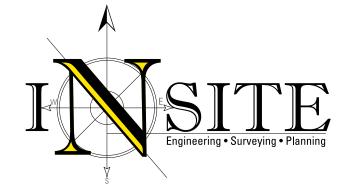
Land Use Board
Borough of Atlantic Highlands

Attn: Nancy Tran
Land Use Board Secretary

151 Navesink Avenue

Highlands, New Jersey 07732



July 25, 2025

Via Email

RE: **60 BAY AVE HIGHLANDS, LLC**

Response Letter (HLPB2024-02)

Block 42, Lot 1; 60 Bay Avenue

Borough of Highlands, Monmouth County, New Jersey

Ms. Tran:

We are submitting this letter on behalf of the Owner/Applicant in response to Roberts Engineering Group LLC's Review Letter dated May 21, 2025. Each comment and response are numbered in accordance with the aforementioned review memo. *Italicized text is taken from the review memo for your ease of reference;* non-italicized text represents our responses.

Review Letter, dated May 21, 2025

Section I. Comments – Driveway Access, Parking and Building Repositioned

1. The proposed driveways along Bay Avenue have been removed from this application. The garage doors have been replaced with swing doors. Provide the overall opening dimension of the double doors and confirm no vehicle access is possible.

The proposed 0.011 Ac right-of-way dedication or easement along the frontage of Bay Avenue remains for this application.

The Applicant is to obtain final approval for the right-of-way dedication or easement and removal of the existing and proposed driveway access to Bay Avenue from the Monmouth County Planning Board.

The doors will not be wide enough for vehicle access and are 6-feet wide. Conditional approval was received from the Monmouth County Planning Board.

2. The Applicant's modified site improvements have increased the impervious coverage to 75.8%. The amended plans dated April 1, 2024, and the Resolution compliance plans dated February 20, 2025, consisted of 74.6% and 74.3%, respectively.

The proposed impervious coverage is below the allowable 80%.

Informational.

3. The building coverage of 52.7% had no change in comparison to the amended plans but was reduced from 54.5% from that of the Resolution compliance plans

InSite Engineering, LLC

The proposed building coverage is below the allowable 80%.

Informational.

4. The approved plan had the relocation of the existing/proposed dwelling to be 5.00 ft from the Bay Avenue right-of-way.

The dwelling has been repositioned to 5.67 ft from the right-of-way. Consequently, to the additional offset of 0.67 ft, the driveways along Shrewsbury Avenue may no longer meet the minimum 18 ft length for residential driveways (garage face to the right-of-way). Vehicles are not permitted to overhang the sidewalk.

Please confirm whether the required minimum 18 ft. length has been maintained for each driveway.

The repositioning of the dwelling was necessitated by the County to avoid any structures, including footings, from encroaching in the requested dedication. The parking areas shown on the plan are 9-feet by 18-feet. Additional dimensions were added for clarity.

5. Eleven parking spaces are required per RSIS bedroom count. The EV charger counts as one space, leaving 10 required parking spaces.

Please indicate on the plan the individual number of proposed parking spaces dedicated to each unit, based on the bedrooms, for each garage and driveway. Indicate the existing off-street parking as noted in the parking calculation table.

Please dimension (length and width) the driveways.

Testimony provided to clarify which unit each parking space is for. The three tandem spaces (two in garage one in driveway behind) are for Apartment 'E'. The southern most car port is dedicated to another unit and the northern most parking space is dedicated to another unit. Additional dimensions were added to the driveway.

6. It appears that sections of the existing sidewalk, apron and curbing are to be replaced. Please clearly indicate the areas and types of replacement.

The plans were revised accordingly.

7. Provide the apron flares on the plans.

The plans were revised accordingly.

8. The Depressed Curb, Driveway Apron & Sidewalk construction detail indicates a 6 ft. wide sidewalk and apron. The plan appears to have a 5 ft. wide sidewalk. Please update the detail accordingly.

Dimension the concrete sidewalk along Shrewsbury Avenue on the plan.

Provide an apron section detail.

Confirm that the proposed rolled concrete curb and gutter is replacing the same type of existing curb and gutter on Shrewsbury. Provide note.

The plans were revised accordingly.

9. One of the parking spaces shown on the east side of Shrewsbury Avenue is not a parking space but a yellow striped no parking area designating driveway access to 18 Shrewsbury Avenue. Please indicate on the plan.

The existing yellow-stripped no parking area along the west side of Shrewsbury Avenue appears to be in the wrong location and may impact turning maneuvers. Please correct

Indicate the no parking area (painted curb) along the west side of Shrewsbury Avenue.

Provide parking and no parking spaces along both sides of Bay Avenue. Show the locations of the proposed parking to be used for this site.

The plans were revised accordingly. Exhibits and testimony were presented at the hearing to describe the areas of parking and no parking.

10. The Applicant has provided six (6) circulation plans indicating the existing parking spaces along Shrewsbury Avenue. The circulation plans demonstrate vehicles maneuvering Shrewsbury Avenue by accessing the driveways and garages. These maneuvers are of great concern and appear so difficult as to be questionable.

We question the size and location of the driveways. The turning templates provided for maneuvers in and out of the garages require turns, starts and stops. Some of the turning templates indicate that vehicles must drive into opposing traffic to be able to enter the driveways and garages.

In addition, garages on Shrewsbury Avenue appear to show that cars cannot enter and exit without sideswiping the door opening. When a car is parked in the space near the rear property line, the vehicle entering and exiting the garage on to Shrewsbury Avenue seems to sideswipe the parked car. Please explain.

The proposed dwelling has a small projection into the driveway area. The vehicle entering the garage does not appear to sufficiently clear the projection. Additionally, the sample 19 ft long vehicle in the turning maneuvers and parked in the driveway will not clear the sidewalk.

The Applicant is to provide specific testimony and presentation to clearly show how all driveways will be accessed from Shrewsbury Avenue, and how all garages will be entered, without driving into opposing traffic. The applicant must provide details of how these driveways will allow for proper and safe operation for entering and exiting.

The turning movement plans were revised to show pulling in and pulling out of each of the parking areas, while considering the location of parked vehicles. The centerline

of Shrewsbury Avenue was added to the plan and no lane incursions into opposing traffic are proposed.

Section II. Comments - Other

1. The building heights are different between the site plan and the architectural plans. Please confirm and update the schematic, zoning compliance chart and the architectural plans accordingly.

The building height was revised accordingly.

2. The proposed building has been elevated from the approved FF 14.00 (shown on the plans for the meeting) to FF 15.00.

Please provide testimony for the purpose of elevating the building an additional foot.

Testimony was provided accordingly.

3. The building height needs to be updated based on the raised FF elevation.

The building height is taken from the BFE + 1 ft. to the middle of the roof.

If the building was raised one foot, the middle of the roof's elevation would also be an additional one foot in elevation.

Please confirm and update the zoning compliance chart accordingly.

The building height was revised accordingly.

4. A proposed sanitary sewer lateral extends from the rear of the proposed dwelling and connects to an existing sanitary sewer main in Shrewsbury Avenue.

More information is needed. Provide the location of the existing sanitary sewer main including up and downstream manholes, pipe material, size, rim elevations and inverts. Provide proposed invert connection.

Indicate all utility crossings (storm, sanitary and water) with elevations on the plan. Maintain regulated clearances.

The sanitary sewer main is located approximately within the center of Shrewsbury Avenue. The sanitary lateral appears to not extend to the approximate location. Please confirm. Update the proposed lateral information. Update area of restoration.

The cleanouts are located within the proposed gravel driveway and subjected to vehicle load. The protection cap shall be Campbell pattern #4153 or approved equal.

The plans were revised based upon approximate locations of the existing mains within Shrewsbury Avenue, based upon visible evidence. A note was added to the plan that the contractor shall confirm the existing proposed locations with test pits.

5. Installation of proposed utilities will require trenching within South Street and Shrewsbury Avenue. Indicate pavement milling and paving to be the full width of South Street and Shrewsbury Avenue and 25-ft beyond the outer limits of the trenches longitudinally. Restripe the roadway in the area disturbed and repaved. The Applicant is responsible for the cost of pavement milling and paving as well as restriping.

The plans were revised accordingly.

6. Coordinate the water service size between the plan and the detail.

The plans were revised accordingly.

7. The lighting plan needs to be updated based on the additional 1 foot in FF elevation which may affect the mounting height of the proposed lighting units placed along the walls of the building relative to the ground.

The Applicant is required to maintain:

- a. § 21-65(11)(E) Minimum Lighting Level. 0.3 fc and average of 0.5 fc
- b. § 21-65(11)(F) Maximum Lighting Level at property line. 0.3 fc
- c. § 21-65(11)(D) Maximum Mounting Height at 15 ft.

The lighting plan was revised accordingly.

8. The proposed roof leader system will be connected to an existing inlet on Shrewsbury Ave and no sidewalk is shown to be disturbed and replaced.

Please provide a plan note on the Grading, Drainage & Utility Plan as to how the system will be connected and that the sidewalk shall not be disturbed. Please confirm that a 6-inch header pipe will be adequately sized for all gutters to connect to.

The plans were revised to indicate replacement of the sidewalk in this location. Capacity calculations were added to the plan.

9. Provide the material type and size of the sanitary lateral on the "Standard Lateral Connection with Cleanout..." detail.

On same detail, there is a reference to a detail entitled, "Bedding and Initial Backfill Detail for PVC Sewer Pipe", however it is missing on the sheet. There is a Pipe Bedding Detail. Please update the detail.

The plans were revised accordingly.

10. The Applicant shall comply with any applicable affordable housing requirements.

According to XI.E General Administrative Requirements Affordable Housing Provisions, the mandatory set-aside requirements in Section 26-2 of the Borough of Highlands Affordable Housing Ordinance apply to any multifamily residential development of five (5)

Page 6 of 6 July 25, 2025 Block 42, Lot 1

dwelling units or more, including the residential portion of a mixed-use project The Applicant has agreed in a previous submission.

Testimony was previously provided.

Thank you for your continued courtesies regarding this application. If you have any questions or require further information, please feel free to contact this office anytime.

Sincerely,

InSite Engineering, LLC

Douglas D. Clelland, PE

23-2237-01 DDC/htm

Cc: David Cahill

Luke Policastro Donna Jennings Salvatore La Ferlita (via electronic mail w/o attachments)

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PRELIMINARY & FINAL MAJOR SITE PLAN **FOR**

PROPOSED MULTI-FAMILY RESIDENCE

BLOCK 42, LOT 1 TAX MAP SHEET #11 60 BAY AVENUE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY

PROPERTY OWNERS WITHIN 200' (2/21/2024)

Block/Lot	Current Owner	Mailing Address		
1319-41-8	75 BAY AVENUE SWANTON LLC	75 BAY AVENUE	HIGHLANDS NJ	07732
1319-41-9	DOUTY DOUGLAS & BAYARD	88 BAY AVENUE	HIGHLANDS NJ	07732
1319-41-10	AMERICAN LEGION	BAY AVE	HIGHLANDS NJ	07732
1319-42-2	SHARKEY MARY T	68 BAY AVENUE	HIGHLANDS NJ	07732
1319-42-13	WEST CARL & BUSICHIO KARIN	78 BAY AVENUE	HIGHLANDS NJ	07732
1319-42-14	TRI STATE REALTY LLC	494 SYCAMORE AVE.STE.100	SHREWSBURY NJ	07702
1319-39-1.01	BOROUGH OF HIGHLANDS	171 BAY AVE	HIGHLANDS NJ	07732
1319-39-1.02	BOROUGH OF HIGHLANDS	171 BAY AVE	HIGHLANDS NJ	07732
1319-42-3	PISANO BEVERLY	11 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-41-4	61 BAY AVENUE LLC	28 ATLANTIC AVENUE	OCEAN GROVE NJ	07756
1319-41-7	KEMPSON MATTHEW	30 SECOND STREET	HIGHLANDS NJ	07732
1319-42-9	KURDES LAWRENCE J & MARY-ALISON	8 KAY ST	HIGHLANDS NJ	07732
1319-41-2.01	BASKET EUGENE J	57 BAY AVENUE	HIGHLANDS NJ	07732
1319-43-3	REMIAS ROSE MARIE	22 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-42-12.01	RICCIARDONE BRIAN	163 FANNING STREET	STATEN ISLAND NY	10314
1319-42-15	SHARKEY HUGH & MARY	68 BAY AVENUE	HIGHLANDS NJ	07732
1319-43-1	LAURITANO VICTOR	18 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-43-2	FRANSON LOREEN	20 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-41-3	KU WALTER & EVA L	59 BAY AVENUE	HIGHLANDS NJ	07732
1319-42-4	HARTSGROVE TROY & JOY ANNE	13 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-42-5	STENSETH MARK D & ALECIA E	15 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-42-6	MAZZELLA KIM M	17 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-42-7	MENZA DAN & KAREN	19 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-41-5	SMITH MURRAY T.	226 PARK STREET	MONTCLAIR NJ	07042
1319-38.01-17.01	MONAHAN WILLIAM	55 A BAY AVE	HIGHLANDS NJ	07732
1319-38.01-17.02	DAVIS COREY MOLZON & JOHN A	55 BAY AVENUE	HIGHLANDS NJ	07732
1319-38.01-17.03	KEETON RANDALL E & DALE ANN	53 BAY AVENUE	HIGHLANDS NJ	07732
1319-38.01-17.04	FEGHHI ALICIA M	51 BAY AVENUE	HIGHLANDS NJ	07732
1319-38.01-17.05	ZHENG WU & OI SUM	27 SOUTH AVENUE	ATLANTIC HIGHLAND	OS NJ 07716
1319-41-6	KOEPPEL RICHARD J & JOSEPH W	P.O. BOX 810	NAVESINK NJ	07752

UTILITY CONTACTS

* If you are located within 200 feet of a State Highway, you MUST notify the NJ Department of

NJ Dept. of Transportation 1035 Pkwy Avenue PO Box 600 Trenton, NJ 08625

*If you are within 200 feet of a County owned road, you MUST notify the Monmouth County

Monmouth County Planning Board Hall of Records Annex 2nd Floor One East Main St. PO Box 1255

300 Madison Avenue Morristown, NJ 07960

NEW JERSEY AMERICAN WATER COMPANY Attn: Construction Departme 661 Shrewsbury Ave

Freehold, NJ 07728

Shrewsbury, NJ 07702

COMCAST COMMUNICATIONS OF MONMOUTH COUNTY Ron Bertrand, Construction Foreman

Eatontown, NJ 07724

VERIZON COMMUNICATIONS One Verizon Way Basking Ridge, NJ 07920

Wall, NJ 07719

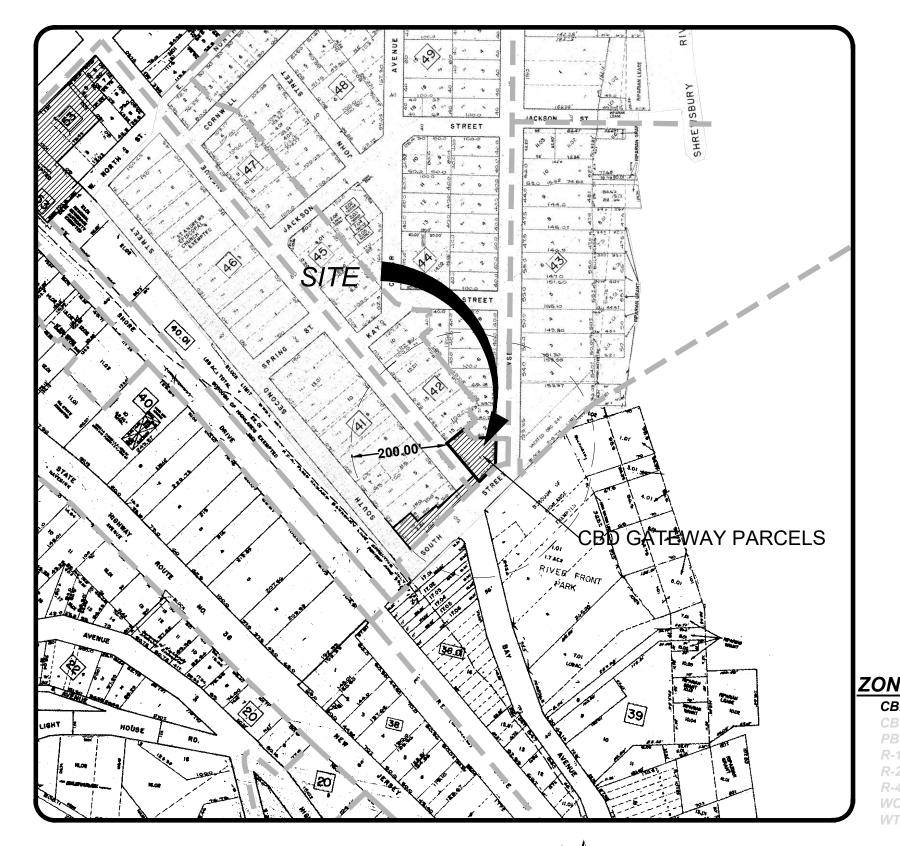
Belford, NJ 07718

TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY Raymond J. Nierstedt, P.E., Executive Director PO Box 205, 100 Beverly Way Belford, NJ 07718

NEW JERSEY NATURAL GAS COMPAN Attn: Joan Purcaro PO Box 1464 1415 Wyckoff Road

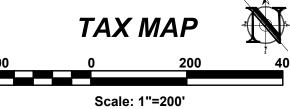
MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY Attn: Executive Director 200 Harbor Way

LAND USE BOARD APP	PROVAL			
APPROVED BY THE BOROUGH OF HIGHLANDS LAND USE BOARD				
BOARD CHAIRPERSON	DATE			
BOARD SECRETARY	DATE			
BOARD ENGINEER	DATE			



REDEVELOPMENT OVERLAY 2 ZONE (C-RO-2) REDEVELOPMENT OVERLAY 3 ZONE (C-RO-3) PROFESSIONAL BUSINESS SINGLE FAMILY RESIDENTIAL

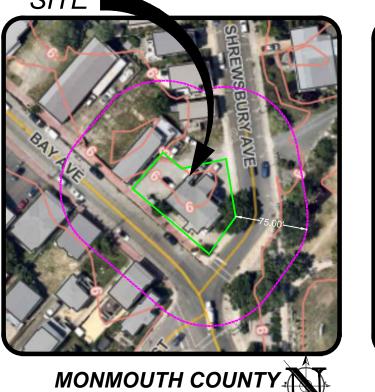
R-2.02 SINGLE FAMILY RESIDENTIAL ONE-FAMILY RESIDENTIAL WC-1 WATERFRONT COMMERCIAL WT-R WATERFRONT TRANSITION RESIDENTIAL



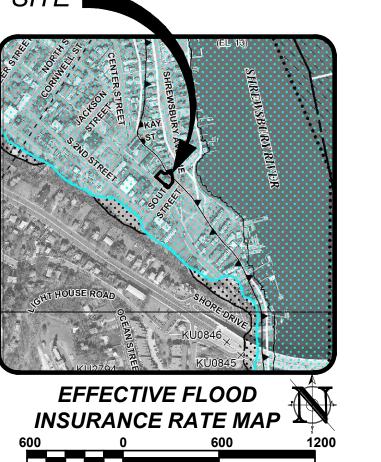


Scale: 1"=200'

Scale: 1"=2000'



Scale: 1"=100'



Scale: 1"=600'

SHEET #:	INDEX OF SHEETS: SHEET TITLE:	I INITIAL RELEASE: I	REV. DATE:
C100	TITLE SHEET	02/05/24	07/25/25
C101	PLAN NOTES	02/05/24	07/25/25
C200	EXISTING CONDITIONS & SITE PREPARATION PLAN	02/05/24	07/25/25
C300	SITE LAYOUT PLAN	02/05/24	07/25/25
C400	GRADING, DRAINAGE & UTILITY PLAN	02/05/24	07/25/25
C600	LANDSCAPE PLAN	02/05/24	07/25/25
C601	LIGHTING PLAN - EXISTING CONDITIONS R.O.W. ONLY	06/05/24	07/25/25
C602	LIGHTING PLAN - PROPOSED CONDITIONS	02/05/24	07/25/25
C603	LIGHTING DETAILS	11/20/24	07/25/25
C700	CONSTRUCTION DETAILS	02/05/24	07/25/25
C701	CONSTRUCTION DETAILS	06/05/24	07/25/25
C800	SOIL EROSION & SEDIMENT CONTROL PLAN	02/05/24	07/25/25
C801	SESC NOTES	02/05/24	07/25/25
C802	SESC DETAILS	02/05/24	07/25/25
C900	TURNING MOVEMENT PLAN	11/20/24	07/25/25
C901	TURNING MOVEMENT PLAN	11/20/24	07/25/25
C902	TURNING MOVEMENT PLAN	11/20/24	07/25/25

PROPOSED MULTI -

PROJECT INFORMATION

FAMILY RESIDENCE

60 BAY AVENUE BOROUGH OF HIGHLANDS.

60 BAY AVE HIGHLANDS, LLC

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE

APPLICANT'S PROFESSIONALS

ATTORNEY: DONNA M. JENNINGS ESQ.

WILENTZ, GOLDMAN & SPITZER, PA 90 WOODBRIDGE CENTER DRIVE, SUITE 900

SALVATORE LA FERLITA, R.A. LINCROFT, NJ 07738

SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 37, SUITE 1A



CALL BEFORE NJ ONE CALL8	
(at least 3 days prior to	excavation)
ELECTRIC	RED
GAS / OIL	YELLOW
COMMUNICATION / TV	ORANGE
WATER	BLUE
SEWER	GREEN
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732-531-7100 (Ph) 732-531-7344 (Fax) InSite@InSiteEng.net www.InSiteEng.net

CERTIFICATE OF AUTHORIZATION: 24GA28083200

1955 ROUTE 34, SUITE 1A, WALL, NJ 07719

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA DELAWARE, CONNECTICUT, NORTH CAROLINA COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURI

AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINA AND MAY HAVE BEEN ALTERED

DEVIOLONO	
REVISIONS	

PROFESSIONAL ENGINEER

NJ PE 24GE05331000

12	07/25/25	PER BOARD COMMENTS
11	04/10/25	PER COUNTY
10	04/01/25	PER COUNTY
9	02/20/25	PER COUNTY
8	01/31/25	PER COUNTY REVIEW LETTER
7	01/21/25	FOR RESOLUTION COMPLIANCE
6	12/05/24	FOR FSCD
5	11/20/24	FOR RESOLUTION COMPLIANCE
4	06/05/24	PER BOROUGH COMMENTS
3	04/09/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY
-1	02/12/21	DED ADCUITECT

1 03/12/24 PER ARCHITECT 0 02/05/24 INITIAL RELEASE SCALE: AS SHOWN DESIGNED BY: DDC DATE: **02/05/24** DRAWN BY: AMC JOB #: 23-2237-01 CHECKED BY: DDC

CAD ID: 23-2237-01r3

NOT FOR CONSTRUCTION FOR CONSTRUCTION

PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

TITLE SHEET

- a. CUT SLOPES: THESE SURFACES SHALL BE ROUGHENED IN A HORIZONTAL DIRECTION FOLLOWING THE CONTOUR OF THE SLOPE. THE ROUGHENED TEXTURE SHALL BE MADE BY HAND RAKING OR SIMILAR MECHANICAL MEANS
- b. FILL SLOPES: THESE SURFACES SHALL BE COMPACTED AND FINISHED AND ALSO ROUGHENED IN A HORIZONTAL DIRECTION FOLLOWING THE CONTOUR OF THE SLOPE. THE ROUGHENED TEXTURE SHALL BE MADE BY HAND RAKING OR SIMILAR MECHANICAL MEANS. WEED ERADICATION
- a. MANUALLY REMOVE EXISTING VEGETATION WHERE NOTED ON PLAN AND DISPOSE OFFSITE. b. FERTILIZE ALL PLANTING AREAS BASED UPON SOIL ANALYSIS. BEGIN WATERING PROCESS TO ACTIVATE FERTILIZER AND ADDITIVE CHEMICALS.
- c. WATER ALL PLANTING AREAS THOROUGHLY FOR A PERIOD OF TWO (2) CONSECUTIVE WEEKS. THE UNDERSIGNED SHALL APPROVE SPECIFIC WATERING DURATION AND FREQUENCY DESIGNED TO GERMINATE ALL RESIDUAL WEED SEEDS. d. IF PERENNIAL WEEDS APPEAR, DISCONTINUE WATERING PROCESS FOR TWO (2) DAYS, THEN APPLY RECOMMENDED HERBICIDE BY
- LICENSED APPLICATOR IF ANNUAL WEEDS APPEAR. USE STRAIGHT CONTACT HERBICIDE AS PER THE LICENSED APPLICATOR'S RECOMMENDATIONS. NO WATER SHALL BE APPLIED FOR A MINIMUM OF FOUR (4) DAYS FOLLOWING APPLICATION CONTACT WEED KILLER. e. ALLOW SUFFICIENT PERIOD OF TIME TO INSURE THAT ALL WEEDS ARE DEAD WATER ALL PLANTING AREAS THOROUGHLY FOR A PERIOD OF THREE (3) WEEKS. A SHORTER WATERING PERIOD MAY BE PERMISSIBLE AT
- THE DISCRETION OF THE UNDERSIGNED AND/OR THE PEST CONTROL ADVISOR. DISCONTINUE WATERING FOR ONE (1) DAY PRIOR TO THE SECOND APPLICATION OF THE HERBICIDE. RE-APPLY A STRAIGHT CONTACT WEED KILLER, AS PER THE PEST CONTROL ADVISOR'S RECOMMENDATIONS. FOR EFFECTIVE WEED ERADICATION, ALLOW A MINIMUM OF FOUR (4) DAYS WITHOUT IRRIGATION.RO a. REMOVE ALL DESICCATED WEEDS FROM SLOPES.
- PLANTING
 PLANT TREES AND SHRUBS AS INDICATED ON PLANTING PLAN AND AS DETAILED ON PLANTING DETAIL SHEET. SUBSTITUTIONS OF PLANTS WILL NOT BE ACCEPTED UNLESS APPROVED IN WRITING BY THE UNDERSIGNED. INSTALL ALL CONTAINER GROWN PLANTS ACCORDING TO TREE AND SHRUB PLANTING AND STAKING DETAIL. THOROUGHLY MIX THE SPECIFIED MATERIALS FOUND IN THE SOIL ANALYSIS AND THOSE SPECIFIED IN THE PLANTING DETAIL SHEET WITH THE SITE SOIL PRIOR TO BACKFILLING OF PLANTING PITS

GENERAL NOTES

SUBJECT PROPERTY
TAX MAP 11: BLOCK 42, LOTS 1, BOROUGH HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY

S PLAN SET HAS BEEN PREPARED FOR THE PURPOSE OF PRELIMINARY/FINAL SITE PLAN MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THE PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL FINAL APPROVALS HAVE BEEN OBTAINED AND ALL THE CONDITIONS OF THE APPROVALS HAVE BEEN SATISFIED.

SURVEY DATA
SURVEY INFORMATION CONTAINED HEREON IS BASED ON A FIELD SURVEY PERFORMED BY INSITE SURVEYING, LLC, ENTITLED

TO THE MORTH AMERICAN "BOUNDARY AND TOPOGRAPHIC SURVEY", LAST REVISED 12/20/23. ALL ELEVATIONS ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1988 (NAVD88). SEE SURVEY FOR DEED REFERENCES.

ACCORDING TO FEMA'S EFFECTIVE FIRM ENTITLED "FIRM - FLOOD INSURANCE RATE MAP (FIRM), MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS)." COMMUNITY PANEL #34025C00088H. DATED 6/15/22. THE SITE IS LOCATED IN ZONE AE WITH A BASE FLOOD ELEVATION OF 11. ACCORDING TO FEMA'S CURRENT PRELIMINARY FIRM ENTITLED, "PRELIMINARY FLOOD INSURANCE RATE MAP (FIRM)", COMMUNITY PANEL #34025C00088H, DATED 6/15/22, THE SITE IS LOCATED IN ZONE AE WITH A BASE FLOOD ELEVATION OF 11. BOTH FEMA MAPS REFERENCE THE NAVD88 VERTICAL DATUM.

RCHITECTURAL INFORMATION CONTAINED HEREON IS BASED ON PLANS PREPARED BY SALVATORE LA FERLITA, R.A. ARCHITECTURAL SERVICE CONSTRUCTION MANAGEMENT.

FOR ANY EXCAVATION IN NEW JERSEY, THE CONTRACTOR MUST CALL NEW JERSEY ONE CALL SERVICE AT 1-800-272-1000 FOR A

MARKOUT REQUEST NO LESS THAN THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.

IE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES (INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM SEWERS, POTABLE WATER LINES AND APPURTENANCES, NATURAL GAS LINES, ELECTRIC, TELEPHONE AND CATV LINES AND UNDERGROUND STORAGE TANKS) THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER, AND THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION AND ELEVATION OF THESE UTILITIES OR OTHER CONSTRUCTION OBSTACLES IMPACTED BY NEW CONSTRUCTION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING. PRIOR TO CONSTRUCTION. OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT DESIGN.

UNLESS OTHERWISE NOTED HEREON. ALL SITE WORK SHALL BE CARRIED OUT IN CONFORMANCE WITH THE PROVISIONS OF THE "NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.

- a. ALL CONSTRUCTION AND DEMOLITION SHALL CONFORM WITH ANY APPLICABLE FEDERAL. STATE AND LOCAL REGULATIONS CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY WAYS. MEANS AND METHODS OF CONSTRUCTION, AND SHALL CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO CONSTRUCTION. b. THE CONTRACTOR SHALL PERFORM ALL WORK IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION
- OF THE OWNER AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES c. THE CONTRACTOR SHALL PROVIDE NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY WITHIN THE PROJECT FOR THE PROTECTION AND THE SAFETY OF THE PUBLIC AND
- MAINTAIN THROUGHOUT CONSTRUCTION d. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE CLEANUP WITHIN THE CONSTRUCTION AREA AND SHALL DISPOSE OF
- DEBRIS IN ACCORDANCE WITH ANY LOCAL, STATE OR FEDERAL REGULATIONS. e. ANY DAMAGE TO PUBLIC STREETS, CURBS, SIDEWALKS AND UTILITIES AS A RESULT OF SITE CONSTRUCTION ACTIVITIES
- SHALL BE REPAIRED BY THE CONTRACTOR.

10. <u>CONSTRUCTION PERMITS/INSPECTIONS</u>
CONTRACTOR RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS INCLUDING ROAD OPENING PERMITS, PREPARATION OF TRAFFIC CONTROL PLANS, INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL AND COORDINATION OF ALL INSPECTIONS REQUIRED BY THE BOROUGH OF HIGHLANDS, COUNTY OF MONMOUTH, TOWNSHIP OF MIDDLETOWN SA WMP SEWERAGE AUTHORITY AND ANY OTHER APPLICABLE AGENCY HAVING JURISDICTION OVER THE PROJECT

11. ADA COMPLIANCE

a. ALL SITE IMPROVEMENTS LOCATED ON THE PRIVATE PROPERTY SHALL BE IN COMPLIANCE WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, STANDARDS FOR PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES: TITLE III. b. ALL SITE IMPROVEMENTS LOCATED WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH THE CURRENT PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEE GUIDELINES.

HIS PLAN SET CONSISTS OF MULTIPLE SHEETS. INDIVIDUAL PAGES SHALL NOT BE UTILIZED FOR CONSTRUCTION ON THEIR OWN AS NOTES AND INFORMATION PROVIDED ON OTHER SHEETS MAY IMPACT WORK REQUIREMENTS. CONTRACTOR SHALL REVIEW AND UTILIZE ENTIRE PLAN SET FOR CONSTRUCTION.

13. FRESHWATER/COASTAL WETLANDS AND STREAMS
BASED UPON REVIEW OF PUBLISHED MAPPING, NO FRESHWATER/COASTAL WETLANDS OR STREAMS EXIST ON-SITE.

14. SOIL REMOVAL
ANY SOIL REMOVAL FROM THE SITE SHALL BE IN ACCORDANCE WITH BOROUGH CODE.

REGULAR MAINTENANCE OF THE PROPERTY (INCLUDING BUT NOT LIMITED TO: SNOW PLOWING, PAVEMENT / PARKING LOT REPAIRS, COMMON AREAS, REFUSE AREA, LANDSCAPING AND LIGHTING) SHALL BE THE RESPONSIBILITY OF THE PROPERTY

. IMPORTED FILL
ANY IMPORTED FILL SHALL MEET THE DEFINITION OF CLEAN FILL, PURSUANT TO THE TECHNICAL REQUIREMENTS OF SITE REMEDIATION (AS FOUND AT NJAC 7:26E-1.8).

ANY SEPTIC SYSTEMS OR UNDERGROUND STORAGE TANKS FOUND ONSITE WILL BE DECOMMISSIONED AND/OR REMOVED IN

ACCORDANCE WITH BOROUGH, COUNTY AND/OR NJDEP REQUIREMENTS.

<u>CURBS, SIDEWALKS</u>
APPLICANT IS RESPONSIBLE FOR ANY DAMAGES TO ANY/ALL EXISTING CURB, SIDEWALK, ROADWAY AND OTHER OFF-SITE OBJECTS MADE DURING CONSTRUCTION AND MUST BE REPAIRED AND/OR REPLACED TO THE PRE-EXISTING CONDITION/STATE TO THE SATISFACTION OF THE BOROUGH ENGINEER. WHICH SHALL NOT UNREASONABLY BE WITHHELD, AND COST PAID

BY THE APPLICANT.

SHOULD THE FENCE ALONG THE PROPERTY LINE SHARED WITH LOT 15 BE REPLACED, THE FENCE ENCROACHMENT SHALL BE

ALL AIR CONDITIONING UNITS SHALL BE LOCATED ON THE ROOF NEAR THE ELEVATOR.

