

200' List Block 58 Lot 7.01 44 Miller Street Highlands					200' List Block 58 Lot 7.01 44 Miller Street Highlands				
Block Lot Qual	Owner	Mailing address	City, State, Zip	Block Lot Qual		Mailing address	City, State, Zip		
1319-54-1	SOYKA HELEN (ESTATE)	150 BAY AVENUE	HIGHLANDS NJ 07732	1319-57-4	STARK SUSAN C/O T. WILSON	P.O. BOX 63	MIDDLETOWN NJ 07748		
1319-54-7.011	LDN REAL ESTATE LLC	55 MILLER STREET	LITTLE SILVER NJ 07739	1319-57-2	FELDMAN MICHAEL & ANNA MARIE	12 DOGWOOD COURT	CLIFFWOOD NJ 07721		
1319-54-7.012	LDN REAL ESTATE LLC	53 MILLER STREET	LITTLE SILVER NJ 07739	1319-57-10	HARTSGROVE REGINALD S H JR	15 FIFTH STREET	HIGHLANDS NJ 07732		
319-54-7.013	LDN REAL ESTATE LLC	51 MILLER STREET	LITTLE SILVER NJ 07739	1319-57-13	CAIZZA WILLIAM	14 FOURTH STREET	HIGHLANDS NJ 07732		
1319-54-7.014	LDN REAL ESTATE LLC	55 MILLER STREET	LITTLE SILVER NJ 07739	1319-57-14	CASAZZA LUCILLE	12 FOURTH STREET	HIGHLANDS NJ 07732		
319-54-7.015	LDN REAL ESTATE LLC	55 MILLER STREET	LITTLE SILVER NJ 07739	1319-57-1	AME REALTY LLC	42 MILLER STREET	HIGHLANDS NJ 07732		
319-54-4	CONSIGLIERE LLC	P.O. BOX 412	NAVESINK NJ 07752	1319-54-3.01	CIRECO STEPHEN	127 OAK STREET	WOOD RIDGE NJ 07075		
319-57-12	BOROUGH OF HIGHLANDS	151 NAVESINK AVE	HIGHLANDS NJ 07732	1319-58-26	ANDREW APARTMENTS LLC C/O A FRANK	48 SUMMERS AVENUE	WEST LONG BRANCH NJ 07764		
319-58-7.01	SOLAR POWERED 44 LLC	27 MILLER STREET	HIGHLANDS NJ 07732	1319-58-3.01	ELBERT PETER & BERNADETTE	50 MILLER STREET	HIGHLANDS NJ 07732		
319-58-23.01	DOCSIDE LLC	182 BAY AVENUE	HIGHLANDS NJ 07732	1319-57-18.01	CALDAS MARK	20 4TH STREET	HIGHLANDS NJ 07732		
.319-58-24	HIGHLANDS POSTAL MANAGEMENT LLC	130 LEE AVENUE SUITE 356	BROOKLYN NY 11211	1319-58-9	PAHK DAVID & GOODMAN VICTORIA	11 FOURTH STREET	HIGHLANDS NJ 07732		
319-58-25	YEUNG SAU WAN	29 WOODLEY AVENUE	LONG BRANCH NJ 07740	1319-58-10	MIOLLA ERICA	15 FOURTH STREET	HIGHLANDS NJ 07732		
319-59-9	165 BAY HOLDINGS LLC	1041 HWY 36 SUITE 200	ATLANTIC HIGHLANDS NJ 07716	1319-58-11	MINERVA VICTOR & BETH	17 FOURTH STREET	HIGHLANDS NJ 07732		
319-59-10	BOROUGH OF HIGHLANDS	151 NAVESINK AVE	HIGHLANDS NJ 07732	1319-54-9.011	SMITH SIMON	34 NORTH STREET	HIGHLANDS NJ 07732		
319-57-9	KIRSH KRAFT LLC	PO BOX 886	HAMMONTON NJ 08037	1319-54-9.012	SEPE-CAPUTI MARIA GRACE	45 MILLER STREET	HIGHLANDS NJ 07732		
319-54-14	CHAN TED & BENJAMAPAT	33 MILLER STREET	HIGHLANDS NJ 07732	1319-54-15	SHANNON ENTERPRISES LLC	300 BAY AVENUE	HIGHLANDS NJ 07732		
1319-58-1	TKB PROPERTIES LLC	12 MILLER STREET	HIGHLANDS NJ 07732	1319-57-5	SCHIRO JOSEPH & PETRUCCI MARIA A	290 BRIGHTON STREET	STATEN ISLAND NY 10307		
1319-57-11	FITZGERALD SUZANNE	8 FOURTH STREET	HIGHLANDS NJ 07732	1319-54-13	KERWICK THOMAS & LAURA	24 BROOKLAKE ROAD	FLORHAM PARK NJ 07932		
319-57-27	LIPOVCHENKO OLEG	21 FIFTH STREET	HIGHLANDS NJ 07732	1319-58-12	FISHER GARY & ELLEN	90 CLIFFEDGE WAY	RED BANK NJ 07701		
319-57-20.01	KNOX MICHAEL	49 WATERMAN AVENUE	RUMSON NJ 07760	1319-58-5.01	TOMMILLER LLC	48 MILLER ST	HIGHLANDS NJ 07732		
319-57-15	CAIZZA WILLIAM & SUSAN	14 FOURTH STREET	HIGHLANDS NJ 07732						
319-57-16	MISITA JOSEPH	16 4TH STREET	HIGHLANDS NJ 07732	JCP&L					
319-57-28	HARTSGROVE BARBARA A & HEATHER	19 FIFTH STREET	HIGHLANDS NJ 07732	300 Madison Avenue PO Box 1911 NEW JERSEY NATURAL GAS COMPANY VERIZO			MPANY		
319-58-8	MCKELLER BARRY & LINDA	9 FOURTH STREET	HIGHLANDS NJ 07732	Morristown, NJ 07960		Attn: Joan Purcaro	VERIZON COMMUNICATION	IS	
319-54-10	HONNOLD KRISTA & THOMAS BURKE	71 WATERMAN AVENUE	RUMSON NJ 07760			PO Box 1464	One Verizon Way Basking Ridge, NJ 07920		
319-54-11	CARVALHO MANUAL & MARIA	5 SUNSET CT	FREEHOLD NJ 07728		AMERICAN WATER COMPANY	1415 Wyckoff Road	basking hluge, NJ 07920		
319-54-12	DIEBOLD RICHARD	221 NAVESINK AVE	HIGHLANDS NJ 07732		ction Department	Wall, NJ 07719		TOWNSHIP OF MIDDLETOWN SEWERAGE AUT	
319-54-5	FLANNERY JOHN M. & DANIELLE A.	38 NORTH STREET	HIGHLANDS NJ 07732	661 Shrewsbu Shrewsbury, N	•	MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY J. Nierstedt, P.E., Executive Director			
319-54-16	MURRAY MICHAELS	29 MILLER STREET	HIGHLANDS NJ 07732	Jili Cwabary, N	3,732	Attn: Executive Director	PO Box 205, 100 Beverly Wa	ıÀ	

Eatontown, NJ 07724

Ron Bertrand, Construction Foreman

COMCAST COMMUNICATIONS OF MONMOUTH COUNTY 200 Harbor Way

PO Box 184

Belford, NJ 07718

Belford, NJ 07718

HIGHLANDS NJ 07732

SCALE: 1"=150'

PROPOSEI

4,920 S.F.

