



Borough of Highlands
42 Shore Drive
Highlands, NJ 07732
(732) 872-1224
www.highlandsborough.org

LAND USE BOARD APPLICATION

FOR OFFICIAL USE
Date Rec'd: 4/23/2025 Application #: LU25-05 Fee: \$100.00 Escrow: \$2282.77
CK# 476437
Cahill - 60 Bay, B42L1 T-03-56-875-000-191

1. APPLICANT

Name: 60 Bay Ave Highlands LLC
Address: 60 Bay Avenue
City: Highlands State: NJ Zip: 07732
Phone: 732.855.6039 (Owner's Attorney)
Email: djennings@wilentz.com (Owner's Attorney)
Relation to property: Owner

2. OWNER

Name: 60 Bay Ave Highlands LLC
Address: 60 Bay Avenue Highlands LLC
City: Highlands State: NJ Zip: 07732
Phone: 732.855.6039 (Owner's Attorney)
Email: djennings@wilentz.com (Owner's Attorney)

3. TYPE OF APPLICATION (Check all that apply)

- Minor Subdivision
- Major Subdivision – Preliminary
- Major Subdivision – Final
- Minor Site Plan
- Major Site Plan – Preliminary
- Major Site Plan – Final
- Variance
- Use Variance
- Appeal – Zoning Denial date _____
- Appeal – Land Use Decision date _____
- Informal Concept Plan Review
- Extension of Approval
- Revision/Resubmission of Prior Application
- Other _____

4. PROPERTY INFORMATION

Block 42 Lot(s) 1 Address: 60 Bay Avenue
Lot size 0.147 acres # of Existing Lots 1 # of Proposed Lots 1
Zone CBD* Are there existing Deed Restrictions or Easements? No Yes – Please attach copies
Has the property been subdivided? No Yes If yes, when? _____
Attach copies of approved map or approved resolution
Property taxes paid through _____ Sewer paid through _____

5. ATTORNEY (A corporation, LLC, Limited Partnership, or S-Corp must be represented by a NJ attorney)

Name: Donna M. Jennings, Esq. (on behalf of Applicant)
Address: 90 Woodbridge Center Drive Suite 900 Box 10, Woodbridge, NJ 07095
Phone: 732.855.6039 Email: djennings@wilentz.com

*The Property is located in the CBD Redevelopment Area in Overlay Zone 2.



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6. APPLICANT'S OTHER PROFESSIONAL(S) – Engineer, Planner, Architect, etc.

Name: Douglas D. Clelland, PE (Engineer)
 Address: 1955 Route 354, Suite 1A, Wall
NJ 07719
 Phone: 732-531-7100
 Email: doug@insiteeng.net

Name: Salvatore LaFerlita, RA, AIA (Architect)
 Address: 115 University Drive, Lincroft
NJ 07738
 Phone: 732-741-5105
 Email: sallaferlita@aol.com

7. LAND USE

A. PROPERTY HISTORY –Describe in detail, nature of prior use(s) on the site, start date of such use, any prior Land Use Board applications for this site (attach copy of resolution, if applicable), history of current ownership, etc.

See attached rider.

B. PROPOSED PLAN –Describe in detail, proposed use for property, including, but not limited to: 1) portion to be subdivided; 2) sell lot only; 3) construct house(s) for sale; 4) how trash will be disposed; 5) landscaping; 6) hours of operation; 7) type of goods/services; 8) fire lane. Attach additional sheets if necessary.

See attached rider.

C. ADDITIONAL INFORMATION:

		Existing	Proposed
Residential:	How many dwelling units?	<u>4</u>	<u>5</u>
	How many bedrooms in each unit?	<u>1-2</u>	<u>2-3</u>
	How many on-site parking spaces?	<u>5</u>	<u>5</u>
Commercial:	How many commercial uses on site?	<u>None</u>	<u>None</u>
	How many on-site parking spaces?	<u>N/A</u>	<u>N/A</u>



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8. VARIANCE REQUESTS Complete section(s) related to the relief being requested. NO RELIEF REQUIRED

NOT APPLICABLE

	Req'd	Exist.	Prop'd
Minimum Lot Requirements			
Lot Area			
Frontage			
Lot Depth			
Minimum Yard Requirements			
Front Yard Setback			
2 nd Front Yard Setback			
Rear Yard Setback			
Side Yard Setback, right			
Side Yard Setback, left			
Building Height			

	Req'd	Exist.	Prop'd
Accessory Structures			
Fence/Wall Height			
Garage/Shed Height			
Garage/Shed Area			
Pool Setback			
Parking Requirements			
On-site Parking Spaces			
Other (please add)			

9. OTHER RELIEF REQUESTED Please specify relief(s) and explain below.

See attached rider.



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10. NOTARIZED SIGNATURE OF APPLICANT

I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual Applicant, or that I am an Officer of the Applicant authorized to sign the application for the business organization. Additionally, I certify that the survey or plans submitted with this application shows and discloses the premises in its entirety, and I further certify that no buildings, fences, or other facilities have been constructed, installed, or otherwise located on the premises after the date of the survey with the exception of the structures shown.

SWORN & SUBSCRIBED to before me this
 22nd day of April 2025 (year)
 Lisa Haak (notary)
 Lisa Haak
 Notary Public, State of New Jersey
 I.D. No. 50163068 (Seal)
 My Commission Expires June 26, 2026

Signature _____ Date 4/22/2025
 Donna M. Jennings, Esq. (WGS on behalf of Applicant)
 Print Full Name _____

11. NOTARIZED CONSENT OF OWNER

I certify that I am the Owner of the property which is the subject of this application, hereby consent to the making of this application and approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency (if owned by a corporation, a resolution must be attached authorizing the application and officer signature).

SWORN & SUBSCRIBED to before me this
 22nd day of April 2025 (year)
 Lisa Haak (notary)
 Lisa Haak
 Notary Public, State of New Jersey
 I.D. No. 50163068 (Seal)
 My Commission Expires June 26, 2026

Signature _____ Date 4/22/2025
 Donna M. Jennings, Esq. (WGS on behalf of Owner)
 Print Full Name _____

12A. DISCLOSURE STATEMENT Circle all that apply.

Pursuant to N.J.S.A. 40:55D-48.1 & 48.2, please answer the following questions:

- | | | | | |
|--|-------------------------------------|--------------------------|----|--------------------------|
| Is this application to subdivide a parcel of land into six (6) or more lots? | Yes | <input type="checkbox"/> | No | <input type="checkbox"/> |
| Is this application to construct a multiple dwelling of 25 or more units? | Yes | <input type="checkbox"/> | No | <input type="checkbox"/> |
| Is this an application for approval of a site(s) for non-residential purposes? | Yes | <input type="checkbox"/> | No | <input type="checkbox"/> |
| Is this Applicant a corporation? | Yes | <input type="checkbox"/> | No | <input type="checkbox"/> |
| Is the Applicant a limited liability corporation? | <input checked="" type="checkbox"/> | Yes | No | <input type="checkbox"/> |
| Is the Applicant a partnership? | Yes | <input type="checkbox"/> | No | <input type="checkbox"/> |

If you circled **YES** to any of the above, please complete the following Ownership Discloser Statement (use additional sheets if necessary).



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12B. BUSINESS ORGANIZATION OWNERSHIP DISCLOSURE STATEMENT

Name of Corporation, Partnership, LLC, LLP, S-Corp:

60 Bay Ave Highlands LLC

Listed below are the names and addresses of all owners of 10% or more of the stock/interest* in the above referenced business organization:

NAME	ADDRESS
David Cahill	60 Bay Avenue Apt 3, Highlands, NJ 07732

*If a corporation or a partnership owns 10% or more of the stock of a corporation, or 10% or great interest in a partnership, that corporation or partnership shall list the names and address of its stockholders holding 10% or more of its stock or 10% or greater interest in the partnership, and this requirement shall be followed until the names and addresses of the non-corporate stockholders and individual partners, exceeding the 10% ownership criterion established have been listed.

SWORN & SUBSCRIBED to before me this
 22nd day of April 2025 (year)
 Lisa Haak (notary)
 Lisa Haak (Seal)
 Notary Public, State of New Jersey
 I.D. No. 50163068

My Commission Expires June 26, 2026

Donna M. Jennings 4/22/2025
 Signature (Officer/Partner) Date
 Donna M. Jennings, Esq. (WGS on behalf of Applicant)
 Print Full Name Title

RIDER

60 Bay Ave Highlands LLC
60 Bay Ave
Block 42, Lot 1
Highlands Land Use Board

60 Bay Ave Highlands LLC is seeking revision of its Preliminary and Final Major Site Plan Approval memorialized by Resolution 2024-16, dated September 12, 2024, to raise and expand the existing three-story multi-family residential building on property located at 60 Bay Avenue and identified as Block 42, Lot 1 on the Borough's tax maps (the "Property"). The Property is approximately 6,425 square feet, or 0.147 acres, and is located in the Central Business District (CBD) within the CBD Redevelopment Area Overlay 2 Zone. Five multi-family units are still proposed comprising of 4-two-bedroom units and 1-three-bedroom unit.

In pursuit of resolution compliance, the applicant sought approval from the Monmouth County Planning Board, which has jurisdiction over Bay Avenue, a county road. The applicant is now seeking a revised approval from the Land Use Board because the County denied waiver requests with respect to the improvements along Bay Avenue as approved by the Land Use Board. Subsequently, the applicant redesigned the site to eliminate vehicle access to Bay Avenue—no curb cuts or driveways are proposed on Bay Avenue. Likewise, the garages on Bay Avenue are now proposed as storage areas with access doors in lieu of garage doors. Ingress to and egress from the site are proposed entirely from two garages on the Shrewsbury Avenue frontage.

Ten parking spaces are required, including electric vehicle credit. Five off-street parking spaces are now proposed, whereas seven spaces were initially proposed. Section VII.A of the Central Business District Redevelopment Plan permits residential uses to take into account the availability of on-street parking in meeting the requirement. Additional on-street parking will be

available as a result of the elimination of the driveways on Bay Avenue, and there is sufficient off-site parking near the Property to meet the requirement.



BOROUGH OF HIGHLANDS
COUNTY OF MONMOUTH

LAND USE BOARD RESOLUTION 2024-16

MEMORIALIZATION OF PRELIMINARY AND FINAL SITE PLAN APPROVAL

IN THE MATTER OF 60 BAY AVE HIGHLANDS LLC
APPLICATION NO. LUB 2024-02

Approved: August 8, 2024
Memorialized: September 12, 2024

WHEREAS, an application for preliminary and final site plan approval has been made to the Borough of Highlands Land Use Board (hereinafter referred to as the "Board") by 60 Bay Ave Highlands LLC (hereinafter referred to as the "Applicant") on lands known and designated as Block 42, Lot 1, as depicted on the Tax Map of the Borough of Highlands (hereinafter "Borough"), and more commonly known as 60 Bay Avenue in the CBD (Central Business) Zone and CBD Redevelopment Overlay 2 – Gateway Parcels (C-RO-2) Zone; and

WHEREAS, a public hearing was held before the Board on August 8, 2024, with regard to this application; and

WHEREAS, the Board has heard testimony and comments from the Applicant, witnesses and consultants, and with the public having had an opportunity to be heard; and

WHEREAS, a complete application has been filed, the fees as required by Borough Ordinance have been paid, and it otherwise appears that the jurisdiction and powers of the Board have been properly invoked and exercised.

NOW, THEREFORE, does the Highlands Land Use Board make the following findings of fact and conclusions of law with regard to this application:

1. The subject Property contains 6,625 square feet (0.147 acres) with frontage along Bay Avenue (County Route 8) South Street and Shrewsbury Avenue within the Central Business

District (CBD) Zone and the CBD Redevelopment Overlay 2 Zone – Gateway Parcels (C-RO-2) Zone. The adjacent property, Lot 15, is located within the same zone, and adjacent residential Lot 7 is located within the R-2.02 District. The subject Property is located within the AE Flood Hazard zone, partially in the Coastal A zone, and in the Limit of the Moderate Wave Action (LiMWA) delineation area.

2. The subject Property is improved with a three-story multi-family dwelling.

3. The Applicant is seeking preliminary and final major site plan approval to move and elevate the existing three-story multi-family residential building, complete renovations, provide ground floor storage and garage parking, and construct two extensions, decks, and associated site improvements. The Applicant proposes to expand the existing multi-family residential building by increasing the number of units for a total of five (5) units and will include a one (1) one-car garage, two (2) 1.5-car garages, and one (1) two-car garage.

4. Counsel for the Applicant, Donna Jennings, Esq., stated that the Applicant was seeking preliminary and final site plan approval with design waiver relief to elevate the existing four (4) unit residential building and add an additional residential unit. Ms. Jennings identified the subject Property as Block 42, Lot 1 with the address of 60 Bay Avenue and located within the CBD (Central Business) Zone and CBD Redevelopment Overlay 2 – Gateway Parcels (C-RO-2) Zone. She stated that the ground floor would contain garages and storage.

5. The Applicant's Engineer, Douglas Clelland, P.E., introduced a Neighborhood Colorized Aerial dated July 26, 2024 as Exhibit A-1. Mr. Clelland identified the subject Property as Block 42, Lot 1 with the address of 60 Bay Avenue and located within the CBD (Central Business) Zone and CBD Redevelopment Overlay 2–Gateway Parcels (C-RO-2) Zone. He stated that the

subject Property contained three (3) frontages which included Bay Avenue, South Street, and Shrewsbury Avenue. Mr. Clelland further testified that other residential lots were located to the west of the subject Property and a park was located across South Street and Shrewsbury Avenue. He described the area as a mix of commercial, residential, and multi-family residential uses.

6. Mr. Clelland further testified that the Applicant was proposing to relocate, elevate, and expand the existing multi-family residential building. Mr. Clelland introduced a Blown-up Version of the Neighborhood Colorized Aerial dated July 26, 2024 as Exhibit A-2. He explained that the Applicant was proposing to provide a new driveway on the Bay Avenue frontage and as well as a new driveway on Shrewsbury Avenue frontage. He stated that the ground level would contain garages and storage. Mr. Clelland further testified that a multi-level deck would surround the building and that a walkway would connect to the sidewalk. He then confirmed that the structure currently had four (4) units, and that the Applicant was proposing an additional unit which would be located in the addition to the building resulting in a total of five (5) residential units.

7. Mr. Clelland also confirmed that the proposal did not require any variance relief. He stated that the Applicant was, however, seeking design waiver relief from the driveway width at the curb of 19.09 feet where a maximum of 18 feet at the curb was permitted. Mr. Clelland stated that the existing driveway width at the curb was 30 feet and that the proposed driveway width would be an improvement from the existing condition. He further testified that the wider driveway was necessary because of the unique shape of the subject Property. He explained that the unique shape required the driveway to be at an angle to the garage and that the wider

driveway allowed cars to maneuver into the garage while also providing two (2) parking spaces within the driveway.

8. Mr. Clelland further testified that the proposal complied with the EV charging space regulations. He explained that EV chargers were only required to be installed for developments with ten (10) parking spaces or greater whereas only seven (7) parking spaces were proposed. Mr. Clelland also stated that the Ordinance permitted the inclusion of on-street parking spaces in the calculation and identified three (3) on-street parking spaces provided along the frontages. He explained that the number of parking spaces might require a *de minimis* exception from the Residential Site Improvement Standards (RSIS). Mr. Clelland testified that one (1) tandem two-car garage was proposed which would be accessed from Shrewsbury Avenue. He also stated that two (2) 1.5-car garages which only equated to one (1) parking space, would be accessed from Bay Avenue, and a one (1) one-car garage would be accessed from Bay Avenue.

9. Mr. Clelland further testified that he had observed the available street parking within 200 feet of the subject Property on two occasions. He stated that he observed the subject Property on Friday, July 26, 2024 at 6:00 p.m. and Saturday, July 27, 2024 at 2:00 p.m. Mr. Clelland explained that he observed a total of fourteen (14) on-street parking spaces available on Friday evening, none of which were on Shrewsbury Avenue. He also stated that a total of six (6) on-street parking spaces were available on Saturday afternoon.

10. Mr. Clelland further testified that all new utilities would be provided to the building and that electric would be underground. He also stated that the proposal would result in an increase in impervious coverage but was not classified as a major development for

stormwater management purposes. Mr. Clelland also stated that the impervious coverage would comply with all bulk requirements. He further testified that the roof leaders would be drained to the existing stormwater inlet within South Street. Mr. Clelland explained that the proposed roof leaders would reduce the stormwater sheet flow because the existing building did not have any gutters. He further testified that the grade of the subject Property would be pitched toward the streets away from the adjacent lots.

11. Mr. Clelland also stated that trash cans would be located at the rear of the building and then taken out to the street for pick up. He explained that the location of the trash storage was located at the northwesterly side of the building near the existing fence.

12. Mr. Clelland further testified that the Applicant was proposing residential light fixtures similar to the existing light fixtures but would require design waiver relief. He stated that the proposed luminosity was the minimum necessary for safety while also providing the minimal amount of impact. Mr. Clelland also believed that the lighting would also illuminate the driveway for safe ingress and egress. Mr. Clelland further testified that the 1.7 footcandles provided a blend with the existing on-street lighting which was included within the analysis. He also confirmed that the illumination was 0.6 footcandles at the property line.

13. Mr. Clelland further testified that the existing street trees would remain. He stated that evergreen trees would also be planted in order to provide a screen for Lot 2. Mr. Clelland then identified an existing fence located on Lot 15 along the shared property line. He stated that the Applicant was proposing a fence that would connect to the existing Lot 15 fence at a 90-degree angle and run along the property line with Lot 2. Mr. Clelland explained that two (2) shade trees would be provided.

14. Mr. Clelland also stated that the Applicant would apply to the NJDEP for CAFRA permit. He believed that the proposed elevation would be compliant with all regulations. He stated that the Applicant would also apply to Monmouth County Planning Board because Bay Avenue was a county road.

15. In response to questions from the Board Engineer, Carmela Roberts, P.E., CME, CPWM, Mr. Clelland testified that the building was being enlarged and relocated. He also stated that the Zoning Permit denial was not based upon the Redevelopment Plan standards.

16. In response to further questions from the Board Engineer, Mr. Clelland testified that the tandem garage and the driveway parking space directly in front of the garage would be assigned to the three-bedroom unit which was anticipated to be owned by the owner of the building. He also stated that the three (3) of the other units have a garage space and that the fifth unit would have a parking space within the driveway. Mr. Clelland agreed to provide a turning analysis for the driveway. He then explained that the purpose of the wider driveway was to provide an additional 9 ft. x 18 ft. parking space within the driveway.

17. In response to further questions from the Board Engineer, Mr. Clelland testified that the Applicant was proposing three (3) curb cuts along Bay Avenue. He stated that one (1) curb cut was presently existing and was wide enough for two (2) driveways. He further testified that the third curb cut would eliminate one (1) existing on-street parking space. Mr. Clelland explained that the distance from the curb cut closest to the intersection was 26.91 feet to the property line at the intersection, therefore the distance to the curb of the intersection was a little more than 26.91 feet. He also stated that the existing curb cut was the western most curb cut.

Mr. Clelland further testified that two (2) new curb cuts were proposed. He stated that the curb cuts would be subject to review and approval by the Monmouth County Planning Board.

18. Ms. Roberts stated that the lighting of 1.7 footcandles on the sidewalk was excessive. She explained that it was not the responsibility of a residential building to illuminate a public sidewalk. Mr. Clelland agreed to work with the Board Engineer to reduce the lighting at the property line to become compliant, thereby eliminating need for design waiver for lighting.

19. In response to questions from the Board Attorney, Ms. Jennings represented that the proposal was not subject to the affordable housing requirements because only one (1) unit was being added, but the Applicant would comply with the affordable housing requirements if applicable.

20. In response to questions from the Board, Mr. Clelland testified that the fence along Lot 2 could transition to a four (4) foot fence within the front yard. He stated that the fence would not obstruct sight distance at the driveway. Mr. Clelland explained that the existing fence on Lot 15 transitioned from six (6) feet in height to four (4) feet in height approximately fifteen (15) feet setback from the front property line. He also stated that the fence on Lot 15 encroached slightly on the subject Property. He agreed to discuss with the owner of Lot 15 correcting the encroachment if the fence were ever to be replaced.

21. In response to questions from the Board, Mr. Clelland confirmed that there was one (1) driveway on Shrewsbury Avenue and three (3) driveways on Bay Avenue. He stated that drivers within the driveway on Bay Avenue would back out onto Bay Avenue. He testified that the minimum front yard setback was two (2) feet, whereas five (5) feet was proposed on Bay

Avenue, 8.3 feet was proposed on South Street, and 8.05 feet was proposed on Shrewsbury Avenue.

22. The Board expressed its concern with drivers backing out onto Bay Avenue, particularly considering the proximity of the nearby curve. Mr. Clelland testified that he was unaware of any issues with the current driveway on Bay Avenue.

23. In response to further questions from the Board, Mr. Clelland testified that the distance between the curb cuts was approximately thirty-five (35) feet, which he opined was sufficient for one (1) on-street parking space. He also stated that utilities were available within Shrewsbury Avenue and South Street if a moratorium preventing a street opening on Bay Avenue.

24. In response to further questions from the Board, Mr. Clelland testified that the existing building contained three (3) two-bedroom units and one (1) studio unit. He stated that the Applicant was proposing one (1) additional unit.

25. The hearing was then opened to the public for questions of the Applicant's Engineer, at which time Ed Sharkey, 9 Shrewsbury Avenue, asked why the commercial building setback requirements did not apply to the multi-family building. Mr. Clelland stated that the building was residential, not commercial and therefore the commercial building standards did not apply. In response to further questions from Mr. Sharkey, Mr. Clelland stated that the trash cans would be brought out to Shrewsbury Avenue and Bay Avenue. He testified that a row of eighteen (18) evergreen trees would also be planted along the property line with Lot 2 which has Mr. Sharkey's property. Mr. Clelland then confirmed that the two-car garage would be tandem. He also stated that the proposed multi-family building was compliant with the code and the zone therefore it was not necessary for the Applicant to consider alternative uses. Mr. Clelland further

testified that the maximum permitted impervious coverage was 80%, whereas 62% was proposed.

26. The Applicant's Architect, Salvatore LaFerlita, R.A., AIA, testified that the Applicant was proposing to lift the building, replace the foundation, and move the building eight (8) feet toward Bay Avenue. He stated that the Applicant was also proposing to construct an addition on the side of the building and along the Shrewsbury Avenue frontage. Mr. LaFerlita further testified that three (3) units would be served by a one-car garage and that the largest unit would receive the tandem two-car garage and one (1) driveway space. He also noted that one (1) unit would receive additional driveway space. Mr. LaFerlita explained that gravel could be placed within the five (5) feet between the driveway and the property line, which would eliminate the need for the wider driveway at the curb because the gravel would allow a wider turn. The Applicant agreed to provide such gravel to comply with the required driveway width at the curb, thereby eliminating the need for the design waiver. He also stated that bike racks would be located inside and outside of the building. He stated that the building would contain an elevator.

27. Mr. LaFerlita further testified that the first floor would contain two (2) two-bedroom units. He explained that the existing studio apartment would be expanded into the addition to make it two (2) bedrooms. Mr. LaFerlita also stated that the existing deck would be enclosed to provide living space. He explained that an additional deck area of approximately 100 square feet would also be provided. Mr. LaFerlita further testified that the second floor would include two (2) two-bedroom units similar to the first floor. He stated also located on the second floor would also have a bedroom belonging to the third floor three-bedroom unit which would be accessed by a staircase internal to the three-bedroom unit. Mr. LaFerlita testified that the

third floor contained two (2) out of three (3) of the three-bedroom unit along with decks. He also stated that the A/C equipment would be located on a roof deck near the elevator. Mr. LaFerlita stated that the main entry to a large porch would be located on the first floor. He noted that the existing yellow color would be changed. He introduced a Color Rendering of the Bay Avenue Elevation as Exhibit A-3.

28. In response to questions from the Board, Mr. LaFerlita testified that the floor elevation was at fourteen (14) feet and was compliant with FEMA Flood Hazard regulations. He further testified that the building would comply with the Coastal A & AE requirements by being built to VE requirements. He stated that the ground floor may require breakaway walls.

29. The hearing was then opened to the public, at which time Ed Sharkey, 9 Shrewsbury Avenue, asked the size of the decks. Mr. LaFerlita testified that the decks were a length of twenty-five (25) to thirty (30) feet with a depth of ten (10) feet. Mr. LaFerlita also stated that the size of the decks was compliant. Mr. Sharkey asked if the building could also be moved toward the southeast. Mr. LaFerlita stated that such reorientation would be difficult. In response to further questions from Mr. Sharkey, Mr. LaFerlita testified that an additional parking space could be provided under the deck, however, it would require an additional curb cut. Mr. LaFerlita stated that the trash cans could also be stored within the garages. He further testified that the existing square footage of the building was approximately 5,000 square feet and approximately 7,000 square feet was proposed.

30. Mr. Sharkey also testified that the previous owner of the subject Property had imported soil, which changed the stormwater flow pattern. He stated his property was negatively impacted by the change in stormwater flow pattern. Mr. Clelland testified that the subject

Property would be regraded when the building was lifted. He opined that the stormwater would then flow toward the streets and away from adjacent properties. Mr. Sharkey also reiterated his interpretation of the Ordinance requiring the building to have setback of twelve (12) feet as is required of commercial buildings within the CBD Zone.

31. There were no other members of the public expressing an interest in this application.

WHEREAS, the Highlands Land Use Board, having reviewed the proposed application and having considered the impact of the proposed application on the Borough and its residents to determine whether it is in furtherance of the Municipal Land Use Law; and having considered whether the proposal is conducive to the orderly development of the site and the general area in which it is located pursuant to the land use and zoning ordinances of the Borough of Highlands; and upon the imposition of specific conditions to be fulfilled, hereby determines that the Applicant's request for preliminary site plan approval pursuant to N.J.S.A. 40:55D-46 and final site plan approval pursuant to N.J.S.A. 40:55D-50 should be granted in this instance.

The Board finds that the Applicant has proposed to move and elevate and existing three-story multi-family residential building, complete renovations, provide ground floor storage and garage parking, and construct two extensions, decks, and associated site improvements. The proposal does not require any variance or design waiver relief. The Board finds that the Applicant had initially requested several design waivers, but has agreed to comply with all design standards. The proposal is therefore as of right. The Board finds that the proposal complies with all requirements of the site plan, zoning and design criteria Ordinances. A planning variance required by the MLUL to grant site plan approval when all Ordinance requirements are complied

with an ingress and egress is safe. There has not been any testimony which could lead to the conclusion that ingress and egress was unsafe. The applicant is also subject to the conditions expressed herein. The Board is therefore required to grant preliminary site plan approval pursuant to N.J.S.A. 40:55D-46 and final site plan approval pursuant to N.J.S.A. 40:55D-50.

NOW, THEREFORE, BE IT RESOLVED by the Land Use Board of the Borough of Highlands on this 12th day of September 2024, that the action of the Land Use Board taken on August 8, 2024, granting application no. LUB 2024-02, for preliminary site plan approval pursuant to N.J.S.A. 40:55D-46 and final site plan approval pursuant to N.J.S.A. 40:55D-50 is hereby memorialized as follows:

The application is granted subject to the following conditions:

1. All site improvements shall take place in strict compliance with the testimony and with the plans and drawings which have been submitted to the Board with this application, or to be revised.
2. Except where specifically modified by the terms of this resolution, the Applicant shall comply with all recommendations contained in the Reports of the Board professionals.
3. The Applicant shall comply with all applicable design standards and eliminate all design waiver relief pursuant to N.J.S.A. 40:55D-51.
4. The fence along the shared property line with Lot 2 shall not exceed a height of four (4) feet within the front yard.
5. The Applicant shall submit a compliant lighting plan subject to the review and approval of the Board Engineer.
6. The Applicant shall submit a revised plan depicting vehicles maneuvering from the garages and driveways into the roadways subject to review and approval of the Board Engineer.
7. The driveway width at the curb shall not exceed eighteen (18) feet and shall comply with all Ordinance requirements.
8. The Applicant shall provide gravel between the Shrewsbury driveway and the property line shared with Lot 2 sufficient for turning maneuver into the driveway parking space subject to review and approval by the Board Engineer.
9. Any future modifications to this approved plan must be submitted to the Board for approval.

10. The Applicant shall apply for a CAFRA permit or FHA permit, as deemed necessary by the applicable New Jersey Department of Environmental Protection regulations.
11. The Applicant shall extend new utilities to the subject Property. The Applicant shall be solely responsible for securing any necessary utility easements.
12. The Applicant shall comply with any applicable affordable housing requirements.
13. The tandem parking spaces shall be for the exclusive use of the three (3) bedroom unit.
14. The fence encroachment shall be eliminated if the fence is replaced.
15. The A/C unit for the three-bedroom unit shall be located on the roof near the elevator.
16. The Applicant shall provide a certificate that taxes are paid to date of approval.
17. Payment of all fees, costs, escrows due and to become due. Any monies are to be paid within twenty (20) days of said request by the Board Secretary.
18. Subject to all other applicable rules, regulations, ordinances and statutes of the Borough of Highlands, County of Monmouth, State of New Jersey or any other jurisdiction.

BE IT FURTHER RESOLVED that the Board secretary is hereby authorized and directed to cause a notice of this decision to be published in the official newspaper at the Applicant's expense and to send a certified copy of this Resolution to the Applicant and to the Borough Clerk, Engineer, Attorney and Tax Assessor, and shall make same available to all other interested parties.



Robert Knox, Chairman
Borough of Highlands Land Use Board

ON MOTION OF: Chair Knox

SECONDED BY: Mr. Zill

ROLL CALL:

YES: Chief Burton, Mr. Kutosh, Mr. Montecalvo, Mr. Zill, Mr. Cramer, Chair Knox

NO: None

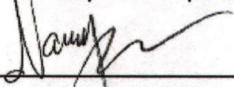
ABSTAINED: None

INELIGIBLE: Mayor Broullon, Ms. LaRussa, Vice Chair Tierney

ABSENT: Councilmember Olszewski, Ms. Chang, Ms. Vickery

DATED: September 12, 2024

I hereby certify this to be a true and accurate copy of the Resolution adopted by the Highlands Land Use Board, Monmouth County, New Jersey at a public meeting held on September 12, 2024.



Nancy Tran, Secretary
Borough of Highlands Land Use Board



MONMOUTH COUNTY DEVELOPMENT REVIEW COMMITTEE

Development Application Action

FILE NUMBER: HSP10591

Application:	60 Bay Avenue Multifamily Residence	Municipality:	Highlands
Applicant:	60 Bay Avenue Highlands, LLC	Municipal Agency:	Planning Board
Owner:	Applicant	Block:	42
Design Professional:	InSite Engineering	Lot:	1
Plan Date:	2/20/2025	Date Received:	3/7/2024
Project Description:	Additional apartment and off-street parking at existing multifamily residence		
Action Taken By:	X Development Review Committee Planning Director	Approval Status:	REQUEST INFORMATION
		Action Date:	3/24/2025

If disapproved, the reasons listed below or on the attached sheet must be rectified before approval will be issued. If conditionally approved, the conditions listed below or on the attached sheet shall be satisfactorily addressed before final approval is issued. This action does not release the applicant from obtaining a consistency determination pursuant to N.J.A.C. 7:8-1 et seq. (Monmouth County Areawide Water Quality Management Plan). Prior to commencing any work within the right-of-way of a county highway or before doing any work that affects a county bridge, the applicant is required to obtain a road opening permit from the Monmouth County Highway Department. A review of the location of subsurface utilities within county road rights-of-way will be conducted by the County Highway Department upon application for a road opening permit. Prior to planting or removal of trees or shrubs within or along the right-of-way of a county highway, the applicant is required to obtain a permit from the Monmouth County Shade Tree Commission. Note: County review is made only on items covered by statutory authority.

At its March 24, 2025 meeting, the Development Review Committee denied the following waiver requests based on a finding that the need for the waivers is created by the applicant's proposed site layout and are not related to the configuration of the property:

- §5.1-1 requires a dedication of additional right-of-way to conform to the Monmouth County Road Plan, whereas the applicant proposes an easement.
- §5.2-3.1B provides that access to a county road shall not be permitted if the site abuts a municipal road and access to the municipal road can be reasonably provided. The applicant proposes access to the site from Bay Avenue (County Route 8).
- §5.2-3.1C provides that driveways shall be designed so that vehicles are not forced to back out into a county road, whereas the driveway along Bay Avenue would require vehicles to back out into the county road.
- §5.2-3.1I provides that no portion of a driveway shall be located within ten feet of a side property line, whereas a setback of approximately 3.5 feet is proposed.

The applicant shall address the following:

1. Address the comments in the memorandum prepared by Michael T. Brusca, dated March 24, 2025.
- The DRC suggested the applicant should meet with DRC and Borough staff to discuss the intent and requirements of the Bay Avenue Redevelopment Plan relative to this property.

Monmouth County Planning Board
Hall of Records Annex
1 E. Main Street
Freehold, NJ 07728-1255

Phone: 732-431-7460
Email: DevelopmentReview@co.monmouth.nj.us

Provide an itemized response. Revised plans shall be accompanied by the plan revision fee; **\$300.00**.
Submit questions via email to DevelopmentReview@co.monmouth.nj.us.



Joseph Barris, P.P., A.I.C.P., C.F.M.
Director of Planning
For the Development Review Committee

cc: InSite Engineering
Donna M. Jennings, Esq.
Mark R. Aikins, Esq.
J. Ettore; V. Cardone; T. Lombardi; V. Zabat; M. Brusca
Highway Department
Construction Official
HSP10591 1459 RI

The Board of County Commissioners of the County of Monmouth

DEPARTMENT OF PUBLIC WORKS & ENGINEERING

JOHN W. TOBIA
Director of Public Works & Engineering
Email: jwtohia@co.monmouth.nj.us



JOSEPH M. ETTORE
County Engineer
Email: engineer@co.monmouth.nj.us

**DIVISION OF ENGINEERING
& TRAFFIC SAFETY**
Hall of Records Annex
Freehold, New Jersey 07728
Telephone: (732) 431-7760
Fax: (732) 431-7765

March 24, 2025

MEMORANDUM

TO: Joe Barris, Director of Planning

FROM: Michael Brusca, Assistant Engineer, Civil

**RE: HSP10591 - 60 Bay Ave. Highlands
County Route 8 – Bay Avenue
Block 42 - Lot 1
Borough of Highlands**

MB

The following items were received by this office in connection with the above-referenced application:

- Preliminary & Final Major Site Plan for Proposed Multi-Family Residence, Block 42, Lot 1, 60 Bay Avenue, Borough of Highlands, Monmouth County, New Jersey, prepared by Douglas Clelland, P.E., of Insite, dated February 5, 2024, last revised February 20, 2025, received March 7, 2025.

The following comments/recommendations are made to the Development Review Committee (DRC) pursuant to the Design Standards set forth in the Monmouth County Development Regulations (MCDR):

****NOTE TO APPLICANT/APPLICANTS ENGINEER INVOLVING RECENT CHANGES TO C.R. 8, BAY AVENUE:**

In October of 2024, C.R. 8, Bay Avenue was repaved and as such is under a moratorium for 5 years. The Grading, Drainage, & Utility Plan, sheet C400 indicates sanitary, water service, natural gas, and underground electrical service connections within the C.R. 8 right of way which will require trenching. Indicate pavement repair to be the full width of Bay Avenue and 25-ft beyond the outer limits of the trenches longitudinally.

To: Joe Barris, Director of Planning
3/14/25

Page: 2 of 3
HSP10591_60 Bay Ave. Highlands

Review contributors:

Vincent J. Cardone, P.E., Principal Engineer II, Traffic Safety and Operations



General Civil Comments:

GC2. Was the right-of-way established at 30-ft from the centerline of C.R. 8, Bay Avenue? If so, indicate on the site plans and provide dimension. Indicate the deed book and page. Provide the following information:

- a. Metes and bounds of the dedication;
- b. area of dedication, in acres and sq.ft.;
- c. grantee of dedication;
- d. deed of dedication, with parcel description for review.

If right-of way was not established as above, then provide a proposed dedication to 30-ft from the centerline of C.R. 8, Bay Avenue. Provide the information requested in comments 3a – 3d

Comment from 1/13/25 memo: The applicant's engineer has responded with a request for the Development Review Committee to grant an easement in lieu of a dedication citing setback variances as a hardship. In consideration of granting the easement, the DRC should consider the location of the footing of the garage(s) wall as it overlaps the boundary of and would impact the area of the proposed easement.

PARTIALLY ADDRESSED: Building geometry shifted to no longer overlap easement which allows recommendation of granting the easement in lieu of a dedication. If approved by the Development Review Committee, provide deed of easement for review by the County surveyor.

GC5. The Site Layout Plan, sheet C300, has several discrepancies:

- b. the driveway apron is indicated to be concrete by callout and hatching. However, the existing frontage is brick pavers and another label calls for the pavers to be removed and reset. Additionally, the flares of the driveway are not hatched as concrete.

PARTIALLY ADDRESSED: Indicate proposed full height and proposed depressed curb on the C.R. 8 frontage as concrete for clarification.

Traffic Comments:

T2. Per Monmouth County Design Regulations § 5.2-1.1D:

- *A minimum distance of at least 25' shall be provided between the closest edges of the driveways.*
- *No portion of a driveway shall be located within 10' of a side property line.*

The proposed width between two of the more proximate residential driveways (NW) fronting C.R. 8, Bay Avenue is 5 ft. The setback for closest (NW) access driveway is 8 ft. The proposed driveway designs do not satisfy Monmouth County Design Regulations and should be revised for compliance.

Comment from 1/13/25 memo: The revision of the driveway configurations to a shared driveway satisfies the 25' minimum between spacing between driveways. However, the 5-ft apron flare is within 10-ft of the property line. Per Monmouth County Development Regulations, vol. 2, §5.2-3.1I, driveway apron flares and corner radii are considered as portions of the driveway.

PARTIALLY ADDRESSED: The Site Layout Plan indicates the apron flares do not comply with MCDR §5.2-3.1I and will require a waiver request from the Development

To: Joe Barris, Director of Planning
3/14/25

Page: 3 of 3
HSP10591_60 Bay Ave. Highlands

Review Committee. Support for the request can be recommended based on the applicant's modifications to the driveway fronting C.R. 8 which were requested by the County.

- T3. Per Monmouth County Design Regulations § 5.2-3.1B: *access to a County Road shall not be permitted if the site plan also abuts a municipal road or adjacent driveway and access to the municipal road or adjacent property can be reasonably provided.*

As the site design allows for potential access to a municipal road, the three residential driveways become design nonconformities.

Comment from 1/13/25 memo: The Development Review Committee has the option to grant a waiver for access to a County road at their discretion and upon request of the applicant.

NOT ADDRESSED: Request for a waiver from Monmouth County Design Regulations § 5.2-3.1B can be recommended based on the applicant's modifications to the driveway fronting C.R. 8 which were requested by the County.

- T4. Per Monmouth County Design Regulations § 5.2-3.1C, *driveways on a county road shall be designed so that vehicles are not forced to back out into the County Road.* Additionally, the three driveways fronting C.R. 8, Bay Avenue are not in compliance with MCDR § 5.2-1.2A, On-Site Vehicle Turn Around, *all driveways to the county road on minor subdivisions must be designed with provisions for on-site vehicle turn-around (see figure 2) so that vehicles are not forced to back out into the county road. At a minimum, the driveway must be designed in accordance with the passenger vehicle turning radius templates contained in the current edition of A Policy on Geometric Design of Highways and Streets published by American Association of State Highway and Transportation Officials (AASHTO).* The three driveways fronting C.R. 8, Bay Avenue were not designed with vehicle turnarounds. Revise for compliance with the above stated Monmouth County Design Regulations.

*Comment from 1/13/25 memo: The Development Review Committee has the option to grant a waiver for lack of on-site vehicle turn around at their discretion and upon request of the applicant. **It should be noted the existing building has on-site provisions for vehicle turn-around.*

NOT ADDRESSED: Request for a waiver from Monmouth County Design Regulations § 5.2-1.2A can be recommended based on the applicant's modifications to the driveway fronting C.R. 8 which were requested by the County.