GENERAL LANDSCAPING NOTES

AFTER ALL INSTALLATION OPERATIONS HAVE BEEN COMPLETED, REMOVE ALL RUBBISH, EXCESS SOIL, EMPTY PLANT CONTAINERS AND TRASH FROM THE SITE DAILY. ALL SCARS, RUTS AND OTHER MARKS IN THE AREA CAUSED BY THIS WORK SHALL BE REPAIRED AND THE GROUND LEFT IN A NEAT, ORDERLY CONDITION. LEAVE SITE IN BROOM-CLEAN CONDITION AT THE END OF EACH DAY.

MAINTENANCE

1. DURING INSTALLATION, THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT NUMBER OF LABORERS AND ADEQUATE EQUIPMENT TO PERFORM THE WORK HEREIN SPECIFIED, PLANT MAINTENANCE SHALL CONSIST OF WATERING, WEEDING, CARING OF PLANTS, INCLUDING GROUND COVERS. SHRUBS VINES AND TREES EDGING AND MOWING LAWNS FERTILIZING CONTROL OF PESTS AND DISEASES AND MAINTAINING WALKS FREE OF DEBRIS AND DIRT, UPON COMPLETION OF EACH AREA, THE CONTRACTOR, THE UNDERSIGNED, THE OWNER, ALONG WITH THE OWNER'S MAINTENANCE REPRESENTATIVE SHALL CONDUCT AN INSPECTION OF COMPLETED AREA. AT THIS TIME, A LIST OF CORRECTIONS, IF ANY, SHALL BE MADE. ALL CORRECTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

AFTER ALL WORK HAS BEEN COMPLETED, INSPECTED AND ACCEPTED, ALL AREAS WILL BE MAINTAINED FOR A PERIOD OF NINETY (90) CALENDAR DAYS OR AS LONG AS IS NECESSARY TO ESTABLISH THRIVING TREES, SHRUBS, TURF AND GROUND COVER WITHOUT BARE SPOTS. KEEP ALL AREAS WEED-FREE, ADEQUATELY WATERED AND NEATLY CULTIVATED FOR THE NINETY (90) PERIOD. REMOVE ALL DEBRIS FROM SITE

AND KEEP THE ENTIRE SITE BROOM-CLEAN. TURF AREAS ARE TO BE MOWED WEEKLY. RE-SEED ALL BARE SPOTS IN TURF AREAS AT TWO (2) WEEK INTERVALS AND MAINTAIN UNTIL AN EVEN STAND OF TURF IS OBTAINED. RE-SEED ALL SLOPE AREAS THAT FAIL TO GERMINATE EVENLY. REPAIR ALL ERODED SURFACES AT NO COST TO THE OWNER. DAMAGE TO ANY PLANTED AREA SHALL BE REPAIRED IMMEDIATELY DEPRESSIONS CAUSED BY VEHICLES OR FOOT TRAFFIC SHALL BE FILLED.

WITH TOPSOIL I EVELED AND REPLANTED 6. THE PROJECT SHALL BE SO CARED FOR THAT A NEAT, CLEAN CONDITION WILL BE PRESENTED AT ALL TIMES TO THE SATISFACTION OF THE OWNER AND THE UNDERSIGNED. THE LANDSCAPE CONTRACTOR SHALL BE EXPECTED TO MAKE A MINIMUM OF ONE (1) VISIT PER WEEK FOR MAINTENANCE PURPOSES DURING THE MAINTENANCE PERIOD (90 DAYS).

AT THE END OF THE MAINTENANCE PERIOD, ALL AREAS THAT HAVE BEEN PLANTED SHALL BE FERTILIZED WITH COMMERCIAL FERTILIZER. ANALYSIS AND RATE OF APPLICATION SHALL BE PER THE SOILS REPORT THE CONTRACTOR SHALL REQUEST A FINAL SITE VISIT SEVEN (7) DAYS PRIOR TO THE END OF THE MAINTENANCE PERIOD (90 DAYS). THIS REQUEST SHALL BE WRITTEN AND DIRECTED TO THE OWNER AND THE UNDERSIGNED. UPON WRITTEN ACCEPTANCE OF THE PROJECT BY THE OWNER AND THE UNDERSIGNED, THE CONTRACTOR SHALL BE RELIEVED OF ANY FURTHER MAINTENANCE.

ALL TURF, GROUND COVER AND SHRUBS SHALL BE GUARANTEED TO LIVE AND GROW THROUGH THE FIRST GROWING SEASON. TREES SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR. THE CONTRACTOR, AT NO COST TO THE OWNER, SHALL REPLACE ANY MATERIAL THAT FAILS TO GROW THROUGH THE SPECIFIED MAINTENANCE AND GUARANTEED

DBSERVATION VISITS SPECIFIED HEREIN SHALL BE MADE BY THE UNDERSIGNED OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL REQUEST OBSERVATION AT LEAST TWO (2) WORKING DAYS IN ADVANCE OF THE TIME THAT THE OBSERVATION IS REQUESTED. A

2. OBSERVATION VISITS ARE SUGGESTED FOR THE FOLLOWING PARTS OF THE WORK: a. UPON COMPLETION OF GRADING AND SOIL CONDITIONING PRIOR TO PLANTING h WHEN TREES ARE SPOTTED FOR PLANTING BLIT PRIOR TO WHEN PLANTING HOLES ARE EXCAVATED c. WRITTEN ACCEPTANCE OF THE PROJECT TO RELEASE THE CONTRACTOR FROM FURTHER MAINTENANCE SHALL OCCUR AFTER FINAL

OBSERVATION WITH THE OWNER OR HIS REPRESENTATIVE AT THE END OF THE MAINTENANCE PERIOD.

<u>VERIFICATION OF DIMENSIONS</u>
ALL SCALED DIMENSIONS ARE APPROXIMATE. PRIOR TO PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND QUANTITIES, AND SHALL IMMEDIATELY NOTIFY THE UNDERSIGNED OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS AND ACTUAL CONDITIONS. NO WORK SHALL BE DONE IN ANY AREA WHERE THERE IS SUCH A DISCREPANCY UNTIL APPROVAL FOR SAME HAS BEEN GIVEN BY

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITY LINES PRIOR TO ANY CONSTRUCTION, SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DAMAGE SUCH LINES AND PLANT LOCATIONS. PROMPTLY NOTIFY THE LINDERSIGNED TO ARRANGE FOR RELOCATIONS OF UTILITIES OR PLANTING LOCATIONS. FAILURE TO FOLLOW THIS PROCEDURE PLACES UPON THE CONTRACTOR THE RESPONSIBILITY FOR. AT HIS OWN EXPENSE. MAKING ANY AND ALL REPAIRS FOR DAMAGES RESULTING FROM HIS WORK.

EXISTING TREES
CONTRACTOR IS TO TAKE CARE IN PRESERVING ANY EXISTING TREES GREATER THAN OR EQUAL TO 6" ON THE SITE. DAMAGE OR LOSS OF THESE TREES WILL RESULT IN REPLACEMENT OF EQUAL SIZE BY THE LANDSCAPE CONTRACTOR.

THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, FINAL GRADING, SEEDING, SOIL AMENDMENTS, FTC AS MAY BE REQUIRED FOR A COMPLETE INSTALLATION

ALL TREE AND SHRUB MATERIAL SPECIFIED MUST MEET STANDARD INDUSTRY SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED. DOWNSIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF UNDERSIGNED WILL NOT BE ALLOWED.

ILL LANDSCAPE AREAS SHALL BE GRADED TO A SMOOTH EVEN SURFACE PRIOR TO ANY PLANT INSTALLATION. ALL PLANT MATERIALS SHALL BE INSTALLED USING GOOD HORTICULTURAL PRACTICES IN ACCORDANCE WITH THE PLANS AND DETAILS.

IREE PLANTINGS

1. WHENEVER FEASIBLE, TREES SHOULD BE PLANTED A MINIMUM OF TEN (10) FEET FROM ALL UNDERGROUND UTILITIES, STREETLIGHTS, HYDRANTS

TO SERVE SET UP TO SET UP AND OUT OF DRAINAGE FLOW LINES. SHOULD THIS NOT BE POSSIBLE, CONTACT THE UNDERSIGNED FOR DECISION ON PLACEMENT. ALL TREES IN TURF AREAS SHALL HAVE 12" MIN. CLR. CIRCUMFERENCE AROUND THE TRUNK BASE. PROVIDE 3" MIN. THK. MULCH AT BASE OF

<u>;ROUNDCOVER</u> 3ROUNDCOVER TYPE SHOWN SHALL BE PLANTED IN ALL SHRUB AREAS AS SPECIFIED ON PLANS. GROUNDCOVER SHALL BE PLANTED AT 18" ON-CENTER UNIFORM TRIANGULAR SPACING, AND SHALL BE CONTINUOUS UNDER ALL TREE AND SHRUB MASSES AS SHOWN ON PLAN.

TURE ALL TURE AREAS ARE TO BE SODDED WITH AN APPROVED GRASS MIXTURE.

*SEE LANDSCAPING NOTES AND DETAIL SHEET FOR ADDITIONAL PLANTING NOTES

THE OWNER SHALL HAVE A SOIL ANALYSIS MADE AFTER COMPLETION OF THE ROUGH GRADING. THE CONTRACTOR SHALL INCORPORATE ALL SOIL AMENDMENTS AND FERTILIZERS DESCRIBED HEREIN. THE SOIL PREPARATION SPECIFIED BELOW SHALL BE ADJUSTED ACCORDING TO THE ANALYSIS, FOLLOWING APPROVAL FROM THE UNDERSIGNED.

IRRIGATION IS TO BE INSTALLED WHERE NOTED ON PLAN ACCORDING TO SHOP DRAWINGS.

A. WEED CONTROL FOR LAWN, SHRUB & GROUND COVER AREAS (EXCEPT SLOPES)

5. LICENSED APPLICATOR SHALL APPLY SYSTEMIC WEED KILLER TO ALL PLANTING AREAS PER MANUFACTURER'S SPECIFICATIONS.

FERTILIZE ALL SHRUB/GROUND COVER AREAS. APPLY 10LBS. OF 16-20-0 COMMERCIAL FERTILIZER PER 1,000 SQ. FT. OR AS DIRECTED BY SOILS 4. WATER ALL SHRUB/GROUND COVER AREAS FOR THREE (3) WEEKS TO GERMINATE WEED SEEDS. APPLY WATER AT LOW RATE TO AVOID

PSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED ON ALL REGARDED SURFACES. AT LEAST THREE (3) INCHES OF EVEN COVER SHALL BE PROVIDED TO ALL DISTRIBUTED AREAS OF THE DEVELOPMENT AND SHALL BE STABILIZED BY SEEDING OR PLANTING. IF EXCESS TOPSOIL REMAINS, THE THICKNESS SHALL BE INCREASED. IF ADDITIONAL IS REQUIRED, THE DEVELOPER SHALL PROVIDE IT. REMOVAL OF

EXCESS TOPSOIL SHALL ONLY BE PERMITTED IN ACCORDANCE WITH A PLAN APPROVED BY THE MUNICIPAL AGENCY.

SOIL PREPARATION & FINAL GRADING

1. ALL STUMPS AND OTHER TREE PARTS, LITTER, BRUSH, WEEDS, EXCESS OR SCRAP BUILDING MATERIALS, OR OTHER DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF, NO TREE STUMPS, PORTIONS OF TREE TRUNKS OR LIMBS SHALL BE BURIED ANYWHERE IN THE DEVELOPMENT. ALL DEAD OR DYING TREES, STANDING OR FALLEN, SHALL BE REMOVED FROM THE SITE

ROUGH GRADE: SITE TO BE RECEIVED BY LANDSCAPE CONTRACTOR, TO WITHIN 1/10 FOOT PLUS OR MINUS, BY OWNER BASED UPON GRADING FINAL GRADE: FINAL GRADE TO CONSIST OF GRADING, RAKING AND HAND WORK NECESSARY TO ACHIEVE DESIRED CONTOUR AND FLOW LINE PATTERNS RESULTING IN EVENLY FINISHED SURFACES FREE OF DEBRIS AND LITTER.

SPREAD OVER ALL LAWN, SHRUB AND GROUND COVER AREAS, AMENDMENTS AND FERTILIZER PRESCRIBED IN SOILS REPORT. THOROUGHLY MIX INTO SOIL TO DEPTH OF 6" OR MORE AND FINE GRADE. CONTRACTOR TO IMPORT SOIL NECESSARY TO ATTAIN DESIGN GRADES AND BERMS, ALL IMPORTED SOIL SHALL BE FREE OF WEEDS AND DEBRIS AND HAVE BALANCED PH., SMOOTH AND EVEN GRADING FOR PROPER DRAINAGE, FINAL GRADE SHALL BE 1" BELOW WALK/TOP OF CURB. REMOVE FROM THE SITE ALL STONES OVER 2" IN SIZE.

D. <u>PLANTING</u>
PLANT TREES, SHRUBS AND GROUND COVER AS CALLED FOR WHERE INDICATED ON PLANTING PLAN AND AS DETAILED ON PLANTING DETAIL SHEET. GROUND COVER - FLATS AND/OR CUTTINGS:

ALL PLANT MATERIALS SPECIFIED AS PLUGS OR FLAT STOCK ON PLANTING PLAN SHALL REMAIN IN THE FLATS UNTIL TIME OF TRANSPLANTING. THE FLAT SOIL SHALL CONTAIN SUFFICIENT MOISTURE SO THAT SOIL DOES NOT FALL APART WHEN LIFTING PLANT FROM FLAT. GROUND COVER PLANTS SHALL NOT BE ALLOWED TO DRY OUT BEFORE OR DURING PLANTING. ROOTS SHALL NOT BE EXPOSED TO THE AIR EXCEPT WHILE ACTUALLY BEING PLANTED. WILTED PLANTS WILL NOT BE ACCEPTED. AT THE TIME OF PLANTING, THE SOIL AROUND EACH PLANT SHALL BE FIRMED SUFFICIENTLY TO FORCE OUT AIR POCKETS. PLANTS TO BE PLANTED IN TRIANGULAR SPACING AS SPECIFIED O.C. (ON CENTER). ALL CUTTINGS SHALL BE MINIMUM OF 6" LONG. WATER IMMEDIATELY AFTER EACH PLANTING UNTIL ONE INCH OF WATER PENETRATION IS OBTAINED. CARE SHALL BE EXERCISED AT ALL TIMES TO PROTECT THE PLANTS AFTER PLANTING. ANY DAMAGE TO PLANTS BY TRAMPLING OR OTHER OPERATIONS OF THIS CONTRACT SHALL BE REPAIRED IMMEDIATELY.

PLANT ALL CONTAINER GROWN PLANTS IN PLANTING PITS AS DIRECTED ON TREE AND SHRUB PLANTING AND STAKING DETAIL. THOROUGHLY MIX BACKFILL ACCORDING TO TREE AND SHRUB PLANTING AND STAKING DETAIL. CONTRACTOR SHALL CONSTRUCT BASINS AROUND ALL TREES; BASINS SHALL NOT EXCEED TOP OF ROOT BALL CROWN.

ALL TREES SHALL HAVE A CALIPER OF TWO AND ONE-HALF (2 ½) INCHES OR SPECIFIED CALIPER IN PLANTING SCHEDULE AND THEY SHALL BE NURSERY GROWN, OF SUBSTANTIALLY UNIFORM SIZE AND SHAPE, AND HAVE STRAIGHT TRUNKS. TREES SHALL BE PROPERLY PLANTED AND STAKED ACCORDING TO TREE AND SHRUB PLANTING AND STAKING/EVERGREEN PLANTING & STAKING DETAIL AND PROVISION MADE BY THE APPLICANT FOR REGULAR WATERING AND MAINTENANCE UNTIL THEY ARE ESTABLISHED. THE APPLICANT SHALL REPLACE DEAD OR DYING TREES DURING THE NEXT PLANTING SEASON TOP DRESSING

TOP DRESS ALL GROUND COVER AND SHRUB AREAS WITH 2" THICK LAYER OF OGC (ORGANIC GROUND COVER) AS SPECIFIED ON PLANTING

SOD

1. AREAS SHALL HAVE A SMOOTH CONTINUAL GRADE BETWEEN EXISTING OF FIXED CONTROLS, SUCH AS: WALKS, CURBS, CATCH BASINS. ROLL, SCARIFY, RAKE AND LEVEL AS NECESSARY TO OBTAIN TRUE, EVEN SOIL STRUCTURE. APPLY FERTILIZERS AS SPECIFIED BY SOIL ANALYSIS TO DEPTH OF 6".

SOD SHALL BE INSTALLED THE SAME DAY AS IT IS DELIVERED. SOD SHALL NOT BE LEFT ON PALLETS IN THE HOT SUN. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO SOD NOT INSTALLED ON DAY OF DELIVERY 4. UNROLL SOD CAREFULLY AND PLACE IN STAGGERED PATTERN OF STRIPS. SOD SHALL BE INSTALLED AGAINST ADJACENT STRIPS TO ELIMINATE FOLLOWING INSTALLATION, SOD SHALL BE IRRIGATED THOROUGHLY TO PROVIDE MOISTURE PENETRATION TO AT LEAST 6" INTO PREPARED

6. ALL SOD SHALL BE HANDLED AND LAID IN A HIGH STANDARD OF WORKMANSHIP MANNER. ALL ENDS, JOINTS, AND CUTS SHALL FIT TIGHTLY SO THAT THERE ARE NO VOIDS. THE FINAL APPEARANCE SHALL BE ONE OF A CONTINUOUS LAWN. SECTIONS OF SOD LESS THAN 18" LONG OR 9"

7. NO SOD AREA WILL BE ACCEPTED UNTIL APPROVED BY AUTHORITY HAVING JURISDICTION OR THE UNDERSIGNED. AS REQUIRED

GRADING NOTES ALL PROPOSED ON-SITE CURBING TO BE VERTICAL CURB WITH 6" REVEAL, UNLESS OTHERWISE STATED.

2. ALL CURBS SHALL BE DEPRESSED AT CROSSWALKS AND CONFORM TO APPLICABLE STATE AND FEDERAL BARRIER FREE DESIGN STANDARDS.

3. ALL CURB INLETS TO USE 6" CASTING. TOP OF CASTING TO FOLLOW TOP OF CURB ELEVATIONS.

FOR ALL AREAS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY, ACCESSIBILITY SHALL BE IN ACCORDANCE WITH THE CURRENT PUBLIC

RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEE GUIDELINE (PROWAG).

a. ALL WALKING SURFACES TO HAVE A MAXIMUM RUNNING SLOPE OF 1:20 (5%) b. ALL WALKING SURFACES GREATER THAN 1:20 (5%) WILL REQUIRE HANDRAILS.

c. RAMP RUNS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1:12 (8.3%).

d. ALL WALKING SURFACES TO HAVE A MAXIMUM CROSS SLOPE OF 1:48 (2%). e. ALL CROSSWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1:48 (2%).

. ALL GRADING WITHIN GRASSED AREAS TO BE A MINIMUM OF 2% AND A MAXIMUM OF 3:1 SLOPE UNLESS OTHERWISE NOTED.

6. POSITIVE DRAINAGE TO BE MAINTAINED FROM ALL BUILDINGS IN ACCORDANCE WITH APPLICABLE REGULATIONS AND BUILDING CODE. FLOOR ELEVATIONS, ADJACENT GRADE, DOORWAY LOCATIONS AND ELEVATIONS SHALL BE CONFIRMED WITH ARCHITECTURAL PLANS PRIOR TO

ALL EXCAVATED SOIL TO BE DISPOSED SHALL BE PROPERLY CLASSIFIED, HANDLED, AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL,

9. ALL GRASSED AREAS TO HAVE A MINIMUM OF 4" CLEAN TOP SOIL, WHEN SOD IS BEING INSTALLED, OR 6" CLEAN TOP SOIL FOR SEEDING APPLICATIONS

DRAINAGE NOTES

1. PIPE LENGTHS INDICATED ARE MEASURED CENTER TO CENTER OF EACH STRUCTURE.

SHOP DRAWINGS AND PRODUCT CATALOG INFORMATION FOR ALL STORM DRAINAGE SEWER STRUCTURES. CONDUITS. MATERIALS, AND APPURTENANCES, TO BE PROVIDED TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASING

BUILDING ROOF LEADERS AND CLEAR WASTE FROM BUILDING TO CONNECT TO SITE STORM SEWER SYSTEM. CONNECTION POINTS WILL BE

UNLESS OTHERWISE INDICATED: a. RCP SHALL BE CLASS 3 WALL, BELL AND SPIGOT TYPE WITH O-RING GASKETS, UNLESS OTHERWISE NOTED.

b. HDPE PIPES SHALL BE ADS N-12 WITH WATER TIGHT JOINTS OR APPROVED EQUAL. c. STORM SEWER PVC PIPES SHALL BE SCHEDULE 80 WITHIN PAVED AREAS AND SCHEDULE 40 IN LANDSCAPED AREAS, UNLESS OTHERWISE

5. ALL STORM PIPE TO BE CLEANED AND TELEVISED PRIOR TO ISSUANCE OF CERTIFICATES OF OCCUPANCY

SANITARY SEWER NOTES

CONTRACTOR TO PERFORM TEST PITS TO VERIFY EXISTING UTILITY DEPTHS, SIZES AND LOCATIONS PRIOR TO CONNECTING PROPOSED SEWER TO EXISTING SEWER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS SO THAT DESIGN MODIFICATIONS CAN BE MADE

2. PIPE LENGTHS INDICATED ARE MEASURED CENTER TO CENTER OF EACH STRUCTURE.

ALL SANITARY SEWER MAINS, SEWER LATERALS, AND APPURTENANCES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY AND NJDEP REQUIREMENTS

SHOP DRAWINGS AND PRODUCT CATALOG INFORMATION FOR ALL SANITARY SEWER, CONDUITS, MATERIALS, AND APPURTENANCES, TO BE PROVIDED TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASING

ANY DAMAGE CAUSED TO THE EXISTING SANITARY SEWER SYSTEM AS A RESULT OF CONSTRUCTION ACTIVITIES (TO BE DETERMINED BY THE SEWER OWNER) SHALL BE REPAIRED BY THE CONTRACTOR. AT THE COST OF THE CONTRACTOR AND TO THE SEWER OWNER'S SATISFACTION

PRIOR TO ACCEPTANCE, AS-BUILT PLANS FOR THE SANITARY SEWER SYSTEM SHALL BE SUBMITTED AND APPROVED.

PRIOR TO ACCEPTANCE, THE SANITARY SEWER SYSTEM SHALL BE TESTED IN ACCORDANCE WITH TOWNSHIP OF MIDDLETOWN SEWAGE AUTHORITY RULES AND REGULATIONS. AND WITNESSED AND APPROVED BY THE AUTHORITY ENGINEER.

8 REFER TO TECHNICAL SPECIFICATIONS FOR SANITARY SEWER FOR MATERIAL, INSTALLATION SPECIFICATIONS AND TESTING REQUIREMENTS.

IN ACCORDANCE WITH N.J.A.C. 7:10-11.10(E)5, ALL WATER MAINS AND SANITARY SEWER LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SLICH OTHER SEPARATION EXPRESSLY APPROVED BY THE NJDEP. AT CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRUCTION (DUCTILE IRON), WITH WATERTIGHT JOINTS

10. UNLESS OTHERWISE INDICATED SANITARY SEWER MAINS SHALL BE PVC SDR-35

THAT ARE A MINIMUM OF 10 FEET FROM THE WATER MAIN.

11. A MARKER STAKE PROTRUDING A MINIMUM OF FOUR FEET ABOVE THE GROUND SURFACE SHALL BE PLACED TO INDICATE THE END OF THE CONSTRUCTION STUBS FOR BUILDING CONNECTIONS, OR STUBS SHALL BE TURNED AND EXTENDED ABOVE GRADE BY FOUR FEET AND CAPPED.

CIRCULAR HOLE SAWS WHICH ARE APPROPRIATELY SIZED OR HAND DRILLS MUST BE USED TO MAKE OPENINGS IN EXISTING SEWERS TO RECEIVE LATERALS. JACKHAMMERS, SLEDGEHAMMERS AND OTHER UNSUITABLE TOOLS OR MACHINERY WHICH MAY DAMAGE THE SEWER MAIN ARE NOT ALLOWED TO BE USED TO MAKE LATERAL OPENINGS. ALL DEBRIS MUST BE REMOVED AND NOT ALLOWED TO FALL INTO THE PIPE.

WATER NOTES

CONTRACTOR TO PERFORM TEST PITS TO VERIFY EXISTING UTILITY DEPTHS, SIZES AND LOCATIONS PRIOR TO CONNECTING PROPOSED WATER MAINS TO EXISTING WATER MAINS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS SO THAT DESIGN MODIFICATIONS CAN BE MADE IF NECESSARY

SHOP DRAWINGS AND PRODUCT CATALOG INFORMATION FOR ALL WATER, CONDUITS, MATERIALS, AND APPURTENANCES, TO BE PROVIDED TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASING

PRIOR TO ACCEPTANCE, AS-BUILT PLANS FOR THE WATER SYSTEM SHALL BE SUBMITTED AND APPROVED.

4. REFER TO TECHNICAL SPECIFICATIONS FOR WATER MATERIAL, INSTALLATION SPECIFICATIONS AND TESTING REQUIREMENTS.

5. ALL WATER MAINS, WATER SERVICES AND APPURTENANCES SHALL BE CONSTRUCTED, TESTED AND DISINFECTED IN ACCORDANCE WITH NJAW AND NJDEP REQUIREMENTS.

ALL WATER SERVICES TO BE INSTALLED IN CONFORMANCE WITH THE REQUIREMENTS OF THE PLUMBING SUBCODE PROMULGATED BY THE NEW JERSEY DEPARTMENT OF COMMUNITY AFFAIRS PURSUANT TO THE STATE UNIFORM CONSTRUCTION CODE ACT (NJAC 5:23-3.15).

ALL NEW WATER MAINS SHALL BE LAID WITH A MINIMUM OF 3.5 FEET OF COVER OVER THE PIPE TO PREVENT FREEZING.

IN ACCORDANCE WITH N.J.A.C. 7:10-11.10(E)5, ALL WATER MAINS AND SANITARY SEWER LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH OTHER SEPARATION EXPRESSLY APPROVED BY THE NJDEP. AT CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRUCTION (DUCTILE IRON), WITH WATERTIGHT JOINTS THAT ARE A MINIMUM OF 10 FEET FROM THE WATER MAIN

UNLESS OTHERWISE INDICATED DIP WATER MAIN SHALL BE CLASS 53 CEMENT LINED DUCTILE IRON PIPE. (POLYETHYLENE ENCASEMENT)

10. A MARKER STAKE PROTRUDING A MINIMUM OF FOUR FEET ABOVE THE GROUND SURFACE SHALL BE PLACED TO INDICATE THE END OF THE

PUBLIC UTILITY NOTES

. ALL PUBLIC UTILITY SERVICE CONNECTIONS TO BUILDINGS TO BE LOCATED UNDERGROUND.

ELECTRICAL, TELEPHONE, CATV AND ALL OTHER WIRE-SERVED UTILITY EXTENSIONS AND SERVICES SHALL BE INSTALLED UNDERGROUND WITH STANDARDS ESTABLISHED BY THE SERVICING UTILITY COMPANY

GAS AND ELECTRICAL SERVICE CONDUITS AND STRUCTURES MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND PROVIDED DESIGN BY JCP&L/NJNG. THE CONTRACTOR MUST PROVIDE RECORD "AS BUILT" PLANS OF ALL CONDUITS AND STRUCTURES TO JCP&L/NJN PROJECT ENGINEER AND THE PROJECT OWNER

TELEPHONE AND CATV SERVICE CONDUIT AND STRUCTURES MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF VERIZON AND COMCAST. THE CONTRACTOR MUST PROVIDE RECORD "AS BUILT" PLANS OF ALL CONDUITS AND STRUCTURES TO VERIZON, COMCAST, PROJECT

5. CONTRACTOR SHALL MAINTAIN FIELD NOTES, PHOTOGRAPHS, AND REDLINE PLANS CLEARLY RECORDING THE LOCATION OF ALL UNDERGROUND INSTALLATIONS. THESE RECORDS SHALL BE PROVIDED TO THE ENGINEER UPON REQUEST

SITE PREPARATION NOTES

PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR/TO:

a. ENSURE COPIES OF ALL PERMITS AND APPROVALS ARE ON SITE FOR REVIEW b. THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO SITE DISTURBANCE. c. ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE CABLE FIBER OPTIC CABLE FTC WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE

CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE AI UNDERGROUND UTILITIES. d. PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES. e. FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENT AND IS RESPONSIBLE FOR ALL

COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.

f. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. g. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISIONS. CONTRACTOR IS TO PROCEED WI

THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO INSURE PUBLIC AND

h. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. IN ABSENCE OF SPECIFIC SPECIFICATION. THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES. DEMOLITION AND REMOVAL O

ALL FOUNDATION WALLS. FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY

OWNER'S GEOTECHNICAL ENGINEER. DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINES, WITHOUT WRITTEN PERMISSION

FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL E CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.

CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE

USE DUST CONTROL MEASURES TO LIMIT THE AMOUNT OF AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR TO WITHIN

UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESS.

7. ALL UTILITY CONNECTIONS TO ADJACENT BUILDINGS MUST STAY ACTIVE DURING CONSTRUCTION.

TO PROVIDE A SAFE WORK SITE.

THE CONTRACTOR IS RESPONSIBLE TO ENSURE SHUT OFF, DISCONNECT, AND/OR CAPPING OF ALL UTILITIES TO THE SITE INCLUDING, BUT NOT LIMITED TO, WATER, SEWER, ELECTRIC, CABLE, TELEPHONE, ETC. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL UTILITY SHUT OFFS AND LETTERS. OBTAINING ALL PERMITS TO COMPLETE ALL PHASES OF THE PROJECT.

ALL STREET APPURTENANCES (INCLUDING SIGNS, POLES, TREES & FENCING) WITHIN THE LIMITS SHOWN ARE TO BE REMOVED AND DISPOS

OFF-SITE UNLESS OTHERWISE NOTED. 10. EXISTING LIGHTING AND UTILITY POLE REMOVALS ARE TO BE PERFORMED BY THE APPROPRIATE UTILITY COMPANY.

ALL UNDERGROUND UTILITIES, LINES, PIPING, STRUCTURES, FOUNDATIONS, VAULTS AND BUILDING FRAGMENTS ASSOCIATED WITH FORMER BUILDINGS, WITHIN THE PROJECT BOUNDARY, ARE TO BE REMOVED AND DISPOSED OFF SITE.

12. ALL STRUCTURES (CURBS, SIDEWALKS, PATIO, RETAINING WALL, FENCES, ASPHALT, CONCRETE, ETC.) WITHIN THE PROJECT'S BOUNDARY SHALL BE REMOVED AND DISPOSED OFF-SITE AT AN APPROPRIATE FACILITY.

13. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OFFSITE I ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES, ORDINANCES, AND LAWS.

1. ALL SIGNAGE TO BE POSTED IN ACCORDANCE WITH THE UNITED STATES DEPARTMENT OF TRANSPORTATION-FEDERAL HIGHWAY ADMINISTRATION, "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS (MUTCD), LATEST EDITION.

2. ALL STOP BARS SHALL BE 24" WIDE WHITE THERMO PLASTIC STRIPE. ALL OTHER STRIPING MAY BE EPOXY

3. ALL CURB AND SIDEWALKS SHALL CONFORM TO STATE AND FEDERAL BARRIER FREE DESIGN STANDARDS.

ALL SIDEWALK RAMPS MARKED HCR TO HAVE DETECTABLE WARNING SURFACE INSTALLED IN ACCORDANCE WITH ADA REGULATIONS. ALI DETECTABLE WARNING STRIPS SHALL BE "REPLACEABLE WET-SET" OR EQUIVALENT. SURFACE MOUNT OR "STICK ON" WARNING STRIPS AR NOT PERMITTED UNLESS NOTED OTHERWISE

ALL PROPOSED ON-SITE CURBING TO BE VERTICAL CONCRETE CURBING. ALL PROPOSED CURBING WITHIN MUNICIPAL OR COUNTY

RIGHT-OF-WAYS TO BE VERTICAL CONCRETE CURBING ALL CONNECTIONS WITH EXISTING PAVEMENTS, CURBS, SIDEWALKS, ETC SHALL BE SAW CUT.