70.75**

80 FT

61.50 FT.

0.9 FT.**

3.6 FT.**

-0.7' **

N.C.

7.3 F1

22.5 FT.

41.3%**

53.7%

0.8 FT.**

30 FT.+/-

PROPOSED

PROPOSED

167 S.F.

46 S.F.

2,642 S.F.

4,920 S.F.

SHEET INDEX

ZONE R-2.02 REQUIREMENTS

REQUIRED

*** - PER § WHERE A DWELLING IS CONSTRUCTED OR RECONSTRUCTED TO

PROVIDE THE REQUIRED PARKING UNDER THE STRUCTURE, THE MAXIMUM

EXISTING

2,032 S.F.

41.3%

EXISTING

2,032 S.F.

236 S.F.

443 S.F.

55.1%

PROVIDED: 2 GARAGE SPACES/UNIT = 4 SPACES TOTAL - COMPLIES

SHEET DESCRIPTION

VEHICLE CIRCULATION PLAN

TITLE SHEET

LANDSCAPE PLAN

ABBREVIATION

TC / BC - TOP/BOTTOM CURB GRADE

B.F.E. - BASEMENT FLOOR ELEVATION

G.F.E. - GARAGE FLOOR ELEVATION

TW / BW - TOP/BOTTOM WALL

T.B.R. - TO BE REMOVED

N.T.S. - NOT TO SCALE

F.F.E. - FIRST FLOOR ELEVATION

REQUIRED: 1.5 SPACES/UNIT FOR TWO-BEDROOM UNIT

2 UNITS X 1.5 SPACES = 3.0 SPACES REQUIRED

LOT COVERAGE

2.032 S.F. N.C.

4.920 S.F.

BUILDING HEIGHT SHALL BE INCREASED BY TWO AND ONE-HALF $(2\frac{1}{2})$ FEET.

4,000 S.F.

MIN. LOT AREA

MIN. LOT DEPTH

MIN. LOT FRONTAGE/WIDTH

FOURTH STREET

MILLER STREET

FOURTH STREET

MILLER STREET

MASONRY WALL

FOURTH STREET

MILLER STREET

MAX. BUILDING COVERAGE

MIN. DECK/STAIRS SETBACK

DESCRIPTION

OT AREA

DESCRIPTION

CONCRETE

LOT AREA

CURB

BUILDING COVERAG

ELEV. CONC. DECK

TOTAL IMPERVIOUS

PARKING CRITERIA:

LOT COVERAGE

IMPERVIOUS LOT COVERAGE 2,711 S.F.

TOTAL BUILDING

- EXISTING NON-CONFORMING

BUILDING LOT COVERAGE

MIN. SIDE SETBACK

MAX. LOT COVERAGE

BUILDING HEIGHT***

ON-SITE PARKING

N.C. - NO CHANGE

IIN. FRONT SETBACK:

EXISTING

4,920 S.F.

70.75 FT.*

80 FT.

61.50 FT.

1.1 FT.*

3.3 FT.*

20 FT.

24.5 FT.

7.3/29.8 FT.

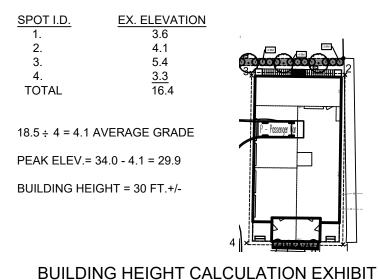
TAX MAP INFORMATION TAKEN FROM "TAX MAP" BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY" SHEET

<u>NUMBER #13</u>

TAX MAP ZONING MAP

VARIANCES REQUIRED:

- 1. REQUIRED: FRONT YARD SETBACK (FOURTH STREET) = 20 FT. EXISTING & PROPOSED: FRONT YARD SETBACK (FOURTH STREET) = 0.9 FT.
- 2. REQUIRED: FRONT YARD SETBACK (MILLER STREET) = 20 FT. EXISTING & PROPOSED: FRONT YARD SETBACK (MILLER STREET) = 3.6 FT
- REQUIRED: FRONT YARD SETBACK (MILLER STREET RET. WALL) = 20 FT.
- EXISTING & PROPOSED: FRONT YARD SETBACK (MILLER STREET RET.) = -0.9 FT. REQUIRED: FRONT YARD SETBACK STEPS/LANDING (FOURTH ST) = 3 FT.
- EXIST. & PROPOSED: FRONT SETBACK STEPS/LANDING (FOURTH STREET) = 0.8 FT. 5. REQUIRED: MAXIMUM BUILDING COVERAGE IS 33%
- 6. REQUIRED: TWO-FAMILY DWELLINGS ARE NOT PERMITTED IN THE R-2.02 ZONE.
- EXISTING & PROPOSED: TWO-FAMILY DWELLING IN THE R-2.02 ZONE
- PROVIDED: LOCATION OF ALL STRUCTURES ON THE SUBJECT SITE AND THE LOCATION OF THE NORTHEASTERN WALL/BUILDING CORNERS OF THE DWELLING ON THE ADJACENT LOT (LOT 5.01) AND SOUTHWESTERLY BUILDING CORNER AND
- STORM DRAINAGE AND SANITARY DISPOSAL FACILITIES; SPECIFICALLY, THE LOCATION, TYPE AND SIZE OF ALL EXISTING AND PROPOSED CATCH BASINS, STORM DRAINAGE FACILITIES, UTILITIES, PLUS ALL REQUIRED DESIGN DATA SUPPORTING THE ADEQUACY OF THE EXISTING OR PROPOSED FACILITIES TO HANDLE FUTURE STORM FLOWS.



APPLICATION NO. 25-10 APPROVED/DISAPPROVED BY THE HIGHLANDS BOROUGH PLANNING BOARD/BOARD OF ADJUSTMENT.