Please request the applicant and the engineer to provide an itemized response to these comments. Please advise the applicant that responses to this Request for Information may result in additional requests and / or conditions on the application.

cc: Joseph M. Ettore, County Engineer
Tom Lombardi, Supervising Engineer
Vince Cardone, Principal Engineer II
Victorino Zabat, Principal Engineer
Dave Schmetterer, Asst. Planning Director
Victor Furmanec, Principal Planner
Kyle DeGroot, Senior Planner
Jason Pene, Assistant Planner
Jeannine Smith, Planning Aide

PRELIMINARY & FINAL MAJOR SITE PLAN FOR PROPOSED MULTI-FAMILY RESIDENCE

BLOCK 42, LOT 1 TAX MAP SHEET #11 60 BAY AVENUE

BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY

PROPERTY OWNERS WITHIN 200' (2/21/2024)

Block/Lot	Current Owner	Mailing Address	City/Township	Zip
1319-41-8	75 BAY AVENUE SWANTON LLC	75 BAY AVENUE	HIGHLANDS NJ	07732
1319-41-9	DOUITY DOUGLAS & BAYARD	88 BAY AVENUE	HIGHLANDS NJ	07732
1319-41-10	AMERICAN LEGION	BAY AVE	HIGHLANDS NJ	07732
1319-42-2	SHARKEY MARY T	68 BAY AVENUE	HIGHLANDS NJ	07732
1319-42-13	WEST CARL & BUSICHO KARIN	78 BAY AVENUE	HIGHLANDS NJ	07732
1319-42-14	TRI STATE REALTY LLC	484 SYCAMORE AVE STE 100	SHREWSBURY NJ	07702
1319-39-1.01	BOROUGH OF HIGHLANDS	171 BAY AVE	HIGHLANDS NJ	07732
1319-39-1.02	BOROUGH OF HIGHLANDS	171 BAY AVE	HIGHLANDS NJ	07732
1319-42-3	PISANO BEVERLY	11 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-41-4	61 BAY AVENUE LLC	28 ATLANTIC AVENUE	OCEAN GROVE NJ	07756
1319-41-7	KEMPSON MATTHEW	30 SECOND STREET	HIGHLANDS NJ	07732
1319-42-9	KURDES LAWRENCE J & MARY-ALISON	8 BAY ST	HIGHLANDS NJ	07732
1319-41-2.01	BASKET EUGENE J	57 BAY AVENUE	HIGHLANDS NJ	07732
1319-43-3	REMIAS ROSE MARIE	22 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-42-12.01	RICCIARDONE BRIAN	163 FANNING STREET	STATEN ISLAND NY	10314
1319-42-15	SHARKEY HUGH & MARY	68 BAY AVENUE	HIGHLANDS NJ	07732
1319-43-1	LAURITANO VICTOR	18 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-43-2	FRANSON LOREEN	20 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-41-3	KU WALTER & EVA L	59 BAY AVENUE	HIGHLANDS NJ	07732
1319-42-4	HARTSGROVE TROY & JOY ANNE	13 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-42-5	STENSETH MARK D & ALECIA E	15 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-42-6	MAZZELLA KIM M	17 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-42-7	MENZA DAN & KAREN	19 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-41-5	SMITH MURRAY T	226 PARK STREET	MONTCLAIR NJ	07040
1319-38-01-17.01	MONAHAN WILLIAM	55 A BAY AVE	HIGHLANDS NJ	07732
1319-38-01-17.02	DAVIS COREY MOLZON & JOHN A	55 BAY AVENUE	HIGHLANDS NJ	07732
1319-38-01-17.03	KEETON RANDALL E & DALE ANN	53 BAY AVENUE	HIGHLANDS NJ	07732
1319-38-01-17.04	FEHMI ALICIA M	51 BAY AVENUE	HIGHLANDS NJ	07732
1319-38-01-17.05	ZHENG WU & QI SUM	27 SOUTH AVENUE	ATLANTIC HIGHLANDS NJ	07716
1319-41-6	KOEPPEL RICHARD J & JOSEPH W	P.O. BOX 810	NAVESINK NJ	07752

UTILITY CONTACTS

*If you are located within 200 feet of a State Highway, you MUST notify the NJ Department of Transportation:

NJ Dept. of Transportation
1035 Plow Avenue
PO Box 600
Trenton, NJ 08625

*If you are within 200 feet of a County owned road, you MUST notify the Monmouth County Planning Board:

Monmouth County Planning Board
Hall of Records Annex 2nd Floor
One East Main St.
PO Box 1255
Freehold, NJ 07728

JCP&L
300 Madison Avenue
PO Box 1911
Morristown, NJ 07960

NEW JERSEY AMERICAN WATER COMPANY
Attn: Construction Department
661 Shrewsbury Ave
Shrewsbury, NJ 07702

COMCAST COMMUNICATIONS OF MONMOUTH COUNTY
Ron Bertrand, Construction Foreman
403 South St
Eatontown, NJ 07724

VERIZON COMMUNICATIONS
One Verizon Way
Basking Ridge, NJ 07920

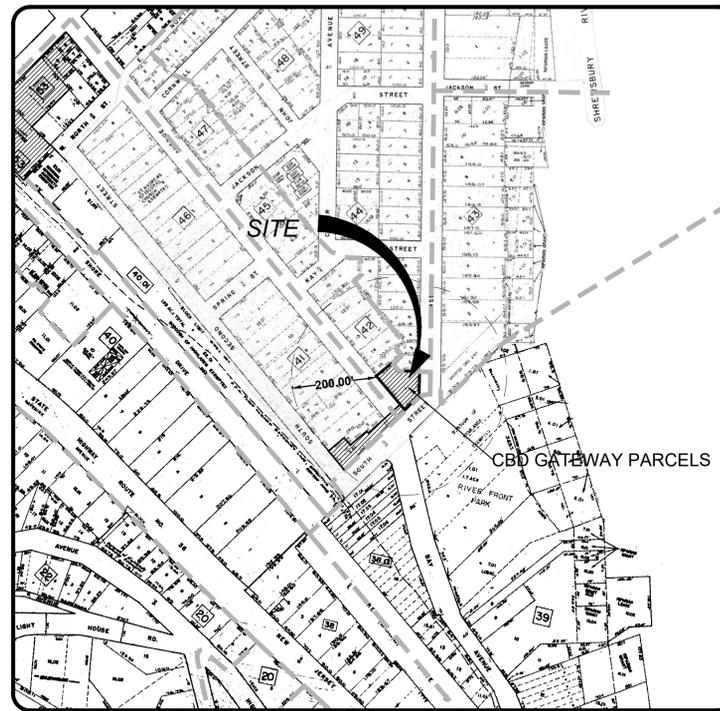
TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY
Raymond J. Nicoletti, P.E., Executive Director
PO Box 205, 100 Beverly Way
Belford, NJ 07718

NEW JERSEY NATURAL GAS COMPANY
Attn: Joan Purcaro
PO Box 1464
1415 Wyckoff Road
Wall, NJ 07719

MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY
Attn: Executive Director
200 Harbor Way
PO Box 184
Belford, NJ 07718

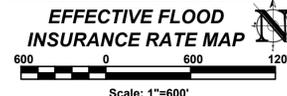
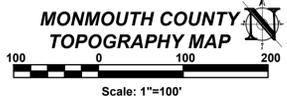
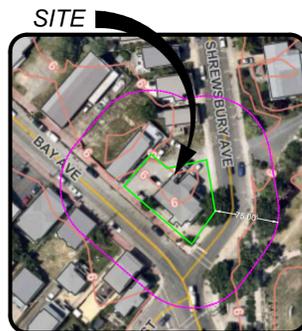
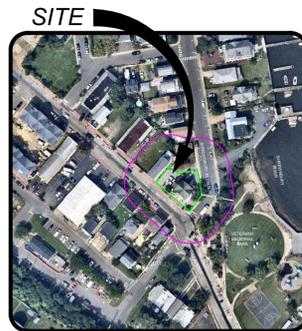
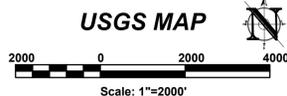
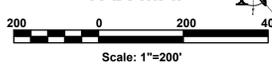
LAND USE BOARD APPROVAL

APPROVED BY THE BOROUGH OF HIGHLANDS LAND USE BOARD	
BOARD CHAIRPERSON	DATE
BOARD SECRETARY	DATE
BOARD ENGINEER	DATE



ZONE	REDEVELOPMENT OVERLAY 2 ZONE (C-R-2)
CBD	REDEVELOPMENT OVERLAY 3 ZONE (C-R-3)
P/B	PROFESSIONAL BUSINESS
R-1.01	SINGLE FAMILY RESIDENTIAL
R-2.02	SINGLE FAMILY RESIDENTIAL
R-4	ONE-FAMILY RESIDENTIAL
WC-1	WATERFRONT COMMERCIAL
WT-R	WATERFRONT TRANSITION RESIDENTIAL

TAX MAP



SHEET #	TITLE SHEET	INITIAL RELEASE	REV. DATE
C100	TITLE SHEET	02/05/24	04/10/25
C101	PLAN NOTES	02/05/24	04/10/25
C200	EXISTING CONDITIONS & SITE PREPARATION PLAN	02/05/24	04/10/25
C300	SITE LAYOUT PLAN	02/05/24	04/10/25
C400	GRADING, DRAINAGE & UTILITY PLAN	02/05/24	04/10/25
C600	LANDSCAPE PLAN	02/05/24	04/10/25
C601	LIGHTING PLAN - EXISTING CONDITIONS R.O.W. ONLY	02/05/24	04/10/25
C602	LIGHTING PLAN - PROPOSED CONDITIONS	02/05/24	04/10/25
C603	LIGHTING DETAILS	11/20/24	04/10/25
C700	CONSTRUCTION DETAILS	02/05/24	04/10/25
C701	CONSTRUCTION DETAILS	06/05/24	04/10/25
C800	SOIL EROSION & SEDIMENT CONTROL PLAN	02/05/24	04/10/25
C801	SESC NOTES	02/05/24	04/10/25
C802	SESC DETAILS	02/05/24	04/10/25
C900	TURNING MOVEMENT PLAN	11/20/24	04/10/25
C901	TURNING MOVEMENT PLAN	11/20/24	04/10/25
C902	TURNING MOVEMENT PLAN	11/20/24	04/10/25
C903	TURNING MOVEMENT PLAN	11/20/24	04/10/25
C904	TURNING MOVEMENT PLAN	01/21/25	04/10/25
C905	TURNING MOVEMENT PLAN	01/21/25	04/10/25

PROJECT INFORMATION

PROPOSED MULTI-FAMILY RESIDENCE

PROJECT LOCATION:
BLOCK 42, LOT 1
60 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER:
60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT:
60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

ATTORNEY:
DONNA M. JENNINGS ESQ.
WILENTZ, GOLDMAN & SPITZER, PA
90 WOODBRIDGE CENTER DRIVE, SUITE 900
WOODBRIDGE, NJ 07095

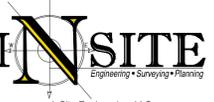
ARCHITECT:
SALVATORE LA FERLITA, R.A.
115 UNIVERSITY DRIVE
LINCROFT, NJ 07738

SURVEYOR:
INSITE SURVEYING, LLC
1955 ROUTE 34, SUITE 1A
WALL, NJ 07719



CALL BEFORE YOU DIG!
NJ ONE CALL: 800-272-1000

UTILITY	MARKING COLOR
ELECTRIC	RED
TELEPHONE	YELLOW
COMMUNICATIONS TV	ORANGE
WATER	BLUE
TEMP. SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE



InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (PH) 732-531-7344 (FAX)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA, DELAWARE, CONNECTICUT, NORTH CAROLINA, COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED

DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24GE05331000

REVISIONS

Rev.#	Date	Comment
11	04/10/25	PER COUNTY
10	04/01/25	PER COUNTY
9	02/26/25	PER COUNTY
8	01/31/25	PER COUNTY REVIEW LETTER
6	12/26/24	FOR RESOLUTION COMPLIANCE
4	11/20/24	FOR RESOLUTION COMPLIANCE
3	08/24/24	PER BOROUGH COMMENTS
2	04/09/24	PER ATTORNEY
1	03/12/24	PER ATTORNEY
0	02/05/24	INITIAL RELEASE

SCALE: AS SHOWN DESIGNED BY: DDC
DATE: 02/05/24 DRAWN BY: AMC
JOB #: 23-2237-01 CHECKED BY: DDC

CADD: 23-2237-01/3
NOT FOR CONSTRUCTION

APPROVED BY:

FOR CONSTRUCTION
PLAN INFORMATION
DRAWING TITLE:
PRELIMINARY & FINAL MAJOR SITE PLAN

SHEET TITLE:
TITLE SHEET

SHEET NO.:
C100

GENERAL SLOPE PLANTING

- A. PLANTING PREPARATION
1. SLOPE TEXTURING
a. CUT SLOPES: THESE SURFACES SHALL BE ROUGHENED IN A HORIZONTAL DIRECTION FOLLOWING THE CONTOUR OF THE SLOPE. THE ROUGHENED TEXTURE SHALL BE MADE BY HAND RAKING OR SIMILAR MECHANICAL MEANS.
b. FILL SLOPES: THESE SURFACES SHALL BE COMPACTED AND FINISHED AND ALSO ROUGHENED IN A HORIZONTAL DIRECTION FOLLOWING THE CONTOUR OF THE SLOPE. THE ROUGHENED TEXTURE SHALL BE MADE BY HAND RAKING OR SIMILAR MECHANICAL MEANS.
2. WEED ERADICATION
a. MANUALLY REMOVE EXISTING VEGETATION WHERE NOTED ON PLAN AND DISPOSE OFFSITE.
b. FERTILIZE ALL PLANTING AREAS BASED UPON SOIL ANALYSIS. BEGIN WATERING PROCESS TO ACTIVATE FERTILIZER AND ADDITIVE CHEMICALS.
c. WATER ALL PLANTING AREAS THOROUGHLY FOR A PERIOD OF TWO (2) CONSECUTIVE WEEKS. THE UNDERSIGNED SHALL APPROVE SPECIFIC WATERING DURATION AND FREQUENCY DESIGNED TO GERMINATE ALL RESIDUAL WEED SEEDS.
d. IF FRESHWATER WEEDS ARE APPLICABLE TO THE PROJECT, THE UNDERSIGNED SHALL APPROVE THE USE OF AN APPLICABLE HERBICIDE BY A LICENSED APPLICATOR IF ANNUAL WEEDS APPLY. USE STRAIGHT CONTACT HERBICIDE AS PER THE LICENSED APPLICATOR'S RECOMMENDATIONS. NO WATER SHALL BE APPLIED FOR A MINIMUM OF FOUR (4) DAYS FOLLOWING APPLICATION CONTACT WEED KILLER. ALLOW SUFFICIENT PERIOD OF TIME TO INSURE THAT ALL WEEDS ARE DEAD.
e. WATER ALL PLANTING AREAS THOROUGHLY FOR A PERIOD OF THREE (3) WEEKS. A SHORTER WATERING PERIOD MAY BE PERMISSIBLE AT THE DISCRETION OF THE UNDERSIGNED AND/OR THE PEST CONTROL ADVISOR. DISCONTINUE WATERING FOR ONE (1) DAY PRIOR TO THE SECOND APPLICATION OF THE HERBICIDE. RE-APPLY AS PER THE PEST CONTROL ADVISOR'S RECOMMENDATIONS. FOR EFFECTIVE WEED ERADICATION, ALLOW A MINIMUM OF FOUR (4) DAYS WITHOUT IRRIGATION.
f. REMOVE ALL DESICATED WEEDS FROM SLOPES.
B. PLANTING
PLANT TREES AND SHRUBS AS INDICATED ON PLANTING PLAN AND AS DETAILED ON PLANTING DETAIL SHEET. SUBSTITUTIONS OF PLANTS WILL NOT BE ACCEPTED UNLESS APPROVED IN WRITING BY THE UNDERSIGNED. INSTALL ALL CONTAINER GROUND PLANTS ACCORDING TO TREE AND SHRUB PLANTING AND STAKING DETAIL. THOROUGHLY MIX THE SPECIFIED MATERIALS FOUND IN THE SOIL ANALYSIS AND THOSE SPECIFIED IN THE PLANTING DETAIL SHEET WITH THE SITE SOIL PRIOR TO BACKFILLING OF PLANTING PITS.

GENERAL NOTES

- 1. SUBJECT PROPERTY
TAX MAP T1: BLOCK 42, LOTS 1, BOROUGH HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY
2. PURPOSE OF THIS PLAN SET
THIS PLAN SET HAS BEEN PREPARED FOR THE PURPOSE OF PRELIMINARY/FINAL SITE PLAN MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THE PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL FINAL APPROVALS HAVE BEEN OBTAINED AND ALL THE CONDITIONS OF THE APPROVALS HAVE BEEN SATISFIED.
3. SURVEY DATA
SURVEY INFORMATION CONTAINED HEREON IS BASED ON A FIELD SURVEY PERFORMED BY INSITE SURVEYING, LLC, ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY", LAST REVISED 12/20/23. ALL ELEVATIONS ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1988 (NAV88). SEE SURVEY FOR DEED REFERENCES.
4. BASE FLOOD ELEVATION
ACCORDING TO FEMA'S EFFECTIVE FIRM ENTITLED "FIRM - FLOOD INSURANCE RATE MAP (FIRM), MONMOUTH COUNTY, NEW JERSEY [ALL JURISDICTIONS]," COMMUNITY PANEL #3402500088H, DATED 01/15/22, THE SITE IS LOCATED IN ZONE AE WITH A BASE FLOOD ELEVATION OF 11. ACCORDING TO FEMA'S CURRENT PRELIMINARY FIRM ENTITLED "PRELIMINARY FLOOD INSURANCE RATE MAP (FIRM)," COMMUNITY PANEL #3402500088H, DATED 01/15/22, THE SITE IS LOCATED IN ZONE AE WITH A BASE FLOOD ELEVATION OF 11. BOTH FEMA MAPS REFERENCE THE NAV88 VERTICAL DATUM.
5. ARCHITECTURAL INFORMATION
ARCHITECTURAL INFORMATION CONTAINED HEREON IS BASED ON PLANS PREPARED BY SALVATORE LA FERLITA, R.A. ARCHITECTURAL SERVICE CONSTRUCTION MANAGEMENT.
6. UNDERGROUND UTILITIES NOTIFICATION
FOR ANY EXCAVATION IN NEW JERSEY, THE CONTRACTOR MUST CALL NEW JERSEY ONE CALL SERVICE AT 1-800-272-1000 FOR A MARKOUT REQUEST NO LESS THAN THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
7. VERIFICATION OF UTILITIES
THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES (INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM SEWERS, POTABLE WATER LINES AND APPURTENANCES, NATURAL GAS LINES, ELECTRIC, TELEPHONE AND CATV LINES AND UNDERGROUND STORAGE TANKS) THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER, AND THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION AND ELEVATION OF THESE UTILITIES OR OTHER CONSTRUCTION OBSTACLES IMPACTED BY NEW CONSTRUCTION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING, PRIOR TO CONSTRUCTION, OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT DESIGN.
8. SPECIFICATIONS
UNLESS OTHERWISE NOTED HEREON, ALL SITE WORK SHALL BE CARRIED OUT IN CONFORMANCE WITH THE PROVISIONS OF THE "NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.
9. CONSTRUCTION REQUIREMENTS
a. ALL CONSTRUCTION AND INSTALLATION SHALL CONFORM WITH ANY APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY WAYS, MEANS AND METHODS OF CONSTRUCTION, AND SHALL CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO CONSTRUCTION.
b. THE CONTRACTOR SHALL PERFORM ALL WORK IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
c. THE CONTRACTOR SHALL PROVIDE NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY WITHIN THE PROJECT FOR THE PROTECTION AND THE SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION.
d. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE CLEANUP WITHIN THE CONSTRUCTION AREA AND SHALL DISPOSE OF DEBRIS IN ACCORDANCE WITH ANY LOCAL, STATE OR FEDERAL REGULATIONS.
e. ANY DAMAGE TO PUBLIC STREETS, CURBS, SIDEWALKS AND UTILITIES AS A RESULT OF SITE CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR.
10. CONSTRUCTION PERMITS/INSPECTIONS
CONTRACTOR RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS INCLUDING ROAD OPENING PERMITS, PREPARATION OF TRAFFIC CONTROL PLANS, INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL AND COORDINATION OF ALL INSPECTIONS REQUIRED BY THE BOROUGH OF HIGHLANDS, COUNTY OF MONMOUTH, TOWNSHIP OF MIDDLETOWN SA WMP SEWERAGE AUTHORITY, AND ANY OTHER APPLICABLE AGENCY HAVING JURISDICTION OVER THE PROJECT.
11. ADA COMPLIANCE
a. ALL SITE IMPROVEMENTS LOCATED ON THE PRIVATE PROPERTY SHALL BE IN COMPLIANCE WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, STANDARDS FOR PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES, TITLE III.
b. ALL SITE IMPROVEMENTS LOCATED WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH THE CURRENT PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEE GUIDELINES.
12. OVERALL CONSTRUCTION DOCUMENTS
THIS PLAN SET CONSISTS OF MULTIPLE SHEETS. INDIVIDUAL PAGES SHALL NOT BE UTILIZED FOR CONSTRUCTION ON THEIR OWN AS NOTES AND INFORMATION PROVIDED ON OTHER SHEETS MAY IMPACT WORK REQUIREMENTS. CONTRACTOR SHALL REVIEW AND UTILIZE ENTIRE PLAN SET FOR CONSTRUCTION.
13. FRESHWATER/COASTAL WETLANDS AND STREAMS
BASED UPON REVIEW OF PUBLISHED MAPPING, NO FRESHWATER/COASTAL WETLANDS OR STREAMS EXIST ON-SITE.
14. SOIL REMOVAL
ANY SOIL REMOVAL FROM THE SITE SHALL BE IN ACCORDANCE WITH BOROUGH CODE.
15. SITE MAINTENANCE
REGULAR MAINTENANCE OF THE PROPERTY (INCLUDING BUT NOT LIMITED TO: SNOW PLOWING, PAVEMENT / PARKING LOT REPAIRS, COMMON AREAS, REFUSE AREA, LANDSCAPING AND LIGHTING) SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
16. IMPORTED FILL
ANY IMPORTED FILL SHALL MEET THE DEFINITION OF CLEAN FILL, PURSUANT TO THE TECHNICAL REQUIREMENTS OF SITE REMEDIATION (AS FOUND AT NJAC 7:26E-18).
17. UNDERGROUND TANKS
ANY SEPTIC SYSTEMS OR UNDERGROUND STORAGE TANKS FOUND ONSITE WILL BE DECOMMISSIONED AND/OR REMOVED IN ACCORDANCE WITH BOROUGH, COUNTY AND/OR NJDEP REQUIREMENTS.
18. CURBS, SIDEWALKS
APPLICANT IS RESPONSIBLE FOR ANY DAMAGES TO ANY/ALL EXISTING CURBS, SIDEWALK, ROADWAY AND OTHER OFF-SITE OBJECTS MADE DURING CONSTRUCTION AND MUST BE REPAIRED AND/OR REPLACED TO THE PRE-EXISTING CONDITION/STATE TO THE SATISFACTION OF THE BOROUGH ENGINEER, WHICH SHALL NOT UNREASONABLY BE WITHHELD, AND COAST PAID BY THE APPLICANT.
19. FENCE ENCROACHMENT
SHOULD THE FENCE ALONG THE PROPERTY LINE SHARED WITH LOT 15 BE REPLACED, THE FENCE ENCROACHMENT SHALL BE ELIMINATED.
20. AIR CONDITIONING UNITS
ALL AIR CONDITIONING UNITS SHALL BE LOCATED ON THE ROOF NEAR THE ELEVATOR.

GENERAL LANDSCAPING NOTES

- A. CLEANUP
AFTER ALL INSTALLATION OPERATIONS HAVE BEEN COMPLETED, REMOVE ALL RUBBISH, EXCESS SOIL, EMPTY PLANT CONTAINERS AND TRASH FROM THE SITE DAILY. ALL SCARS, RUTS AND OTHER MARKS IN THE AREA CAUSED BY THIS WORK SHALL BE REPAIRED AND THE GROUND LEFT IN A NEAT, ORDERLY CONDITION. LEAVE SITE IN BROOM-CLEAN CONDITION AT THE END OF EACH DAY.
B. MAINTENANCE
1. DURING INSTALLATION, THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT NUMBER OF LABORERS AND ADEQUATE EQUIPMENT TO PERFORM THE MAINTENANCE OPERATIONS SPECIFIED. PLANT MAINTENANCE SHALL CONSIST OF WATERING, WEEDING, CARING OF PLANTS, INCLUDING GROUND COVERS, SHRUBS, VINES AND TREES, EDGING AND MOVING LAWNS, FERTILIZING, CONTROL OF PESTS AND DISEASES, AND MAINTAINING WALKS FREE OF DEBRIS AND DIRT. UPON COMPLETION OF EACH AREA, THE CONTRACTOR, THE UNDERSIGNED, THE OWNER, ALONG WITH THE OWNER'S MAINTENANCE PERSONNEL, SHALL CONDUCT AN INSPECTION OF THE COMPLETED AREA. AT THIS TIME, A LIST OF CORRECTIONS, IF ANY, SHALL BE MADE. ALL CORRECTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. AFTER ALL WORK HAS BEEN COMPLETED, INSPECTED AND ACCEPTED, ALL AREAS WILL BE MAINTAINED FOR A PERIOD OF NINETY (90) CALENDAR DAYS OR AS LONG AS IS NECESSARY TO ESTABLISH THRIVING TREES, SHRUBS, TURF AND GROUND COVER WITHOUT BARE SPOTS.
3. KEEP ALL AREAS WEED-FREE, ADEQUATELY WATERED AND NEATLY CULTIVATED FOR THE NINETY (90) PERIOD. REMOVE ALL DEBRIS FROM SITE AND KEEP THE ENTIRE SITE BROOM-CLEAN. TURF AREAS ARE TO BE MOVED WEEKLY.
4. RE-SEED ALL BARE SPOTS IN TURF AREAS AT EVERY (2) WEEK INTERVALS AND MAINTAIN UNTIL AN EVEN STAGE OF TURF IS OBTAINED. RE-FILL ALL SOIL AREAS THAT FAIL TO GERMINATE EVENTUALLY. REPAIR ALL ERODED SURFACES AT NO COST TO THE OWNER.
5. DAMAGE TO ANY PLANTED AREA SHALL BE REPAIRED IMMEDIATELY. DEPRESSIONS CAUSED BY VEHICLES OR FOOT TRAFFIC SHALL BE FILLED WITH TOPSOIL, LEVELED AND REPLANTED.
6. THE PROJECT SHALL BE SO CARED FOR THAT A NEAT, CLEAN CONDITION WILL BE PRESENTED AT ALL TIMES TO THE SATISFACTION OF THE OWNER AND THE UNDERSIGNED. THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO MAKE A MINIMUM OF ONE (1) VISIT PER WEEK FOR MAINTENANCE PURPOSES DURING THE MAINTENANCE PERIOD (90 DAYS).
7. AT THE END OF THE MAINTENANCE PERIOD, ALL AREAS THAT HAVE BEEN PLANTED SHALL BE FERTILIZED WITH COMMERCIAL FERTILIZER. ANALYSIS AND RATE OF APPLICATION SHALL BE PER THE SOIL'S REPORT.
8. THE CONTRACTOR SHALL REQUEST A FINAL SITE VISIT SEVEN (7) DAYS PRIOR TO THE END OF THE MAINTENANCE PERIOD (90 DAYS). THIS REQUEST SHALL BE WRITTEN AND DIRECTED TO THE OWNER AND THE UNDERSIGNED, UPON WRITTEN ACCEPTANCE OF THE PROJECT BY THE OWNER AND THE UNDERSIGNED, THE CONTRACTOR SHALL BE RELIEVED OF ANY FURTHER MAINTENANCE.
C. GUARANTEE
ALL TURF, GROUND COVER AND SHRUBS SHALL BE GUARANTEED TO LIVE AND GROW THROUGH THE FIRST GROWING SEASON. TREES SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR. THE CONTRACTOR, AT NO COST TO THE OWNER, SHALL REPLACE ANY MATERIAL THAT FAILS TO GROW THROUGH THE SPECIFIED MAINTENANCE AND GUARANTEE.
D. INSPECTION DURING CONSTRUCTION
1. OBSERVATION VISITS SPECIFIED HEREIN SHALL BE MADE BY THE UNDERSIGNED OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL REQUEST OBSERVATION AT LEAST TWO (2) WORKING DAYS IN ADVANCE OF THE TIME THAT THE OBSERVATION IS REQUESTED. A
2. OBSERVATION VISITS ARE SUGGESTED FOR THE FOLLOWING PARTS OF THE WORK:
a. UPON COMPLETION OF GRADING AND SOIL CONDITIONING PRIOR TO PLANTING
b. WHEN TREES ARE SPOTTED FOR PLANTING, BUT PRIOR TO WHEN PLANTING HOLES ARE EXCAVATED
c. WRITTEN ACCEPTANCE OF THE PROJECT TO RELEASE THE CONTRACTOR FROM FURTHER MAINTENANCE SHALL OCCUR AFTER FINAL OBSERVATION WITH THE OWNER OR HIS REPRESENTATIVE AT THE END OF THE MAINTENANCE PERIOD.
E. VERIFICATION OF DIMENSIONS
ALL SCALED DIMENSIONS ARE APPROXIMATE. PRIOR TO PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND QUANTITIES, AND SHALL IMMEDIATELY NOTIFY THE UNDERSIGNED OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS AND ACTUAL CONDITIONS. NO WORK SHALL BE DONE IN ANY AREA WHERE THERE IS SUCH A DISCREPANCY UNTIL APPROVAL FOR SAME HAS BEEN GIVEN BY THE UNDERSIGNED.
F. UTILITIES
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITY LINES PRIOR TO ANY CONSTRUCTION, SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DAMAGE SUCH LINES AND PLANT LOCATIONS. PROMPTLY NOTIFY THE UNDERSIGNED TO ARRANGE FOR RELOCATION OF UTILITIES OR PLANTING LOCATIONS. FAILURE TO FOLLOW THIS PROCEDURE PLACES UPON THE CONTRACTOR THE RESPONSIBILITY FOR, AT HIS OWN EXPENSE, MAKING ANY AND ALL REPAIRS FOR DAMAGES RESULTING FROM HIS WORK.
G. EXISTING TREES
CONTRACTOR IS TO TAKE CARE IN PRESERVING ANY EXISTING TREES GREATER THAN OR EQUAL TO 6" ON THE SITE. DAMAGE OR LOSS OF THESE TREES WILL RESULT IN REPLACEMENT OF EQUAL SIZE BY THE LANDSCAPE CONTRACTOR.
H. INSTALLATION
THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, FINAL GRADING, SEEDING, SOIL AMENDMENTS, ETC., AS MAY BE REQUIRED FOR A COMPLETE INSTALLATION.
I. PLANTING SPECIFICATIONS
ALL TREE AND SHRUB MATERIAL, SPECIFIED MUST MEET STANDARD INDUSTRY SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED. DOWNSIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF UNDERSIGNED WILL NOT BE ALLOWED.
J. FINAL GRADING AND PLANTING
ALL LANDSCAPE AREAS SHALL BE GRADED TO A SMOOTH EVEN SURFACE PRIOR TO ANY PLANT INSTALLATION. ALL PLANT MATERIALS SHALL BE INSTALLED USING GOOD HORTICULTURAL PRACTICES IN ACCORDANCE WITH THE PLANS AND DETAILS.
K. TREE PLANTINGS
WHENEVER FEASIBLE, TREES SHOULD BE PLANTED A MINIMUM OF TEN (10) FEET FROM ALL UNDERGROUND UTILITIES, STREETLIGHTS, HYDRANTS, AND OUT OF DRAINAGE FLOW LINES. SHOULD THIS NOT BE POSSIBLE, CONTACT THE UNDERSIGNED FOR DECISION ON PLACEMENT.
2. ALL TREES IN TURF AREAS SHALL HAVE 1/2" MIN. CLR. CIRCUMFERENCE AROUND THE TRUNK BASE, PROVIDE 3" MIN. THK. MULCH AT BASE OF TRUNK.
L. GROUND COVER
GROUND COVER TYPE SHOWN SHALL BE PLANTED IN ALL SHRUB AREAS AS SPECIFIED ON PLANS. GROUND COVER SHALL BE PLANTED AT 18" ON-CENTER UNIFORM TRIANGULAR SPACING, AND SHALL BE CONTINUOUS UNDER ALL TREE AND SHRUB MASSES AS SHOWN ON PLAN.
M. TURF
ALL TURF AREAS ARE TO BE SOODED WITH AN APPROVED GRASS MIXTURE.
*SEE LANDSCAPING NOTES AND DETAIL SHEET FOR ADDITIONAL PLANTING NOTES.

GENERAL SITE PLANTING

- THE OWNER SHALL HAVE A SOIL ANALYSIS MADE AFTER COMPLETION OF THE ROUGH GRADING. THE CONTRACTOR SHALL INCORPORATE ALL SOIL AMENDMENTS AND FERTILIZERS DESCRIBED HEREON. THE SOIL PREPARATION SPECIFIED BELOW SHALL BE ADJUSTED ACCORDING TO THE ANALYSIS, FOLLOWING APPROVAL FROM THE UNDERSIGNED.
A. WEED CONTROL FOR LAWN, SHRUB & GROUND COVER AREAS (EXCEPT SLOPES)
1. REMOVE ALL EXISTING WEEDS FROM SURFACE AND DISPOSE OFFSITE.
2. IRRIGATION IS TO BE INSTALLED WHERE NOTED ON PLAN ACCORDING TO SHOP DRAWINGS.
3. FERTILIZE ALL SHRUB/GROUND COVER AREAS, APPLY 10LBS. OF 16-30-0 COMMERCIAL FERTILIZER PER 1,000 SQ. FT. OR AS DIRECTED BY SOILS REPORT.
4. WATER ALL SHRUB/GROUND COVER AREAS FOR THREE (3) WEEKS TO GERMINATE WEED SEEDS. APPLY WATER AT LOW RATE TO AVOID EROSION.
5. LICENSED APPLICATOR SHALL APPLY SYSTEMIC WEED KILLER TO ALL PLANTING AREAS PER MANUFACTURER'S SPECIFICATIONS.
B. TOPSOIL PRESERVATION
TOPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED ON ALL REGARDED SURFACES. AT LEAST THREE (3) INCHES OF EVEN COVER SHALL BE PROVIDED TO ALL DISTRIBUTED AREAS OF THE DEVELOPMENT AND SHALL BE STABILIZED BY SEEDING OR PLANTING. IF EXCESS TOPSOIL REMAINS, THE THICKNESS SHALL BE INCREASED. IF ADDITIONAL IS REQUIRED, THE DEVELOPER SHALL PROVIDE IT. REMOVAL OF EXCESS TOPSOIL SHALL ONLY BE PERMITTED IN ACCORDANCE WITH A PLAN APPROVED BY THE MUNICIPAL AGENCY.
C. SOIL PREPARATION & FINAL GRADING
1. ALL STAMPS AND OTHER TREE PARTS, LITTER, BRUSH, WEEDS, EXCESS OR SCRAP BUILDING MATERIALS, OR OTHER DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF. NO TREE STUMPS, PORTIONS OF TREE TRUNKS OR BRANCHES SHALL BE BURIED ANYWHERE IN THE DEVELOPMENT. ALL DEAD OR DYING TREES, STANDING OR FALLEN, SHALL BE REMOVED FROM THE SITE.
2. ROUGH GRADE: SITE TO BE RECEIVED BY LANDSCAPE CONTRACTOR, TO WITHIN 1/10 FOOT PLUS OR MINUS, BY OWNER BASED UPON GRADING PLAN.
3. FINAL GRADE: FINAL GRADE TO CONSIST OF GRADING, RAKING AND HAND WORK NECESSARY TO ACHIEVE DESIRED CONTOUR AND FLOW LINE PATTERNS RESULTING IN EVENLY FINISHED SURFACES FREE OF DEBRIS AND LITTER.
4. SPREAD OVER ALL LAWN, SHRUB AND GROUND COVER AREAS, AMENDMENTS AND FERTILIZER PRESCRIBED IN SOILS REPORT. THOROUGHLY MIX INTO SOIL TO DEPTH OF 6" OR MORE AND FINE GRADE. CONTRACTOR TO IMPORT SOIL NECESSARY TO ATTAIN DESIGN GRADES AND BERMS. ALL IMPORTED SOIL SHALL BE FREE OF WEEDS AND DEBRIS AND HAVE BALANCED PH, SMOOTH AND EVEN GRADING FOR PROPER DRAINAGE. FINAL GRADE SHALL BE 1" BELOW WALK/TOP OF CURB, REMOVE FROM THE SITE ALL STONES OVER 2" IN SIZE.
D. PLANTING
PLANT TREES, SHRUBS AND GROUND COVER AS CALLED FOR WHERE INDICATED ON PLANTING PLAN AND AS DETAILED ON PLANTING DETAIL SHEET.
1. GROUND COVER - FLATS AND/OR CUTTINGS
ALL PLANT MATERIALS SPECIFIED AS PLANTS OR FLAT STOCK ON PLANTING PLAN SHALL REMAIN IN THE FLATS UNTIL TIME OF TRANSPLANTING. THE FLAT SOIL SHALL CONTAIN SUFFICIENT MOISTURE SO THAT SOIL DOES NOT FALL APART WHEN LIFTING PLANT FROM FLAT. GROUND COVER PLANTS SHALL NOT BE ALLOWED TO DRY OUT BEFORE OR DURING PLANTING. ROOTS SHALL NOT BE EXPOSED TO THE AIR EXCEPT WHILE ACTUALLY BEING PLANTED. WILTED PLANTS WILL NOT BE ACCEPTED. AT THE TIME OF PLANTING, THE SOIL AROUND EACH PLANT SHALL BE FIRMED SUFFICIENTLY TO FORCE OUT AIR POCKETS. PLANTS TO BE PLANTED IN TRIANGULAR SPACING AS SPECIFIED O.C. (ON CENTER). ALL CUTTINGS SHALL BE MINIMUM OF 6" LONG. WATER IMMEDIATELY AFTER EACH PLANTING UNTIL ONE INCH OF WATER PENETRATION IS OBTAINED. CARE SHALL BE EXERCISED AT ALL TIMES TO PROTECT THE PLANTS AFTER PLANTING. ANY DAMAGE TO PLANTS BY TRAMPLING OR OTHER OPERATIONS OF THIS CONTRACT SHALL BE REPAIRED IMMEDIATELY.
2. SHRUBS
PLANT ALL CONTAINER GROWN PLANTS IN PLANTING PITS AS DIRECTED ON TREE AND SHRUB PLANTING AND STAKING DETAIL. THOROUGHLY MIX BACKFILL ACCORDING TO TREE AND SHRUB PLANTING AND STAKING DETAIL. CONTRACTOR SHALL CONSTRUCT BASINS AROUND ALL TREES. BASINS SHALL NOT EXCEED TOP OF ROOT BALL CROWN.
3. TREES
ALL TREES SHALL HAVE A CALIPER OF TWO AND ONE-HALF (2 1/2) INCHES OR SPECIFIED CALIPER IN PLANTING SCHEDULE AND THEY SHALL BE NURSERY GROWN, OF SUBSTANTIALLY UNIFORM SIZE AND SHAPE, AND HAVE STRAIGHT TRUNKS. TREES SHALL BE PROPERLY PLANTED AND STAKED ACCORDING TO TREE AND SHRUB PLANTING AND STAKING GUIDELINES. PLANTING AND STAKING DETAIL AND PROVISION MADE BY THE APPLICANT FOR REGULAR WATERING AND MAINTENANCE UNTIL THEY ARE ESTABLISHED. THE APPLICANT SHALL REPLACE DEAD OR DYING TREES DURING THE NEXT PLANTING SEASON.
4. TOP DRESSING
TOP DRESS ALL GROUND COVER AND SHRUB AREAS WITH 2" THICK LAYER OF OGC (ORGANIC GROUND COVER) AS SPECIFIED ON PLANTING PLAN.
E. SOD
1. AREAS SHALL HAVE A SMOOTH CONTINUOUS GRADE BETWEEN EXISTING OR FIXED CONTROLS, SUCH AS: WALKS, CURBS, CATCH BASINS, ROLL, SCARIFY, RAKE AND LEVEL AS NECESSARY TO OBTAIN TRUE, EVEN SOIL STRUCTURE.
2. APPLY FERTILIZERS AS SPECIFIED BY SOIL ANALYSIS TO DEPTH OF 6".
3. SOD SHALL BE INSTALLED THE SAME DAY AS IT IS DELIVERED. SOD SHALL NOT BE LEFT ON PALLETS IN THE HOT SUN. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO SOD NOT INSTALLED ON DAY OF DELIVERY.
4. UNROLL, SOO CAREFULLY AND PLACE IN STAGGERED PATTERN OF STRIPS. SOD SHALL BE INSTALLED AGAINST ADJACENT STRIPS TO ELIMINATE JOINTS AND EDGES.
5. FOLLOWING INSTALLATION, SOD SHALL BE IRRIGATED THOROUGHLY TO PROVIDE MOISTURE PENETRATION TO AT LEAST 6" INTO PREPARED SOIL.
6. ALL SOD SHALL BE HANDLED AND LAID IN A HIGH STANDARD OF WORKMANSHIP MANNER. ALL ENDS, JOINTS, AND CUTS SHALL BE TIGHTLY SO THAT THERE ARE NO VOIDS. THE FINAL APPEARANCE SHALL BE ONE OF A CONTINUOUS LAWN. SECTIONS OF SOD LESS THAN 16" LONG OR 9" WIDE SHALL NOT BE USED.
7. NO SOD AREA WILL BE ACCEPTED UNTIL APPROVED BY AUTHORITY HAVING JURISDICTION OR THE UNDERSIGNED, AS REQUIRED.