RETAINING WALLS REQUIRE STRUCTURAL DESIGN BY A LICENSED PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION

9. SEE LANDSCAPE PLANS FOR DETAILS ON HARDSCAPE AND PLANTING MATERIALS.

8. SIDEWALK/WALKWAY RISERS MUST BE GREATER THAN 4" AND LESS THAN 8".

10. SEE ARCHITECT'S PLANS FOR BUILDING ELEVATIONS AND FLOOR PLANS.

PROPOSED

PROJECT INFORMATION

BLOCK 42, LOT 1 60 BAY AVENUE BOROUGH OF HIGHLANDS. MONMOUTH COUNTY, NJ

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE HIGHLANDS, NJ 07732

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

<u>ATTORNEY:</u> DONNA M. JENNINGS ESQ WILENTZ, GOLDMAN & SPITZER, PA

90 WOODBRIDGE CENTER DRIVE, SUITE 900

SALVATORE LA FERLITA, R.A. 115 UNIVERSITY DRIVE

WOODBRIDGE, NJ 07095

INSITE SURVEYING, LLC 1955 ROUTE 37, SUITE 1A WALL, NJ 07719

LINCROFT, NJ 07738



NJ ONE CALL.....800-272-1000

TEMP. SURVEY MARKINGS

CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719

InSite@InSiteEng.net www.InSiteEng.net

732-531-7100 (Ph) 732-531-7344 (Fax)

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA

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REVISIONS

NJ PE 24GE05331000

PER COUNTY
PER COUNTY
PER COUNTY
PER COUNTY
PER COUNTY REVIEW LETTER
FOR RESOLUTION COMPLIANCE
FOR RESOLUTION COMPLIANCE
PER BOROUGH COMMENTS
PER ATTORNEY
PER ATTORNEY
I PER ARCHITECT
INITIAL RELEASE

11/20/24 06/05/24 04/09/24 03/28/24 03/12/24 02/05/24 DESIGNED BY: DDC SCALE: AS SHOWN DATE: **02/05/24** DRAWN BY: AMC

CHECKED BY: DDC

JOB #: 23-2237-01 CAD ID: 23-2237-01r3

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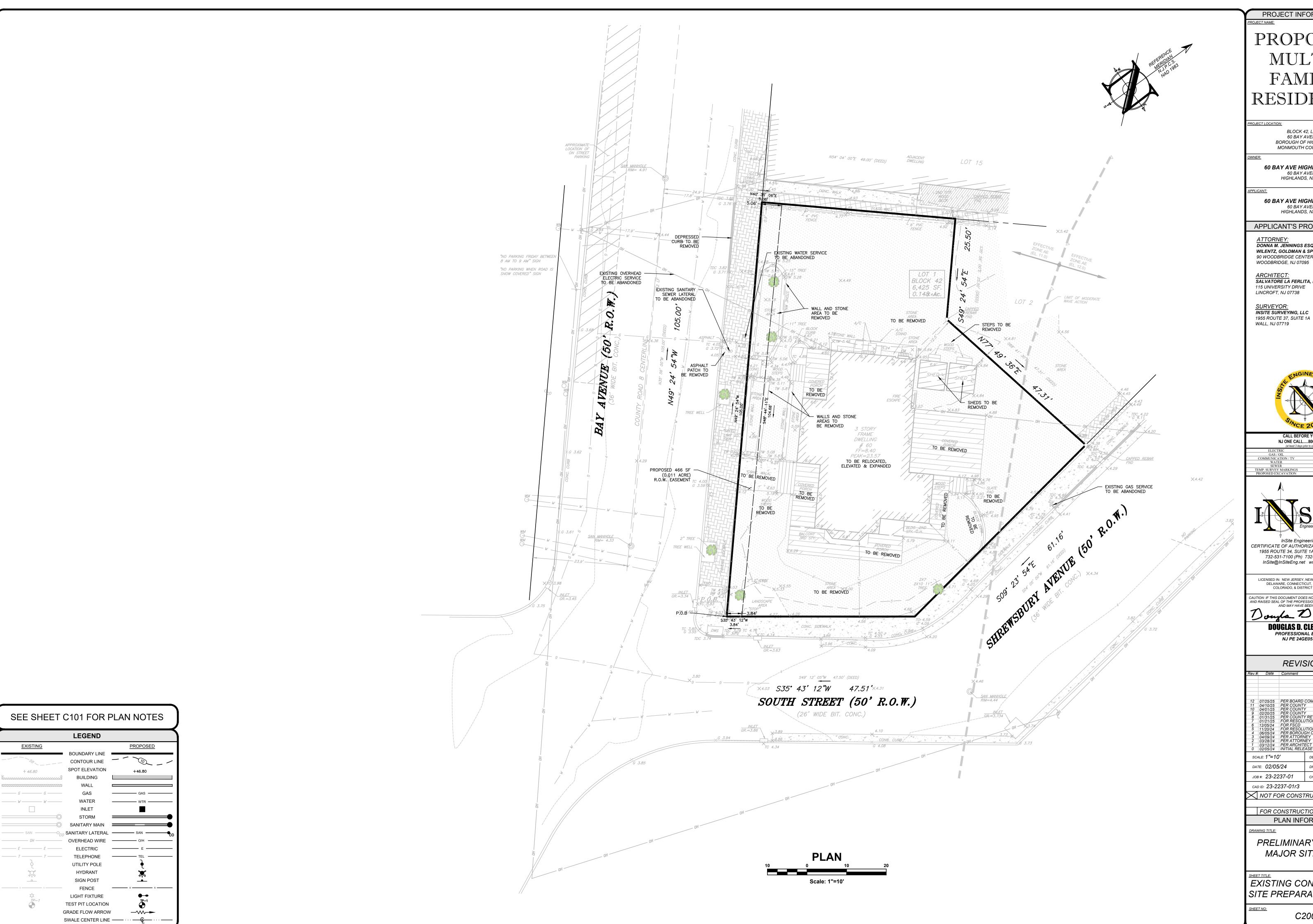
APPROVED BY FOR CONSTRUCTION PLAN INFORMATION

PRELIMINARY & FINAL

NOT FOR CONSTRUCTION

MAJOR SITE PLAN

PLAN NOTES



PROJECT INFORMATION PROPOSED

MULTI -FAMILY RESIDENCE

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ARCHITECT: SALVATORE LA FERLITA, R.A. 115 UNIVERSITY DRIVE LINCROFT, NJ 07738

SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 37, SUITE 1A WALL, NJ 07719



NJ ONE CALL.....800-272-1000

InSite Engineering, LLC CERTIFICATE OF AUTHORIZATION: 24GA28083200 732-531-7100 (Ph) 732-531-7344 (Fax) InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA DELAWARE, CONNECTICUT, NORTH CAROLINA COLORADO, & DISTRICT OF COLUMBIA

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OUTPUT

DOUGLAS D. CLELLAND, PE PROFESSIONAL ENGINEER NJ PE 24GE05331000

		REVIS	SIONS
Rev.#	Date	Comment	
12	07/25/25	PER BOARD	COMMENTS
11	04/10/25	PER COUNT	Y
10	04/01/25	PER COUNT	Y
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CAD ID: 23-2237-01r3 NOT FOR CONSTRUCTION

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PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

EXISTING CONDITIONS & SITE PREPARATION PLAN



BUILDING HEIGHT COMPLIANCE PER MUNICIPAL ORDINANCE

	ZONING	G COMPLIANCE C	HART		
	CBD REDEVELOPMENT OVER	RLAY 2 ZONE (C-F	RO-2 - GATEWAY PARCE	ELS)	
	RESIDENTIAL ABOVE F	IRST FLOOR: PEI	RMITTED (§ 21-91A.u.)		
ORD.SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED	COMPLIES
ATT. 1	MIN. LOT AREA (SF)	-	6,425 (0.147 AC)	NO CHANGE	-
ATT. 1	MIN. LOT FRONTAGE (FT)	-	213.67	NO CHANGE	-
	PRINCIPAL BUILDING				
VII.A.	MIN. FRONT YARD SETBACK (FT)				
	BAY AVENUE (FT)	2	13.9	5.67	YES
	SOUTH STREET (FT)	2	13.3	8.30	YES
	SHREWSBURY AVENUE	2	8.3	7.51	YES
VII.A.	MIN. REAR YARD SETBACK (FT)	12	-	N/A	YES
VII.A.	MIN. SIDE YARD SETBACK	5 (1	11.4	5.00	YES
VII.D.	MAX. BUILDING HEIGHT (FT)	40 (3	11.6	30.33	YES
VII.B.	MAX. BUILDING COVERAGE (%)	80	31.9	52.77	YES
VII.B.	MAX. LOT COVERAGE (%)	80	37.0	75.87	YES
	ACCESSORY BUILDING				
§21-78A.2.	MAX. GROUND FLOOR AREA (%)	30 (2	5.0	N/A	-
§21-78A.2.	MAX. COVERAGE OF REAR YARD (%)	40 (2	n/A	N/A	-
§21-78A.3.	MIN. YARD SETBACK (FT)	3	3.6	N/A	-
	MIN. OUTDOOR LIVING SPACE (SF) 100 SF/UNIT	500	(a)	1,981	YES

(N) EXISTING NON-CONFORMITY (E) EXISTING VARIANCE (V) PROPOSED VARIANCE

(I) IMPROVED CONDITION N/A - NOT APPLICABLE (X) VARIANCE / NON-CONFORMITY ELIMINATED

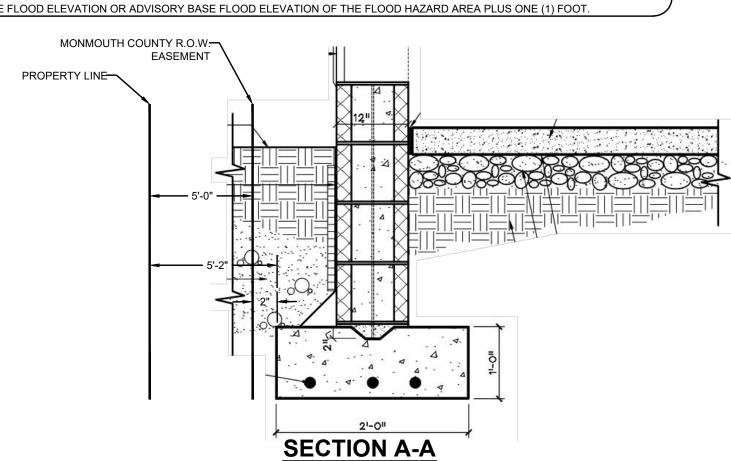
(W) PROPOSED WAIVER (a) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE

(1) PER \$VII.A SIDE YARDS, NO SIDE YARD IS REQUIRED ADJACENT TO THE PROPERTIES IN THE CBD ZONE, HOWEVER, IF ANY IS TO BE PROVIDED, IT SHALL BE AT LEAST FIVE (5) FEET. ANY SIDE YARD WHICH SERVES AS A BOUNDARY BETWEEN THAT LOT AND ANY RESIDENCE ZONE SHALL BE AT LEAST FIVE (5) FEET

(2) NO ACCESSORY STRUCTURE(S), EXCEPT FOR SHORE FRONT PROTECTION, BULKHEADS, REVETMENTS AND OTHER SUCH STRUCTURES, SHALL HAVE AN

AGGREGATE GROUND FLOOR AREA GREATER THAN THIRTY (30%) PERCENT OF THE GROUND FLOOR AREA OF THE PRINCIPAL STRUCTURE ON THE SAME LOT (3) THE VERTICAL DISTANCE AS MEASURED FROM THE GRADE PLANE TO THE AVERAGE HEIGHT OF THE HIGHEST ROOF SURFACE. IN THE CASE OF SLOPED

ROOFS, THE AVERAGE HEIGHT IS THE MID-POINT BETWEEN THE LOWEST ROOF EAVE OF THE TOP FLOOR AND THE ROOF RIDGE. IN THE CASE OF A BUILDING THAT HAS MULTIPLE ROOF LEVELS, THE HIGHEST ROOF LEVELS MUST BE USED TO DETERMINE THE BUILDING HEIGHT GRADE PLANE: AREAS OR PORTIONS OF THE BUILDING AREA OF A LOT LOCATED WITHIN THE FLOOD HAZARD AREA: THE REFERENCE PLANE SHALL BE THE MORE RESTRICTIVE OF THE BASE FLOOD ELEVATION OR ADVISORY BASE FLOOD ELEVATION OF THE FLOOD HAZARD AREA PLUS ONE (1) FOOT.



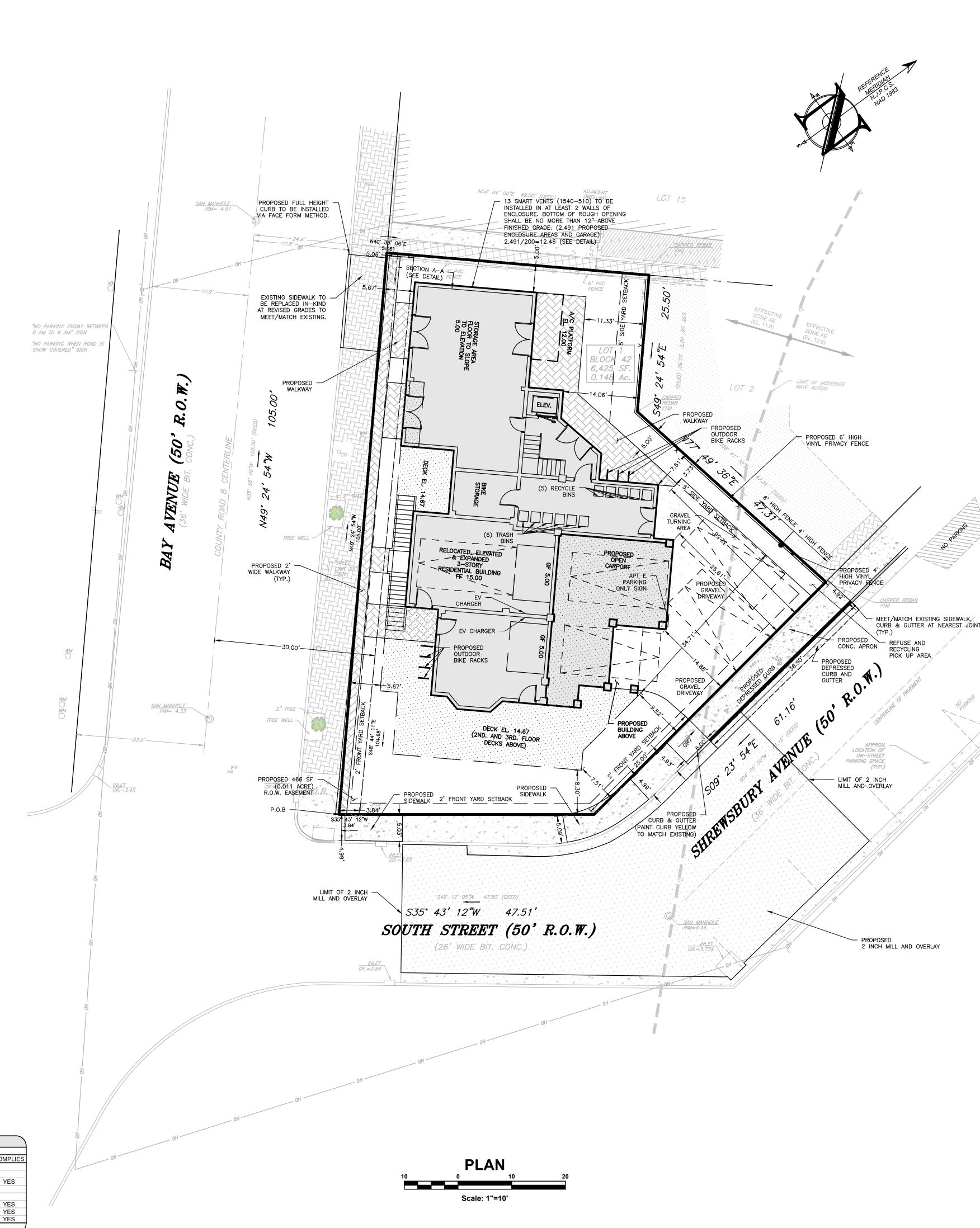
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SEE SHEET (SEE SHEET C101 FOR PLAN NOTES					
	LEGEND					
<u>EXISTING</u>		PROPOSED				
	BOUNDARY LINE CONTOUR LINE					
+ 46.80	SPOT ELEVATION	+46.80				
Kuuuuuuuuuuuu	BUILDING					
	WALL					
——————————————————————————————————————	GAS	———— GAS ————				
——————————————————————————————————————	WATER	——— WTR ————				
	INLET					
	STORM					
	SANITARY MAIN					
SANO_CO	SANITARY LATERAL	SAN CO				
——————————————————————————————————————	OVERHEAD WIRE	O/H				
——— E ———— E ———	ELECTRIC	—— Е ———				
	TELEPHONE	TEL				
ę	UTILITY POLE	•				
, , , , , , , , , , , , , , , , , , , 	HYDRANT	×				
	SIGN POST	<u>.</u>				
x x	FENCE	x x				
ф 78–1	LIGHT FIXTURE	● •				

ORD.SECTION	STANDARD	REQUIRED	PROPOSED	COMPLIES
§21-65.14	STALL SIZE (FT)	9 X 18	9 X 18	YES
	NUMBER OF PARKING SPACES			
RSIS TABLE 4.4	RESIDENTIAL USES (2 FAMILY & MULTIFAMILY UNITS)			
	1.8 SPACES PER (1 BR UNITS) 2.0 SPACES PER (2 BR UNITS) 2.1 SPACES PER (3 BR UNITS)			
	1ST. FLOOR - 2 UNITS 2 BEDROOMS EACH	4		
	2ND. FLOOR - 2 UNITS 2 BEDROOMS EACH	4		
	3RD. FLOOR - 1 UNIT 3 BEDROOMS	2.1		
	TOTAL PARKING SPACES (INCLUDING EV CREDIT OF 1 SPACE)	9.1	5 (1)	YES
	MAX. DRIVEWAY WIDTH AT CURB (FT)	18	36.90 (W)	NO
§21-65.5C.	MAX. DRIVEWAY WIDTH AT INTERIOR (FT)	22	34.71 (W)	NO
§21-65.5A.	MIN. DRIVEWAY DISTANCE TO STREET INTERSECTION (FT)	25	25.00	YES
(N) EXISTING NOT (V) PROPOSED V	N-CONFORMITY (I) IMPROVED CONDITION ARIANCE (W) PROPOSED WAIVER	N/A - NOT A N/S - NOT S	L L APPLICABLE APECIFIED	
(1) PURSUANT TO VEHICULAR PA BEFORE DETE	O THE BOROUGH OF HIGHLANDS, NJ CENTRAL BUSINESS DIST ARKING: RESIDENTIAL USES ARE PERMITTED TO COUNT FIRST FRMINING THE NUMBER OF PARKING SPACES THAT MUST BE IN- STREET PARKING SPACES WITHIN THE IMMEDIATE VICINITY	RICT REDEVELOPMENT PLAN §\ T ANY AVAILABLE ON-STREET P PROVIDED OFF-STREET. THERE	VII.A ARKING SPACES ARE MORE THAI	

TELEPHONE —	TEL		ELECTRIC VEHICLE PARKING SUMMARY (P.L. 1975, c. 291)				
UTILITY POLE	•		RESIDENTIAL ABOVE FIRST FLOOR / CBD REDEVELOPMENT OVERLAY 2 ZONE (C.40:55D-66.20.3.a.(1))				
HYDRANT	×	SECTION	STANDARD	REQUIRED	PROPOSED	COMPLIES	
SIGN POST		3.a.(1)(a)	MIN. NUMBER OF MAKE-READY (MR) PARKING SPACES	15% OF REQUIRED OFF-STREET SPACES			
FENCE —	x x	0.u.(1)(u)		10 x 15% = 1.5 SPACES = 2	2 SPACES	YES	
LIGHT FIXTURE	•••		MIN. # OF INSTALLED VEHICLE SUPPLY EQUIPMENT				
TEST PIT LOCATION	₽ -1			⅓ x MAKE-READY = 1 SPACES	1 EV SPACES	YES	
GRADE FLOW ARROW		3.a.(1)(b)	@ 3 YEARS AFTER CERT. OF OCCUPANCY	$\frac{2}{3}$ x MAKE-READY = 2 SPACES	2 EV SPACES	YES	
SWALE CENTER LINE —	-··· · ···	3.a.(1)(c)	@ 6 YEARS AFTER CERT. OF OCCUPANCY	₹ x MAKE-READY = 2 SPACES	2 EV SPACES	YES	



PROPOSED MULTI -FAMILY RESIDENCE

PROJECT INFORMATION

ROJECT LOCATION:

BLOCK 42, LOT 1 60 BAY AVENUE BOROUGH OF HIGHLANDS. MONMOUTH COUNTY, NJ

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE

HIGHLANDS, NJ 07732

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ATTORNEY: DONNA M. JENNINGS ESQ. WILENTZ, GOLDMAN & SPITZER, PA 90 WOODBRIDGE CENTER DRIVE, SUITE 900

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WOODBRIDGE, NJ 07095

SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 37, SUITE 1A WALL, NJ 07719

LINCROFT, NJ 07738



NJ ONE CALL....800-272-1000



CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax) InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA DELAWARE, CONNECTICUT, NORTH CAROLINA COLORADO, & DISTRICT OF COLUMBIA

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REVISIONS

DOUGLAS D. CLELLAND, PE PROFESSIONAL ENGINEER NJ PE 24GE05331000

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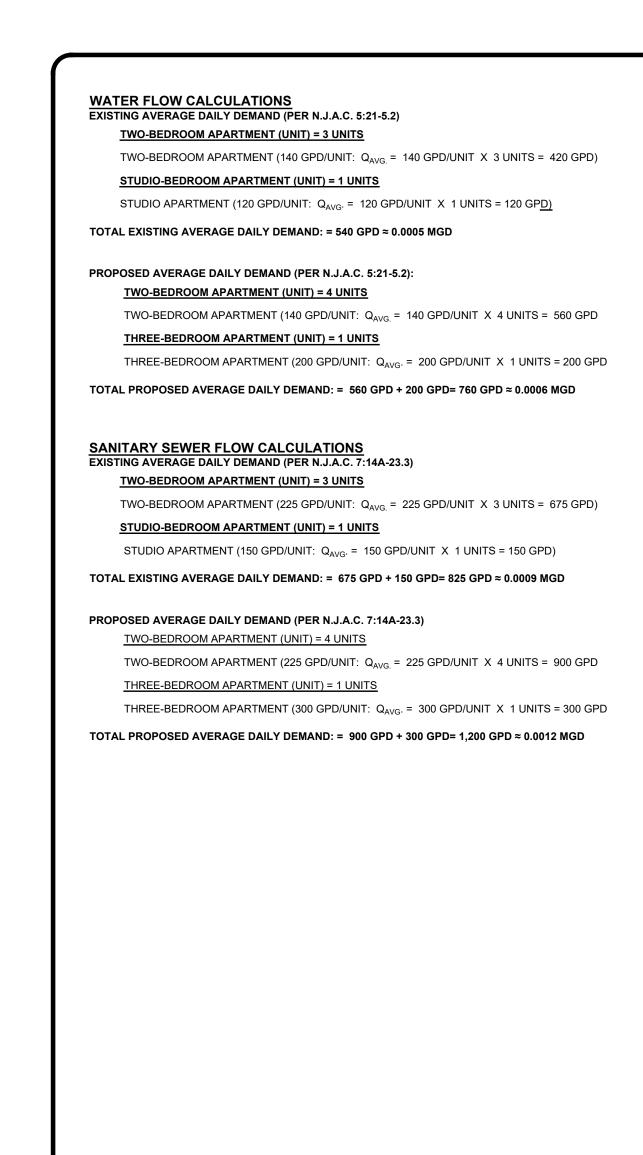
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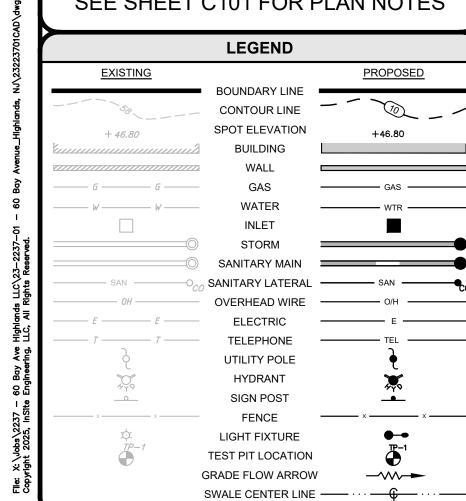
PLAN INFORMATION

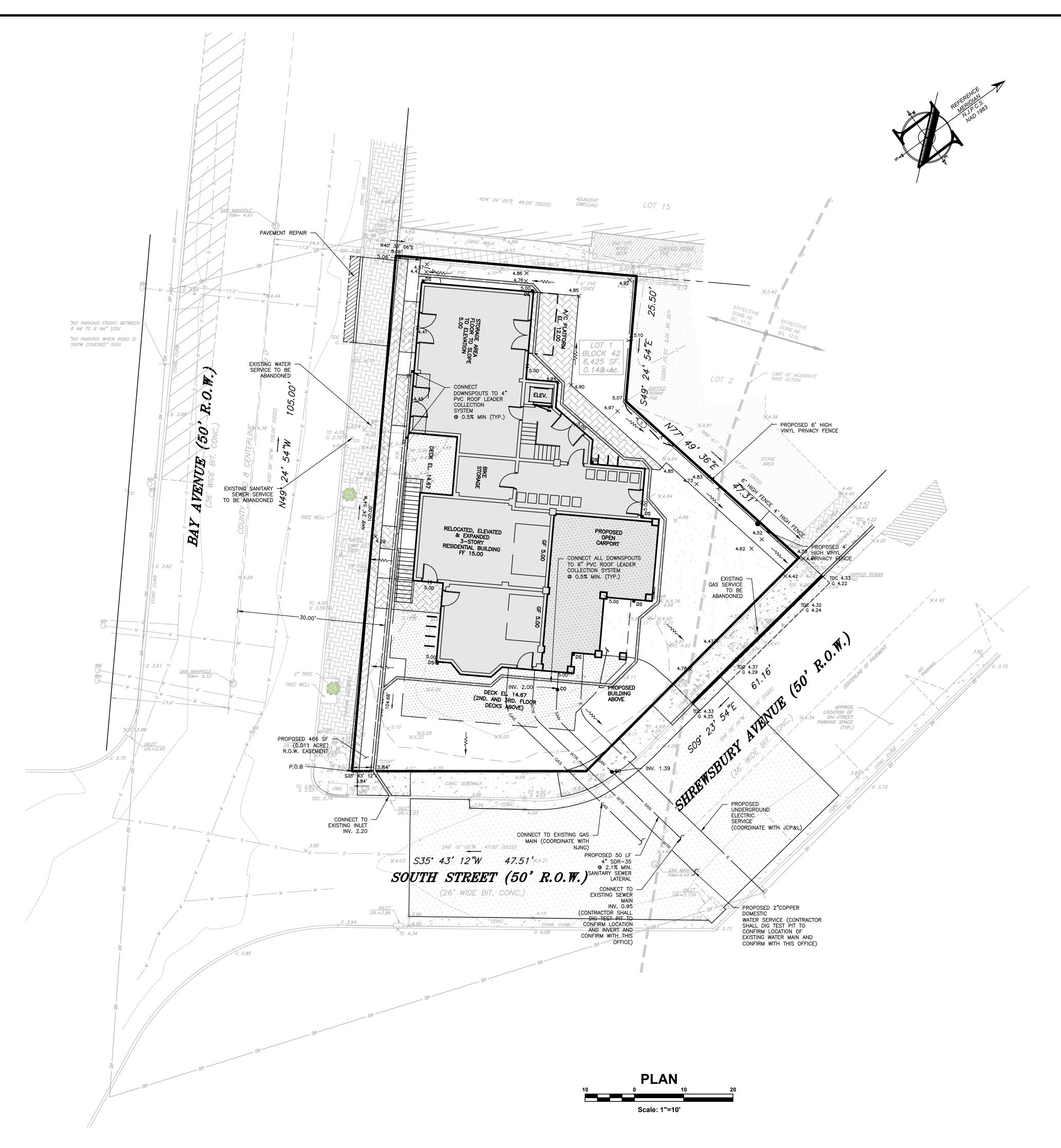
PRELIMINARY & FINAL MAJOR SITE PLAN

SITE LAYOUT PLAN



SEE SHEET C101 FOR PLAN NOTES





PROJECT INFORMATION PROPOSED

MULTI -FAMILY RESIDENCE

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SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 37, SUITE 1A WALL, NJ 07719



NJ ONE CALL....800-272-1000

TEMP. SURVEY MARKINGS
PROPOSED EXCAVATION

CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax) InSite@InSiteEng.net www.InSiteEng.net

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DOUGLAS D. CLELLAND, PE PROFESSIONAL ENGINEER NJ PE 24GE05331000

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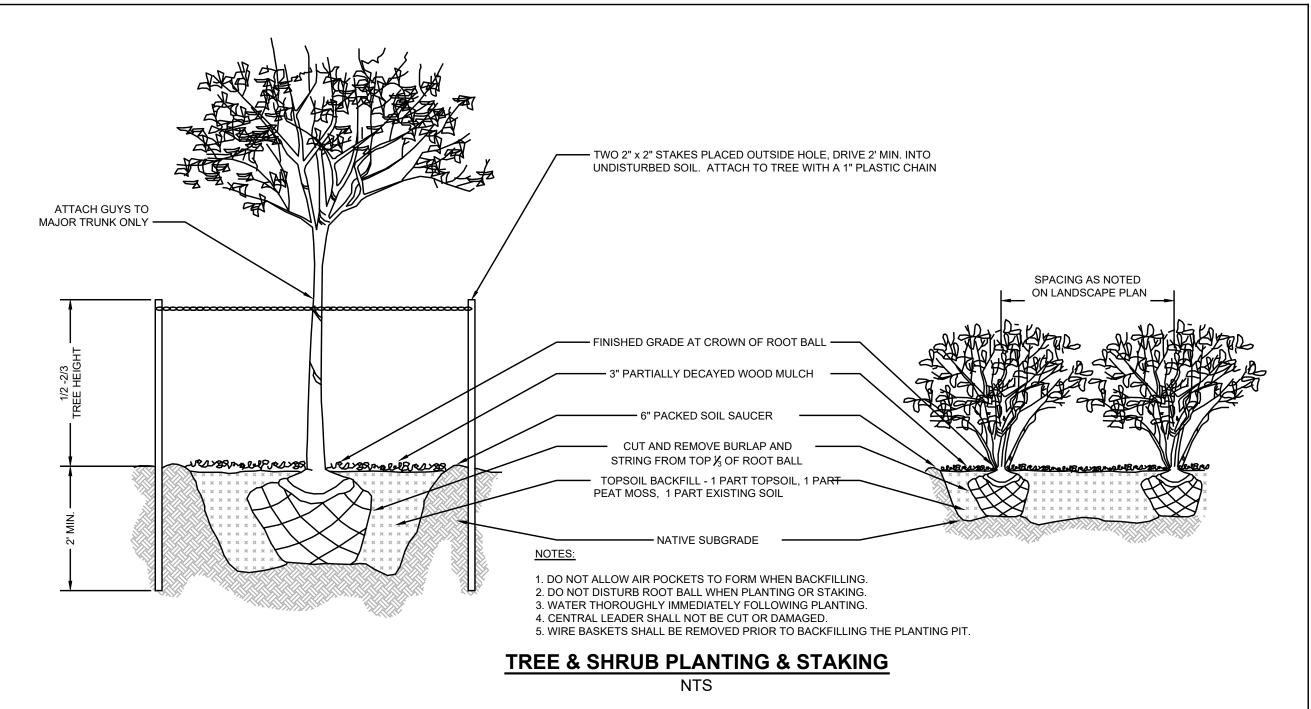
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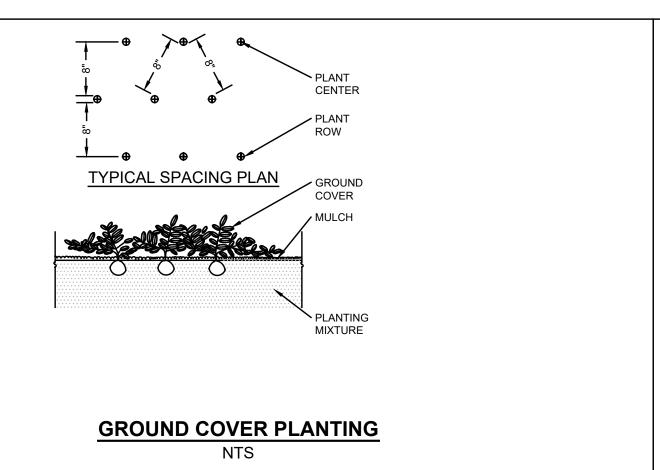
PRELIMINARY & FINAL MAJOR SITE PLAN

GRADING, DRAINAGE & UTILITY PLAN

SHEET NO:







SEE SHEET C101 FOR PLAN NOTES

		-
	LEGEND	
EXISTING		PROPOSED
	BOUNDARY LINE CONTOUR LINE	
+ 46.80	SPOT ELEVATION	+46.80
kuumumumumi	BUILDING	
	WALL	
G G	GAS	———— GAS ————
W W	WATER	——— WTR ———
	INLET	
	STORM	
	SANITARY MAIN	
SANO_CO	SANITARY LATERAL	SAN
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þ	UTILITY POLE	· •
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	SIGN POST	
xx	FENCE	x x
\$	LIGHT FIXTURE	••
	TEST PIT LOCATION	•

GRADE FLOW ARROW ————

SWALE CENTER LINE ------



PROJECT INFORMATION

PROPOSED MULTI -FAMILY RESIDENCE

PROJECT LOCATION:

BLOCK 42, LOT 1 60 BAY AVENUE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NJ

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE

HIGHLANDS, NJ 07732

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE

HIGHLANDS, NJ 07732

ATTORNEY: DONNA M. JENNINGS ESQ. WILENTZ, GOLDMAN & SPITZER, PA 90 WOODBRIDGE CENTER DRIVE, SUITE 900

APPLICANT'S PROFESSIONALS

ARCHITECT: SALVATORE LA FERLITA, R.A. 115 UNIVERSITY DRIVE

WOODBRIDGE, NJ 07095

SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 37, SUITE 1A WALL, NJ 07719

LINCROFT, NJ 07738



NJ ONE CALL.....800-272-1000

InSite Engineering, LLC CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax) InSite@InSiteEng.net www.InSiteEng.net

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DOUGLAS D. CLELLAND, PE PROFESSIONAL ENGINEER NJ PE 24GE05331000

REVISIONS

12	07/25/25	PER BOARD	COMMENTS
11	04/10/25	PER COUNT	/
10	04/01/25	PER COUNT	/
9	02/20/25	PER COUNT	/
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4	06/05/24	PER BOROU	GH COMMENTS
3	04/09/24	PER ATTORN	IEY
2	03/28/24	PER ATTORN	IEY
1	03/12/24	PER ARCHIT	ECT
0	02/05/24	INITIAL RELE	ASE
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Rev.# Date Comment

SCALE: 1"=10' DESIGNED BY: DDC DRAWN BY: AMC DATE: 02/05/24 JOB #: 23-2237-01 CHECKED BY: DDC

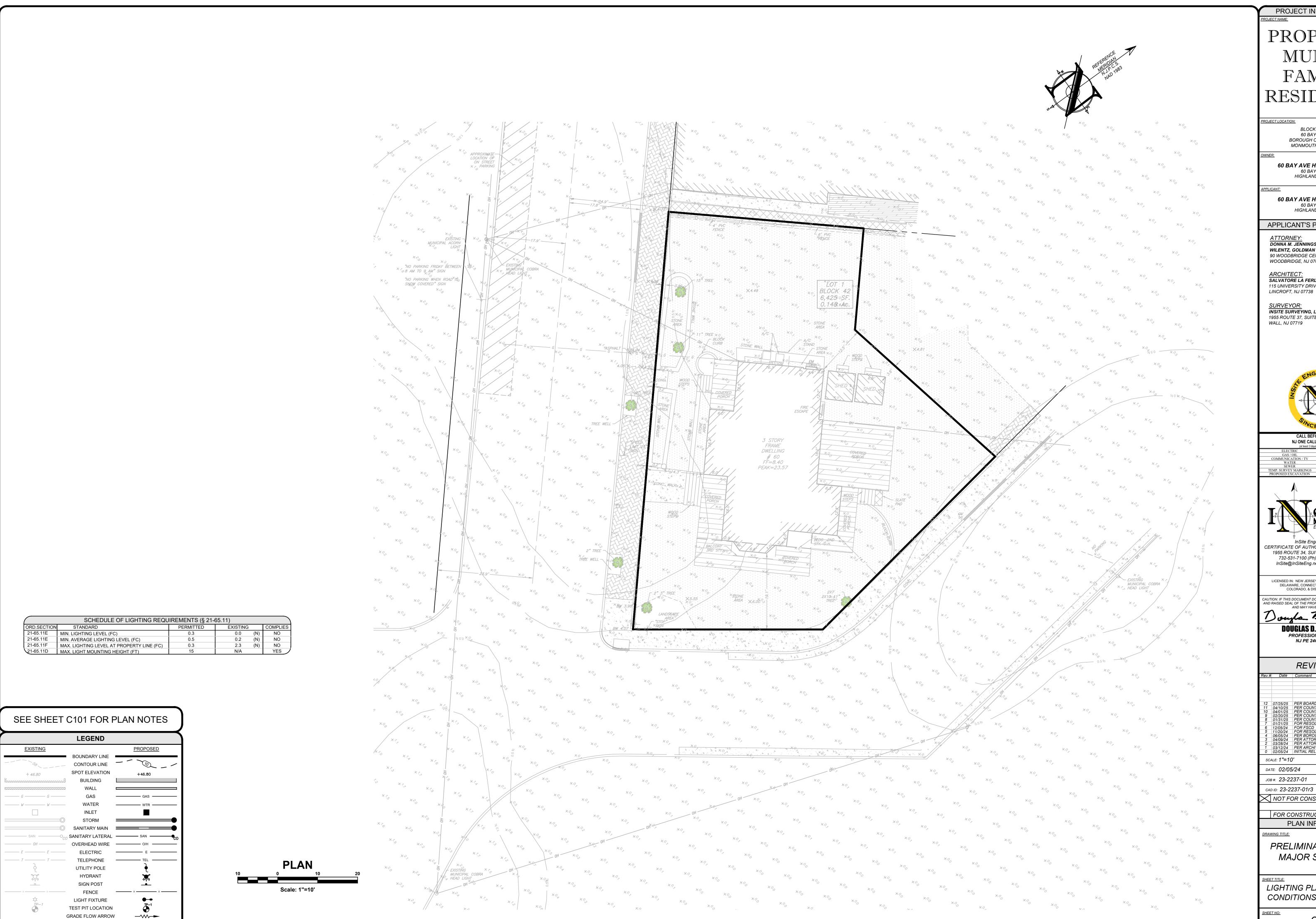
CAD ID: 23-2237-01r3

NOT FOR CONSTRUCTION APPROVED BY:

FOR CONSTRUCTION PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

LANDSCAPE PLAN



-

SWALE CENTER LINE ------

PROJECT INFORMATION

PROPOSED MULTI -FAMILY RESIDENCE

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APPLICANT'S PROFESSIONALS

ATTORNEY:

DONNA M. JENNINGS ESQ.

