

LAND USE BOARD APPLICATION

FOR OFFICIAL USE	
Date Rec'd: 642075 Application #:	UB25-09 Fee: 1/# 1917 \$500.00
Escrow: 0++1918 1000.00 Escro	
	WALLE 03 38-813 000
1. APPLICANT Name: Edward & Lovi Pahler Address: <u>30 Miller Street</u> City: <u>Highlands</u> State: <u>NJ</u> Zip: <u>07732</u> Phone: Email: Relation to property: <u>OWNER</u>	2. OWNER Name: <u>Same as applicant</u> Address:
3. TYPE OF APPLICATION (Check all that apply)	•
Minor Subdivision	Appeal – Zoning Denial date
Major Subdivision – Preliminary	Appeal – Land Use Decision date
Major Subdivision – Final	Informal Concept Plan Review
Minor Site Plan	Extension of Approval
Major Site Plan – Preliminary	Revision/Resubmission of Prior Application
 Major Site Plan – Final 	Other
Variance	
Use Variance	
4. PROPERTY INFORMATION	
Block <u>54</u> Lot(s) <u>13</u>	Address: 35 Miller Street
Lot size 25'x 80' # of Existing Lots	# of Proposed Lots
	ons or Easements? X No 🛛 Yes – Please attach copies
Has the property been subdivided? X No 🗆 Yes 🛛	
X	Attach copies of approved map or approved resolution
Property taxes paid through	
5. ATTORNEY (A corporation, LLC, Limited Partnership,	or S-Corp must be represented by a NJ attorney)
Name:	
Phone:	Email:



APPLICANT'S OTHER PROFESSIONAL(S) – Engineer, Planet, Planet,	anner, Architect, etc.
Name: Morgan Engineering Address: 130 Central Avenue	Name: James T. Daley Architec
Address: 130 Central Avenue	Address: 273 FIRST AVENUE
Island Heights, NJ 08732	Keyport, NJ 01735
Phone: 732-270-9690	Phone: 732-739-2684
Email: daniel@morganengineer	gemail: gymteedaily@aol.com

7. LAND USE

A. PROPERTY HISTORY –Describe in detail, nature of prior use(s) on the site, start date of such use, any prior Land Use Board applications for this site (attach copy of resolution, if applicable), history of current ownership, etc.

Multiuse building First constructed in 1913. In 1930
John & Angelina Azzolina opened a Deli and lived
the 1960's. From that time up until recently
the 1960's. From that time up until recently
it was used as a (3) Family residence. During

the past month all building improvements have been B. PROPOSED PLAN - Describe in detail, proposed use for property, including, but not limited to: 1) portion to be removed subdivided; 2) sell lot only; 3) construct house(s) for sale; 4) how trash will be disposed; 5) landscaping; 6) hours of operation; 7) type of goods/services; 8) fire lane. Attach additional sheets if necessary.

Construct - new house t RSI Drimari

C. ADDITION	AL INFORMATION:	Existing	Proposed
Residential:	How many dwelling units? How many bedrooms in each unit? How many on-site parking spaces?	Ø	21/2
Commercial:	How many commercial uses on site? How many on-site parking spaces?		



8. VARIANCE REQ	UESTS Complete section(s) relat	ted to the relief being requested.
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1.00	Req'd	Exist.	Prop'd
Minimum Lot Requirem	ents		
Lot Area	4000		2000
Frontage	50		25
Lot Depth	75		80
Minimum Yard Requiren	nents		
Front Yard Setback	20		15
2 nd Front Yard Setback			
Rear Yard Setback	20		10
Side Yard Setback, right	4		3
Side Yard Setback, left	3		3
Building Height	32.5		32.5

	Req'd	Exist.	Prop'd
Accessory Structures			1.11
Fence/Wall Height			The second
Garage/Shed Height			
Garage/Shed Area			
Pool Setback			
Parking Requirements			
On-site Parking Spaces	2		3
Other (please add)		× .	1

9. OTHER RELIEF REQUESTED Please specify relief(s) and explain below.

Building = 33%) (Proposed = 53.2%) Coverag (Required



10. NOTARIZED SIGNATURE OF APPLICANT

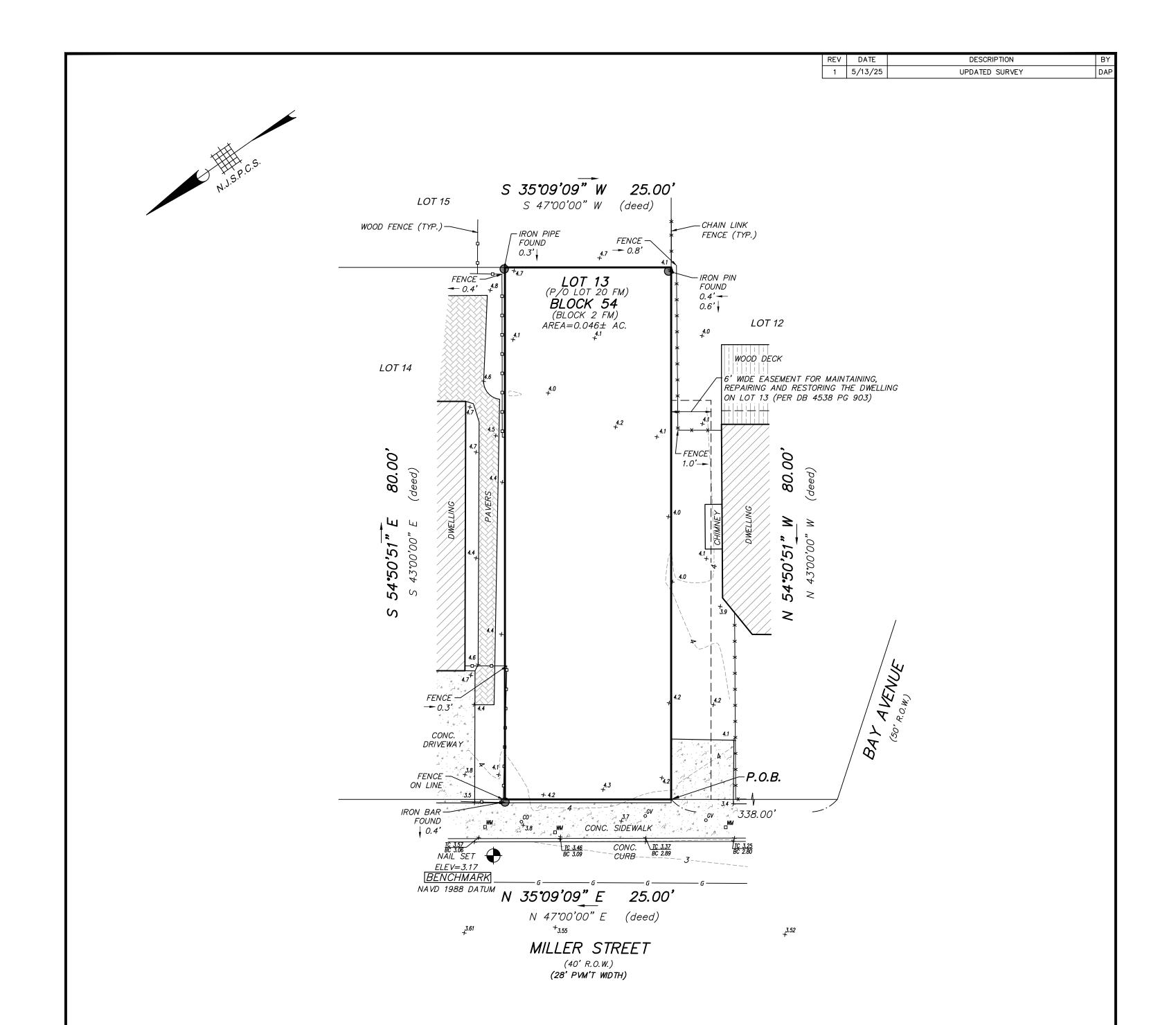
I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual Applicant, or that I am an Officer of the Applicant authorized to sign the application for the business organization. Additionally, I certify that the survey or plans submitted with this application shows and discloses the premises in its entirety, and I further certify that no buildings, fences, or other facilities have been constructed, installed, or otherwise located on the premises after the date of the survey with the exception of the structures shown.

