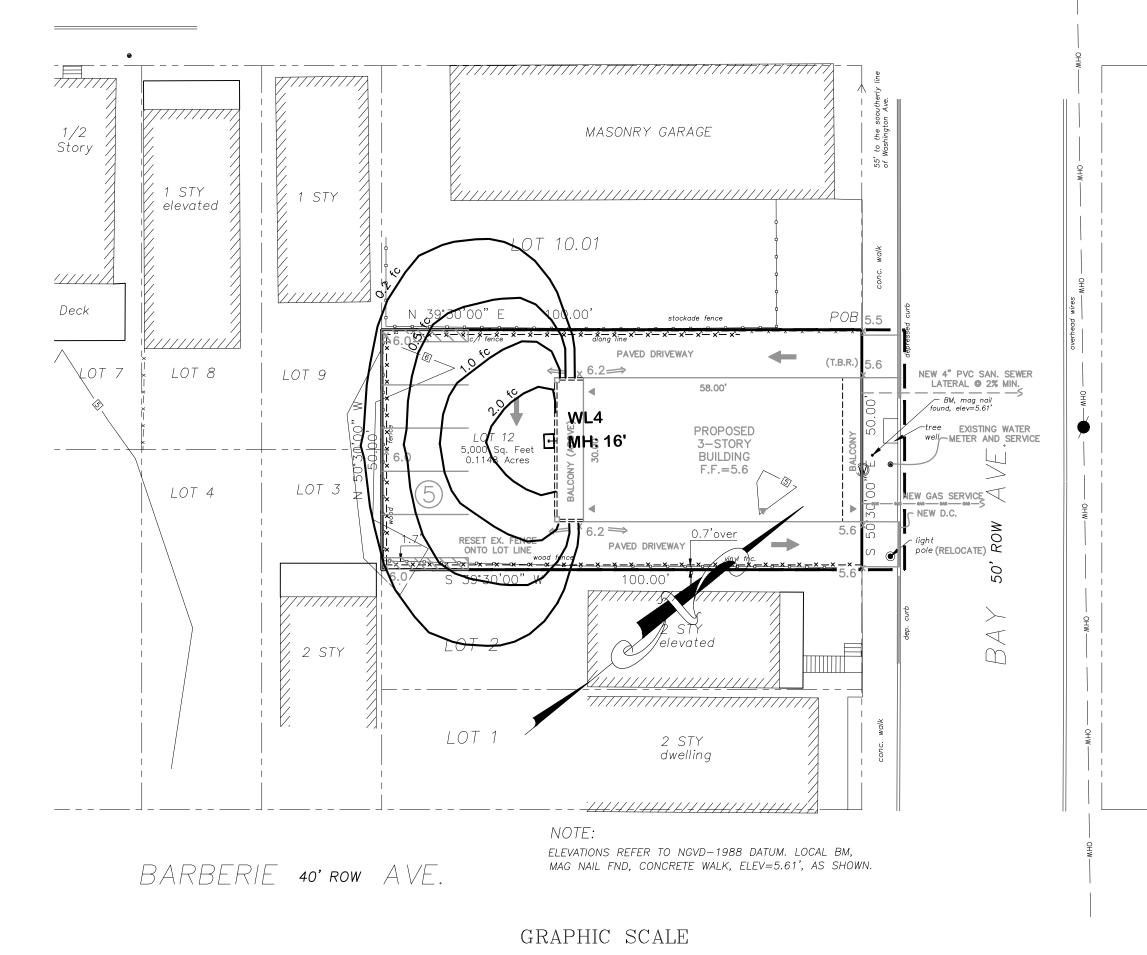


DETAIL <u>TYPICAL TOPSOIL STOCKPILE</u>

N.T.S.

- SILT FENCE (SEE DETAIL)







a compact, architectural design. This powerful and precise combination offers

outstanding energy savings with excellent photometric performance. LPW16 is ideal for entryways and corridors in addition to wall lighting applications

requiring strong lateral spacing and forward pattern projection.

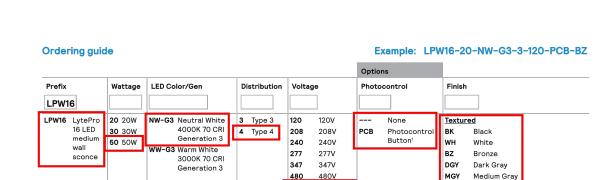
Stonco LytePro LED medium wall sconce LPW16 features outstanding value in



RAL Specify optional color or RAL (ex: OC-LGP or OC-RAL7024) CC Custom color (Must supply color chip for required factory quote)

UPC Code

622252813872



Stocked luminaires - Ordering guide Catalog Number Description Master Pack, Qty

LPW16-G3-8-BZ LPW16, 30W, 650mA, 4000K, Type 3, 120-277V, Bronze textured paint

LPW16-G3-8-DGY LPW16, 30W, 650mA, 4000K, Type 3, 120-277V, Dark gray textured paint 622252813865 Stocked accessories - Ordering guide (Must be ordered separately) Catalog Number Description Master Pack, Qty UPC Code LPWCVRPLT-BZ² LPW Universal wall cover mounting plate, Bronze textured paint

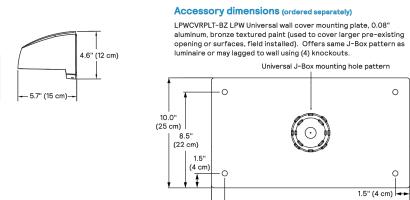
¹ Must specify voltage. Not available in 347V or 480V.