WILENTZ, GOLDMAN & SPITZER, PA

90 WOODBRIDE CENTER DRIVE, SUITE 900 WOODBRIDGE, NJ 07095

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CALL BEFORE YOU DIG! NJ ONE CALL.....800-272-1000



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DOUGLAS D. CLELLAND, PE

PROFESSIONAL ENGINEER

NJ PE 24GE05331000

REVISIONS

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0/25	PER COUNTY
1/25	PER COUNTY
0/25	PER COUNTY
1/25	PER COUNTY REVIEW LETTER
1/25	FOR RESOLUTION COMPLIANCE
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9/24	PER ATTORNEY
8/24	PER ATTORNEY
2/24	PER ARCHITECT

0 02/05/24 | PER ARCHITECT 0 02/05/24 | INITIAL RELEASE DESIGNED BY: DDC DATE: 02/05/24 DRAWN BY: AMC

CHECKED BY: DDC CAD ID: 23-2237-01r3

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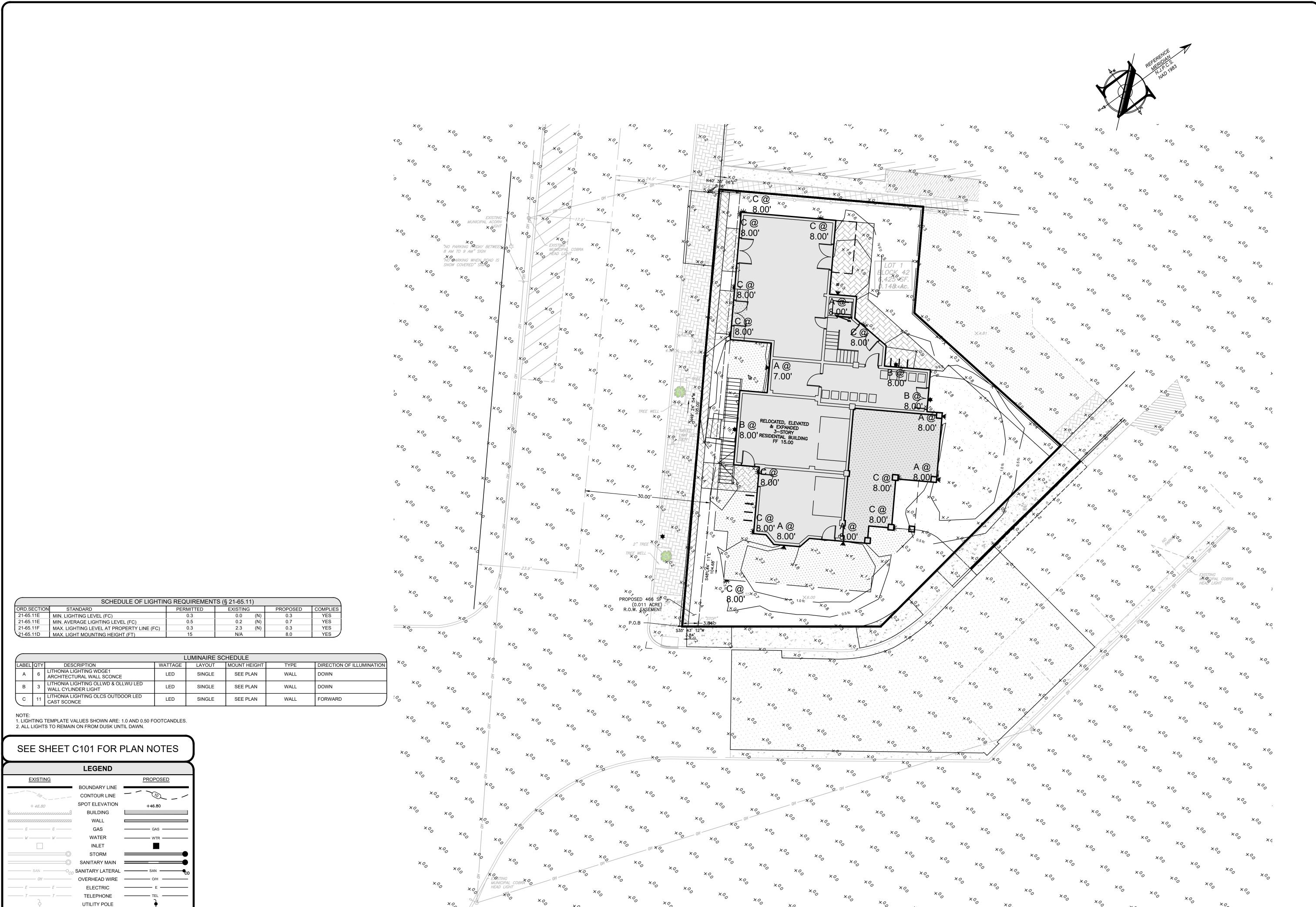
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PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

LIGHTING PLAN - EXISTING

CONDITIONS R.O.W. ONLY



HYDRANT SIGN POST

FENCE

LIGHT FIXTURE TEST PIT LOCATION

GRADE FLOW ARROW

____ x ____ x ____

SWALE CENTER LINE -----

Scale: 1"=10'

PROPOSED MULTI -FAMILY

PROJECT INFORMATION

PROJECT LOCATION:

BLOCK 42, LOT 1 60 BAY AVENUE BOROUGH OF HIGHLANDS. MONMOUTH COUNTY, NJ

RESIDENCE

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE

HIGHLANDS, NJ 07732

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE

HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

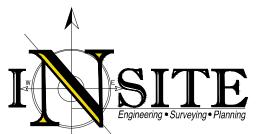
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Dougla D allul **DOUGLAS D. CLELLAND, PE** PROFESSIONAL ENGINEER

NJ PE 24GE05331000

REVISIONS Rev.# Date Comment

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PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

LIGHTING PLAN -PROPOSED CONDITIONS

SHEET NO:

BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.

BAA Buy America(n) Act Compliant DSLE Dual Switching (1 Driver, 2 Light Engines)

Specifications

Depth (D1):

Depth (D2):

Height:

Width:

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

DSSTXD Textured sandstone

WDGE L	ED Family O	verview	A						
Luminaire	Standard FM, 0°C	Cold EM, 20°C			-	Lumens	(4000K)		
Luminaire	Standard EM, U.C.	COM CM, 20 C	Sensor	P1	P2	P3	PA PA	P5	P6
WDGE1 LED	4W	550		1,200	2,000	7.5	377.5	575.4	0.75
WDGEZ LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	25	825
WDGE4 LED	*	+	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Orderin	g Informa	ation		EXAMI	PLE: V	VDGE1 L	ED P2 40K	80CRI	VF MVOLT SRM PE DD
Series	Package	Color Temperature	CRI	Distribution		Voltage	Mounting		
WDGF1 LFD.	P0 P1 P2	27K 2700K BOK 3000K 35K 3500K 40K 4000K 50K' 5000K	BOCRI 90CRI	VF Visual comfort forward VW Visual comfort widel	throw	MVOIT 347 ²	ICW Indire Shipped separa AWS 3/8im PBBW Surface	ce mounting ct Canopy/Ce tely ch Architectu ce-mounted	bracket elling Washer bracket (dry/damp locations only) ¹ ural wall spacer back box (top, left, right conduit entry) Use when n box available.
Options					Finish				
PE4 Phot DS Dual	ocell, Button Type switching (comes w	ip, Eertified in CA Title 20 MAE ith 2 drivers and 2 light engine iled outside fixture (for use wit	s; see page 3 for	details)	DDBXD DBLXD DNAXD DWHXD	Dark bronze Black Natural alum White	iinum	DDBTXD DBLBXD DNATXD DWHGXD	Textured dark bronze Textured black Textured natural aluminum Textured white

LITHONIA
LIGHTING.

COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.inhonia.com
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WALL MOUNTED LIGHTS TYPE A

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and stairways for safety and security.

CONSTRUCTION Cast-aluminum housing with corrosion-resistant paint in either dark bronze or white finish.

ADA compliant. OPTICS

4000K CCT LEDs. Polycarbonate lens protects the LED from moisture, dirt and other contaminants. LUMEN MAINTENANCE: The LED will deliver 70% of its initial lumens at 50,000 hour average LED life. See Lighting Facts label on page 2 for performance details.

ELECTRICAL MVOLT driver operates on any line voltage from 120-277V Operating temperature -30 C to 40 C.

1KV surge protection standard. INSTALLATION Surface mounts to universal junction box (provided by others).

UL Listed to U.S. and Canadian safety standards for wet locations.

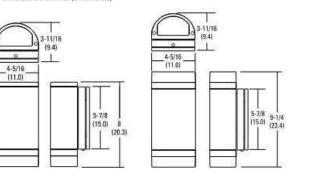
Specifications subject to change without notice.

Tested in accordance with IESNA LM-79 and LM-80 standards. WARRANTY - 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

www.acuitybrands.com/support/customer-support/terms-and-conditions Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C.

OLLWD & OLLWU

Outdoor General Purpose



ORDERING INFORMATION	For shortest lead times, configure p	roducts using bolded options .	1	Example: OLLWD LED P1 40K MVOLT DD8
Series	Performance Package	Color temperature (CCT)	Voltage	Finish
OLLWO LED Downlight OLLWU LED Up & downlight	PI	40K 4000K	MVOLT 120V-277V 120 120V ¹	DDB Dark bronze WH White ³

1. Only available with OLLWU and in DDB. 2. Only available with OLLWU.

DECORATIVE INDOOR & OUTDOOR OLLWD-OLLWU

WALL MOUNTED LIGHTS TYPE B



See Lighting Facts Labels for specific fixture performance. ELECTRICAL — Fixture operates at 120 volts, 60 Hz.

Tested in accordance with IESNA LM-79 and LM-80 standards. WARRANTY - 5-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx Actual performance may differ as a result of end-user environment and application. Note: Specifications subject to change without notice.

INSTALLATION — Mounts easily to recessed junction box (by others).

Designed for wall mounting more than 4' above the ground.

LISTINGS — UL Listed to U.S. and Canadian safety standards for wet locations.

Standard input = 8.9 watts.

Surge protection = 2.5kV.

Amps @ 120V = .076.

Operating temperature: -30"C to 40"C.

DLCS				
Series	Light engines	Color temperature (CCT) ¹	Voltage	Finish
OLCS	8	(blank) 4000K	(blank) 120V	DDB Dark bronze WH White

Nominal Correlated Color Temperature (CCT) per ANSI C78.377-2008.

DECORATIVE INDOOR & DUTDOOR

WALL MOUNTED LIGHTS TYPE C

PROPOSED MULTI -FAMILY RESIDENCE

PROJECT INFORMATION

PROJECT LOCATION:

BLOCK 42, LOT 1 60 BAY AVENUE BOROUGH OF HIGHLANDS. MONMOUTH COUNTY, NJ

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE HIGHLANDS, NJ 07732

PPLICANT: 60 BAY AVE HIGHLANDS, LLC

60 BAY AVENUE HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

ATTORNEY: DONNA M. JENNINGS ESQ. WILENTZ, GOLDMAN & SPITZER, PA 90 WOODBRIDGE CENTER DRIVE, SUITE 900 WOODBRIDGE, NJ 07095

ARCHITECT: SALVATORE LA FERLITA, R.A. 115 UNIVERSITY DRIVE LINCROFT, NJ 07738

SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 37, SUITE 1A WALL, NJ 07719



NJ ONE CALL....800-272-1000

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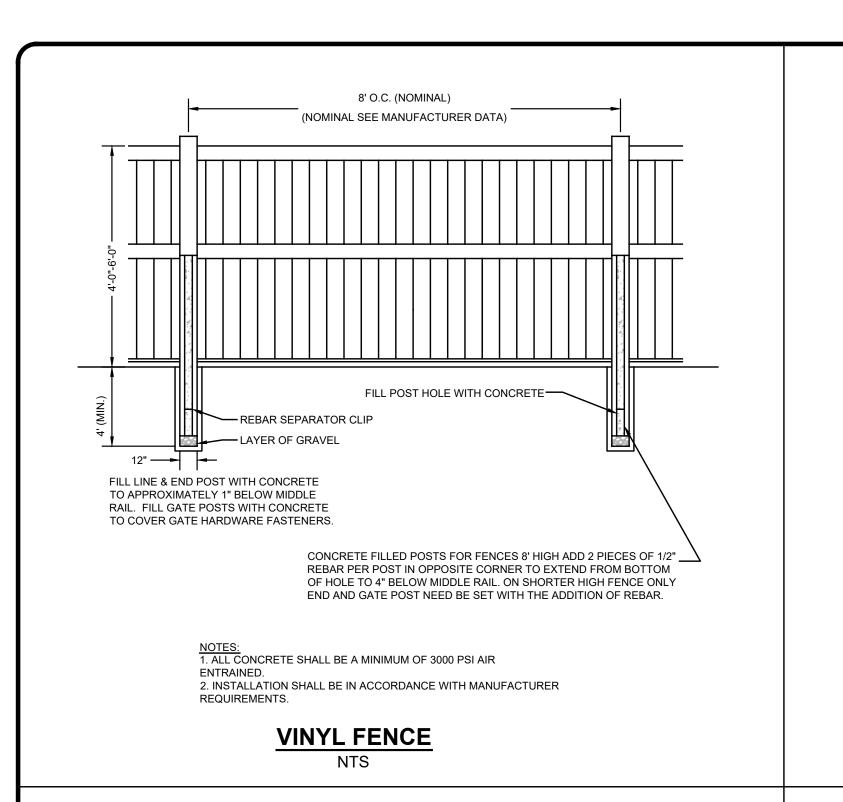
PROFESSIONAL ENGINEER NJ PE 24GE05331000 REVISIONS

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0	02/05/24	INITIAL RELE	ASE
SCA	LE: AS S	HOWN	DESIGNED BY: DDC
DA1	E: 02/05	/24	DRAWN BY: AMC
JOE	#: 23-22	37-01	CHECKED BY: DDC
CAL	סום: 23-22	237-01r3	
\times	NOT FO	OR CONST	RUCTION
			APPROVED

FOR CONSTRUCTION PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

LIGHTING DETAILS



Roof Runoff Flowrate Calculation

Pipe Capacity Calculation (Manning's Equation)

ROOF LEADER COLLECTION SYSTEM

CAPACITY CALCULATIONS

c = 0.99

i = 6.50

A = 0.070

n (pvc) = 0.01 d =

R (full) =

A (full) = 0.20 sf

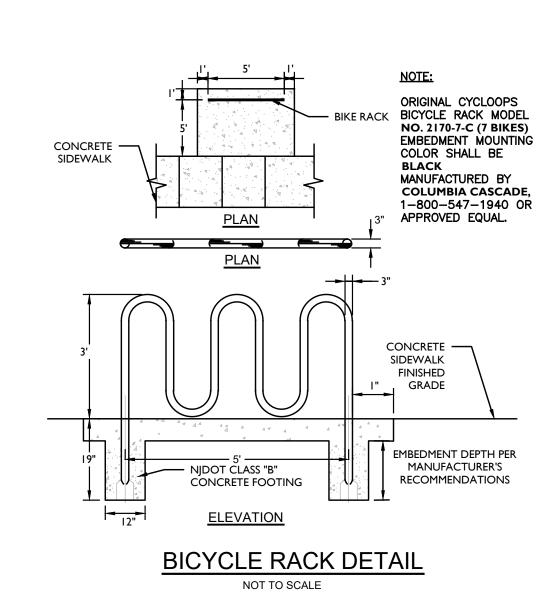
0.13 ft

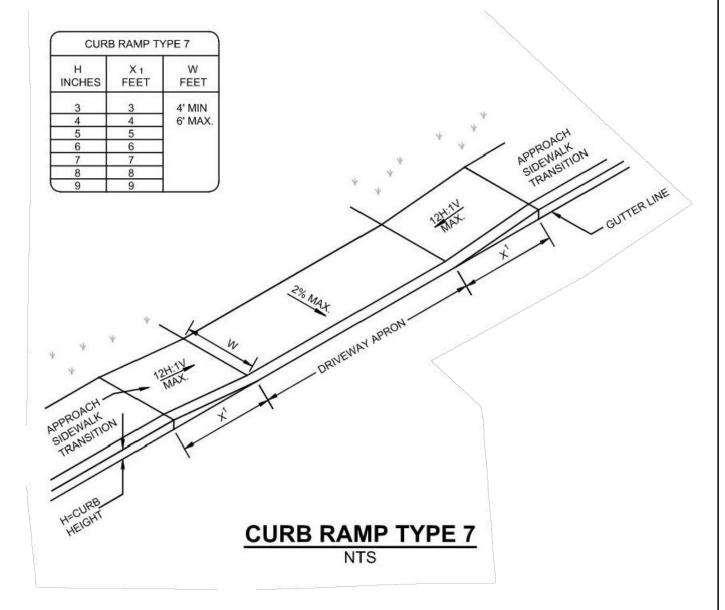
S = 0.005 ft/ft

Q (full) = 0.52 cfs

Q required = 0.45 cfs

ro (full) = 1.57 ft





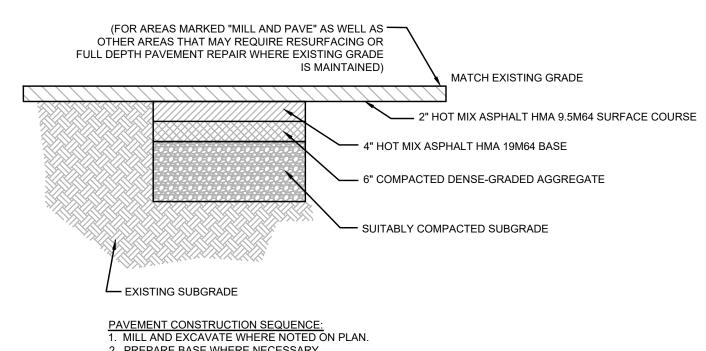
M-33. TO BE INSTALLED BETWEEN CURB AND

NON-BITUMINOUS PAVEMENT OR BASE COURSE

SEE PAVEMENT

GRADE

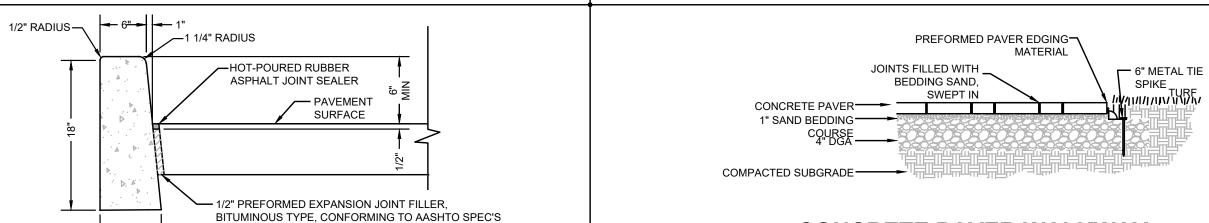
DETAIL



2. PREPARE BASE WHERE NECESSARY. 3. INSTALL SURFACE COURSE OVER ENTIRE PAVED AREA AT ONE TIME.

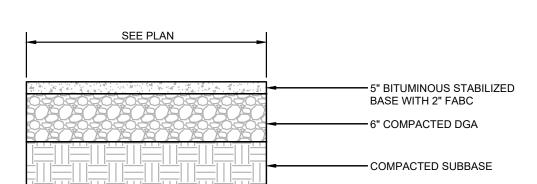
MATERIALS FOR ASPHALT SURFACE SHALL CONFORM TO SECTION 404.02 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION). MATERIALS FOR ASPHALT BASE SHALL CONFORM TO SECTIONS 301.02 AND 304.02 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).

PAVEMENT REPAIR

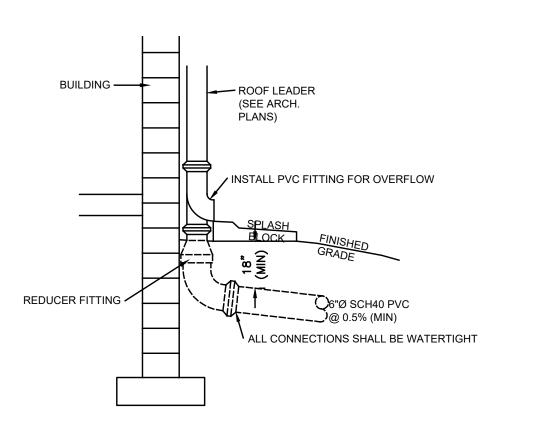


CONCRETE PAVER WALKWAY

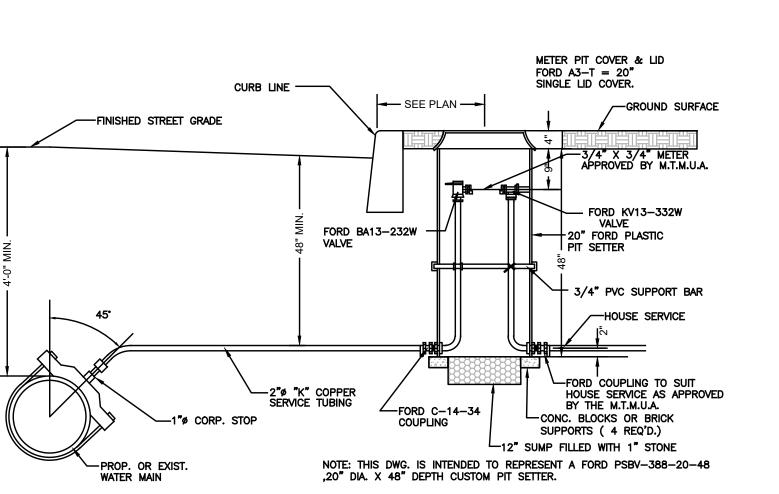
NOTE: CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE CITY ENGINEER'S OFFICE FOR PAVER COLOR AND PATTERN PRIOR TO INSTALLATION.



PAVEMENT SECTION



EXTERIOR DOWNSPOUT COLLECTOR



1. CONCRETE TO BE NJDOT CLASS "B" (AIR ENTRAINED).

FRONT FACE AND TOP OF THE CURB.

2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20' - 0" APART AND

SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER,

COMPLYING WITH THE REQUIREMENTS OF AASHTO M-213, RECESSED 1/4" FROM THE

3. DUMMY JOINTS (FORMED) SHALL BE INSTALLED MIDWAY BETWEEN EXPANSION JOINTS.

4. WIDTH OF JOINT FILLER STRIP EQUAL TO THE THICKNESS OF THE PAVEMENT LESS 1/2".

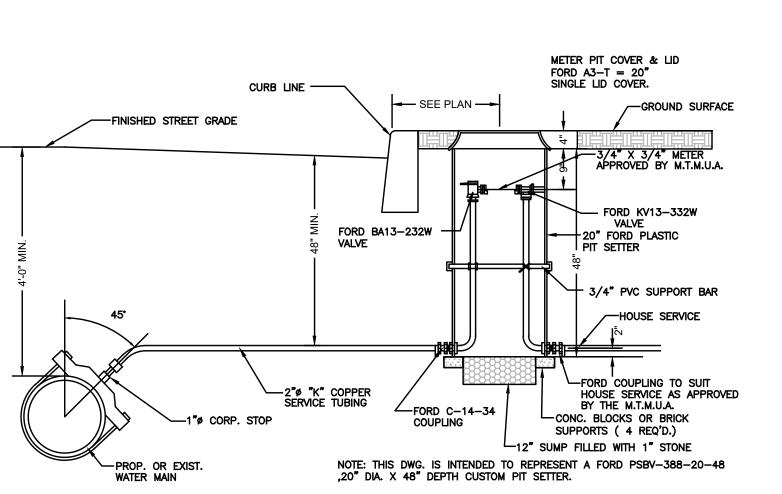
CONCRETE VERTICAL CURB

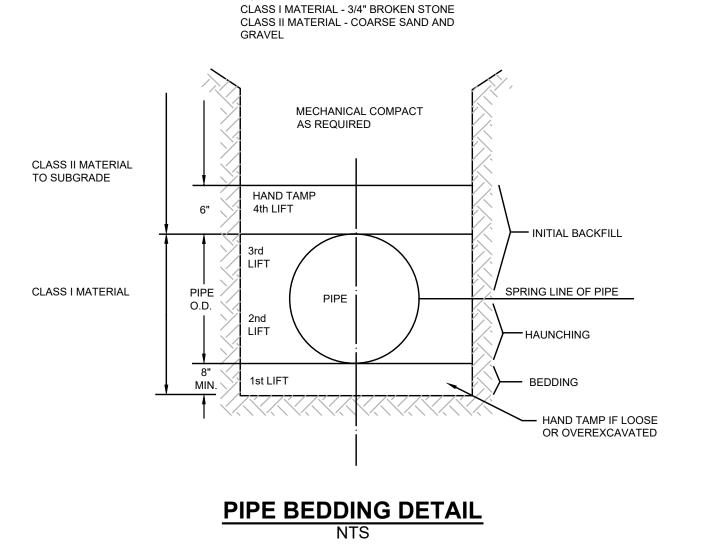
PREFORMED BITUMINOUS EXPANSION JOINTS, 1/2" THICK SHALL BE INSTALLED EVERY 20 FEET.

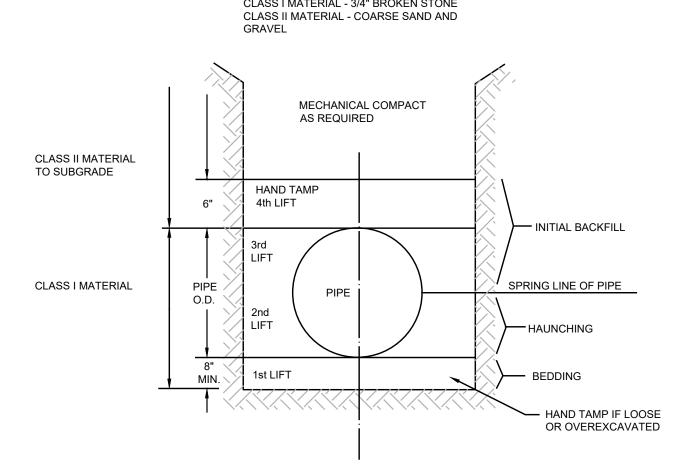
2. CONCRETE SHALL BE CLASS "B" PORTLAND CEMENT HAVING A 28 DAY STRENGTH OF 4,000 PSI.

ROLLED CONCRETE CURB & GUTTER

CONTRACTION JOINTS SHALL BE INSTALLED AT 10 FT. INTERVALS ON CENTER ALL JOINT TO BE







PARKING FOR APARTMENT E ONLY **RETAIL AND RESIDENT PARKING ONLY SIGN**

EDGE OF PAVEMENT / CURBLINE - 6" Ø SCH 40 PVC COMMON SEWER LATERAL PLUG OR TEAROUT— - WYE BRANCH FLOW — EXISTING BUILDING — 45° BEND —— WYE BRANCH OR SADDLE CONNECTION - VARIABLE LENGTH OF LATERAL CONNECTION — <u>PLAN</u> EDGE OF PAVEMENT / CURBLINE BRASS PLUG CONCRETE CURB FUTURE BUILDING— — WYE BRANCH FOR PIPE BEDDING, REFER TO THE "PIPE BEDDING DETAIL" - WYE BRANCH OR SADDLE 4" SDR-35-PLUG OR TEAROUT — CONNECTION SLOPE AS REQUIRED MIN. 1/4 STOPPER ── 6" Ø SCH 40 PVC **ELEVATION** COMMON SEWER

STANDARD LATERAL CONNECTION WITH CLEANOUT - SEWER DEPTH 10' OR LESS

IN ACCORDANCE WITH NJAC 7:10-11.10(E)5, ALL WATER MAINS AND SANITARY LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAI (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE. THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRCUTION (DUCTILE IRON), WITH WATERTIGHT JOINTS THAT ARE A MINIMUM OF 10 FEET FROM THE WATER MAIN.

TYPICAL SERVICE CONNECTION WITH FORD METER PIT

NJ ONE CALL....800-272-1000

PROJECT INFORMATION

PROPOSED

MULTI -

FAMILY

RESIDENCE

BLOCK 42, LOT 1

60 BAY AVENUE

BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NJ

60 BAY AVE HIGHLANDS, LLC

60 BAY AVENUE HIGHLANDS, NJ 07732

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HIGHLANDS, NJ 07732

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115 UNIVERSITY DRIVE LINCROFT, NJ 07738

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WALL, NJ 07719

ARCHITECT: SALVATORE LA FERLITA, R.A.