SECRETARY

CERTIFICATE OF AUTHORIZATION: 24GA28229800 & surveying | www.morganengineeringllc.com

NEW JERSEY PROFESSIONAL ENGINEER

LICENSE No. 41931

W/ 'D' VARIANCE

KEY MAP

2. THE PURPOSE OF THIS MAP IS FOR OBTAINING A USE VARIANCE FROM THE

4. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM A

5. AN UPDATED BOUNDARY AND TOPOGRAPHIC SURVEY HAS BEEN PROVIDED TO

LOCATED THE EXISTING DWELLING AND DRIVEWAY ON ADJACENT LOT 8.

CERTAIN PLAN ENTITLED "TOPOGRAPHIC SURVEY, LOT NO. 7.01, BLOCK NO. 58,

BOROUGH OF HIGHLANDS, COUNTY OF MONMOUTH, NEW JERSEY," PREPARED BY

MORGAN ENGINEERING & SURVEYING, LLC, DATED 4/3/25, LAST REVISED 8/29/25.+

PER THE STATE OF NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION

7. PROPERTY IS LOCATED IN FLOOD ZONE AE ELEV. 11 AS SHOWN ON CURRENT FIRM

9. NO NEW SEWER & WATER OR GAS CONNECTIONS ARE REQUIRED FOR THE

PROPERTY IS LOCATED IN FLOOD ZONE AE ELEV. 11 AS SHOWN ON PRELIMINARY

PROPOSED DWELLING. EXISTING SEWER AND WATER LATERALS TO BE UTILIZED.

10. EXISTING UTILITIES TO BE MARKED OUT PRIOR TO THE START OF CONSTRUCTION.

11. ALL ELEVATIONS ARE IN NAVD 1988 DATUM THROUGH GPS OBSERVATIONS USING

14. MORGAN ENGINEERING HAS NOT EVALUATED THE SUBSURFACE SOIL CONDITIONS TO ASCERTAIN THE DEPTH TO GROUNDWATER OR THE SEASONAL HIGH WATER

TABLE WITHIN THE FOOTPRINT OF THE DWELLING. THE HOMEOWNER, OR THEIR

WITH RESPECT TO SEPARATION TO THE SEASONAL HIGH WATER TABLE. SHOULD

THIS TESTING PRODUCE RESULTS IN CONFLICT WITH THE PROPOSED DESIGN, THE

CONSTRUCTION AND MUST BE REPAIRED AND/OR REPLACED TO THE SATISFACTION

STREET. NO RUNOFF FROM THE ROOF LEADERS SHALL DISCHARGE TO ADJACENT

REPRESENTATIVE, SHALL COORDINATE WITH A QUALIFIED PROFESSIONAL TO ENSURE THE CONSTRUCTION COMPLIES WITH THE NEW JERSEY BUILDING CODE

12. THIS PROPERTY IS LOCATED WITHIN THE R-2.02 (SINGLE FAMILY RESIDENTIAL)

13. TWO-FAMILY DWELLINGS ARE NOT PERMITTED IN THE R-2.02 SINGLE FAMILY

UNDERSIGNED PROFESSIONAL SHOULD BE NOTIFIED IMMEDIATELY.

16. APPLICANT IS RESPONSIBLE FOR ANY DAMAGE TO ANY/ALL EXISTING CURB,

17. ALL ROOF LEADERS ARE TO BE DIRECTED TOWARD FOURTH STREET AND MILLER

18. MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS SHOULD BE ABOVE LOCAL

SIDEWALK, ROADWAY AND OTHER OFF-SITE OBJECTS MADE DURING

OF THE BOROUGH ENGINEER AND COSTS PAID BY THE APPLICANT.

BUREAU OF GIS' NJ-GEOWEB INTERACTIVE MAPPING APPLICATION, WETLANDS DO

LOWER LEVEL - GARAGE/STORAGE/ELEVATOR

1ST STORY - LIVING SPACE/OPEN DECK

NOT APPEAR TO EXIST ON THE SUBJECT PROPERTY.

MAP #34025C0088H, DATED 6/15/2022.

LEICA RTK GPS NETWORK.

FIRM MAP #34025C0088J, DATED 1/31/2014.

15. LIMIT OF DISTURBANCE = 1,500 S.F. / 0.034 AC.

DESIGN FLOOD ELEVATION (LDFL).

PROPERTY.

BOROUGH OF HIGHLANDS FOR THE CONSTRUCTION OF A TWO-FAMILY DWELLING

GENERAL NOTES:

THIS MAP IS NOT A SURVEY.

PROPOSED DWELLING:

WITH APPURTENANT SITE IMPROVEMENTS.

2ND STORY - LIVING SPACE

3RD STORY - ATTIC/OPEN DECK

44 MILLER STREET

LOT 7.01 BLOCK 58

DATE

COUNTY OF MONMOUTH

NEW JERSEY
 Drawn By:
 Date:
 JOB #.
 CAD File #
 Sheet #

 L.S.
 5/7/25
 E25-00271
 VARIANCE PLAN
 1 OF 1

LEGEND <u>PROPOSED</u> TREE LINE WWW. _____ W—____ WATER LINE ———— W— WATER VALVE • WV — S—— SANITARY SEWER LINE ————S— SANITARY CLEANOUT • CO MANHOLE —— Ğ—— GAS LINE -CONTOURS $4.5 \times$ SPOT ELEVATION $4.5 \times$ SURFACE FLOW DIRECTION — LIMIT OF DISTURBANCE _____

SILT FENCE

EXISTING & PROPOSED: BUILDING COVERAGE IS 41.3%

SUBMISSION WAIVERS REQUESTED

- THE LOCATION OF ALL EXISTING WATERCOURSES, WOODED AREAS, EASEMENTS, RIGHTS-OF-WAY, STREETS, ROADS, HIGHWAYS, RIVERS, BUILDINGS, STRUCTURES AND ANY OTHER FEATURE ON THE PROPERTY AND WITHIN SEVENTY-FIVE (75) FEET OF THE PROPERTY LINE. PROVIDED: LOCATION OF ALL RIGHTS-OF-WAY, STREETS, BUILDINGS AND OTHER FEATURES ON THE SUBJECT SITE AND IN THE RIGHT-OF-WAY ALONG THE FRONTAGE OF THE PROPERTY.
- 2. LOCATION OF ALL STRUCTURES WITHIN SEVENTY-FIVE (75) FEET OF THE PROPERTY. DRIVEWAY OF ADJACENT LOT 8.
- STORMWATER MANAGEMENT AND SANITARY SEWER REPORTS, INCLUDING PROPOSED
- 4. EXISTING AND PROPOSED CONTOURS OF THE PROPERTY AND FOR SEVENTY-FIVE (75) FEET OUTSIDE THE PROPERTY AT ONE (1) FOOT INTERVALS WHEN NEW BUILDINGS OR PARKING AREAS ARE PROPOSED. SPOT ELEVATIONS FOR ANY DEVELOPMENT IN A

PROVIDED: EXISTING CONTOURS AND SPOT ELEVATIONS ON THE SUBJECT SITE.