SWORN & SUBSCRIBED to before me this 4 day of 10 2025 (year) A OLOUMON O GOMES 4 1720 0 4 17200 0 4 172000 0 4 172000 0 4 172000000	Signature Signature Edward F. Paller M Print Full Name
11. NOTARIZED CONSENT OF OWNER	

I certify that I am the Owner of the property which is the subject of this application, hereby consent to the making of this application and approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency (if owned by a corporation, a resolution must be attached authorizing the application and officer signature).

SWORN & SUBSCRIBED to before me this day of UN (year) GOMES GOMES Signature Fedward F. F. Print Full Name 12A. DISCLOSURE STATEMENT Circle at thist apply. Pursuant to N.J.S.A. 40:55D-48.1 & 48.2, please answer the following questions:	aher In	Date	5
Is this application to subdivide a parcel of land into six (6) or more lots?	Yes	NO	
Is this application to construct a multiple dwelling of 25 or more units?	Yes	(NO)	
Is this an application for approval of a site(s) for non-residential purposes?	Yes	No	
Is this Applicant a corporation?	Yes	No	
Is the Applicant a limited liability corporation?	Yes	NO	
Is the Applicant a partnership?	Yes	NO	
If you circled VES to any of the above please complete the following Ownership D	icclocar Statama	nt (use additional	

If you circled **YES** to any of the above, please complete the following Ownership Discloser Statement (use additional sheets if necessary).



PREPARED FOR: EDWARD PAHLER III

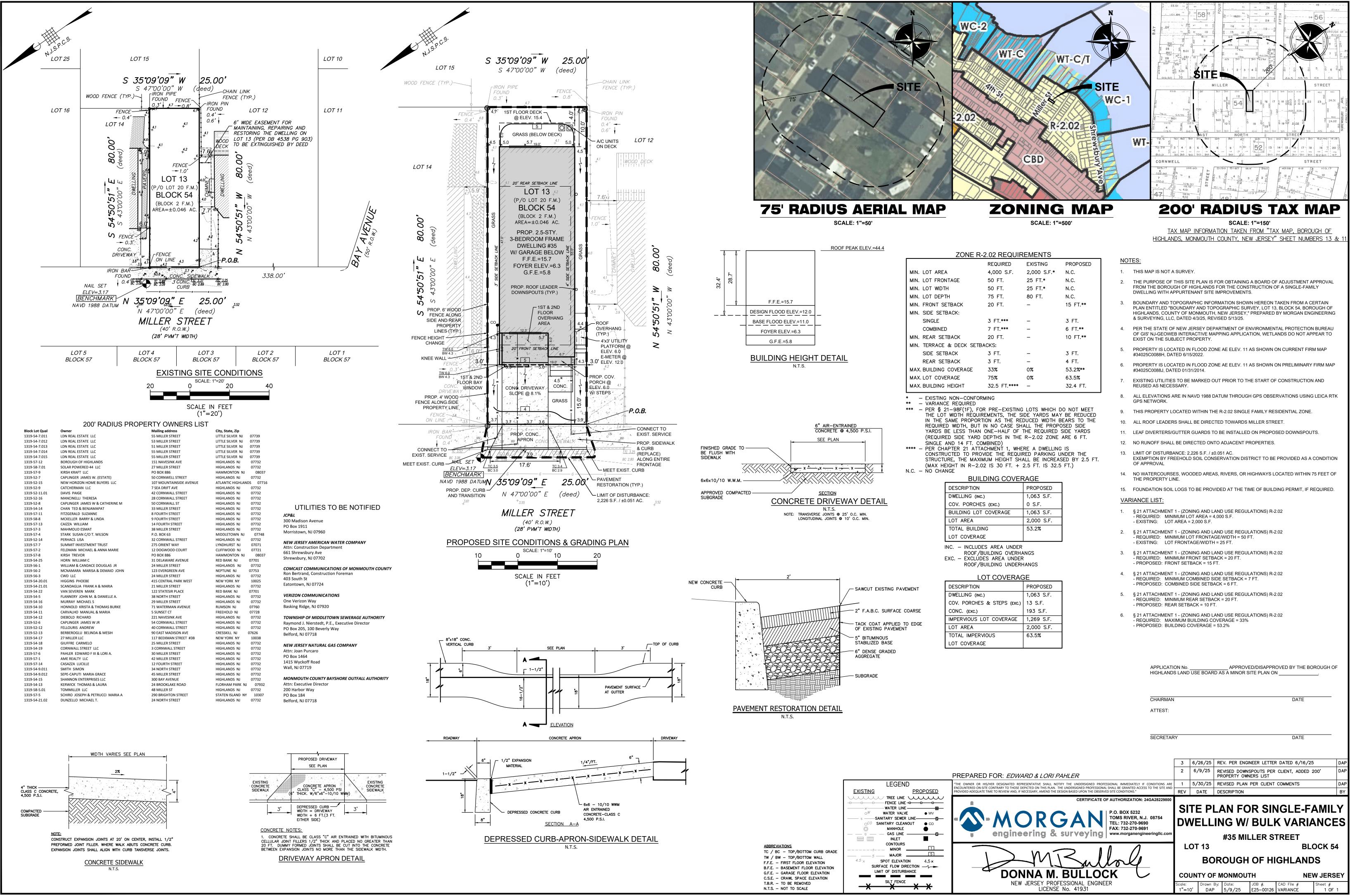
NOTES:

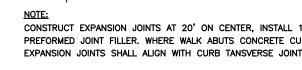
- 1. PROPERTY IS LOCATED IN FLOOD ZONE AE ELEV. 11 AS SHOWN ON EFFECTIVE FIRM #34025C0088H, DATED 6/15/2022.
- 2. ALL ELEVATIONS ARE IN NAVD88 DATUM THROUGH GPS OBSERVATIONS USING LEICA RTK GPS NETWORK.
- 3. BOUNDARY AND PHYSICAL FEATURES TAKEN FROM A PLAN ENTITLED "SURVEY OF PROPERTY PREPARED FOR SOLAR POWERED LLC, 44 MILLER STREET, LOT 7.01 – BLOCK 58, BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY" PREPARED BY CHARLES SURMONTE, P.E. & P.L.S., DATED 12/05/24.