LPW16_LytePro_sconce 06/19 page 1 of 3



LPW16 LytePro LED medium wall sconce

Luminaire weight: 6lbs (2.7 kg)



		LED		Average	Type 3			Type 4		
Ordering Code	Total LEDs	Current (mA)	Color Temp.	System Watts	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
LPW-16-20-NW-G3	16	400	4000	22.3	2,316	B1-U0-G1	104	2,242	B1-U0-G1	101
LPW-16-30-NW-G3	16	650	4000	34.3	3,474	B1-U0-G1	101	3,364	B1-U0-G1	98
LPW-16-50-NW-G3	16	900	4000	48.0	4,629	B1-U0-G1	96	4,482	B1-U0-G1	93
LPW-16-20-WW-G3	16	400	3000	22.3	2,132	B1-U0-G0	96	2,065	B1-U0-G1	93
LPW-16-30-WW-G3	16	650	3000	34.3	3,200	B1-U0-G1	93	3,098	B1-U0-G1	90
LPW-16-50-WW-G3	16	900	3000	47.5	4,263	B1-U0-G1	90	4,128	B1-U0-G1	87

 $NOTE: Some\ data\ may\ be\ scaled\ based\ on\ tests\ of\ similar\ (but\ not\ identical)\ luminaires.\ Contact\ factory\ for\ configurations\ not\ shown.$ Predicted lumen depreciation data Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions. L₇₀ is the predicted time when LED performance depreciates to 70% of initial lumen output. Calculated per IESNA TM21-11. Published L₇₀ hours limited to 6 times actual LED test hours

Ambient Temperature °C Calculated L₇₀ Hours L₇₀ per TM-21 Lumen Maintenance % at 60,000 hrs

>200,000 hours >54,000 hours >96% Optical distributions Based on LPW16-30-NW-G3 at 15' mounting height 3 MH

2 MH	0,2 fc 0,5 fc 1 fc 2 fc			2 MH 1 MH	0,5 fc		
4 MH 3 MH 2 MH 1 MH	H 0	1 MH 2 MH	H 3MH 4MH		MH 0	1 MH 2 MH	3 MH
_PW16 15' mounting height				LPW16 15' mounting height			
_PW16 15' mounting height	10 ft	12 ft	15 ft	LPW16 15' mounting height Mounting height	10 ft	12 ft	15 ft
	10 ft 1.57	12 ft 1.34	15 ft 1.00		10 ft 1.46	12 ft 1.27	15 ft 0.87

LPW16 LytePro

LED medium wall sconce

IP Rating General Description LytePro LED medium wall sconce LPW16 combines Optical compartment is IP65 rated. LytePro LED medium wall sconce LPWI6 combines
excellent performance, design and value to meet
the needs of the energy and budget conscious.
The LPWI6 is available for use in downward facing,
surface wall mount applications, over recessed
j-boxes or where power can be directly fed
through back surface, whereby connections
splices can be made inside the luminaire housing.
Two SKU's are available as in-stock configurations
only (2-day quick ship).

Optical compartment is IP65 rated.

Product is of
Locations. Si
Consortium
Standard color temp is 4000K or 3000K +/- 250K.
minimum 70 CRI.

Electrical

Driver efficiency (>90% standard). 120-277V and

1.5" (4 cm)

—— 16.5" (42 cm) ———

347-480V available. All drivers are dimmable. Temp range: -40°C (-40°F) to 40°C (104°F). Housing
Die-cast housing houses both the LED and driver assemblies. Design incorporates an integrated heat sink to maximize thermal performance and reliability. Backplate is corrosion free, composite polycarbonate, with built-in level bubble, offers integral interlocking hook and mount design for easy installation.

Mounting

Easy interlocking hook and mount housing/
beliefet design for seasy installation.

Temp range: -40°C (-40°F) to 40°C (104°F). Open/short circuit protection. Inherent surge protection up to (6KVA). RoNBs compliant.

Surge protection (SP1): Surge protection device tested in accordance with ANSI/IEEE C62.45 per ANSI/IEEE C62.41.2 Scenario I Category C
High Exposure 10kV/10kA waveforms for LineGround, Line-Neutral and Neutral-Ground, and in accordance with DOE MSSLC Model Specification for LED Roadway Luminaires Appendix D Electrical Immunity High test level 10kV/10kA.

1 inch = 20 ft.

Easy interlocking hook and mount housing/ Easy Interlocking nook and mount nousing/ backplate design for easy installation. Mounts over 3.5", 4" octagonal j-boxes and single gang switch boxes or can be directly lagged to surface. Ensure proper steps for gasket/sealing luminaire to surface.

Product is cETLus listed suitable for Wet Locations. Suitable for use in ambients from -40°C to 40°C (-40°F to 104°F). DesignLights Consortium® qualified. Electrical

Driver efficiency (>90% standard). 120-277V and 347-480V available. All drivers are dimmable.

Each luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) textured polyester powdercoat finish.