GRADING NOTES

- 1. ALL PROPOSED ON-SITE CURBING TO BE VERTICAL CURB WITH 6" REVEAL, UNLESS OTHERWISE STATED.
2. ALL CURBS SHALL BE DEPRESSED AT CROSSWALKS AND CONFORM TO APPLICABLE STATE AND FEDERAL BARRIER FREE DESIGN STANDARDS.
3. ALL CURB INLETS TO USE E' CASTING. TOP OF CASTING TO FOLLOW TOP OF CURB ELEVATIONS.
4. FOR ALL AREAS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY, ACCESSIBILITY SHALL BE IN ACCORDANCE WITH THE CURRENT PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEE GUIDELINE (PROVAD).
a. ALL WALKING SURFACES TO HAVE A MAXIMUM FINISH SLOPE OF 1:20 (5%).
b. ALL WALKING SURFACES GREATER THAN 1:20 (5%) WILL REQUIRE HANDRAILS.
c. RAMP RUNS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1:12 (8.3%).
d. ALL WALKING SURFACES TO HAVE A MAXIMUM CROSS SLOPE OF 1:48 (2%).
e. ALL CROSSWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1:48 (2%).
5. ALL GRADING WITHIN GRASSED AREAS TO BE A MINIMUM OF 2% AND A MAXIMUM OF 3:1 SLOPE UNLESS OTHERWISE NOTED.
6. POSITIVE DRAINAGE TO BE MAINTAINED FROM ALL BUILDINGS IN ACCORDANCE WITH APPLICABLE REGULATIONS AND BUILDING CODE.
7. FLOOR ELEVATIONS, ADJACENT GRADE, DOORWAY LOCATIONS AND ELEVATIONS SHALL BE CONFIRMED WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION BY THE CONTRACTOR.
8. ALL EXCAVATED SOIL TO BE DISPOSED SHALL BE PROPERLY CLASSIFIED, HANDLED, AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
9. ALL GRASSED AREAS TO HAVE A MINIMUM OF 4" CLEAN TOP SOIL, WHEN SOD IS BEING INSTALLED, OR 6" CLEAN TOP SOIL FOR SEEDING APPLICATIONS.

DRAINAGE NOTES

- 1. PIPE LENGTHS INDICATED ARE MEASURED CENTER TO CENTER OF EACH STRUCTURE.
2. SHOP DRAWINGS AND PRODUCT CATALOG INFORMATION FOR ALL STORM DRAINAGE SEWER STRUCTURES, CONDUITS, MATERIALS, AND APPURTENANCES, TO BE PROVIDED TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASING.
3. BUILDING ROOF LEADERS AND CLEAR WASTE FROM BUILDING TO CONNECT TO SITE STORM SEWER SYSTEM. CONNECTION POINTS WILL BE COORDINATED WITH ARCHITECTURAL AND PLUMBING PLANS.
4. UNLESS OTHERWISE INDICATED:
a. RCP SHALL BE CLASS 3 WALL BELL AND SPIGOT TYPE WITH O-RING GASKETS, UNLESS OTHERWISE NOTED.
b. HOPE PIPES SHALL BE ADS #12 WITH WATER TIGHT JOINTS OR APPROVED EQUAL.
c. STORM SEWER PVC PIPES SHALL BE SCHEDULE 80 WITHIN PAVED AREAS AND SCHEDULE 40 IN LANDSCAPED AREAS, UNLESS OTHERWISE NOTED.
5. ALL STORM PIPE TO BE CLEANED AND TELEVISED PRIOR TO ISSUANCE OF CERTIFICATES OF OCCUPANCY.

SANITARY SEWER NOTES

- 1. CONTRACTOR TO PERFORM TEST PITS TO VERIFY EXISTING UTILITY DEPTHS, SIZES AND LOCATIONS PRIOR TO CONNECTING PROPOSED SEWER TO EXISTING SEWER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS SO THAT DESIGN MODIFICATIONS CAN BE MADE IF NECESSARY.
2. PIPE LENGTHS INDICATED ARE MEASURED CENTER TO CENTER OF EACH STRUCTURE.
3. ALL SANITARY SEWER MAINS, SEWER LATERALS, AND APPURTENANCES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY AND NJDEP REQUIREMENTS.
4. SHOP DRAWINGS AND PRODUCT CATALOG INFORMATION FOR ALL SANITARY SEWER, CONDUITS, MATERIALS, AND APPURTENANCES, TO BE PROVIDED TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASING.
5. ANY DAMAGE CAUSED TO THE EXISTING SANITARY SEWER SYSTEM AS A RESULT OF CONSTRUCTION ACTIVITIES (TO BE DETERMINED BY THE SEWER OWNER) SHALL BE REPAIRED BY THE CONTRACTOR AT THE COST OF THE CONTRACTOR AND TO THE SEWER OWNER'S SATISFACTION.
6. PRIOR TO ACCEPTANCE, AS-BUILT PLANS FOR THE SANITARY SEWER SYSTEM SHALL BE SUBMITTED AND APPROVED.
7. PRIOR TO ACCEPTANCE, THE SANITARY SEWER SYSTEM SHALL BE TESTED IN ACCORDANCE WITH TOWNSHIP OF MIDDLETOWN SEWAGE AUTHORITY RULES AND REGULATIONS, AND WITNESSED AND APPROVED BY THE AUTHORITY ENGINEER.
8. REFER TO TECHNICAL SPECIFICATIONS FOR SANITARY SEWER FOR MATERIAL, INSTALLATION SPECIFICATIONS AND TESTING REQUIREMENTS.
9. IN ACCORDANCE WITH N.J.A.C. 7-10-11.10(E), ALL WATER MAINS AND SANITARY SEWER LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH OTHER SEPARATION EXPRESSLY APPROVED BY THE NJDEP. AT CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRUCTION (DUCTILE IRON), WITH WATERTIGHT JOINTS THAT ARE A MINIMUM OF 10 FEET FROM THE WATER MAIN.
10. UNLESS OTHERWISE INDICATED SANITARY SEWER MAINS SHALL BE PVC SDR-35
11. A MARKER STAKE PROTRUDING A MINIMUM OF FOUR FEET ABOVE THE GROUND SURFACE SHALL BE PLACED TO INDICATE THE END OF THE CONSTRUCTION STUBS FOR BUILDING CONNECTIONS, OR STUBS SHALL BE TURNED AND EXTENDED ABOVE GRADE BY FOUR FEET AND CAPPED.
12. CIRCULAR HOLE SAWS WHICH ARE APPROPRIATELY SIZED OR HAND DRILLS MUST BE USED TO MAKE OPENINGS IN EXISTING SEWERS TO RECEIVE LATERALS, JACKHAMMERS, SLEDGEHAMMERS AND OTHER UNSUITABLE TOOLS OR MACHINERY WHICH MAY DAMAGE THE SEWER MAIN ARE NOT ALLOWED TO BE USED TO MAKE LATERAL OPENINGS. ALL DEBRIS MUST BE REMOVED AND NOT ALLOWED TO FALL INTO THE PIPE.

WATER NOTES

- 1. CONTRACTOR TO PERFORM TEST PITS TO VERIFY EXISTING UTILITY DEPTHS, SIZES AND LOCATIONS PRIOR TO CONNECTING PROPOSED WATER MAINS TO EXISTING WATER MAINS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS SO THAT DESIGN MODIFICATIONS CAN BE MADE IF NECESSARY.
2. SHOP DRAWINGS AND PRODUCT CATALOG INFORMATION FOR ALL WATER, CONDUITS, MATERIALS, AND APPURTENANCES, TO BE PROVIDED TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASING.
3. PRIOR TO ACCEPTANCE, AS-BUILT PLANS FOR THE WATER SYSTEM SHALL BE SUBMITTED AND APPROVED.
4. REFER TO TECHNICAL SPECIFICATIONS FOR WATER MATERIAL, INSTALLATION SPECIFICATIONS AND TESTING REQUIREMENTS.
5. ALL WATER MAINS, WATER SERVICES AND APPURTENANCES SHALL BE CONSTRUCTED, TESTED AND DISINFECTED IN ACCORDANCE WITH NJAW AND NJDEP REQUIREMENTS.
6. ALL WATER SERVICES TO BE INSTALLED IN CONFORMANCE WITH THE REQUIREMENTS OF THE PLUMBING SUBCODE PROMULGATED BY THE NEW JERSEY DEPARTMENT OF COMMUNITY AFFAIRS PURSUANT TO THE STATE UNIFORM CONSTRUCTION CODE ACT (NUAC 6:23-3.15).
7. ALL NEW WATER MAINS SHALL BE LAID WITH A MINIMUM OF 3.5 FEET OF COVER OVER THE PIPE TO PREVENT FREEZING.
8. IN ACCORDANCE WITH N.J.A.C. 7-10-11.10(E), ALL WATER MAINS AND SANITARY SEWER LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH OTHER SEPARATION EXPRESSLY APPROVED BY THE NJDEP. AT CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRUCTION (DUCTILE IRON), WITH WATERTIGHT JOINTS THAT ARE A MINIMUM OF 10 FEET FROM THE WATER MAIN.
9. UNLESS OTHERWISE INDICATED DIP WATER MAIN SHALL BE CLASS 53 CEMENT LINED DUCTILE IRON PIPE (POLYETHYLENE ENCASEMENT)
10. A MARKER STAKE PROTRUDING A MINIMUM OF FOUR FEET ABOVE THE GROUND SURFACE SHALL BE PLACED TO INDICATE THE END OF THE CONSTRUCTION STUBS FOR BUILDING CONNECTIONS.

PUBLIC UTILITY NOTES

- 1. ALL PUBLIC UTILITY SERVICE CONNECTIONS TO BUILDINGS TO BE LOCATED UNDERGROUND.
2. ELECTRICAL, TELEPHONE, CATV AND ALL OTHER WIRE-SERVED UTILITY EXTENSIONS AND SERVICES SHALL BE INSTALLED UNDERGROUND WITH STANDARDS ESTABLISHED BY THE SERVING UTILITY COMPANY.
3. GAS AND ELECTRICAL SERVICE CONDUITS AND STRUCTURES MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND PROVIDED DESIGN BY JCP&NJUN. THE CONTRACTOR MUST PROVIDE RECORD "AS BUILT" PLANS OF ALL CONDUITS AND STRUCTURES TO JCP&NJUN PROJECT ENGINEER AND THE PROJECT OWNER.
4. TELEPHONE AND CATV SERVICE CONDUIT AND STRUCTURES MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF VERIZON AND COMCAST. THE CONTRACTOR MUST PROVIDE RECORD "AS BUILT" PLANS OF ALL CONDUITS AND STRUCTURES TO VERIZON, COMCAST, PROJECT ENGINEER AND PROJECT OWNER.
5. CONTRACTOR SHALL MAINTAIN FIELD NOTES, PHOTOGRAPHS, AND REDLINE PLANS CLEARLY RECORDING THE LOCATION OF ALL UNDERGROUND INSTALLATIONS. THESE RECORDS SHALL BE PROVIDED TO THE ENGINEER UPON REQUEST.

SITE PREPARATION NOTES

- 1. PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR TO:
a. ENSURE COPIES OF ALL PERMITS AND APPROVALS ARE ON SITE FOR REVIEW.
b. THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO SITE DISTURBANCE.
c. ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE, SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES.
d. PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
e. FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENT AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
f. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
g. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISIONS. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO INSURE PUBLIC AND CONTRACTOR SAFETY.
h. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE.
2. IN ABSENCE OF SPECIFIC SPECIFICATION, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S GEOTECHNICAL ENGINEER.
3. DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINES, WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPLICABLE STATE GOVERNMENT AGENCY.
4. USE DUST CONTROL MEASURES TO LIMIT THE AMOUNT OF AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR TO WITHIN FEDERAL, STATE, AND/OR LOCAL REGULATIONS. ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
5. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
6. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
7. ALL UTILITY CONNECTIONS TO ADJACENT BUILDINGS MUST STAY ACTIVE DURING CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE TO ENSURE SHUT OFF, DISCONNECT, AND/OR CAPPING OF ALL UTILITIES TO THE SITE INCLUDING, BUT NOT LIMITED TO, WATER, SEWER, ELECTRIC, CABLE, TELEPHONE, ETC. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL UTILITY SHUT OFFS AND LETTERS OBTAINING ALL PERMITS TO COMPLETE ALL PHASES OF THE PROJECT.
9. ALL STREET APPURTENANCES (INCLUDING SIGNS, POLES, TREES & FENCING) WITHIN THE LIMITS SHOWN ARE TO BE REMOVED AND DISPOSED OFF-SITE UNLESS OTHERWISE NOTED.
10. EXISTING LIGHTING AND UTILITY POLE REMOVALS ARE TO BE PERFORMED BY THE APPROPRIATE UTILITY COMPANY.
11. ALL UNDERGROUND UTILITIES, LINES, PIPING, STRUCTURES, FOUNDATIONS, VAULTS AND BUILDING FRAGMENTS AGREED WITH FORMER BUILDINGS, WITHIN THE PROJECT BOUNDARY, ARE TO BE REMOVED AND DISPOSED OFF SITE.
12. ALL STRUCTURES (CURBS, SIDEWALKS, PATIO, RETAINING WALL, FENCES, ASPHALT, CONCRETE, ETC.) WITHIN THE PROJECT'S BOUNDARY SHALL BE REMOVED AND DISPOSED OFF-SITE AT AN APPROPRIATE FACILITY.
13. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OFFSITE IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES, ORDINANCES, AND LAWS.

SITE LAYOUT NOTES

- 1. ALL SIGNAGE TO BE POSTED IN ACCORDANCE WITH THE UNITED STATES DEPARTMENT OF TRANSPORTATION-FEDERAL HIGHWAY ADMINISTRATION, "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS (MUTCD), LATEST EDITION.
2. ALL STOP BARS SHALL BE 24" WIDE WHITE THERMO PLASTIC STRIPE. ALL OTHER STRIPING MAY BE EPOXY.
3. ALL CURB AND SIDEWALKS SHALL CONFORM TO STATE AND FEDERAL BARRIER FREE DESIGN STANDARDS.
4. ALL SIDEWALK RAMP MARKED HCR TO HAVE DETECTABLE WARNING SURFACE INSTALLED IN ACCORDANCE WITH ADA REGULATIONS. ALL DETECTABLE WARNING STRIPS SHALL BE "REPLACEABLE WET-SET" OR EQUIVALENT. SURFACE MOUNT OR "STICK ON" WARNING STRIPS ARE NOT PERMITTED UNLESS NOTED OTHERWISE.
5. ALL PROPOSED ON-SITE CURBING TO BE VERTICAL CONCRETE CURBING. ALL PROPOSED CURBING WITHIN MUNICIPAL OR COUNTY RIGHT-OF-WAYS TO BE VERTICAL CONCRETE CURBING.
6. ALL CONNECTIONS WITH EXISTING PAVEMENTS, CURBS, SIDEWALKS, ETC SHALL BE SAW CUT.
7. RETAINING WALLS REQUIRE STRUCTURAL DESIGN BY A LICENSED PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION.
8. SIDEWALK/WALKWAY RISERS MUST BE GREATER THAN 4" AND LESS THAN 8".
9. SEE LANDSCAPE PLANS FOR DETAILS ON HARDSCAPE AND PLANTING MATERIALS.
10. SEE ARCHITECT'S PLANS FOR BUILDING ELEVATIONS AND FLOOR PLANS.

PROJECT INFORMATION

PROPOSED MULTI-FAMILY RESIDENCE

BLOCK 42, LOT 1
60 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

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ARCHITECT: SALVATORE LA FERLITA, R.A. 115 UNIVERSITY DRIVE LINCOLN, NJ 07738

SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 37, SUITE 1A WALL, NJ 07719



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Table with columns: ELECTRIC, GAS, COMMUNICATION, WATER, TEMP. SURVEY MARKERS, PERMITS EXCAVATION, YELLOW, ORANGE, BLUE, MAGENTA, WHITE

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1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (PH) 732-531-7244 (FAX)
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LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA, DELAWARE, CONNECTICUT, NORTH CAROLINA, COLORADO, & DISTRICT OF COLUMBIA

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DOUGLAS B. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24GE05331000

REVISIONS

Table with columns: Rev.#, Date, Comment

Table with columns: Rev.#, Date, Comment (listing revisions 11 through 7)

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PROJECT INFORMATION

PROJECT NAME

PROPOSED MULTI-FAMILY RESIDENCE

PROJECT LOCATION
BLOCK 42, LOT 1
60 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER:
60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT:
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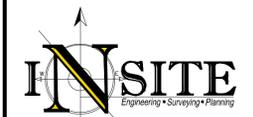
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ELECTRIC	RED
GAS	YELLOW
COMMUNICATION	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE



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DOUGLAS D. CLELAND, PE
PROFESSIONAL ENGINEER
NJ PE 246E0331000

REVISIONS

REV.#	DATE	COMMENT
11	04/10/25	PER COUNTY
10	04/01/25	PER COUNTY
9	02/20/25	PER COUNTY
8	01/31/25	PER COUNTY REVIEW LETTER
7	01/21/25	FOR RESOLUTION COMPLIANCE
6	12/05/24	FOR PSCD
5	11/05/24	FOR RESOLUTION COMPLIANCE
4	06/05/24	PER BOROUGH COMMENTS
3	04/09/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY
1	03/12/24	PER ARCHITECT
0	02/05/24	INITIAL RELEASE

SCALE: 1"=10'
DATE: 02/05/24
JOB #: 23-2237-01
CAD ID: 23-2237-01r3

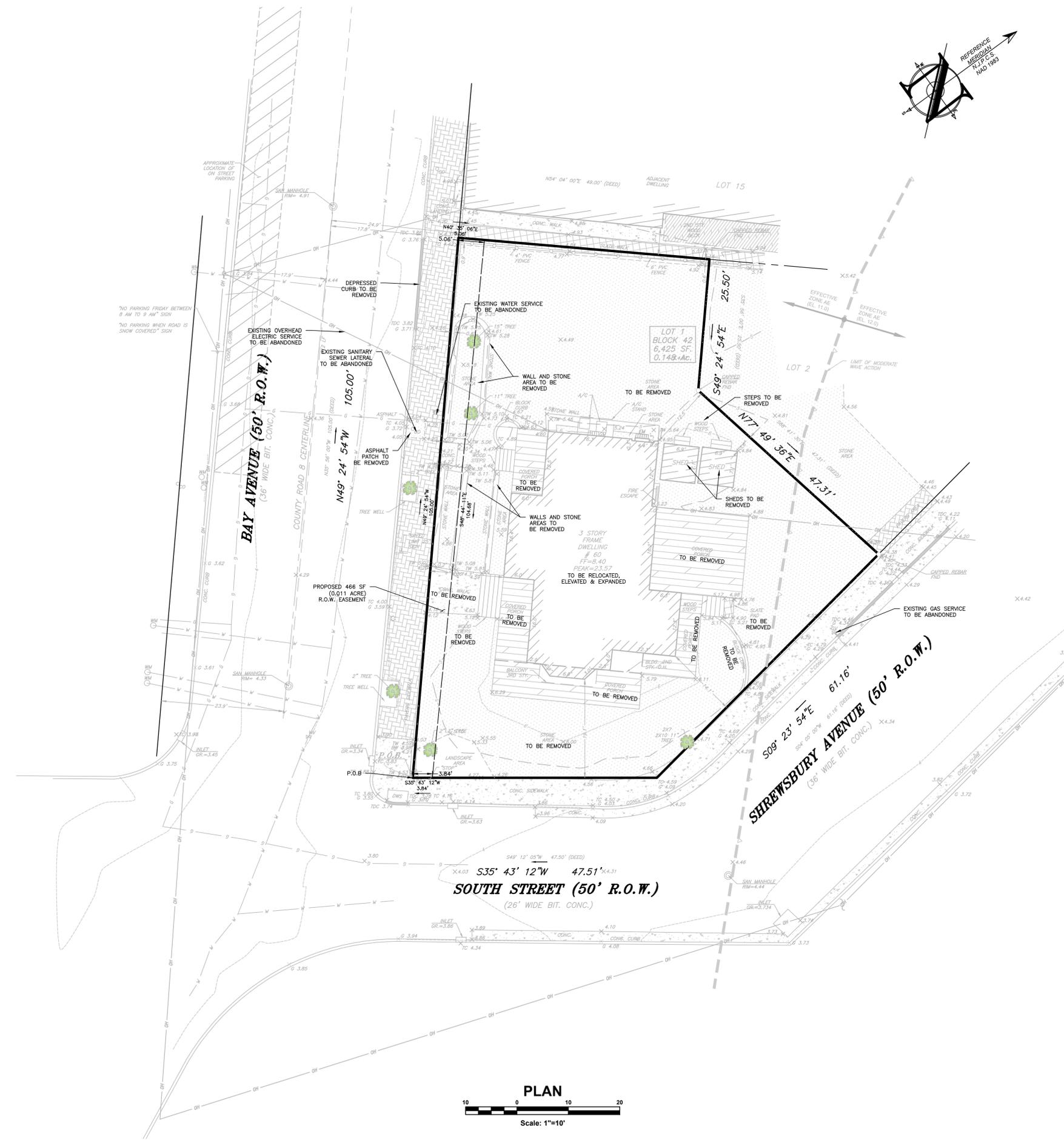
NOT FOR CONSTRUCTION
FOR CONSTRUCTION

APPROVED BY:
PLAN INFORMATION

DRAWING TITLE:
PRELIMINARY & FINAL MAJOR SITE PLAN

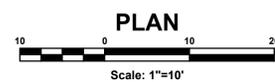
SHEET TITLE:
EXISTING CONDITIONS & SITE PREPARATION PLAN

SHEET NO.:
C200



SEE SHEET C101 FOR PLAN NOTES

EXISTING	PROPOSED



File: X:\InSite\2327 - 60 Bay Ave Highlands, LLC\23-2237-01 - 60 Bay Ave Highlands, NJ\23223701r3.dwg - 02-05-24
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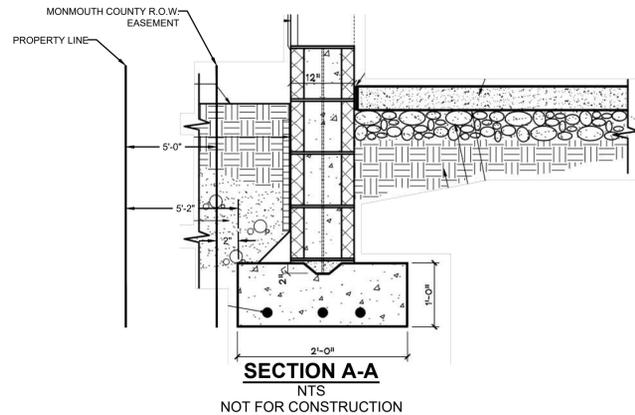


BUILDING HEIGHT COMPLIANCE PER MUNICIPAL ORDINANCE
NTS

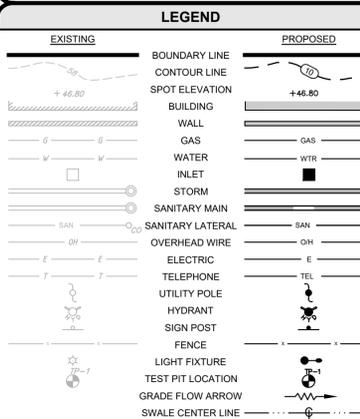
ZONING COMPLIANCE CHART CBD REDEVELOPMENT OVERLAY 2 ZONE (C.R.O.-2 - GATEWAY PARCELS) RESIDENTIAL ABOVE FIRST FLOOR: PERMITTED (§ 21-91A.U.)					
ORD SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED	COMPLIES
ATT. 1	MIN. LOT AREA (SF)	-	6,425 (0.147 AC)	NO CHANGE	-
ATT. 1	MIN. LOT FRONTAGE (FT)	-	213.67	NO CHANGE	-
PRINCIPAL BUILDING					
VII.A.	MIN. FRONT YARD SETBACK (FT)	2	13.9	5.67	YES
	BAY AVENUE (FT)	2	13.3	8.30	YES
	SHREWSBURY AVENUE	2	8.3	7.54	YES
VII.A.	MIN. REAR YARD SETBACK (FT)	12	-	-	YES
VII.A.	MIN. SIDE YARD SETBACK (FT)	5	(1) 11.4	7.83	YES
VII.D.	MAX. BUILDING COVERAGE (%)	40	(3) 11.6	29.33	YES
VII.B.	MAX. BUILDING COVERAGE (%)	80	31.9	52.7	YES
VII.B.	MAX. LOT COVERAGE (%)	80	37.0	75.28	YES
ACCESSORY BUILDING					
\$21-78A.2	MAX. GROUND FLOOR AREA (%)	30	(2) 5.0	N/A	-
\$21-78A.2	MAX. COVERAGE OF REAR YARD (%)	40	(2) N/A	N/A	-
\$21-78A.3	MIN. YARD SETBACK (FT)	3	3.6	N/A	-
	MIN. OUTDOOR LIVING SPACE (SF)	500	(a)	1,981	YES

(N) EXISTING NON-COMPLIANCE (I) IMPROVED CONDITION (V) PROPOSED VARIANCE (W) PROPOSED WAIVER
 (E) EXISTING VARIANCE (X) VARIANCE / NON-COMPLIANCE ELIMINATED (N/A) - NOT APPLICABLE (N/S) - NOT SPECIFIED

(a) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE
 (1) PER §VII.A SIDE YARDS: NO SIDE YARD IS REQUIRED ADJACENT TO THE PROPERTIES IN THE CBD ZONE. HOWEVER, IF ANY IS TO BE PROVIDED, IT SHALL BE AT LEAST FIVE (5) FEET. ANY SIDE YARD WHICH SERVES AS A BOUNDARY BETWEEN THAT LOT AND ANY RESIDENCE ZONE SHALL BE AT LEAST FIVE (5) FEET AND SHALL CONTAIN BUFFERING IN ACCORDANCE WITH THE REQUIREMENTS OF THIS SECTION.
 (2) NO ACCESSORY STRUCTURE(S), EXCEPT FOR SHORE FRONT PROTECTION, BULKHEADS, REVETMENTS AND OTHER SUCH STRUCTURES, SHALL HAVE AN AGGREGATE GROUND FLOOR AREA GREATER THAN THIRTY (30%) PERCENT OF THE GROUND FLOOR AREA OF THE PRINCIPAL STRUCTURE ON THE SAME LOT. ALL ACCESSORY STRUCTURES SHALL OCCUPY NO MORE THAN FORTY (40%) PERCENT OF THE REAR YARD AREA.
 (3) THE VERTICAL DISTANCE AS MEASURED FROM THE GRADE PLANE TO THE AVERAGE HEIGHT OF THE HIGHEST ROOF SURFACE. IN THE CASE OF SLOPED ROOFS, THE AVERAGE HEIGHT IS THE MID-POINT BETWEEN THE LOWEST ROOF EAVE OF THE TOP FLOOR AND THE ROOF RIDGE. IN THE CASE OF A BUILDING THAT HAS MULTIPLE ROOF LEVELS, THE HIGHEST ROOF LEVELS SHALL BE USED TO DETERMINE THE BUILDING HEIGHT.
 GRADE PLANE: AREAS OR PORTIONS OF THE BUILDING AREA OF A LOT LOCATED WITHIN THE FLOOD HAZARD AREA THE REFERENCE PLANE SHALL BE THE MORE RESTRICTIVE OF THE BASE FLOOD ELEVATION OR ADVISORY BASE FLOOD ELEVATION OF THE FLOOD HAZARD AREA PLUS ONE (1) FOOT.



SEE SHEET C101 FOR PLAN NOTES



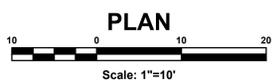
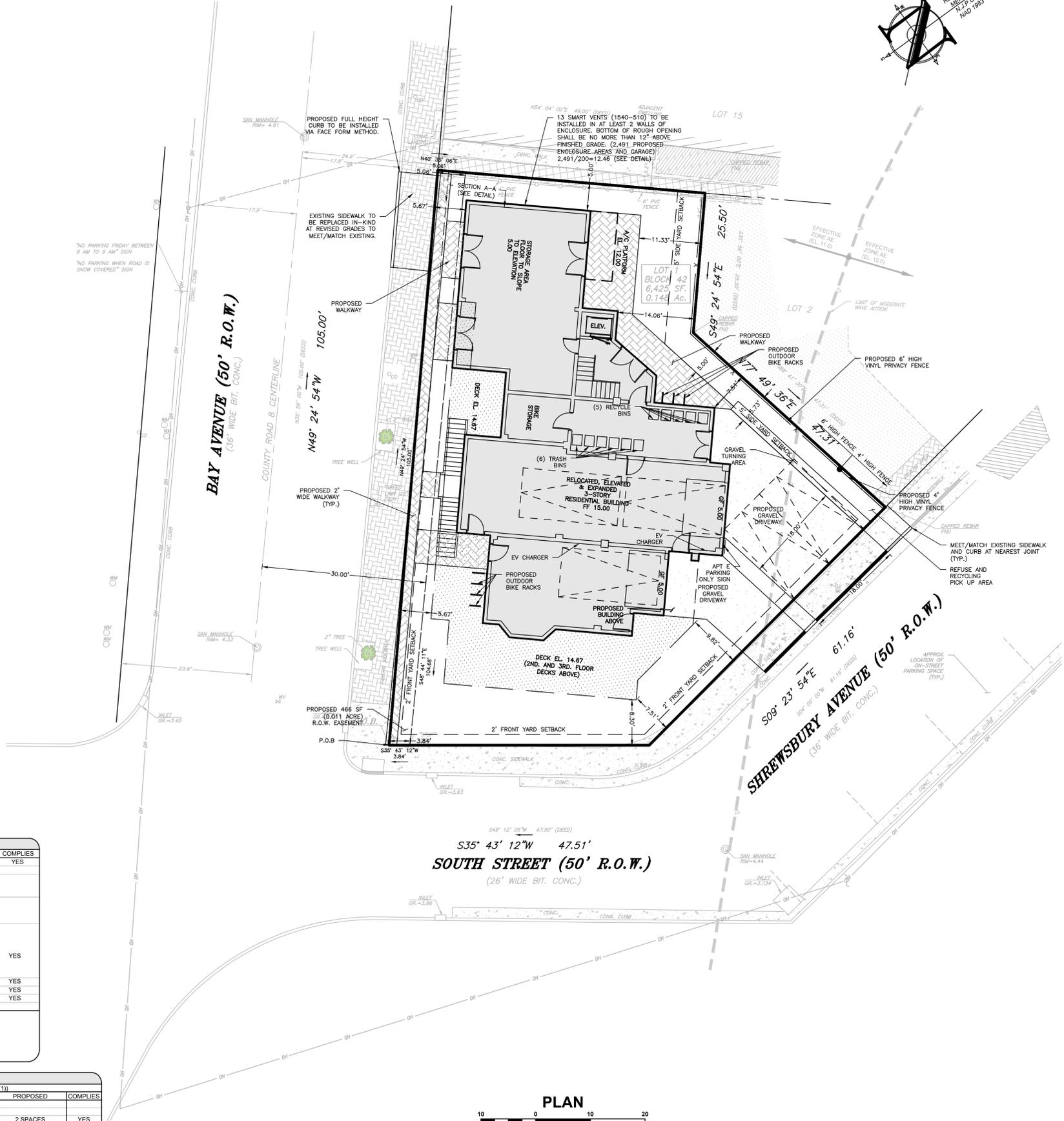
ORD SECTION	STANDARD	REQUIRED	PROPOSED	COMPLIES
\$21-65.14	STALL SIZE (FT)	9 X 18	9 X 18	YES
	NUMBER OF PARKING SPACES			
RSIS TABLE 4.4				
	RESIDENTIAL USES (2 FAMILY & MULTIFAMILY UNITS)			
	1.8 SPACES PER (1 BR UNITS)			
	2.0 SPACES PER (2 BR UNITS)			
	2.2 SPACES PER (3 BR UNITS)			
	1ST. FLOOR - 2 UNITS 2 BEDROOMS EACH	4		
	2ND. FLOOR - 2 UNITS 2 BEDROOMS EACH	4		
	3RD. FLOOR - 1 UNIT 3 BEDROOMS	2.1		
	TOTAL PARKING SPACES (INCLUDING EV CREDIT OF 1 SPACE)	9.1	5 (1)	YES
\$21-65.5C	MAX. DRIVEWAY WIDTH AT CURB (FT)	18	18.00	YES
\$21-65.5A	MAX. DRIVEWAY WIDTH AT INTERIOR (FT)	22	18.00	YES
	MIN. DRIVEWAY DISTANCE TO STREET INTERSECTION (FT)	25	>25	YES

(N) EXISTING NON-COMPLIANCE (I) IMPROVED CONDITION (V) PROPOSED VARIANCE (W) PROPOSED WAIVER
 (E) EXISTING VARIANCE (X) VARIANCE / NON-COMPLIANCE ELIMINATED (N/A) - NOT APPLICABLE (N/S) - NOT SPECIFIED

(1) PURSUANT TO THE BOROUGH OF HIGHLANDS, NJ CENTRAL BUSINESS DISTRICT REDEVELOPMENT PLAN §VII.A VEHICULAR PARKING: RESIDENTIAL USES ARE PERMITTED TO COUNT FIRST ANY AVAILABLE ON-STREET PARKING SPACES BEFORE DETERMINING THE NUMBER OF PARKING SPACES THAT MUST BE PROVIDED OFF-STREET. THERE ARE MORE THAN 5 EXISTING ON-STREET PARKING SPACES WITHIN THE IMMEDIATE VICINITY, THEREFORE THE PROJECT COMPLIES.

ELECTRIC VEHICLE PARKING SUMMARY (P.L. 1975, c. 291)				
SECTION	STANDARD	REQUIRED	PROPOSED	COMPLIES
3.a.(1)(a)	MIN. NUMBER OF MAKE-READY (MR) PARKING SPACES	15% OF REQUIRED OFF-STREET SPACES 10 x 15' = 1.5 SPACES = 2	2 SPACES	YES
3.a.(1)(a)	MIN. # OF INSTALLED VEHICLE SUPPLY EQUIPMENT @ INITIAL CONSTRUCTION	1x MAKE-READY = 1 SPACES	1 EV SPACES	YES
3.a.(1)(b)	@ 3 YEARS AFTER CERT. OF OCCUPANCY	1x MAKE-READY = 2 SPACES	2 EV SPACES	YES
3.a.(1)(c)	@ 6 YEARS AFTER CERT. OF OCCUPANCY	1x MAKE-READY = 2 SPACES	2 EV SPACES	YES

NO PARKING FRIDAY BETWEEN 8 AM TO 9 AM SIGN
 NO PARKING WHEN ROAD IS SNOW COVERED SIGN



PROJECT INFORMATION

PROPOSED MULTI-FAMILY RESIDENCE

PROJECT LOCATION:
BLOCK 42, LOT 1
80 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER:
60 BAY AVE HIGHLANDS, LLC
80 BAY AVENUE
HIGHLANDS, NJ 07732

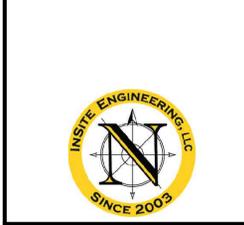
APPLICANT:
60 BAY AVE HIGHLANDS, LLC
80 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

ATTORNEY:
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SURVEYOR:
INSITE SURVEYING, LLC
1955 ROUTE 37, SUITE 1A
WALL, NJ 07719



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TEMP. WET. MARKING	MAGENTA
PROPOSED EXCAVATION	WHITE

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Engineering • Surveying • Planning

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 CERTIFICATE OF AUTHORIZATION: 24GA28083200
 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
 732-531-7100 (PH) 732-531-7344 (FAX)
 InSite@InSiteEng.net www.InSiteEng.net

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Douglas D. Clelland
DOUGLAS D. CLELLAND, PE
 PROFESSIONAL ENGINEER
 NJ PE 24605331000

REVISIONS

REV.#	DATE	DESCRIPTION
11	04/10/25	PER COUNTY
10	04/01/25	PER COUNTY
9	02/20/25	PER COUNTY
8	01/31/25	PER COUNTY REVIEW LETTER (TYP.)
7	01/01/25	FOR RESOLUTION COMPLIANCE
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0	02/05/24	INITIAL RELEASE

SCALE: 1"=10'
 DATE: 02/05/24
 JOB #: 23-2237-01
 CAD ID: 23-2237-01r3

DESIGNED BY: DDC
 DRAWN BY: AMC
 CHECKED BY: DDC

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 APPROVED BY: _____

PLAN INFORMATION

FOR CONSTRUCTION

PRELIMINARY & FINAL MAJOR SITE PLAN

SITE LAYOUT PLAN

SHEET NO. C300

WATER FLOW CALCULATIONS

EXISTING AVERAGE DAILY DEMAND (PER N.J.A.C. 5:21-5.2)
TWO-BEDROOM APARTMENT (UNIT) = 3 UNITS
 TWO-BEDROOM APARTMENT (140 GPD/UNIT: $Q_{AVG} = 140 \text{ GPD/UNIT} \times 3 \text{ UNITS} = 420 \text{ GPD}$)
STUDIO-BEDROOM APARTMENT (UNIT) = 1 UNITS
 STUDIO APARTMENT (120 GPD/UNIT: $Q_{AVG} = 120 \text{ GPD/UNIT} \times 1 \text{ UNITS} = 120 \text{ GPD}$)
TOTAL EXISTING AVERAGE DAILY DEMAND: = 540 GPD = 0.0005 MGD

PROPOSED AVERAGE DAILY DEMAND (PER N.J.A.C. 5:21-5.2):

TWO-BEDROOM APARTMENT (UNIT) = 4 UNITS
 TWO-BEDROOM APARTMENT (140 GPD/UNIT: $Q_{AVG} = 140 \text{ GPD/UNIT} \times 4 \text{ UNITS} = 560 \text{ GPD}$)
THREE-BEDROOM APARTMENT (UNIT) = 1 UNITS
 THREE-BEDROOM APARTMENT (200 GPD/UNIT: $Q_{AVG} = 200 \text{ GPD/UNIT} \times 1 \text{ UNITS} = 200 \text{ GPD}$)
TOTAL PROPOSED AVERAGE DAILY DEMAND: = 560 GPD + 200 GPD = 760 GPD = 0.0006 MGD

SANITARY SEWER FLOW CALCULATIONS

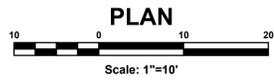
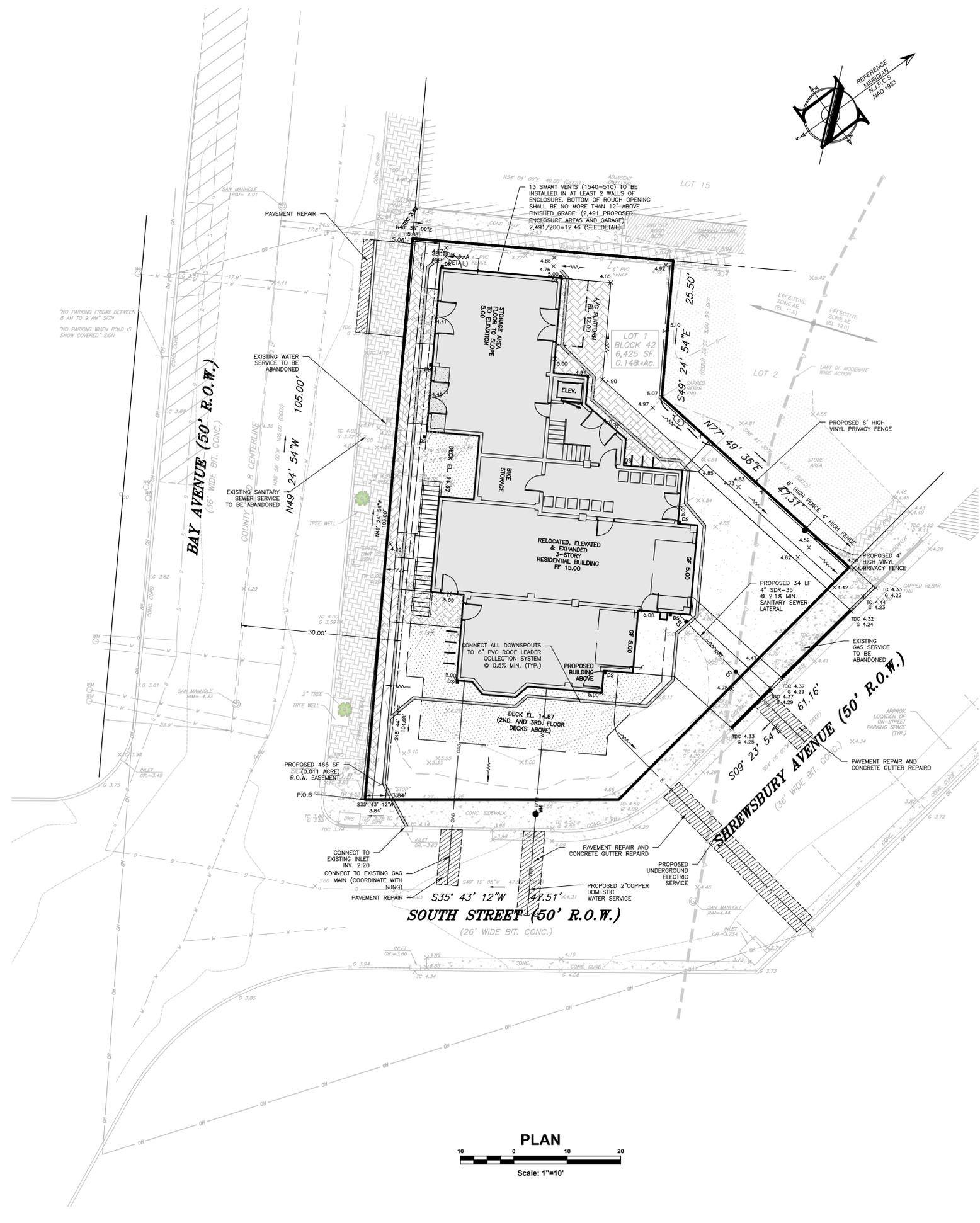
EXISTING AVERAGE DAILY DEMAND (PER N.J.A.C. 7:14A-23.3)
TWO-BEDROOM APARTMENT (UNIT) = 3 UNITS
 TWO-BEDROOM APARTMENT (225 GPD/UNIT: $Q_{AVG} = 225 \text{ GPD/UNIT} \times 3 \text{ UNITS} = 675 \text{ GPD}$)
STUDIO-BEDROOM APARTMENT (UNIT) = 1 UNITS
 STUDIO APARTMENT (150 GPD/UNIT: $Q_{AVG} = 150 \text{ GPD/UNIT} \times 1 \text{ UNITS} = 150 \text{ GPD}$)
TOTAL EXISTING AVERAGE DAILY DEMAND: = 675 GPD + 150 GPD = 825 GPD = 0.0009 MGD

