

ZONING MAP

KEY MAP

N.T.S

N.T.S

GENERAL NOTES

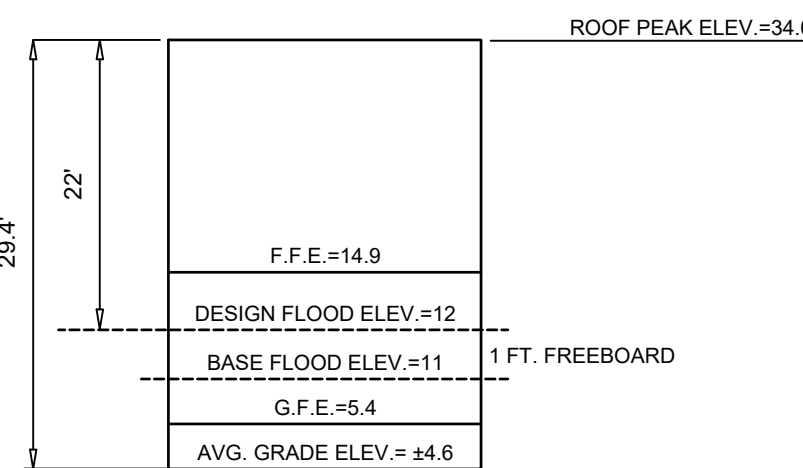
1. THIS MAP IS NOT A SURVEY.
2. THE PURPOSE OF THIS MAP IS FOR OBTAINING A USE VARIANCE FROM THE BOROUGH OF HIGHLANDS FOR THE CONSTRUCTION OF A TWO-FAMILY DWELLING WITH APPURTENANT SITE IMPROVEMENTS.
3. PROPOSED DWELLING:
LOWER LEVEL - GARAGE/STORAGE/ELEVATOR
1ST STORY - LIVING SPACE/OPEN DECK
2ND STORY - LIVING SPACE
3RD STORY - ATTIC/OFFICE DECK
4. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM A CERTAIN PLAN ENTITLED "TOPOGRAPHIC SURVEY, LOT NO. 7.01, BLOCK NO. 58, BOROUGH OF HIGHLANDS, COUNTY OF MONMOUTH, NEW JERSEY," PREPARED BY MORGAN ENGINEERING & SURVEYING, L.L.C., DATED 4/3/15, LAST REVISED 8/29/25.
5. AN UPDATED BOUNDARY AND TOPOGRAPHIC SURVEY HAS BEEN PROVIDED TO THE BOROUGH OF HIGHLANDS FOR RECORDATION AND A SURVEY ON ADJACENT LOT 6.

1. THE LOCATION OF ALL EXISTING WATERCOURSES, WOODED AREAS, EASEMENTS, RIGHTS-OF-WAY, STREETS, ROADS, HIGHWAYS, RIVERS, BUILDINGS, STRUCTURES AND ANY OTHER FEATURE ON THE PROPERTY AND WITHIN SEVENTY-FIVE (75) FEET OF THE PROPERTY LINE.

PROVIDED: LOCATION OF ALL RIGHTS-OF-WAY, STREETS, BUILDINGS AND OTHER FEATURES ON THE SUBJECT SITE AND IN THE RIGHT-OF-WAY ALONG THE FRONTAGE OF THE PROPERTY.

2. LOCATION OF ALL STRUCTURES WITHIN SEVENTY-FIVE (75) FEET OF THE PROPERTY.
PROVIDED: LOCATION OF ALL STRUCTURES ON THE SUBJECT SITE AND THE LOCATION OF THE NORTHEASTERN WALL BUILDING CORNERS OF THE DWELING ON THE ADJACENT LOT (LOT 5.01) AND SOUTHWESTERLY BUILDING CORNER AND DRIVEWAY OF ADJACENT LOT 8.
3. STORMWATER MANAGEMENT AND SANITARY SEWER REPORTS, INCLUDING PROPOSED STORM DRAINAGE AND SANITARY DISPOSAL FACILITIES; SPECIFICALLY, THE LOCATION, TYPE AND SIZE OF ALL EXISTING AND PROPOSED CATCH BASINS, STORM DRAINAGE FACILITIES, UTILITIES, SHALL ALL REQUIRED DESIGN DATA REPORTING THE ADEQUACY OF THE DRAINING OR PROPOSED FACILITIES TO HANDLE FUTURE STORM FLOWS.
PROVIDED: NONE.

PROVIDED: EXISTING CONTOURS AND SPOT ELEVATIONS ON THE SUBJECT SITE



BUILDING HEIGHT DETAIL

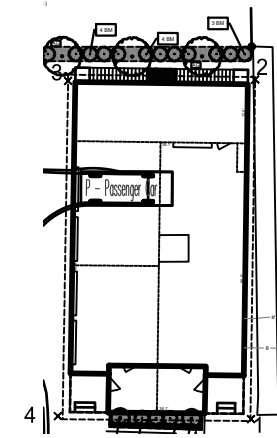
N.T.S

<u>SPOT I.D.</u>	<u>EX. ELEVATION</u>
1.	3.6
2.	4.1
3.	5.4
4.	<u>3.3</u>
TOTAL	16.4

$$18.5 \div 4 = 4.1 \text{ AVERAGE GRAD}$$

PEAK ELEV.= 34.0 - 4.1 = 29.9

BUILDING HEIGHT = 30 FT. +/-



BUILDING HEIGHT CALCULATION EXHIBIT

SCALE: 1"=4'

APPLICATION NO. 25-10 APPROVED/DISAPPROVED BY THE HIGHLANDS BOROUGH
PLANNING BOARD/BOARD OF ADJUSTMENT.