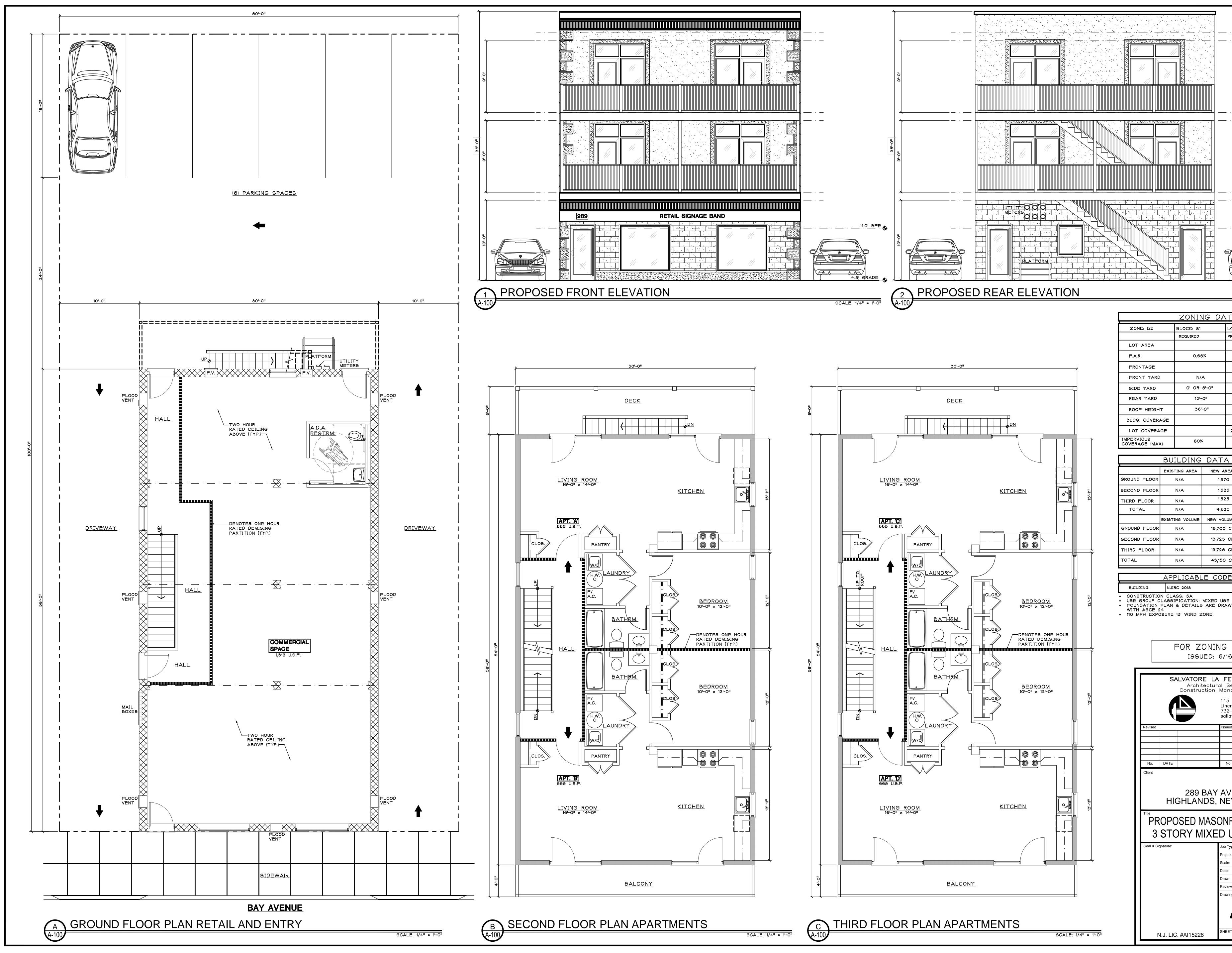
Luminai	Luminaire Data - DB Lighting Consultation									
Label	Qty	Symbol	Manufacture	Description	LLF	Arr. Watts	Arr. Lum. Lumens			
WL4	1	Ð	STONCO / KEENE	LPW-16-50-NW-G3-4 (MOUNT. HT. 16.0')	0.850	47.9	4483			

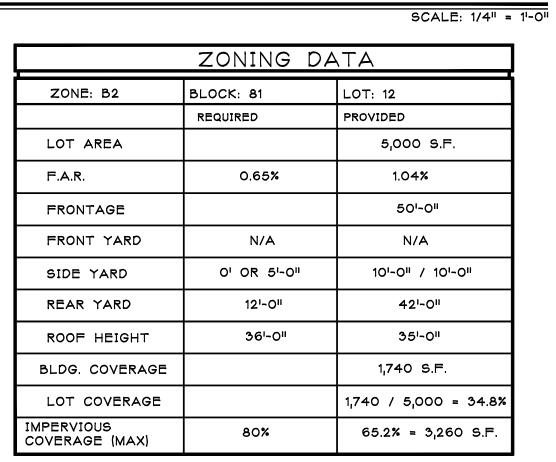


NO.	DATE		DESCRIPTION						
	ı		Y & FINAL MAJI 289 BAY AVENL		AN				
	LIGHTING PLAN								
		ר	BLOCK 81, LOT 12 FAX MAP SHEET NO.	1 5					
BOF	ROUGH OF	HIGHLANDS	МП	NWONTH CONV	TY, NEW JERSE				
		ENGINE NEW JERS	POINT ERING, LL EY CERTIFICATE OF IN NO. 24GA28169800	Maribor	n Main Street o, NJ 07746 2.577.0180				
<i></i>	14/)			DATE: 1 2-30-21	PROJECT NUMBER: 21-465				
<u> </u>			12-30-21	SCALE: 1" = 20'	CHECKED BY: BNP				
MA	RCS. L	EBER	DATE	CHEET					