WILENTZ, GOLDMAN & SPITZER, PA 90 WOODBRIDGE CENTER DRIVE, SUITE 900

PROJECT LOCATION:

PLICANT:

InSite@InSiteEng.net www.InSiteEng.net LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA

CERTIFICATE OF AUTHORIZATION: 24GA28083200

1955 ROUTE 34, SUITE 1A, WALL, NJ 07719

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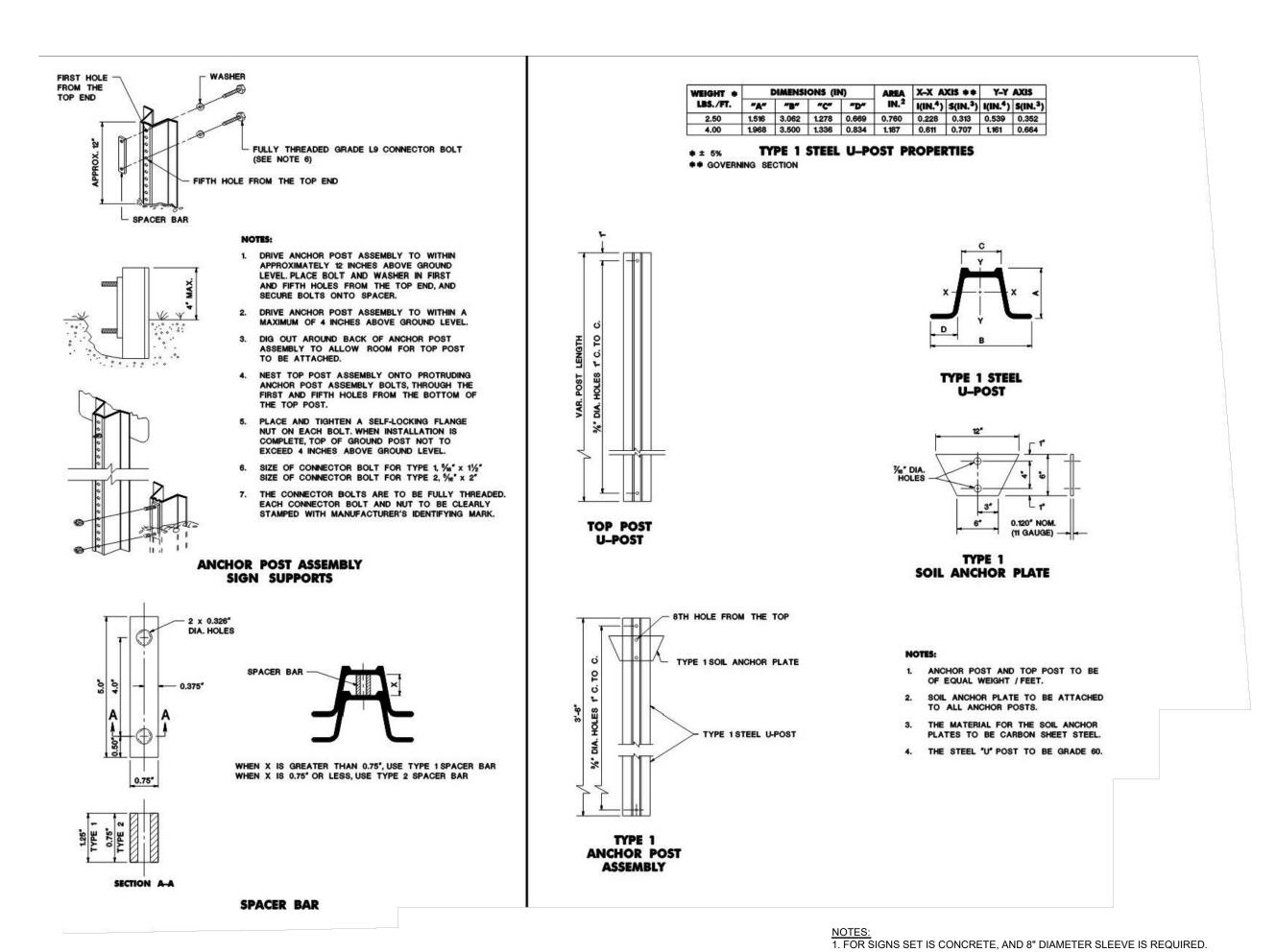
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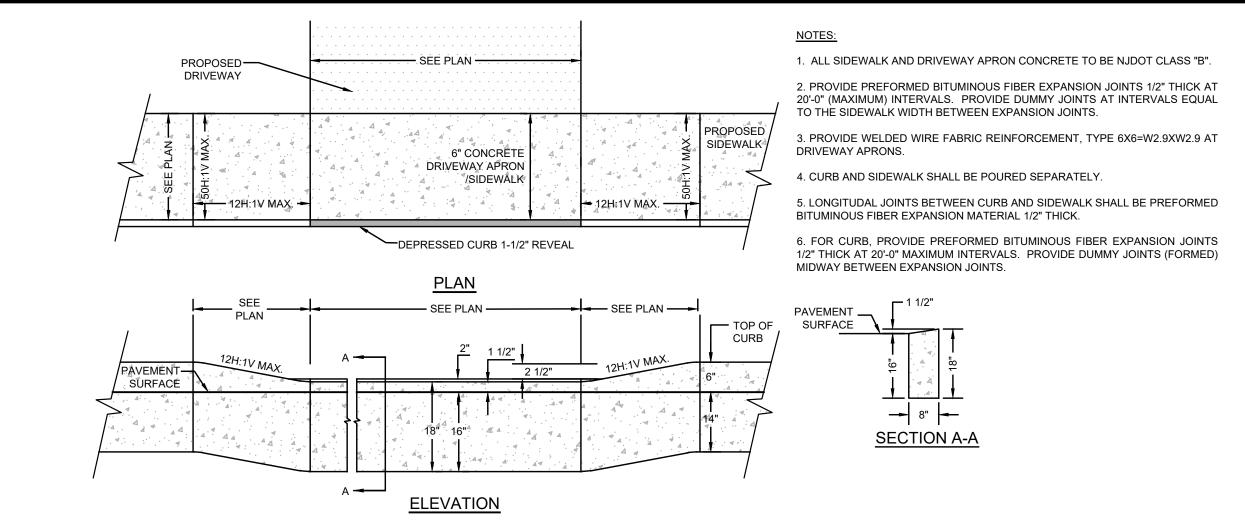
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CALE: AS S	HOWN	DESIGNED BY: DDC
ATE: 02/05	5/24	DRAWN BY: AMC
в#: 23-2 2	237-01	CHECKED BY: DDC
AD ID: 23-22	237-01r3	
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FOR C	ONSTRUC	TION
Р	LAN INF	ORMATION
WING TITLE:		
PREL	.IMINA	RY & FINAL
MA	JOR S	ITE PLAN

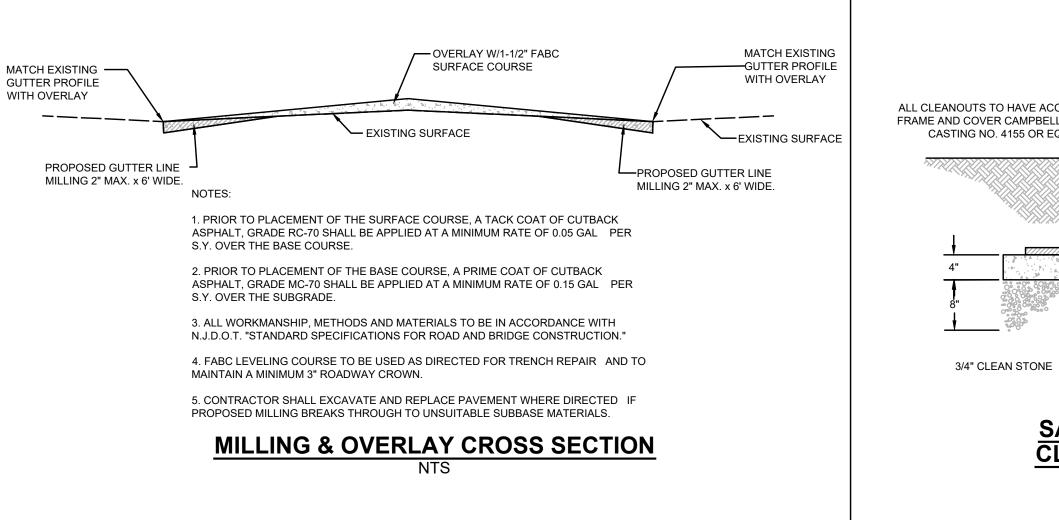
CONSTRUCTION **DETAILS**



STEEL U-POST SIGN SUPPORTS



DEPRESSED CURB, DRIVEWAY APRON & SIDEWALK



DETAIL DIAGRAM

MODEL 1540-510

FIGURE 1

Front View

FIGURE 3 12" MAX FRO

SMART VENT₀ 877-441-8368

Side View

& DETAILS

MODEL 1540-510

760

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FIGURE 2

Side View

TEETH MUST CLICK IN TIGHT TO INSURE SECURE INSTALLATION.

100

Smart VENT

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INSTALLATION INSTRUCTIONS

1. Remove vent door from vent frame. (Turn upside down, rotate bottom of door outward and slide out)

8. Re-check that frame is square and slots are clear of debris, and caulk.

rough opening is no more than 12" above the finished grade.

3. Apply a bead of silicone or polyurethane adhesive around the back of the flange on the vent frame. (FIG. 2)

Bend the 4 steel straps to the thickness of the wall measuring from the end with the teeth (see STRAP DETAIL)
 Insert the top straps into the top two strap slots about two clicks.

MATERIAL: STANLESS STEEL
OPERATION FLOOR: AUTOMATIC NON-POWERED ACTIVATION AND OPERATION
VENT REMAINS CLOSED AND LOCKED UNIL ACTIVATED
OPERATION AR: AUTOMATIC LOLVERS FULLY OPEN AT 75 DEG. FULLY CLOSED AT 35 DEG. NO POWER REQUIRED

Installation:

Secured W/ 4 Stanless Steel Straps Supplied

Hydrostatic Relef; 200 Sq. Pr. per Verk

Ventlation: 51 Sq. In. per Verk note: Vapor Barrier Allows for Reduced Ventlation

Reduceburis flood: Imprime of 2 Vents per enclosed area mounted on at least two different walls

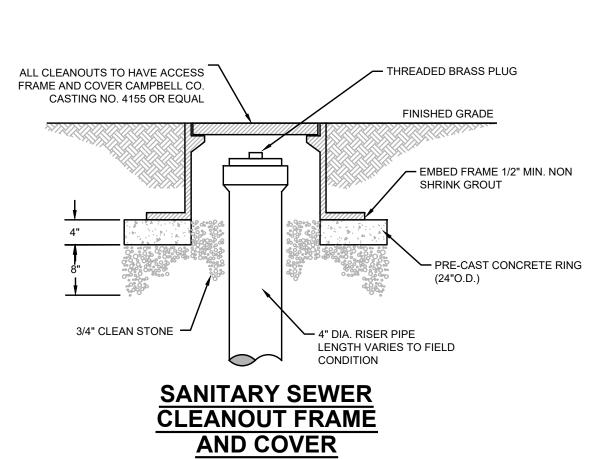
colors: Stanless (Standard)

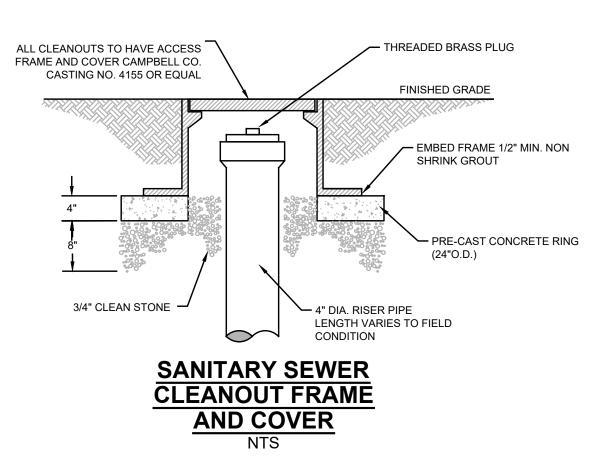
Extendor Powder Colted White, Wheat, Gray, and Black (Amalable)

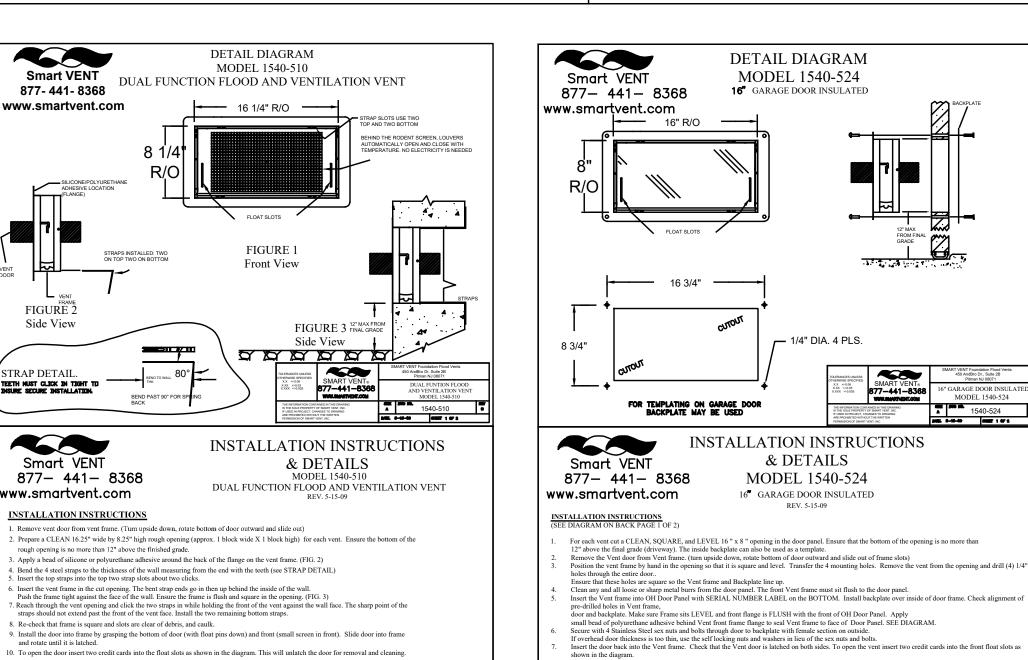
Install the door into frame by grasping the bottom of door (with float pins down) and front (small screen in front). Slide door into frame and rotate until it is latched.

10. To open the door insert two credit cards into the float slots as shown in the diagram. This will unlatch the door for removal and cleaning.

STRAP DETAIL







DETAIL SPECIFICATIONS: MATERIAL: STAINLESS STEEL OPERATION FLOOD: AUTOMATIC NON—POWERED ACTIVATION AND OPERATION

COLORS: WHITE (STANDARD) STAINLESS STEEL, WHEAT, GRAY AND BLACK (AVAILABLE)



OJECT NAME: PROPOSED MULTI -FAMILY RESIDENCE

PROJECT INFORMATION

ROJECT LOCATION:

BLOCK 42, LOT 1 60 BAY AVENUE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NJ

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE HIGHLANDS, NJ 07732

PLICANT:

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE

HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS DONNA M. JENNINGS ESQ. WILENTZ. GOLDMAN & SPITZER. PA

90 WOODBRIDGE CENTER DRIVE, SUITE 900

WOODBRIDGE, NJ 07095 SALVATORE LA FERLITA, R.A.

LINCROFT, NJ 07738 SURVEYOR:

115 UNIVERSITY DRIVE

INSITE SURVEYING, LLC 1955 ROUTE 37, SUITE 1A WALL, NJ 07719



NJ ONE CALL.....800-272-1000

CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax) InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA DELAWARE, CONNECTICUT, NORTH CAROLINA COLORADO, & DISTRICT OF COLUMBIA AUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE

AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGIN. Dougla Dallul

DOUGLAS D. CLELLAND, PE PROFESSIONAL ENGINEER NJ PE 24GE05331000

REVISIONS

ev.# Date Comment 2 07/25/25 PER BOARD COMMENTS
1 04/10/25 PER COUNTY
0 04/01/25 PER COUNTY
9 02/20/25 PER COUNTY
9 01/31/25 PER COUNTY
7 01/21/25 FOR RESOLUTION COMPLIANCE
6 12/05/24 FOR FSCD
6 11/20/24 FOR RESOLUTION COMPLIANCE
7 06/05/24 PER BOROUGH COMMENTS
8 04/09/24 PER ATTORNEY
9 03/28/24 PER ATTORNEY
1 03/12/24 PER ARCHITECT
10 02/05/24 INITIAL RELEASE SCALE: AS SHOWN DESIGNED BY: DDC DATE: 02/05/24 DRAWN BY: AMC JOB #: 23-2237-01 CHECKED BY: DDC CAD ID: 23-2237-01r3 NOT FOR CONSTRUCTION APPROVED BY FOR CONSTRUCTION

PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

SHEET TITLE: CONSTRUCTION

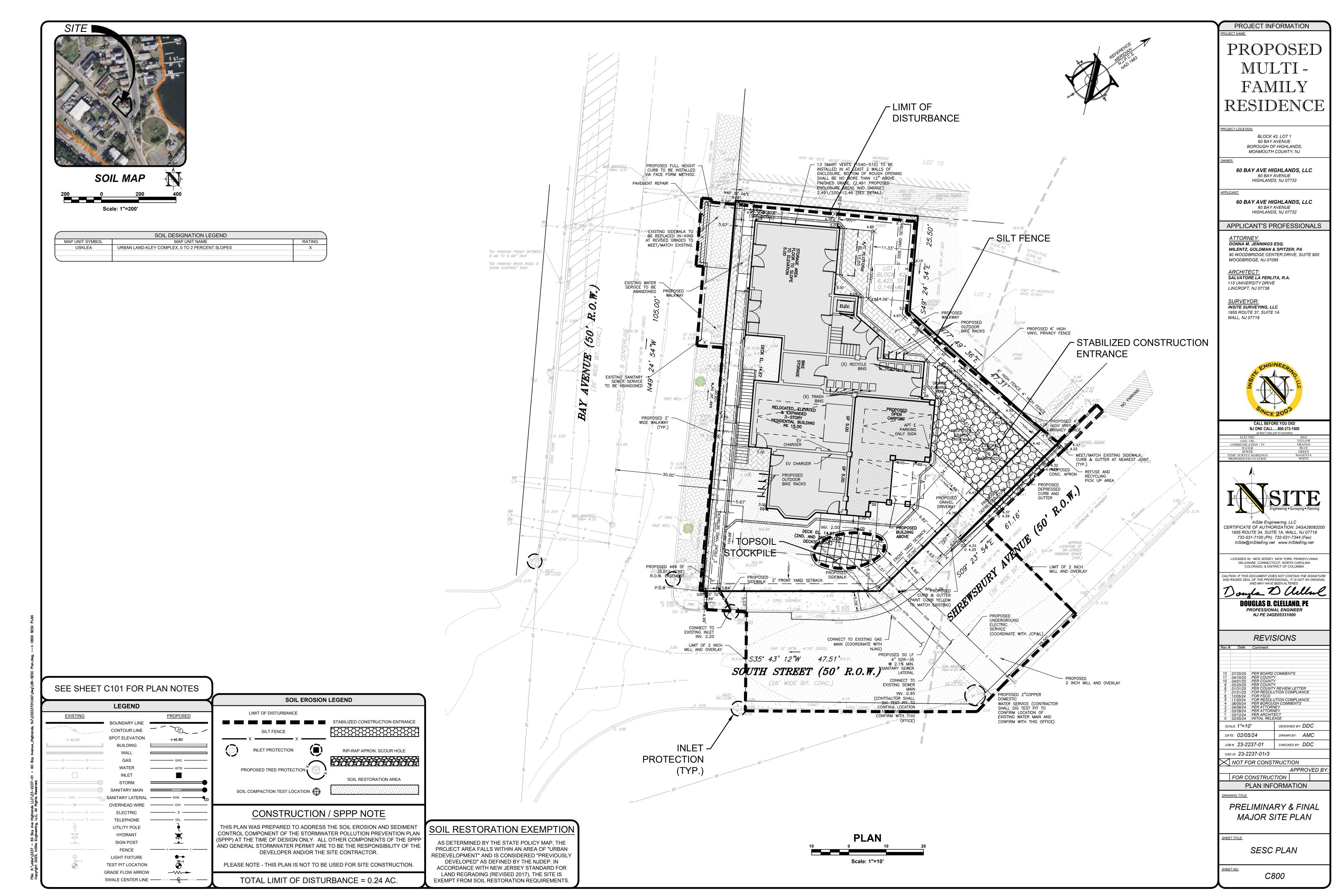
DETAILS SHEET NO:

C701

SMART VENT (1540-510)

MEETS THE REQUIREMENTS FOR ENGINEERED OPENINGS AS SET FORTH BY:
FEMA, NFIP, ICC, & ASCE
SUPPORTIVE DOCUMENTS, TB 1-08, 44CFR 60.3(C)(5), ASCE 24-05
ICC EVALUATION # ESR-2074

MEETS THE REQUIREMENTS FOR ENGINEERED OPENINGS AS SET FORTH BY:
FEMA, NFIP, ICC, & ASCE
SUPPORTIVE DOCUMENTS, TB 1-08, 44CFR 60.3(C)(5), ASCE 24-05
ICC EVALUATION # ESR-2074



ANY CHANGES TO THE CERTIFIED SOIL FROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS. N.J.S.A 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND

SEDIMENT CONTROL IN NEW JERSEY AND A REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE

PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER. THE

APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS

DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 ½ TONS PER ACRE, ACCORDING TO STATE STANDARD FOR STABILIZATION WITH MULCH ONLY IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STOCKPILES,

STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS. 7 A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE

STREETS. ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF ONE INCH TO TWO INCH (1" - 2") STONE FOR A MINIMUM LENGTH OF

TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF 9. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS WILL BE

10. PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. 11. AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF

PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED. 12. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE, (OR 450 LBS/1,000 SQ FT OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A PH OF 5 OR MORE, OR 24"

WHERE TREES OR SHRUBS ARE TO BE PLANTED 13. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING

OPERATIONAL 14. UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING

15. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL. 16. STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY

BE REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5,000 SQUARE FEET IS DISTURBED. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6. 18 THF PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

1. SITE PREPARATION

A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 19-1.

B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.

C. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES

2. SEEDBED PREPARATION

(CABLES, IRRIGATION SYSTEMS, ETC.).

A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES, FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1 000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. LIMING RATES SHALL BE ESTABLISHED VIA SOIL TESTING. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND

B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC. SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR, CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED

C. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED IN ACCORDANCE WITH THE ABOVE.

D. SOILS HIGH IN SULFIDES OR HAVING A PH OF 4 OR LESS REFER TO STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, PG. 1-1.

A. TEMPORARY VEGETATIVE SEEDING COVER SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED UNIFORMLY AT A RATE OF 1 POUND PER 1,000 SF (100 LBS/AC) WITH AN OPTIMUM SEED DEPTH OF 0.5" (TWICE THE DEPTH IF SANDY SOILS), IN ACCORDANCE WITH TABLE 7-2, PAGE 7-3.

*SEEDING DATES: 2/15-5/1 AND 8/15-10/15

B. CONVENTIONAL SEEDING. APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL, TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL.

C. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION IV MULCHING) HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL POOR SEED TO SOIL CONTACT OCCURS REDUCING SEED GERMINATION AND GROWTH, HYDROSEEDING MAY BE USED.

FOR AREAS TOO STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVERSE OR TOO OBSTRUCTED WITH ROCKS, STUMPS, ETC.

D. AFTER SEEDING, FIRMING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT

A. STRAW OR HAY. UNNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF

APPLICATION. SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 95% OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.

ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS,

1. PEG AND TWINE. DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH, SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRIS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.

2. MULCH NETTINGS. STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE

3 CRIMPER (MULICH ANCHORING TOOL) A TRACTOR-DRAWN IMPLEMENT SOMEWHAT LIKE A DISC HARROW ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.

4. LIQUID MULCH-BINDERS. - MAY BE USED TO ANCHOR HAY OR STRAW MULCH.

STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE.

a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE

b. USE ONE OF THE FOLLOWING:

(1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOTOXIC EFFECT OR IMPEDE GROWTH OF TURFGRASS USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE

(2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH. DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

NOTE: ALL NAMES GIVE ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A COMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

B. WOOD-FIBER OR PAPER-FIBER MULCH. SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 PONDS PER ACRE (OR AS RECOMMENDED BY THE PROJECT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. THIS MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALI

C. PELLETIZED MULCH. COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT. WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDED AREA AND WATERED, FORMA MULCH MAT. PELLETIZED MULCH SHALL BE APPLIES IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS./1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEE FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS. SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED OR ON SITES WHERE

APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

1. SITE PREPARATION

A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, EDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING

B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN

ACCORDANCE WITH THE STANDARD FOR LAND GRADING. C. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A

WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING. D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES,

UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED

CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. 2. SEEDBED PREPARATION

A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES (HTTP://NJAES.RUTGERS.EDU/COUNTY/). FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5

B. WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC. SPRING-TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON

C. HIGH ACID PRODUCING SOIL. SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEEDBED PREPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH ACID-PRODUCING SOILS FOR SPECIFIC REQUIREMENTS.

3. SEEDING

SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED

SEED MIXTURE #13 FOR LAWN AREAS HARD FESCUE AND/OR CHEWING FESCUE AND/OR STRONG CREEPING RED FESCUE

THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.

PERENNIAL RYEGRASS KENTUCKY BLUEGRASS (BLEND) *ACCEPTABLE SEEDING DATES: 2/1-4/30 AND 5/1-8/14**

*OPTIMAL SEEDING DATES: 8/15-10/30 **SUMMER SEEDING SHALL ONLY BE CONDUCTED WHEN SITE IS IRRIGATED

SEED MIXTURE #7 FOR BASIN, SIDE SLOPES, AND SWALES

STRONG CREEPING RED FESCUE KENTUCKY BLUEGRASS PERENNIAL RYEGRASS PLUS WHITE CLOVER

*ACCEPTABLE SEEDING DATES: 2/1-4/30 AND 5/1-8/14**

*OPTIMAL SEEDING DATES: 8/15-10/30 *SUMMER SEEDING SHALL ONLY BE CONDUCTED WHEN SITE IS IRRIGATED

SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE INSPECTION. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVERAGE WITH THE SPECIFIED SEED MIXTURE FOR THE SEEDED AREA AND MOWED ONCE

4 (175)

4. WARM-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT HIGH TEMPERATURES. GENERALLY 850 F AND ABOVE. SEE TABLE 4-3 MIXTURES 1 TO 7. PLANTING RATES FOR WARM-SEASON GRASSES SHALL BE THE AMOUNT OF PURE LIVE SEED (PLS) AS DETERMINED BY GERMINATION TESTING RESULTS.

5. COOL-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT TEMPERATURES BELOW 8 MANY GRASSES BECOME ACTIVE AT 650F. SEE TABLE 4-3, MIXTURES 8-20. ADJUSTMENT OF PLANTING RATE COMPENSATE FOR THE AMOUNT OF PLS IS NOT REQUIRED FOR COOL SEASON GRASSES.

B. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDBED PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.

C. AFTER SEEDING, FIRMING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR. SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED

D. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK, OR TRAILER-MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED. WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT-FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4-MULCHING BELOW). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. WHEN POOR SEED TO SOIL CONTACT OCCURS, THERE IS A REDUCED SEED GERMINATION AND GROWTH.

THIS MULCHING REQUIREMENT.

MULCHING IS REQUIRED ON ALL SEEDING, MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH

A STRAW OR HAY LINROTTED SMALL GRAIN STRAW HAY FREE OF SEEDS TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.

APPLICATION - SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 85% OF THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.

ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS. DEPENDING UPON THE SIZE OF THE AREA. STEEPNESS OF SLOPES.

1. PEG AND TWINE. DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.

2. MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE

3 CRIMPER (MUI CH ANCHORING COUI TER TOOL) - A TRACTOR-DRAWN IMPLEMENT SOMEWHAT LIKE A DISC HARROW ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER

4. LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCH.

a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE

b. USE ONE OF THE FOLLOWING:

ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.

(1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER-BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOTOXIC EFFECT OR IMPEDE GROWTH OF TURE GRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE. SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.

(2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND. FOLLOWING APPLICATION OF MULCH, DRYING AND CURING, SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS

NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

B. WOOD-FIBER OR PAPER-FIBER MULCH - SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY JANUARY 2014GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. MULCH SHALL NOT BEMIXEDIN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE

C.PELLETIZED MULCH-COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAYECTI CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS, AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO AW SEEDED AREA AND WATERED. FORM A MULCHMAT. PELLETIZED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS. SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED, OR ON SITES WHERE STRAW MULCH AND TACKIFIERAGENT ARE NOT PRACTICAL OR DESIRABLE. APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MULCH ON THE SEEDBED IS EXTREMELY IMPORTANT

5. IRRIGATION (WHERE FEASIBLE)

IF SOIL MOISTURE IS DEFICIENT SUPPLY NEW SEEDING WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH APPLIED UP TO TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON

SINCE SOIL ORGANIC MATTER CONTENT AND SLOW RELEASE NITROGEN FERTILIZER (WATER INSOLUBLE) ARE PRESCRIBED INSECTION 2A-SEEDBED PREPARATION IN THIS STANDARD. NO FOLLOW-UP OF TOP DRESSING IS MANDATORY. AN EXCEPTION MAYBE MADE WHERE GROSS NITROGEN DEFICIENCY EXISTS IN THE SOIL TO THE EXTENT THAT TURF FAILURE MAY DEVELOP. IN THAT INSTANCE, TOP DRESS WITH 10-10-10 OR EQUIVALENT AT 300 POUNDS PER ACRE OR 7 POUNDS PER 1,000 SQUARE FEET EVERY 3 TO 5 WEEKS UNTIL THE GROSS NITROGEN DEFICIENCY IN THE TURF IS

7.ESTABLISHING PERMANENT VEGETATIVE STABILIZATION

THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR. THE TIMING OF SEEDING, PREPARING THE SEEDBED, APPLYING NUTRIENTS, MULCH AND OTHER MANAGEMENT ARE ESSENTIAL. THE SEED APPLICATION RATES IN TABLE 4-3 ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN APPLICATION RATES MAY D WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO REQUESTING A <u>REPORT OF COMPLIANCE</u> FROM THE DISTRICT. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVER (OF THE SEEDED SPECIES) AND MOWED ONCE. NOTE THIS DESIGNATION OF MOWED ONCE DOES NOT GUARANTEE THE PERMANENCY OF THE TURF SHOULD OTHER MAINTENANCE FACTORS BE NEGLECTED OR OTHERWISE MISMANAGED.

STANDARD FOR DUST CONTROL

THE CONTROL OF DUST ON CONSTRUCTION SITES AND ROADS.

PURPOSE
TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCED ON-SITE AND OFF-SITE DAMAGE AND HEALTH

CONDITION WHERE PRACTICE APPLIES
THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON-SITE AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. CONSULT WITH LOCAL MUNICIPAL ORDINANCES ON ANY RESTRICTION.

WATER QUALITY ENHANCEMENT
SEDIMENTS DEPOSITED AS "DUST" ARE OFTEN FINE COLLOIDAL MATERIAL WHICH IS EXTREMELY DIFFICULT TO REMOVE FROM WATER ONCE IT BECOMES SUSPENDED. USE OF THIS STANDARD WILL HELP TO CONTROL THE GENERATION OF DUST FROM CONSTRUCTION SUITES AND SUBSEQUENT BLOWING AND DEPOSITION INTO LOCAL SURFACE WATER RESOURCES.

PLANNING CRITERIA
THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:

MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG 5-1

<u>VEGETATIVE COVER</u> - SEE STANDARD FOR: TEMPORARY VEGETATIVE COVER, PG. 7-1,

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, PG. 4-1, AND PERMANENT STABILIZATION WITH SOD. PG. 6-1

SPRAY ON ADHESIVE - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

DUST CONTROL MATERIALS			`		
MATERIALS	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE		
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200		
LATEX EMULSION	12.5:1	FINE SPRAY	235		
RESIGN IN WATER	4:1	FINE SPRAY	300		
POLYACRYLAMIDE (PAM) - SPRAY ON POLYACRYLAMIDE (PAM) - DRY SPREAD	APPLY ACCORDINGLY TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD PG. 26-				
ACIDULATED SOY BEAM SOAP STICK	NONE	COARSE SPRAY	1200		

TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE, THIS IS A TEMPORARY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEING PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACES ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT

<u>SPRINKLING</u> - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

<u>BARRIERS</u> - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEE THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE, IS USED ON STEEPER SLOPES THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCLIMATION AROUND PLANTS. SLOPE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

STANDARD FOR STABILIZATION WITH MULCH ONLY

<u>DEFINITION</u>
STABILIZING EXPOSED SOILS WITH NON-VEGETATIVE MATERIALS EXPOSED FOR PERIODS LONGER THAN 14 DAYS.

PURPOSE TO PROTECT EXPOSED SOIL SURFACES FROM EROSION DAMAGE AND TO REDUCE OFFSITE ENVIRONMENTAL DAMAGE.

CONDITION WHERE PRACTICE APPLIES
THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON-SITE AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. CONSULT WITH LOCAL MUNICIPAL ORDINANCES ON ANY RESTRICTION.

WATER QUALITY ENHANCEMENT
PROVIDES TEMPORARY MECHANICAL PROTECTION AGAINST WIND OR RAINFALL INDUCED SOIL EROSION UNTIL PERMANENT VEGETATIVE COVER

<u>WHERE APPLICABLE</u> THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO EROSION, WHERE THE SEASON AND OTHER CONDITIONS MAY NOT BE SUITABLE FOR

METHODS AND MATERIALS

PROTECTIVE MATERIALS

 SITE PREPARATION A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH

APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.

A. UNROTTED SMALL-GRAIN STRAW, AT 2.0 TO 2.5 TONS PER ACRE, IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. THE APPROVED RATES ABOVE HAVE BEEN MET WHEN THE MULCH COVERS THE GROUND COMPLETELY UPON VISUAL INSPECTION, I.E. THE SOIL CANNOT BE SEEN BELOW THE MULCH.

C. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS

RECOMMENDED BY THE MANUFACTURER. D. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.