ROOF PEAK ELEV.=34.0 F.F.E.=14.9 DESIGN FLOOD ELEV.=12 1 FT. FREEBOARD BASE FLOOD ELEV.=11 G.F.E.=5.4 AVG. GRADE ELEV.= ±4.6

BUILDING HEIGHT DETAIL

N.T.S.

SCALE: 1"=40'

PREPARED FOR: SOLAR POWERED 44, LLC THE OWNER OR HIS/HER DESIGNATED REPRESENTATIVE SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF CONDITIONS ARE TERED ON-SITE CONTRARY TO THOSE DEPICTED ON THIS PLAN. THE UNDERSIGNED PROFESSIONAL SHALL BE GRANTED ACCESS TO THE SITE AND DATE DESCRIPTION

ADEQUATE TIME TO REVIEW AND, IF NECESSARY, AMEND THE DESIGN BASED UPON THE OBSERVED SITE CONDITIONS."

REV DATE

COMPLETENESS

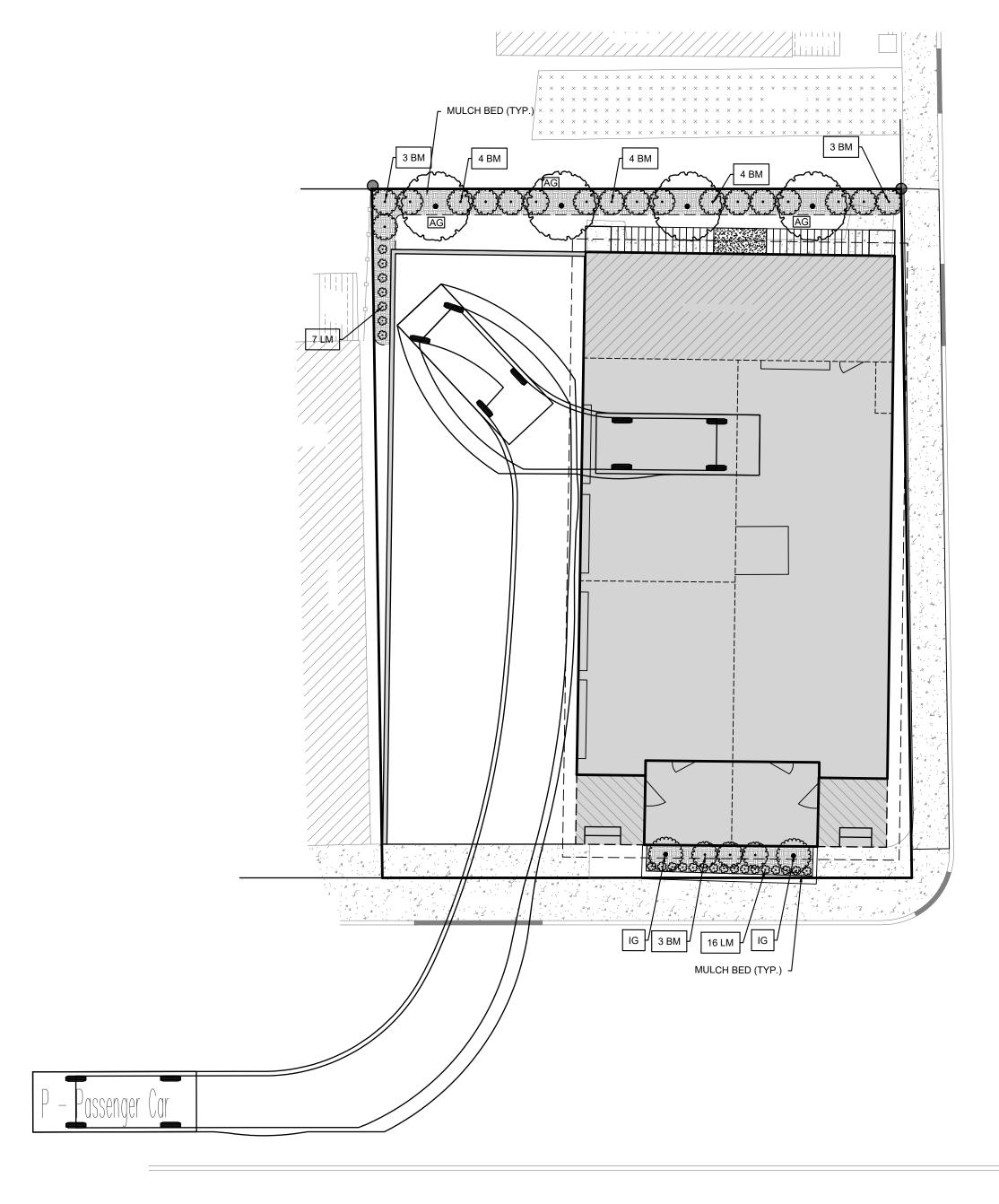
MINOR SITE PLAN

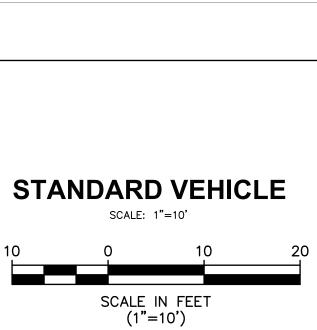
2 | 11/17/25 | REV PER BOROUGH MEETING COMMENTS