N.J. PROFESSIONAL ENGINEER, LICENSE NO. 24GE04452400 N.J. PROFESSIONAL PLANNER, LICENSE NO. 33L100589800

SHEET NO. 5 OF 5

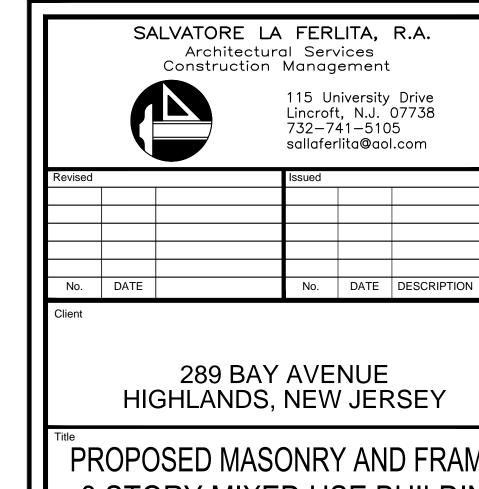




L	DOILDING	DATA	
	EXISTING AREA	NEW AREA	TOTAL AREA
GROUND FLOOR	N/A	1,570	1,570
SECOND FLOOR	N/A	1,525	1,525
THIRD FLOOR	N/A	1,525	1,525
TOTAL	N/A	4,620	4,620
	EXISTING VOLUME	NEW VOLUME	TOTAL VOLUME
GROUND FLOOR	N/A	15,700 CF	15,700 CF
SECOND FLOOR	N/A	13,725 CF	13,725 CF
THIRD FLOOR	N/A	13,725 CF	13,725 CF
TOTAL	N/A	43,150 CF	43,150 CF
	APPLICABL	LE CODES	

USE GROUP CLASSIFICATION: MIXED USE B/R
FOUNDATION PLAN & DETAILS ARE DRAWN IN ACCORDANCE

FOR ZONING REVIEW ISSUED: 6/16/2021

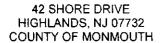


PROPOSED MASONRY AND FRAME 3 STORY MIXED USE BUILDING

AS NOTED A-100

BOROUGH OF HIGHLANDS, N. J.

INCORPORATED 1900



732-872-1224 PH 732-872-0670 FX

WWW.HIGHLANDSBOROUGH.ORG



CAROLYN BROULLON MAYOR

MICHAEL MUSCILLO ADMINISTRATOR

MICHELLE HUTCHINSON ACTING BOROUGH CLERK

August 27, 2021

Arjika Properties

Sent via email

RE:

DP#2021-67 289 Bay Avenue Block 81, Lot 12

Please be advised that the above referenced application to construct a mixed use (retail/residential), 3-story, 4,620 s.f. building has been reviewed for compliance with the Borough of Highlands Zoning Ordinance. The property is located in the B-2 (Central Business District) zone.

The following approvals will be necessary:

#21-97L1

Use "d" variance

#21-55

Major site plan approval

#21-91A4

Lot coverage: 80% is permitted, 100% is proposed

Maximum Floor area ratio: 65% is permitted, 99% is proposed

Six off street spaces are proposed. The applicant must provide a parking analysis.

To proceed with an application/appeal of this decision to the Land Use Board, please contact the Michelle Hutchinson, Board Secretary. Should you have any questions, feel free to contact me at 732-615-2278.

Zoning Officer

C:

Land Use Board

April 5, 2022 Via Email

Nancy Tran, Land Use Board Secretary Borough of Highlands Land Use Board 42 Shore Drive Highlands, New Jersey 07732

Re: Arjika Properties, Inc.
289 Bay Avenue
Block 81, Lot 12
Review of Preliminary Site Plan Requirements (completeness)
CBD Zone

Dear Ms. Tran:

As requested, we have reviewed the above-referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations section entitled Part 3, Subdivision and Site Plan Review, Article VI, Application Procedure, and Article VIII, Plat and Plan Details, section 21-58.E – Preliminary Site Plan.

The applicant submitted the following documents in support of this application:

- 1. Land Use Board Application, dated February 22, 2022.
- 2. Zoning Denial, dated August 27, 2021.
- 3. One (1) Preliminary and Final Major Site Plan prepared by Marc S. Leber, P.E., of East Point Engineering, LLC, dated, December 30, 2021, consisting of one (1) sheet.
- 4. One (1) Architectural Plan prepared Salvatore La Ferlita, R.A., dated June 16, 2021, consisting of three (3) sheets.