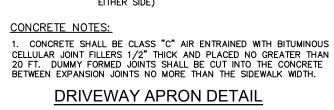
Filed Map Reference:	Filed Map Block:	Filed Map Lot:	Filing Dat		led Map No.
MAP OF LOTS AT THE HIGHLANDS OF NAVESINK	2	P/0 20	10/16/	′1873	26-6
IMPORTANT NOTES, PLEASE REVIEW:					
L DECLARE THAT. TO THE BEST OF MY PROFESSIONAL KNOW FDGE AND BELIEF. THIS MAP OR PLAN MADE ON 4/3	3/25 BY ME OR U	NDER MY DIRECT SUP	ERVISION IS IN AC	CCORDANCE WITH	I THE RULES AND
REGULATIONS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.					
 THIS SURVEY DOES NOT PURPORT TO IDENTIFY BELOW GROUND ENCROACHMENTS, UTILITIES, SERVICES LINES OR S ANY PORTION OF THE PROPERTY IS CLAIMED BY THE STATE OF NEW JERSEY AS TIDELANDS. ENVIRONMENTALLY S 	ENSITIVE AREAS, IF	ANY ARE NOT LOCA	TED BY THIS SURV	VEY.	DETERMINE IF
 OFFSET DIMENSIONS FROM STRUCTURES TO PROPERTY LINES SHOWN HEREON ARE NOT TO BE USED TO REESTABL THIS SURVEY IS SUBJECT TO CONDITIONS WHICH AN ACCURATE TITLE SEARCH MIGHT DISCLOSE, SUBJECT TO REST 			ND/OR UNRECORD)FD	
 PROPERTY CORNERS HAVE NOT BEEN SET AS PER CONTRACTUAL AGREEMENT. (N.J.A.C. 13:40-5.1(D)) 			•		93 PG 8126
				DD OR-95	93 F G 0120
CERTIFICATE OF AUTHORIZATION: 24GA28229800					
P.O. BOX 5232 TOMS RIVER, N.J. 08754 TEL: 732-270-9690 FAX: 732-270-9691		BOUN	DARY	ΆΝΓ	
TEL: 732-270-9690					
engineering & surveying FAX: 732-270-9691		POGRA	DHIC	CIID	VEV
www.morganengineeringllc.com				JUIN	
www.morganengmeermigne.com					
	LOT 13			BL	OCK 54
	_				
	I B	OROUGH	OF HIG	SHLAND	DS
			_		
DAVID J. VON STEENBURG	COUNTY	OF MONMOU	тн	NEW	/ JERSEY
PROFESSIONAL LAND SURVEYOR			<u> </u>		
N.J. LIC. No. 34500		n By: Date:	"	AD File #	Sheet #
N.C. Elo. No. 51565	1"=10' D	VP 4/3/25	E25-00126 T	040	1 OF 1

LEGEND

CO CLEANOUT GM GAS METER GV GAS VALVE MW MONITORING WELL LP LIGHT POLE UP UTILITY POLE WM WATER METER WV WATER VALVE ICV IRRIGATION CONTROL VALVE







	REQUIRED	EXISTING	PROPOSED
	4,000 S.F.	2,000 S.F.*	N.C.
AGE	50 FT.	25 FT.*	N.C.
	50 FT.	25 FT.*	N.C.
	75 FT.	80 FT.	N.C.
ВАСК	20 FT.	-	15 FT.**
CK:			
	3 FT.***	_	3 FT.
	7 FT.***	-	6 FT.**
АСК	20 FT.	-	10 FT.**
DECK SETBA	CKS:		
CK	3 FT.	-	3 FT.
ACK	3 FT.	_	4 FT.
OVERAGE	33%	0%	53.2%**
AGE	75%	0%	63.5%
EIGHT	32.5 FT.****	_	32.4 FT.

BUILDING	COVERAGE

BUILDING COVERAGE				
ESCRIPTION	PROPOSED			
WELLING (INC.)	1,063 S.F.			
OV. PORCHES (EXC.)	0 S.F.			
UILDING LOT COVERAGE	1,063 S.F.			
OT AREA	2,000 S.F.			
OTAL BUILDING	53.2%			
OT COVERAGE				
 . – INCLUDES AREA UNDER ROOF/BUILDING OVERHANGS C. – EXCLUDES AREA UNDER ROOF/BUILDING UNDERHANGS 				

LUT COVERAGE			
ESCRIPTION	PROPOSED		
WELLING (INC.)	1,063 S.F.		
OV. PORCHES & STEPS (EXC.)	13 S.F.		
CONC. (EXC.)	193 S.F.		
MPERVIOUS LOT COVERAGE	1,269 S.F.		
OT AREA	2,000 S.F.		
OTAL IMPERVIOUS	63.5%		
OT COVERAGE			

PROJECT NOTES

GENERAL NOTES

CODES & STANDARDS: All work shall conform with the requirements of the N.J.U.C.C., IRC 2021 NJ Edition, National Electric Code, National Plumbing Code, N.F.P.A. recommendations, O.S.H.A., and all local codes and ordinances applicable to this project. Construction documents are in compliance with ASCE 24.

CLARIFICATIONS: Prior to submitting a bid, the contractor shall become familiar with the project by careful inspection of the site and construction documents. Should any error, omission, ambiguity or discrepancy exist on the drawings which the contractor might reasonably be expected to detect, the same shall be brought to the attention of the design and install all modifications/upgrades to the electrical, plumbing, Architect for correction or clarification prior to proceeding with the work mechanical and fire protection systems. The heating system shall be involved. Any work that proceeds otherwise shall, if incorrectly performed, be replaced or repaired at no additional cost.

DIMENSIONS: The Contractor shall not scale off the drawings; written dimensions shall govern. Dimensions given are nominal unless indicated otherwise. All dimensions and conditions shall be verified in the field by and location of all phone jacks, cable jacks, thermostats, and speakers. the Contractor and any discrepancy brought to the attention of the Architect. Where a door or a window is drawn near a corner and no dimension is given, offset the opening enough to accommodate the full width of trim, minimum 4". Where elements are drawn centered in a space or opening, they shall be centered when installed. All corridors, stairs and clearance between counters and other built-ins shall be 36 minimum. All closets, unless noted otherwise, shall be 24" deep.

QUALITY: All work shall be performed in a workman-like manner. Match and alian all surfaces where applicable to afford a finished, neat appearance. All existing surfaces and equipment shall be protected and shall be vented whereby the minimum net area of ventilation openings that they are left as they were before the commencement of the work. One vent shall be within 3 feet of each corner of the building. Contractor shall clean all dirt and refuse caused by the work.

INFERENCE: All work that is either implied or reasonably inferable from the contract documents shall be the responsibility of the contractor water to a point 15' minimum from building. and a reference to any work by mention, note, detail or implication indicates the contractor shall perform a complete installation of such work. All equipment, fixtures and other devices shall be fully installed and shall be made fully operational and warranteed when the job is complete.

SAFETY: Take full precaution to protect workers, passerby and adjacent property from any hazards caused by the work. Provide all fences, barricades and security as may be required to protect life and property. The Contractor shall protect all construction and materials from weather, vandalism, and theft. The Contractor shall be solely responsible for all property and personal damage or injury resulting from the conduct of the work and shall indemnify and save the Owner and the Architect harmless from all claims for loss of or damage to property in work area shall be painted with a zinc rich rust inhibitive paint. or personal injury or death of any and all persons arising out of the work of this Contract.

COORDINATION: The Contractor shall be responsible for the coordination of the work of all subcontractors. The Contractor shall be responsible for the coordination of the work of this contract with the work of any other contractors hired separately by the Owner.

MATERIALS, products and equipment shall be new, standard, and of good quality, and all workmen and subcontractors shall be skilled in their trades. All products shall be installed in accordance with the manufacturers' written directions and/or recommendations.

PERMITS: The Contractor shall obtain and pay for all permits, fees, bonds and inspections. The Contractor shall make all arrangements for inspections. The Contractor shall file all required certificates of insurance.

CLEAN-UP: At the completion of the project the Contractors shall remove all rubbish from the site and leave the building broom clean.