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

200' PROPERTY OWNERS LIST

2007 List Block 68 L 01 4 01 41 North Street Highlands				
Block Lot	Block	Owner	Mailing address	City, State, Zip
1339-54-1		SOVKA HELEN (ESTATE)	53 MLR AVEWAYNE	HIGHLANDS NJ 07732
1339-54-2		SOVKA HELEN (ESTATE) LLC	54 MILLER STREET	HIGHLANDS NJ 07732
1339-54-7-02		1339 LREAL ESTATE LLC	53 MILLER STREET	LITTLE SILVER NJ 07732
1339-54-7-03		1339 LREAL ESTATE LLC	54 MILLER STREET	LITTLE SILVER NJ 07732
1339-54-7-04		1339 LREAL ESTATE LLC	55 MILLER STREET	LITTLE SILVER NJ 07732
1339-54-7-05		1339 LREAL ESTATE LLC	56 MILLER STREET	LITTLE SILVER NJ 07732
1339-54-4		CONSIGLERIE LLC	P.O. BOX 412	NAVASKY NJ 07752
1339-67-12		BOROUGH OF HIGHLANDS	115 NAVASKING AVE	HIGHLANDS NJ 07732
1339-58-7-01		SOLAR POWERED 44 LLC	27 MILLER STREET	HIGHLANDS NJ 07732
1339-58-7-02		SOLAR POWERED 44 LLC	282 AVENUE A	HIGHLANDS NJ 07732
1339-58-24		HOUGHTON POWERED MANAGEMENT LLC	130 CLEVELAND AVE SUITE 366	BROOKLYN NY 11221
1339-58-26		YESSA SAUND	290 WOODWAY DRIVE	LONG BRANCH NJ 07740
1339-58-9		1616 SAY HOLIDINGS LLC	194 HWY 36 SUITE 200	ATLANTIC HIGHLANDS NJ 07716
1339-58-10		BOROUGH OF HIGHLANDS	115 NAVASKING AVE	HIGHLANDS NJ 07732
1339-57-9		KIRSCH KRAFT LLC	PO BOX 886	HAMMONTON NJ 08037
1339-64-14		CHAN TIED TO BENJAMINAP	PO BOX 399	HIGHLANDS NJ 07732
1339-67-1		TRED PROPERTIES LLC	432 MILLER STREET	HIGHLANDS NJ 07732
1339-67-2		GERGEN, KATHLEEN	4 FORTMOUTH STREET	HIGHLANDS NJ 07732
1339-67-27		UPOVCHENO OLEG	21 21ST STREET	HIGHLANDS NJ 07732
1339-67-20-01		KNOX MICHAEL	49 WATERMAN AVENUE	RUMSON NJ 07760
1339-67-16		CRACKA WILLIAM A SUSAN	14 FORTMOUTH STREET	HIGHLANDS NJ 07732
1339-67-24		CRACKA WILLIAM A SUSAN	14 FORTMOUTH STREET	HIGHLANDS NJ 07732
1339-67-28		HARTSROVER BARBARA A HEATHER	19 FORTMOUTH STREET	HIGHLANDS NJ 07732
1339-68-8		MCKELLEY BARRY & LINDA	4 FORTMOUTH STREET	HIGHLANDS NJ 07732
1339-68-12		CRACKA WILLIAM A SUSAN	17 WATERMAN AVENUE	RUMSON NJ 07760
1339-64-11		CARVALHO MANOEL A MARIA	2 SUNSET CT	FRESHRO NJ 07732
1339-64-12		DIEBOLD RICHARD	221 NAVASKING AVE	HIGHLANDS NJ 07732
1339-64-5		FLANNERY JOHN J & DANIELLE A	38 NORTH STREET	HIGHLANDS NJ 07732
1339-64-6		MORRAN MICHAELS	38 MILLER STREET	HIGHLANDS NJ 07732
1339-67-3		MAHMOUD EMMANUEL	38 MILLER STREET	HIGHLANDS NJ 07732

US 101 Bus Lanes 7.01-4.04 Hillier Street Highlands								
Block/Lane	Owner	Mailing address	City, State, Zip					
1318-47.4	SARAH SUSSAN CO J. WILSON	P.O. BOX 63	MIDTOWN NJ	07748				
1318-47.5	DOMAN MICHAEL & ANNA MAHE	1220 WOODBURY COURT	HIGHLANDS NJ	07731				
1318-47.6	HARTIGROVE REGINALD S JR	15 FIFTH STREET	HIGHLANDS NJ	07732				
1318-47.13	CAZZA WILLIAM	14 FOURTH STREET	HIGHLANDS NJ	07732				
1318-47.14	CASAZZA LUCILLE	12 FOURTH STREET	HIGHLANDS NJ	07732				
1318-47.5	LANE REALTY LLC	42 MILLER STREET	HIGHLANDS NJ	07732				
1318-54.30.1	CIREPO STEPHEN	127 OAK COURT	WOOD RIDGE NJ	07095				
1318-46.26	ANDERAPARTMENTS LLC C/O A FRANK	48 SUMMERS AVENUE	WEST LONG BRANCH NJ	07765				
1318-48.30.1	ELBERT PETER & BERNADETTE	36 MILLER STREET	HIGHLANDS NJ	07732				
1318-48.30.2	CASAZZA CARL	14 MILLER STREET	HIGHLANDS NJ	07732				
1318-48.3	PHANK BADA & GOODMAN VICTORIA	90 FIFTH STREET	HIGHLANDS NJ	07732				
1318-48.10	MIGLIA ERICA	15 FOURTH STREET	HIGHLANDS NJ	07732				
1318-48.11	MINERVA VICTORIA & BETH	17 FOURTH STREET	HIGHLANDS NJ	07732				
1318-54.9.0.1	SHANNON ENTERPRISES LLC	45 MILLER STREET	HIGHLANDS NJ	07732				
1318-54.9.0.2	SEPC-CARROLL MARIA GRACE	30 MILLER STREET	HIGHLANDS NJ	07732				
1318-44.15	SHANNON ENTERPRISES LLC	300 BAY AVENUE	HIGHLANDS NJ	07732				
1318-47.5	SCHIRO JOSEPH & PETRUCIO MARIA A	290 BRIGGTON STREET	STANTON LAND NJ	13037				
1318-47.5	THE JONES & LAURIE	12485 CANTON ROAD	STANTON NJ	07920				
1318-58.12	FISHER GARY & ELLEN	90 CLIFFSIDE WAY	RED BANK NJ	07071				
1318-46.50.1	TOMMILLER LUC	420 MILLER ST	HIGHLANDS NJ	07732				
JP&B								
300 Madison Ave	NEW JERSEY NATIONAL BANK		VERIZON COMMUNICATIONS					
PO Box 11511	ATtn: Jan Purcaro		Voice Version					
Monmouth, NJ 07960	PO Box 1644		Basking Ridge, NJ 07920					
NEW JERSEY AMERICAN WATER COMPANY								
Attn: Construction Director	1415 Wyckoff Road		TOWNSHIP OF MIDDELTON					
65 Shrewsbury	Wali, NJ 07719							
MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY								
Attn: Executive Director	200 Harbor Way		NJ 07718					
Attn: Engineering Director	200 Harbor Way							
Attn: Engineering Director	200 Harbor Way		Belford, NJ 07718					
COMCAST COMMUNICATIONS OF MONMOUTH COUNTY								