PROPOSED AVERAGE DAILY DEMAND (PER N.J.A.C. 7:14A-23.3):

TWO-BEDROOM APARTMENT (UNIT) = 4 UNITS
 TWO-BEDROOM APARTMENT (225 GPD/UNIT: $Q_{AVG} = 225 \text{ GPD/UNIT} \times 4 \text{ UNITS} = 900 \text{ GPD}$)
THREE-BEDROOM APARTMENT (UNIT) = 1 UNITS
 THREE-BEDROOM APARTMENT (300 GPD/UNIT: $Q_{AVG} = 300 \text{ GPD/UNIT} \times 1 \text{ UNITS} = 300 \text{ GPD}$)
TOTAL PROPOSED AVERAGE DAILY DEMAND: = 900 GPD + 300 GPD = 1,200 GPD = 0.0012 MGD

SEE SHEET C101 FOR PLAN NOTES

EXISTING		PROPOSED	
	BOUNDARY LINE		BOUNDARY LINE
	CONTOUR LINE		CONTOUR LINE
	SPOT ELEVATION		SPOT ELEVATION
	BUILDING		BUILDING
	WALL		WALL
	GAS		GAS
	WATER		WATER
	INLET		INLET
	STORM		STORM
	SANITARY MAIN		SANITARY MAIN
	SANITARY LATERAL		SANITARY LATERAL
	OVERHEAD WIRE		OVERHEAD WIRE
	ELECTRIC		ELECTRIC
	TELEPHONE		TELEPHONE
	UTILITY POLE		UTILITY POLE
	HYDRANT		HYDRANT
	SIGN POST		SIGN POST
	FENCE		FENCE
	LIGHT FIXTURE		LIGHT FIXTURE
	TEST PIT LOCATION		TEST PIT LOCATION
	GRADE FLOW ARROW		GRADE FLOW ARROW
	SWALE CENTER LINE		SWALE CENTER LINE



PROJECT INFORMATION

PROPOSED MULTI-FAMILY RESIDENCE

PROJECT LOCATION:
 BLOCK 42, LOT 1
 60 BAY AVENUE
 BOROUGH OF HIGHLANDS,
 MONMOUTH COUNTY, NJ

OWNER:
 60 BAY AVE HIGHLANDS, LLC
 60 BAY AVENUE
 HIGHLANDS, NJ 07732

APPLICANT:
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 60 BAY AVENUE
 HIGHLANDS, NJ 07732

APPLICANTS PROFESSIONALS

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WATER	BLUE
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TEMP. SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE



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DOUGLAS D. CLELAND, PE
 PROFESSIONAL ENGINEER
 NJ PE 246EG5331000

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PLAN INFORMATION

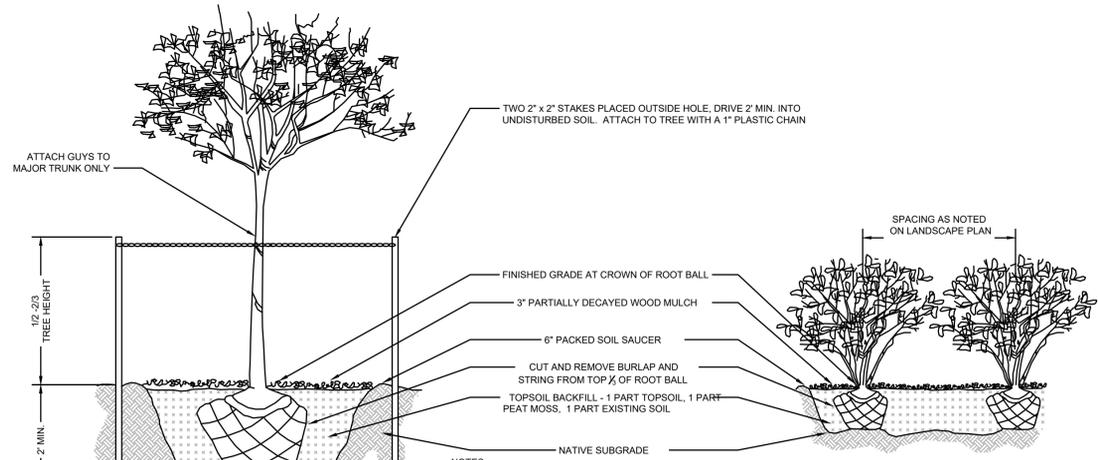
PRELIMINARY & FINAL MAJOR SITE PLAN

GRADING, DRAINAGE & UTILITY PLAN

SHEET NO. C400

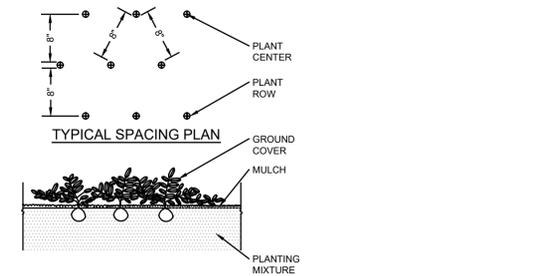
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PLANTING SCHEDULE					
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	ROOT
TO	16	SHED AND ORNAMENTAL TREES THUJA OCCIDENTALIS 'SMARAGO'	EMERALD GREEN ARBORVITAE	8-10' HT.	670 GAL.
ZS	2	ZELKOVA SERRATA 'MUSASHINO'	MUSASHINO COLUMNAR ZELKOVA	7-8' HT.	(B+B)
RR2	12	SHRUBS ROSA RUGOSA 'KNOCKOUT'	PINK 'KNOCKOUT' ROSE	2.5-3 FT	#5 CONT
		GRASSES, PERENNIAL FLOWER, GROUNDCOVERS			
LM	37	LIRIOPE MUSCARI	LILLYTURF	1 GAL.	(Cont.)
AX	26	AJUGA REPTANS	BUGLEWEED	3-4"	6" POT



- NOTES:**
- DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
 - DO NOT DISTURB ROOT BALL WHEN PLANTING OR STAKING.
 - WATER THOROUGHLY IMMEDIATELY FOLLOWING PLANTING.
 - CENTRAL LEADER SHALL NOT BE CUT OR DAMAGED.
 - WIRE BASKETS SHALL BE REMOVED PRIOR TO BACKFILLING THE PLANTING PIT.

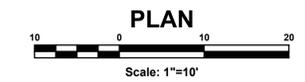
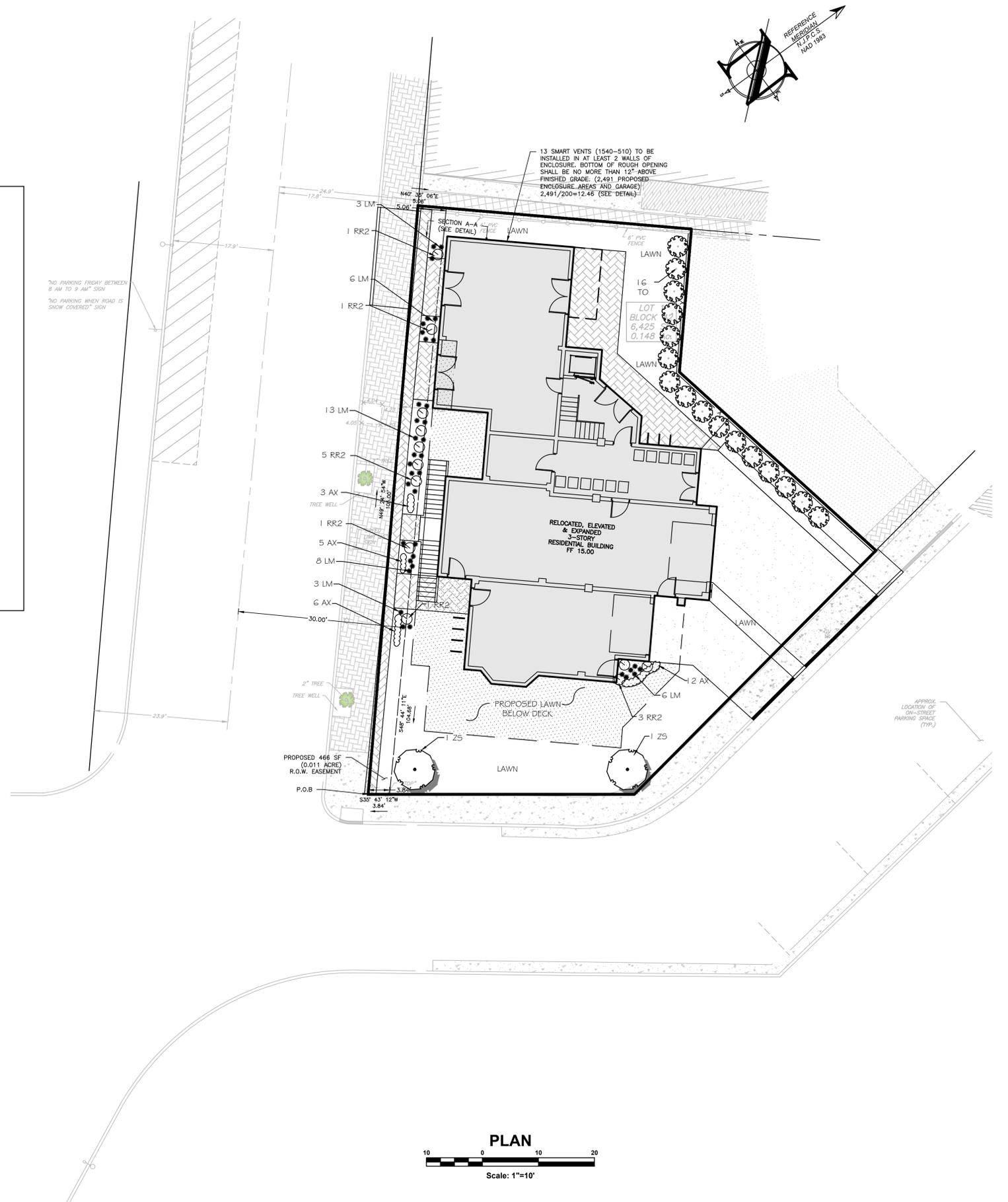
TREE & SHRUB PLANTING & STAKING
NTS



GROUND COVER PLANTING
NTS

SEE SHEET C101 FOR PLAN NOTES

LEGEND	
EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
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PROPOSED EXCAVATION	WHITE

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PROFESSIONAL ENGINEER
NJ PE 246E0331000

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CAD ID: 23-2237-01r3

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PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

LANDSCAPE PLAN

SHEET NO.: C600

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PROJECT INFORMATION

PROJECT NAME

PROPOSED MULTI-FAMILY RESIDENCE

PROJECT LOCATION
BLOCK 42, LOT 1
80 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER
60 BAY AVE HIGHLANDS, LLC
80 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT
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80 BAY AVENUE
HIGHLANDS, NJ 07732

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90 WOODBRIDGE CENTER DRIVE, SUITE 900
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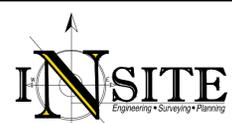
ARCHITECT:
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SURVEYOR:
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WATER	BLUE
SEWER	GREEN
TEMP. WERTY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE



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NJ PE 24GE0331000

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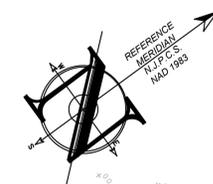
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PLAN INFORMATION

APPROVED BY:
PRELIMINARY & FINAL MAJOR SITE PLAN

SHEET TITLE:
LIGHTING PLAN - EXISTING CONDITIONS R.O.W. ONLY

SHEET NO.: C601



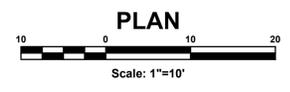
SCHEDULE OF LIGHTING REQUIREMENTS (§ 21-65.11)

ORD SECTION	STANDARD	PERMITTED	EXISTING	COMPLIES
21-65.11E	MIN. LIGHTING LEVEL (FC)	0.3	0.0 (N)	NO
21-65.11E	MIN. AVERAGE LIGHTING LEVEL (FC)	0.5	0.2 (N)	NO
21-65.11F	MAX. LIGHTING LEVEL AT PROPERTY LINE (FC)	0.3	2.3 (N)	NO
21-65.11D	MAX. LIGHT MOUNTING HEIGHT (FT)	15	N/A	YES

SEE SHEET C101 FOR PLAN NOTES

LEGEND

EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
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PROJECT INFORMATION

PROJECT NAME: PROPOSED MULTI-FAMILY RESIDENCE

PROJECT LOCATION: BLOCK 42, LOT 1
80 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER: 60 BAY AVE HIGHLANDS, LLC
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HIGHLANDS, NJ 07732

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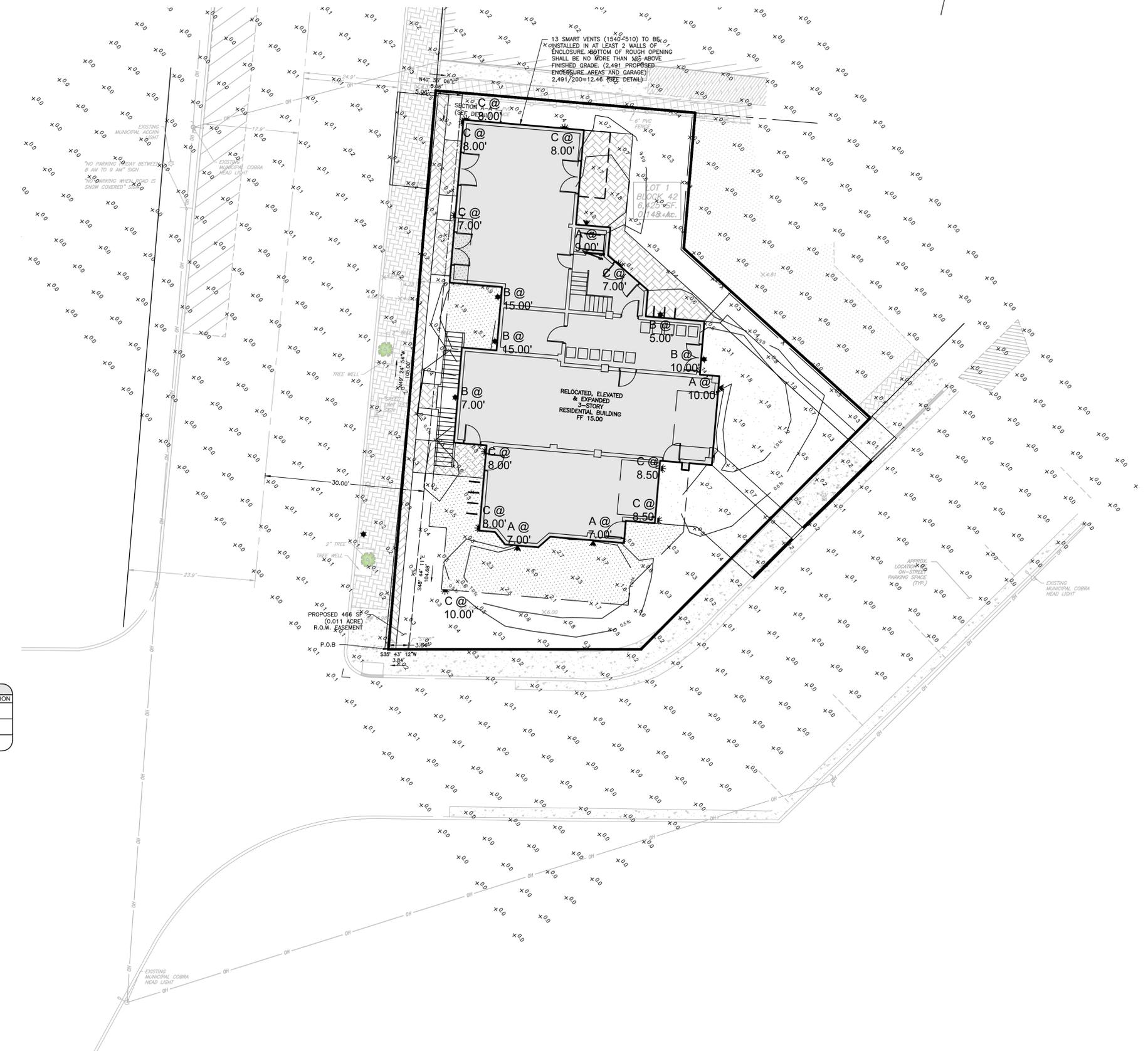
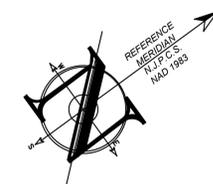
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DRAWN BY: AMC
CHECKED BY: DDC

APPROVED BY: [Signature]
FOR CONSTRUCTION

PLAN INFORMATION

PRELIMINARY & FINAL
MAJOR SITE PLAN

SHEET TITLE: LIGHTING PLAN - PROPOSED CONDITIONS
SHEET NO.: C602



SCHEDULE OF LIGHTING REQUIREMENTS (§ 21-65.11)

ORD SECTION	STANDARD	PERMITTED	EXISTING	PROPOSED	COMPLIES
21-65.11E	MIN. LIGHTING LEVEL (FC)	0.3	0.0 (N)	0.3	YES
21-65.11E	MIN. AVERAGE LIGHTING LEVEL (FC)	0.5	0.2 (N)	0.7	YES
21-65.11F	MAX. LIGHTING LEVEL AT PROPERTY LINE (FC)	0.3	2.3 (N)	0.3	YES
21-65.11D	MAX. LIGHT MOUNTING HEIGHT (FT)	15	N/A	15.00	YES

LUMINAIRE SCHEDULE

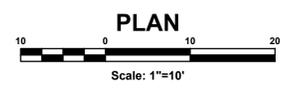
LABEL	QTY	DESCRIPTION	WATTAGE	LAYOUT	MOUNT HEIGHT	TYPE	DIRECTION OF ILLUMINATION
A	4	LITHONIA LIGHTING WDG1 ARCHITECTURAL WALL SCONCE	LED	SINGLE	SEE PLAN	WALL	DOWN
B	5	LITHONIA LIGHTING OLLWD & OLLWJ LED WALL CYLINDER LIGHT	LED	SINGLE	SEE PLAN	WALL	DOWN
C	10	LITHONIA LIGHTING OLCDS OUTDOOR LED CAST SCONCE	LED	SINGLE	SEE PLAN	WALL	FORWARD

NOTE:
1. LIGHTING TEMPLATE VALUES SHOWN ARE: 1.0 AND 0.50 FOOTCANDLES.
2. ALL LIGHTS TO REMAIN ON FROM DUSK UNTIL DAWN.

SEE SHEET C101 FOR PLAN NOTES

LEGEND

EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE



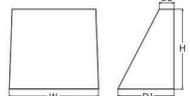
File: X:\Vista\2327 - 60 Bay Ave Highlands, LLC\23-2237-01 - 60 Bay Avenue Highlands, NJ\332370101.dwg (05-24-2024) 11:00 AM
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WEDGE1 LED Architectural Wall Sconce



Specifications
Depth (D1): 5.5"
Depth (D2): 1.5"
Height: 8"
Width: 9"
Weight: 9 lbs (without options)



Introduction
The WEDGE1 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.
WEDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WEDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

WEDGE LED Family Overview

Luminaire	Standard LED, PFC	Color, CCT	Series	Lumens (1800K)			
	4W			P1	P2	P3	P4
WEDGE1 LED	15W	9W	Standard height	1,200	2,000	3,000	4,500
WEDGE1 LED	15W	9W	Standard height	7,500	8,500	10,000	12,000
WEDGE1 LED	—	—	Standard height	12,000	14,000	18,000	24,000

Ordering Information

EXAMPLE: WEDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
P1	4W	2700	90	VF	120V	DD
P2	15W	4000K	80	VF	120V/277V	DD

Options	Finish
EBB	Emergency battery backup, Certified in CA Title 20 (ANSI/UL 924)
PC	Phosor-free button type
DS	Dual switching (3 wires with 2 dimmers and 2 light engines, see page 3 for details)
DMC	0-10V dimming system pulsed width modulator (For use with an external control, ordered separately)
KE	System conductivity for back box (P1/P2/P3/P4). Total of 4 wire points.
BA	Buy American (UL AC Compliant)
DSE	Dual Switching (1 Dimmer, 2 Light Engines)

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Cary, Georgia 30012 • Phone: 1-800-755-5738 • www.lithonia.com WEDGE1 LED Rev. 11/16/13

WALL MOUNTED LIGHTS TYPE A NTS



FEATURES & SPECIFICATIONS

INTENDED USE
Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and stairways for safety and security.

CONSTRUCTION
Cast aluminum housing with corrosion resistant paint in either dark bronze or white finish. ADA compliant.

OPTICS
8000 CCT LEDs.
Polycarbonate lens protects the LED from moisture, dirt and other contaminants.

LUMENS MAINTENANCE
The LED will deliver 70% of its initial lumens at 50,000 hour average LED life. See Lighting Facts label on page 2 for performance details.

ELECTRICAL
MVOLT driver operates on any line voltage from 120-277V.
Operating temperature: -30 to 40°C.
10' surge protector standard.

INSTALLATION
Surface mounts to universal junction box (provided by others).

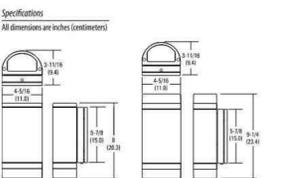
LISTINGS
UL Listed to U.S. and Canadian safety standards for wet locations.

WARRANTY
— 5 year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.lithonia.com/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

Catalog Number
Name
Type

Outdoor General Purpose OLLWD & OLLWU LED WALL CYLINDER LIGHT



ORDERING INFORMATION

For shortest lead times, configure products using **bold options**. Example: OLLWD LED P1 40K MVOLT DDB

Series	Performance Package	Color temperature (CCT)	Voltage	Finish
OLLWD Downlight	P1	40K 4000K	MVOLT 120V/277V	DDB Dark bronze
OLLWU Up & downlight			120 120V	WH White

Notes
1. Only available with OLLWD and in DDB.
2. Only available with OLLWU.

DECORATIVE INDOOR & OUTDOOR OLLWD-OLLWU

WALL MOUNTED LIGHTS TYPE B NTS



FEATURES & SPECIFICATIONS

INTENDED USE
The OLCS provides years of maintenance free general illumination for residential and commercial outdoor applications such as walkways, doorways, porches, columns, and stairways.

CONSTRUCTION
— Rugged cast aluminum housing is protected by a thermoplastic powder coat finish that provides superior resistance to corrosion and weathering. A highly controlled multi-stage process ensures a minimum .3 mil thickness for a finish that can withstand extreme climate change without cracking or peeling.

OPTICS
— 48 high performance LEDs produce up to 513 lumens and maintain 70% of light output at 50,000 hours of service.
(LED lifespan based on IESNA LM-80-08 results and calculated per IESNA TM-21-11 methodology.)
White polycarbonate diffuser provides a soft white light at 4000K CCT.

ELECTRICAL
— Fixture operates at 120 volts, 60 Hz.
Standard input = 6.5 watts.
Operating temperature: -30° to 40° C.
Surge protection = 2.5W.

INSTALLATION
— Mounts easily to universal junction box (by others).

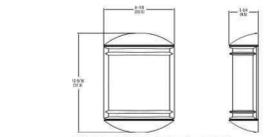
LISTINGS
— UL Listed to U.S. and Canadian safety standards for wet locations. Designed for wall mounting more than 4' above the ground. Tested in accordance with IESNA LM-79 and LM-80 standards.

WARRANTY
— 5 year limited warranty. Complete warranty terms located at: www.lithonia.com/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. Note: Specifications subject to change without notice.

Catalog Number
Name
Type

Outdoor General Purpose OLCS OUTDOOR LED CAST SCENCE



ORDERING INFORMATION

All configurations of this product are considered "standard" and have short lead times. Example: OLCS R DDB

Series	Light engines	Color temperature (CCT)	Voltage	Finish
OLCS	R	(blank) 4000K	(blank) 120V	DDB Dark bronze
				WH White

Notes
1. Nominal Correlated Color Temperature (CCT) per ANSI C78.371-2008.

DECORATIVE INDOOR & OUTDOOR OLCS

WALL MOUNTED LIGHTS TYPE C NTS

PROJECT INFORMATION

PROJECT NAME

PROPOSED MULTI-FAMILY RESIDENCE

PROJECT LOCATION

BLOCK 42, LOT 1
80 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER

60 BAY AVE HIGHLANDS, LLC
80 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT

60 BAY AVE HIGHLANDS, LLC
80 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANTS PROFESSIONALS

ATTORNEY:
DONNA M. JENNINGS ESQ.
WILENTZ, GOLDMAN & SPITZER, PA
90 WOODBRIDGE CENTER DRIVE, SUITE 900
WOODBRIDGE, NJ 07095

ARCHITECT:
SALVATORE LA FERLITA, R.A.
115 UNIVERSITY DRIVE
LINCOLN, NJ 07738

SURVEYOR:
INSITE SURVEYING, LLC
1955 ROUTE 37, SUITE 1A
WALL, NJ 07719



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NJ ONE CALL... 800-272-1000
(where they go to excavate)

ELECTRIC	RED
Gas	YELLOW
COMMUNICATION	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SENSITIVE	MAGENTA
PROPOSED EXCAVATION	WHITE



InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

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NJ PE 24GE0331000

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DATE: 02/05/24 DRAWN BY: AMC
JOB #: 23-2237-01 CHECKED BY: DDC
CAD ID: 23-2237-01r3

NOT FOR CONSTRUCTION

APPROVED BY:

FOR CONSTRUCTION

PLAN INFORMATION

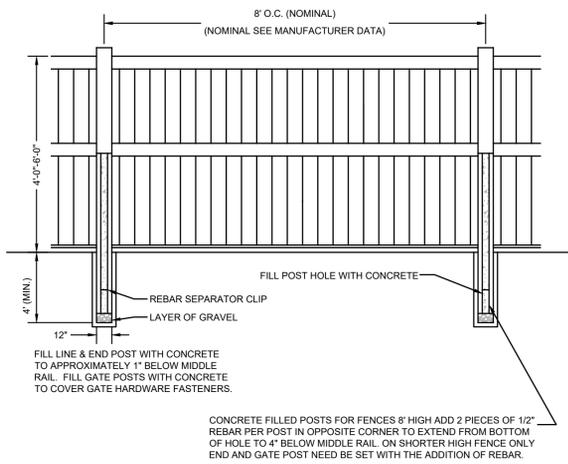
PRELIMINARY & FINAL
MAJOR SITE PLAN

SHEET TITLE

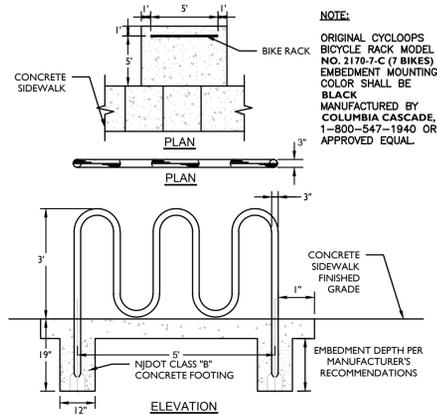
LIGHTING DETAILS

SHEET NO.

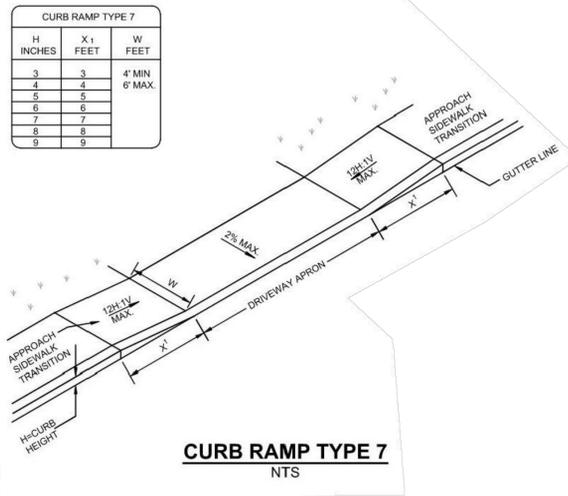
C603



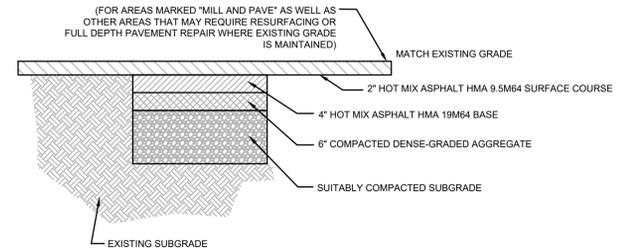
VINYL FENCE
NTS



BICYCLE RACK DETAIL
NOT TO SCALE



CURB RAMP TYPE 7
NTS



PAVEMENT REPAIR
NTS

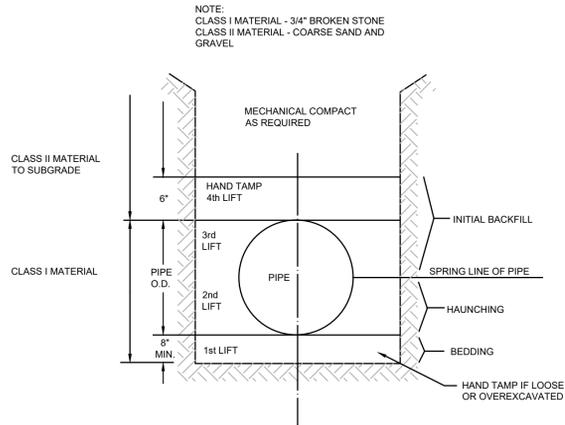
Roof Runoff Flowrate Calculation	
$Q = c i A$	
$c = 0.99$	in/hr
$i = 6.50$	ac
$A = 0.070$	ac
$Q = 0.45$	cfs

Pipe Capacity Calculation (Manning's Equation)	
$Q = 1.49 m^3 \cdot A^{1.486} \cdot R^{2.481} \cdot S^{0.54}$	
$n (pvc) = 0.01$	
$d = 6$	in
$A (full) = 0.20$	sf
$r_o (full) = 1.57$	ft
$R (full) = 0.13$	ft/ft
$S = 0.005$	cfs
$Q (full) = 0.52$	cfs
$Q_{required} = 0.45$	cfs
	< OK >

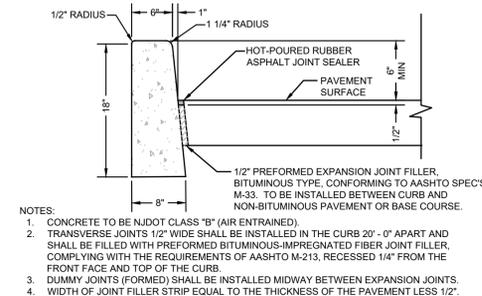
ROOF LEADER COLLECTION SYSTEM CAPACITY CALCULATIONS



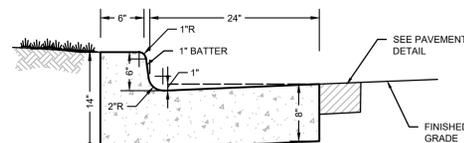
RETAIL AND RESIDENT PARKING ONLY SIGN
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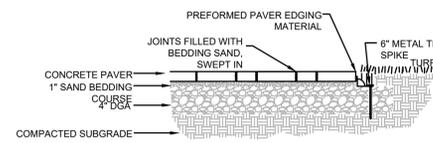
PIPE BEDDING DETAIL
NTS



CONCRETE VERTICAL CURB
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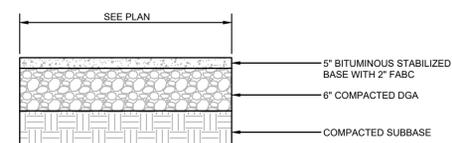


ROLLED CONCRETE CURB & GUTTER
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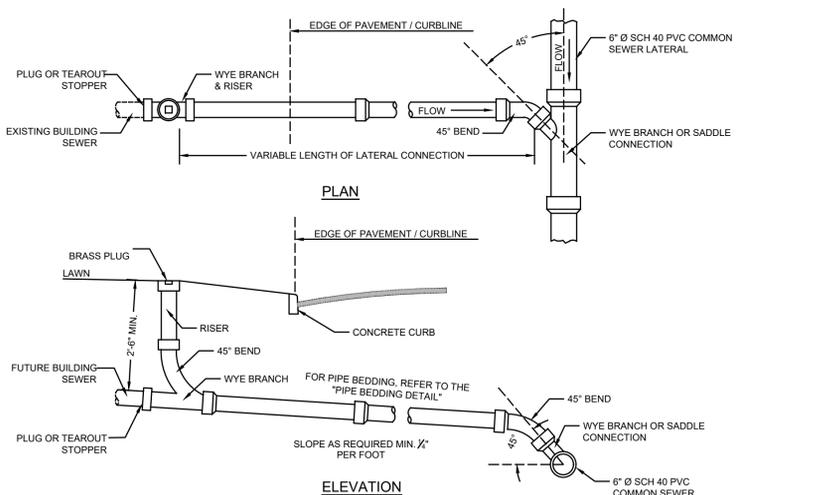


CONCRETE PAVER WALKWAY
NTS

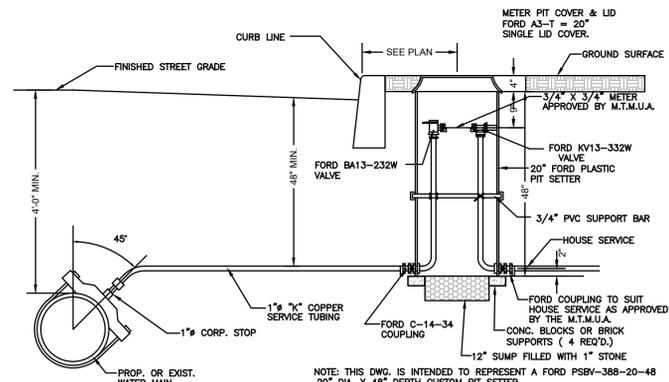
NOTE: CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE CITY ENGINEER'S OFFICE FOR PAVER COLOR AND PATTERN PRIOR TO INSTALLATION.



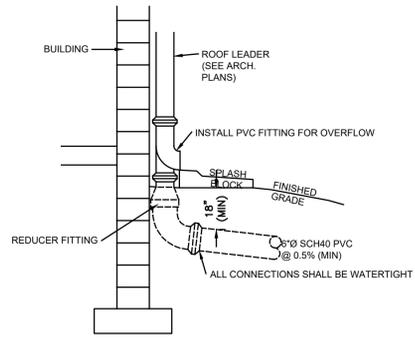
PAVEMENT SECTION
NTS



STANDARD LATERAL CONNECTION WITH CLEANOUT - SEWER DEPTH 10' OR LESS
NTS



TYPICAL SERVICE CONNECTION WITH FORD METER PIT
NTS



EXTERIOR DOWNSPOUT COLLECTOR
NTS

PROJECT INFORMATION

PROJECT NAME: **PROPOSED MULTI-FAMILY RESIDENCE**

PROJECT LOCATION: BLOCK 42, LOT 1, 80 BAY AVENUE, BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NJ

OWNER: **60 BAY AVE HIGHLANDS, LLC**

APPLICANT: **60 BAY AVE HIGHLANDS, LLC**

APPLICANTS PROFESSIONALS

ATTORNEY: **DONNA M. JENNINGS ESQ. WILENTZ, GOLDMAN & SPITZER, PA**

ARCHITECT: **SALVATORE LA FERLITA, R.A.**

SURVEYOR: **INSITE SURVEYING, LLC**



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ELECTRIC	RED
Gas	YELLOW
COMMUNICATION TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SENSITIVE MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

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Engineering • Surveying • Planning

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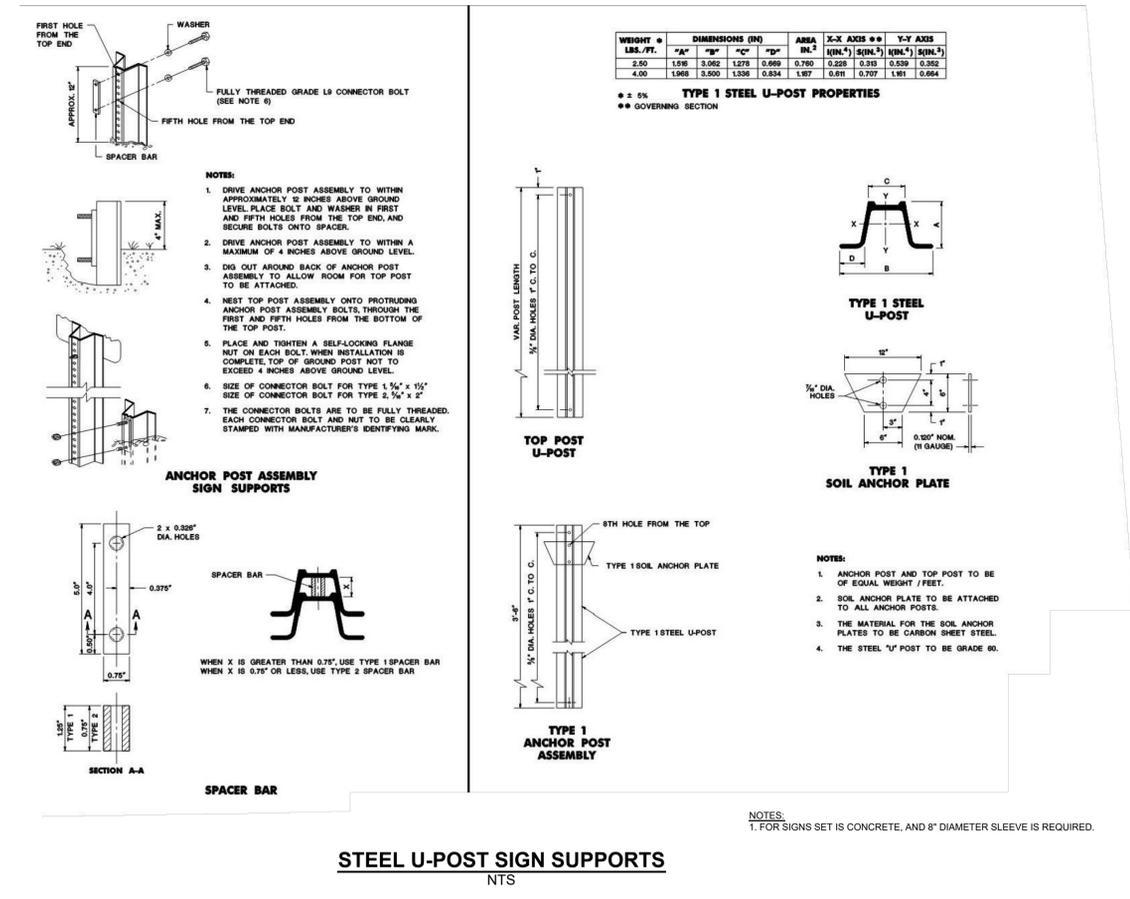
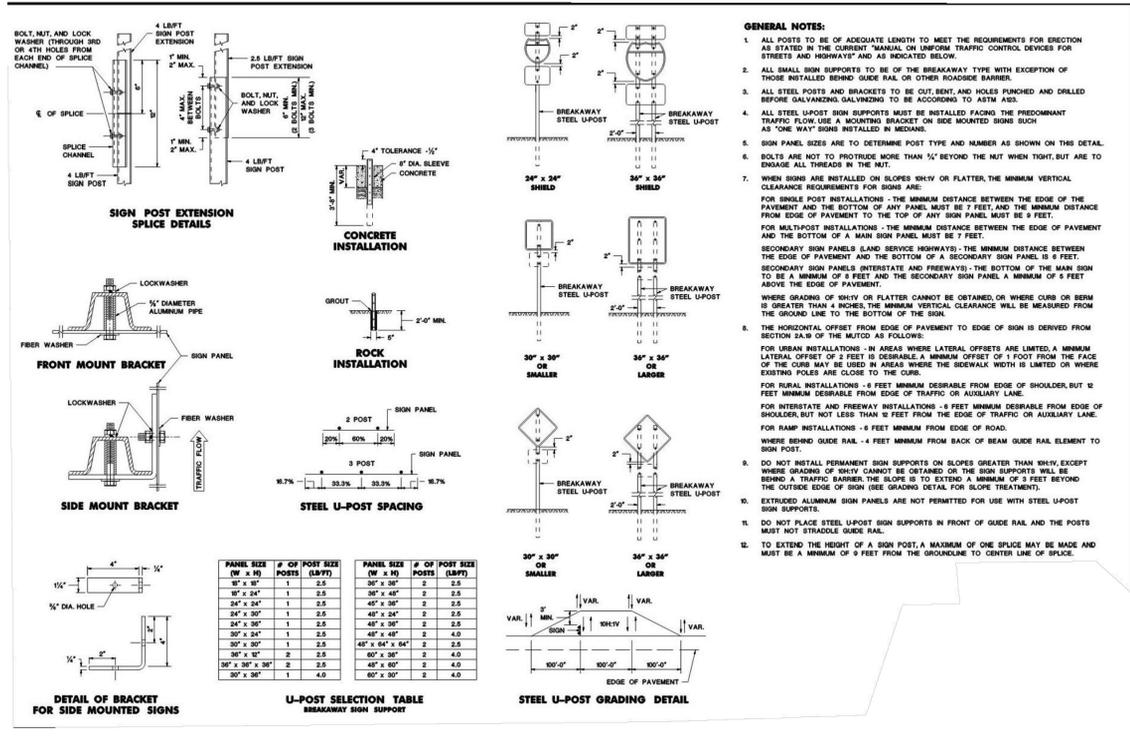
SCALE: AS SHOWN DESIGNED BY: DDC
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JOB #: 23-2237-01 CHECKED BY: DDC
CAD ID: 23-2237-01r3
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PLAN INFORMATION

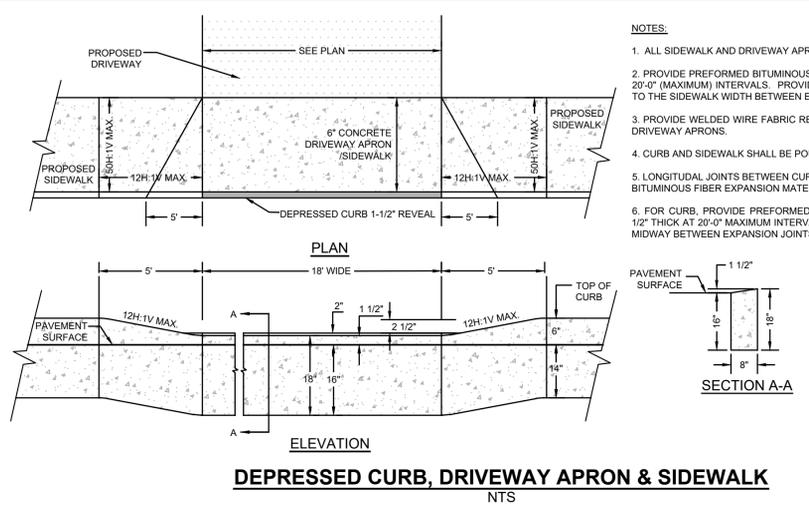
PRELIMINARY & FINAL MAJOR SITE PLAN

CONSTRUCTION DETAILS

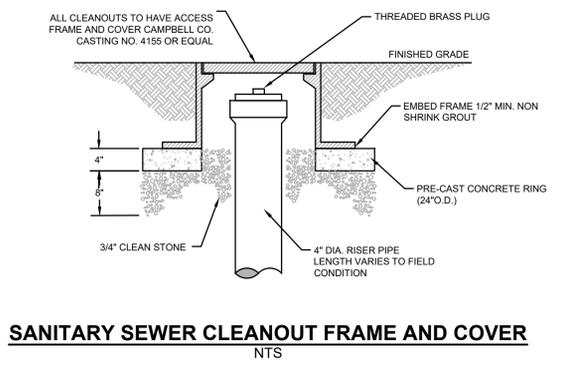
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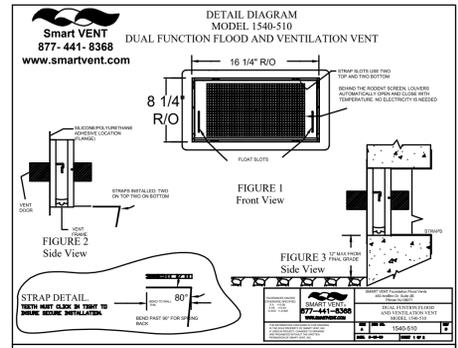
STEEL U-POST SIGN SUPPORTS



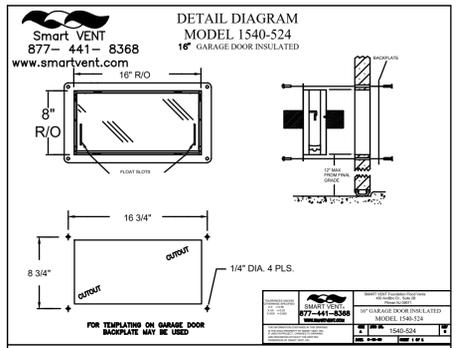
DEPRESSED CURB, DRIVEWAY APRON & SIDEWALK



SANITARY SEWER CLEANOUT FRAME AND COVER



SMART VENT (1540-510)



SMART VENT (1540-524)

- NOTES:**
- ALL SIDEWALK AND DRIVEWAY APRON CONCRETE TO BE NJDOT CLASS "B".
 - PROVIDE PREFORMED BITUMINOUS FIBER EXPANSION JOINTS 1/2" THICK AT 20'-0" (MAXIMUM) INTERVALS. PROVIDE DUMMY JOINTS AT INTERVALS EQUAL TO THE SIDEWALK WIDTH BETWEEN EXPANSION JOINTS.
 - PROVIDE WELDED WIRE FABRIC REINFORCEMENT, TYPE 6X6#W2.9XW2.9 AT DRIVEWAY APRONS.
 - CURB AND SIDEWALK SHALL BE POURED SEPARATELY.
 - LONGITUDINAL JOINTS BETWEEN CURB AND SIDEWALK SHALL BE PREFORMED BITUMINOUS FIBER EXPANSION MATERIAL 1/2" THICK.
 - FOR CURB, PROVIDE PREFORMED BITUMINOUS FIBER EXPANSION JOINTS 1/2" THICK AT 20'-0" MAXIMUM INTERVALS. PROVIDE DUMMY JOINTS (FORMED) MIDWAY BETWEEN EXPANSION JOINTS.