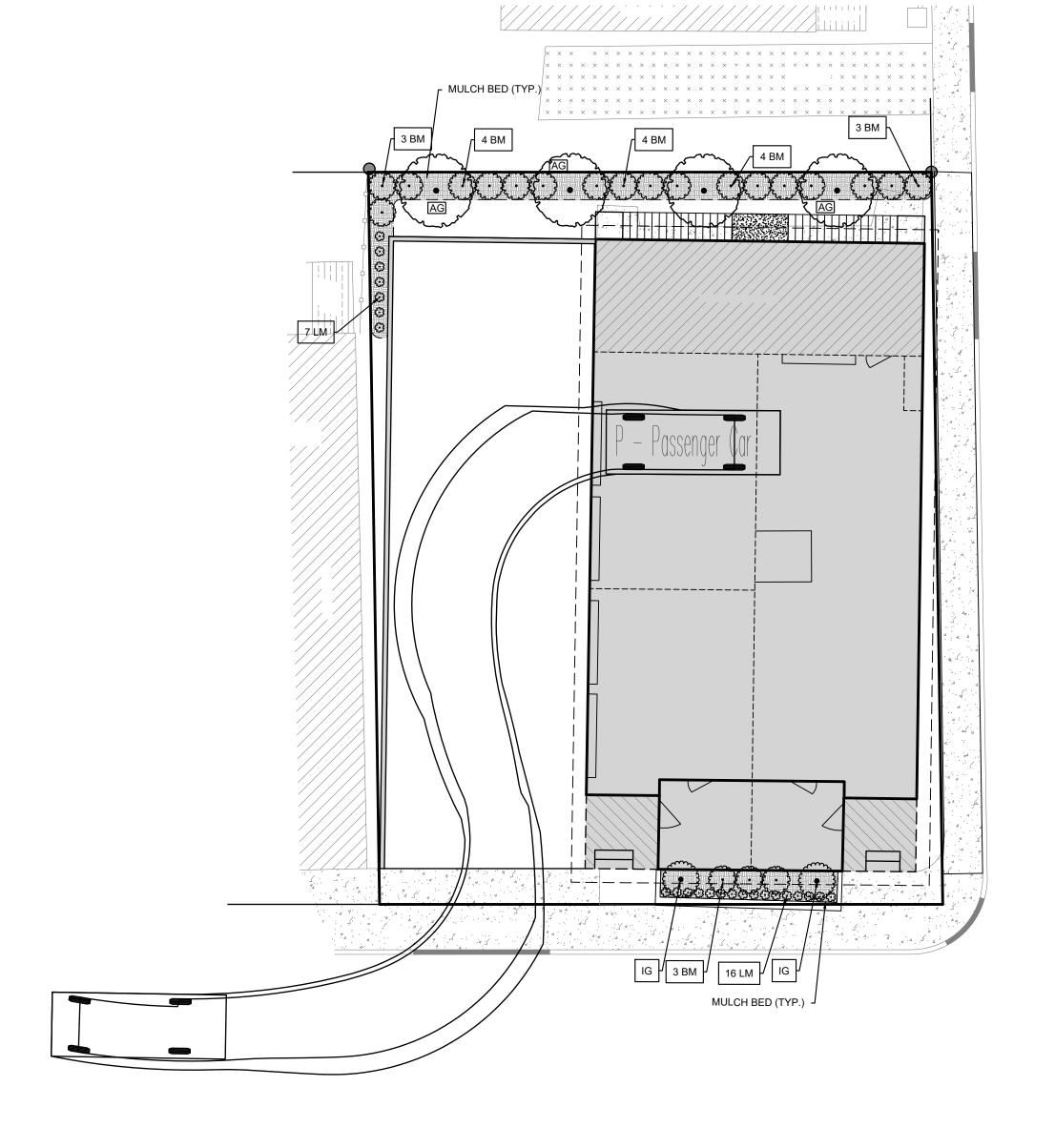
1 9/19/25

BOROUGH OF HIGHLANDS

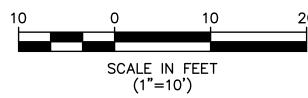
REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

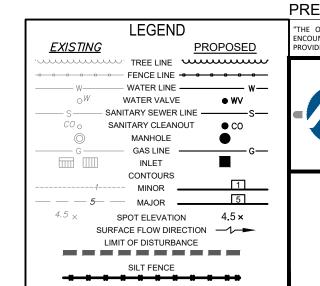












PREPARED FOR: SOLAR POWERED 44, LLC THE OWNER OR HIS/HER DESIGNATED REPRESENTATIVE SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF CONDITIONS ARE ENCOUNTERED ON-SITE CONTRANY TO THOSE DEPICTED ON THIS PLAN. THE UNDERSIGNED PROFESSIONAL SHALL BE GRANTED ACCESS TO THE SITE AND PROVIDED ADEQUATE TIME TO REVIEW AND, IF NECESSARY, AMEND THE DESIGN BASED UPON THE OBSERVED SITE CONDITIONS. CERTIFICATE OF AUTHORIZATION: 24GA282229800 P.O. BOX 5232 TOMS RIVER, N.J. 08754 TEL: 732-270-9691 FAX: 732-270-9691 www.morganengineeringlic.com VEHICLE CIF 44 MIL LOT 7.01 BOROUGH DONNA M. BULLOCK COUNTY OF MONMOU'