TOWN SEWERAGE AUTHORITY
J. E., Executive Director
Way

LEGEND

EXISTING	PROPOSED
TREE LINE	TREE LINE
FENCE LINE	FENCE LINE
WATER VALVE	WATER VALVE
SANITARY SEWER LINE	SANITARY SEWER LINE
SANITARY CLEANOUT	SANITARY CLEANOUT
MANHOLE	MANHOLE
GAS LINE	GAS LINE
INLET	INLET
CONTOURS	CONTOURS
MINOR	MINOR
MAJOR	MAJOR
SPOT ELEVATION	SPOT ELEVATION
SURFACE FLOW DIRECTION	SURFACE FLOW DIRECTION
LIMIT OF DISTURBANCE	LIMIT OF DISTURBANCE
SILT FENCE	SILT FENCE

PREPARED FOR: *SOLAR POWERED 44, LLC*

APP #25-10

2	11/17/25	REV PER BOROUGH MEETING COMMENTS	DTP
1	9/19/25	REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25	L.S.
REV	DATE	DESCRIPTION	BY



MORGAN
engineering & surveying

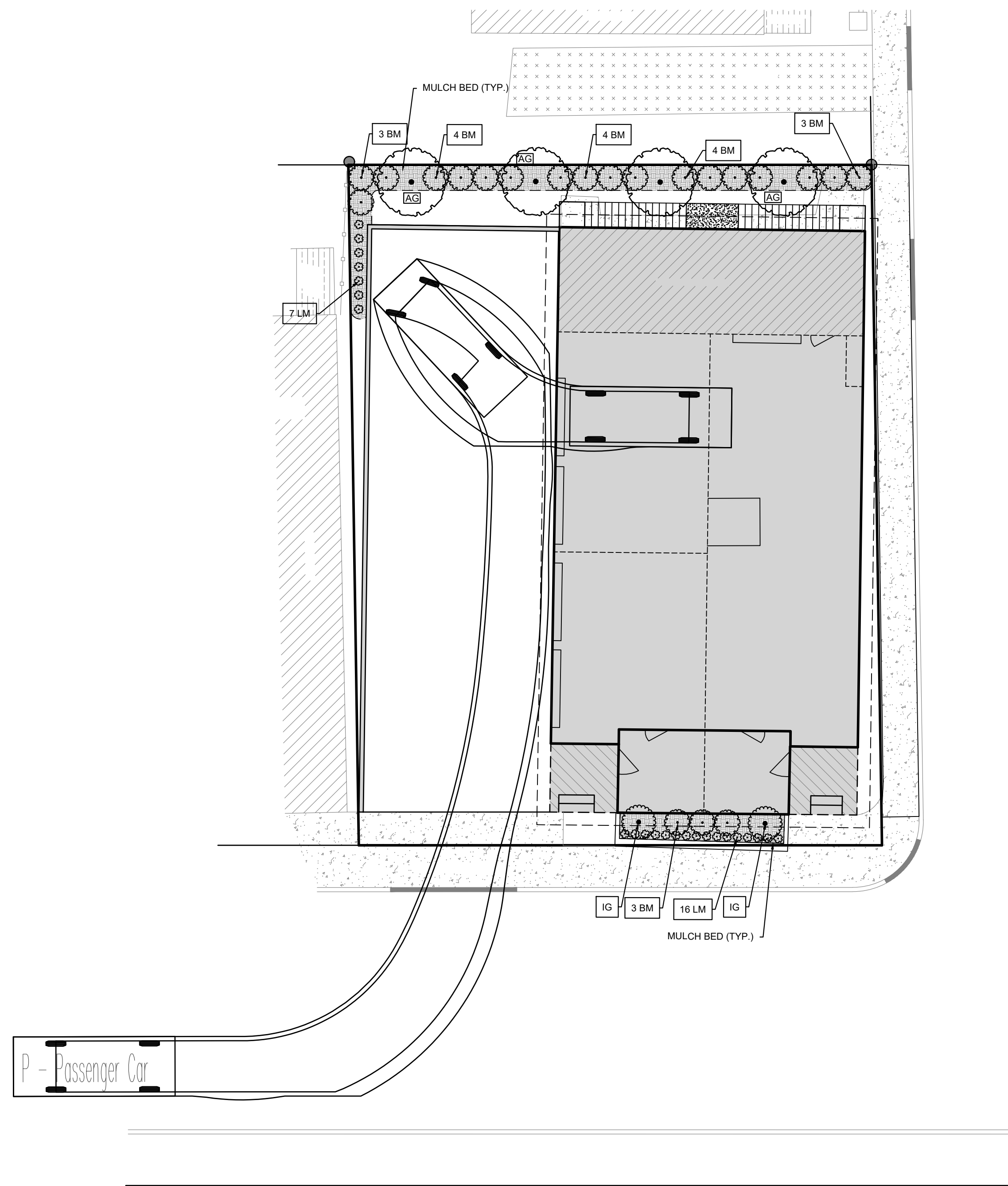
**P.O. BOX 5232
TOMS RIVER, N.J. 08754
TEL: 732-270-9690
FAX: 732-270-9691
www.morganengineeringllc.com**

DONNA M. BULLOCK
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE No. 41931

MINOR SITE PLAN W/ 'D' VARIANCE

44 MILLER STREET
7.01 BLOCK 58
BOROUGH OF HIGHLANDS

COUNTY OF MONMOUTH			NEW JERSEY		
Scale: 1"=10'	Drawn By: I S	Date: 5/7/25	JOB #: F25-00271	CAD File # VARIANCE PLAN	Sheet # 1 OF 1