The following information was reviewed for completeness purposes pursuant to Ordinance Section 21-58.E:

Preliminary Site Plan: The preliminary site plan shall be drawn at a scale of not more than one hundred (100) feet to the inch and shall include such details as may be necessary to properly evaluate the application and determine compliance with this chapter. The site plan shall be drawn by a licensed New Jersey professional engineer and land surveyor and, where applicable to the proposed use or construction, the following information shall be clearly shown:

- 1. Date, name, location of site, name of owner, scale and reference meridian. **Provided**.
- 2. Area of the lot and all lot line dimensions and bearings. **Provided.**
- 3. The location of all existing watercourses, wooded areas, easements, rights-of-way, streets, roads, highways, rivers, buildings, structures and any other feature on the property and within seventy-five (75) feet of the property line. **Provided.**
- 4. Location, use and ground floor area of all existing and proposed buildings, with the building setback, side line and rear yard distance. **Provided.**
- 5. Elevations at the corners of all proposed buildings and paved areas and at property corners if new buildings or paved areas are proposed. **Provided.**



Re: Arjika Properties, Inc.
289 Bay Avenue
Block 81, Lot 12
Review of Preliminary Site Plan Requirements (completeness)
CBD Zone

- 6. The location and widths of existing and proposed streets servicing the site plan. **Provided.** (50' ROW shown).
- 7. Specifications for and location of proposed surface paving and curbing. **Partially provided. Details for paving and curbing shall be added to the site plans.**
- 8. Location of all structures within seventy-five (75) feet of the property. **Provided.**
- 9. Location of off-street parking areas, with dimensions, showing proposed parking and loading spaces, with dimensions, width of proposed access drives and aisles and traffic circulation. **Provided.**
- 10. Stormwater management and sanitary sewer reports, including proposed storm drainage and sanitary disposal facilities; specifically, the location, type and size of all existing and proposed catch basins, storm drainage facilities, utilities, plus all required design data supporting the adequacy of the existing or proposed facilities to handle future storm flows. Not provided. Applicant shall provide prior to public hearing.
- 11. Existing and proposed contours of the property and for seventy-five (75) feet outside the property at one (1) foot intervals when new buildings or parking areas are proposed. Spot elevations for any development in a flood hazard area. **Provided.**
- 12. The location and treatment of proposed entrances and exits to public rights-of-way, including the possible utilization of traffic signals, channelization, acceleration and deceleration lanes, additional widths and any other devices necessary to traffic safety and/or convenience. **Provided.**
- 13. The location and identification of proposed open space, parks or other recreation areas. **Not applicable.**
- 14. The location and design of landscaping, buffer areas and screening areas showing size, species and spacing of trees and plants and treatment of unpaved areas. **Not provided.**
- 15. The location of sidewalks, walkways, traffic islands and all other areas proposed to be devoted to pedestrian use. **Provided.**
- 16. The nature and location of public and private utilities, including maintenance and solid waste disposal, recycling and/or storage facilities. **Provided.**
- 17. Specific location and design of traffic control devices, signs and lighting fixtures. The Board may require of the applicant expert testimony concerning the adequacy of proposed traffic control devices, signs and lighting fixtures. **Provided.**
- 18. Preliminary architectural plans for the proposed buildings or structures, indicating typical floor plans, elevations, heights and general design or architectural styling. **Provided.**
- 19. The present and past status and use and contemplated use of the property and all existing buildings on the property. A cleanup plan where such is necessary because of the past or present use of the site. **Not applicable.**
- 20. A soil erosion and sediment control plan is required. Said plan shall be submitted to the Soil Conservation District and approval of the application shall be conditioned upon certification of the soil erosion and sediment control plan by the District. **Provided.**
- 21. Soil borings, when required by the Board Engineer. **Not applicable.**
- 22. Certification statement for the required municipal signatures, stating: **Provided.**



Re: Arjika Properties, Inc. 289 Bay Avenue Block 81, Lot 12

Review of Preliminary Site Plan Requirements (completeness)

CBD Zone

0	Application NoBoard/Board of Adjustment	. 11	_	Borough	Planning
	Chairman		 		
	Secretary		 		

- 23. Certification statement for the County Planning Board approval / disapproval, if required. **Not provided. Bay Avenue is County Route 8; therefore, County Planning Board approval will be required.**
- 24. The Board may require any additional information which is reasonably necessary to ascertain compliance with the provisions of this chapter. **Continuing comment.**

At this point, adequate information has been provided for us to perform a technical review and fee calculation for the application. Therefore, at this time the application is deemed **COMPLETE**.

Should you have any questions or require any additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.

LAND USE BOARD ENGINEER

EWH:KJO:DV

cc: Michael Muscillo, Borough Administrator (via email)

Ron Cucchiaro, Esq., Land Use Board Attorney (via email)

Rob Knox, Land Use Board Chairman (via email)

Annemarie Tierney, Land Use Board Vice Chairman (via email)

Brad Batcha, Esq., Applicant's Attorney (brad@batchalaw.com)

Salvatore La Ferlita, Applicant's Architect, (Sallaferlita@aol.com)

Marc S. Leber, Applicant's Engineer, (mleber@eastpointeng.com)



HGPB-R1841 April 5, 2022

Michelle Hutchinson, Land Use Board Secretary Borough of Highlands Land Use Board 42 Shore Drive Highlands, New Jersey 07732

Re: Arjika Properties, Inc.