DEMOLITION NOTES

STRUCTURAL INTEGRITY: The Contractor shall determine the direction of framing before removing any walls. If a wall is determined to be bearing and new structural support is not indicated on the drawings, notify Architect for additional design. Where structural support is to be removed, temporary shoring/bracing or new structural elements shall be added such that the structural stability and integrity of the building is maintained at all times.

ORDER: All demolition work shall be done carefully, neatly and in a systematic manner. Debris shall be removed regularly as the job proceeds such that it does not accumulate on the site.

UTILITIES: Remove or relocate all wiring, plumbing, ductwork and mechanical equipment affected by the demolition. Pipes to be removed course for two courses above and below all masonry wall openings, and shall be properly capped or plugged.

WEATHER: The contractor shall provide adequate weather protection for the building and its contents during the course of the work. All openings in walls and roof shall be protected from all forms of water or weather penetration.

All notes below apply to this project except those sections

CONSTRUCTION NOTES

MATERIAL SELECTION: Unless noted otherwise, all new finishes, doors, hardware, trim, siding, roofing, coverplates, switches and all other exposed installations shall match existing. The Contractor shall verify all material selections with the Owner. In advance of material procurement and installation, provide samples for all exposed installations to the Owner for review, selection and approval of color. texture, shape, etc.

SYSTEMS: It shall be the responsibility of the contractor to hire aualified individuals to assess the existing building systems and to capable of maintaining inside temperature of 75 degrees F when the outdoor temperature is 0 degrees F and the wind velocity is 15 mph. The cooling system shall capable be of maintaining 78 degrees F when the outdoor temp. is 92 degrees F. All piping shall be protected from freezing. The Contractor shall coordinate with the Owner the quantity Relocate all existing meters, service connections, hose bibs, and other utility features to be affected by the work.

CENTERING: Unless noted otherwise, all beams/girders/headers shall be centered on the posts/columns which support them, and all posts/columns shall be centered on their footings.

VENTILATION: All attic spaces shall be ventilated by louvers and/or vents as required with a total clear opening of not less than one-third of one percent of the horizontally projected roof area. All crawl spaces any damage to such caused by the work shall be patched/repaired such shall not be less than 1 square foot for each 150 s.f. of crawl space area. Use rim board manufacture

> ROOF DRAINAGE: Connect all leaders to existing underground storm water system. If no system exists, install new system to conduct storm

ROOFING: All roofing materials shall be provided by a single roofing manufacturer. All penetrations through roof and interruptions of roof shall be flashed and counterflashed. Asphalt shingle roofing shall be min. 235 lb per square with a UL Class A fire rating and shall be self sealing. Provide 35 year manufacturer's warrantee on roofing and underlayment. Install Ice and Water Shield at all valleys, eaves & at all roof edges: 2' inward from face of wall below.

WALL OPENINGS: All windows, doors and other wall penetrations shall be flashed and sealed as recommended by manufacturer.

STEEL COLUMNS: All new steel columns and all existing steel columns

GYPSUM BOARD: All exposed gypsum board surfaces shall be taped, spackled, sanded, primed and painted two coats minimum.

FLOORING: Contractor shall install new floor finish to all new floor areas. Where not indicated on drawings, verify type and quality level with Owner.

CLOSETS: All closets shall be provided with a wood rod and a wood shelf.

FOUNDATION NOTES

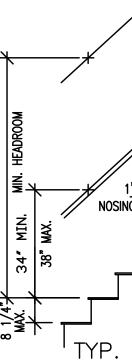
DEPTH: Bottom of all footinas shall be minimum of 3'-0" below finished grade. If footings are stepped, the line of the footing shall be sloped not more then one foot vertical to two feet horizontal. Footings shall be formed to their full depth.

SOIL: All footing design is based on a presumptive soil bearing capacity of 2000 PSF, minimum. If conditions encountered under all or part of the footings do not allow such bearing capacity, notify Architect for redesign. Footing shall be on undisturbed virgin soil, free of frost. If required, provide stone or concrete fill under the supervision of a N.J. Registered Geotechnical Engineer.

BACKFILLING: Do all interior and exterior backfilling simultaneously. Backfilling against foundation walls shall not be performed until floors or roof they support have been completely installed.

FILL SOLID with concrete all block cells below arade. Also fill solid all cells where anchors occur, and entire top course.

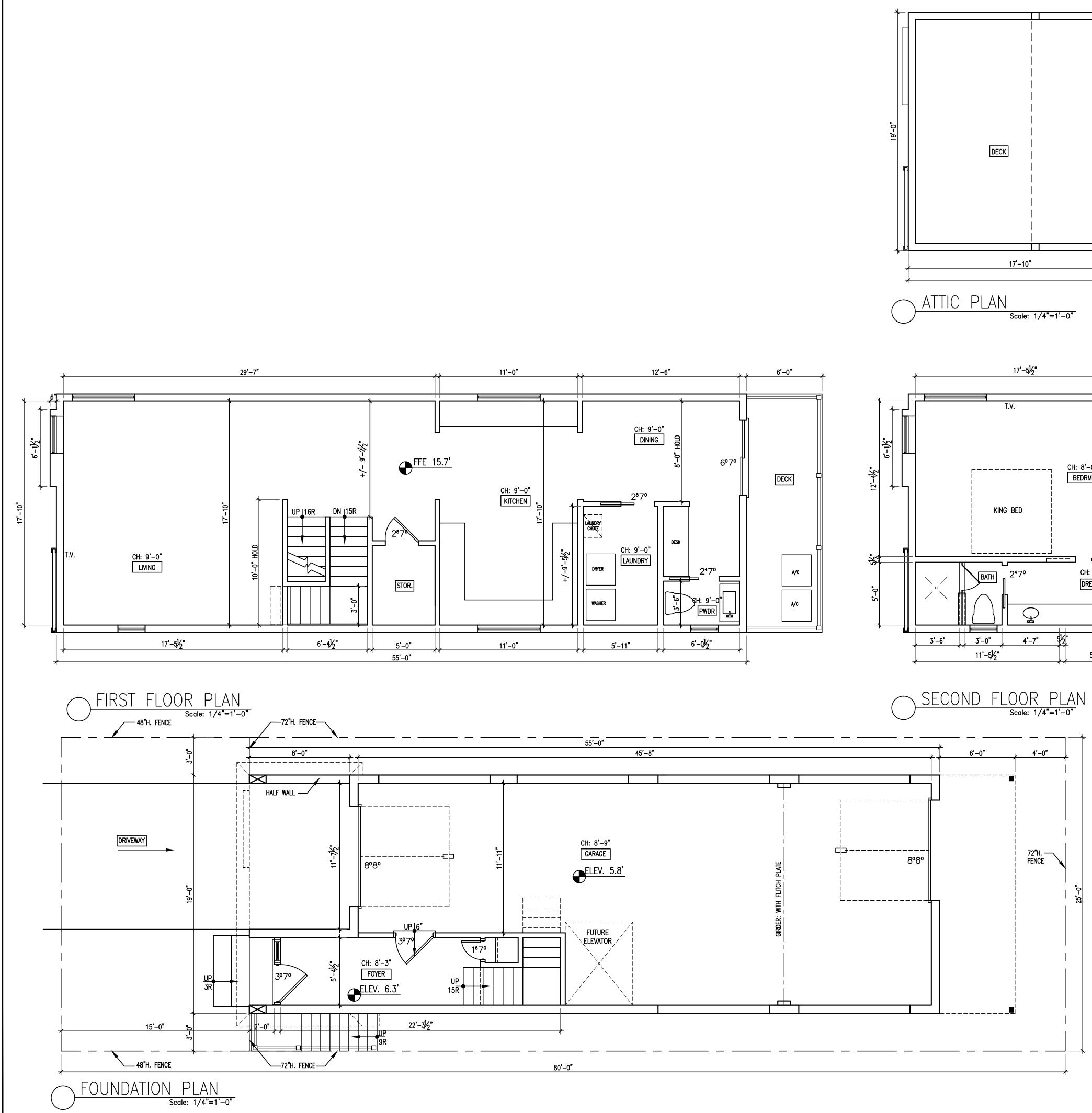
HORIZONTAL JOINT REINFORCING ("dur-o-wall") shall be provided for full thickness of walls as follows: at 16" o/c vertical spacing, (every other block course); and provide at every course from top of footing to top of slab or grade level, whichever is higher; and provide at every shall be cut to a point of concealment behind or below finished surfaces extending 3'-0" beyond opening in each direction; and provide at every course for 5'-0" in each direction at all corners.