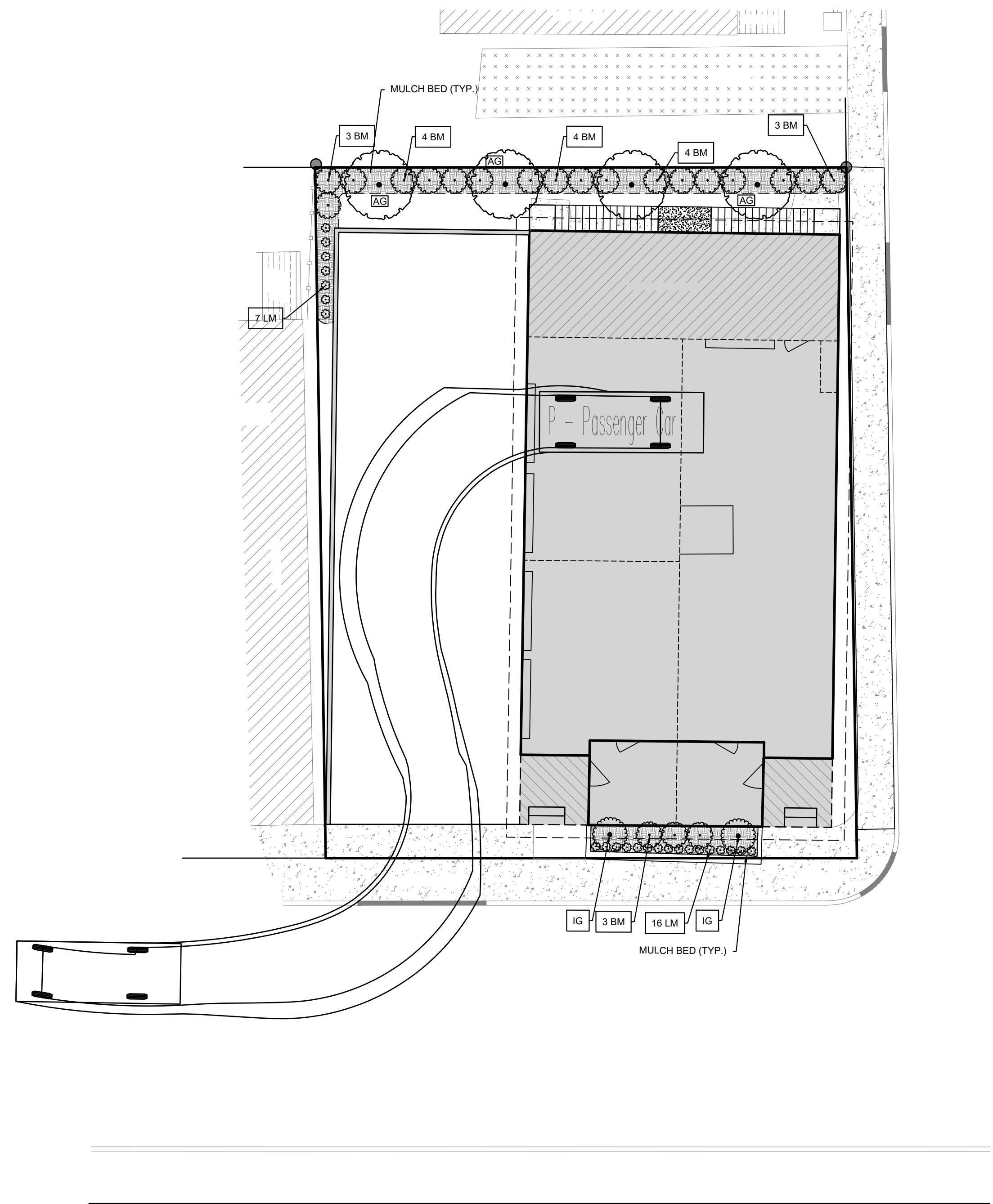


STANDARD VEHICLE

SCALE: 1"=10'



SCALE IN FEET
(1"=10')



STANDARD VEHICLE

SCALE: 1"=10'



SCALE IN FEET
(1"=10')



SCALE IN FEET
(1"=10')

ABBREVIATION
T.C./B.C. - TOP/BOTTOM CURB GRADE
T.W./B.W. - TOP/BOTTOM WALL
F.F.E. - FIRST FLOOR ELEVATION
B.F.E. - BASEMENT FLOOR ELEVATION
G.F.E. - GARAGE FLOOR ELEVATION
T.B.R. - TO BE REMOVED
N.T.S. - NOT TO SCALE

LEGEND	
EXISTING	PROPOSED
--- TREE LINE	--- TREE LINE
--- FENCE LINE	--- FENCE LINE
--- WATER LINE	--- WATER LINE
--- SANITARY SEWER LINE	--- SANITARY SEWER LINE
--- SANITARY CLEANOUT	--- SANITARY CLEANOUT
--- MANHOLE	--- MANHOLE
--- GAS LINE	--- GAS LINE
--- INLET	--- INLET
--- CONTOURS	--- CONTOURS
--- MINOR	--- MINOR
--- MAJOR	--- MAJOR
--- SPOT ELEVATION	--- SPOT ELEVATION
--- SURFACE FLOW DIRECTION	--- SURFACE FLOW DIRECTION
--- LIMIT OF DISTURBANCE	--- LIMIT OF DISTURBANCE
--- SILT FENCE	--- SILT FENCE

PREPARED FOR: SOLAR POWERED 44, LLC

APP #25-10

MORGAN
engineering & surveying

P.O. BOX 5232
TOMS RIVER, N.J. 08754
TEL: 732-270-9690
FAX: 732-270-9691
www.morganengineeringllc.com

CERTIFICATE OF AUTHORIZATION: 24GA28229800

Donna M. Bullock
DONNA M. BULLOCK
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE No. 41931

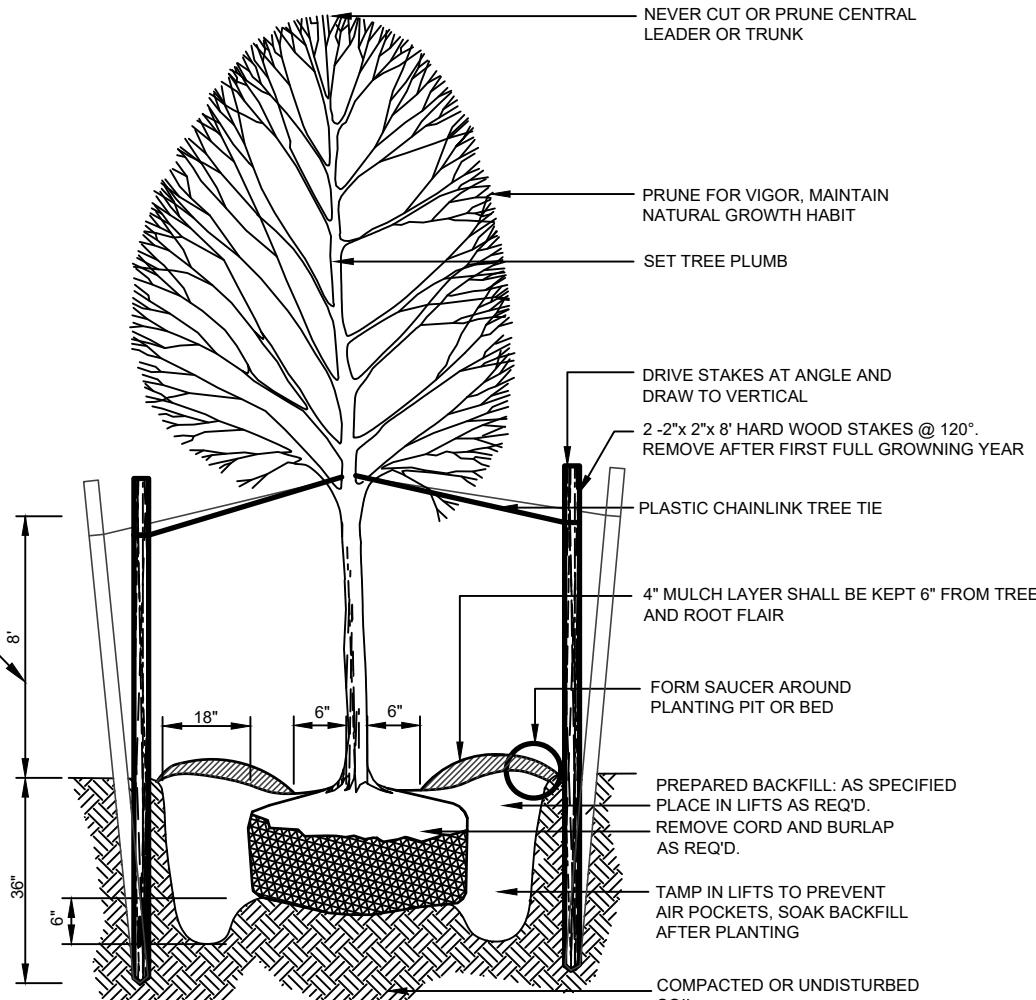
REV	DATE	DESCRIPTION	BY
VEHICLE CIRCULATION PLAN			
44 MILLER STREET			
LOT 7.01 BLOCK 58			
BOROUGH OF HIGHLANDS			
COUNTY OF MONMOUTH NEW JERSEY			
Scale: 1"=10'	Drawn By: DTP	Date: 11/17/25	Job #: E25-00271
			CAD File #: VARIANCE PLAN
			Sheet #: 2 OF 3