E. MULCH NETTING, SUCH AS PAPER JUTE, EXCELSIOR, COTTON, OR PLASTIC, MAY BE USED.

INCHES MAY BE USED. SIZE 2 OR 3 (ASTM C-33) IS RECOMMENDED

F. WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED. WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT G. GRAVEL, CRUSHED STONE, OR SLAG AT THE RATE OF 9 CUBIC YARDS PER 1,000 SQ. FT. APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3

MULCH ANCHORING - SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF SLOPES A. PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL

DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS. B. MULCH NETTINGS - STAPLE PAPER, COTTON, OR PLASTIC NETTINGS OVER MULCH. USE DEGRADABLE NETTING IN AREAS TO BE MOWED.

NETTING IS USUALLY AVAILABLE IN ROLLS 4 FEET WIDE AND UP TO 300 FEET LONG. CRIMPER MULCH ANCHORING COULTER TOOL - A TRACTOR-DRAWN IMPLEMENT ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE. THIS PRACTICE AFFORDS MAXIMUM EROSION CONTROL, BUT ITS USE IS LIMITED TO THOSE SLOPES UPON WHICH THE TRACTOR CAN OPERATE SAFELY. SOIL PENETRATION SHOULD BE ABOUT 3 TO 4 INCHES. ON SLOPING LAND, THE OPERATION SHOULD

BE ON THE CONTOUR.

1. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.

USE ONE OF THE FOLLOWING:

ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS THAT MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANE NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTO-TOXIC EFFECT OR IMPEDE GROWTH OF TURFGRASS. VEGETABLE BASED GELS SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER.

SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILLITED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED. AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF

CONSTRUCTION SEQUENCE

PHASE

EXACT TIMING FOR DEVELOPMENT OF THIS PROJECT IS NOT KNOWN AT THIS TIME. HOWEVER, IT IS ANTICIPATED THAT CONSTRUCTION WILL COMMENCE IN THE SPRING OF 2025 AND WILL PROCEED IMMEDIATELY AND CONTINUOUSLY ONCE THE REQUIRED APPROVALS ARE SECURED. ITEMS AND DURATIONS OF CONSTRUCTION WILL OCCUR APPROXIMATELY AS FOLLOWS: PHASE DURATION

DURATION

Г	AGE	DUNATION
1.	INSTALL TEMPORARY SOIL EROSION FACILITIES (CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE, INSTALL SILT FENCE, INSTALL TREE PROTECTION FENCING)	IMMEDIATELY
2.	SITE DEMOLITION	1 WEEK
3.	ROUGH CLEARING AND GRADING (BASINS SHALL BE EXCAVATED NO FURTHER THAN 1 FOOT ABOVE FINAL GRADE)	2 WEEKS
4.	TEMPORARY SEEDING	IMMEDIATELY
5.	UTILITY INSTALLATION	2 WEEKS
6.	INSTALL INLET PROTECTION	IMMEDIATELY
7.	DRAINAGE INSTALLATION	1 WEEK
8.	CURB AND SIDEWALK CONSTRUCTION	1 WEEK
9.	PAVEMENT SUB-BASE	1 WEEK
10.	CONSTRUCTION OF BUILDING(S)	9 MONTHS
11.	MAINTENANCE OF TEMPORARY EROSION CONTROL MEASURES	CONTINUOUSL
12.	PRELIMINARY INSTALLATION OF LANDSCAPING	1 WEEK
13.	FINAL PAVEMENT COURSE	1 WEEK
14.	FINAL CONSTRUCTION/STABILIZATION OF SITE	1 WEEK

*TEMPORARY SEEDING SHALL ALSO BE PERFORMED WHEN NECESSARY IN ACCORDANCE WITH NOTES #5 AND #6 OF THE SOIL EROSION AND

CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. THE PROPERTY OWNERS SHALL ASSUME THIS RESPONSIBILITY AFTER CONSTRUCTION IS COMPLETED AND CERTIFICATES OF

THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ROADWAYS CLEAN AT ALL TIMES, ANY SEDIMENT SPILLED OR TRACKED ON THE ROADWAY WILL BE CLEANED UP IMMEDIATELY, OR AT MINIMUM, BY THE END OF EACH WORK DAY.

DUST GENERATION SHALL BE CONTROLLED ON A CONSTANT BASIS BY WETTING THE SURFACE AND/OR APPLICATION OF CALCIUM CHLORIDE. STEEP SLOPES SHALL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR SUITABLE EQUAL. (SEE ANCHORING NOTES &

ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON INDIVIDUAL SITES SHALL APPLY TO ANY SUBSEQUENT OWNERS.

STANDARD FOR TOPSOILING

NOTE NO. 6 OF SOIL EROSION & SEDIMENT CONTROL NOTES.)

. MATERIALS

A. TOPSOIL SHOULD BE FRIABLE1, LOAMY2, FREE OF DEBRIS, OBJECTIONABLE WEEDS AND STONES, AND CONTAIN NO TOXIC SUBSTANCE OR ADVERSE CHEMICAL OR PHYSICAL CONDITION THAT MAY BE HARMFUL TO PLANT GROWTH. SOLUBLE SALTS SHOULD NOT BE EXCESSIVE (CONDUCTIVITY LESS THAN 0.5 MILLIMHOS PER CENTIMETER. MORE THAN 0.5 MILLIMHOS MAY DESICCATE SEEDLINGS AND ADVERSELY IMPACT GROWTH). IMPORTED TOPSOIL SHALL HAVE A MINIMUM ORGANIC MATTER CONTENT OF 2.75 PERCENT. ORGANIC MATTER CONTENT MAY BE RAISED BY ADDITIVES.

B. TOPSOIL SUBSTITUTE IS A SOIL MATERIAL WHICH MAY HAVE BEEN AMENDED WITH SAND, SILT, CLAY, ORGANIC MATTER, FERTILIZER OR LIME AND HAS THE APPEARANCE OF TOPSOIL. TOPSOIL SUBSTITUTES MAY BE UTILIZED ON SITES WITH INSUFFICIENT TOPSOIL FOR ESTABLISHING PERMANENT VEGETATION. ALL TOPSOIL SUBSTITUTE MATERIALS SHALL MEET THE REQUIREMENTS OF TOPSOIL NOTED ABOVE. SOIL TESTS SHALL BE PERFORMED TO DETERMINE THE COMPONENTS OF SAND, SILT, CLAY, ORGANIC MATTER, SOLUBLE SALTS

. <u>STRIPPING AND STOCKPILING</u>
A. FIELD EXPLORATION SHOULD BE MADE TO DETERMINE WHETHER QUANTITY AND OR QUALITY OF SURFACE SOIL JUSTIFIES STRIPPING. STRIPPING SHALL BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA. WHERE FEASIBLE, LIME MAY BE APPLIED BEFORE STRIPPING AT A RATE DETERMINED BY SOIL TESTS TO BRING THE SOIL PH TO APPROXIMATELY 6.5

A 4-6 INCH STRIPPING DEPTH IS COMMON. BUT MAY VARY DEPENDING ON THE PARTICULAR SOIL STOCKPILES OF TOPSOIL SHOULD BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL STOCKPILES SHOULD BE VEGETATED IN ACCORDANCE WITH STANDARDS PREVIOUSLY DESCRIBED HEREIN; SEE STANDARDS FOR

SITE PREPARATION

A. GRADE AT THE ONSET OF THE OPTIMAL SEEDING PERIOD SO AS TO MINIMIZE THE DURATION AND AREA OF EXPOSURE OF DISTURBED

THE SPECIFIC SEED MIXTURE SOIL TO EROSION. IMMEDIATELY PROCEED TO ESTABLISH VEGETATIVE COVER IN ACCORDANCE WITH THE SPECIFIED SEED MIXTURE.

GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION AND ANCHORING, AND MAINTENANCE. SEE THE STANDARD FOR LAND GRADING, PG. 19-1. C. AS GUIDANCE FOR IDEAL CONDITIONS, SUBSOIL SHOULD BE TESTED FOR LIME REQUIREMENT. LIMESTONE IF NEEDED, SHOULD BE APPLIED TO BRING SOIL TO A PH OF APPROXIMATELY 6.5 AND INCORPORATED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF

PERMANENT (PG. 4-1) OR TEMPORARY (PG.7-1) VEGETATIVE COVER FOR SOIL STABILIZATION. WEEDS SHOULD NOT BE ALLOWED TO

PRIOR TO TOPSOILING, THE SUBSOIL SHALL BE IN COMPLIANCE WITH THE STANDARD FOR LAND GRADING, PG. 19-1. EMPLOY NEEDED EROSION CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION

MEASURES, SEDIMENTATION BASINS, AND WATERWAYS, SEE STANDARDS 11 THROUGH 42.

APPLYING TOPSOIL

A. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE; I.E., LESS THAN FIELD B. A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5.0 INCHES, MINIMUM OF 4 INCHES, FIRMED IN PLACE IS REQUIRED. ALTERNATIVE DEPTHS MAY BE CONSIDERED WHERE SPECIAL REGULATORY AND/OR INDUSTRY DESIGN STANDARDS ARE APPROPRIATE SUCH AS ON

GOLF COURSES, SPORTS FIELDS, LANDFILL CAPPING, ETC.. SOILS WITH A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM DEPTH OF 12 INCHES OF SOIL HAVING A PH OF 5.0 OR MORE, IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOIL (PG. 1-1). PURSUANT TO THE REQUIREMENTS IN SECTION 7 OF THE STANDARD FOR PERMANENT VEGETATIVE STABILIZATION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT PERMANENT VEGETATIVE COVER BECOMES ESTABLISHED ON AT LEAST 80% OF THE SOILS TO BE STABILIZED WITH VEGETATION. FAILURE TO ACHIEVE THE MINIMUM COVERAGE MAY REQUIRE ADDITIONAL WORK TO BE PERFORMED BY THE CONTRACTOR TO INCLUDE SOME OR ALL OF THE FOLLOWING: SUPPLEMENTAL SEEDING, RE-APPLICATION OF LIME AND FERTILIZERS, AND/OR THE ADDITION OF ORGANIC MATTER (I.E. COMPOST) AS A TOP DRESSING. SUCH ADDITIONAL MEASURES SHALL BE BASED ON SOIL TESTS SUCH AS THOSE OFFERED BY RUTGERS COOPERATIVE EXTENSION SERVICE OR OTHER APPROVED LABORATORY

HIGH-ACID PRODUCING SOILS- METHODS AND MATERIALS 1. LIMIT THE EXCAVATION AREA AND EXPOSURE TIME WHEN HIGH ACID-PRODUCING SOILS ARE ENCOUNTERED.

FACILITIES QUALIFIED TO TEST SOIL SAMPLES FOR AGRONOMIC PROPERTIES.

CONVEYANCES, AND TO PROTECT MACHINERY FROM ACCELERATED RUSTING.

2. TOPSOIL STRIPPED FROM THE SITE SHALL BE STORED SEPARATELY FROM TEMPORARILY STOCKPILED HIGH ACID-PRODUCING SOILS. 3. STOCKPILES OF HIGH ACID-PRODUCING SOIL SHOULD BE LOCATED ON LEVEL LAND TO MINIMIZE ITS MOVEMENT, ESPECIALLY WHEN

4 TEMPORARII Y STOCKPII ED HIGH ACID-PRODUCING SOIL MATERIAL TO BE STORED MORE THAN 48 HOURS SHOULD BE COVERED WITH PROPERLY ANCHORED. HEAVY GRADE SHEETS OF POLYETHYLENE WHERE POSSIBLE. IF NOT POSSIBLE. STOCKPILES SHALL BE COVERED WITH A MINIMUM OF 3 TO 6 INCHES OF WOOD CHIPS TO MINIMIZE EROSION OF THE STOCKPILE. SILT FENCE SHALL BE NSTALLED AT THE TOE OF THE SLOPE TO CONTAIN MOVEMENT OF THE STOCKPILED MATERIAL. TOPSOIL SHALL NOT BE APPLIED TO THE STOCKPILES TO PREVENT TOPSOIL CONTAMINATION WITH HIGH ACID-PRODUCING SOIL

5 HIGH ACID-PRODUCING SOILS WITH A PH OF 4 0 OR LESS OR CONTAINING IRON SUI FIDE (INCLUDING BORROW FROM CUTS OR DREDGED SEDIMENT) SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS PER ACRE (OR 450 POUNDS PER 1,000 SQUARE FEET OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12 INCHES OF SETTLED SOIL WITH A PH OF 5.0 OR MORE a) AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF 24 INCHES OF SOIL WITH A PH OR 5 OR MORE

BANKS, DITCHES, AND OTHERS, TO PREVENT POTENTIAL LATERAL LEACHING DAMAGES. 6. EQUIPMENT USED FOR MOVEMENT OF HIGH ACID-PRODUCING SOILS SHOULD BE CLEANED AT THE END OF EACH DAY TO PREVENT SPREADING OF HIGH ACID-PRODUCING SOIL MATERIALS TO OTHER PARTS OF THE SITE, INTO STREAMS OR STORMWATER

b) DISPOSAL AREAS SHALL NOT BE LOCATED WITHIN 24 INCHES OF ANY SURFACE OF A SLOPE OR BANK, SUCH AS BERMS, STREAM

7. NON-VEGETATIVE EROSION CONTROL PRACTICES (STONE TRACKING PADS, STRATEGICALLY PLACED LIMESTONE CHECK DAM, SEDIMENT BARRIER, WOOD CHIPS) SHOULD BE INSTALLED TO LIMIT THE MOVEMENT OF HIGH ACID-PRODUCING SOILS FROM, AROUND,

8 FOLLOWING BURIAL OR REMOVAL OF HIGH ACID-PRODUCING SOIL TOPSOILING AND SEEDING OF THE SITE (SEE TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, AND TOPSOILING), MONITORING MUST CONTINUE FOR A MINIMUM OF 6 MONTHS TO ENSURE THERE IS ADEQUATE STABILIZATION AND THAT NO HIGH ACID-PRODUCING SOIL PROBLEMS EMERGE. IF PROBLEMS STILL EXIST, THE AFFECTED AREA MUST BE TREATED AS INDICATED ABOVE TO CORRECT THE PROBLEM.

PROJECT INFORMATION

ROJECT LOCATION:

BLOCK 42, LOT 1 60 BAY AVENUE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NJ

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE HIGHLANDS, NJ 07732

PLICANT: 60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE

HIGHLANDS, NJ 07732 APPLICANT'S PROFESSIONALS

DONNA M. JENNINGS ESQ. WILENTZ, GOLDMAN & SPITZER, PA 90 WOODBRIDGE CENTER DRIVE, SUITE 900 WOODBRIDGE, NJ 07095

SALVATORE LA FERLITA, R.A. 115 UNIVERSITY DRIVE LINCROFT, NJ 07738

INSITE SURVEYING, LLC

WALL, NJ 07719

1955 ROUTE 37, SUITE 1A

NJ ONE CALL.....800-272-1000

CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax) InSite@InSiteEng.net www.InSiteEng.net

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REVISIONS 07/25/25 PER BOARD COMMENTS

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PER APPORTECT SCALE: AS SHOWN DESIGNED BY: DDC

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CHECKED BY: DDC

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FOR CONSTRUCTION

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DATE: 02/05/24

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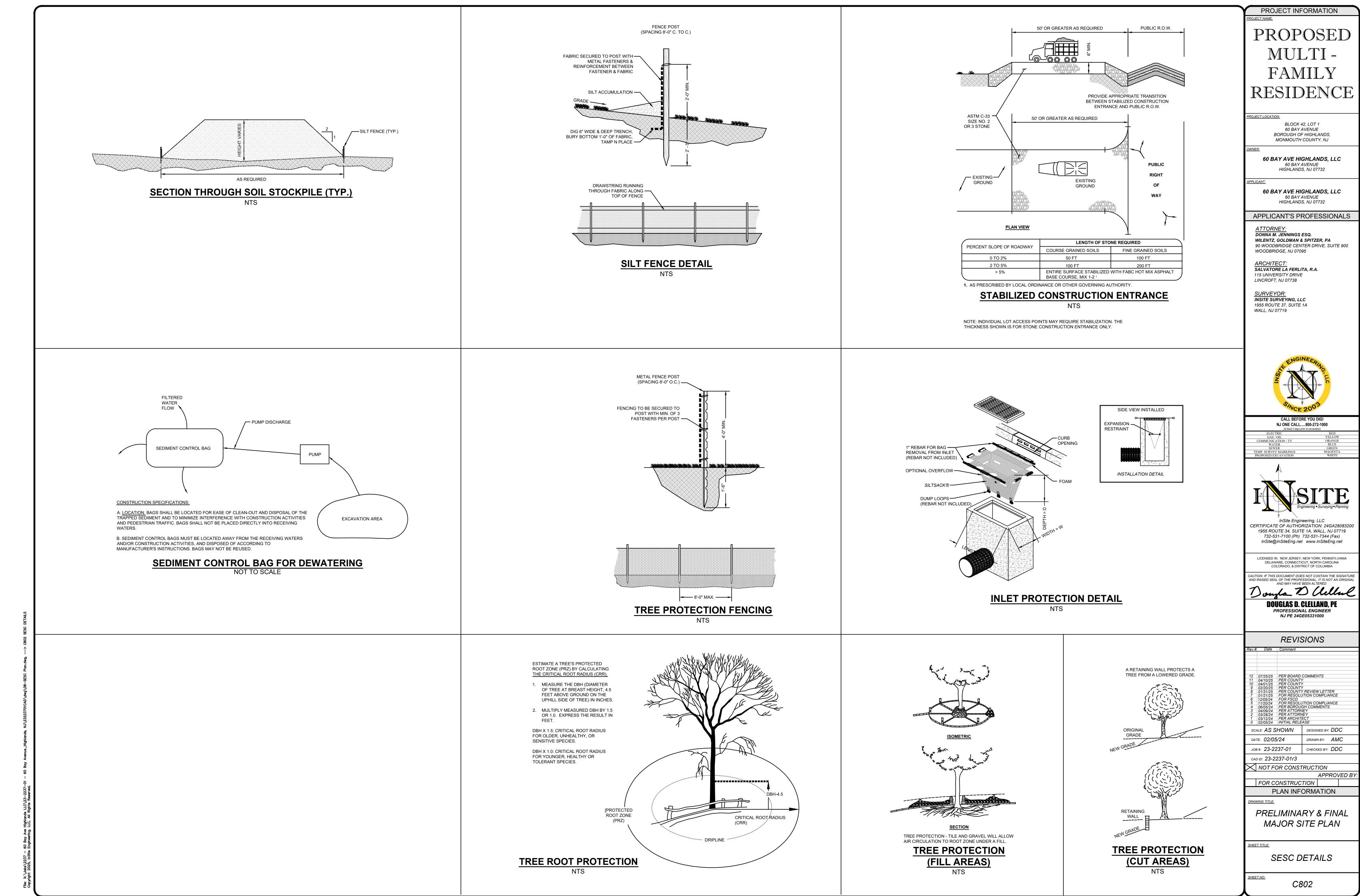
PRELIMINARY & FINAL MAJOR SITE PLAN

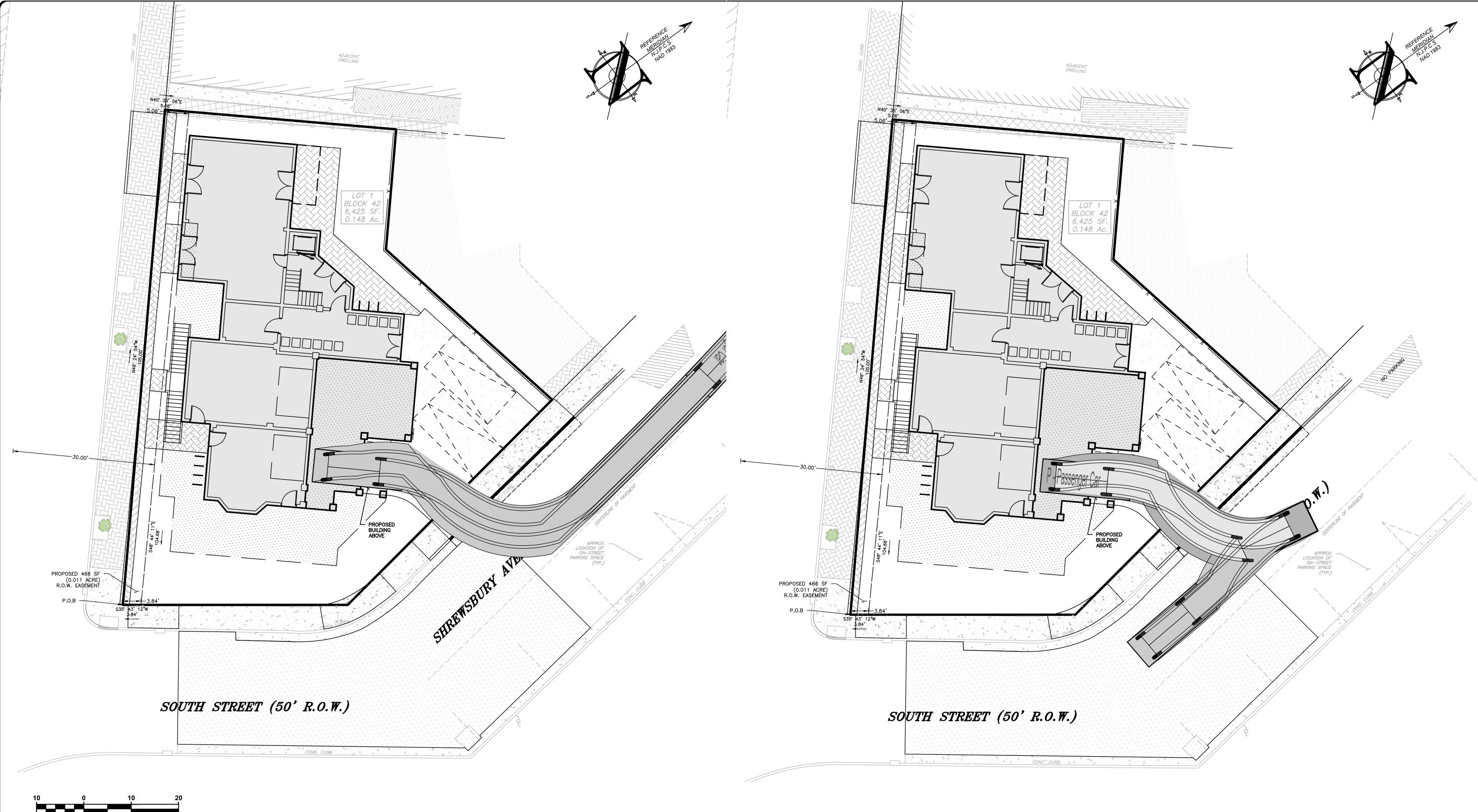
PLAN INFORMATION

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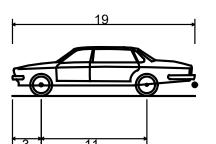
SCALE : 1" = 10'

SEE SHEET C101 FOR PLAN NOTES

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SWALE CENTER LINE ------

PULLING IN



BACKING OUT

P - Passenger Car
19.000ft Overall Length
7.000ft Overall Width
4.300ft Overall Body Height
1.115ft Min Body Ground Clearance
6.000ft Track Width
4.00s Lock-to-lock time
31.60° Curb to Curb Turning Radius

PROPOSED MULTI -FAMILY RESIDENCE

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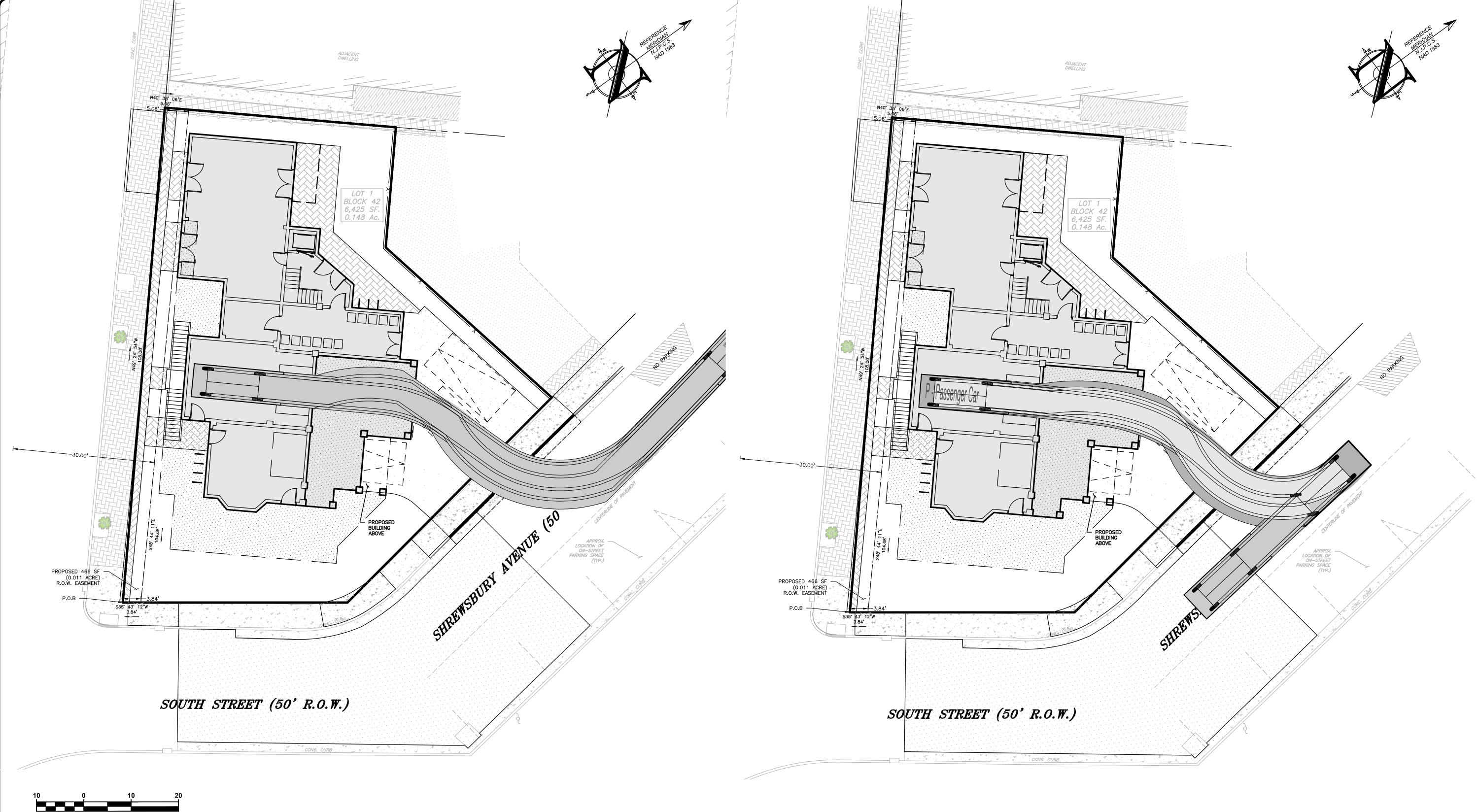
DOUGLAS D. CLELLAND, PE
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PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

CIRCULATION PLAN



SCALE : 1" = 10'

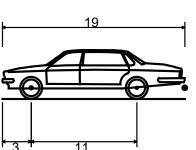
SEE SHEET C101 FOR PLAN NOTES

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GRADE FLOW ARROW

SWALE CENTER LINE ------

PULLING IN



BACKING OUT

P - Passenger Car
19.000ft Overall Length
7.000ft Overall Width
4.300ft Overall Body Height
1.115ft Min Body Ground Clearance
6.000ft Track Width
4.00s Lock-to-lock time
31.60° Curb to Curb Turning Radius

PROPOSED MULTI -FAMILY RESIDENCE

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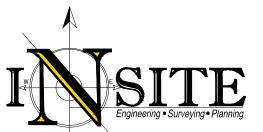
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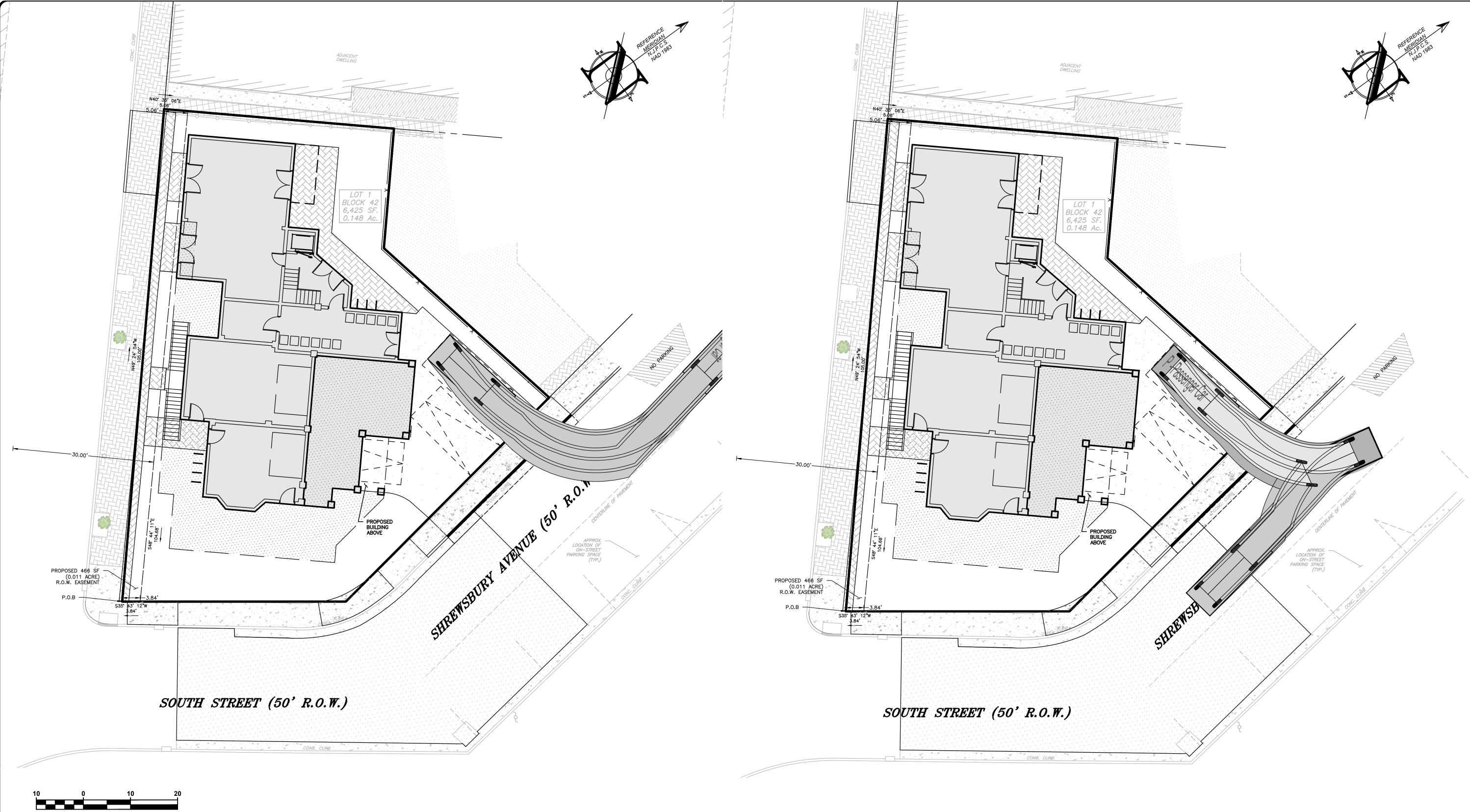
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PRELIMINARY & FINAL

MAJOR SITE PLAN

SHEET TITLE:

CIRCULATION PLAN



SCALE : 1" = 10'

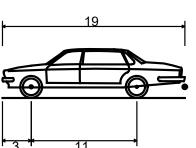
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GRADE FLOW ARROW

SWALE CENTER LINE ------

PULLING IN



BACKING OUT

P - Passenger Car
19.000ft Overall Length
7.000ft Overall Width
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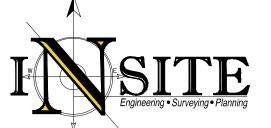
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PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

SHEET TITLE:

CIRCULATION PLAN

GENERAL NOTES GENERAL CONDITIONS:

THE PROVISIONS OF THESE CONSTRUCTION DOCUMENTS, IN WHOLE AND IN PART INCLUDING THESE NOTES AND DRAWINGS APPLY TO ALL PARTIES PERFORMING WORK FOR THE PROJECT. IT IS RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONVEY, COORDINATE, AND ENSURE PERFORMANCE OF THESE PROVISIONS.

ALL SUBCONTRACTORS SHALL COOPERATE IN THE COORDINATION AND PERFORMANCE OF THE WORK.

THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT,

BONDS, INSURANCE, PERMITS, AND INSPECTIONS FOR COMPLETING THE WORK. THESE CONSTRUCTION DOCUMENTS ARE INSTRUMENTS OF SERVICE FOR THIS PARTICULAR PROJECT. THEY ARE THE SOLE PROPERTY OF THIS FIRM AND SHALL NOT BE OTHERWISE USED IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION AND DUE COMPENSATION.

THE CONTRACTOR AND OWNER SHALL HOLD HARMLESS THE ARCHITECT FROM DAMAGES OR EXPENSES INCLUDING LEGAL FEES ARISING OUT OF THE CONTRACTORS PERFORMANCE OF WORK.

THESE CONSTRUCTION DOCUMENTS MAKE NO REPRESENTATION AS TO THE SUITABILITY OF SOIL CONDITIONS, SUCH A REPRESENTATION OF WOULD REQUIRED TESTING AND PROFESSIONAL ENGINEERING REVIEW OF THE

THESE CONSTRUCTION DOCUMENTS MAKE NO REPRESENTATION AS TO THE CONDITIONS OR SUITABILITY OF CONCEALED STRUCTURAL OR FOUNDATION

THIS WORK OF THIS PROJECT SHALL BE PERFORMED AND/OR COORDINATED BY AN EXPERIENCED GENERAL CONTRACTOR OR CONSTRUCTION MANAGER, WITH AT LEAST THREE YEARS OF EXPERIENCE IN AT LEAST THREE PROJECTS OF SIMILAR SCOPE AND TYPE.