> 289 Bay Avenue **Block 81, Lot 12**

Review of Preliminary Site Plan, Fee and Escrow Calculation

CBD Zone

Dear Ms. Hutchinson:

As requested, we have reviewed the above-referenced site plan application. The applicant submitted the following documents in support of this application:

- 1. Land Use Board Application, dated February 22, 2022.
- 2. Zoning Denial, dated August 27, 2021.
- 3. One (1) Preliminary and Final Major Site Plan prepared by Marc S. Leber, P.E., of East Point Engineering, LLC, dated, December 30, 2021, consisting of one (1) sheet.
- 4. One (1) Architectural Plan prepared Salvatore La Ferlita, R.A., dated June 16, 2021, consisting of three (3) sheets.

Please note the following fee calculations:

1. Application fee: \$ 2,672.11

2. Escrow fee: \$ 5.344.22

We have commenced our technical review and expect to issue that this week.

If you have any questions or require additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.

LAND USE BOARD ENGINEER

EWH:KJO:DV

Enclosure



Re: Arjika Properties, Inc.

289 Bay Avenue Block 81, Lot 12

Review of Preliminary Site Plan, Fee and Escrow Calculation

CBD Zone

cc: Michael Muscillo, Borough Administrator (via email)

Ron Cucchiaro, Esq., Land Use Board Attorney (via email)

Rob Knox, Land Use Board Chairman (via email)

Annemarie Tierney, Land Use Board Vice Chairman (via email) Brad Batcha, Esq., Applicant's Attorney (brad@batchalaw.com) Salvatore La Ferlita, Applicant's Architect, (Sallaferlita@aol.com) Marc S. Leber, Applicant's Engineer, (mleber@eastpointeng.com)

\\tandmassociates.local\Public\Projects\HGPB\R1841\Correspondence\R1841_EWH_MH_Arjika_289 Bay Ave_B81_L12_Fee Letter.docx



HGPB-R1841

DETERMINATION OF FEES 289 Bay Avenue Block 81, Lot 12

Block 81, Lot 12					
A. APPLICATION FEES (Ord. 21-107)					
A. Variances					
3. Nonresidential "c" (max. lot coverage)	1	EA	\$	250.00	\$ 250.00
Nonresidential "c" (parking requirement)	1	EA	\$	250.00	\$ 250.00
4. Nonresidential "d" (exceeding floor area ratio)	1	EA	\$	500.00	\$ 500.00
B. Site Plans					
2. Major					
b. Preliminary approval (\$1,000+\$50/acre+\$20/floor area; or \$20/unit)	1	EA	\$	1,114.74	\$ 1,114.74
c. Final approval (1/2 preliminary fee)	1	EA	\$	557.37	\$ 557.37
B. ESCROW FEES (Ord. 21-108)					
B. Escrow Deposits (twice Application Fee; Minimum \$750)	1	LS	\$	5,344.22	\$ 5,344.22
		A	• •	on fees subtotal	2,672.11
			Esci	row fee subtotal	\$ 5,344.22
				Total	\$ 8,016.33

AFFIDAVIT OF PUBLICATION

Publisher's Fee \$37.84 Affidavit \$35.00

STATE OF WISCONSIN
Brown County
Personally appeared at County of Brown, State of Wisconsin.
Of the Asbury Park Press , newspaper printed in Freehold, New Jersey and published in Neptune, in State of New Jersey and Monmouth/Ocean Counties, and of general circulation in Monmouth/Ocean Counties who being duly sworn, deposeth and saith that the advertisement of which the annexed is a true copy, has been published in the said newspaper 1 times, once in each issue dated as follows:
07/03/2022 A.D 2022
Notary Public State of Wisconsin County of Brown
My commission expires My commission expires

NANCY HEYRMAN Notary Public State of Wisconsin Ad Number: 0005319843 Run Dates: 07/03/2022

BOROUGH OF HIGHLANDS LAND USE BOARD

NOTICE OF HEARING Pursuant to NJSA 40:55D-12

IN THE MATTER OF THE APPLICATION ARJIKA PROPERTY, INC FOR PREMISES KNOWN AS LOT 12 IN BLOCK 81 ON THE OFFICIAL TAX MAP OF THE BOROUGH OF HIGHLANDS

PLEASE TAKE NOTICE that the Land Use Board of the Borough of Highlands will hold a public hearing on Thursday, July 14, 2022 at 7:00 p.m., in the Community Center, 22 Snug Harbor, Highlands, New Jersey to further consider the application of Arijka Property Inc. for premises known as Lot 12 in Block 81 as shown on the Official Tax Map of the Borough of Highlands and located at 289 Bay Avenue, Highlands, New Jersey 07732. The property is located in the CBD Zone, which is also designated as a "Redevelopment Area" pursuant to the Central Business District Redevelopment Plan, adopted by the Borough of Highlands in Ordinance No. 22-10."

THE APPLICATION:

The application is to construct 4 one-bedroom apartments on top of one commercial unit. The applicant will seek a variance for lot coverage of 100% where the maximum coverage permitted is 80% and a floor area ratio variance of 1.15 where maximum floor area ratio permitted is .65. The applicant will also seek all other variances required by the board and its professionals including those that may be required under the Redevelopment Ordinance No 22-10.