LANDSCAPING AND PLANTING NOTES:

- 1) THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANT MATERIALS SHOWN ON THE DRAWINGS, AS SPECIFIED, AND IN QUANTITIES INDICATED ON THE PLANT LIST. THE OWNER OR HIS AUTHORIZED REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING OPERATIONS.
- 2) STANDARDS: ALL PLANTS SHALL BE IN CONFORMANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. WITH REGARD TO SIZING AND DESCRIPTION.
- 3) QUALITY: ALL PLANTS SHALL BE NURSERY GROWN AND HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE LOCALITY OF THE PROJECT. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH. THEY SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE AND INSECT PESTS. EGGS SHALL BE REMOVED. THEY SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS.
- 4) SUBSTITUTIONS: WHEN PLANTS OF A SPECIFIED KIND OR SIZE ARE NOT AVAILABLE WITHIN REASONABLE DISTANCE, SUBSTITUTIONS MAY BE MADE UPON REQUEST BY THE CONTRACTOR, IF APPROVED BY THE TOWNSHIP ENGINEER.
- 5) SIZE: ALL PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED ON THE PLANT LIST UNLESS OTHERWISE AUTHORIZED IN WRITING BY THE TOWNSHIP ENGINEER.
- 6) PRUNING: EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH AMERICAN ASSOCIATION OF NURSERYMEN, INC. STANDARDS TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED.
- 7) ROOT SYSTEMS: BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH OF DIAMETER AND DEPTH TO INCLUDE MOST OF THE FIBROUS ROOTS. CONTAINER GROWN STOCK SHALL HAVE BEEN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER FIRM AND WHOLE. NO PLANTS SHALL BE LOOSE IN THE CONTAINER OR BALL.
- 8) PROTECTOR: ROOTBALLS, TRUNKS, BRANCHES AND FOLIAGE OF PLANTS SHALL BE ADEQUATELY PROTECTED AT ALL TIMES FROM SUN AND DRYING WINDS OR FROST. PLANTS WITH BROKEN ROOT BALLS OR EXCESSIVE DAMAGE TO THE CROWN SHALL BE REPLACED, IN KIND, PRIOR TO INSTALLATION.
- 9) MULCH/LOOSE STONE: IMMEDIATELY FOLLOWING PLANT INSTALLATION ALL TREE AND SHRUB PLANTING PITS SHALL BE COVERED WITH SHREDED HARDWOOD MULCH OR OTHER MATERIAL APPROVED BY THE TOWNSHIP ENGINEER. THE LIMITS OF THIS MULCH FOR DECIDUOUS TREES AND SINGLE EVERGREEN TREES SHALL BE THE AREA OF THE PIT. FOR EVERGREEN TREES CLUSTER OR SHRUB MASSES.
- 10) ANTI-DESICCANT SPRAY: TREES AND WHEN PLANTED IN LEAF SHALL BE TREATED WITH ANTI-DESICCANT SUCH AS "WILT PROOF".
- 11) PLANTING MIX BEFORE BACKFILLING: THE TOPSOIL BACKFILL MIXTURE SHALL BE PREPARED AND MIXED TO THE FOLLOWING PROPORTIONS: DECIDUOUS PLANTS - TWO PARTS BY VOLUME OF TOPSOIL, ONE PART ORGANIC FERTILIZER, ONE PART BONE MEAL, PER CUBIC YARD. EVERGREEN PLANTS - THREE PARTS BY VOLUME OF TOPSOIL AND ONE PART ORGANIC COMPOST. FERTILIZER - TO THE ABOVE MIXTURES, ADD THREE POUNDS OF SPECIFIED COMMERCIAL FERTILIZER FOR TREES UP TO THREE INCHES IN CALIPER AND ONE POUND PER INCH OF CALIPER FOR LARGER TREES. SHRUBS SHALL BE FERTILIZED WITH SIX (6) OUNCES OF FERTILIZER FOR SHRUBS FOUR FEET (4') AND OVER.
- 12) STAKING AND GUYING: ALL TREES SHALL BE STAKED AND GUYED ACCORDING TO ACCEPTED INDUSTRY PRACTICE.
- 13) LAYOUT: THE CONTRACTOR SHALL LAY OUT WITH IDENTIFIABLE STAKES. THE LOCATION OF ALL PLANTS AND THE ARRANGEMENT OF PLANTING BEDS AS INDICATED ON THE DRAWINGS. THE LAYOUT OF PLANTING SHALL BE APPROVED BY THE TOWNSHIP ENGINEER PRIOR TO ANY EXCAVATION OF PLANTING PITS OR PREPARATION OF PLANTING BEDS. ALL PLANTING SHALL BE THE LOCATIONS INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT THE CORRECT GRADES, ALIGNMENT AND LAYOUT OF PLANTING BEDS. MINOR ADJUSTMENTS TO TREE LOCATIONS MAY BE NECESSARY DUE TO FIELD CONDITIONS AND FINAL GRADING. THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP ENGINEER IF MAJOR ADJUSTMENTS ARE ANTICIPATED.
- 14) ADVERSE CONDITIONS: THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP ENGINEER IN WRITING OF ANY SOIL OR DRAINAGE CONDITIONS WHICH THE CONTRACTOR CONSIDERS DETRIMENTAL TO PLANT GROWTH. THE DOCUMENTED CONDITIONS SHALL INCLUDE A PROPOSAL FOR CORRECTING THE SITUATION, INCLUDING ANY CHANGE IN COST FOR REVIEW AND ACCEPTANCE BY THE TOWNSHIP ENGINEER.
- 15) QUANTITY: THE QUANTITY OF PLANTS INDICATED IN THE PLANT SCHEDULE IS FOR GENERAL REFERENCE ONLY. THE CONTRACTOR SHALL OBTAIN QUANTITIES FOR PRICING BY COMPILING NUMBERS FROM THE PLANTS ILLUSTRATED ON THE DRAWINGS. SHOULD THERE BE A DISCREPANCY BETWEEN THE DRAWINGS AND THE PLANT SCHEDULE, THE QUANTITIES ILLUSTRATED ON THE DRAWINGS SHALL TAKE PRECEDENCE.
- 16) GUARANTEE: ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR FOR A TWO (2) YEARS FROM THE DATE OF INSTALLATION. THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE UNLESS OTHERWISE AGREED BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MONITOR THE PROJECT DURING THE GUARANTEE PERIOD AND NOTIFY THE OWNER IN WRITING IF PROBLEMS ARE OCCURRING OR SITUATIONS DEVELOP THAT APPEAR DETRIMENTAL TO THE PLANT MATERIAL. ANY PLANT MATERIAL THAT IS 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND MUST BE REPLACED AT NO CHARGE TO THE OWNER. A TREE SHALL BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK OR THERE IS 25% OF THE CROWN DEAD.
- 17) THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND MAINTAINING ALL LANDSCAPING AND VEGETATION DURING THE DURATION OF CONSTRUCTION AND UNTIL FINAL PAYMENT.
- 18) ROOT BALLS SHALL BE PLACED ATOP UNDISTURBED SUBGRADE.
- 19) NO CHEMICAL FERTILIZER SHALL BE ADDED UNTIL THE TREE HAS BEEN PLANTED FOR ONE(1) YEAR.
- 20) NO TOPSOIL SHALL BE REMOVED FROM THE SITE OR USED AS SPOIL, EXCEPT AS MAY BE PROVIDED FOR IN A SOIL REMOVAL PERMIT. ALL TOPSOIL SHALL BE REDISTRIBUTED ON-SITE. ALL REGARDED AREAS AND LAWN AREAS SHALL BE COVERED BY A FOUR (5) INCH MINIMUM THICKNESS OF TOPSOIL PER SOIL EROSION REGULATIONS. SHEET 7-8.
- 21) NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN PROTECTED ROOT ZONE OF ANY TREE OR SHRUB PER SOIL EROSION REGULATIONS.
- 22) ALL TREE STUMPS AND OTHER TREE PARTS ARE TO BE REMOVED FROM THE SITE. NO TREE STUMPS, PORTIONS OF A TREE TRUNKS OR LIMBS SHALL BE BURIED ANYWHERE IN THE DEVELOPMENT.
- 23) THE DEVELOPER SHALL SELECTIVELY THIN AND REMOVE ALL DEAD AND DYING VEGETATION.
- 24) THE HOLE IN WHICH THE TREE IS TO BE PLANTED MUST BE 1/2" LARGER IN WIDTH AND DEPTH THAN THE ROOT BALL.
- 25) THE NURSERY SHALL ATTACH IDENTIFICATION TAGS OF THE EXACT VARIETY OF VEGETATION TO AT LEAST ONE PLANT OF EACH VARIETY.
- 26) TREE PROTECTION SHALL BE IN CONFORMANCE WITH SOIL EROSION STANDARDS AND APPROVED SOIL EROSION PLANS AS PART OF THIS SET.
- 27) SHADE TREES SHALL HAVE NO BRANCHES LOWER THAN 7 FEET ABOVE GRADE.
- 28) ALL DEAD OR SEVERELY DECLINING PLANTS SHALL BE REPLANTED WITHIN THE NEXT GROWING SEASON FOR 1 YEAR FROM THE TIME OF PLANTING.
- 29) ALL STAKES AND GUYS SHALL BE REMOVED AFTER ONE GROWING SEASON.
- 30) BURLAP AND TWINE SHALL BE REMOVED FROM THE TOP OF THE ROOT BALL.
- 31) ADDITIONAL PLANTINGS MAY BE PROPOSED IN THE BUFFER AREAS IF THE TOWNSHIP ENGINEER REQUIRES AFTER CLEARING AND CONSTRUCTION OF THE BUILDING.
- 32) A TREE REMOVAL PERMIT SHALL BE OBTAINED PRIOR TO THE REMOVAL OF ANY TREES.