PROJECT INFORMATION

PROJECT NAME: **PROPOSED MULTI-FAMILY RESIDENCE**

PROJECT LOCATION: BLOCK 42, LOT 1, 80 BAY AVENUE, BOROUGHS OF HIGHLANDS, MONMOUTH COUNTY, NJ

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APPLICANT: **60 BAY AVE HIGHLANDS, LLC**

APPLICANTS PROFESSIONALS:

ATTORNEY: DONNA M. JENNINGS ESQ., WILENTZ, GOLDMAN & SPITZER, PA

ARCHITECT: SALVATORE LA FERLITA, R.A.

SURVEYOR: INSITE SURVEYING, LLC

INSITE ENGINEERING, LLC SINCE 2003

INSITE
Engineering • Surveying • Planning

CERTIFICATE OF AUTHORIZATION: 24GA28083200

1955 ROUTE 34, SUITE 1A, WALL, NJ 07719

732-531-7100 (PH) 732-531-7344 (FAX)

INSITE@INSITEENG.NET WWW.INSITEENG.NET

DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24605331000

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DATE: 02/05/24 DRAWN BY: AMC

JOB # 23-2237-01 CHECKED BY: DDC

CAD ID: 23-2237-01/3

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APPROVED BY:

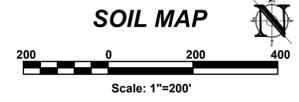
FOR CONSTRUCTION

PLAN INFORMATION

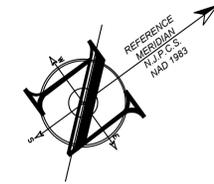
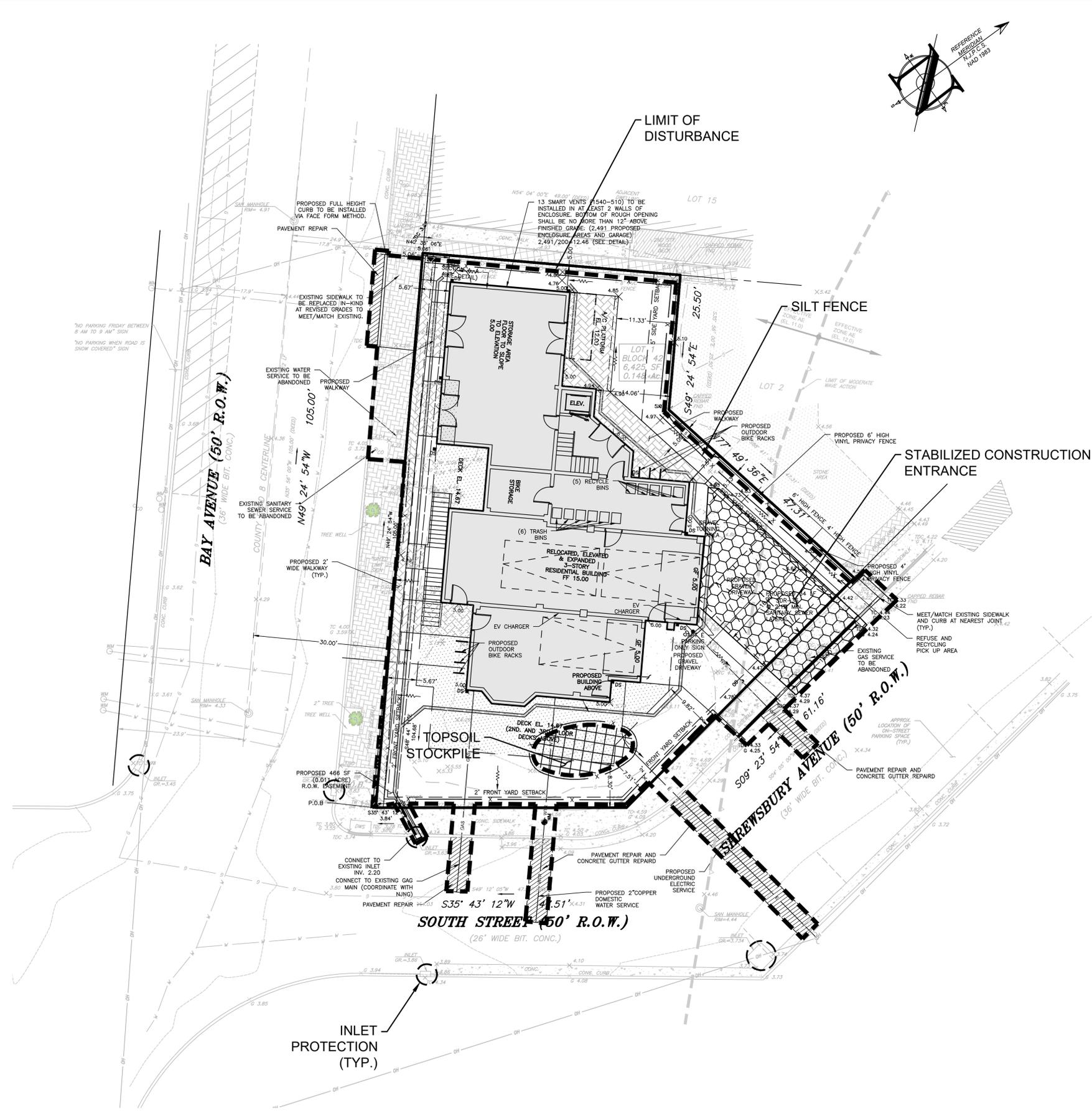
PRELIMINARY & FINAL MAJOR SITE PLAN

SHEET TITLE: CONSTRUCTION DETAILS

SHEET NO.: C701



SOIL DESIGNATION LEGEND		
MAP UNIT SYMBOL	MAP UNIT NAME	RATING
USKLEA	URBAN LAND-KLEY COMPLEX, 0 TO 2 PERCENT SLOPES	X



PROJECT INFORMATION

PROPOSED MULTI-FAMILY RESIDENCE

PROJECT LOCATION:
BLOCK 42, LOT 1
90 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER:
60 BAY AVE HIGHLANDS, LLC
90 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT:
60 BAY AVE HIGHLANDS, LLC
90 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

ATTORNEY:
DONNA M. JENNINGS ESQ.
WILENTZ, GOLDMAN & SPITZER, PA
90 WOODBRIDGE CENTER DRIVE, SUITE 900
WOODBRIDGE, NJ 07095

ARCHITECT:
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115 UNIVERSITY DRIVE
LINCROFT, NJ 07738

SURVEYOR:
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1955 ROUTE 37, SUITE 1A
WALL, NJ 07719



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GAS	YELLOW
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WATER	BLUE
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TEMP. SURVEY MARKERS	MAGENTA
PROPOSED EXCAVATION	WHITE



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10	04/01/25	PER COUNTY
9	02/20/25	PER COUNTY
8	01/31/25	PER COUNTY REVIEW LETTER
7	01/01/25	FOR RESOLUTION COMPLIANCE
6	12/05/24	FOR PSCD
5	11/05/24	FOR RESOLUTION COMPLIANCE
4	06/05/24	FOR BOROUGH COMMENTS
3	04/05/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY
1	03/12/24	PER ARCHITECT
0	02/05/24	INITIAL RELEASE

SCALE: 1"=10'
DATE: 02/05/24
JOB #: 23-2237-01
CAD ID: 23-2237-01r3

NOT FOR CONSTRUCTION
FOR CONSTRUCTION

PLAN INFORMATION

PRELIMINARY & FINAL
MAJOR SITE PLAN

SHEET TITLE:
SESC PLAN

SHEET NO.:
C800

File: X:\Vista\2327 - 60 Bay Ave Highlands, LLC\23-2237-01 - 60 Bay Avenue_Highlands, NJ\3232370100.dwg (08-8530 Planning) -> 0850 8530 PLAN
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SEE SHEET C101 FOR PLAN NOTES

LEGEND	
EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WTR
INLET	INLET
STORM	STORM
SANITARY MAIN	SAN
SANITARY LATERAL	SAN
OVERHEAD WIRE	OH
ELECTRIC	E
TELEPHONE	TEL
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

SOIL EROSION LEGEND

LIMIT OF DISTURBANCE	STABILIZED CONSTRUCTION ENTRANCE
SILT FENCE	RIP-RAP APRON, SCOUR HOLE
INLET PROTECTION	SOIL RESTORATION AREA
PROPOSED TREE PROTECTION	SOIL COMPACTION TEST LOCATION

CONSTRUCTION / SPPP NOTE

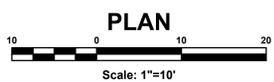
THIS PLAN WAS PREPARED TO ADDRESS THE SOIL EROSION AND SEDIMENT CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) AT THE TIME OF DESIGN ONLY. ALL OTHER COMPONENTS OF THE SPPP AND GENERAL STORMWATER PERMIT ARE TO BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR THE SITE CONTRACTOR.

PLEASE NOTE - THIS PLAN IS NOT TO BE USED FOR SITE CONSTRUCTION.

TOTAL LIMIT OF DISTURBANCE = 0.166 AC.

SOIL RESTORATION EXEMPTION

AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN AN AREA OF "URBAN REDEVELOPMENT" AND IS CONSIDERED "PREVIOUSLY DEVELOPED" AS DEFINED BY THE NJDEP IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND REGRADING (REVISED 2017). THE SITE IS EXEMPT FROM SOIL RESTORATION REQUIREMENTS.



SOIL EROSION AND SEDIMENT CONTROL NOTES

- 1. THE FRESHLOD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
3. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
4. N.J.S.A. 24-29 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY AND A REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL, HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.
5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, MUST IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PERMITS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO STATE STANDARD FOR STABILIZATION WITH MULCH ONLY.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STOCKPILES, STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
7. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF ONE INCH TO TWO INCH (1" - 2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
9. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
10. PERMANENT VEGETATION IS TO BE SEEDS OR SOODED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATION OR STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROWTH SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT IS SUITABLE FOR PERMANENT VEGETATION.
11. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
12. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE, (OR 45 LB/1,000 SQ FT OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A PH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PLANTED.
13. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL. UNFILTERED Dewatering IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL Dewatering OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY Dewatering METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR Dewatering.
14. SHOULD THE CONTOUR BE SPRUNG WITH AN OPTIMUM SEED DENSITY OF 0.9 (TWICE THE APPLIED IF SANDY SOILS).
15. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
16. STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5,000 SQUARE FEET IS DISTURBED.
17. ALL SOIL STOCKPILES SHALL BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #8.
18. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

1. SITE PREPARATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 1-1.
B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
C. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 2" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).

2. SEEDBED PREPARATION

- A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. LIME RATES SHALL BE ESTABLISHED VIA SOIL TESTING. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.
B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
C. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED IN ACCORDANCE WITH THE ABOVE.

3. SEEDING

- A. TEMPORARY VEGETATIVE SEEDING COVER CONSIST OF PERENNIAL RYEGRASS APPLIED UNIFORMLY AT A RATE OF 1 POUND PER 1,000 SQ. FT. (100 LBS/ACRE) WITH AN OPTIMUM SEED DENSITY OF 0.9 (TWICE THE APPLIED IF SANDY SOILS). IN ACCORDANCE WITH TABLE 7-2, PAGE 7-3.
*SEEDING DATES: 2/15-5/1 AND 8/15-10/15
B. CONVENTIONAL SEEDING: APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER, EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS. SEED SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL.
C. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION IV MULCHING) HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE NOT INCORPORATED INTO THE SOIL. POOR SEED TO SOIL CONTACT OCCURS REDUCING SEED GERMINATION AND GROWTH. HYDROSEEDING MAY BE USED FOR AREAS TOO STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVEL OR TOO OBSTRUCTED WITH ROCKS, STUMPS, ETC.
D. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD WHEN PERFORMED ON THE CONTOUR. SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

MULCHING

- MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.
A. STRAW OR HAY, UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CRIMPER OWNERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.
APPLICATION: SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 95% OF THE SOIL SURFACE WILL BE COVERED. FROM LIMING DISTURBED MULCH DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE TO 70 TO 90 POUNDS WITH EACH SECTION.
ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS.
1. PEG AND TWINE: DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
2. MULCH NETTINGS: STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOVED.
3. CRIMPER (MULCH ANCHORING TOOL): A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL, SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.
4. LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR HAY OR STRAW MULCH.
a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.
b. USE ONE OF THE FOLLOWING:
(1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER-BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOTONIC EFFECT OR IMPED E GROWTH OF TURF GRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
(2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION OF MULCH, DRYING AND CURING, SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.
NOTE: ALL NAMES GIVE ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A COMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

5. IRRIGATION (WHERE FEASIBLE)

- IF SOIL MOISTURE IS DEFICIENT SUPPLY NEW SEEDLING WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH APPLIED UP TO TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHT SITES.

6. TOP DRESSING

- SINCE SOIL ORGANIC MATTER CONTENT AND SLOW RELEASE NITROGEN FERTILIZER (WATER INSOLUBLE) ARE PRESCRIBED IN SECTION 2A, SEEDBED PREPARATION IN THIS STANDARD, NO FOLLOWUP OF TOP DRESSING IS MANDATORY. AN EXCEPTION MAYBE MADE WHERE GROSS NITROGEN DEFICIENCY EXISTS IN THE SOIL TO THE EXTENT THAT TURF FAILURE MAY DEVELOP. IN THAT INSTANCE, TOP DRESS WITH 10-10-10 OR EQUIVALENT AT 300 POUNDS PER ACRE OR 7 POUNDS PER 1,000 SQUARE FEET EVERY 3 TO 5 WEEKS UNTIL THE GROSS NITROGEN DEFICIENCY IN THE TURF IS MELIORATED.

7. ESTABLISHING PERMANENT VEGETATIVE STABILIZATION

- THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR. THE TIMING OF SEEDING, PREPARING THE SEEDBED, APPLYING NUTRIENTS, MULCH AND OTHER MANAGEMENT ESSENTIALS AS RECOMMENDED IN TABLE 4-3 ARE REQUIRED TO OBTAIN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN APPLICATION RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO REQUESTING A REPORT OF COMPLIANCE FROM THE DISTRICT. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVER (OF THE SEEDS SPECIES) AND MOVED ONCE. NOTE THIS DESIGNATION OF MOVED ONCE DOES NOT GUARANTEE THE PERMANENCY OF THE TURF SHOULD OTHER MAINTENANCE FACTORS BE NEGLECTED OR OTHERWISE MISMANAGED.

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

1. SITE PREPARATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING.
B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
C. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.

2. SEEDBED PREPARATION

- A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL, WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES (HTTP://AES.RUTGERS.EDU/CAULERS). FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.
B. WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING-TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
C. HIGH ACID PRODUCING SOILS: SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEEDBED PREPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH ACID-PRODUCING SOILS FOR SPECIFIC REQUIREMENTS.

3. SEEDING

- A. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED.
SEED MIXTURE #13 FOR LAWN AREAS PLANTING RATE: LBS/1,000 (LBS/ACRE)
(1)175
(1)145
(1)145
HARD FESCUE AND/OR CHEWING FESCUE AND/OR STRONG CREEPING RED FESCUE
PERENNIAL RYEGRASS
KENTUCKY BLUEGRASS (BLENDED)
*ACCEPTABLE SEEDING DATES: 2/1-4/30 AND 5/1-8/14**
*OPTIMAL SEEDING DATES: 8/15-10/15
**SUMMER SEEDING SHALL ONLY BE CONDUCTED WHEN SITE IS IRRIGATED

- SEED MIXTURE #7 FOR BASIN, SLOPE, AND SWALES PLANTING RATE: LBS/2,000 (LBS/ACRE)
(1)300
(1)50
(1)20
(1)25
(1)10
(1)15
STRONG CREEPING RED FESCUE
KENTUCKY BLUEGRASS
PERENNIAL RYEGRASS
OR RYEGRASS
PLUS WHITE CLOVER
*ACCEPTABLE SEEDING DATES: 2/1-4/30 AND 5/1-8/14**
*OPTIMAL SEEDING DATES: 8/15-10/15
**SUMMER SEEDING SHALL ONLY BE CONDUCTED WHEN SITE IS IRRIGATED

- SEED MIXTURE #13 FOR LAWN AREAS PLANTING RATE: LBS/1,000 (LBS/ACRE)
(1)175
(1)145
(1)145
HARD FESCUE AND/OR CHEWING FESCUE AND/OR STRONG CREEPING RED FESCUE
PERENNIAL RYEGRASS
KENTUCKY BLUEGRASS (BLENDED)
*ACCEPTABLE SEEDING DATES: 2/1-4/30 AND 5/1-8/14**
*OPTIMAL SEEDING DATES: 8/15-10/15
**SUMMER SEEDING SHALL ONLY BE CONDUCTED WHEN SITE IS IRRIGATED

- SEED MIXTURE #7 FOR BASIN, SLOPE, AND SWALES PLANTING RATE: LBS/2,000 (LBS/ACRE)
(1)300
(1)50
(1)20
(1)25
(1)10
(1)15
STRONG CREEPING RED FESCUE
KENTUCKY BLUEGRASS
PERENNIAL RYEGRASS
OR RYEGRASS
PLUS WHITE CLOVER
*ACCEPTABLE SEEDING DATES: 2/1-4/30 AND 5/1-8/14**
*OPTIMAL SEEDING DATES: 8/15-10/15
**SUMMER SEEDING SHALL ONLY BE CONDUCTED WHEN SITE IS IRRIGATED

- SEED MIXTURE #13 FOR LAWN AREAS PLANTING RATE: LBS/1,000 (LBS/ACRE)
(1)175
(1)145
(1)145
HARD FESCUE AND/OR CHEWING FESCUE AND/OR STRONG CREEPING RED FESCUE
PERENNIAL RYEGRASS
KENTUCKY BLUEGRASS (BLENDED)
*ACCEPTABLE SEEDING DATES: 2/1-4/30 AND 5/1-8/14**
*OPTIMAL SEEDING DATES: 8/15-10/15
**SUMMER SEEDING SHALL ONLY BE CONDUCTED WHEN SITE IS IRRIGATED

- SEED MIXTURE #7 FOR BASIN, SLOPE, AND SWALES PLANTING RATE: LBS/2,000 (LBS/ACRE)
(1)300
(1)50
(1)20
(1)25
(1)10
(1)15
STRONG CREEPING RED FESCUE
KENTUCKY BLUEGRASS
PERENNIAL RYEGRASS
OR RYEGRASS
PLUS WHITE CLOVER
*ACCEPTABLE SEEDING DATES: 2/1-4/30 AND 5/1-8/14**
*OPTIMAL SEEDING DATES: 8/15-10/15
**SUMMER SEEDING SHALL ONLY BE CONDUCTED WHEN SITE IS IRRIGATED

- SEED MIXTURE #13 FOR LAWN AREAS PLANTING RATE: LBS/1,000 (LBS/ACRE)
(1)175
(1)145
(1)145
HARD FESCUE AND/OR CHEWING FESCUE AND/OR STRONG CREEPING RED FESCUE
PERENNIAL RYEGRASS
KENTUCKY BLUEGRASS (BLENDED)
*ACCEPTABLE SEEDING DATES: 2/1-4/30 AND 5/1-8/14**
*OPTIMAL SEEDING DATES: 8/15-10/15
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(1)25
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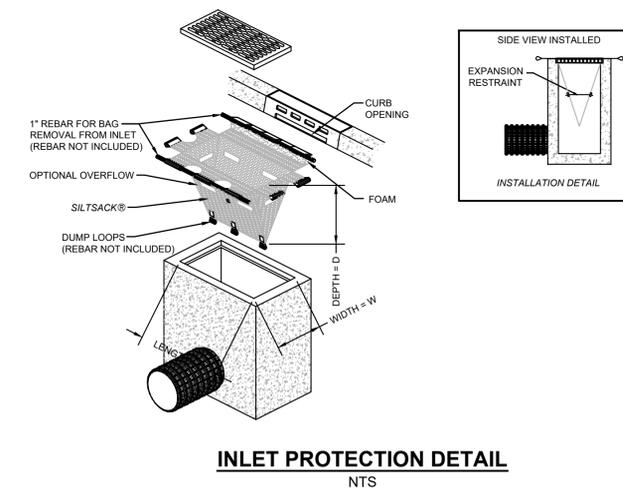
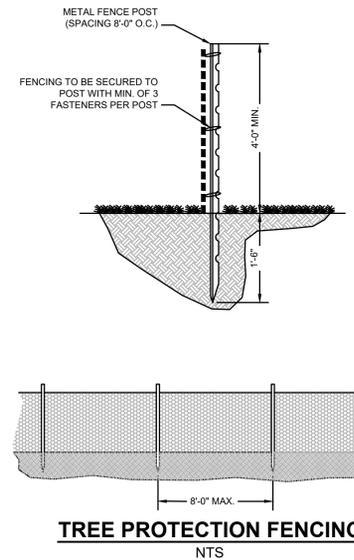
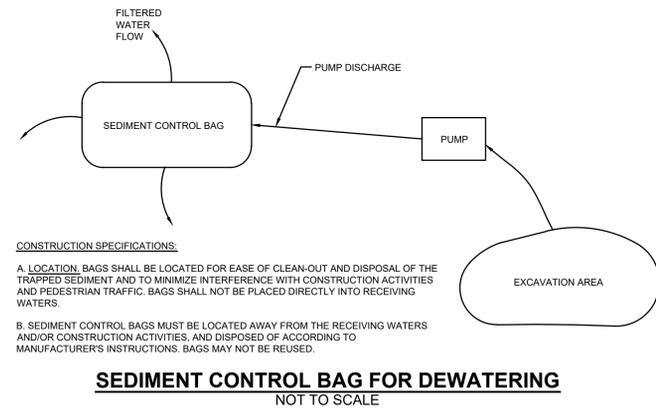
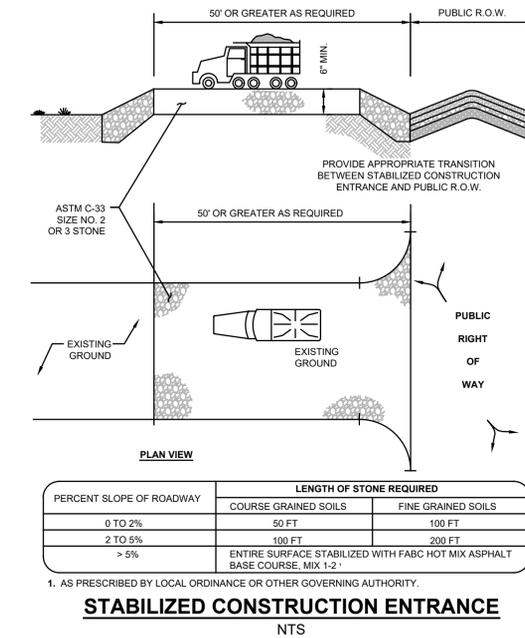
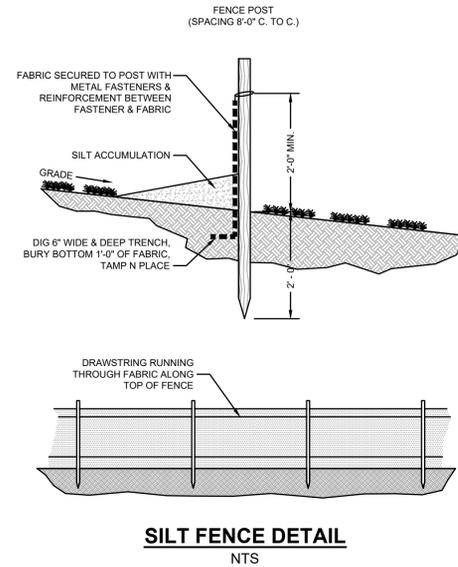
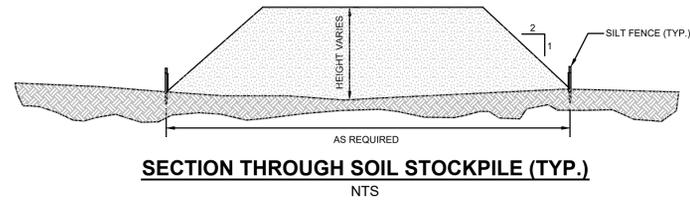
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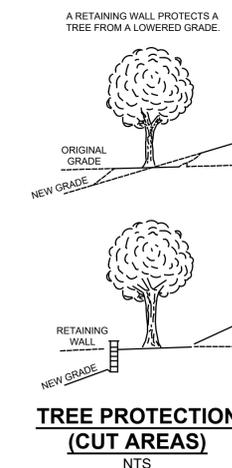
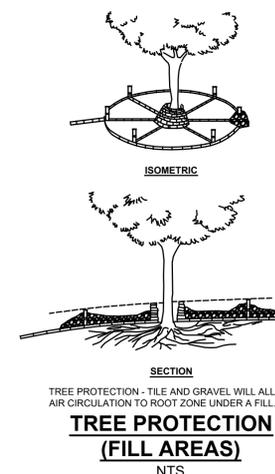
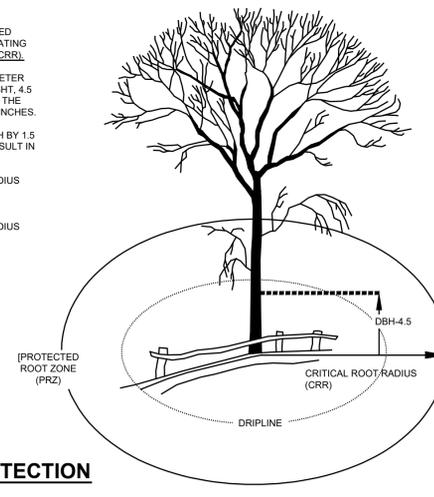
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ESTIMATE A TREE'S PROTECTED ROOT ZONE (PRZ) BY CALCULATING THE CRITICAL ROOT RADIUS (CRR).

- MEASURE THE DBH (DIAMETER OF TREE AT BREAST HEIGHT, 4.5 FEET ABOVE GROUND ON THE UPHILL SIDE OF TREE) IN INCHES.
- MULTIPLY MEASURED DBH BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET.

DBH X 1.5: CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY, OR SENSITIVE SPECIES.
 DBH X 1.0: CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES.



PROJECT INFORMATION

PROJECT NAME: **PROPOSED MULTI-FAMILY RESIDENCE**

PROJECT LOCATION: **BLOCK 42, LOT 1
80 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ**

OWNER: **60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732**

APPLICANT: **60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732**

ATTORNEY: **DONNA M. JENNINGS ESQ.
WILENTZ, GOLDMAN & SPITZER, PA
90 WOODBRIDGE CENTER DRIVE, SUITE 900
WOODBRIDGE, NJ 07095**

ARCHITECT: **SALVATORE LA FERLITA, R.A.
115 UNIVERSITY DRIVE
LINCROFT, NJ 07738**

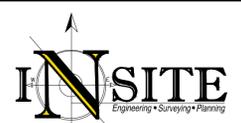
SURVEYOR: **INSITE SURVEYING, LLC
1955 ROUTE 37, SUITE 1A
WALL, NJ 07719**

APPLICANT'S PROFESSIONALS



CALL BEFORE YOU DIG
NJ ONE CALL 800-272-1000

ELECTRIC	RED
Gas	YELLOW
COMMUNICATION	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SENSITIVE MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE



InSite Engineering, LLC
 CERTIFICATE OF AUTHORIZATION: 24GA28083200
 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
 732-531-7100 (Ph) 732-531-7344 (Fax)
 InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA, DELAWARE, CONNECTICUT, NORTH CAROLINA, COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED

DOUGLAS D. CLELAND, PE
 PROFESSIONAL ENGINEER
 NJ PE 24EG0331000

REVISIONS

REV.#	DATE	COMMENT
T1	04/10/25	PER COUNTY
T0	04/01/25	PER COUNTY
9	02/20/25	PER COUNTY
8	01/31/25	PER COUNTY REVIEW LETTER
7	01/01/25	FOR RESOLUTION COMPLIANCE
6	12/05/24	FOR PSCD
5	11/05/24	FOR RESOLUTION COMPLIANCE
4	06/05/24	PER BOROUGH COMMENTS
3	04/05/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY
1	03/12/24	PER ARCHITECT
0	02/05/24	INITIAL RELEASE

SCALE: AS SHOWN DESIGNED BY: DDC
 DATE: 02/05/24 DRAWN BY: AMC
 JOB #: 23-2237-01 CHECKED BY: DDC
 CAD ID: 23-2237-01r3

NOT FOR CONSTRUCTION APPROVED BY:

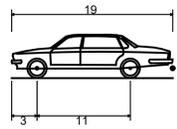
FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE: **PRELIMINARY & FINAL MAJOR SITE PLAN**

SHEET TITLE: **SESC DETAILS**

SHEET NO.: **C802**



P - Passenger Car
 Overall Length 19.000ft
 Overall Width 7.000ft
 Overall Body Height 5.116ft
 Min Body Ground Clearance 1.116ft
 Track Width 6.000ft
 Lock-to-lock time 4.00s
 Curb to Curb Turning Radius 24.000ft

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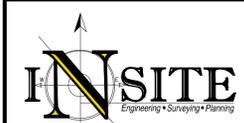
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PRELIMINARY & FINAL
 MAJOR SITE PLAN

SHEET TITLE:
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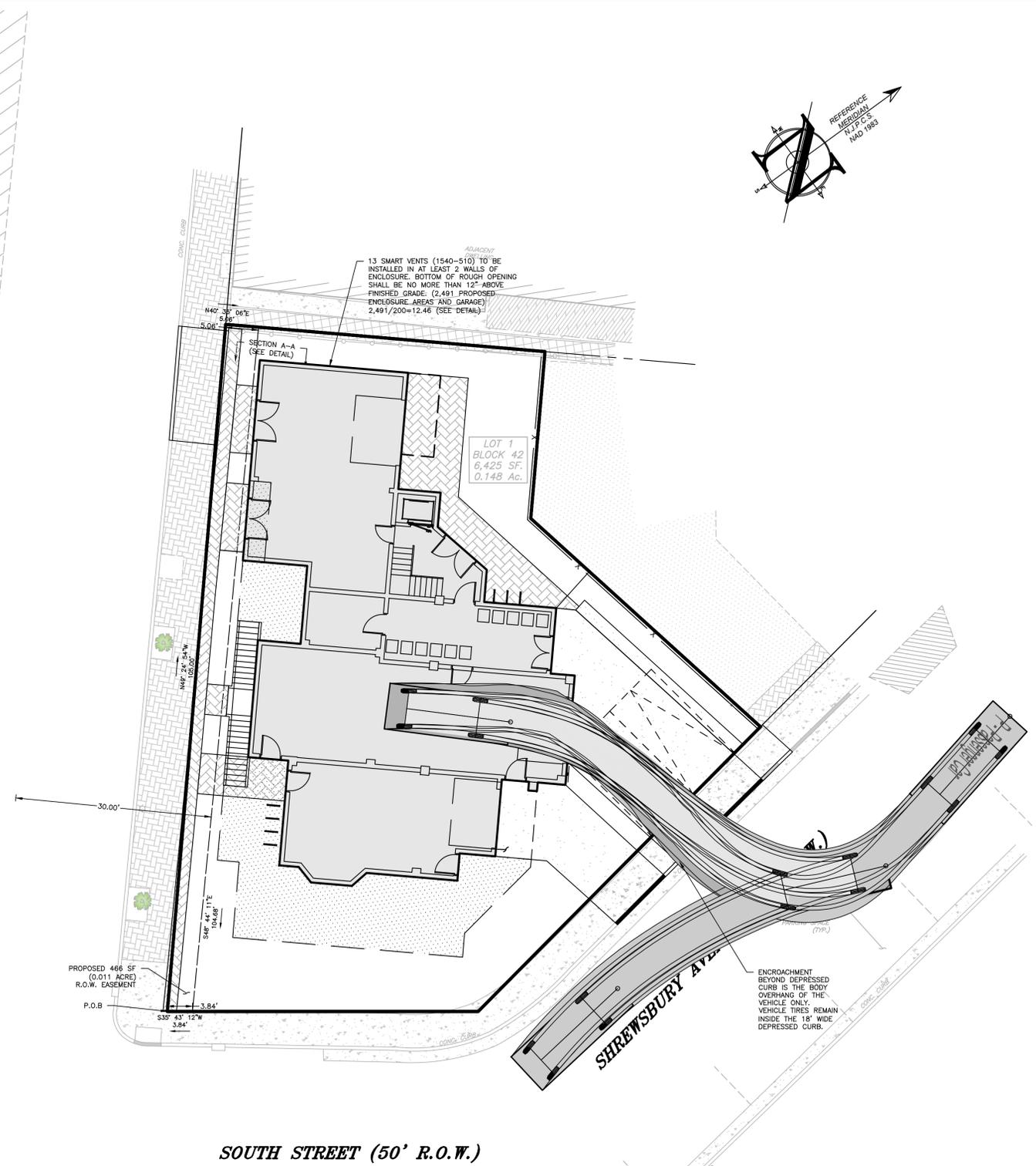
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SEE SHEET C101 FOR PLAN NOTES

EXISTING	PROPOSED



GENERAL NOTES

GENERAL CONDITIONS:

- THE PROVISIONS OF THESE CONSTRUCTION DOCUMENTS, IN WHOLE AND IN PART INCLUDING THESE NOTES AND DRAWINGS APPLY TO ALL PARTIES PERFORMING WORK FOR THE PROJECT. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONVEY, COORDINATE, AND ENSURE PERFORMANCE OF THESE PROVISIONS.
- ALL SUBCONTRACTORS SHALL COOPERATE IN THE COORDINATION AND PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, BONDS, INSURANCE, PERMITS, AND INSPECTIONS FOR COMPLETING THE WORK.
- THESE CONSTRUCTION DOCUMENTS ARE INSTRUMENTS OF SERVICE FOR THIS PARTICULAR PROJECT. THEY ARE THE SOLE PROPERTY OF THIS FIRM AND SHALL NOT BE OTHERWISE USED IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION AND DUE COMPENSATION.
- THE CONTRACTOR AND OWNER SHALL HOLD HARMLESS THE ARCHITECT FROM DAMAGES OR EXPENSES INCLUDING LEGAL FEES ARISING OUT OF THE CONTRACTORS PERFORMANCE OF WORK.
- THESE CONSTRUCTION DOCUMENTS MAKE NO REPRESENTATION AS TO THE SUITABILITY OF SOIL CONDITIONS, SUCH A REPRESENTATION OF WOULD REQUIRE TESTING AND PROFESSIONAL ENGINEERING REVIEW OF THE RESULTS.
- THESE CONSTRUCTION DOCUMENTS MAKE NO REPRESENTATION AS TO THE CONDITIONS OR SUITABILITY OF CONCEALED STRUCTURAL OR FOUNDATION ELEMENTS.
- THIS WORK OF THIS PROJECT SHALL BE PERFORMED AND/OR COORDINATED BY AN EXPERIENCED GENERAL CONTRACTOR OR CONSTRUCTION MANAGER, WITH AT LEAST THREE YEARS OF EXPERIENCE IN AT LEAST THREE PROJECTS OF SIMILAR SCOPE AND TYPE.