PUBLIC INSPECTION OF APPLICATION:

The application and supporting documents are on file with the Borough of Highlands' Land Use Board, at the Borough Hall, 42 Shore Drive, Highlands, NJ 07732 and are available for inspection during normal business hours.

F. Bradford Batcha, Esq. 600 Broad Street, 5hrewsbury, New Jersey 07702 732-747-8300 brad@batchalaw.com

(\$37.84)

---0005 319843-01

AFFIDAVIT OF MAILING

STATE OF NEW JERSEY)	
)	ss:
COUNTY OF MONMOUTH)	

Frank Illiano

says under oath:

1. On July 1, 2022 I personally mailed by Certified Mail through the U.S. Post Office a copy of the attached notice to the names and addresses on the attached list as evidenced by the attached Certified Mail Receipts.

frank A. Williano

Signed and sworn to before me

On July 13, 2022

BOROUGH OF HIGHLAND LAND USE BOARD NOTICE TO OWNERS WITHIN 200 FT OF PROPOSED DEVELOPMENT

IN THE MATTER OF THE APPLICATION OF ARJIKA PROPERTY, INC FOR PREMISES KNOWN AS LOT 12 IN BLOCK 81 ON THE OFFICIAL TAX MAP OF THE BOROUGH OF HIGHLANDS NOTICE OF HEARING
Pursuant to NISA 40:55D-12

PLEASE TAKE NOTICE that the Land Use Board of the Borough of Highlands will hold a public hearing on Thursday, July 14, 2022 at 7:00 p.m., in the Community Center, 22 Snug Harbor, Highlands, New Jersey to further consider the application of Arjika Property Inc. for premises known as Lot 12 in Block 81 as shown on the Official Tax Map of the Borough of Highlands and located at 289 Bay Avenue, Highlands, New Jersey 07732. The property is located in the CBD Zone, which is also designated as a 'Redevelopment Area' pursuant to the Central Business District Redevelopment Plan, adopted by the Borough of Highlands in Ordinance No. 22-10."

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F. Bradford Batcha, Esq. 600 Broad Street, Shrewsbury, New Jersey 07702 732-747-8300 brad@batchalaw.com



BOROUGH OF HIGHLANDS COUNTY OF MONMOUTH

Date Issued: May 23, 2022

CERTIFICATION OF 200-FOOT LIST

BLOCK 81 LOT 12

PROPERTY LOCATION: 289 Bay Ave., Highlands, NJ 07732

TO THE BEST OF MY KNOWLEDGE this is a true and accurate list, as of this date, taken from the most current tax records of the Borough of Highlands, NJ.

The addresses on this list are pertinent to the Borough of Highlands exclusively. If the subject property is within 200 feet of a neighboring municipality, you MUST contact that municipality, to obtain a listing of any properties that may be inclusive in the 200 foot perimeter. <u>THIS LIST</u> IS VALID FOR 90 DAYS.

Nancy Tran, Acting Borough Clerk

5/23/2022 11:26 AM

* If you are located within 200 feet of a State Highway, you **MUST** notify the NJ Department of Transportation:

NJ Dept. of Transportation 1035 Pkwy Avenue PO Box 600 Trenton, NJ 08625

*If you are within 200 feet of a County owned road, you **MUST** notify the Monmouth County Planning Board:

Monmouth County Planning Board Hall of Records Annex 2nd Floor One East Main St. PO Box 1255 Freehold, NJ 07728 You must also notify all utilities located within the 200-foot range of the subject property:

JCP&L

300 Madison Avenue PO Box 1911 Morristown, NJ 07960

NEW JERSEY AMERICAN WATER COMPANY

Attn: Construction Department 661 Shrewsbury Ave Shrewsbury, NJ 07702

COMCAST COMMUNICATIONS OF MONMOUTH COUNTY

Ron Bertrand, Construction Foreman 403 South St Eatontown, NJ 07724

VERIZON COMMUNICATIONS

One Verizon Way Basking Ridge, NJ 07920

TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY

Raymond J. Nierstedt, P.E., Executive Director PO Box 205, 100 Beverly Way Belford, NJ 07718