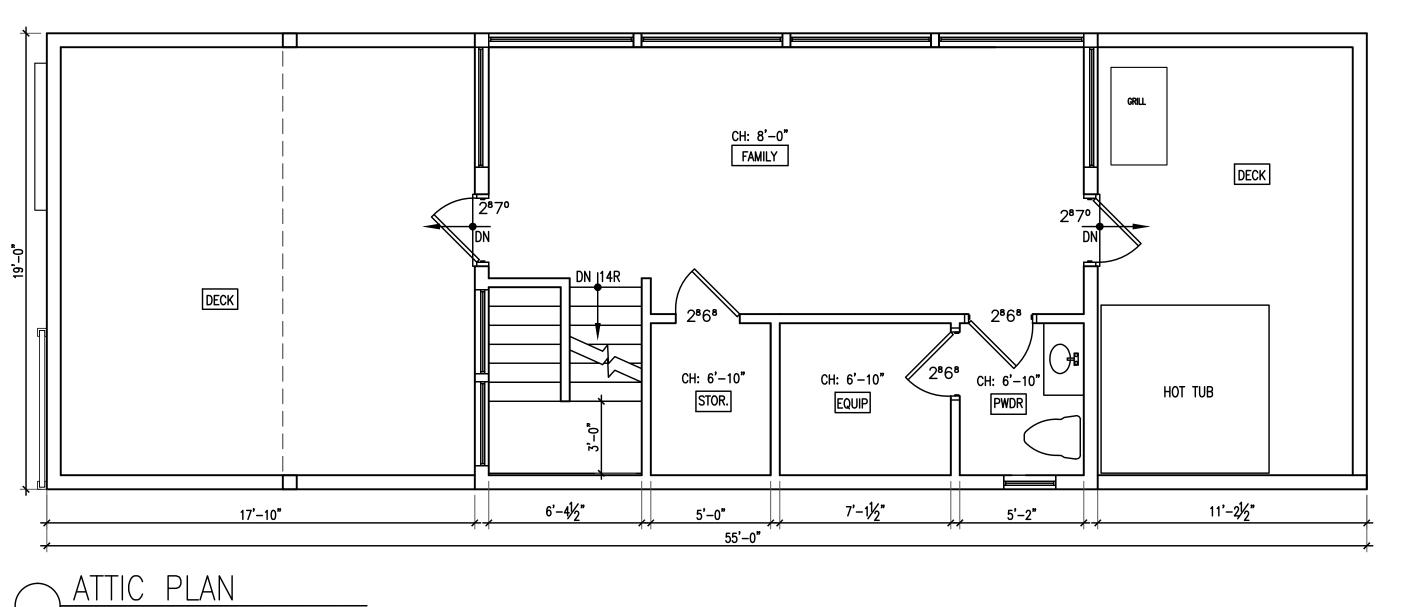


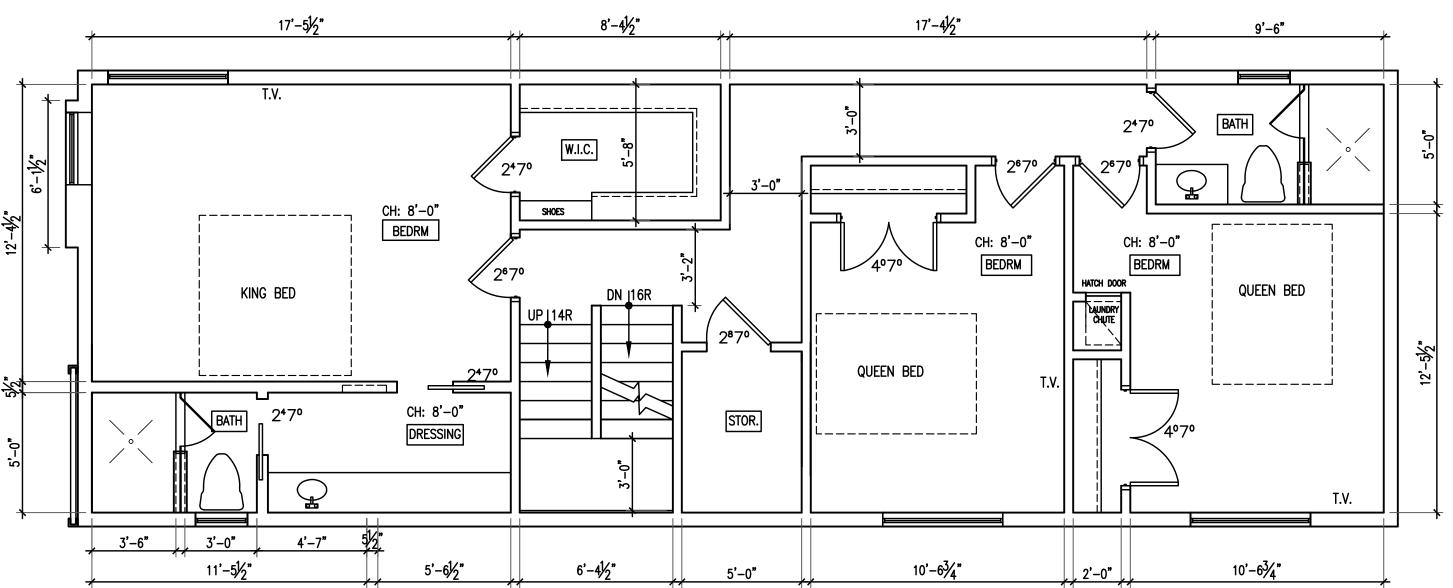
DRAWING LIST:	BUILDING/SITE CHARACTERISTICS
A–1 TITLE/NOTES A–2 FOUNDATION THRU 3RD FL. PLANS A–3 ELEVATIONS	1.NUMBER OF STORIES2.52.HEIGHT OF STRUCTURE32.5 FT.3.AREA - LARGEST FLOOR1,063 SQ. FT.4.NEW BUILDING AREA1,063 SQ. FT.
PLAN SYMBOLS LEGEND	5.VOLUME OF NEW STRUCTURE19,816 CU. FT.6.CONSTRUCTION CLASSIFICATIONVB7.TOTAL LAND AREA DISTURBED1,627 SQ. FT.
NEW WALL CONSTRUCTION – FOR INT. WALLS: 1/2" GYP. BD. EACH SIDE OF 2X4 STUDS @ 16" O.C. (EXCEPT AS NOTED) – FOR EXT. WALLS SEE SECTION	8. FLOOD HAZARD ZONE AE-11 9. BASE FLOOD ELEVATION BFE 12.0 (FFE 15.7 FT.) 10. WETLANDS YES NO X
EXISTING DOOR TO REMAIN	11. MAX. LIVE LOAD55 PSF.12. MAX. OCCUPANCY LOAD49 PERSONS
NEW DOOR - NUMBER REFERS TO DOOR SIZE	14. WIND SPEED (PER ICC MAPS & ASCE 7):
BATH SPACE NAME.	120 MPH UP-LIFT RATING 15. EXPOSURE CATEGORY: 'B' IN COMPLIANCE WITH ASCE 7 16. SNOW LOAD (PER IBC&ASCE 7025): 30 PSF.