SCOPE OF THE WORK:

THE CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE CARRIED OUT THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS

BEFORE STARTING THE WORK OF THIS CONTRACT, WHERE DISCREPANCIES ARE FOUND NOTIFY THE ARCHITECT IMMEDIATELY. WHERE DRAWINGS, SPECIFICATIONS, OR OTHER CONSTRUCTION DOCUMENTS DISAGREE OR CONFLICT WITH EACH OTHER NOTIFY ARCHITECT IMMEDIATELY.

THE CONTRACTOR SHALL PERFORM ALL INDICATED WORK AND RELATED WORK EVEN IF NOT CLEARLY INDICATED THAT MAY BE REASONABLY CONSIDERED AS NECESSARY FOR COMPLETION. THE CONTRACTOR SHALL PROTECT AGAINST DAMAGE OR THEFT TO ALL NEW

AND EXISTING CONSTRUCTION, SITE DEVELOPMENT AND SERVICES. THE CONTRACTOR SHALL REPAIR DAMAGE TO THE EXISTING AND/OR NEIGHBORING CONSTRUCTION OR SITES CAUSED BY NEW CONSTRUCTION AT

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER AND LEGAL DISPOSAL OF ALL REFUSE AND FOR MAINTAINING THE WORK PLACE IN A SAFE AND ORDERLY CONDITION AT ALL TIMES.

THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SERVICES AND ASSOCIATED HOOK-UPS, COORDINATION AND PERMISSIONS AT HIS OWN

THE CONTRACTOR IS CAUTIONED TO MAKE CONTINUOUS OBSERVATIONS OF THE EXISTING STRUCTURE DURING PERFORMANCE OF HIS WORK. SHOULD HE BECOME AWARE OF ANY INVESTIGATION OR STUDY (SUCH AS CRACKS IN MASONRY AND PARTITIONS, ADDITIONAL DEFLECTIONS, ETC.) AND NOTIFY THE ARCHITECT IMMEDIATELY.

10. FIREPROOF GARAGE AND UTILITY ROOM AS REQUIRED BY LOCAL CODES WITH

5/8" FIRE CODE "X" GYPSUM BOARD OR EQUAL. 11. CRAWL SPACE ACCESS AND VENTILATION SHALL COMPLY WITH SECTION R 408.1 AND R 408.4 OF 2021 RESIDENTIAL CODE N.J. EDITION

PERFORMANCE OF THE WORK:

ALL MATERIALS AND PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND CODE REQUIREMENTS, AND AS OTHERWISE INDICATED IN CONTRACT DOCUMENTS.

ALL MATERIAL AND PRODUCTS SHALL BE NEW AND IN GOOD CONDITION. WHERE APPLICABLE THE CONTRACTOR SHALL PROVIDE THE OWNER WITH COPIES AND ASSIGNMENTS OF ALL GUARANTEES PROVIDED BY THE

THE CONTRACTOR SHALL MAINTAIN THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS AT THE WORK SITE AT ALL TIMES. DO NOT SCALE DRAWINGS. DIMENSIONS ARE FACE OF STUD OR TO FACE OF

MASONRY UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS CLEAR OR

CLEAR SHALL BE USED AS FINISHED SURFACE TO FINISHED SURFACE

DEMOLITION NOTES:

ALL INDICATED DEMOLITION INCLUDES REQUIRED PATCHING, REPAIR AND MODIFICATIONS AS NECESSARY TO PREPARE FOR NEW WORK AND/OR MATCH DEMOLITION WORK INCLUDES REMOVING ALL DEMOLITION DEBRIS FROM THE

SITE IN A LEGAL AND TIMELY MANNER. NOTIFY ARCHITECT IMMEDIATELY IF DEMOLITION REVEALS EXISTING CONDITIONS DIFFERENT FROM THOSE ASSUMED ON DRAWINGS.

REMOVAL OF PLUMBING FIXTURES OR PIPES INCLUDES CAPPING OFF ALL SUPPLY AND WASTE LINES.

REMOVAL OF ELECTRICAL FIXTURES OR WORK, INCLUDES PROPER

TERMINATION OF ALL WIRES. COORDINATE WITH PLUMBING FOR RELOCATION OF ALL EXISTING PLUMBING AND/OR GAS PIPING REQUIRED BY DEMOLITION AND/OR NEW WORK INDICATED. COORDINATE WITH ELECTRICAL FOR RELOCATION OF ALL EXISTING WIRE

AND/OR OTHER ELECTRICAL WORK REQUIRED BY DEMOLITION AND/OR NEW COORDINATE WITH HVAC FOR RELOCATION OF ALL EXISTING DUCTS AND/OR OTHER SYSTEM COMPONENTS AS WORK REQUIRED BY DEMOLITION AND/OR

SHORE UP ALL EXISTING FRAMING BEFORE TOTAL REMOVAL OF THE BEARING WALLS AND BEFORE NEW BEAMS ARE INSTALLED.

SITEWORK/EARTHWORK

SITE WORK INCLUDES ALL ASPECTS OF SOIL MOVEMENT, PREPARATION. SOIL CONDITIONS, PAVING, AND GRASS SEEDING ASSOCIATED WITH THE PROJECT. SITE WORK INCLUDES ALL REGULATORY ASPECTS OF THE WORK INCLUDING SOIL RETENTION PROCEDURES, EXCAVATION APPROVALS, AND PERMITS AS

SITE WORK INCLUDES ALL SOIL WORK RELATED TO FOUNDATION, SLABS, COMPACTION AND REQUIRED RETAINING WALLS. TREAT SOIL WITH APPROVED INSECTICIDES AT FOUNDATION AND CRAWL SPACE AREAS, USE MANUFACTURES DISTRIBUTION RECOMMENDATIONS OF A TYPE APPROVED BY OWNER.

. STRIP OFF AND CONSERVE ALL TOP SOIL IN AREAS TO BE DISTURBED PROVIDE A STABILIZED STONE SUB-BASE FOR CONSTRUCTION ACCESS IN THE LOCATION OF PROPOSED DRIVE WAY SEED WITH QUALITY MIX GRASS SEED (APPROVED BY OWNER) AND MAINTAIN ALL DISTURBED AREAS TO

PROMOTE NEW LAWN FOR A PERIOD NOT LESS THAN 30 DAYS. CONTRACTOR SHALL INSTALL NEW 2" BITUMINOUS DRIVEWAY OVER 3" CRUSHED STONE WITH BELGIUM BLOCK CURBING AND SLATE SIDEWALK AS PER SITE PLAN, PROVIDE ALTERNATE PRICE.

MASONRY AND CONCRETE NOTES:

MASONRY AND CONCRETE WORK INCLUDES ALL CONSTRUCTION INVOLVING STONE, BRICK, CONCRETE MASONRY UNITS AND POURED CONCRETE AND INCLUDES ALL ASSOCIATED MATERIALS LABOR AND EQUIPMENT FOR THE

2. CONCRETE AND MASONRY WORK INCLUDES ALL GARAGE, CRAWL SPACE AND BASEMENT SLABS, PATIOS, FOUNDATIONS, AND BUILDING WALLS, RETAINING WALLS, WALKWAYS OR OTHER WORK AS APPROPRIATE TO THE TRADE INCLUDING ALL COORDINATION WITH OTHER TRADES AS TO EXCAVATION, GRADING, UTILITIES, ETC.

3. MASONRY AND CONCRETE WORK INCLUDES ALL REINFORCING CALLED FOR AS NORMALLY PROVIDED, INCLUDING ALL REBAR, STEEL LINTELS, AND WIRE

4. ALL CONCRETE SHALL BE MIN. STRENGTH 3,000 psi AT 28 DAYS UNLESS OTHERWISE INDICATED.

5. ALL CONCRETE MASONRY UNITS AND BRICK ARE TO BE RUNNING BOND UNLESS OTHERWISE INDICATED.

6. PROVIDE FOUNDATION DAMP-PROOFING (2) LAYER HOT ASPHALTIC COATING OR OTHER APPROVED SYSTEMS.

7. PROVIDE RADON MITIGATION MEASURES AS REQUIRED BY LOCAL CODE AND AS CALLED FOR IN THE DRAWINGS. 8. PROVIDE #4 VERTICAL REBAR AT 8'-O" O.C. AT ALL CORNERS AND ON BOTH

SIDES OF ALL MASONRY WALL OPENINGS. POUR SOLID AT ALL REBAR LOCATIONS FOR MIN. 16". 9. THE BOTTOM OF ALL EXTERIOR WALLS, COLUMNS AND FOOTINGS SHALL BE A MINIMUM OF 3'-O" BELOW FINISHED GRADE UNLESS OTHERWISE INDICATED

ON THE WORKING DRAWINGS. 10. WHEN FINISHED FLOOR IS 2'-O" OR GREATER ABOVE FINISHED GRADE, THE FOUNDATION WALL SHALL BE REINFORCED FROM TOP OF FOOTING TO 12" ABOVE FLOOR SLAB. FILL BLOCK SOLID WITH CONCRETE AND PROVIDE

11. PROVIDE HORIZONTAL TRUSS-TYPE REINFORCING EVERY OTHER BLOCK

12. ALL FOOTING SHALL BEAR ON VIRGIN SOIL OF 3,000 P.S.F. BEARING

13. PROVIDE LINTELS OVER MASONRY OPENINGS. STEEL LINTELS SHALL BE TWO (2) 3 1/2" \times 3 1/2" \times 1/2" UNLESS OTHERWISE NOTED. 14. DO NOT ERECT MASONRY WALLS WHEN TEMPERATURE IS BELOW 25 DEGREES WITHOUT RECEIVING WRITTEN PERMISSION AND SPECIAL REQUIREMENTS FROM THE ARCHITECT. FOR TEMPERATURES LESS THAN 40 DEGREES BUT MORE

THAN 25 DEGREES MAINTAIN MORTAR TEMPERATURE BETWEEN 40 AND 120

DEGREES, HEATING MIXING WATER AS NECESSARY, MASONRY UNITS SHALL

15. WHERE EXPOSED MASONRY MUST BE TRIMMED, SAWCUT ALL EXPOSED JOINTS

BE HEATED TO A MINIMUM TEMPERATURE OF 40 DEGREES.

ENERGY NOTES:

VERTICAL ROD REINFORCING AT 12" O.C.

THE CONSTRUCTION SHALL MEET OR EXCEED ALL STATE ENERGY CODE

2. ALL FRAMED EXTERIOR WALLS, OR WALLS ADJACENT TO UNHEATED SPACES; SHALL COMPLY WITH THE PRESCRIPTIVE REQUIREMENTS OF 2021 IECC 402.1.1 MINIMUM R-39 INSULATION IN FLOOR/CEILING ASSEMBLIES, MINIMUM R-19 IN FLOOR ASSEMBLIES. REFER TO CHART BELOW FOR ALL OTHER AREAS.

> 2021 IECC FOR CLIMATE ZONE 4 & 5 CEILING R-VALUE R-49 MIN. WOOD FRAME WALL R-VALUE MASONRY WALL R-VALUE R-19 FLOOR R-VALUE BASEMENT WALL R-VALUE R-10/13 SLAB R-VALUE R-10 @ 2 ft CRAWL SPACE R-VALUE FENESTRATION U-VALUE SKYLIGHT U-VALUE

3. ALL SLABS ON GRADE SHALL HAVE PERIMETER INSTALLATION 2" x 24" RIGID BOARD; HORIZONTAL AND VERTICAL (NOT IN BASEMENT UNLESS OTHERWISE

4. INSULATE ALL PIPES, DUCTS, AND TANKS AS REQUIRED BY BOCA INTERNATIONAL ENERGY CODE.

5. SUPPLY ALL WINDOWS AND DOORS WITH STOPS AND SEALS FOR A MAX INFILTRATION OF 0.5 CFM PER FOOT OR SASH CRACK.

6. CAULK OR WEATHER STRIP ALL EXTERIOR JOINTS AROUND DOORS AND WINDOWS TO MINIMIZE INFILTRATION.

GLAZING NOTES:

WINDOWS NOTED AS EGRESS PROVIDE MINIMUM CLEAR OPENING OF 5.7 SQ. FT. WITH MIN. 20" WIDTH AND 24" HEIGHT EGRESS WINDOWS ON THE FIRST FLOOR SHALL HAVE A MINIMUM CLEAR OPENING OF 5.0 SQ. FT.

2. SILL HEIGHT FOR WINDOWS INDICATED AS EGRESS WINDOWS SHALL NOT EXCEED 44" ABOVE THE FLOOR.

3. PROVIDE TEMPERED GLASS AS INDICATED ON DRAWINGS IN ALL GLASS AT BATH AND SHOWER AREAS LESS THAN 72" A.F.F., IN ALL GLASS IN DOORS, AND AS OTHERWISE REQUIRED.

WOOD, FRAMING AND CARPENTRY:

. ALL STRUCTURAL WOOD MEMBERS SHALL BE No.2 DOUGLAS FIR OR SOUTHERN

2. ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED UNLESS OTHERWISE NOTED ON THE DRAWINGS. (OF A TYPE APPROVED BY OWNER).

3. ALL INTERIOR TRIM SHALL BE PAINT-GRADE PINE AND/OR STAIN-GRADE PINE, VERIFY FINAL SELECTION WITH OWNER.

4. PROVIDE DOUBLE MEMBERS AROUND ALL FRAMED OPENING. 5. PROVIDE SOLID BLOCKING AT ALL CANTILEVERS PERPENDICULAR WALLS

ABOVE, AND OTHER CONCENTRATED LOADS. PROVIDE DOUBLE JOISTS RUNNING PARALLEL TO PARTITIONS ABOVE.

6. PROVIDE BRIDGING AT 8'-O" O.C. MAXIMUM.

7. PROVIDE ALL WORK INDICATED AS CABINETRY, VANITIES, SHELVES, OR MANTELS, AND/OR COORDINATE CARPENTRY WITH TILE OR GRANITE WORK AS

8. SILL PLATE SHALL BE (2) 2" x 6" TREATED LUMBER, FASTEN TO FOUNDATION WALL MINIMUM 8'-0" O.C. WITH A 1/2" DIAMETER x 18" MINIMUM LENGTH SOLIDLY EMBEDDED IN CONCRETE.

9. ALL FRAMING LUMBER SHALL BE No.2 DOUGLAS FIR OR SOUTHERN PINE WITH MINIMUM Fb OF 1450 P.S.I. AND MINIMUM E OF 1,700,000.

10. ALL NAILING SHALL BE IN ACCORDANCE WITH 2021 INTERNATIONAL RESIDENTIAL CODE NEW JERSEY EDITION.

11. PROVIDE CATS AS REQUIRED, MINIMUM 8'-O" O.C.

12. WOOD HEADERS (2) 2" \times 8" FOR OPENINGS UP TO 5'-0" AND (2) 2" \times 10" FOR OPENINGS UP TO 8'-O" UNLESS OTHERWISE NOTED ON THE PLANS.

13. STAIR, GUARD RAILS AND HAND RAILS AT DECKS, BALCONIES OR STAIRCASES SHALL COMPLY WITH THE SECTION OF 2018 INTERNATIONAL RESIDENTIAL CODE NEW JERSEY EDITION.

FLOORS: 40 PSF LIVE LOAD 10 PSF DEAD LOAD 10 PSF LIVE LOAD

WIND LOAD: MINIMUM DESIGN WIND LOAD = 110 MPH BASIC WIND SPEED EXPOSURE B IN ACCORDANCE WITH AF & PA WOOD CONSTRUCTION MANUAL FOR 1 AND 2 FAMILY DWELLINGS

10 PSF DEAD LOAD

FINISH NOTES:

IN THE GARAGE.

DO NOT START THE APPLICATION OR INSTALLATION OF ANY FINISHED MATERIAL WITHOUT INSURING THE SUBSTRATE IS ACCEPTABLE AND PROPERLY PREPARED.

2. WHERE APPROPRIATE FOR PROPER INSTALLATION OR APPLICATION FINISH WORK INCLUDES ALL REMOVAL OF EXISTING FINISHES INCLUDING WALL

COVERING, PAINT AND OTHER COATINGS, AND FLOORING MATERIALS. 3. ALL FINISHED WORK INCLUDES LEVELING BETWEEN FLOORS.

4. PROVIDE OWNER WITH SAMPLES OF ALL INTERIOR AND EXTERIOR FINISH MATERIALS FOR ACCEPTANCE BEFORE ORDERING.

5. INSTALLATION OF FINISHES, INTERIOR AND EXTERIOR SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. 6. GYPSUM BOARD INSTALLATION INCLUDES TAPING AND SPACKLING (THREE

7. PAINTING CONTRACTOR SHALL PROVIDE (1) COAT PRIMER AND (2) COAT FINISH WITH 'BENJAMIN MOORE' PAINT OR EQUAL.

COATS) ALL WALLS IN THE HOUSE, TWO COATS IN CLOSETS, AND ONE COAT

8. ALL BATHROOMS SHALL HAVE TILE FLOORS AND WALLS, TILES ARE SELECTED BY OWNER.

9. ALL TUBS AND SHOWERS SHALL HAVE MOLDED ENCLOSURES AS SELECTED 10. ALL HARDWARE SHALL BE SELECTED BY OWNER.

11. ALL WOOD FLOORS (WHERE INDICATED ON THE PLANS) SHALL BE #1 OAK FINISHED NATURAL WITH (2) COATS OF POLYURETHANE. 12. ALL TRIMS SHALL BE 3" CASING AND 5" BASE (SATIN GRADE AND/OR PAINT

ELECTRICAL NOTES:

GRADE) AS SELECTED BY OWNER.

ALL WORK PERFORMED TO CONFIRM TO ALL STATE, COUNTY, TOWN AND

2. CONTRACTOR SHALL BE LICENSED BY THE STATE AND TO PROVIDE ALL NECESSARY DESIGN WORK NECESSARY TO OBTAIN ALL PERMITS. HARDWIRE CONNECTIONS, FIXTURES, BULBS, PLATES, ETC. 3. ALL ELECTRICAL WORK IS THROUGH TO COMPLETE INSTALLATION INCLUDING

ALL LABOR, EQUIPMENT, AND ALL MATERIALS FOR DISTRIBUTION SYSTEM

AND PANEL BOARDS, WIRING, HARDWIRE CONNECTIONS, FIXTURES, BULBS,

PLATES, ETC. 4. PROVIDE GROUND FAULT INTERRUPT OUTLETS WITHIN SIX FEET OF ANY WATER SOURCE, IN GARAGES, BASEMENTS AND AS INDICATED ON PLAN

. SMOKE DETECTORS TO BE INSTALLED TO MEET ALL UPDATED LOCAL AND STATE CODES. ALL ALARMS TO SOUND SIMULTANEOUSLY.

6. THE CONTRACTOR WILL PROVIDE ALL ELECTRICAL WORK NECESSARY TO

COMPLETE THE PROJECT, GENERAL CONTRACTOR TO FURNISH AND INSTALL 7. ALL BATHROOMS TO HAVE FAIL-SAFE CIRCUITS.

PLUMBING NOTES:

ALL PLUMBING WORK SHALL BE BY A LICENSED PLUMBER.

2. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENT.

3. PLUMBING WORK INCLUDES ALL SUPPLY, WASTE, AND VENT PIPING PROVISIONS AND COMPLETE INSTALLATION FOR FIXTURE SHUTOFF VALVES FOR EACH FIXTURE GROUP. PROVISION AND COMPLETE INSTALLATION OF ANY REQUIRED HOT-WATER HEATER.

4. PLUMBING WORK INCLUDES ALL NATURAL GAS AND PROPANE PIPING. INCLUDING SERVICE CONNECTION TO ALL GAS APPLIANCES AND FURNACES. 5. WASTE PIPING SHALL BE APPROVED PVC, SUPPLY PIPING SHALL BE TYPE "L"

6. PROVIDE CLEANOUTS AS REQUIRED BY CODE, NOT MORE THAN 75'-O" APART,

7. ALL PLUMBING FIXTURES SHALL BE SELECTED BY OWNER, (REFER TO PLUMBING FIXTURE SCHEDULE).

HVAC/MECHANICAL NOTES:

AT ALL TURNS OF 45 DEGREES OR MORE.

NEW OR SUPPLEMENTAL SYSTEMS.

ALL HEATING, COOLING AND VENTILATION SHALL BE PERFORMED BY A QUALIFIED MECH. SUBCONTRACTOR ACCORDING TO ALL CODES. 2. WORK OF THE CONTRACTOR INCLUDES ALL WORK REQUIRED FOR A COMPLETELY INSTALLED FUNCTIONING, BALANCED AND TESTED HVAC SYSTEM. WORK OF THIS CONTRACT ALSO INCLUDES PROVIDING ALL HEATERS, RADIATORS, REGISTERS DUCTWORK AND ANY OTHER ACCESSORIES MADE NECESSARY BY THE WORK OF THIS CONTRACT INCLUDING ALL RELOCATIONS, MODIFICATIONS, OF EXTENSIONS TO THE EXISTING SYSTEM, AS WELL AS

. SUBCONTRACTOR SHALL CHECK AND VERIFY UNIT CAPACITIES AND DEMAND LOADS FOR BOTH NEW AND EXISTING UNITS. CONTRACTOR SHALL REVIEW WITH THE OWNER THE ENTIRE HVAC LAYOUT. INCLUDING ZONES AND THERMOSTAT LOCATIONS, AND THE LOCATIONS OF ALL RADIATORS, REGISTERS AND RETURNS. MARK LOCATIONS FOR REVIEW BY OWNER.

2021 INTERNATIONAL RESIDENTIAL CODE

THIS COMPREHENSIVE CODE COMPRISES ALL BUILDING, PLUMBING, MECHANICAL, FUEL GAS AND ELECTRICAL REQUIREMENTS FOR ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES UP TO THREE STORIES. FOR THE MOST CURRENT ADOPTIONS DETAILS GO TO INTERNATIONAL CODE ADOPTIONS THE IRC CONTAINS MANY IMPORTANT CHANGES SUCH AS: AN UPDATED SEISMIC MAP REFLECTS THE MOST CONSERVATIVE SEISMIC DESIGN CATEGORY (SDC) BASED ON ANY SOIL TYPE AND A NEW MAP REFLECTS LESS CONSERVATIVE SDCS WHEN SITE CLASS A, B OR D IS APPLICABLE. THE TOWNHOUSE SEPARATION PROVISIONS NOW INCLUDE OPTIONS FOR USING TWO SEPARATE FIRE-RESISTANT-RATED WALLS OR A COMMON WALL. AN EMERGENCY ESCAPE AND RESCUE OPENING IS NO LONGER REQUIRED IN BASEMENT SLEEPING ROOMS WHERE THE DWELLING HAS AN AUTOMATIC FIRE SPRINKLER SYSTEM AND THE BASEMENT HAS A SECOND MEANS OF EGRESS OR AN EMERGENCY ESCAPE OPENING. THE EXEMPTION FOR INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS HAS BEEN DELETED. NEW GIRDER/HEADER TABLES HAVE BEEN REVISED TO INCORPORATE THE USE OF #2 SOUTHERN PINE IN LIEU OF #1 SOUTHERN PINE. NEW TABLES ADDRESS ALTERNATIVE WOOD STUD HEIGHTS

ENERGY CALCULATIONS:

PER THE UNIFORM CONSTRUCTION CODE N.J.A.C. 5.23-2.15 (f) i.vi (ENERGY CALCULATIONS) APPLICANTS ARE REQUIRED TO DEMONSTRATE COMPLIANCE WITH THE ENERGY SUBCODE & 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IEC) AS PART OF THE PERMIT APPLICATION PROCESS FOR NEWLY CONSTRUCTED BUILDING OR ADDITION. THE PROJECT LOCATED IN CLIMATE ZONE 4 COMPLIES WITH THE PERSCRIPTIVE PACKAGE OPTION No. 4 BULLETIN No. 11-1, AS FOLLOWS: WOOD FRAME CONSTRUCTION 2018 IEC CODE CHAPTER 4

AND THE REQUIRED NUMBER OF FULL HEIGHT STUDS IN HIGH WIND AREAS.

</=0.32 49 / 38* CEILING (R) 38*

*402.2.1 ALLOWS R-38 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES.

SITE INFORMATION

APPLICABLE CODES INTERNATIONAL RESIDENTIAL CODE (N.J. EDITION) INTERNATIONAL MECHANICAL CODE NATIONAL STANDARD PLUMBING CODE NATIONAL ELECTRICAL CODE INTERNATIONAL FIRE CODE INTERNATIONAL ENERGY CONSERVATION CODE

ZONING DATA

	ZONE: CBD	BLOCK: 42	LOT: 1
ITEM	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA			6,408 S.F.
MINIMUM LOT FRONTAGE			105.00'
MINIMUM FRONT SETBACK ACCESSORY		TETA	2.001
MINIMUM SIDE SETBACK ACCESSORY	•	42 OK	5.00' / 8.00'
MINIMUM STREET SIDE SETBACK ACCESSORY	40	11/10	
MINIMUM REAR SETBACK ACCESSORY	LER CE	•	5.00' / 8.00'
MINIMUM REAR STREET SIDE SETBACK ACCESSORY	REFERE		
MAXIMUM BUILDING COVERAGE	E		2,681 S.F.
* MAXIMUM LOT COVERAGE			2,681 / 6,408 = .42%
MAXIMUM BUILDING HEIGHT ACCESSORY			46'-10"

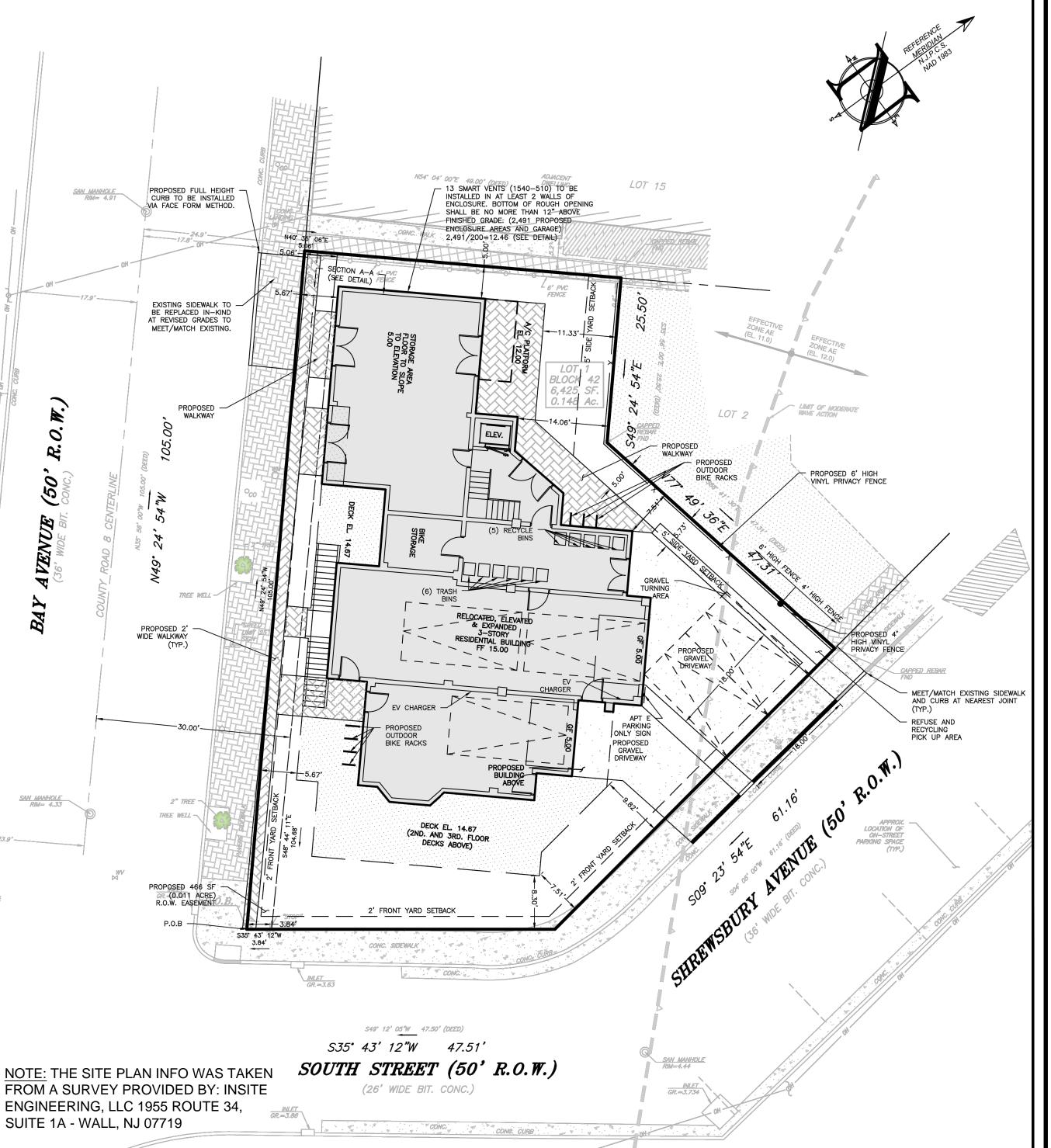
BUILDING STATISTICS CONSTRUCTION CLASS: 5A

USE GROUP CLASSIFICATION: R3 RESIDENTIAL FOUNDATION PLAN & DETAILS ARE DRAWN IN ACCORDANCE WITH ASSCE24 110 MPH EXPOSURE 'B' WIND ZONE

BUILDING DATA

HABITABLE AREA	EXISTING AREA	NEW AREA	TOTAL AREA
GROUND FLOOR	0	0	0
FIRST FLOOR	1,200 SF	1,268 SF	2,468 SF
SECOND FLOOR	900 SF	1,686 SF	2,586 SF
THIRD FLOOR	900 SF	1,534 SF	2,434 SF
TOTAL	3,000 SF	4,488 SF	7,488 SF
HABITABLE AREA	EXISTING VOLUME	NEW VOLUME	TOTAL VOLUME
GROUND FLOOR	0	22,419 CF	22,419 CF
FIRST FLOOR	9,600 CF	11,412 CF	21,012 CF
SECOND FLOOR	7,200 CF	13,488 CF	20,688 CF
THIRD FLOOR	7,200 CF	12,272 CF	19,472 CF
TOTAL	24,000 CF	59,591 CF	83,591 CF
			-

SITE PLAN



T-100 TITLE SHEET

A-100 GROUND FLOOR DEMOLITION AND CONSTRUCTION FLOOR PLAN

DRAWING LIST

A-101 FIRST AND SECOND FLOOR **DEMOLITION AND CONSTRUCTION** FLOOR PLANS

A-102 THIRD FLOOR CONSTRUCTION AND ROOF FRAMING PLANS

A-103 FRONT AND REAR EXTERIOR **ELEVATIONS**

A-104 LEFT AND RIGHT SIDE EXTERIOR **ELEVATIONS**

A-105 FASTENING SCHEDULE AND DETAILS

PROGRESS SET ISSUED: 4/11/2025

SALVATORE LA FERLITA, R.A.