SCOPE OF THE WORK:

- THE CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE CARRIED OUT.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING THE WORK OF THIS CONTRACT, WHERE DISCREPANCIES ARE FOUND NOTIFY THE ARCHITECT IMMEDIATELY.
- WHERE DRAWINGS, SPECIFICATIONS, OR OTHER CONSTRUCTION DOCUMENTS DISAGREE OR CONFLICT WITH EACH OTHER NOTIFY ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL PERFORM ALL INDICATED WORK AND RELATED WORK EVEN IF NOT CLEARLY INDICATED THAT MAY BE REASONABLY CONSIDERED AS NECESSARY FOR COMPLETION.
- THE CONTRACTOR SHALL PROTECT AGAINST DAMAGE OR THEFT TO ALL NEW AND EXISTING CONSTRUCTION, SITE DEVELOPMENT AND SERVICES.
- THE CONTRACTOR SHALL REPAIR DAMAGE TO THE EXISTING AND/OR NEIGHBORING CONSTRUCTION OR SITES CAUSED BY NEW CONSTRUCTION AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER AND LEGAL DISPOSAL OF ALL REFUSE AND FOR MAINTAINING THE WORK PLACE IN A SAFE AND ORDERLY CONDITION AT ALL TIMES.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SERVICES AND ASSOCIATED HOOR-UPS, COORDINATION AND PERMISSIONS AT HIS OWN COST.
- THE CONTRACTOR IS CAUTIONED TO MAKE CONTINUOUS OBSERVATIONS OF THE EXISTING STRUCTURE DURING PERFORMANCE OF HIS WORK. SHOULD HE BECOME AWARE OF ANY INVESTIGATION OR STUDY (SUCH AS CRACKS IN MASONRY AND PARTITIONS, ADDITIONAL DEFLECTIONS, ETC) AND NOTIFY THE ARCHITECT IMMEDIATELY.
- PREPARE GARAGE AND UTILITY ROOM AS REQUIRED BY LOCAL CODES WITH 5/8" FIRE CODE "X" GYPSUM BOARD OR EQUAL.
- CRAWL SPACE ACCESS AND VENTILATION SHALL COMPLY WITH SECTION R 408.1 AND R 408.4 OF 2021 RESIDENTIAL CODE N.J. EDITION.

PERFORMANCE OF THE WORK:

- ALL WORK SHALL BE TO THE HIGHEST STANDARDS OF THE TRADE.
- ALL MATERIALS AND PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND CODE REQUIREMENTS, AND AS OTHERWISE INDICATED IN CONTRACT DOCUMENTS.
- ALL MATERIAL AND PRODUCTS SHALL BE NEW AND IN GOOD CONDITION, WHERE APPLICABLE THE CONTRACTOR SHALL OBTAIN THE OWNER WITH COPIES AND ASSIGNMENTS OF ALL GUARANTEES PROVIDED BY THE MANUFACTURER.
- THE CONTRACTOR SHALL MAINTAIN THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS AT THE WORK SITE AT ALL TIMES.
- DO NOT SCALE DRAWINGS. DIMENSIONS ARE FACE OF STUD OR TO FACE OF MASONRY UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS CLEAR OR CLEAR SHALL BE USED AS FINISHED SURFACE TO FINISHED SURFACE DIMENSION.

DEMOLITION NOTES:

- ALL INDICATED DEMOLITION INCLUDES REQUIRED PATCHING, REPAIR AND MODIFICATIONS AS NECESSARY TO PREPARE FOR NEW WORK AND/OR MATCH EXISTING.
- DEMOLITION WORK INCLUDES REMOVING ALL DEMOLITION DEBRIS FROM THE SITE IN A LEGAL AND TIMELY MANNER.
- NOTIFY ARCHITECT IMMEDIATELY IF DEMOLITION REVEALS EXISTING CONDITIONS DIFFERENT FROM THOSE ASSUMED ON DRAWINGS.
- REMOVAL OF PLUMBING FIXTURES OR PIPES INCLUDES CAPPING OFF ALL SUPPLY AND WASTE LINES.
- REMOVAL OF ELECTRICAL FIXTURES OR WORK, INCLUDES PROPER TERMINATION OF ALL WIRES.
- COORDINATE WITH PLUMBING FOR RELOCATION OF ALL EXISTING PLUMBING AND/OR GAS PIPING REQUIRED BY DEMOLITION AND/OR NEW WORK INDICATED.
- COORDINATE WITH ELECTRICAL FOR RELOCATION OF ALL EXISTING WIRE AND/OR OTHER ELECTRICAL WORK REQUIRED BY DEMOLITION AND/OR NEW WORK INDICATED.
- COORDINATE WITH HVAC FOR RELOCATION OF ALL EXISTING DUCTS AND/OR OTHER SYSTEM COMPONENTS AS WORK REQUIRED BY DEMOLITION AND/OR NEW WORK INDICATED.
- SHORE UP ALL EXISTING FRAMING BEFORE TOTAL REMOVAL OF THE BEARING WALLS AND BEFORE NEW BEAMS ARE INSTALLED.

SITWORK/EARTHWORK:

- SITE WORK INCLUDES ALL ASPECTS OF SOIL MOVEMENT, PREPARATION, SOIL CONDITIONS, PAVING, AND GRASS SEEDING ASSOCIATED WITH THE PROJECT.
- SITE WORK INCLUDES ALL REGULATORY ASPECTS OF THE WORK INCLUDING SOIL RETENTION PROCEDURES, EXCAVATION APPROVALS, AND PERMITS AS MAY BE REQUIRED.
- SITE WORK INCLUDES ALL SOIL WORK RELATED TO FOUNDATION, SLABS, COMPACTION AND REQUIRED RETAINING WALLS.
- TREAT SOIL WITH APPROVED INSECTICIDES AT FOUNDATION AND CRAWL SPACE AREAS. USE MANUFACTURERS DISTRIBUTION RECOMMENDATIONS OF A TYPE APPROVED BY OWNER.
- STRIP OFF AND CONSERVE ALL TOP SOIL IN AREAS TO BE DISTURBED.
- PROVIDE A STABILIZED STONE SUB-BASE FOR CONSTRUCTION ACCESS IN THE LOCATION OF PROPOSED DRIVE WAY SEED WITH QUALITY MIX GRASS SEED (APPROVED BY OWNER) AND MAINTAIN ALL DISTURBED AREAS TO PROMOTE NEW LAWN FOR A PERIOD NOT LESS THAN 30 DAYS.
- CONTRACTOR SHALL INSTALL NEW 2" BITUMINOUS DRIVEWAY OVER 3" CRUSHED STONE WITH BELGIUM BLOCK CURBING AND SLATE SIDEWALK AS PER SITE PLAN, PROVIDE ALTERNATE PRICE.

MASONRY AND CONCRETE NOTES:

- MASONRY AND CONCRETE WORK INCLUDES ALL CONSTRUCTION INVOLVING STONE, BRICK, CONCRETE MASONRY UNITS AND POURED CONCRETE AND INCLUDES ALL ASSOCIATED MATERIALS LABOR AND EQUIPMENT FOR THE WORK.
- CONCRETE AND MASONRY WORK INCLUDES ALL GARAGE, CRAWL SPACE AND BASEMENT SLABS, PATIOS, FOUNDATIONS, AND BUILDING WALLS, RETAINING WALLS, WALKWAYS OR OTHER WORK AS APPROPRIATE TO THE TRADE INCLUDING ALL COORDINATION WITH OTHER TRADES AS TO EXCAVATION, GRADING, UTILITIES, ETC.
- MASONRY AND CONCRETE WORK INCLUDES ALL REINFORCING CALLED FOR AS NORMALLY PROVIDED, INCLUDING ALL REBAR, STEEL LINTELS, AND WIRE MESH.
- ALL CONCRETE SHALL BE MIN. STRENGTH 3,000 PSI AT 28 DAYS UNLESS OTHERWISE INDICATED.
- ALL CONCRETE MASONRY UNITS AND BRICK ARE TO BE RUNNING BOND UNLESS OTHERWISE INDICATED.
- PROVIDE FOUNDATION DAMP-PROOFING (2) LAYER HOT ASPHALTIC COATING OR OTHER APPROVED SYSTEMS.
- PROVIDE RADON MITIGATION MEASURES AS REQUIRED BY LOCAL CODE AND AS CALLED FOR IN THE DRAWINGS.
- PROVIDE #4 VERTICAL REBAR AT 8'-0" O.C. AT ALL CORNERS AND ON BOTH SIDES OF ALL MASONRY WALL OPENINGS. FOUR SOLID AT ALL REBAR LOCATIONS FOR MIN. 16".
- THE BOTTOM OF ALL EXTERIOR WALLS, COLUMNS AND FOOTINGS SHALL BE A MINIMUM OF 3'-0" BELOW FINISHED GRADE UNLESS OTHERWISE INDICATED ON THE WORKING DRAWINGS.
- WHEN FINISHED FLOOR IS 2'-0" OR GREATER ABOVE FINISHED GRADE, THE FOUNDATION WALL SHALL BE REINFORCED FROM TOP OF FOOTING TO 12" ABOVE FLOOR SLAB, FILL BLOCK SOLID WITH CONCRETE AND PROVIDE VERTICAL ROD REINFORCING AT 12" O.C.
- PROVIDE HORIZONTAL TRUSS-TYPE REINFORCING EVERY OTHER BLOCK COURSE.
- ALL FOOTING SHALL BEAR ON VIRGIN SOIL OF 3,000 P.S.F. BEARING CAPACITY.
- PROVIDE LINTELS OVER MASONRY OPENINGS. STEEL LINTELS SHALL BE TWO (2) 3 1/2" x 3 1/2" x 1/2" UNLESS OTHERWISE NOTED.
- DO NOT ERECT MASONRY WALLS WHEN TEMPERATURE IS BELOW 25 DEGREES WITHOUT RECEIVING WRITTEN PERMISSION AND SPECIAL REQUIREMENTS FROM THE ARCHITECT. FOR TEMPERATURES LESS THAN 40 DEGREES BUT MORE THAN 25 DEGREES MAINTAIN MORTAR TEMPERATURE BETWEEN 40 AND 120 DEGREES, HEATING MIXING WATER AS NECESSARY. MASONRY UNITS SHALL BE HEATED TO A MINIMUM TEMPERATURE OF 40 DEGREES.
- WHERE EXPOSED MASONRY MUST BE TRIMMED, SAWCUT ALL EXPOSED JOINTS.

ENERGY NOTES:

- THE CONSTRUCTION SHALL MEET OR EXCEED ALL STATE ENERGY CODE REQUIREMENTS.
- ALL FRAMED EXTERIOR WALLS OR WALLS ADJACENT TO UNHEATED SPACES SHALL COMPLY WITH THE PRESCRIPTIVE REQUIREMENTS OF 2021 IECC 402.1.1 MINIMUM R-39 INSULATION IN FLOOR/CEILING ASSEMBLIES, MINIMUM R-19 IN FLOOR ASSEMBLIES. REFER TO CHART BELOW FOR ALL OTHER AREAS.

2021 IECC FOR CLIMATE ZONE 4 & 5	
CEILING R-VALUE	R-49 MIN.
WOOD FRAME WALL R-VALUE	R-19
MASONRY WALL R-VALUE	R-19
FLOOR R-VALUE	R-49
BASEMENT WALL R-VALUE	R-10/13
SLAB R-VALUE	R-10 @ 2 FT
CRAWL SPACE R-VALUE	R-10/13
PENETRATION U-VALUE	0.35
SKYLIGHT U-VALUE	0.60

- ALL SLABS ON GRADE SHALL HAVE PERIMETER INSTALLATION 2" x 24" RIGID BOARD; HORIZONTAL AND VERTICAL (NOT IN BASEMENT UNLESS OTHERWISE NOTED).
- INSULATE ALL PIPES, DUCTS, AND TANKS AS REQUIRED BY BOCA INTERNATIONAL ENERGY CODE.
- SUPPLY ALL WINDOWS AND DOORS WITH STOPS AND SEALS FOR A MAX INFILTRATION OF 0.5 CFM PER FOOT OF SASH CRACK.
- CAULK OR WEATHER STRIP ALL EXTERIOR JOINTS AROUND DOORS AND WINDOWS TO MINIMIZE INFILTRATION.

GLAZING NOTES:

- WINDOWS NOTED AS EGRESS PROVIDE MINIMUM CLEAR OPENING OF 5.7 SQ. FT. WITH MIN. 20" WIDTH AND 24" HEIGHT. EGRESS WINDOWS ON THE FIRST FLOOR SHALL HAVE A MINIMUM CLEAR OPENING OF 5.0 SQ. FT.
- SILL HEIGHT FOR WINDOWS INDICATED AS EGRESS WINDOWS SHALL NOT EXCEED 44" ABOVE THE FLOOR.
- PROVIDE TEMPERED GLASS AS INDICATED ON DRAWINGS IN ALL GLASS AT BATH AND SHOWER AREAS LESS THAN 72" A.F.F. IN ALL GLASS IN DOORS, AND AS OTHERWISE REQUIRED.

WOOD, FRAMING AND CARPENTRY:

- ALL STRUCTURAL WOOD MEMBERS SHALL BE NO.2 DOUGLAS FIR OR SOUTHERN PINE.
- ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED UNLESS OTHERWISE NOTED ON THE DRAWINGS. (OF A TYPE APPROVED BY OWNER).
- ALL INTERIOR TRIM SHALL BE PAINT-GRADE PINE AND/OR STAIN-GRADE PINE, VERIFY FINAL SELECTION WITH OWNER.
- PROVIDE DOUBLE MEMBERS AROUND ALL FRAMED OPENING.
- PROVIDE SOLID BLOCKING AT ALL CANTILEVERS PERPENDICULAR WALLS ABOVE, AND OTHER CONCENTRATED LOADS. PROVIDE DOUBLE JOISTS RUNNING PARALLEL TO PARTITIONS ABOVE.
- PROVIDE BRIDGING AT 8'-0" O.C. MAXIMUM.
- PROVIDE ALL WORK INDICATED AS CABINETRY, VANITIES, SHELVES, OR MANTELS, AND/OR COORDINATE CARPENTRY WITH TILE OR GRANITE WORK AS APPROPRIATE.
- SILL PLATE SHALL BE (2) 2" x 6" TREATED LUMBER, FASTEN TO FOUNDATION WALL. MINIMUM 8'-0" O.C. WITH A 1/2" DIAMETER x 18" MINIMUM LENGTH SOLIDLY EMBEDDED IN CONCRETE.
- ALL FRAMING LUMBER SHALL BE NO.2 DOUGLAS FIR OR SOUTHERN PINE WITH MINIMUM FB OF 1450 P.S.I. AND MINIMUM E OF 1,700,000.
- ALL NAILING SHALL BE IN ACCORDANCE WITH 2021 INTERNATIONAL RESIDENTIAL CODE NEW JERSEY EDITION.
- PROVIDE CATS AS REQUIRED, MINIMUM 8'-0" O.C.
- WOOD HEADERS (2) 2" x 8" FOR OPENINGS UP TO 5'-0" AND (2) 2" x 10" FOR OPENINGS UP TO 8'-0" UNLESS OTHERWISE NOTED ON THE PLANS.
- STAIR, GUARD RAILS AND HAND RAILS AT DECKS, BALCONIES OR STAIRCASES SHALL COMPLY WITH THE SECTION OF 2018 INTERNATIONAL RESIDENTIAL CODE NEW JERSEY EDITION.
- DESIGN LOADS:

FLOORS:	40 PSF LIVE LOAD
	10 PSF DEAD LOAD
ROOF:	10 PSF LIVE LOAD
	10 PSF DEAD LOAD

WIND LOAD: MINIMUM DESIGN WIND LOAD = 110 MPH BASIC WIND SPEED - EXPOSURE B IN ACCORDANCE WITH AF & PA WOOD CONSTRUCTION MANUAL FOR 1 AND 2 FAMILY DWELLINGS (WFCM).

FINISH NOTES:

- DO NOT START THE APPLICATION OR INSTALLATION OF ANY FINISHED MATERIAL WITHOUT INSURING THE SUBSTRATE IS ACCEPTABLE AND PROPERLY PREPARED.
- WHERE APPROPRIATE FOR PROPER INSTALLATION OR APPLICATION FINISH WORK INCLUDES ALL REMOVAL OF EXISTING FINISHES INCLUDING WALL COVERING, PAINT AND OTHER COATINGS, AND FLOORING MATERIALS.
- ALL FINISHED WORK INCLUDES LEVELING BETWEEN FLOORS.
- PROVIDE OWNER WITH SAMPLES OF ALL INTERIOR AND EXTERIOR FINISH MATERIALS FOR ACCEPTANCE BEFORE ORDERING.
- INSTALLATION OF FINISHES, INTERIOR AND EXTERIOR SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- GYPSUM BOARD INSTALLATION INCLUDES TAPING AND SPACKLING (THREE COATS) ALL WALLS IN THE HOUSE, TWO COATS IN CLOSETS, AND ONE COAT IN THE GARAGE.
- PAINTING CONTRACTOR SHALL PROVIDE (1) COAT PRIMER AND (2) COAT FINISH WITH BENJAMIN MOORE PAINT OR EQUAL.
- ALL BATHROOMS SHALL HAVE TILE FLOORS AND WALLS, TILES ARE SELECTED BY OWNER.
- ALL TUBS AND SHOWERS SHALL HAVE MOLDED ENCLOSURES AS SELECTED BY OWNER.
- ALL HARDWARE SHALL BE SELECTED BY OWNER.
- ALL WOOD FLOORS (WHERE INDICATED ON THE PLANS) SHALL BE #1 OAK FINISHED NATURAL WITH (2) COATS OF POLYURETHANE.
- ALL TRIMS SHALL BE 3" CASING AND 5" BASE (SATIN GRADE AND/OR PAINT GRADE) AS SELECTED BY OWNER.

ELECTRICAL NOTES:

- ALL WORK PERFORMED TO CONFIRM TO ALL STATE, COUNTY, TOWN AND MUNICIPAL CODES.
- CONTRACTOR SHALL BE LICENSED BY THE STATE AND TO PROVIDE ALL NECESSARY DESIGN WORK NECESSARY TO OBTAIN ALL PERMITS, HARDWARE CONNECTIONS, FIXTURES, BULBS, PLATES, ETC.
- ALL ELECTRICAL WORK IS THROUGH TO COMPLETE INSTALLATION INCLUDING ALL LABOR, EQUIPMENT, AND ALL MATERIALS FOR DISTRIBUTION SYSTEM AND PANEL, BOARDS, WIRING, HARDWARE CONNECTIONS, FIXTURES, BULBS, PLATES, ETC.
- PROVIDE GROUND FAULT INTERRUPT OUTLETS WITHIN SIX FEET OF ANY WATER SOURCE, IN GARAGES, BASEMENTS AND AS INDICATED ON PLAN (G.F.I.).
- SMOKE DETECTORS TO BE INSTALLED TO MEET ALL UPDATED LOCAL AND STATE CODES. ALL ALARMS TO SOUND SIMULTANEOUSLY.
- THE CONTRACTOR WILL PROVIDE ALL ELECTRICAL WORK NECESSARY TO COMPLETE THE PROJECT, GENERAL CONTRACTOR TO FURNISH AND INSTALL LIGHTING FIXTURES.
- ALL BATHROOMS TO HAVE FAIL-SAFE CIRCUITS.

PLUMBING NOTES:

- ALL PLUMBING WORK SHALL BE BY A LICENSED PLUMBER.
- ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.
- PLUMBING WORK INCLUDES ALL SUPPLY, WASTE, AND VENT PIPING, PROVISIONS AND COMPLETE INSTALLATION FOR FIXTURE SHUTOFF VALVES FOR EACH FIXTURE GROUP. PROVISION AND COMPLETE INSTALLATION OF ANY REQUIRED HOT-WATER HEATER.
- PLUMBING WORK INCLUDES ALL NATURAL GAS AND PROPANE PIPING INCLUDING SERVICE CONNECTION TO ALL GAS APPLIANCES AND PURNACES.
- WASTE PIPING SHALL BE APPROVED PVC, SUPPLY PIPING SHALL BE TYPE "L" COPPER PIPE.
- PROVIDE CLEANOUTS AS REQUIRED BY CODE, NOT MORE THAN 75'-0" APART, AT ALL TURNS OF 45 DEGREES OR MORE.
- ALL PLUMBING FIXTURES SHALL BE SELECTED BY OWNER. (REFER TO PLUMBING FIXTURE SCHEDULE).

HVAC/MECHANICAL NOTES:

- ALL HEATING, COOLING AND VENTILATION SHALL BE PERFORMED BY A QUALIFIED MECH. SUBCONTRACTOR ACCORDING TO ALL CODES.
- WORK OF THE CONTRACTOR INCLUDES ALL WORK REQUIRED FOR A COMPLETELY INSTALLED FUNCTIONING, BALANCED AND TESTED HVAC SYSTEM. WORK OF THIS CONTRACT ALSO INCLUDES PROVIDING ALL HEATERS, RADIATORS, REGISTER DUCTWORK AND ANY OTHER ACCESSORIES MADE NECESSARY BY THE WORK OF THIS CONTRACT INCLUDING ANY RELOCATIONS, MODIFICATIONS OF EXTENSIONS TO THE EXISTING SYSTEM, AS WELL AS NEW OR SUPPLEMENTAL SYSTEMS.
- SUBCONTRACTOR SHALL CHECK AND VERIFY UNIT CAPACITIES AND DEMAND LOADS FOR BOTH NEW AND EXISTING UNITS. CONTRACTOR SHALL REVIEW WITH THE OWNER THE ENTIRE HVAC LAYOUT INCLUDING ZONES AND THERMOSTAT LOCATIONS, AND THE LOCATIONS OF ALL RADIATORS, REGISTERS AND RETURNS. MARK LOCATIONS FOR REVIEW BY OWNER.

2021 INTERNATIONAL RESIDENTIAL CODE CHAPTER 6

THIS COMPREHENSIVE CODE COMPRISES ALL BUILDING, PLUMBING, MECHANICAL, FUEL GAS AND ELECTRICAL REQUIREMENTS FOR ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES UP TO THREE STORIES. FOR THE MOST CURRENT ADOPTIONS DETAILS GO TO INTERNATIONAL CODE ADOPTIONS THE IRC CONTAINS MANY IMPORTANT CHANGES SUCH AS: AN UPDATED SEISMIC MAP REFLECTS THE MOST CONSERVATIVE SEISMIC DESIGN CATEGORY (SDC) BASED ON ANY SOIL TYPE AND A NEW MAP REFLECTS LESS CONSERVATIVE SDCs WHEN SITE CLASS A, B OR D IS APPLICABLE. THE TOWNHOUSE SEPARATION PROVISIONS NOW INCLUDE OPTIONS FOR USING TWO SEPARATE FIRE-RESISTANT-RATED WALLS OR A COMMON WALL, AN EMERGENCY ESCAPE AND RESCUE OPENING IS NO LONGER REQUIRED IN BASEMENT SLEEPING ROOMS WHERE THE DWELLING HAS AN AUTOMATIC FIRE SPRINKLER SYSTEM AND THE BASEMENT HAS A SECOND MEANS OF EGRESS OR AN EMERGENCY ESCAPE OPENING. THE EXEMPTION FOR INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS HAS BEEN DELETED. NEW GIRDER/HEADER TABLES HAVE BEEN REVISED TO INCORPORATE THE USE OF #2 SOUTHERN PINE IN LIEU OF #1 SOUTHERN PINE. THIS ADDRESS AN ALTERNATIVE WOOD STUD HEIGHTS AND THE REQUIRED NUMBER OF FULL HEIGHT STUDS IN HIGH WIND AREAS.

ENERGY CALCULATIONS:

PER THE UNIFORM CONSTRUCTION CODE N.J.A.C. 5:23-2.15 (f) (vi) (ENERGY CALCULATIONS) APPLICANTS ARE REQUIRED TO DEMONSTRATE COMPLIANCE WITH THE ENERGY SUBCODE & 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AS PART OF THE PERMIT APPLICATION PROCESS FOR NEWLY CONSTRUCTED BUILDING OR ADDITION. THE PROJECT LOCATED IN CLIMATE ZONE 4 COMPLES WITH THE PRESCRIPTIVE PACKAGE OPTION No. 4 BULLETIN No. 1-1, AS FOLLOWS:

	REQUIRED	PROPOSED
PENETRATION (U)	0.35	<=0.32
CEILING (R)	49 / 38*	58*
WALL (R)	20	21
FLOOR (R)	19	19

*402.21 ALLOWS R-38 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES.

SITE INFORMATION

APPLICABLE CODES

INTERNATIONAL RESIDENTIAL CODE (N.J. EDITION)	2021
INTERNATIONAL MECHANICAL CODE	2021
NATIONAL STANDARD PLUMBING CODE	2021
NATIONAL ELECTRICAL CODE	2020
INTERNATIONAL FIRE CODE	2021
INTERNATIONAL ENERGY CONSERVATION CODE	2021

ZONING DATA

ITEM	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA			6,408 S.F.
MINIMUM LOT FRONTAGE			105.00'
MINIMUM FRONT SETBACK ACCESSORY			2.00'
MINIMUM SIDE SETBACK ACCESSORY			5.00' / 8.00'
MINIMUM REAR SETBACK ACCESSORY			5.00' / 8.00'
MINIMUM REAR STREET SIDE SETBACK ACCESSORY			2,681 S.F.
MAXIMUM BUILDING COVERAGE			2,681 / 6,408 = 42%
MAXIMUM LOT COVERAGE			46'-10"

REFER TO INSITE ENGINEERING DATA

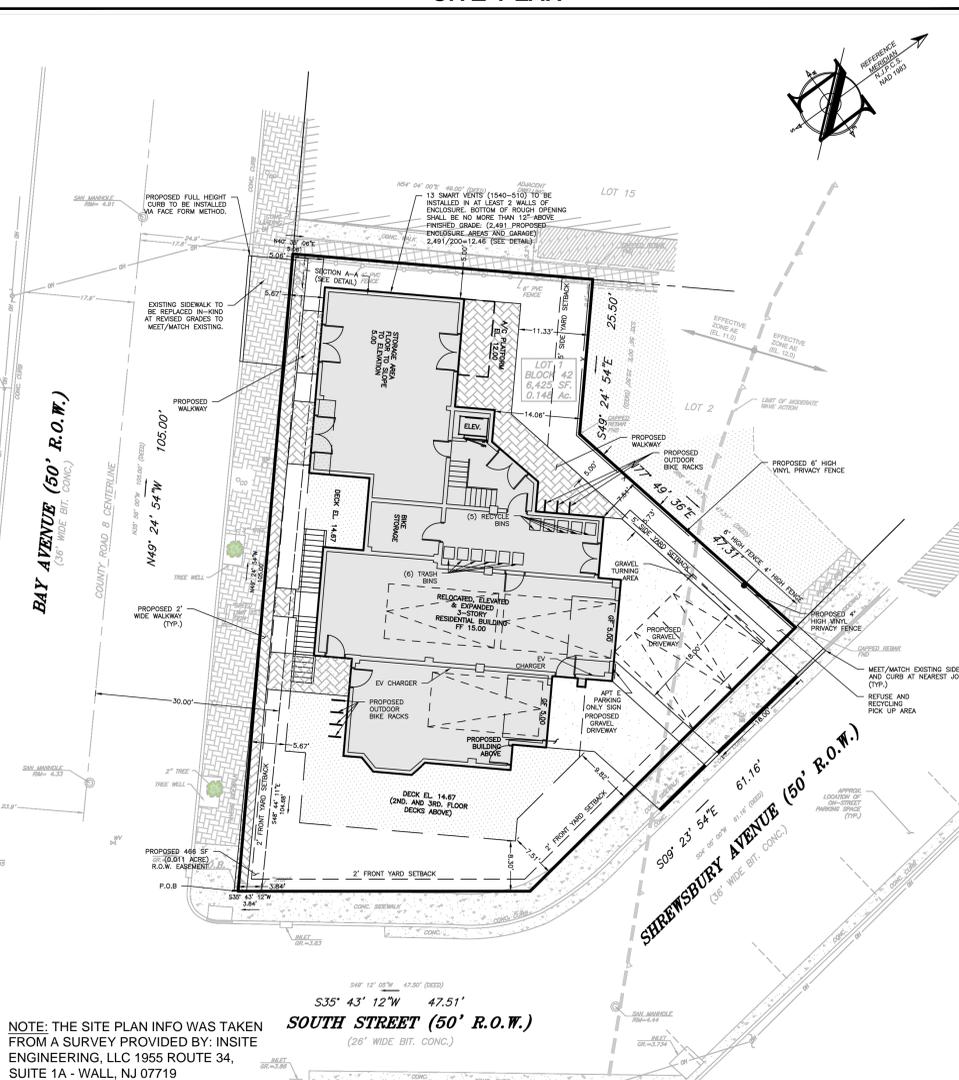
BUILDING STATISTICS

CONSTRUCTION CLASS: 5A
USE GROUP CLASSIFICATION: R3 RESIDENTIAL
FOUNDATION PLAN & DETAILS ARE DRAWN IN ACCORDANCE WITH ASCE24
110 MPH EXPOSURE B' WIND ZONE

BUILDING DATA

HABITABLE AREA	EXISTING AREA	NEW AREA	TOTAL AREA
GROUND FLOOR	0	0	0
FIRST FLOOR	1,200 SF	1,268 SF	2,468 SF
SECOND FLOOR	900 SF	1,686 SF	2,586 SF
THIRD FLOOR	900 SF	1,534 SF	2,434 SF
TOTAL	3,000 SF	4,488 SF	7,488 SF
HABITABLE AREA	EXISTING VOLUME	NEW VOLUME	TOTAL VOLUME
GROUND FLOOR	0	22,419 CF	22,419 CF
FIRST FLOOR	9,600 CF	11,412 CF	21,012 CF
SECOND FLOOR	7,200 CF	13,488 CF	20,688 CF
THIRD FLOOR	7,200 CF	12,272 CF	19,472 CF
TOTAL	24,000 CF	59,591 CF	83,591 CF

SITE PLAN



NOTE: THE SITE PLAN INFO WAS TAKEN FROM A SURVEY PROVIDED BY: INSITE ENGINEERING, LLC 1955 ROUTE 34, SUITE 1A - WALL, NJ 07719

DRAWING LIST

- T-100 TITLE SHEET
- A-100 GROUND FLOOR DEMOLITION AND CONSTRUCTION FLOOR PLAN
- A-101 FIRST AND SECOND FLOOR DEMOLITION AND CONSTRUCTION FLOOR PLANS
- A-102 THIRD FLOOR CONSTRUCTION AND ROOF FRAMING PLANS
- A-103 FRONT AND REAR EXTERIOR ELEVATIONS
- A-104 LEFT AND RIGHT SIDE EXTERIOR ELEVATIONS
- A-105 FASTENING SCHEDULE AND DETAILS

PROGRESS SET

ISSUED: 4/11/2025

SALVATORE LA FERLITA, R.A.
Architectural Services
Construction Management

115 University Drive
Lincroft, N.J. 07738
732-741-5105
Sallafferita@aol.com

Revised: _____ Issued: _____

No.	DATE	REVISION	No.	DATE	DESCRIPTION

Client: _____

60 BAY AVE HIGHLAND LLC
MULTI-FAMILY RESIDENCE
60 BAY AVENUE
HIGHLANDS, NEW JERSEY

TITLE SHEET

Seal & Signature: _____ Job Type: _____

Project No.: _____ Scale: AS NOTED

Date: _____ Drawn By: _____

Reviewed By: _____

Drawing No.: _____

Sheet No.: 1 OF 1

N.J. LIC. #A115228

MULTI-FAMILY RESIDENCE PROPOSED NEW FOUR STORY DWELLING

FOUNDATION NOTES:

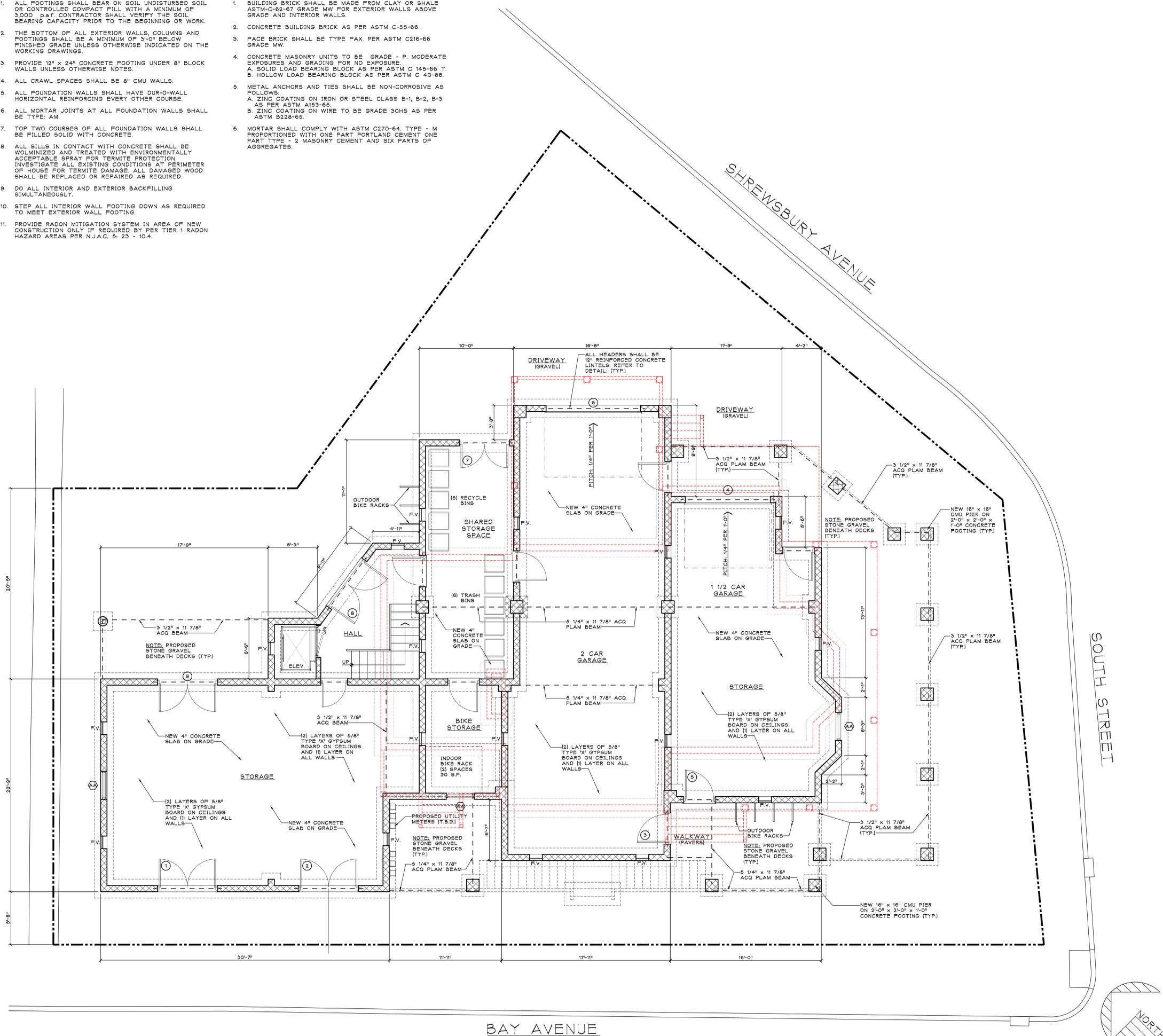
- ALL FOOTINGS SHALL BEAR ON SOIL UNDISTURBED SOIL OR CONTROLLED COMPACT FILL WITH A MINIMUM OF 3000 p.s.f. CONTRACTOR SHALL VERIFY THE SOIL BEARING CAPACITY PRIOR TO THE BEGINNING OF WORK.
- THE BOTTOM OF ALL EXTERIOR WALLS, COLUMNS AND FOOTINGS SHALL BE A MINIMUM OF 3'-0" BELOW FINISHED GRADE UNLESS OTHERWISE INDICATED ON THE WORKING DRAWINGS.
- PROVIDE 12" x 24" CONCRETE FOOTING UNDER 8" BLOCK WALLS UNLESS OTHERWISE NOTED.
- ALL CRAWL SPACES SHALL BE 8" CMU WALLS.
- ALL FOUNDATION WALLS SHALL HAVE DUR-O-WALL HORIZONTAL REINFORCING EVERY OTHER COURSE.
- ALL MORTAR JOINTS AT ALL FOUNDATION WALLS SHALL BE TYPE: AM.
- TOP TWO COURSES OF ALL FOUNDATION WALLS SHALL BE FILLED SOLID WITH CONCRETE.
- ALL SILLS IN CONTACT WITH CONCRETE SHALL BE WOLMINIZED AND TREATED WITH ENVIRONMENTALLY ACCEPTABLE SPRAY FOR TERMITE PROTECTION. INVESTIGATE ALL EXISTING CONDITIONS AT PERIMETER OF HOUSE FOR TERMITE DAMAGE. ALL DAMAGED WOOD SHALL BE REPLACED OR REPAIRED AS REQUIRED.
- DO ALL INTERIOR AND EXTERIOR BACKFILLING SIMULTANEOUSLY.
- STEP ALL INTERIOR WALL FOOTING DOWN AS REQUIRED TO MEET EXTERIOR WALL FOOTING.
- PROVIDE RADON MITIGATION SYSTEM IN AREA OF NEW CONSTRUCTION ONLY IF REQUIRED BY PER TIER 1 RADON HAZARD AREAS PER N.J.A.C. 5: 23 - 10.4.

MASONRY NOTES:

- BUILDING BRICK SHALL BE MADE FROM CLAY OR SHALE ASTM-C-62-67 GRADE MW FOR EXTERIOR WALLS ABOVE GRADE AND INTERIOR WALLS.
- CONCRETE BUILDING BRICK AS PER ASTM C-55-66.
- FACE BRICK SHALL BE TYPE FAX. PER ASTM C216-66 GRADE MW.
- CONCRETE MASONRY UNITS TO BE GRADE - P. MODERATE EXPOSURES AND GRADING FOR NO EXPOSURE.
 - SOLID LOAD BEARING BLOCK AS PER ASTM C 145-66 T.
 - HOLLOW LOAD BEARING BLOCK AS PER ASTM C 40-66.
- METAL ANCHORS AND TIES SHALL BE NON-CORROSIVE AS FOLLOWS:
 - ZINC COATING ON IRON OR STEEL CLASS B-1, B-2, B-3 AS PER ASTM A153-65.
 - ZINC COATING ON WIRE TO BE GRADE 30HS AS PER ASTM B228-65.
- MORTAR SHALL COMPLY WITH ASTM C270-64. TYPE - M PROPORTIONED WITH ONE PART PORTLAND CEMENT ONE PART TYPE - 2 MASONRY CEMENT AND SIX PARTS OF AGGREGATES.