ot_those sections marked with an "X": 🔀	SITE	PLAN				
CONCRETE NOTES						
STRENGTH: All concrete shall be controlled stone type with a minimum ultimate compressive strength of 3000 PSI for footings and 4000 PSI						
for slabs. All concrete shall comply with current A.C.I. requirements. REINFORCING shall be new, high grade billet steel deformed bars in						
accordance with ASTM—A—615 grade 60. Intermediate grade permissible for ties. Installation shall conform to A.C.I. Manual of Standard Practices. The length of reinforcing splices be 40 bar diameters						
minimum.						
WOOD NOTES						
Grade or better clearly stamped and graded. BLOCKING: Provide solid bearing under all joists, beams and posts.						
Provide solid blocking above sill plate below all posts. DOUBLE FRAMING shall be provided around all openings through						
walls, floors and roofs and under all tubs and partitions parallel with the direction of framing.						
HEADERS: provide (2)2x10 min. header for all wall openings 6'-0" wide or less, unless otherwise noted. All headers and beams spanning 6'-0" or more shall bear on a minimum of (2) 2x members.						
TJI's (I—joists or engineered joists): Use web stiffeners, squash blocks, connectors and all other accessories as recommended by manufacturer.						
^{a.} Use rim board manufactured by joist fabricator. DETAILS: Set all beams and joists natural camber up. No structural						
valleys are to be formed unless noted otherwise. Members shall not be drilled or notched excessively (see code for limitations on notching lumber and manufacture's data for limitations on notching composite						
wood members). The minimum distance from grade to untreated lumber is 8". Provide metal joist and beam anchors, hangers, braces and connectors at all points of flush and suspended framing (products by						
Simpson, Teco or equal). Use hurricane anchors at all roof—to—wall connections, all wall—to—foundation connections, and all other connections as required by code. For composite wood girders, provide						
bearing as per manufacture's recommendations. Where girders are noted to be "flush", the bottom of girder is to align with the bottom of adjacent joists. Size, number and location for all nailing and other						
connectors shall be as per building code.						
STAIR NOTES (RESIDENTIAL)						
 Stair to be minimum 36" wide. Adjacent treads and adjacent risers shall not vary more than 3/16" Tread depths and riser heights shall not vary more than 3/8" over 						
the entire stair. 4. Guardrails at stair openings shall be 36" high min. 5. Max. rise between floors/landings to be 12'-0".						
 Guardrail balusters to spaced as to not permit the passage of an object 4" in diameter. Handrails shall have a circular cross section with an outside diameter 						
of at least 1 1/4" and not greater then 2". Provide handrails on both sides of stairs. 8. All exterior stairs three risers or more shall have a footing						
o. All exterior stairs three risers of more shall have a rooting						
CEILING ABOVE						
HANDRAIL						
Image: Second						
TYP. STAIR DETAIL						
	ZONING		ZONE: R-2.0)2	LOT: 13	BLOCK: 54
-			REQUIRED	EXISTING	PROPOSED	COMMENTS
	LOT AREA PRIMARY LOT F	RONTAGE/WIDTH	4,000 SF 50 FT	2,000 SF 25 FT	N.C. N.C.	
	PRIMARY LOT D PRIMARY FRONT	DEPTH T YARD SETBACK	75 FT 20 FT	80 FT 	N.C. 15 FT	
-	PRIMARY SIDE BOTH SIDE YAR REAR YARD SE	RD TOTAL-MIN.	3/4 FT 7 FT 20 FT	 	3/3 FT 6 FT 10 FT	
	DECK/STAIR SE		3 FT 3 FT	 	3 FT 4 FT	
	BUILDING COVE	RAGE-MAX.	33% 75%		53.2% 63.5%	
-	BUILDING HT.		32.5'		32.4'	MEASURED OFF 11.0 BFE + 1' (12) + 2.5' GAR
	ACCESSORY BL	JILDING:	N/A			
	REAR YARD SE ONE SIDE YAR	TBACK D SETBACK-MIN.				
_		STORIES-MAX.	_			

	New House Construction for					
	Ed &	z Lori Pahlez	r			
		Ailler Street hlands, NJ				
	Lot# 13	Block#	54			
		APPROVED/DISAPPRO ANDS LAND USE BOARD /				
	CHAIRPERSON		DATE			
	SECRETARY		DATE			
	NO OTHER PERSON, ENTIT	2025 - JAMES T. DALEY ARCHITEC FY, COMPANY, ETC. MAY COPY AN T CONSENT & APPROVAL OF THE	Y PORTION OF			
	ISSUE DATE April 15, 2025	COMMENTS FOR PRELIMINARY REVIEW ONLY	SEAL NJ LIC #11519			
	MAY 29, 2025 JUNE 23, 2025	FOR ZONING REVIEW FOR ZONING APPROVAL				
RAGE BONUS	Pahler – Highla	ands, NJ LIC: #11519				
	JAMES T. A R C H I + ASSOC 273 FIRST STREET, KEYF phone: 732-739-2684 fa	$\begin{array}{c c} T & E & C & T \\ \hline & I & A & T & E & S \\ \hline & & & \\ PORT, NJ & 07735 \end{array} A-1$				