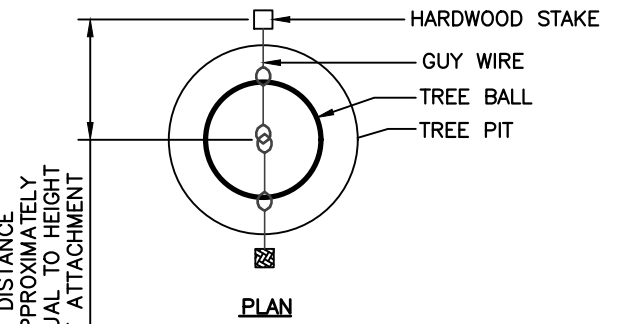
LANDSCAPE SCHEDULE

QUANTITY	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COMMENT
1	AG	4	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	3'-4" B & B
2	BM	18	BUXUS MICROPHYLLA	LITTLELEAF BOXWOOD	12"-18" CONT.
3	IG	2	ILEX GLABRA	INKBERRY HOLLY	21"-24" CONT.
4	LM	7	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	21"-24" CONT.



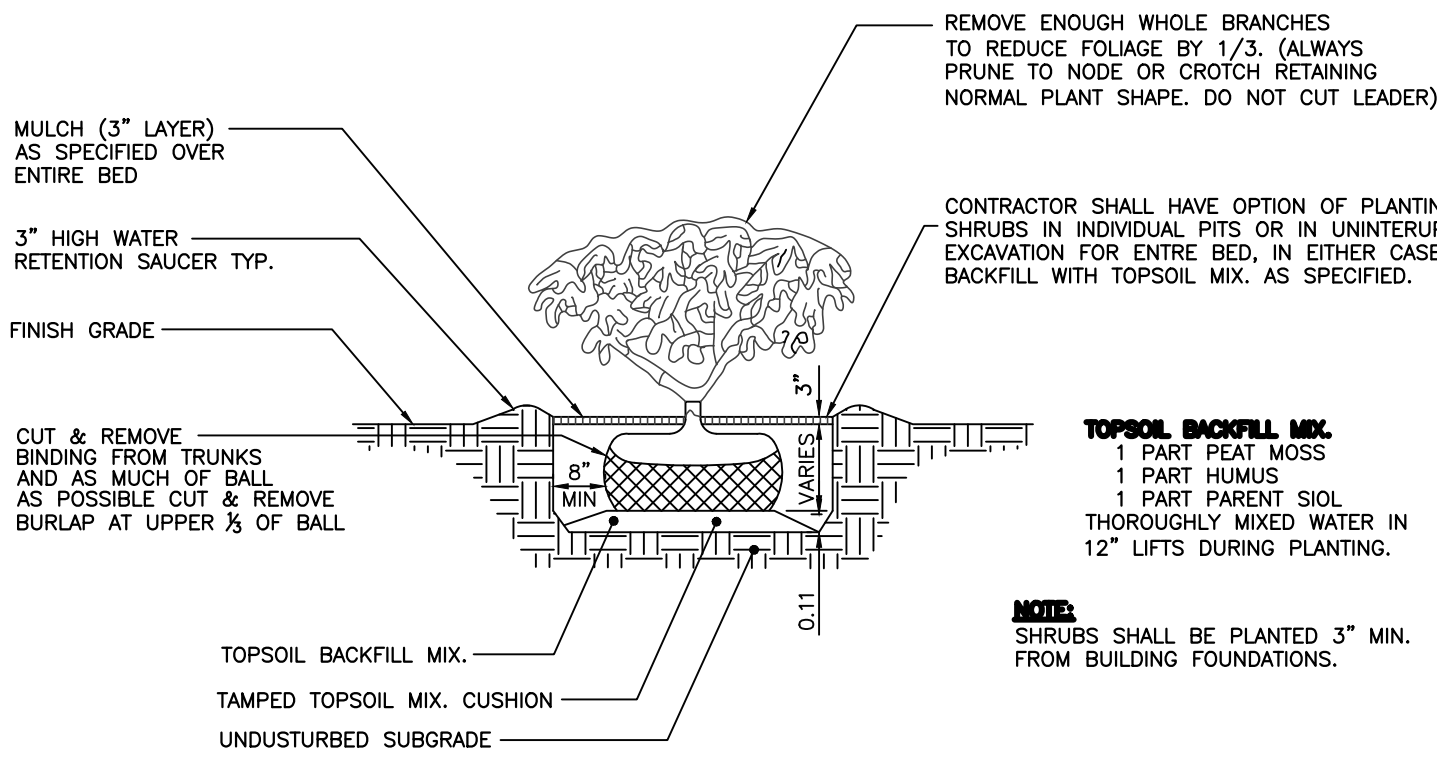
DECIDUOUS TREE PLANTING

N.T.S.



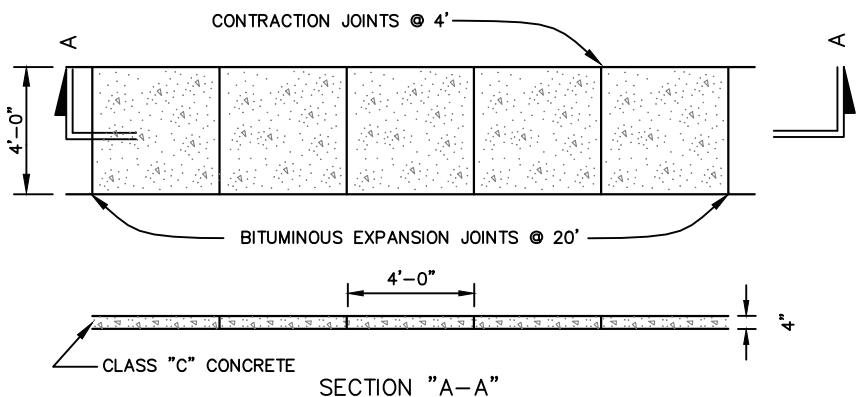
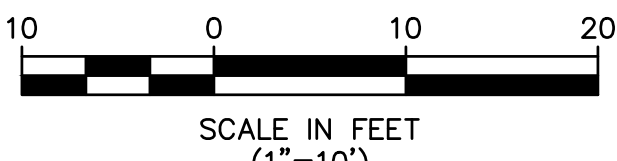
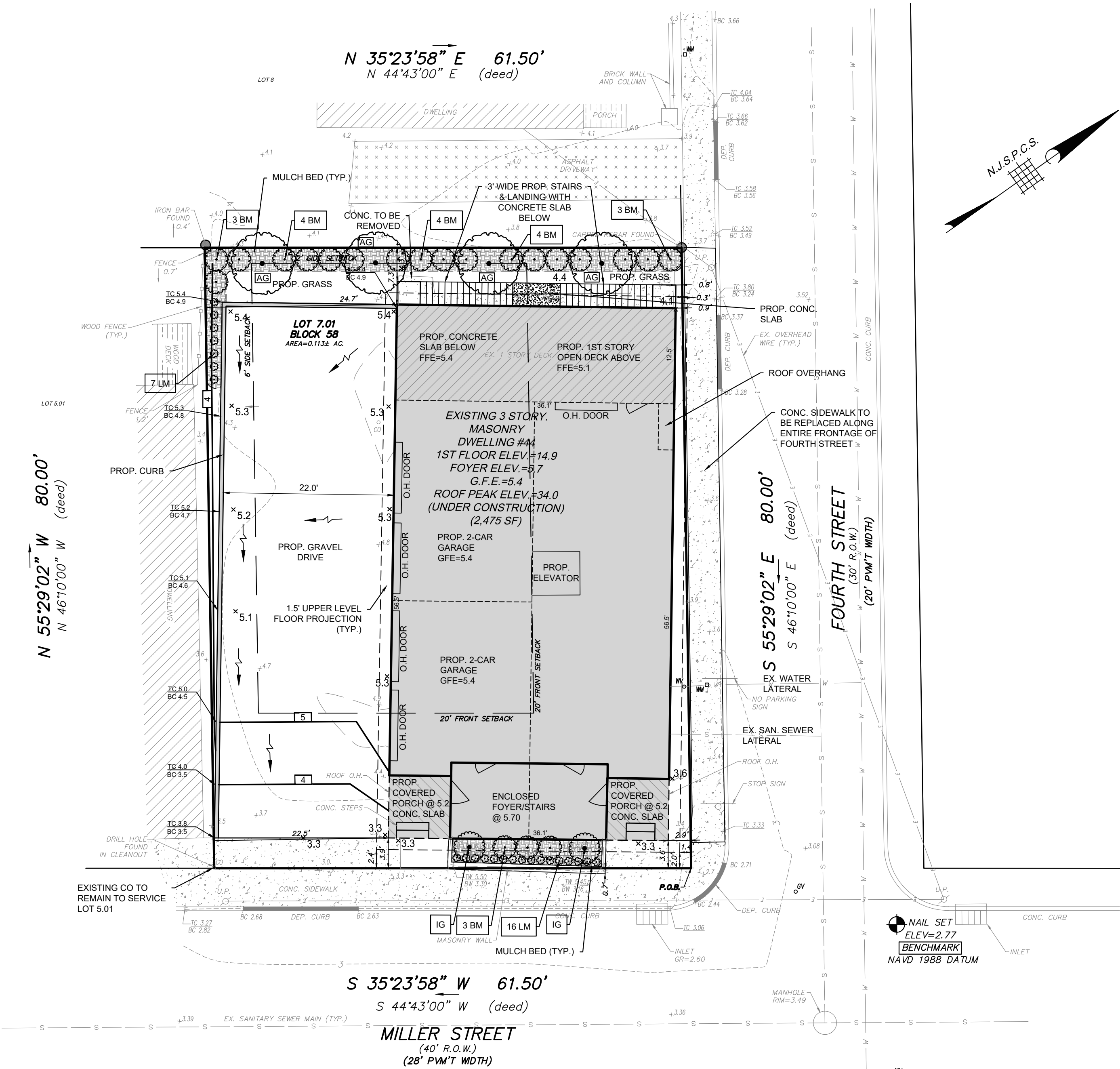
NOTE:

1. CENTRAL LEADER SHALL NOT BE CUT
2. ON SLOPES, PLACE SINGLE STAKE DOWNHILL
3. CONTRACTOR SHALL PARTIALLY FILL W/ WATER A REPRESENTATIVE # OF PITS IN EACH AREA OF THE PROJECT PRIOR TO PLANTING TO DETERMINE IF THERE IS ADEQUATE PERCOLATION. IF THE PIT DOESN'T PERCOLATE, MEASURE MUST BE TAKEN TO ASSURE PROPER DRAINAGE BEFORE PLANTING.
4. CONTRACTOR SHALL REMOVE STAKING, GUYING, & WRAP AT END OF GUARANTEE PERIOD. ALL PLANTING MUST BE GUARANTEED FOR ONE FULL GROWING SEASON FROM THE TIME OF FINAL ACCEPT. BY THE TOWNSHIP ENGINEER.



SHRUB PLANTING

N.T.S.

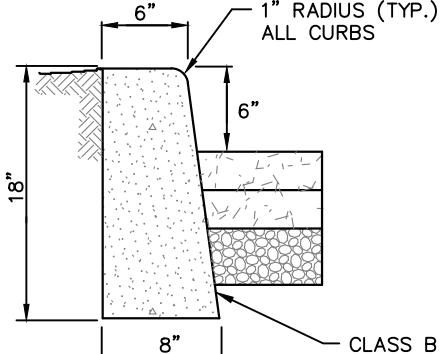


SIDEWALK NOTES:

1. A PREFORMED, BITUMINOUS EXPANSION JOINT 1/2" THICK, 4" WIDE, AND EXTENDING THE FULL WIDTH OF THE WALK, UNBROKEN, SHALL BE INSTALLED EVERY 20 FEET. CONTRACTION JOINTS SHALL BE INSTALLED EVERY 4 FEET THE FULL WALK WIDTH.
2. THERE SHALL BE A FLOAT FINISH WITH THE EDGES FINISHED WITH A SUITABLE TOOL.

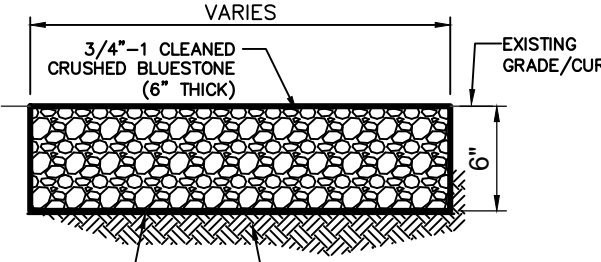
SIDEWALK DETAIL

N.T.S.



CONCRETE CURB DETAIL

N.T.S.



PROPOSED STONE DRIVEWAY SECTION

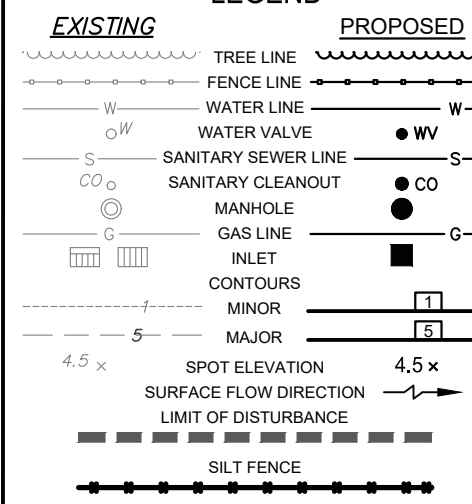
N.T.S.

NOTES:

1. EXPANSION JOINTS SHALL BE CONSTRUCTED 20' ON CENTER, AND CONTRACTION JOINTS SHALL BE CONSTRUCTED 10' ON CENTER. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS IMPREGNATED FIBER FILLER, COMPLYING WITH ALL OF THE REQUIREMENTS OF AASHTO SPEC. M 213, RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB. ALL JOINTS TO BE FULL DEPTH OF 18".

ABBREVIATION
T.O.B. - TOP/BOTTOM CURB GRADE
T.W. / B.W. - TOP/BOTTOM WALL
F.F.E. - FIRST FLOOR ELEVATION
B.F.E. - BASEMENT FLOOR ELEVATION
G.F.E. - GARAGE FLOOR ELEVATION
T.B.R. - TO BE REMOVED
N.T.S. - NOT TO SCALE

LEGEND



PREPARED FOR: SOLAR POWERED 44, LLC

APP #25-10



DONNA M. BULLOCK
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE NO. 41931

P.O. BOX 5232
TOMS RIVER, N.J. 08754
TEL: 732-270-9690
FAX: 732-270-9691
www.morganengineeringllc.com

REV	DATE	DESCRIPTION	BY

LANDSCAPE PLAN & DETAILS
44 MILLER STREET
LOT 7.01 BLOCK 58
BOROUGH OF HIGHLANDS
COUNTY OF MONMOUTH NEW JERSEY
Scale: 1"=10' Drawn By: Date: 11/17/25 JOB #: E25-0027D CAD File #: Sheet # 3 OF 3