LEGEND

- EXISTING TO BE REMOVED
- EXISTING INTERIOR PARTITION TO REMAIN
- NEW 2" x 4" WOOD STUD INTERIOR WALL CONSTRUCTION
- NEW TWO HOUR RATED WALL CONSTRUCTION
- NEW 2" x 6" WOOD STUD EXTERIOR WALL CONSTRUCTION
- NEW 12" CONCRETE BLOCK FOUNDATION WALL
- DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW NUMBER, REFER TO WINDOW SCHEDULE
- NEW 'SMART VENT' AUTOMATIC NON-POWERED, 8" x 16" FLOOD VENTS OR APPROVED EQUAL, 12" ABOVE GRADE MAX (1) PER 200 S.F. MIN.
- NEW HOSE BIBB
- SECTION NUMBER DRAWING NUMBER
- ELEVATION LETTER DRAWING NUMBER
- A.F.F. ABOVE FINISHED FLOOR
- U.O.N. UNLESS OTHERWISE NOTED
- V.I.F. VERIFY IN FIELD



PROGRESS SET
ISSUED: 4/11/2025

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Architectural Services
Construction Management
115 University Drive
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Sallaferlita@aol.com

No.	DATE	REVISION	No.	DATE	DESCRIPTION

Client: **60 BAY AVE HIGHLAND LLC**
MULTI-FAMILY RESIDENCE
60 BAY AVENUE
HIGHLANDS, NEW JERSEY

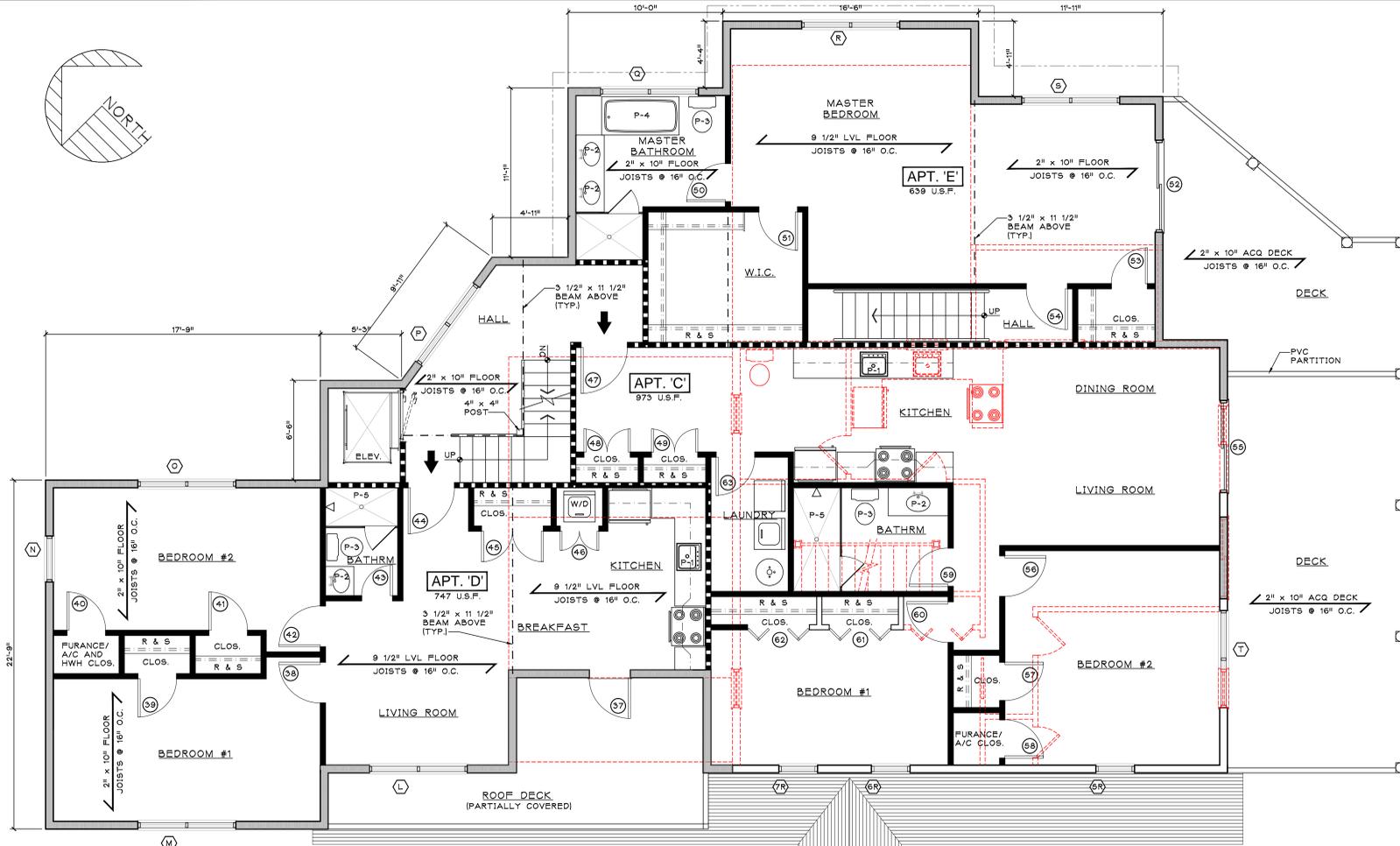
Title: **GROUND FLOOR DEMOLITION & CONSTRUCTION PLAN**

Seal & Signature: Job Type: _____
Project No.: _____
Scale: AS NOTED
Date: _____
Drawn By: _____
Reviewed By: _____
Drawing No.: _____

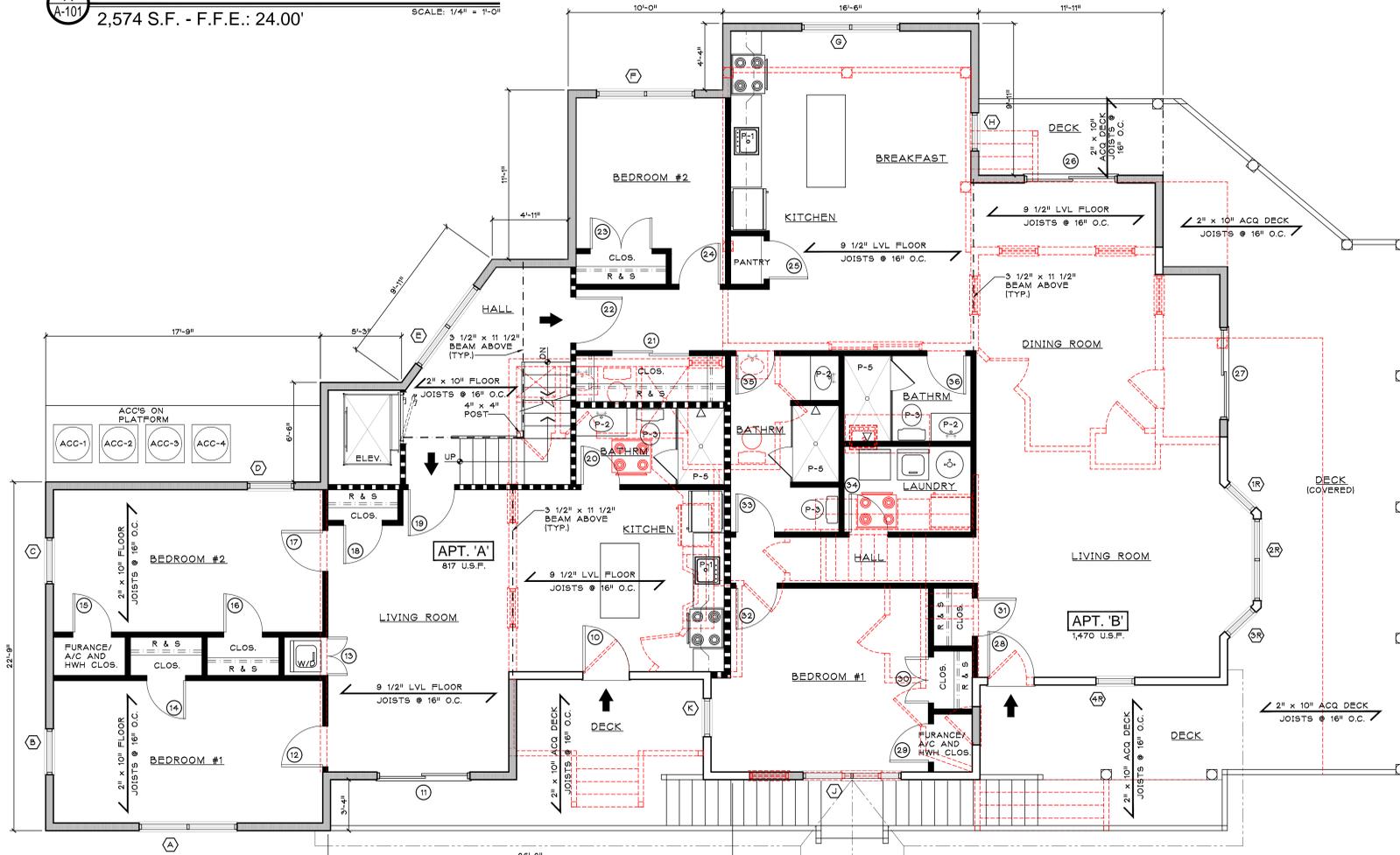
A-100
SHEET No. _____ OF _____
N.J. LIC. #A115228

A-100 GROUND FLOOR PLAN
2,491 S.F. - G.F.E.: 5.00'

SCALE: 1/4" = 1'-0"



A SECOND FLOOR PLAN
2,574 S.F. - F.F.E.: 24.00'
SCALE: 1/4" = 1'-0"

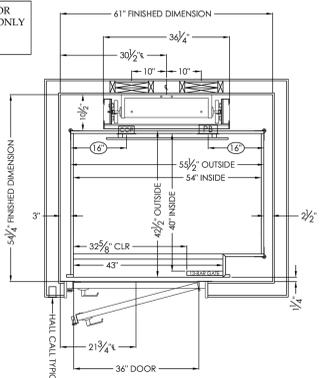


B FIRST FLOOR PLAN (RAISED)
2,468 S.F. - F.F.E.: 15.00'
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

No.	MANUFACTURER	MODEL #	SIZE	R.O.	DESCRIPTION
1	STANLEY	T.B.D.	(2) 3'-0" x 7'-0"		PAIR - FIRE RATED
2	STANLEY	T.B.D.	(2) 3'-0" x 7'-0"		PAIR - FIRE RATED
3	STANLEY	T.B.D.	3'-0" x 7'-0"		ENTRY DOOR - FIRE RATED
4	OVERHEAD DOOR	T.B.D.	8'-0" x 8'-0"		GARAGE O.H. DOOR
5	STANLEY	T.B.D.	3'-0" x 7'-0"		ENTRY DOOR - FIRE RATED
6	OVERHEAD DOOR	T.B.D.	10'-0" x 8'-0"		GARAGE O.H. DOOR
7	STANLEY	T.B.D.	(2) 3'-0" x 7'-0"		PAIR - FIRE RATED
8	STANLEY	T.B.D.	(2) 3'-0" x 7'-0"		PAIR - FIRE RATED
9	OVERHEAD DOOR	T.B.D.	10'-0" x 8'-0"		GARAGE O.H. DOOR
10	MORGAN	T.B.D.	3'-0" x 7'-0"		ENTRY DOOR
11	ANDERSEN	FWG 6068			SLIDE PATIO DOOR
12	MASONITE OR EQUAL		2'-8" x 6'-8"		6 PANEL WOOD
13	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"		PAIR CLOSET DOORS
14	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
15	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
16	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
17	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
18	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
19	MASONITE OR EQUAL	T.B.D.	3'-0" x 7'-0"		APT. ENTRY DOOR - FIRE RATED
20	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
21	MASONITE OR EQUAL		(2) 1'-6" x 6'-8"		PAIR SLIDING CLOSET DOORS
22	MASONITE OR EQUAL	T.B.D.	3'-0" x 7'-0"		APT. ENTRY DOOR - FIRE RATED
23	MASONITE OR EQUAL		(2) 1'-6" x 6'-8"		PAIR CLOSET DOORS
24	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
25	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
26	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
27	ANDERSEN	FWG 6068			SLIDE PATIO DOOR
28	ANDERSEN	FWG 6068			SLIDE PATIO DOOR
29	MORGAN	T.B.D.	3'-0" x 7'-0"		ENTRY DOOR
30	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
31	MASONITE OR EQUAL		(2) 1'-6" x 6'-8"		PAIR CLOSET DOORS
32	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
33	MASONITE OR EQUAL		2'-8" x 6'-8"		6 PANEL WOOD
34	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
35	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
36	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
37	MORGAN	T.B.D.	3'-0" x 7'-0"		ENTRY DOOR
38	MASONITE OR EQUAL		2'-8" x 6'-8"		6 PANEL WOOD
39	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
40	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
41	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
42	MASONITE OR EQUAL		2'-8" x 6'-8"		6 PANEL WOOD
43	MASONITE OR EQUAL		2'-8" x 6'-8"		6 PANEL WOOD
44	MASONITE OR EQUAL		2'-0" x 6'-8"		6 PANEL WOOD
45	MASONITE OR EQUAL	T.B.D.	3'-0" x 7'-0"		APT. ENTRY DOOR - FIRE RATED
46	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"		PAIR CLOSET DOORS
47	MASONITE OR EQUAL		(2) 1'-6" x 6'-8"		PAIR CLOSET DOORS
48	MASONITE OR EQUAL	T.B.D.	3'-0" x 7'-0"		APT. ENTRY DOOR - FIRE RATED
49	MASONITE OR EQUAL		(2) 1'-6" x 6'-8"		PAIR CLOSET DOORS
50	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
51	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
52	ANDERSEN	FWG 6068			SLIDE PATIO DOOR
53	MASONITE OR EQUAL		2'-4" x 6'-8"		6 PANEL WOOD
54	MASONITE OR EQUAL		2'-8" x 6'-8"		6 PANEL WOOD
55	ANDERSEN	FWG 6068			SLIDE PATIO DOOR
56	MASONITE OR EQUAL		2'-8" x 6'-8"		6 PANEL WOOD
57	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
58	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
59	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
60	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
61	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
62	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
63	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
64	ANDERSEN	FWG 6068			SLIDE PATIO DOOR
65	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
66	MASONITE OR EQUAL		2'-8" x 6'-8"		6 PANEL WOOD
67	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
68	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
69	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
70	MASONITE OR EQUAL		2'-0" x 6'-8"		6 PANEL WOOD
71	MASONITE OR EQUAL		2'-8" x 6'-8"		6 PANEL WOOD
72	MASONITE OR EQUAL		2'-0" x 6'-8"		6 PANEL WOOD
73	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD
74	MASONITE OR EQUAL	T.B.D.	3'-0" x 7'-0"		APT. ENTRY DOOR - FIRE RATED
75	ANDERSEN	FWG 6068			SLIDE PATIO DOOR
76	FOUR SEASONS SUNROOM				
77	MASONITE OR EQUAL		2'-6" x 6'-8"		6 PANEL WOOD

THIS DRAWING IS FOR PLANNING PURPOSES ONLY DO NOT USE FOR CONSTRUCTION



C ELEVATOR FRAMING PLAN
SCALE: N.T.S.

WINDOW SCHEDULE

No.	MANUFACTURER	MODEL #	R.O. (W x H)	DESCRIPTION
AA	ANDERSEN	AW 381		AWNING
A	ANDERSEN	TW 3046-2		DH COMBO
B	ANDERSEN	TW 3046		DH
C	ANDERSEN	TW 3046		DH
D	ANDERSEN	TW 3046		DH
E	ANDERSEN	TW 3046-2		DH COMBO
F	ANDERSEN	TW 3046-2		DH COMBO
G	ANDERSEN	TW 30210		DH COMBO
H	ANDERSEN	TW 3046		DH
J	ANDERSEN	TW 3046-2		DH COMBO
K	ANDERSEN	TW 3046		DH
L	ANDERSEN	TW 3046-2		DH COMBO
M	ANDERSEN	TW 3046-2		DH COMBO
N	ANDERSEN	TW 3046		DH
O	ANDERSEN	TW 3046-2		DH COMBO
P	ANDERSEN	TW 3446-2		DH COMBO
Q	ANDERSEN	AW 31-2		AWNING COMBO - TEMPERED GLASS
R	ANDERSEN	TW 3046-2		DH COMBO
S	ANDERSEN	TW 3046-2		DH COMBO
T	ANDERSEN	TW 3046-2		DH COMBO
U	ANDERSEN	TW 3046-2		DH COMBO
V	ANDERSEN	TW 3046-2		DH COMBO
W	ANDERSEN	TW 3046-2		DH COMBO
X	ANDERSEN	TW 3446-2		DH COMBO
Y	ANDERSEN	TW 3046		DH COMBO
Z	ANDERSEN	TW 30210		DH COMBO
18	ANDERSEN	VERIFY IN FIELD		
28	ANDERSEN	VERIFY IN FIELD		
38	ANDERSEN	VERIFY IN FIELD		
48	ANDERSEN	VERIFY IN FIELD		
58	ANDERSEN	VERIFY IN FIELD		
61	VELUX	2246	25 1/2" x 49 1/2"	OPTIONAL SKYLIGHT
62	VELUX	2246	25 1/2" x 49 1/2"	OPTIONAL SKYLIGHT

REMARKS

- BEDROOM WINDOWS MUST COMPLY WITH LOCAL CODES REGARDING FIRE EGRESS REQUIREMENTS.
- ♦ DENOTES BEDROOM EGRESS WINDOW. (NOTE: ALL WINDOWS WITH A MINIMUM SILL HEIGHT FROM FINISH FLOOR OF (24" FOR 1-2 FAMILY) TO (36" FOR MULTI-FAMILY) SHALL COMPLY WITH ASTM F2080 (WOOD) PER NJIRC 2018 SECTION R312.2 WINDOW OPENING CONTROL DEVICES.
- ALL NEW WINDOWS SHALL BE 'ANDERSEN' 400 SERIES WITH THE WINDOW SCREEN SYSTEM REQUIREMENTS.
- VERIFY WINDOW TRIM DETAILS PRIOR TO INSTALLATION.
- G.C. SHALL SUBMIT A DOOR AND HARDWARE SCHEDULE FOR OWNERS REVIEW AND APPROVAL PRIOR TO ORDERING AND MATERIAL.

PLUMBING SCHEDULE

NO.	DESCRIPTION	MANUFACTURER	MODEL #	REMARKS
P-1	KITCHEN SINK	T.B.D.		TO BE SELECTED BY OWNER
P-2	LAVATORY SINK	T.B.D.		TO BE SELECTED BY OWNER
P-3	WATER CLOSET	T.B.D.		TO BE SELECTED BY OWNER
P-4	TUB	T.B.D.		TO BE SELECTED BY OWNER
P-5	SHOWER	T.B.D.		TO BE SELECTED BY OWNER
P-6	JACUZZI	T.B.D.		TO BE SELECTED BY OWNER
P-7	BAR SINK	T.B.D.		TO BE SELECTED BY OWNER

PROGRESS SET
ISSUED: 4/11/2025

SALVATORE LA FERLITA, R.A.
Architectural Services
Construction Management

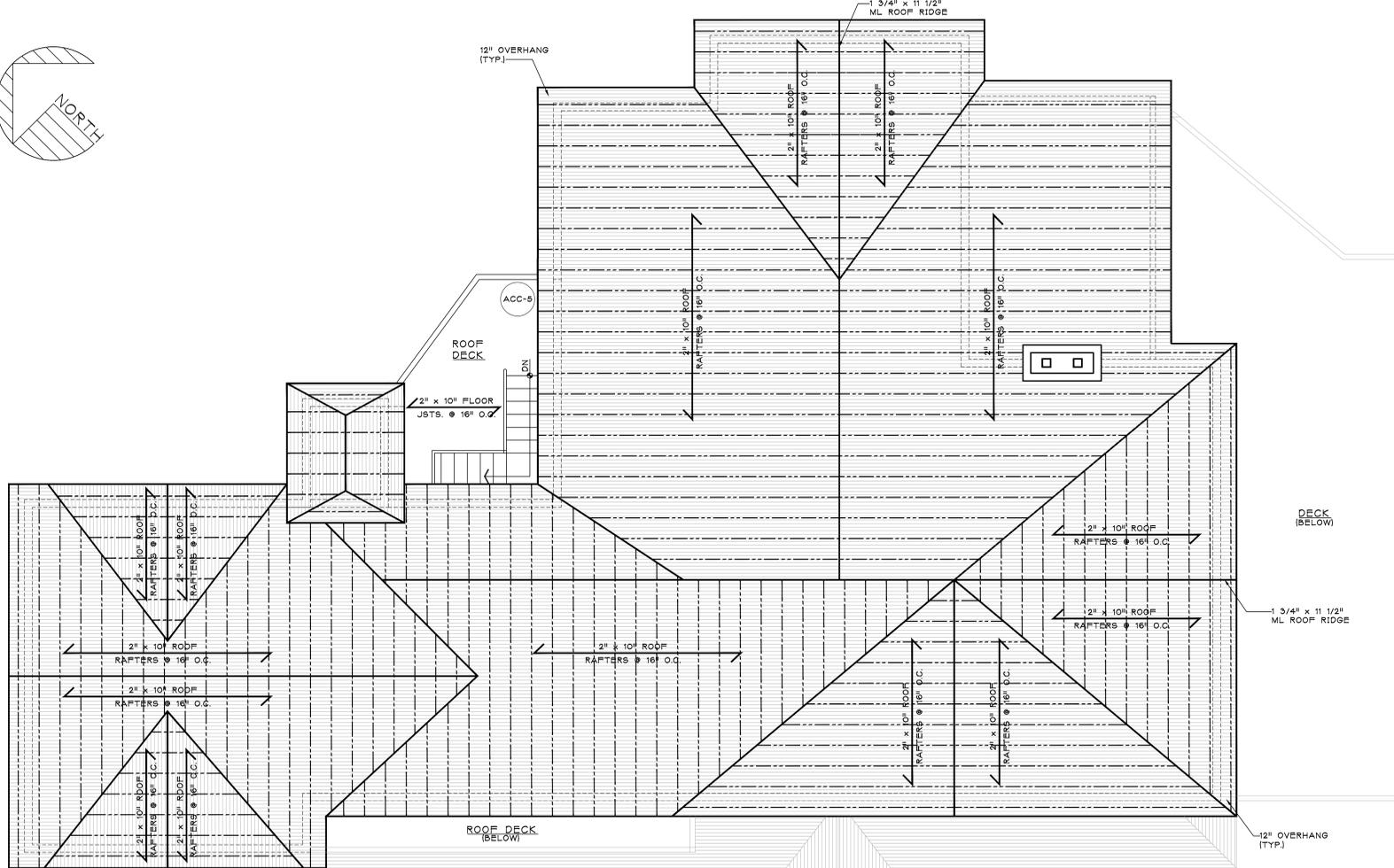
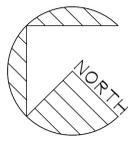
115 University Drive
Lincroft, N.J. 07738
732-741-5105
Sallaferlita@aol.com

Client: **60 BAY AVE HIGHLAND LLC
MULTI-FAMILY RESIDENCE
60 BAY AVENUE
HIGHLANDS, NEW JERSEY**

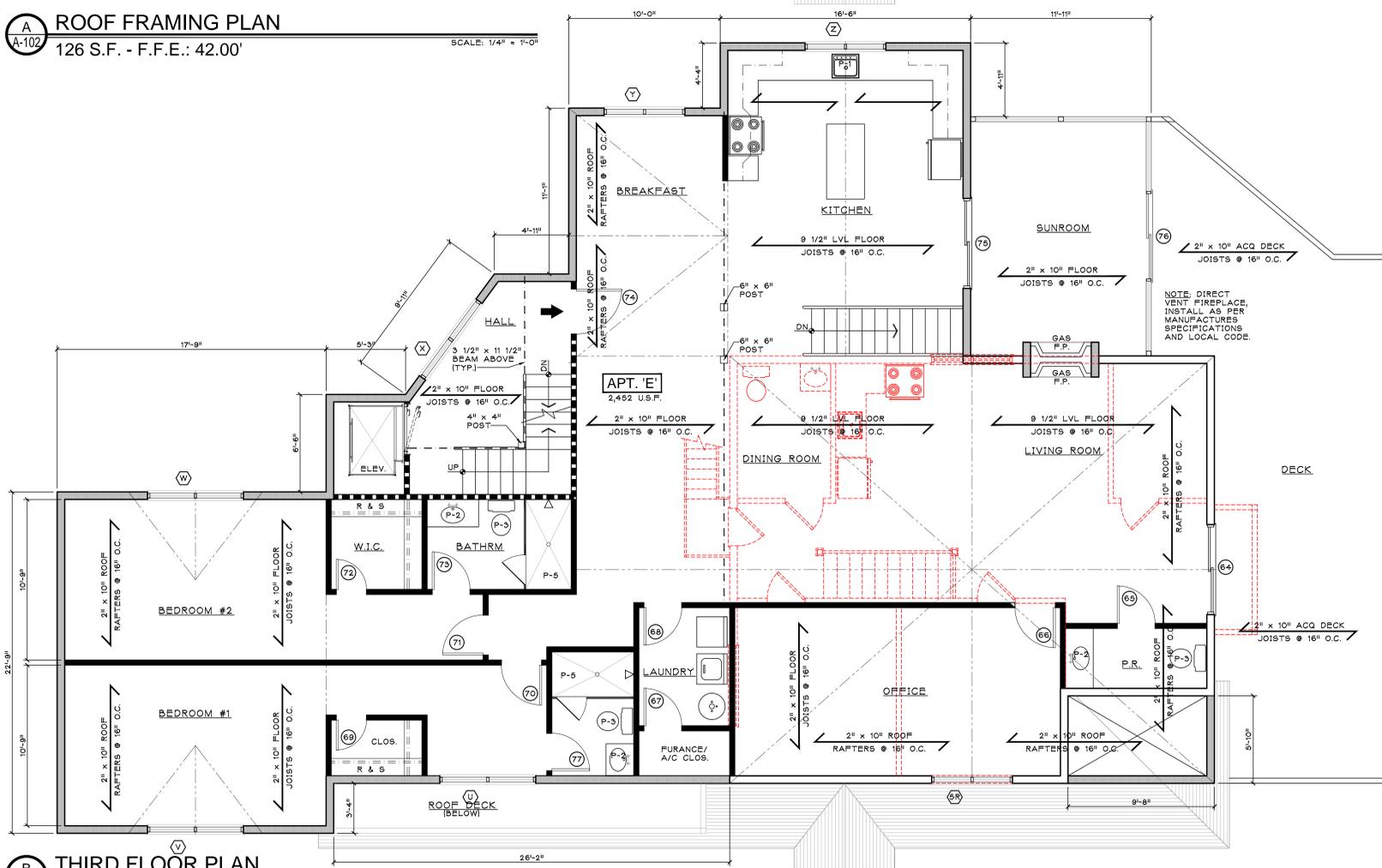
Title: **FIRST AND SECOND FLOOR
PRELIMINARY LAYOUT**

Job Type: _____
Project No.: _____
Scale: AS NOTED
Date: _____
Drawn By: _____
Reviewed By: _____
Drawing No.: _____

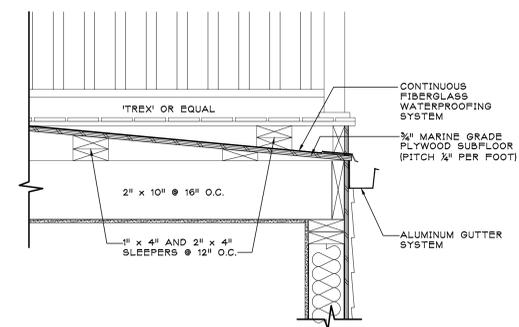
A-101
SHEET No. _____ OF _____
N.J. LIC. #A115228



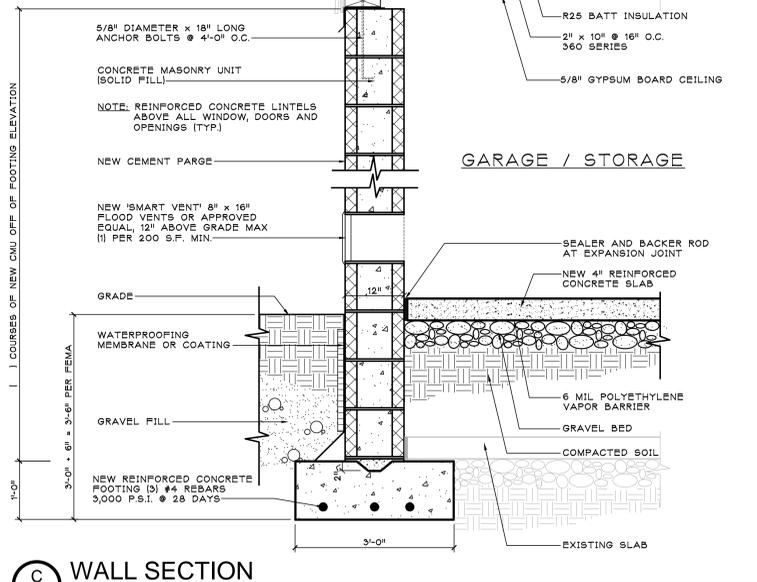
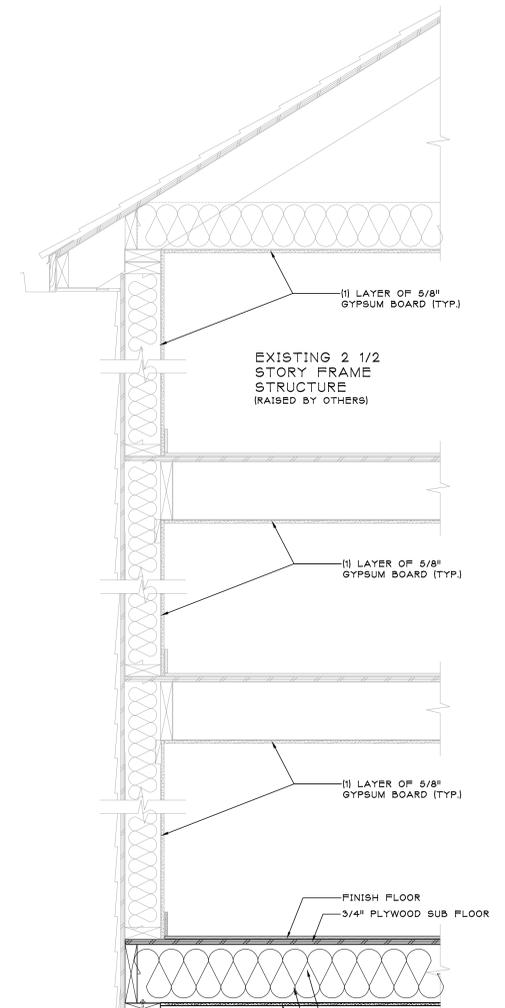
A ROOF FRAMING PLAN
 A-102 126 S.F. - F.F.E.: 42.00'
 SCALE: 1/4" = 1'-0"



B THIRD FLOOR PLAN
 A-102 2,634 S.F. - F.F.E.: 33.00'
 SCALE: 1/4" = 1'-0"



D SECOND FLOOR DECK DETAIL
 A-102 SCALE: N.T.S.



C WALL SECTION
 A-102 SCALE: 1" = 1'-0"

PROGRESS SET
 ISSUED: 4/11/2025

SALVATORE LA FERLITA, R.A.
 Architectural Services
 Construction Management
 115 University Drive
 Lincoln, N.J. 07738
 732-741-5105
 Sallaferlita@aol.com

No.	DATE	REVISION	No.	DATE	DESCRIPTION

Client: **60 BAY AVE HIGHLAND LLC**
 MULTI-FAMILY RESIDENCE
 60 BAY AVENUE
 HIGHLANDS, NEW JERSEY

Title: **THIRD FLOOR AND ROOF PRELIMINARY SPACE ANALYSIS**

Job Type: _____
 Project No.: _____
 Scale: AS NOTED
 Date: _____
 Drawn By: _____
 Reviewed By: _____
 Drawing No.: _____

A-102
 SHEET No. _____ OF _____
 N.J. LIC. #A115228



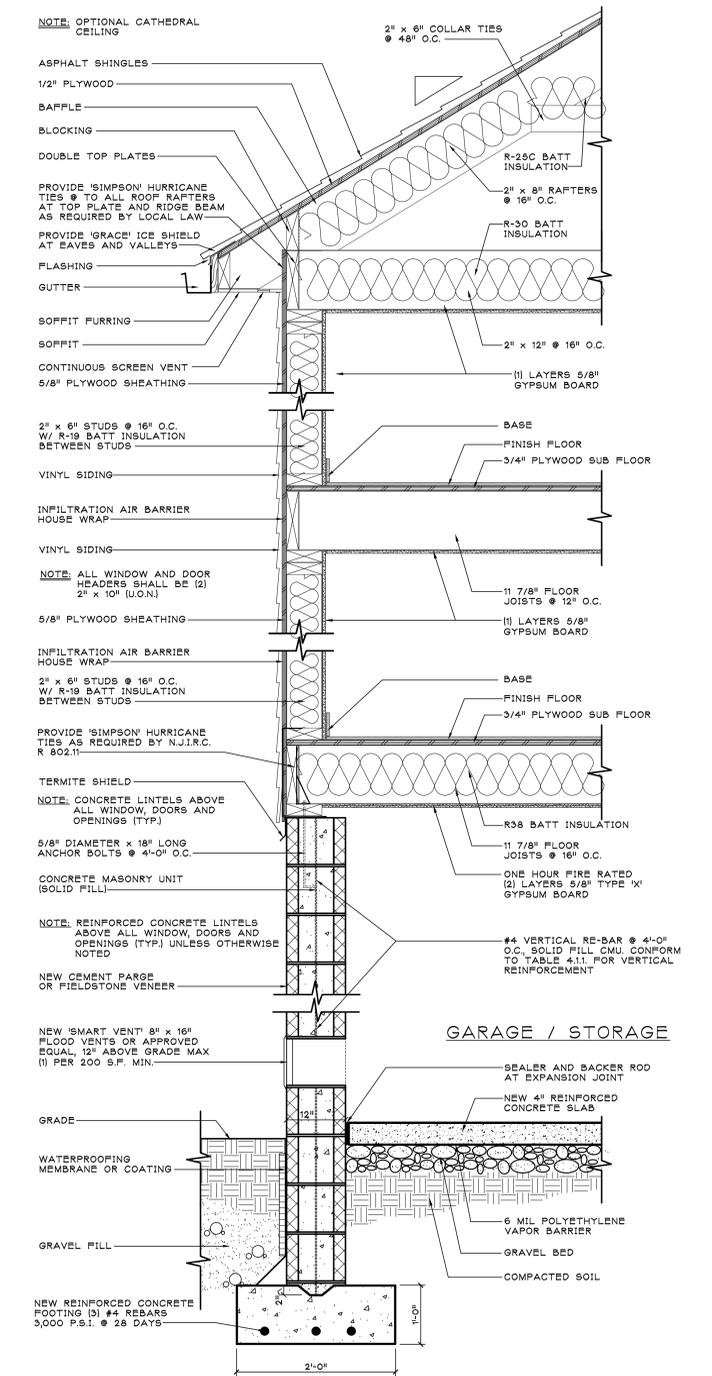
1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2 REAR ELEVATION

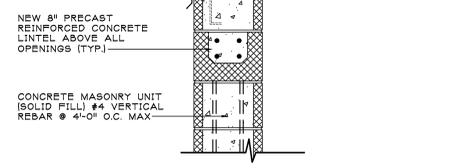
SCALE: 1/4" = 1'-0"



A FOUNDATION / WALL SECTION

SCALE: 1" = 1'-0"

PROGRESS SET
ISSUED: 4/11/2025



B TYPICAL CONCRETE LINTEL DETAIL

SCALE: 1" = 1'-0"

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Revised	Issued				
No.	DATE	REVISION	No.	DATE	DESCRIPTION

Client: 60 BAY AVE HIGHLAND LLC
MULTI-FAMILY RESIDENCE
60 BAY AVENUE
HIGHLANDS, NEW JERSEY

Title: FRONT ELEVATION AND REAR ELEVATION

Seal & Signature:

Job Type:
Project No.:
Scale: AS NOTED
Date:
Drawn By:
Reviewed By:
Drawing No.:
N.J. LIC. #AI15228

A-103
SHEET No. OF



1 RIGHT SIDE ELEVATION

A-104

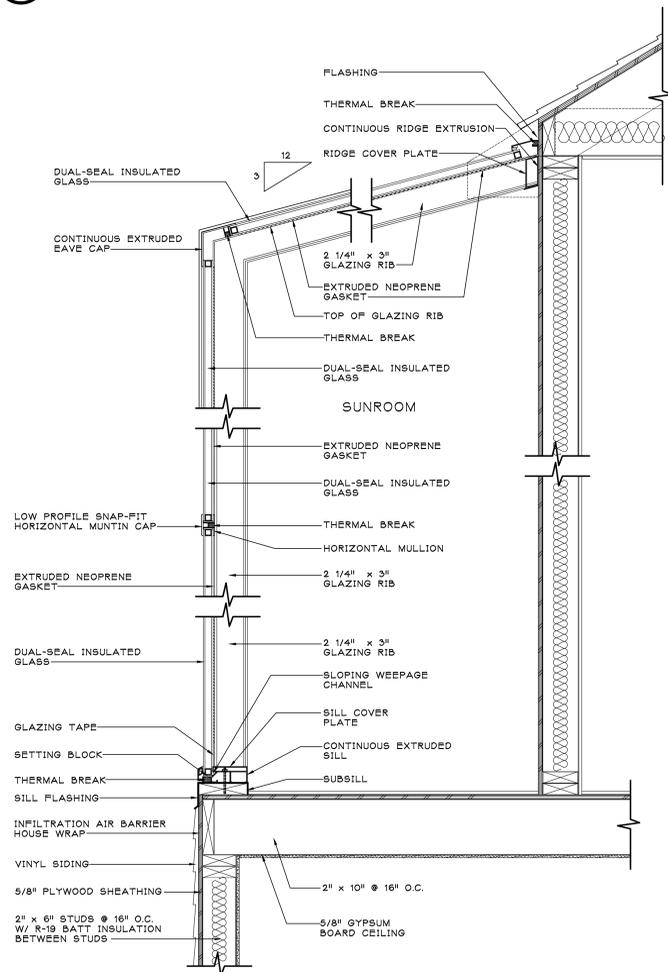
SCALE: 1/4" = 1'-0"



2 LEFT SIDE ELEVATION

A-104

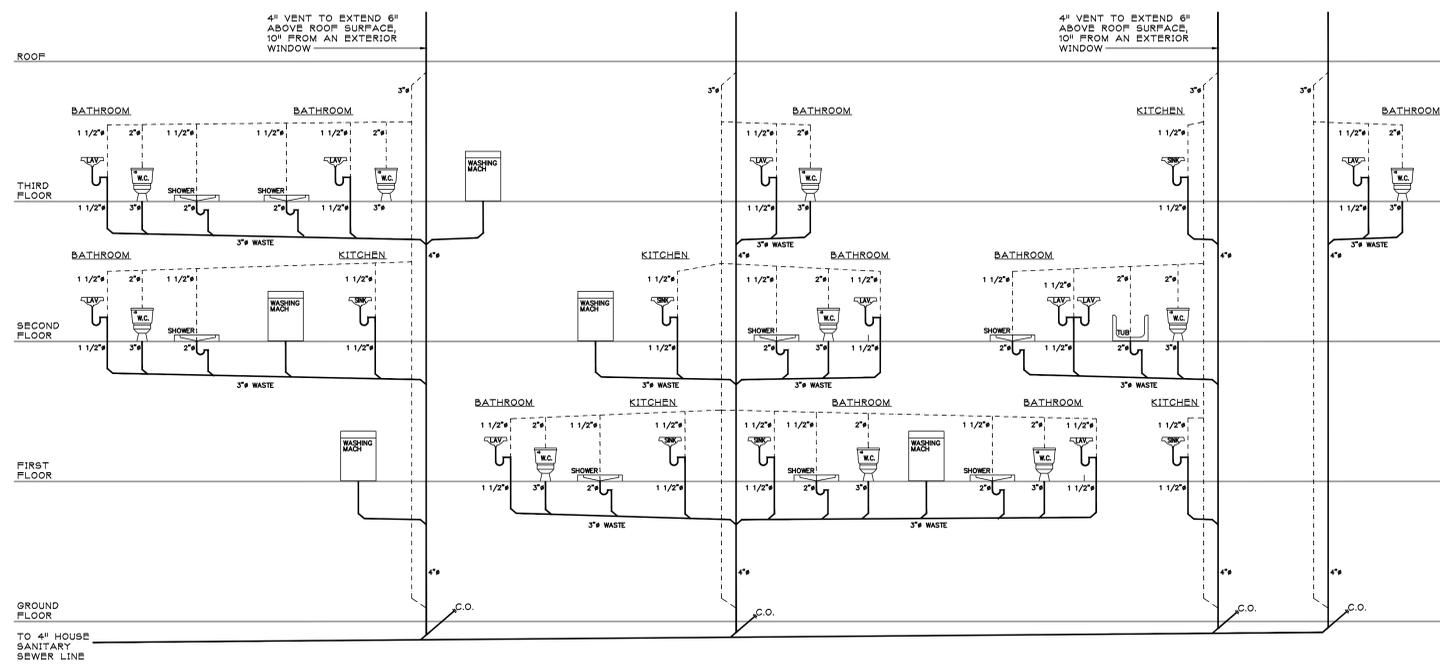
SCALE: 1/4" = 1'-0"



A WALL SECTION THRU SUNROOM

A-104

SCALE: 1" = 1'-0"



C PLUMBING RISER DIAGRAM

A-103

SCALE: N.T.S.