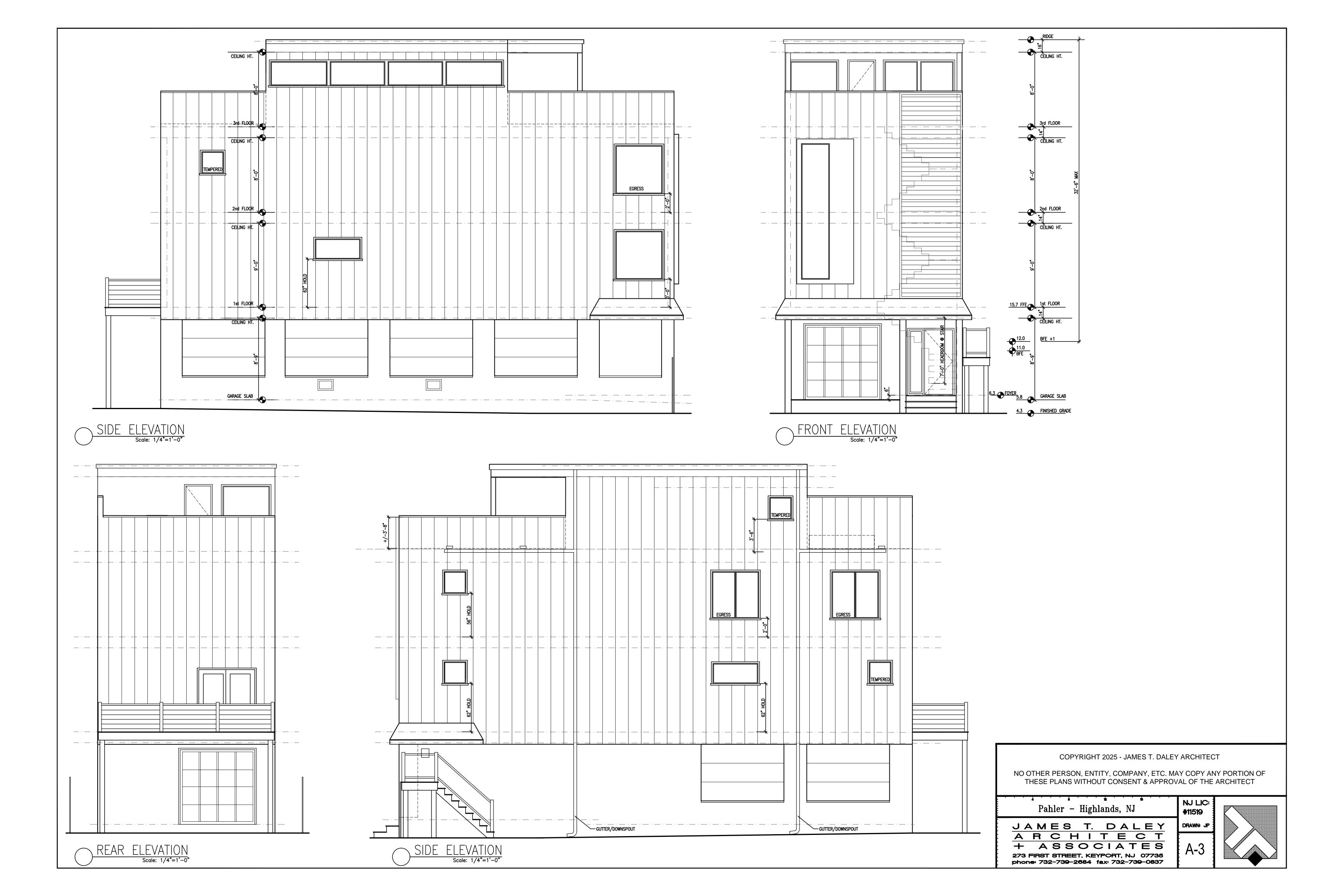








COPYRIGHT 2025 - JAMES T. DALEY ARCHITECT				
NO OTHER PERSON, ENTITY, COMPANY, ETC. MAY COPY ANY PORTION OF THESE PLANS WITHOUT CONSENT & APPROVAL OF THE ARCHITECT				
	NJ LIC:			
Pahler – Highlands, NJ	#11519			
Panler - Highlands, NJ JAMES T. DALEY ARCHITECT	#11519 Drawn: Jp			





1670 Whitehorse-Hamilton Square Rd. Hamilton, New Jersey 08690 609-586-1141 fax 609-586-1143 www.RobertsEngineeringGroup.com

June 16, 2025

Nancy Tran Land Use Board Secretary Borough of Highlands Land Use Board 151 Navesink Avenue Highlands, New Jersey 07732

Re: Completeness Review No. 1 Applicants: Edward and Lori Pahler Block 54, Lot 13 35 Miller Street Borough of Highlands, Monmouth County, New Jersey Our File No.: HLPB25-09

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations.

The Applicant seeks to construct a 2 $\frac{1}{2}$ story single-family dwelling on an existing vacant lot on which a multifamily dwelling recently stood. The proposed residential building will consist of three (3) bedrooms with site improvements and 3 parking spaces (garage under (2) and driveway).

The residential building is situated on a 2,000 sf (0.046 Ac) lot in the R-2.02 Single Family Residential District and in the AE Flood Hazard area.

The Applicant has submitted a Variance Plan consisting of zoning information, proposed dwelling, deck, covered porch, driveway, utilities, grading and other site improvements. There are several bulk variances, and there are a number of site improvements that are required to be addressed under Minor Site Plan.

Minor Site Plan checklist items and some general comments have been provided below by this office.

We have reviewed the following documents submitted in support of the above referenced application for completeness purposes:

- 1. Copy of the Land Use Board Application dated June 4, 2025.
- 2. Copy of a plan entitled, "Boundary and Topographic Survey, Lot 13, Block 54, Borough of Highlands, Monmouth County, New Jersey", prepared by Morgan Engineering, signed and dated April 3, 2025
- 3. Copy of a plan entitled, "Variance Plan for Single-Family Dwelling, #35 Miller Street, Lot 13, Block 54, Borough of Highlands, Monmouth County, New Jersey", prepared by Morgan Engineering, signed and dated May 9, 2025
- 4. Copy of a set of architectural plans entitled, "New House Construction for Ed & Lori Pahler, 35 Miller Street, Highlands, NJ, Lot# 13, Block# 54" prepared by James T. Daley Architect + Associates, unsigned and last issued date of May 29, 2025. 3 sheets.

We offer the following comments and recommendations for the Land Use Board's consideration:

I. <u>ZONING</u>

- 1. This property is located in the R-2.02 Single Family Residential District.
- 2. The proposed single-family residential dwelling is a permitted use.

3. The Applicant requires six (6) bulk "c" variances for lot area, lot frontage/width, minimum front setback, side yard setback, rear yard setback, and maximum building coverage. To be entitled to bulk "c" variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuance to N.J.S.A 40:55D-70c.

The Applicant will be required to provide proof during testimony.

4. The following bulk requirement summary is provided for the Board's reference.

Schedule I – Bulk and Area Requirements						
R-2.02 Single Family Residential District						
Required Existing Proposed Varia						
Min. Lot Area (sf)	4,000	2,000(1)	2,000	Yes ⁽¹⁾		
Lot Frontage/Width (ft)	50	25.00(1)	25.00	Yes ⁽¹⁾		
Lot Depth (ft)	75	80.00	80.00	No		
Min. Front Yard Setback (ft)	20(2)	0	±15.0	Yes		
Min. Side Yard Setback (ft)	6/8 3/4 ⁽³⁾	0	3/3(3)	Yes-1		
Min. Rear Yard Setback (ft)	20	0	10	Yes		
Max. Building Height (ft) (4)	30	0	32.4	No		
Max. Lot Coverage (%)	75	0	63.5	No		
Max. Building Coverage (%)	33	0	53.2	Yes		
Min. Deck/Stairs Setback (ft)	3	0	3	No		
On-Site Parking (spaces)	2	0	3	-		

(1) Existing non-conformity

(2) Or the average of the existing front yard setback within two hundred (200) feet in the same block and zone, per § 21-79.B.

(3) Please see Comment No. 5.

(4) Where a dwelling is constructed or reconstructed to provide the required parking under the structure, the maximum height shall be increased by two and one-half feet.

- 5. According to §21-98.F.1, Pre-existing nonconforming vacant lots may be used for single-family residential purposes; and single-family or two-family uses on pre-existing nonconforming lots may be enlarged, if the following requirements are met:
 - (a) The proposed use will be a new single- family dwelling or the enlargement of an existing single-or two-family use. A single-family dwelling shall not be converted to a two-family dwelling. New singlefamily dwelling.
 - (b) (Reserved)
 - (c) There is no available vacant land abutting the lot. None.
 - (d) The lot either provides off-street parking or the proposed enlargement includes the provision of offstreet parking. **Proposed On and Off-street parking.**
 - (e) The building and lot coverage will not be exceeded. This proposal exceeds building coverage. The Applicant is requesting a variance.

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- (f) For lots which do not meet the lot width requirements, the side yards may be reduced in the same proportion as the reduced width bears to the required width, but in no case shall the proposed side yards be less than one-half of the required side yards. This proposal does not meet the side yard. The Applicant is requesting a variance.
- (g) For lots which do not meet the lot depth requirement, the front and rear yards may be reduced in the same proportion as the reduced lot depth to the required lot depth, but in no case shall the proposed front yard be less than the smallest front yard allowed under § 21-79B nor the proposed rear yard be less than eighty (80%) percent of the required rear yard for the zone. Not applicable.