Architectural Services

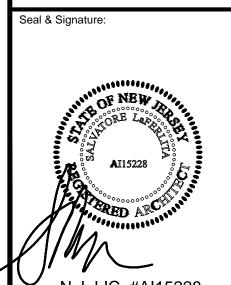


115 University Drive Lincroft, N.J. 07738 732-741-5105 Sallaferlita@aol.com

No. | DATE | REVISION No. | DATE | DESCRIPTION 60 BAY AVE HIGHLAND LLC **MULTI- FAMILY RESIDENCE**

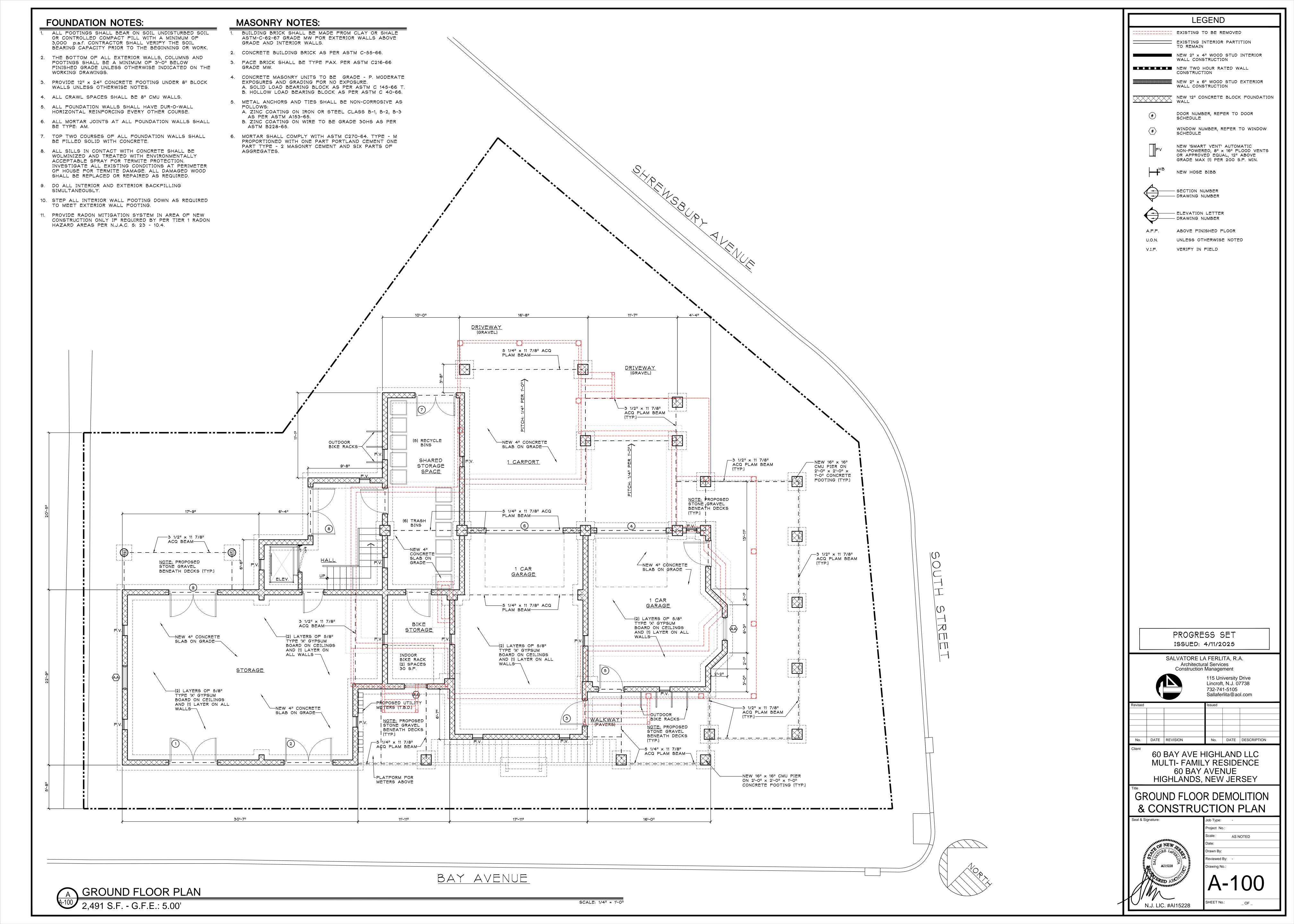
> **60 BAY AVENUE** HIGHLANDS, NEW JERSEY

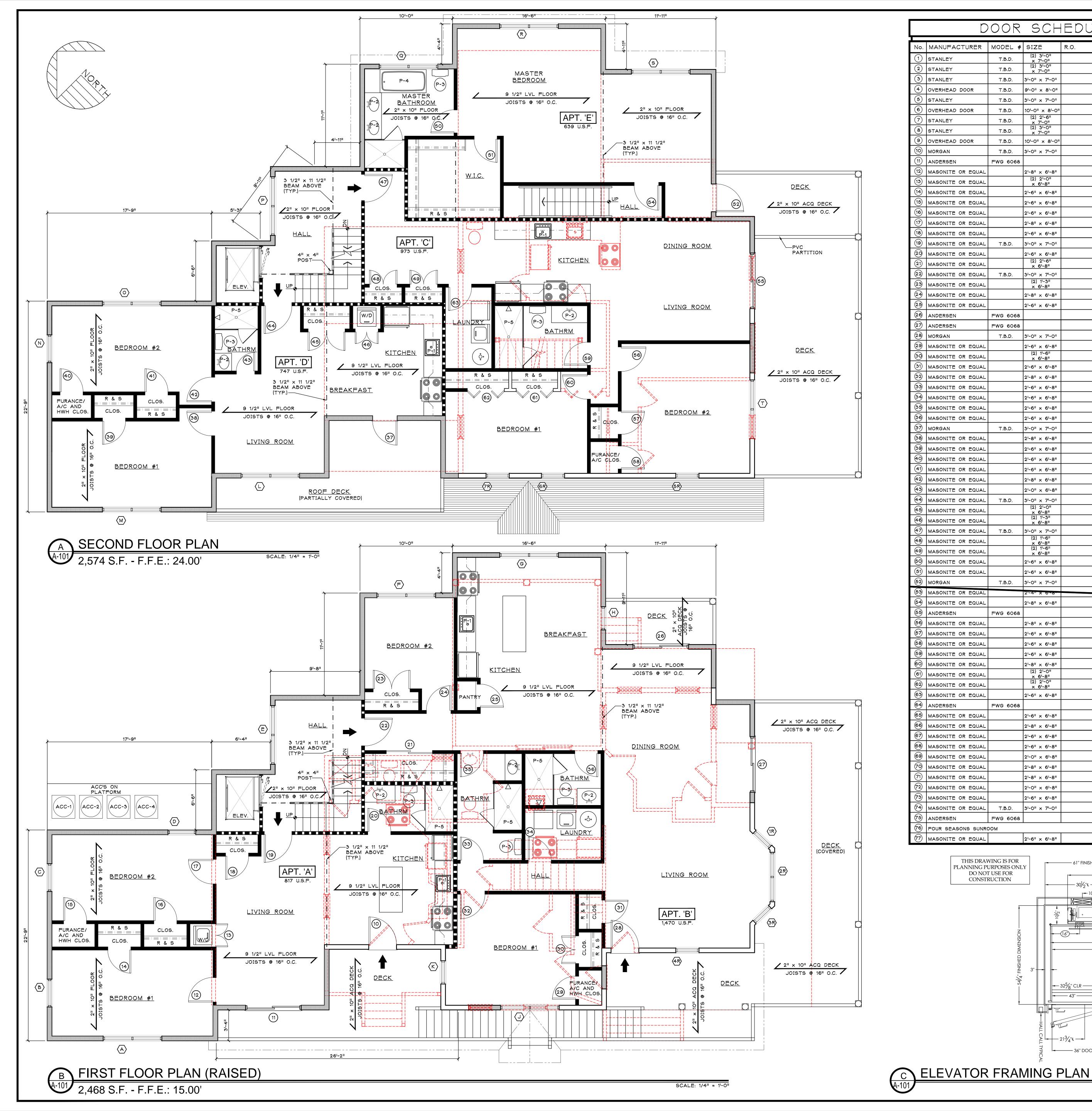
TITLE SHEET

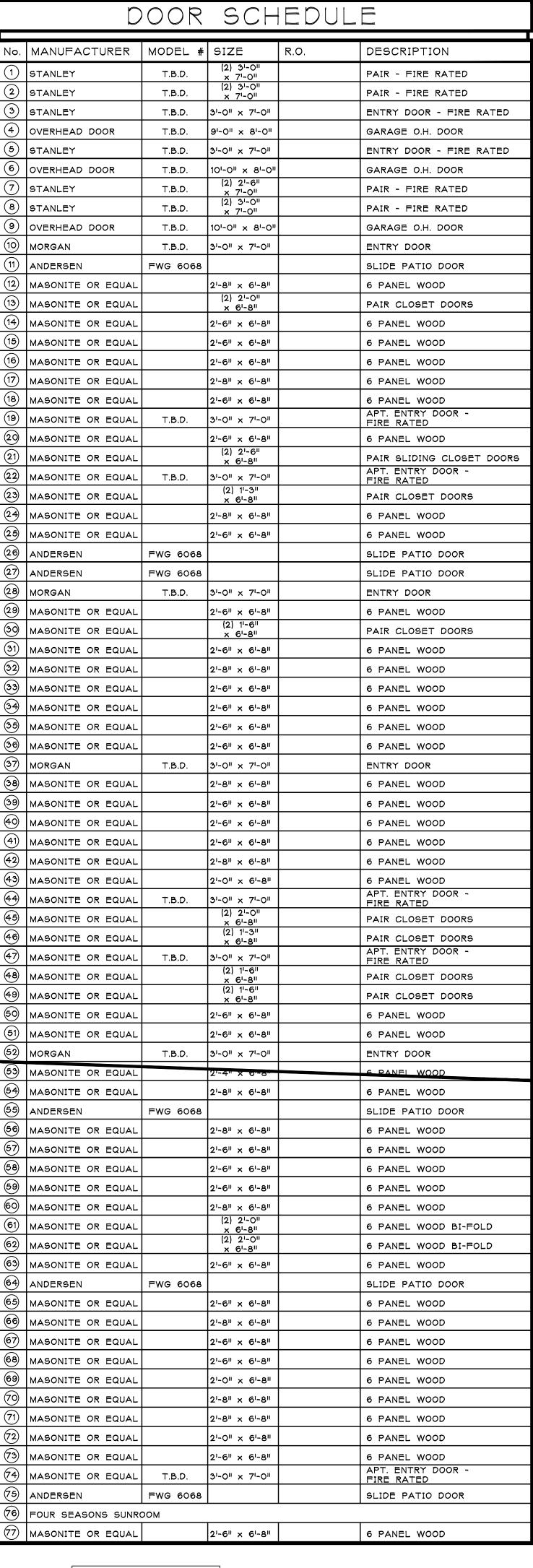


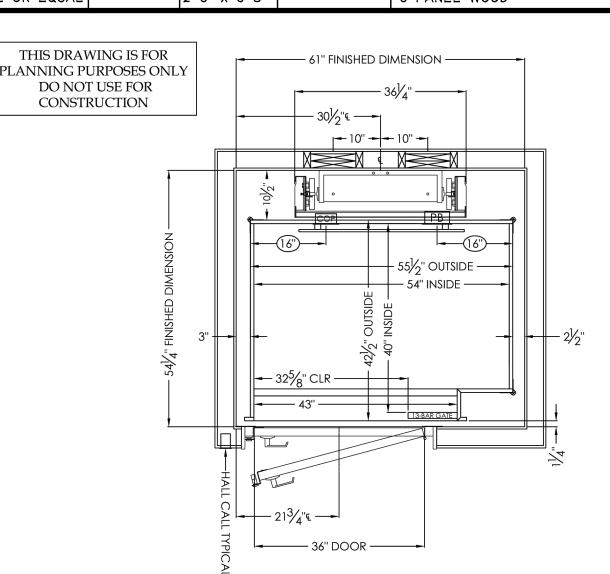
T-100

MULTI - FAMILY RESIDENCE PROPOSED NEW FOUR STORY DWELLING









	\bigvee	INDOW	SCHED	ULE
No.	MANUFACTURER	MODEL #	R.O. (W × H)	DESCRIPTION
$\langle AA \rangle$	ANDERSEN	AW 351		AWNING
$\overline{\langle A \rangle}$	ANDERSEN	TW 3046-2		♦ DH COMBO
(B)	ANDERSEN	TW 3046		DH
<u>(c)</u>	ANDERSEN	TW 3046		DH
$\langle D \rangle$	ANDERSEN	TW 3046		DH
E	ANDERSEN	TW 3046-2		рн сомво
F	ANDERSEN	TW 3046-2		♦ DH COMBO
G	ANDERSEN	TW 30210		рн сомво
$\overline{\mathbb{H}}$	ANDERSEN	TW 3046		DH
$\langle \Gamma \rangle$	ANDERSEN	TW 3046-2		♦ DH COMBO
⟨ĸ⟩	ANDERSEN	TW 3046		DH
(L)	ANDERSEN	TW 3046-2		рн сомво
$\langle M \rangle$	ANDERSEN	TW 3046-2		♦ DH COMBO
$\langle N \rangle$	ANDERSEN	TW 3046		DH
<u>(0)</u>	ANDERSEN	TW 3046-2		♦ DH COMBO
$\overline{\langle P \rangle}$	ANDERSEN	TW 3446-2		рн сомво
$\overline{\langle a \rangle}$	ANDERSEN	AW 31-2		AWNING COMBO - TEMPERED GLASS
$\langle R \rangle$	ANDERSEN	TW 3046-2		♦ DH COMBO
<u>(s)</u>	ANDERSEN	TW 3046-2		рн сомво
$\overline{\langle T \rangle}$	ANDERSEN	TW 3046-2		♦ DH COMBO
$\overline{\langle U \rangle}$	ANDERSEN	TW 3046-2		DH COMBO
$\overline{\langle v \rangle}$	ANDERSEN	TW 3046-2		♦ DH COMBO
$\overline{\langle w \rangle}$	ANDERSEN	TW 3046-2		♦ DH COMBO
$\langle x \rangle$	ANDERSEN	TW 3446-2		рн сомво
$\overline{\langle \Upsilon \rangle}$	ANDERSEN	TW 3046		рн сомво
$\overline{\langle z \rangle}$	ANDERSEN	TW 30210		рн сомво
1R	ANDERSEN	VERIFY IN FIELD		
2R	ANDERSEN	VERIFY IN FIELD		
<u></u> 3₽	ANDERSEN	VERIFY IN FIELD		
4R	ANDERSEN	VERIFY IN FIELD		
(5R)	ANDERSEN	VERIFY IN FIELD		
<u>S1</u>	VELUX	2246	25 1/2" × 49 1/2"	OPTIONAL SKYLIGHT
	1	1	i	†

BEDROOM WINDOWS MUST COMPLY WITH LOCAL CODES REGARDING FIRE EGRESS

◆ DENOTES BEDROOM EGRESS WINDOW. NOTE: ALL WINDOWS WITH A MINIMUM SILL HEIGHT FROM FINISH FLOOR OF (24" FOR 1-2 FAMILY) TO (36" FOR MULTI-FAMILY) SHALL COMPLY WITH ASTM F2090 (WOCD) PER NJIRC 2018 SECTION R312.2 WINDOW OPENING CONTROL DEVICES.

25 1/2" x 49 1/2" OPTIONAL SKYLIGHT

3) ALL NEW WINDOWS SHALL BE 'ANDERSEN' 400 SERIES WITH THE WINDOW SCREEN SYSTEM REQUIREMENTS.

VERIFY WINDOW TRIM DETAILS PRIOR TO INSTALLATION.

S2 VELUX

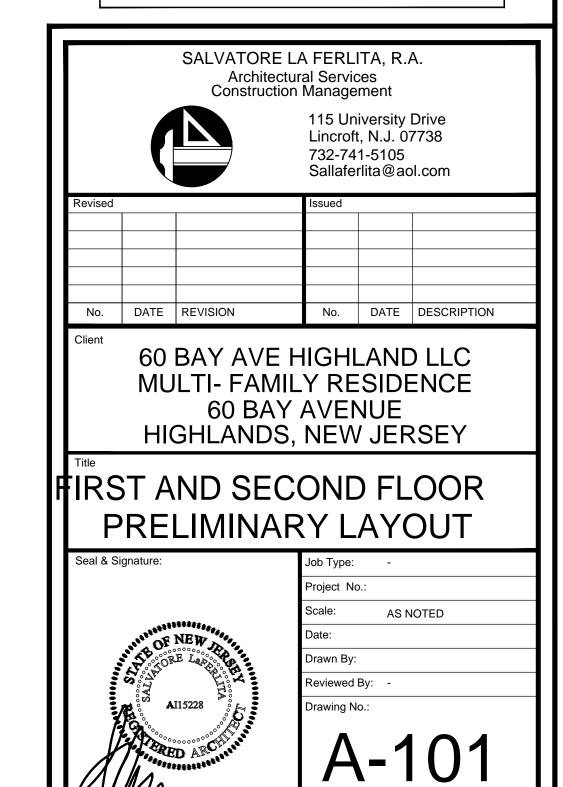
REMARKS

SCALE: N.T.S.

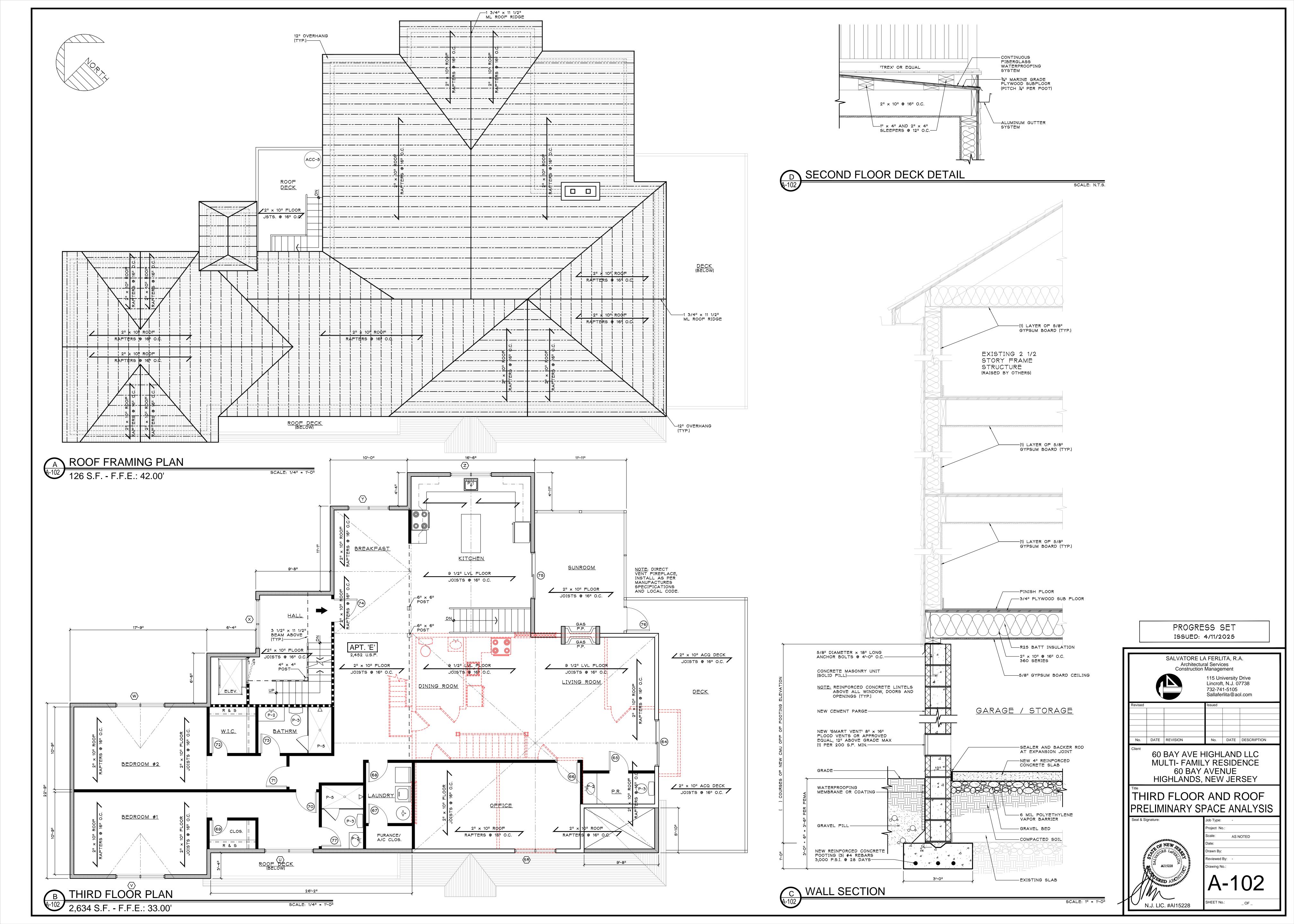
) G.C. SHALL SUBMIT A DOOR AND HARDWARE SCHEDULE FOR OWNERS REVIEW AND APPROVAL PRIOR TO ORDERING AND MATERIAL.

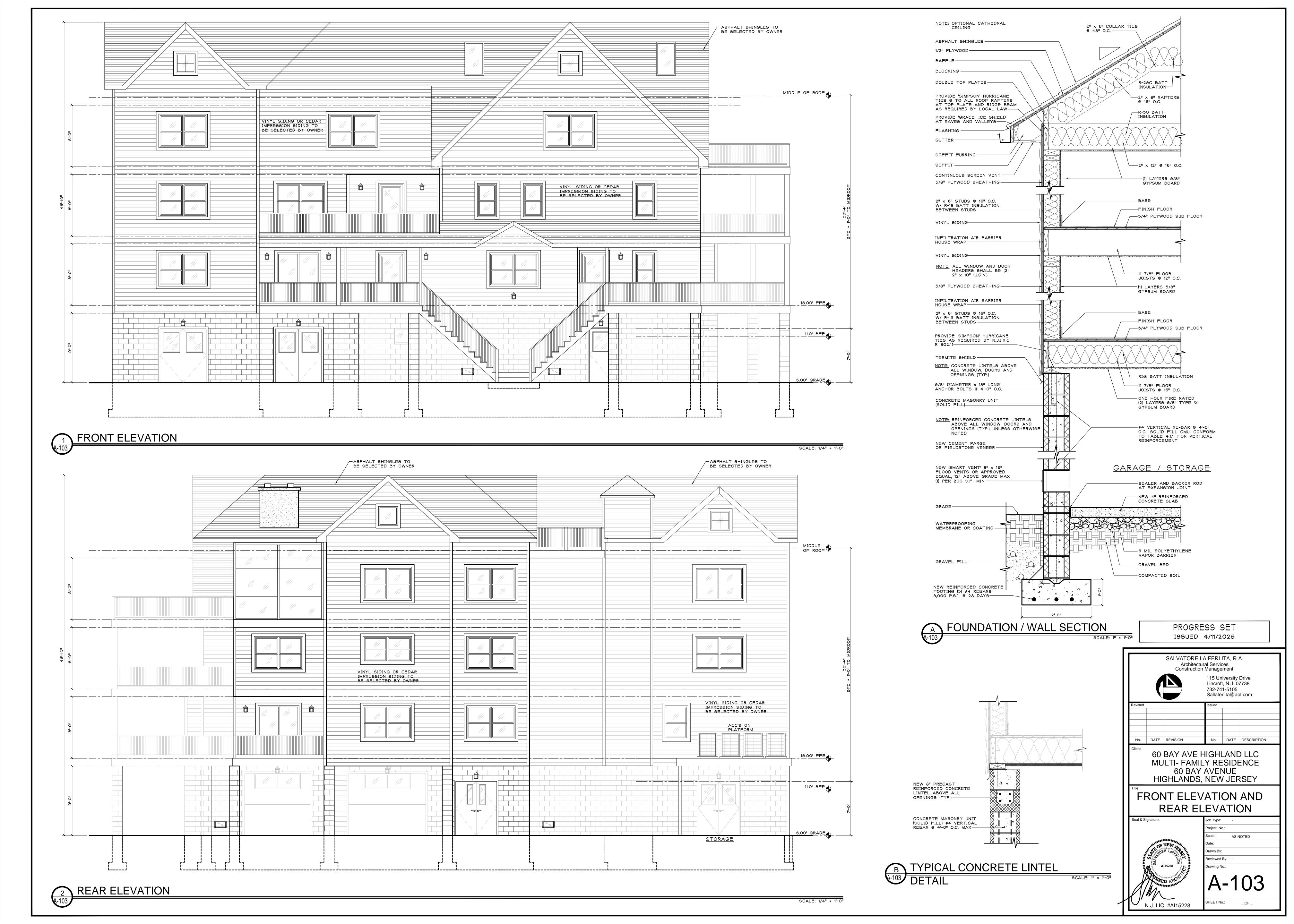
	PL	LUMBING	SCHE	EDULE
—	I			
NO.	DESCRIPTION	MANUFACTURER	MODEL #	REMARKS
P-1	KITCHEN SINK	T.B.D.		TO BE SELECTED BY OWNER
P-2	LAVATORY SINK	T.B.D.		TO BE SELECTED BY OWNER
P-3	WATER CLOSET	T.B.D.		TO BE SELECTED BY OWNER
P-4	TUB	T.B.D.		TO BE SELECTED BY OWNER
P-5	SHOWER	T.B.D.		TO BE SELECTED BY OWNER
P-6	JACUZZI	T.B.D.		TO BE SELECTED BY OWNER
P-7	BAR SINK	T.B.D.		TO BE SELECTED BY OWNER

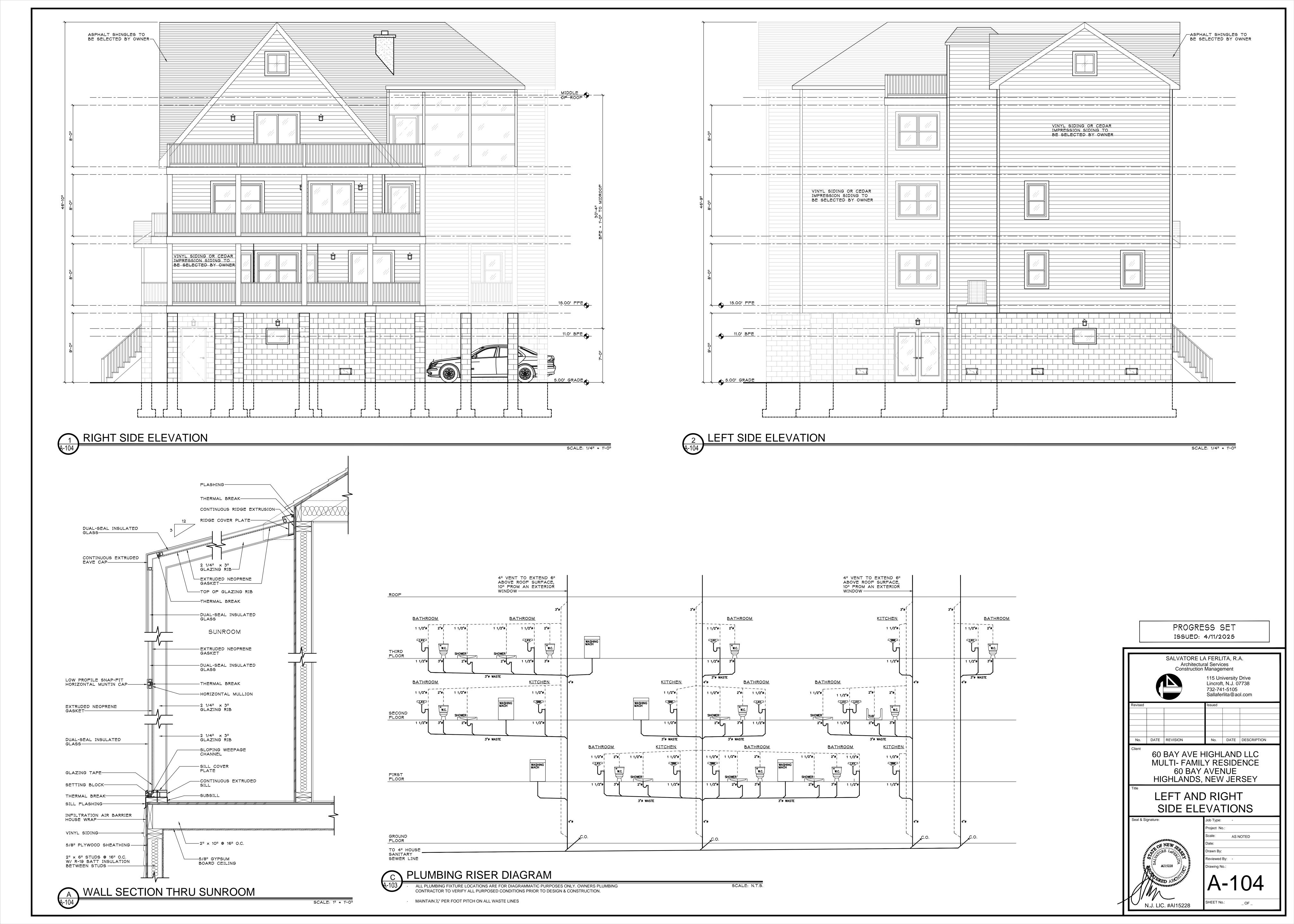
PROGRESS SET ISSUED: 4/11/2025



N.J. LIC. #AI15228









MONMOUTH COUNTY DEVELOPMENT REVIEW COMMITTEE

Development Application Action

FILE NUMBER: HSP10591

Application:	60 Bay Avenue Multifamily Residence	Municipality:	Highlands	1 = 5
Applicant:	60 Bay Avenue Highlands, LLC	Municipal Agency:	Planning Board	
Owner:	Applicant	Block:	42	
Design Professional:	InSite Engineering	Lot:	1	
Plan Date:	4/10/2025	Date Received:	5/30/2025	
Project Description:	Addition and off-street parking at existing multifamily residence			

Action Taken By:		Development Review Committee	Approval Status:	Conditional Approval	
	X	Planning Director	Action Date:	7/16/2025	

If conditionally approved, the conditions listed below or on the attached sheet shall be satisfactorily addressed before final approval is issued. This action does not release the applicant from obtaining a consistency determination pursuant to N.J.A.C. 7:8-1 et seq. (Monmouth County Areawide Water Quality Management Plan). Prior to commencing any work within the right-of-way of a county highway or before doing any work that affects a county bridge, the applicant is required to obtain a road opening permit from the Monmouth County Highway Department. A review of the location of subsurface utilities within county road rights-of-way will be conducted by the County Highway Department upon application for a road opening permit. Prior to planting or removal of trees or shrubs within or along the right-of-way of a county highway, the applicant is required to obtain a permit from the Monmouth County Shade Tree Commission. Note: County review is made only on items covered by statutory authority.

On 6/23/2025, a waiver was granted from §5.1-1 to accept an easement instead of a dedication, to avoid creating new bulk variances.

Conditions:

- 1. Address the comments in the memorandum prepared by Michael T. Brusca, dated June 23, 2025.
- 2. Receipt of an easement to widen the Bay Avenue (County Route 8) right-of-way to a distance of 30 feet from the centerline. The only format acceptable to the County of Monmouth is provided on the Division of Planning webpage at www.visitmonmouth.com. The draft deed shall be submitted to the Division of Planning for review and approval. Following approval, submit the executed deed directly to this office for filing with the Monmouth County Clerk.
- 3. Receipt of a performance guarantee in the amount of \$4,469.30, to assure the satisfactory installation of the required improvements within the Bay Avenue (County Route 8) right-of-way. Ten percent, or \$446.93, is required to be in the form of a bank/certified check. The remaining amount of \$4,022.37, may be in the form of a surety bond, letter of credit, or bank/certified check. Sample formats for bonds and letters of credit acceptable to the County of Monmouth may be found at the Division of Planning webpage at www.visitmonmouth.com. See attached calculation of the bond estimate.
- The inspection fee, in the amount of \$89.39, must be submitted prior to the inspection of installed improvements. All inspection requests and photos assuring the installation of the required improvements shall be submitted via email to DevelopmentReview@co.monmouth.nj.us.

Submit questions via email to DevelopmentReview@co.monmouth.nj.us.

Joseph Barris, P.P., A.I.C.P., C.F.M.

Director of Planning

cc:

InSite Engineering Donna M. Jennings, Esq. Mark R. Aikins, Esq.

J. Ettore; V. Cardone; T. Lombardi; V. Zabat; M. Brusca

Highway Department Construction Official HSP10591 CA2 07162025

The Board of County Commissioners of the County of Monmouth

DIVISION OF ENGINEERING

JOSEPH M. ETTORE, P.E.

County Engineer Email: engineer@co.monmouth.nj.us



Hall of Records Annex 1 East Main Street Freehold, New Jersey 07728 Telephone: (732) 431-7760 Fax: (732) 431-7765

July 15, 2025

MEMORANDUM

TO: Joe Barris, Director of Planning

FROM: Michael Brusca, Assistant Engineer

RE: HSP10591 - 60 Bay Ave. Highlands

County Route 8 - Bay Avenue

Block 42 - Lot 1

Borough of Highlands

The following items were received by this office in connection with the above-referenced application:

1. Preliminary & Final Major Site Plan for Proposed Multi-Family Residence, Block 42, Lot 1, 60 Bay Avenue, Borough of Highlands, Monmouth County, New Jersey, prepared by Douglas Clelland, P.E., of Insite, dated February 5, 2024, last revised April 1, 2025, received May 30, 2025.

Please find attached the Performance Bond Estimate for the above site plan application. Please incorporate this document into the permanent file. Please request that the applicant provide and itemized response to this memorandum. Additional recommendations or comments may be made upon submittal of additional or revised application documents.

cc: Dave Schmetterer, Asst. Planning Director Victor Furmanec, Supervising Planner Kyle DeGroot, Senior Planner Jeannine Smith, Planning Aide Joseph M. Ettore, County Engineer Thomas J. Lombardi, Supervising Engineer Vincent Cardone, Principal Engineer Victorino Zabat, Principal Engineer



MONMOUTH COUNTY DEPARTMENT OF PUBLIC WORKS AND ENGINEERING

BOROUGH OF HIGHLANDS

COUNTY ROUTE 8 (WEST MAIN STREET)

BY: MTB 7/15/2025

PROJECT: Proposed Multi Family Residence

DATE: CHECKED:

BLOCK 42, LOT 1

REVISED: 7/15/2025

HSP10591

PERFORMANCE BOND ESTIMATE

Item	Est'd				
No.	Qty	Units	Item	Unit Price	Amount
1	1	L.S.	MAINTENANCE AND PROTECTION OF TRAFFIC, INCL. POLICE OFFICERS	\$2,000.00	\$2,000.00
2	1		CLEARING SITE	\$1,000.00	\$1,000.00
3	1	C.Y.	DENSE-GRADED AGGREGATE BASE COURSE, 6" THICK (pave repair)	\$40.00	\$40.00
4	40	L.F.	POLYMERIZED JOINT ADHESIVE (pave repair)	\$3.00	\$120.00
5	1		TACK COAT (pave repair)	\$3.00	\$3.00
6	1		HOT MIX ASPHALT 9.5M64 SURFACE COURSE (pave repair)	\$90.00	\$90.00
7	2		HOT MIX ASPHALT, 19M64 BASE COURSE (pave repair)	\$90.00	\$180.00
8	18	L.F.	6" x 8" x 20" CONCRETE VERTICAL CURB	\$35.00	\$630,00

SUB-TOTAL ALL ITEMS \$4,063.00 10% CONTINGENCIES \$406.30 **TOTAL BOND AMOUNT** \$4,469.30 2% INSPECTION FEE \$89.39

NOTE 10% OF THE BOND AMOUNT, OR \$446.93 MUST BE IN THE FORM OF A BANK CHECK OR CERTIFIED CHECK. THE BALANCE OF \$4,022.37 MUST BE IN THE FORM OF A BOND, LETTER OF CREDIT, BANK CHECK OR CERTIFIED CHECK.

REF. Preliminary & Final Major Site Plan for Proposed Multi-Family Residence, Block 42, Lot 1, 60 Bay Avenue, Borough of Highlands, Monmouth County, New Jersey, prepared by Douglas Clelland, P.E., of Insite, dated February 5, 2024, last revised April 1, 2025, received May 30, 2025.