NEW JERSEY PROFESSIONAL ENGINEER LICENSE No. 41931

VEHICLE CIRCULATION PLAN

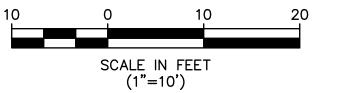
44 MILLER STREET
LOT 7.01 BLOCK 58

 BOROUGH OF HIGHLANDS

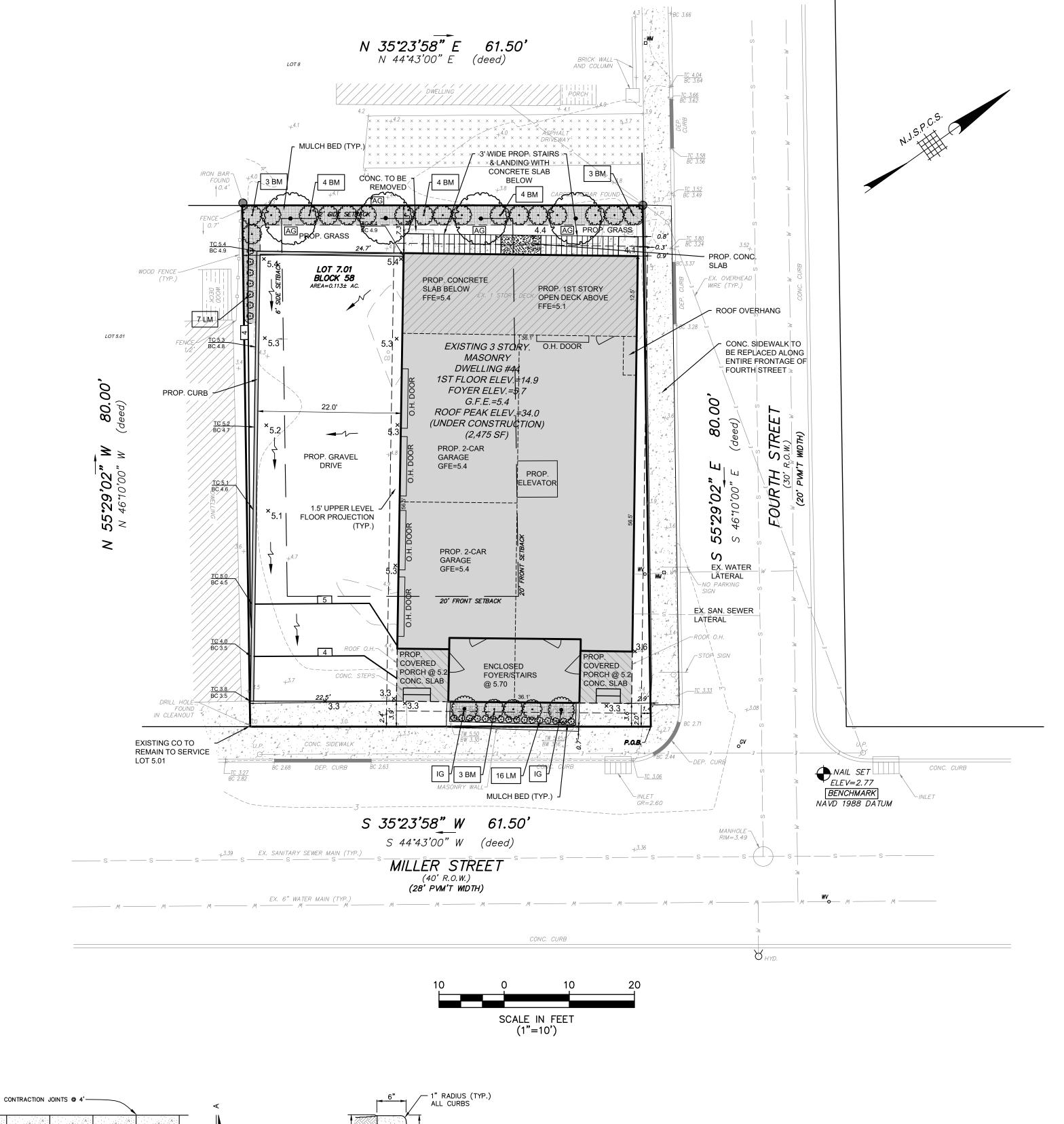
 COUNTY OF MONMOUTH
 NEW JERSEY

 Scale:
 Drawn By:
 Date:
 JOB #.
 CAD File #
 Sheet #

 1"=10'
 DTP
 11/17/25
 E25-00271
 VARIANCE PLAN
 2 OF 3



ABBREVIATION
TC / BC - TOP/BOTTOM CURB GRADE
TW / BW - TOP/BOTTOM WALL
F.F.E. - FIRST FLOOR ELEVATION
B.F.E. - BASEMENT FLOOR ELEVATION
G.F.E. - GARAGE FLOOR ELEVATION
T.B.R. - TO BE REMOVED
N.T.S. - NOT TO SCALE



- CLASS B CONC.

1. EXPANSION JOINTS SHALL BE CONSTRUCTED 20' ON CENTER, AND

OF CURB. ALL JOINTS TO BE FULL DEPTH OF 18".

CONTRACTION JOINTS SHALL BE CONSTRUCTED 10' ON CENTER.

TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB

20'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS

IMPREGNATED FIBER FILLER, COMPLYING WITH ALL OF THE REQUIREMENTS

OF AASHO SPEC. M 213, RECESSED 1/4" IN FROM FRONT FACE AND TOP

CONCRETE CURB DETAIL

BITUMINOUS EXPANSION JOINTS @ 2

SECTION "A-A"

1. A PREFORMED, BITUMINOUS EXPANSION JOINT 1/2" THICK,

4" WIDE, AND EXTENDING THE FULL WIDTH OF THE WALK,

CONTRACTION JOINTS SHALL BE INSTALLED EVERY 4 FEET

2. THERE SHALL BE A FLOAT FINISH WITH THE EDGES FINISHED

UNBROKEN, SHALL BE INSTALLED EVERY 20 FEET.

SIDEWALK DETAIL

CLASS "C" CONCRETE

SIDEWALK NOTES:

THE FULL WALK WIDTH.

WITH A SUITABLE TOOL.

3/4"-1 CLEANED -CRUSHED BLUESTONE GRADE/CURB - COMPACTED SUBGRADE AS PER SECTIONS "STANDARD SPECIFICATIONS" WHERE APPLICABLE PROPOSED STONE DRIVEWAY SECTION

ABBREVIATION TC / BC - TOP/BOTTOM CURB GRADE TW / BW - TOP/BOTTOM WALL F.F.E. - FIRST FLOOR ELEVATION B.F.E. - BASEMENT FLOOR ELEVATION G.F.E. - GARAGE FLOOR ELEVATION T.B.R. - TO BE REMOVED

N.T.S. - NOT TO SCALE

----- W-----— WATER LINE ——— W— WATER VALVE • WV — SANITARY SEWER LINE —————S— SANITARY CLEANOUT CO MANHOLE GAS LINE -CONTOURS MINOR _______1 $4.5 \times$ SPOT ELEVATION $4.5 \times$ SURFACE FLOW DIRECTION LIMIT OF DISTURBANCE SILT FENCE

LEGEND

TREE LINE WWW.

PROPOSED

FENCE LINE -----

HE OWNER OR HIS/HER DESIGNATED REPRESENTATIVE SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF CONDITIONS ARE IRED ON-SITE CONTRARY TO THOSE DEPICTED ON THIS PLAN. THE UNDERSIGNED PROFESSIONAL SHALL BE GRANTED ACCESS TO THE SITE AND ADEQUATE TIME TO REVIEW AND, IF NECESSARY, AMEND THE DESIGN BASED UPON THE OBSERVED SITE CONDITIONS." REV DATE DESCRIPTION **CERTIFICATE OF AUTHORIZATION: 24GA2822980** TOMS RIVER, N.J. 08754 engineering & surveying www.morganengineeringlic.com

NEW JERSEY PROFESSIONAL ENGINEER

LICENSE No. 41931

PREPARED FOR: SOLAR POWERED 44, LLC

LANDSCAPE PLAN & DETAILS

44 MILLER STREET

APP #25-10

BLOCK 58 LOT 7.01 BOROUGH OF HIGHLANDS

COUNTY OF MONMOUTH NEW JERSEY Date: JOB #. CAD File # Sheet # 11/17/25 E25-00271 VARIANCE PLAN 3 OF 3

SPECIFIED, AND IN QUANTITIES INDICATED ON THE PLANT LIST. THE OWNER OR HIS AUTHORIZED REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING OPERATIONS. 2) STANDARDS: ALL PLANTS SHALL BE IN CONFORMANCE WITH THE AMERICAN STANDARD FOR NURSERY

LANDSCAPING AND PLANTING NOTES:

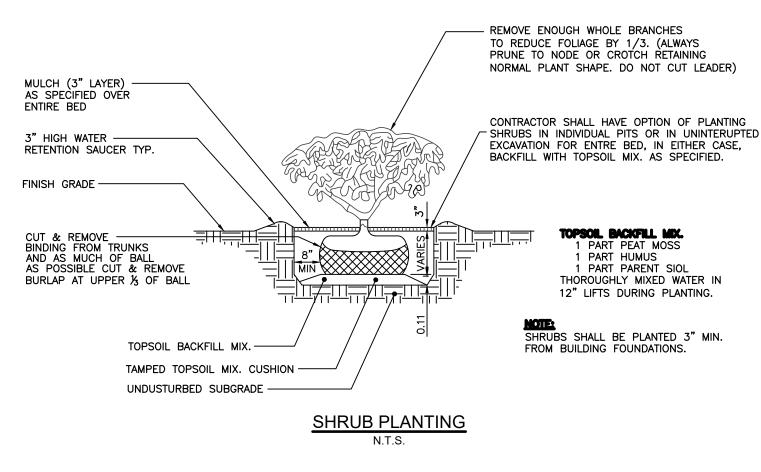
- STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. WITH REGARD TO SIZING AND DESCRIPTION.
- 3) QUALITY: ALL PLANTS SHALL BE NURSERY GROWN AND HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR

VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH. THEY SHALL BE SOUND, HEALTHY AND

1) THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANT MATERIALS SHOWN ON THE DRAWINGS, AS

- VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE AND INSECT PESTS, EGGS OR LARVAE. THEY SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS 4.) SUBSTITUTIONS: WHEN PLANTS OF A SPECIFIED KIND OR SIZE ARE NOT AVAILABLE WITHIN REASONABLI DISTANCE, SUBSTITUTIONS MAY BE MADE UPON REQUEST BY THE CONTRACTOR, IF APPROVED BY THE
- TOWNSHIP ENGINEER. 5) SIZE: ALL PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED ON THE PLANT LIST UNLESS OTHERWISE AUTHORIZED IN WRITING BY THE TOWNSHIP ENGINEER.
- 6) PRUNING: EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH AMERICAN ASSOCIATION OF NURSERYMEN, INC. STANDARDS TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED.
- ROOT SYSTEMS: BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH OF DIAMETER AND DEPTH TO INCLUDE MOST OF THE FIBROUS ROOTS. CONTAINER GROWN STOCK SHALL HAVE BEEN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER FIRM AND WHOLE. NO PLANTS SHALL BE LOOSE IN THE
- CONTAINER OR BALL. 8) PROTECTOR: ROOTBALLS, TRUNKS, BRANCHES AND FOLIAGE OF PLANTS SHALL BE ADEQUATELY PROTECTED AT ALL TIMES FROM SUN AND DRYING WINDS OR FROST. PLANTS WITH BROKEN ROOT
- BALLS OR EXCESSIVE DAMAGE TO THE CROWN SHALL BE REPLACED, IN KIND, PRIOR TO INSTALLATION. 9) MULCH/LOOSE STONE: IMMEDIATELY FOLLOWING PLANT INSTALLATION ALL TREE AND SHRUB PLANTING
- PITS SHALL BE COVERED WITH SHREDDED HARDWOOD MULCH OR OTHER MATERIAL APPROVED BY TH TOWNSHIP ENGINEER. THE LIMITS OF THIS MULCH FOR DECIDUOUS TREES AND SINGLE EVERGREEN TREES SHALL BE THE AREA OF THE PIT; FOR EVERGREEN TREES CLUSTER OR SHRUB MASSES.
- 10) ANTI-DESICCANT SPRAY: TREES AND WHEN PLANTED IN LEAF SHALL BE TREATED WITH ANTI-DESICCAN SUCH AS "WILT PROOF". 11) PLANTING MIX BEFORE BACKFILLING: THE TOPSOIL BACKFILL MIXTURE SHALL BE PREPARED AND MIXED TO THE FOLLOWING PROPORTIONS: DECIDUOUS PLANTS - TWO PARTS BY VOLUME OF TOPSOIL, ONE PART ORGANIC COMPOST AND FIVE POUNDS BONE MEAL PER CUBIC YARD.
- EVERGREEN PLANTS THREE PARTS BY VOLUME OF TOPSOIL AND ONE PART ORGANIC COMPOST. FERTILIZER - TO THE ABOVE MIXTURES, ADD THREE POUNDS OF SPECIFIED COMMERCIAL FERTILIZER. FOR TREES UP TO THREE INCHES (3") IN CALIPER AND ONE POUND PER INCH OF CALIPER FOR LARGER TREES. SHRUBS SHALL BE FERTILIZED WITH SIX (6) OUNCES OF FERTILIZER FOR SHRUBS FOUR FEET (4'
- AND OVER. 12) STAKING AND GUYING: ALL TREES SHALL BE STAKED AND GUYED ACCORDING TO ACCEPTED INDUSTRY PRACTICE. 13) LAYOUT: THE CONTRACTOR SHALL LAY OUT WITH IDENTIFIABLE STAKES, THE LOCATION OF ALL PLANTS AND THE ARRANGEMENT AND OUTLINES OF PLANTING BEDS AS INDICATED ON THE DRAWINGS. THE
- LAYOUT OF PLANTING SHALL BE APPROVED BY THE TOWNSHIP ENGINEER PRIOR TO ANY EXCAVATION OF PLANTING PITS OR PREPARATION OF PLANTING BEDS. ALL PLANTING SHALL BE THE LOCATIONS INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT THE CORRECT GRADES, ALIGNMENT AND LAYOUT OF PLANTING BEDS. MINOR ADJUSTMENTS TO TREE LOCATIONS MAY BE NECESSARY DUE TO FIELD CONDITIONS AND FINAL GRADING. THE CONTRACTOR
- SHALL NOTIFY THE TOWNSHIP ENGINEER IF MAJOR ADJUSTMENTS ARE ANTICIPATED. 14) ADVERSE CONDITIONS: THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP ENGINEER IN WRITING OF ANY SOIL OR DRAINAGE CONDITIONS WHICH THE CONTRACTOR CONSIDERS DETRIMENTAL TO PLANT GROWTH. THE DOCUMENTED CONDITIONS SHALL INCLUDE A PROPOSAL FOR CORRECTING THE SITUATION, INCLUDING ANY CHANGE IN COST FOR REVIEW AND ACCEPTANCE BY THE TOWNSHIP
- 15) QUANTITY: THE QUANTITY OF PLANTS INDICATED IN THE PLANT SCHEDULE IS FOR GENERAL REFERENCE ONLY. THE CONTRACTOR SHALL OBTAIN QUANTITIES FOR PRICING BY COMPILING NUMBERS FROM THE PLANTS ILLUSTRATED ON THE DRAWINGS. SHOULD THERE BE A DISCREPANCY BETWEEN THE DRAWINGS AND THE PLANT SCHEDULE, THE QUANTITIES ILLUSTRATED ON THE DRAWINGS SHALL TAKE PRECEDENCE.
- 16) GUARANTEE: ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR FOR A TWO (2) YEARS FROM THE DATE OF INSTALLATION. THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE UNLESS OTHERWISE AGREED BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MONITOR THE PROJECT DURING THE GUARANTEE PERIOD AND NOTIFY THE OWNER IN WRITING IF PROBLEMS ARE OCCURRING OR SITUATIONS DEVELOP THAT APPEAR DETRIMENTAL TO THE PLANT MATERIAL. ANY PLANT MATERIAL THAT IS 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND MUST BE REPLACED AT NO CHARGE TO THE OWNER. A TREE SHALL BE CONSIDERED DEAD WHEN THE MAIN
- LEADER HAS DIED BACK OR THERE IS 25% OF THE CROWN DEAD 17) THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND MAINTAINING ALL LANDSCAPING AND VEGETATION DURING THE DURATION OF CONSTRUCTION AND UNTIL FINAL PAYMENT. 18) ROOT BALLS SHALL BE PLACED ATOP UNDISTURBED SUBGRADE.
- 19) NO CHEMICAL FERTILIZER SHALL BE ADDED UNTIL THE TREE HAS BEEN PLANTED FOR ONE(1) YEAR. 20) NO TOPSOIL SHALL BE REMOVED FROM THE SITE OR USED AS SPOIL, EXCEPT AS MAY BE PROVIDED FOF IN A SOIL REMOVAL PERMIT. ALL TOPSOIL SHALL BE REDISTRIBUTED ON-SITE. ALL REGARDED AREAS AND LAWN AREAS SHALL BE COVERED BY A FOUR (5") INCH MINIMUM THICKNESS OF TOPSOIL PER SOIL EROSION REGULATIONS. SHEET 7-8.
- 21) NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN PROTECTED ROOT ZONE OF ANY TREE OR SHRUB PER SOIL EROSION REGULATIONS.
- 22) ALL TREE STUMPS AND OTHER TREE PARTS ARE TO BE REMOVED FROM THE SITE. NO TREE STUMPS, PORTIONS OF A TREE TRUNKS OR LIMBS SHALL BE BURIED ANYWHERE IN THE DEVELOPMENT.
- 23) THE DEVELOPER SHALL SELECTIVELY THIN AND REMOVE ALL DEAD AND DYING VEGETATION. 24) THE HOLE IN WHICH THE TREE IS TO BE PLANTED MUST BE $\frac{1}{3}$ LARGER IN WIDTH AND DEPTH THAN THE
- ROOT BALL. 25) THE NURSERY SHALL ATTACH IDENTIFICATION TAGS OF THE EXACT VARIETY OF VEGETATION TO AT
- LEAST ONE PLANT OF EACH VARIETY.
- 26) TREE PROTECTION SHALL BE IN CONFORMANCE WITH SOIL EROSION STANDARDS AND APPROVED SOIL EROSION PLANS AS PART OF THIS SET.
- 27) SHADE TREES SHALL HAVE NO BRANCHES LOWER THAN 7 FEET ABOVE GRADE. 28) ALL DEAD OR SEVERELY DECLINING PLANTS SHALL BE REPLANTED WITHIN THE NEXT GROWING SEASON
- FOR 1 YEAR FROM THE TIME OF PLANTING. 29) ALL STAKES AND GUYS SHALL BE REMOVED AFTER ONE GROWING SEASON.
- 30) BURLAP AND TWINE SHALL BE REMOVED FROM THE TOP OF THE ROOT BALL 31) ADDITIONAL PLANTINGS MAY BE PROPOSED IN THE BUFFER AREAS IF THE TOWNSHIP ENGINEER
- REQUIRES AFTER CLEARING AND CONSTRUCTION OF THE BUILDING. 32) A TREE REMOVAL PERMIT SHALL BE OBTAINED PRIOR TO THE REMOVAL OF ANY TREES.