NEW JERSEY NATURAL GAS COMPANY

Attn: Joan Purcaro PO Box 1464 1415 Wyckoff Road Wall, NJ 07719

MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY

Attn: Executive Director 200 Harbor Way PO Box 184 Belford, NJ 07718

200 Foot Map Block 81 Lot 12 289 Bay Avenue



1319-81-10.01 VALINOTI JR. JOSEPH 85 WASHINGTON AVENUE HIGHLANDS NJ 07732

1319-81-12 ARJIKA PROPERTY INC 8 STRAWBERRY LANE MONROE NJ 08831

1319-74-9 RIPRAPS LLC 25 NAUTILUS AVENUE LEONARDO NJ 07737

1319-83-1 SHANNON ENTERPRISES LLC 300 BAY AVENUE HIGHLANDS NJ 07732

1319-74-6 O LOUGHLIN MICHAEL 92 SEADRIFT AVENUE HIGHLANDS NJ 07732

1319-82-1.01 ICE HOLDINGS LLC 494 SYCAMORE AVE STE.100 SHREWSBURY NJ 07702

1319-82-6.01 BAY AVENUE DEVELOPERS LLC 297 BAY AVENUE HIGHLANDS NJ 07732

1319-74-8.01 RIPRAPS LLC 25 NAUTILUS AVENUE LEONARDO NJ 07737

1319-74-8.02 KENNY PAUL & BURKE-KENNY MARY JO 39 EAST TWIN ROAD HIGHLANDS NJ 07732

1319-74-4 SHANNON ENTERPRISES LLC 300 BAY AVENUE HIGHLANDS NJ 07732

1319-80-1 CONRAD DONNA MARIE 286 BAY AVENUE HIGHLANDS NJ 07732

1319-80-2 HUVANE MARTIN & GENEVIEVE 18 DIMOND AVENUE CORTLANDT MANOR NY 10566

1319-82-3 LUCHNICK ALLISON 746 PARAMOUNT WAY BRICK NJ 08724

1319-80-18
ROHRIG HAROLD A & DOROTHY C/O V. B
2 MEADOWVIEW LANE
BERKELEY HEIGHTS NJ 07922

1319-81-5 CORNELIUSEN JOHN JR & ELEANOR L 118 EAST GARFIELD AVE ATLANTIC HIGHLANDS NJ 07716 1319-75-17 CLARK EVELYN ROSE, 282 BAY AVENUE HIGHLANDS NJ 07732

1319-81-8 EUGENIO JAIME 87 WASHINGTON AVENUE HIGHLANDS NJ 07732

1319-81-9 VALINOTI JOSEPH JR 85 WASHINGTON AVE HIGHLANDS NJ 07732

1319-80-19 NAVISTA ENTERPRISES LLC 2 VISTA PLACE RED BANK NJ 07701

1319-81-4 BENDER PATRICIA 88 BARBARIE AVENUE HIGHLANDS NJ 07732

1319-80-3 ANDREWS HEATHER 72 BARBERIE AVENUE HIGHLANDS NJ 07732

1319-81-2 HORNIACEK JAMES & DAWN 287 BAY AVENUE HIGHLANDS NJ 07732

1319-80-20 TROCCOLI MICHELLE E 294 BAY AVE HIGHLANDS NJ 07732

1319-80-22 SERVIDIO FRANK PETER JR 290 BAY AVENUE HIGHLANDS NJ 07732

1319-80-6 MURRAY (STEIB) LAURA 49 WATERCREST DRIVE DOYLESTOWN PA 18901

1319-80-7 CARRILLO JEANETTE 64 BARBERIE AVE HIGHLANDS NJ 07732

1319-75-18 CLARK EVELYN R. 282 BAY AVENUE HIGHLANDS NJ

1319-81-6 LOW CAROL 91 WASHINGTON AVENUE HIGHLANDS NJ 07732

07732

1319-81-7 BUNTING CONSTANCE 89 WASHINGTON AVENUE HIGHLANDS NJ 07732

1319-74-2 DOS SANTOS KRYSTAL 86 SEADRIFT AVENUE HIGHLANDS NJ 07732 1319-74-3 COLACI KATHLEEN 88 SEADRIFT AVENUE HIGHLANDS NJ 07732

1319-74-1 CHESBRO JAMES B. 273 BAY AVENUE HIGHLANDS NJ 07732

1319-83-2 BIANCO-HESS CANDICE 66 WASHINGTON AVENUE HIGHLANDS NJ 07732

1319-74-5 O LOUGHLIN MICHAEL 92 SEADRIFT AVENUE HIGHLANDS NJ 07732

1319-74-7 STRANGE MAGIC LLC 25 NAUTILUS DRIVE LEONARDO NJ 07737

1319-80-17 LAWRENCE CYNTHIA 63 WASHINGTON AVE HIGHLANDS NJ 07732

1319-75-16 MORAN JAMES P & PATRICIA J 67 BARBERIE AVENUE HIGHLANDS NJ 07732

1319-75-15 BIRCHWOOD INC 1662 WEST END AVE POINT PLEASANT NJ 08742

1319-82-4 JAPNGIE PATRICIA 88 WASHINGTON AVENUE HIGHLANDS NJ 07732

1319-80-21 MAIN %LINDA GRAYBILL 292 BAY AVENUE HIGHLANDS NJ 07732

1319-81-3 COFFEY CHRISTOPHER & MOYER HENRY 571 HIGHWAY 36 BELFORD NJ 07718

1319-80-5,01 KOLE JEFFREY B JR 70 BARBARIE AVENUE HIGHLANDS NJ 07732

1319-120-10.04 CARERI JILL 13 RIVERGATE WAY LONG BRANCH NJ 07740

1319-75-1 GRAM RIVER DRIVE LLC 32 WEST SUNSET ROAD POMPTON PLAINS NJ 07444

1319-120-10.2-22 WILD LAURA 255-22 SHORE DRIVE HIGHLANDS NJ 07732 1319-120-10.2-23 HOFFMAN JEANNETTE 255 SHORE DR 23 HIGHLANDS NJ 07732

1319-120-10.2-19 HINTZ MARY 17 AMELIA CIRCLE LITTLE SILVER NJ 07739

1319-81-1 SGALAMBRO DAVID & MELANIE 285 BAY AVENUE HIGHLANDS NJ 07732

1319-82-5.01 C.X. INVESTMENTS LLC 18 BLEVINS AVENUE MIDDLETOWN NJ 07748