ALL PLUMBING FIXTURE LOCATIONS ARE FOR DIAGRAMMATIC PURPOSES ONLY. OWNERS PLUMBING CONTRACTOR TO VERIFY ALL PURPOSED CONDITIONS PRIOR TO DESIGN & CONSTRUCTION.
MAINTAIN 1/2" PER FOOT PITCH ON ALL WASTE LINES

PROGRESS SET
ISSUED: 4/11/2025

SALVATORE LA FERLITA, R.A.
Architectural Services
Construction Management

115 University Drive
Lincroft, N.J. 07738
732-741-5105
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Revised		Issued	
No.	DATE	REVISION	DESCRIPTION

Client: **60 BAY AVE HIGHLAND LLC
MULTI-FAMILY RESIDENCE
60 BAY AVENUE
HIGHLANDS, NEW JERSEY**

**LEFT AND RIGHT
SIDE ELEVATIONS**

Seal & Signature:	Job Type:
	Project No.:
	Scale: AS NOTED
	Date:
	Drawn By:
Reviewed By:	
Drawing No.:	

A-104

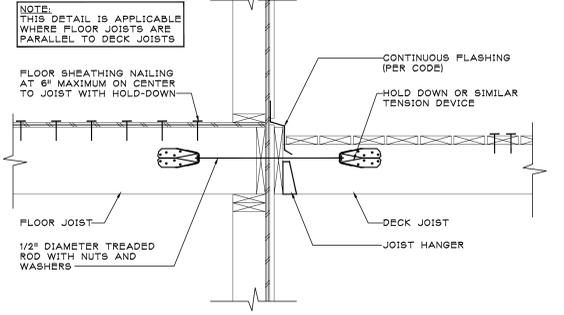
SHEET No. 1 OF 1

N.J. LIC. #A115228

TABLE R602.3(1) FASTENING SCHEDULE			
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER ***	SPACING AND LOCATION
ROOF			
1	BLOCKING BETWEEN CEILING JOIST OR RAFTERS TO TOP PLATE	4-8D BOX (2 [3x6@13'] OR 3-8D COMMON (2 [3x6@13'] OR 3-1/2" x 8" (2 [3x6@13'] OR 3-1/2" x 8" NAILS	TOE NAIL
2	CEILING JOIST TO TOP PLATE	4-8D BOX (2 [3x6@13'] OR 3-8D COMMON (2 [3x6@13'] OR 3-1/2" x 8" (2 [3x6@13'] OR 3-1/2" x 8" NAILS	FER JOIST, TOE NAIL
3	CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAP OVER PARTITION (SEE SECTIONS R602.3.1, R602.3.2 AND TABLE R602.3.1)	4-1/2" x 8" (2 [3x6@13'] OR 3-1/2" x 8" (2 [3x6@13'] OR 3-1/2" x 8" NAILS	FACE NAIL
4	CEILING JOIST ATTACHED TO PARALLEL RAFTER (HEEL JOINT) (SEE SECTIONS R602.3.1, R602.3.2 AND TABLE R602.3.1)	TABLE R602.3.1)	FACE NAIL
5	COLLAR TIE TO RAFTER, FACE NAIL OR 1/2" x 20 # RIDGE STRAP TO RAFTER	4-1/2" x 8" (2 [3x6@13'] OR 3-1/2" x 8" (2 [3x6@13'] OR 3-1/2" x 8" NAILS	FACE NAIL EACH RAFTER
6	RAFTER OR ROOF TRUSS TO PLATE	3-1/2" x 8" BOX NAIL (3 [3x6@13'] OR 3-1/2" x 8" COMMON NAIL (3 [3x6@13'] OR 3-1/2" x 8" (3 [3x6@13'] OR 3-1/2" x 8" NAILS	2 TOE NAILS ON ONE SIDE AND 1 TOE NAIL ON OPPOSITE SIDE OF EACH RAFTER OR TRUSS
7	ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS OR ROOF RAFTERS TO MINIMUM 2" RIDGE BEAM	4-1/2" x 8" (3 [3x6@13'] OR 3-1/2" x 8" COMMON (3 [3x6@13'] OR 3-1/2" x 8" (3 [3x6@13'] OR 3-1/2" x 8" NAILS	TOE NAIL
8	RAFTER TO END NAIL	3-1/2" x 8" BOX (3 [3x6@13'] OR 2-1/2" x 8" COMMON (3 [3x6@13'] OR 3-1/2" x 8" (3 [3x6@13'] OR 3-1/2" x 8" NAILS	END NAIL
WALL			
9	STUD TO STUD (NOT A BRACED WALL PANEL)	1/2" O.C. FACE NAIL	24" O.C. FACE NAIL
10	STUD TO STUD AND BUTTING STUD AT INTERSECTING WALL CORNERS (AT BRACED WALL PANEL)	1/2" O.C. FACE NAIL	12" O.C. FACE NAIL
11	BUILT-UP HEADER (2" TO 2" HEADER WITH 1/2" SPACER)	1/2" O.C. FACE NAIL	16" O.C. FACE NAIL
12	CONTINUOUS HEADER TO STUD	1/2" O.C. EACH EDGE FACE NAIL	12" O.C. EACH EDGE FACE NAIL
13	TOP PLATE TO TOP PLATE	1/2" O.C. FACE NAIL	12" O.C. FACE NAIL
14	DOUBLE TOP PLATE (SPRICE FOR 8D O.C. A.D. WITH 8D BRACED WALL LINE SPACING < 24")	1/2" O.C. FACE NAIL	12" O.C. FACE NAIL
15	DOUBLE TOP PLATE (SPRICE 8D O.C. D.D. OR D2 AND BRACED WALL LINE SPACING < 24")	1/2" O.C. FACE NAIL	12" O.C. FACE NAIL
16	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANEL)	1/2" O.C. FACE NAIL	16" O.C. FACE NAIL
17	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL)	1/2" O.C. FACE NAIL	12" O.C. FACE NAIL
18	TOP OR BOTTOM PLATE TO STUD	TOE NAIL	TOE NAIL
19	TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	FACE NAIL	FACE NAIL
20	1" BRACE TO EACH STUD AND PLATE	FACE NAIL	FACE NAIL
21	1' x 6" SHEATHING TO EACH BEARING	FACE NAIL	FACE NAIL
22	1' x 8" AND UNDER SHEATHING TO EACH BEARING	FACE NAIL	FACE NAIL
FLOOR			
23	JOIST TO BILL, TOP PLATE OR GIRDER	TOE NAIL	TOE NAIL
24	RIM JOIST, BAND JOIST OR BLOCKING TO BILL OR TOP PLATE (ROOF APPLICATIONS ALSO)	4" O.C. TOE NAIL	6" O.C. TOE NAIL
25	1' x 6" SUBFLOOR OR LESS EACH JOIST	FACE NAIL	FACE NAIL
26	2" SUBFLOOR TO JOIST OR GIRDER	BLIND AND FACE NAIL	BLIND AND FACE NAIL
27	2" FLANKS (FLANK BEAM-FLOOR/ROOF)	AT EACH BEARING, FACE NAIL	AT EACH BEARING, FACE NAIL
28	BAND OR RIM JOIST TO JOIST	END NAIL	END NAIL
29	BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND STAGGERED	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND STAGGERED ON OPPOSITE SIDES
30	LEDGER STRIP SUPPORTING JOIST OR RAFTERS	AT EACH JOIST OR RAFTER, FACE NAIL	AT EACH JOIST OR RAFTER, FACE NAIL
31	BRIDGING TO JOIST	EACH END, TOE NAIL	EACH END, TOE NAIL

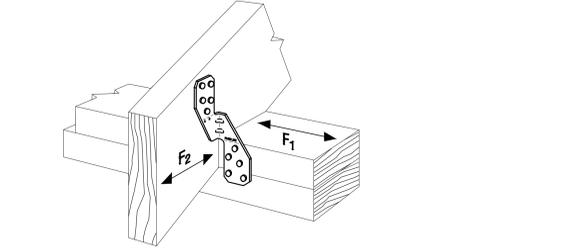
TABLE R602.3(3) REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING USED TO RESIST WIND PRESSURES ^{a,b,c}									
MINIMUM NAIL SIZE	MINIMUM PENETRATION (INCHES)	MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMINAL PANEL THICKNESS (INCHES)	MAXIMUM WALL STUD SPACING (INCHES)	PANEL NAIL SPACING		MAXIMUM WIND SPEED (MPH)		
					EDGES (INCHES O.C.)	FIELD (INCHES O.C.)	WIND EXPOSURE CATEGORY	B	C
6d COMMON (2.0" x 0.131")	1.5	24/0	3/8	16	6	12	110	90	85
8d COMMON (2.5" x 0.131")	1.75	24/16	7/16	16	6	12	130	110	105

FOR S1: 1 INCH = 25.4 MM, 1 MILE PER HOUR = 0.447 M/S.
 a. PANEL STRENGTH AXIS PARALLEL OR PERPENDICULAR TO SUPPORTS. THREE-PLY PLYWOOD SHEATHING WITH STUDS SPACED MORE THAN 16 INCHES ON CENTER SHALL BE APPLIED WITH PANEL STRENGTH AXIS PERPENDICULAR TO SUPPORTS.
 b. TABLE IS BASED ON WIND PRESSURES ACTING TOWARD AND AWAY FROM BUILDING SURFACES PER SECTION R302.4 LATERAL BRACING REQUIREMENTS SHALL BE IN ACCORDANCE WITH SECTION R602.10.
 c. WOOD STRUCTURAL PANELS WITH SPAN RATINGS OF WALL-18 OR WALL-24 SHALL BE PERMITTED AS AN ALTERNATE TO PANELS WITH A 24/0 SPAN RATING. PLYWOOD SIDING RATED 16 O.C. OR 24 O.C. SHALL BE PERMITTED AS AN ALTERNATE TO PANELS WITH A 24/16 SPAN RATING. WALL-16 AND PLYWOOD SIDING 16 O.C. SHALL BE USED WITH STUDS SPACED A MAXIMUM OF 16 INCHES ON CENTER.

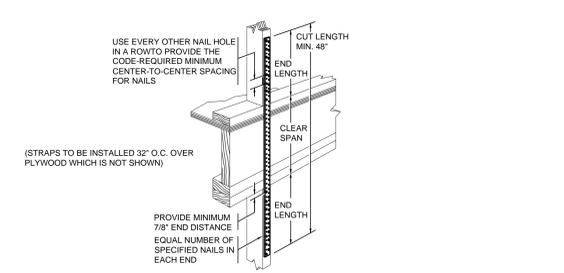


R602.2.2.3 DECK LATERAL LOAD CONNECTION. THE LATERAL CONNECTION REQUIRED BY SECTION R602.2.2 SHALL BE PERMITTED TO BE IN ACCORDANCE WITH FIGURE R602.2.3. HOLD-DOWN TENSION DEVICES SHALL BE INSTALLED IN NOT LESS THAN TWO LOCATIONS PER DECK, AND EACH DEVICE

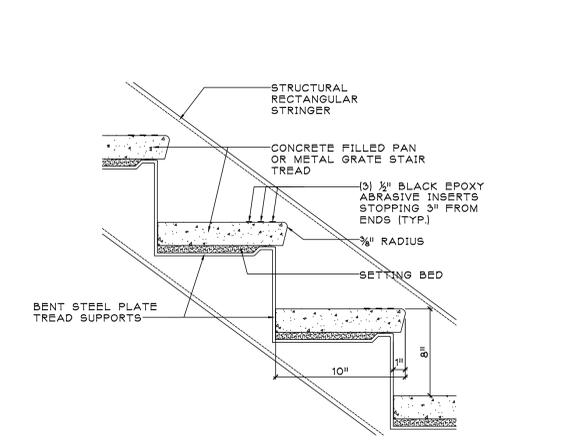
A-105 DECK ATTACHMENT DETAIL FOR LATERAL LOADS SCALE: N.T.S.



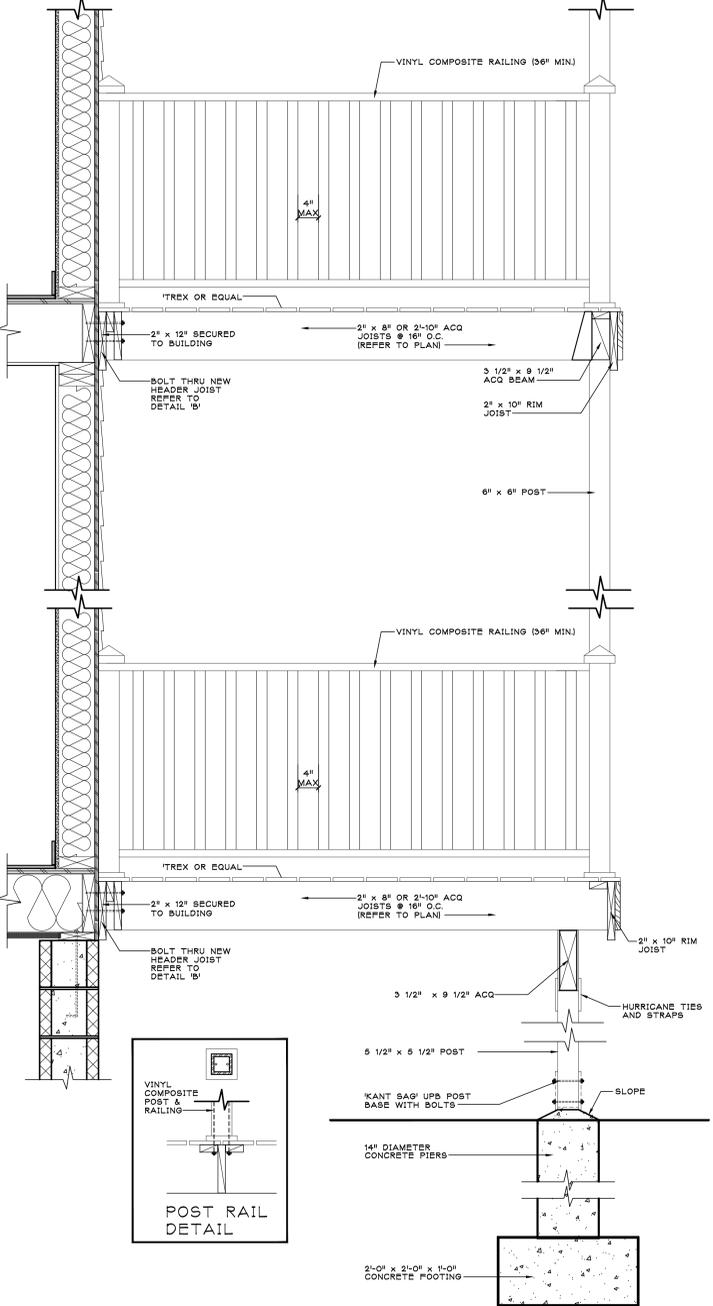
B-105 'SIMPSON' H25A HURRICANE-TIE ROOF RAFTER DETAIL SCALE: N.T.S.



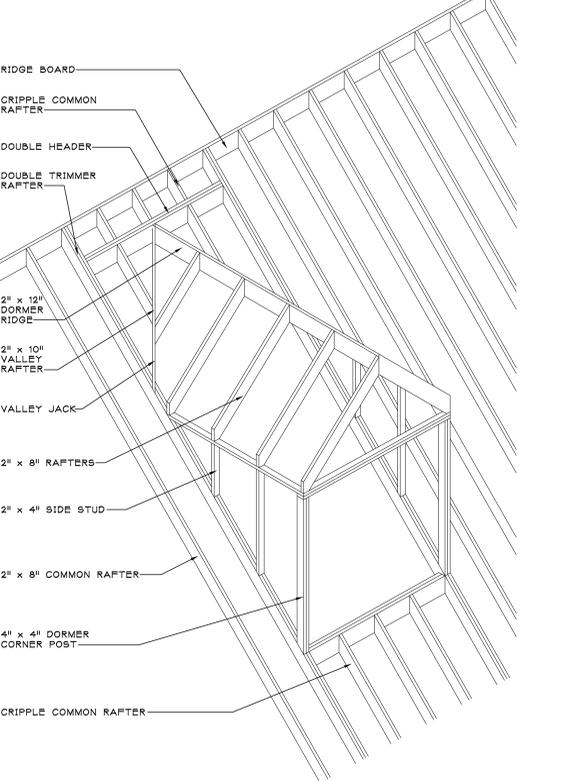
C-105 'SIMPSON' STRONG-TIE CS COILED STRAP DETAIL SCALE: N.T.S.



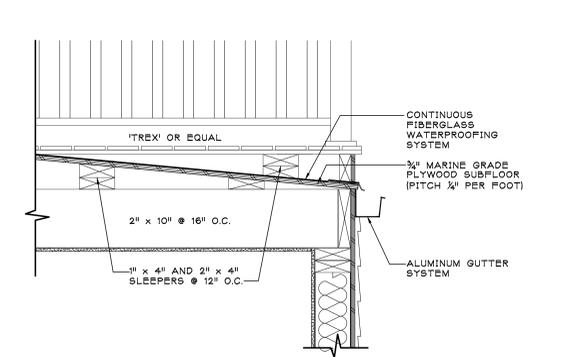
D-105 TYPICAL SECTION THRU STAIR SCALE: 1\"/>



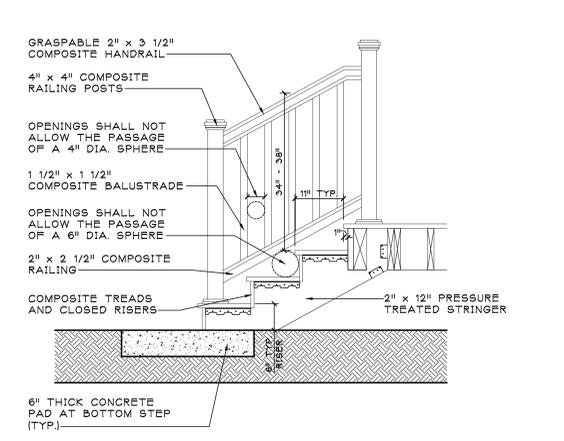
E-105 WOOD DECK DETAILS SCALE: N.T.S.



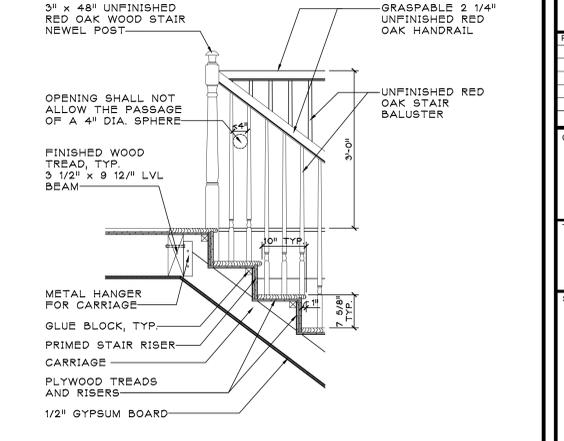
G-105 TYPICAL GABLE DORMER DETAIL SCALE: N.T.S.



H-105 SECOND FLOOR DECK DETAIL SCALE: N.T.S.



F-105 SECTION THRU DECK STAIR SCALE: N.T.S.



J-105 SECTION THRU INTERIOR STAIR SCALE: N.T.S.

PROGRESS SET
ISSUED: 4/11/2025

SALVATORE LA FERLITA, R.A.
 Architectural Services
 Construction Management
 115 University Drive
 Lincroft, N.J. 07738
 732-741-5105
 Sallafertita@aol.com

Revised	Issued				
No.	DATE	REVISION	No.	DATE	DESCRIPTION

Client: **60 BAY AVE HIGHLAND LLC**
MULTI-FAMILY RESIDENCE
60 BAY AVENUE
HIGHLANDS, NEW JERSEY

Title: **FASTENING SCHEDULE AND DETAILS**

Seal & Signature: Job Type: _____
 Project No.: _____ Scale: AS NOTED
 Date: _____ Drawn By: _____
 Reviewed By: _____ Drawing No.: _____
 N.J. LIC. #A115228

A-105
SHEET No. _____ OF _____



Roberts
ENGINEERING GROUP LLC
Women Business Enterprise Certified

1670 Whitehorse-Hamilton Square Rd.
Hamilton, New Jersey 08690
609-586-1141 fax 609-586-1143
www.RobertsEngineeringGroup.com

May 21, 2025

Nancy Tran
Land Use Board Secretary
Borough of Highlands Land Use Board
151 Navesink Avenue
Highlands, New Jersey 07732

Re: Amended Preliminary and Final Site Plan
60 Bay Ave Highlands, LLC
60 Bay Avenue
Block 42, Lot 1
Borough of Highlands, Monmouth County, New Jersey
Our File No.: HLPB25-05

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations. section entitled, "Part III, Subdivision and Site Plan Review, Article VI, Application Procedure", and "Article VIII, Plat and Plan Details, section 21-58.E & F – Preliminary Site Plan and Final Site Plan" and the Borough of Highlands, NJ Central Business District Redevelopment Plan May 2018.

The residential building is situated on a 6,625 SF (0.147 Ac) lot in the Central Business District (CBD). It is located within the CDB Redevelopment Area Overlay 2 Zone - Gateway Parcels and is bounded by Bay Avenue, South Street, and Shrewsbury Avenue, Lot 15 in the same zone and residential Lot 7 within the R-2.02 District. The property is located within the AE Flood Hazard zone, partially in the Coastal A zone, and in the Limit of the Moderate Wave Action (LiMWA) delineation area.

The Applicant is seeking an amended approval.

The Applicant recently received approval to move and elevate an existing 3-story multi-family residential building (4 units), renovate, construct two extensions, decks, provide ground floor storage and garage parking and associated site improvements. The proposed multi-family residential building will consist of 5 units having 4-two-bedroom units and 1-three-bedroom unit, one-1 car garage, and one-2 car garage.

Roberts Engineering Group, LLC has received revised plans for an amendment to plans approved under Land Use Board Resolution 2024-16 Memorialization of Preliminary and Final Site Plan Approval, approved August 8, 2024, and memorialized September 12, 2024, regarding the above referenced project.

Prior submissions sought driveway access along Bay Avenue. The Applicant filed an application and sought approval from the Monmouth County Planning Board (MCPB), which has jurisdiction over Bay Avenue (Monmouth County Route No. 8). MCPB approval is required per the Resolution.

The current submission has eliminated the proposed and existing driveway access on Bay Avenue. The former garages have been replaced with storage units with access doors in lieu of garage doors. However, the Applicant remains subject to approval for a proposed 466 sf right-of-way dedication or easement along Bay Avenue from MCPB.

Proposed access to driveways and proposed utility connections will be only to South Street and Shrewsbury Ave.

The Applicant is required to provide testimony and demonstrate the proposed driveway functionality, visibility and safety to traffic on the public street, driveway parking layout, building repositioning, etc. The building and driveway use have created additional modifications that need to be addressed by the Applicant.

This review was prepared in accordance with the following documents:

1. Copy of Land Use Board Application Preliminary and Final Major Site Plan and Revision/Resubmission of Prior Application, signed April 22, 2025, and received April 23, 2025. Noted as "Amended" per Land Use Board on May 5, 2025, email.
2. Copy of an internal memorandum to Joe Barris, Director of Planning under the Board of County Commissioners of the County of Monmouth Department of Public Works & Engineering, HSP10591, dated March 24, 2025.
3. Copy of Development Application Action, File No. HSP10591 prepared by the Monmouth County Development Review Committee, date received March 7, 2024, and Action Date: March 24, 2025, Approval Status: Request information
4. Copy of plans entitled, "Preliminary & Final Major Site Plan for Proposed Multi-family Residence, Block 42, Lot 1, 60 Bay Avenue, Borough of Highlands, Monmouth County, New Jersey", prepared by InSite Engineering, LLC., dated February 5, 2024, and last revised April 10, 2025, as "Per County". The set consists of 20 sheets.
5. Copy of Architectural plans entitled, "60 Bay Ave Highland LLC, Multi-family Residence, 60 Bay Avenue, Highlands, New Jersey, prepared by Salvatore La Ferlita, R.A. issued April 11, 2025, consisting of 7 sheets.
6. Copy of the Borough of Highlands, County of Monmouth, Land Use Land Use Board Resolution 2024-16 Memorialization of Preliminary and Final Site Plan Approval. Approved: August 8, 2024, and Memorialized: September 12, 2024.
7. Copy of Rider, 60 Bay Ave Highlands LLC, 60 Bay Ave, Block 42, Lot 1, Highlands Land Use Board

The following comments are offered:

I. COMMENTS – DRIVEWAY ACCESS, PARKING AND BUILDING REPOSITIONED

1. The proposed driveways along Bay Avenue have been removed from this application. The garage doors have been replaced with swing doors. Provide the overall opening dimension of the double doors and confirm no vehicle access is possible.

The proposed 0.011 Ac right-of-way dedication or easement along the frontage of Bay Avenue remains for this application.

The Applicant is to obtain final approval for the right-of-way dedication or easement and removal of the existing and proposed driveway access to Bay Avenue from the Monmouth County Planning Board.

2. The Applicant's modified site improvements have increased the impervious coverage to 75.8%. The amended plans dated April 1, 2024, and the Resolution compliance plans dated February 20, 2025, consisted of 74.6% and 74.3%, respectively.

The proposed impervious coverage is below the allowable 80%.

3. The building coverage of 52.7% had no change in comparison to the amended plans but was reduced from 54.5% from that of the Resolution compliance plans.

The proposed building coverage is below the allowable 80%.

4. The approved plan had the relocation of the existing/proposed dwelling to be 5.00 ft from the Bay Avenue right-of-way. The dwelling has been repositioned to 5.67 ft from the right-of-way.

Consequently, to the additional offset of 0.67 ft, the driveways along Shrewsbury Avenue may no longer meet the minimum 18 ft length for residential driveways (garage face to the right-of-way). Vehicles are not permitted to overhang the sidewalk.

Please confirm whether the required minimum 18 ft. length has been maintained for each driveway.

5. Eleven parking spaces are required per RSIS bedroom count. The EV charger counts as one space, leaving 10 required parking spaces.

Please indicate on the plan the individual number of proposed parking spaces dedicated to each unit, based on the bedrooms, for each garage and driveway. Indicate the existing off-street parking as noted in the parking calculation table.

Please dimension (length and width) the driveways.

6. It appears that sections of the existing sidewalk, apron and curbing are to be replaced. Please clearly indicate the areas and types of replacement.
7. Provide the apron flares on the plans.
8. The Depressed Curb, Driveway Apron & Sidewalk construction detail indicates a 6 ft. wide sidewalk and apron. The plan appears to have a 5 ft. wide sidewalk. Please update the detail accordingly.

Dimension the concrete sidewalk along Shrewsbury Avenue on the plan.

Provide an apron section detail.

Confirm that the proposed *rolled* concrete curb and gutter is replacing the same type of existing curb and gutter on Shrewsbury. Provide note.

9. One of the parking spaces shown on the east side of Shrewsbury Avenue is not a parking space but a yellow striped no parking area designating driveway access to 18 Shrewsbury Avenue. Please indicate on the plan.

The existing yellow-striped no parking area along the west side of Shrewsbury Avenue appears to be in the wrong location and may impact turning maneuvers. Please correct.

Indicate the no parking area (painted curb) along the west side of Shrewsbury Avenue.

Provide parking and no parking spaces along both sides of Bay Avenue. Show the locations of the proposed parking to be used for this site.

10. The Applicant has provided six (6) circulation plans indicating the existing parking spaces along Shrewsbury Avenue. The circulation plans demonstrate vehicles maneuvering Shrewsbury Avenue by accessing the driveways and garages. These maneuvers are of great concern and appear so difficult as to be questionable.

We question the size and location of the driveways. The turning templates provided for maneuvers in and out of the garages require turns, starts and stops. Some of the turning templates indicate that vehicles must drive into opposing traffic to be able to enter the driveways and garages.

In addition, garages on Shrewsbury Avenue appear to show that cars cannot enter and exit without sideswiping the door opening. When a car is parked in the space near the rear property line, the vehicle entering and exiting the garage on to Shrewsbury Avenue seems to sideswipe the parked car. Please explain.

The proposed dwelling has a small projection into the driveway area. The vehicle entering the garage does not appear to sufficiently clear the projection. Additionally, the sample 19 ft long vehicle in the turning maneuvers and parked in the driveway will not clear the sidewalk.

The Applicant is to provide specific testimony and presentation to clearly show how all driveways will be accessed from Shrewsbury Avenue, and how all garages will be entered, *without driving into opposing traffic*. The applicant must provide details of how these driveways will allow for proper and safe operation for entering and exiting.

II. COMMENTS – OTHER

1. The building heights are different between the site plan and the architectural plans. Please confirm and update the schematic, zoning compliance chart and the architectural plans accordingly.
2. The proposed building has been elevated from the approved FF 14.00 (shown on the plans for the meeting) to FF 15.00.

Please provide testimony for the purpose of elevating the building an additional foot.

3. The building height needs to be updated based on the raised FF elevation.

The building height is taken from the BFE + 1 ft. to the middle of the roof.

If the building was raised one foot, the middle of the roof's elevation would also be an additional one foot in elevation.

Please confirm and update the zoning compliance chart accordingly.

4. A proposed sanitary sewer lateral extends from the rear of the proposed dwelling and connects to an existing sanitary sewer main in Shrewsbury Avenue.

More information is needed. Provide the location of the existing sanitary sewer main including up and downstream manholes, pipe material, size, rim elevations and inverts. Provide proposed invert connection.

Indicate all utility crossings (storm, sanitary and water) with elevations on the plan. Maintain regulated clearances.

The sanitary sewer main is located approximately within the center of Shrewsbury Avenue. The sanitary lateral appears to not extend to the approximate location. Please confirm. Update the proposed lateral information. Update area of restoration.

The cleanouts are located within the proposed gravel driveway and subjected to vehicle load. The protection cap shall be Campbell pattern #4153 or approved equal.

5. Installation of proposed utilities will require trenching within South Street and Shrewsbury Avenue. Indicate pavement milling and paving to be the full width of South Street and Shrewsbury Avenue and 25-ft beyond the outer limits of the trenches longitudinally. Restripe the roadway in the area disturbed and repaved. The Applicant is responsible for the cost of pavement milling and paving as well as restriping.
6. Coordinate the water service size between the plan and the detail.
7. The lighting plan needs to be updated based on the additional 1 foot in FF elevation which may affect the mounting height of the proposed lighting units placed along the walls of the building relative to the ground.

The Applicant is required to maintain:

- a. § 21-65(11)(E) Minimum Lighting Level. 0.3 fc and average of 0.5 fc
 - b. § 21-65(11)(F) Maximum Lighting Level at property line. 0.3 fc
 - c. § 21-65(11)(D) Maximum Mounting Height at 15 ft.
8. The proposed roof leader system will be connected to an existing inlet on Shrewsbury Ave and no sidewalk is shown to be disturbed and replaced.

Please provide a plan note on the Grading, Drainage & Utility Plan as to how the system will be connected and that the sidewalk shall not be disturbed. Please confirm that a 6-inch header pipe will be adequately sized for all gutters to connect to.

9. Provide the material type and size of the sanitary lateral on the "Standard Lateral Connection with Cleanout..." detail.

On same detail, there is a reference to a detail entitled, "Bedding and Initial Backfill Detail for PVC Sewer Pipe", however it is missing on the sheet. There is a Pipe Bedding Detail. Please update the detail.

10. The Applicant shall comply with any applicable affordable housing requirements.

According to XI.E General Administrative Requirements Affordable Housing Provisions, the mandatory set-aside requirements in Section 26-2 of the Borough of Highlands Affordable

Housing Ordinance apply to any multifamily residential development of five (5) dwelling units or more, including the residential portion of a mixed-use project
The Applicant has agreed in a previous submission.

V. APPROVALS

Approval of this application will be conditioned upon the Applicant obtaining or providing approved documents for the following:

1. Monmouth County Planning Board. - Pending
2. Freehold Soil Conservation Service – Received certification
3. NJDEP FHA
4. Coastal Area Facilities Review Act (CAFRA) Zone, if required per NJDEP.

Should you have any questions, please do not hesitate to contact me.

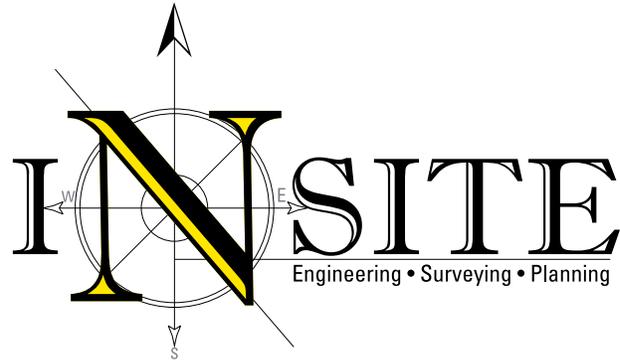
Very truly yours,



Carmela Roberts, PE, CME, CPWM
Land Use Board Engineer

cc: Michael Muscillo, Borough Administrator, (mmuscillo@highlandsborough.org)
Dustin F. Glass, Esq., Land Use Board Attorney (dglass@semerarolaw.com)
Courtney Lopez, Zoning Officer (clopez@highlandsborough.org)
Donna M. Jennings, Esq., Applicant's Attorney (djennings@wilentz.com)
Douglas D. Clelland, P.E., Applicant's Engineer (doug@insiteeng.net)
Salvatore LaFerlita, R.A., A.I.A. Applicant's Architect (sallaferlita@aol.com)
Cameron Corini, P.E., C.M.E., C.P.W.M., Roberts Engineering Group, LLC
GS Bachman, E.I.T., Roberts Engineering Group, LLC

Land Use Board
Borough of Atlantic Highlands
Attn: Nancy Tran
Land Use Board Secretary
151 Navesink Avenue
Highlands, New Jersey 07732



May 30, 2025

Via Email

RE: **60 BAY AVE HIGHLANDS, LLC**
Response Letter (HLPB2024-02)
Block 42, Lot 1;
60 Bay Avenue
Borough of Highlands, Monmouth County, New Jersey

Ms. Tran:

We are submitting this letter on behalf of the Owner/Applicant in response to Roberts Engineering Group LLC's Review Letter dated May 21, 2025. Each comment and response are numbered in accordance with the aforementioned review memo. *Italicized text is taken from the review memo for your ease of reference;* non-italicized text represents our responses.

Review Letter, dated May 21, 2025

Section I. Comments – Driveway Access, Parking and Building Repositioned

1. *The proposed driveways along Bay Avenue have been removed from this application. The garage doors have been replaced with swing doors. Provide the overall opening dimension of the double doors and confirm no vehicle access is possible.*

The proposed 0.011 Ac right-of-way dedication or easement along the frontage of Bay Avenue remains for this application.

The Applicant is to obtain final approval for the right-of-way dedication or easement and removal of the existing and proposed driveway access to Bay Avenue from the Monmouth County Planning Board.

The project architect will provide testimony accordingly. The doors will not be wide enough for vehicle access. We have submitted the revised plans to the Monmouth County Planning Board, and will provide their approval upon receipt.

2. *The Applicant's modified site improvements have increased the impervious coverage to 75.8%. The amended plans dated April 1, 2024, and the Resolution compliance plans dated February 20, 2025, consisted of 74.6% and 74.3%, respectively.*

The proposed impervious coverage is below the allowable 80%.

Informational.

InSite Engineering, LLC

1955 Route 34, Suite 1A • Wall, NJ 07719
732-531-7100 (ph) • 732-531-7344 (fx) • InSite@InSiteEng.net • www.InSiteEng.net
Licensed in NJ, PA, DE, NY, CT, NC, DC, & CO

- 3. The building coverage of 52.7% had no change in comparison to the amended plans but was reduced from 54.5% from that of the Resolution compliance plans*

The proposed building coverage is below the allowable 80%.

Informational.

- 4. The approved plan had the relocation of the existing/proposed dwelling to be 5.00 ft from the Bay Avenue right-of-way.*

The dwelling has been repositioned to 5.67 ft from the right-of-way. Consequently, to the additional offset of 0.67 ft, the driveways along Shrewsbury Avenue may no longer meet the minimum 18 ft length for residential driveways (garage face to the right-of-way). Vehicles are not permitted to overhang the sidewalk.

Please confirm whether the required minimum 18 ft. length has been maintained for each driveway.

The repositioning of the dwelling was necessitated by the County to avoid any structures, including footings, from encroaching in the requested dedication. Testimony will be provided regarding the lengths of the proposed driveways accordingly.

- 5. Eleven parking spaces are required per RSIS bedroom count. The EV charger counts as one space, leaving 10 required parking spaces.*

Please indicate on the plan the individual number of proposed parking spaces dedicated to each unit, based on the bedrooms, for each garage and driveway. Indicate the existing off-street parking as noted in the parking calculation table.

Please dimension (length and width) the driveways.

The plans will be revised accordingly, and testimony provided to clarify which unit each parking space is for. An exhibit along with testimony will be provided to indicate the existing off-street parking. The dimensions of the driveway will be revised accordingly.

- 6. It appears that sections of the existing sidewalk, apron and curbing are to be replaced. Please clearly indicate the areas and types of replacement.*

The plans will be revised accordingly.

- 7. Provide the apron flares on the plans.*

The plans will be revised accordingly.

- 8. The Depressed Curb, Driveway Apron & Sidewalk construction detail indicates a 6 ft. wide sidewalk and apron. The plan appears to have a 5 ft. wide sidewalk. Please update the detail accordingly.*

InSite Engineering, LLC

Dimension the concrete sidewalk along Shrewsbury Avenue on the plan.

Provide an apron section detail.

Confirm that the proposed rolled concrete curb and gutter is replacing the same type of existing curb and gutter on Shrewsbury. Provide note.

The plans will be revised accordingly.

- 9. One of the parking spaces shown on the east side of Shrewsbury Avenue is not a parking space but a yellow striped no parking area designating driveway access to 18 Shrewsbury Avenue. Please indicate on the plan.*

The existing yellow-stripped no parking area along the west side of Shrewsbury Avenue appears to be in the wrong location and may impact turning maneuvers. Please correct

Indicate the no parking area (painted curb) along the west side of Shrewsbury Avenue.

Provide parking and no parking spaces along both sides of Bay Avenue. Show the locations of the proposed parking to be used for this site.

The plans will be revised accordingly. The exhibits presented at the hearing will also reflect these items.

- 10. The Applicant has provided six (6) circulation plans indicating the existing parking spaces along Shrewsbury Avenue. The circulation plans demonstrate vehicles maneuvering Shrewsbury Avenue by accessing the driveways and garages. These maneuvers are of great concern and appear so difficult as to be questionable.*

We question the size and location of the driveways. The turning templates provided for maneuvers in and out of the garages require turns, starts and stops. Some of the turning templates indicate that vehicles must drive into opposing traffic to be able to enter the driveways and garages.

In addition, garages on Shrewsbury Avenue appear to show that cars cannot enter and exit without sideswiping the door opening. When a car is parked in the space near the rear property line, the vehicle entering and exiting the garage on to Shrewsbury Avenue seems to sideswipe the parked car. Please explain.

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The Applicant is to provide specific testimony and presentation to clearly show how all driveways will be accessed from Shrewsbury Avenue, and how all garages will be entered, without driving into opposing traffic. The applicant must provide details of how these driveways will allow for proper and safe operation for entering and exiting.

Testimony and exhibits will be presented accordingly.

InSite Engineering, LLC

Section II. Comments – Other

1. *The building heights are different between the site plan and the architectural plans. Please confirm and update the schematic, zoning compliance chart and the architectural plans accordingly.*

The building height on the site plans will be updated to match the architectural plans accordingly.

2. *The proposed building has been elevated from the approved FF 14.00 (shown on the plans for the meeting) to FF 15.00.*

Please provide testimony for the purpose of elevating the building an additional foot.

Testimony will be provided accordingly.

3. *The building height needs to be updated based on the raised FF elevation.*

The building height is taken from the BFE + 1 ft. to the middle of the roof.

If the building was raised one foot, the middle of the roof's elevation would also be an additional one foot in elevation.

Please confirm and update the zoning compliance chart accordingly.

The site plans will be revised to add the additional foot to the building height accordingly. The proposed building will still comply with the required building height for the zone.

4. *A proposed sanitary sewer lateral extends from the rear of the proposed dwelling and connects to an existing sanitary sewer main in Shrewsbury Avenue.*

More information is needed. Provide the location of the existing sanitary sewer main including up and downstream manholes, pipe material, size, rim elevations and inverts. Provide proposed invert connection.

Indicate all utility crossings (storm, sanitary and water) with elevations on the plan. Maintain regulated clearances.

The sanitary sewer main is located approximately within the center of Shrewsbury Avenue. The sanitary lateral appears to not extend to the approximate location. Please confirm. Update the proposed lateral information. Update area of restoration.

The cleanouts are located within the proposed gravel driveway and subjected to vehicle load. The protection cap shall be Campbell pattern #4153 or approved equal.

The plans will be revised accordingly.

5. *Installation of proposed utilities will require trenching within South Street and Shrewsbury Avenue. Indicate pavement milling and paving to be the full width of South Street and*

InSite Engineering, LLC

Shrewsbury Avenue and 25-ft beyond the outer limits of the trenches longitudinally. Restripe the roadway in the area disturbed and repaved. The Applicant is responsible for the cost of pavement milling and paving as well as restriping.

The plans will be revised accordingly.

6. *Coordinate the water service size between the plan and the detail.*

The plans will be revised accordingly.

7. *The lighting plan needs to be updated based on the additional 1 foot in FF elevation which may affect the mounting height of the proposed lighting units placed along the walls of the building relative to the ground.*

The Applicant is required to maintain:

- a. § 21-65(11)(E) Minimum Lighting Level. 0.3 fc and average of 0.5 fc*
- b. § 21-65(11)(F) Maximum Lighting Level at property line. 0.3 fc*
- c. § 21-65(11)(D) Maximum Mounting Height at 15 ft.*

The plans will be revised as needed and testimony will be provided accordingly.

8. *The proposed roof leader system will be connected to an existing inlet on Shrewsbury Ave and no sidewalk is shown to be disturbed and replaced.*

Please provide a plan note on the Grading, Drainage & Utility Plan as to how the system will be connected and that the sidewalk shall not be disturbed. Please confirm that a 6-inch header pipe will be adequately sized for all gutters to connect to.

The plans will be revised accordingly.

9. *Provide the material type and size of the sanitary lateral on the “Standard Lateral Connection with Cleanout...” detail.*

On same detail, there is a reference to a detail entitled, “Bedding and Initial Backfill Detail for PVC Sewer Pipe”, however it is missing on the sheet. There is a Pipe Bedding Detail. Please update the detail.

The plans will be revised accordingly.

10. *The Applicant shall comply with any applicable affordable housing requirements.*

According to XLE General Administrative Requirements Affordable Housing Provisions, the mandatory set-aside requirements in Section 26-2 of the Borough of Highlands Affordable Housing Ordinance apply to any multifamily residential development of five (5) dwelling units or more, including the residential portion of a mixed-use project The Applicant has agreed in a previous submission.

Testimony will be provided accordingly.

InSite Engineering, LLC

Thank you for your continued courtesies regarding this application. If you have any questions or require further information, please feel free to contact this office anytime.

Sincerely,
InSite Engineering, LLC



Douglas D. Clelland, PE

23-2237-01
DDC/htm

Cc: David Cahill
Luke Policastro
Donna Jennings
Salvatore La Ferlita

(via electronic mail w/o attachments)