NOTE:
1. CENTRAL LEADER SHALL NOT BE CUT

PROPER DRAINAGE BEFORE PLANTING.

2. ON SLOPES, PLACE SINGLE STAKE DOWNHILL

TIME OF FINAL ACCEPT. BY THE TOWNSHIP ENGINEER.

DECIDUOUS TREE PLANTING

- HARDWOOD STAKE

3. CONTRACTOR SHALL PARTIALLY FILL W/ WATER A REPRESENTATIVE # OF PITS IN EACH

AREA OF THE PROJECT PRIOR TO PLANTING TO DETERMINE IF THERE IS ADEQUATE

PERCOLATION. IF THE PIT DOESN'T PERCOLATE, MEASURE MUST BE TAKEN TO ASSURE

4. CONTRACTOR SHALL REMOVE STAKING, GUYING, & WRAP AT END OF GUARANTEE PERIOD.

ALL PLANTING MUST BE GUARANTEED FOR ONE FULL GROWING SEASON FORM THE

LANDSCAPE SCHEDULE

AG | 4 | AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' | AUTUMN BRILLIANCE SERVICEBERRY

COMMON NAME

LITTLELEAF BOXWOOD

INKBERRY HOLLY

BIG BLUE LILYTURF

SIZE/COMMENT

3'-4' B & B

12"-18" CONT.

21"-24" CONT.

21"-24" CONT.

- NEVER CUT OR PRUNE CENTRAL

PRUNE FOR VIGOR, MAINTAIN

DRIVE STAKES AT ANGLE AND

- PLASTIC CHAINLINK TREE TIE

PLANTING PIT OR BED

- PLACE IN LIFTS AS REQ'D.

— REMOVE CORD AND BURLAP

TAMP IN LIFTS TO PREVENT

AFTER PLANTING

AIR POCKETS, SOAK BACKFILL

COMPACTED OR UNDISTURBED

2 -2"x 2"x 8' HARD WOOD STAKES @ 120°.

REMOVE AFTER FIRST FULL GROWNING YEAR

- 4" MULCH LAYER SHALL BE KEPT 6" FROM TREE

PREPARED BACKFILL: AS SPECIFIED

DRAW TO VERTICAL

NATURAL GROWTH HABIT

SET TREE PLUMB

LEADER OR TRUNK

QUANTITY KEY QTY BOTANICAL NAME

BUXUS MICROPHYLLA

LIRIOPE MUSCARI 'BIG BLUE

ILEX GLABRA