The Applicant will be required to provide proof during testimony.

II. CHECKLIST ITEMS

- 1. Date, name, location of site, name of owner, scale, and reference meridian. **Provided.**
- 2. Area of the lot and all lot line dimensions and bearings. Provided.
- 3. The location of all existing watercourses, wooded areas, easements, rights-of-way, streets, roads, highways, rivers, buildings, structures, and any other feature on the property and within seventy-five (75) feet of the property line. **Partially provided.**
- 4. Location, use and ground floor area of all existing and proposed buildings, with the building setback, sideline, and rear yard distance. **Provided.**
- 5. Elevations at the corners of all proposed buildings and paved areas and at property corners if new buildings or paved areas are proposed. **Provided.**
- 6. The location and widths of existing and proposed streets servicing the site plan. Provided.
- 7. Specifications for and location of proposed surface paving and curbing. Partially provided.
- 8. Location of all structures within seventy-five (75) feet of the property. Partially provided.
- 9. Location of off-street parking areas, with dimensions, showing proposed parking and loading spaces, with dimensions, width of proposed access drives and aisles and traffic circulation. **Not applicable**.
- 10. Stormwater management and sanitary sewer reports, including proposed storm drainage and sanitary disposal facilities; specifically, the location, type and size of all existing and proposed catch basins, storm drainage facilities, utilities, plus all required design data supporting the adequacy of the existing or proposed facilities to handle future storm flows. **Please see General Comment No. 11 below.**
- Existing and proposed contours of the property and for seventy-five (75) feet outside the property at one
 foot intervals when new buildings or parking areas are proposed. Spot elevations for any development in a flood hazard area. The Applicant has provided sufficient information.
- 12. The location and treatment of proposed entrances and exits to public rights-of-way, including the possible utilization of traffic signals, channelization, acceleration and deceleration lanes, additional widths, and any other devices necessary to traffic safety and/or convenience. **Provided.**
- 13. The location and identification of proposed open space, parks, or other recreation areas. Not applicable.
- 14. The location and design of landscaping, buffer areas and screening areas showing size, species and spacing of trees and plants and treatment of unpaved areas. **Not applicable**
- 15. The location of sidewalks, walkways, traffic islands and all other areas proposed to be devoted to pedestrian use. **Provided.**

- 16. The nature and location of public and private utilities, including maintenance and solid waste disposal, recycling and/or storage facilities. The Applicant has provided sufficient information.
- 17. Specific location and design of traffic control devices, signs, and lighting fixtures. The Board may require of the applicant expert testimony concerning the adequacy of proposed traffic control devices, signs, and lighting fixtures. **Not applicable.**
- 18. Preliminary architectural plans for the proposed buildings or structures, indicating typical floor plans, elevations, heights and general design or architectural styling. **Provided.**
- 19. The present and past status use and contemplated use of the property and all existing buildings on the property. A cleanup plan where such is necessary because of the past or present use of the site. Not applicable.
- 20. A soil erosion and sediment control plan are required. Said plan shall be submitted to the Soil Conservation District and approval of the application shall be conditioned upon certification of the soil erosion and sediment control plan by the District. **Exempted by Freehold Soil Conservation District. To provide an exemption letter.**
- 21. Soil borings, when required by the Board Engineer. Not provided. May be required for footings for construction.
- 22. Certification statement for the required municipal signatures, stating:

Application No._____ approved/disapproved by the Borough of Highlands Land Use Board as a Minor Site Plan on (date). **Not provided.**

Chairman

Secretary

- 23. Certification statement for the County Planning Board approval/disapproval, if required. Not applicable.
- 24. The Board may require any additional information which is reasonably necessary to ascertain compliance with the provisions of this chapter. **Open.**

III. COMPLETENNESS

Adequate information has been provided to perform a technical review and we recommend the application be deemed COMPLETE.

IV. GENERAL COMMENTS

- 1. Please rename the plan to Site Plan.
- 2. Please provide signed and sealed Architectural plans.
- 3. The Applicant has submitted an application for a 2 ½ story dwelling, however it appears that the proposed dwelling is more than 2 ½ stories. The attic has an 8-foot ceiling height with family space and a bathroom. The dwelling appears to be three stories. Please provide testimony.
- 4. Please provide a Certification statement on the engineering plan. Refer to Checklist Item #22.
- 5. Please provide the location of all structures within seventy-five (75) feet of the property.
- 6. Please update the minimum lot depth as compliant.

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7. It appears that the front yard setback may not be in conformance with the prevailing setback. The lots closest to this property appear to meet the requirement, however the same determination cannot be made about the nearby newer built dwellings.

Please analyze the front setback as a prevailing setback according to § 21-79.B.

- 8. Please update the lot coverage table to show covered porches and steps, and concrete, as included items. The total percentage of lot coverage is shown correctly.
- 9. There is an existing 6 ft wide by 60 ft long easement on Lot 12 along the common line with the property. The easement is described in Deed Book 4538 Page 903 (yr. 1985) as "for the purpose of maintaining, repairing and restoring the dwelling erected upon Lot 13. This easement being necessitated because the side yards on Lot 13 are only six inches on one side and one ft. eleven inches on the other...."

The dwelling has been demolished.

It is our opinion that the easement must be legally extinguished by deed because the purpose of the easement is no longer valid. We defer to the Land Use Board Attorney.

- 10. Indicate whether the lot surfaces will be grass, gravel and/or landscaped.
- 11. The right rear and side yard proposed elevations are directing runoff to Lot 12. Please redirect the runoff to the street.
- 12. Water, sewer and gas utilities are proposed to connect to existing valves and cleanout in the existing sidewalk. This will require replacement of full sections of the concrete sidewalk.
- 13. A proposed 4 ft x 3 ft utility platform with 6 ft high fencing and steps extends from the dwelling to the property line. The platform appears to be needed for access to the E-meter and HVAC units.
 - a. According to §21-123.2 mechanical, plumbing and electrical systems should be above Local Design Flood Elevation (LDFL). The utilities and E-Meter appear to be placed above the LDFL elevation of 12 ft high (Local Design Flood Elevation) according to the architectural elevations.
 - b. The proposed fence enclosed platform blocks direct access to the side yard leading to the rear yard without trespassing on the adjoining property.
- 14. Please provide construction details:
 - a. Pavement repair according to § 21-65.15.
 - b. Sidewalk according to § 21-65.17.
 - c. Driveway, apron and depressed curb.

V. <u>APPROVALS</u>

Approval of this application will be conditioned upon the Applicant obtaining or providing approved documents for the following:

- 1. Freehold Soil Conservation Permit (exemption letter).
- 2. NJDEP FHA
- 3. Coastal Area Facilities Review Act (CAFRA) Zone, if required per NJDEP.

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Should you have any questions, please do not hesitate to contact me.

Very truly yours,

Caimt Roberte

Carmela Roberts, PE, CME, CPWM Land Use Board Engineer

cc:

Michael Muscillo, Borough Administrator, (mmuscillo@highlandsborough.org) Dustin F. Glass, Esq., Land Use Board Attorney (dglass@semerarolaw.com) Steve Winters, Construction Official, Floodplain Administrator (swinters@highlandsborough.org) Courtney Lopez, Zoning Officer (clopez@highlandsborough.org) Morgan Engineering & Surveying, Applicant's Engineer (daniel@morganengineeringllc.com) James Daley, AIA, Applicant's Architect (gymteedaily@aol.com) Cameron Corini, PE, CME, CPWM, Roberts Engineering Group, LLC GS Bachman, EIT, Roberts Engineering Group, LLC