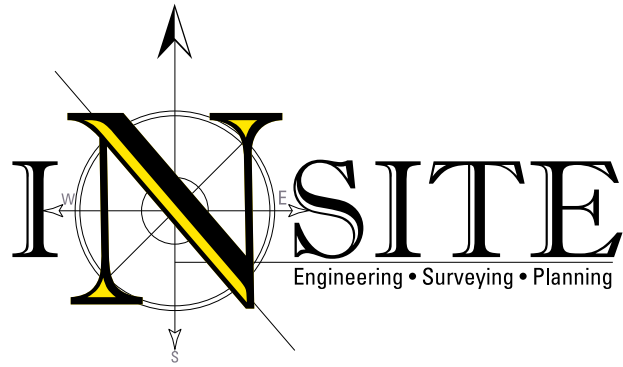


Land Use Board
Borough of Atlantic Highlands
Attn: Nancy Tran
Land Use Board Secretary
151 Navesink Avenue
Highlands, New Jersey 07732



July 25, 2025

Via Email

RE: **60 BAY AVE HIGHLANDS, LLC**
Response Letter (HLPB2024-02)
Block 42, Lot 1;
60 Bay Avenue
Borough of Highlands, Monmouth County, New Jersey

Ms. Tran:

We are submitting this letter on behalf of the Owner/Applicant in response to Roberts Engineering Group LLC's Review Letter dated May 21, 2025. Each comment and response are numbered in accordance with the aforementioned review memo. *Italicized text is taken from the review memo for your ease of reference;* non-italicized text represents our responses.

Review Letter, dated May 21, 2025

Section I. Comments – Driveway Access, Parking and Building Repositioned

1. *The proposed driveways along Bay Avenue have been removed from this application. The garage doors have been replaced with swing doors. Provide the overall opening dimension of the double doors and confirm no vehicle access is possible.*

The proposed 0.011 Ac right-of-way dedication or easement along the frontage of Bay Avenue remains for this application.

The Applicant is to obtain final approval for the right-of-way dedication or easement and removal of the existing and proposed driveway access to Bay Avenue from the Monmouth County Planning Board.

The doors will not be wide enough for vehicle access and are 6-feet wide. Conditional approval was received from the Monmouth County Planning Board.

2. *The Applicant's modified site improvements have increased the impervious coverage to 75.8%. The amended plans dated April 1, 2024, and the Resolution compliance plans dated February 20, 2025, consisted of 74.6% and 74.3%, respectively.*

The proposed impervious coverage is below the allowable 80%.

Informational.

3. *The building coverage of 52.7% had no change in comparison to the amended plans but was reduced from 54.5% from that of the Resolution compliance plans*

InSite Engineering, LLC

1955 Route 34, Suite 1A • Wall, NJ 07719
732-531-7100 (ph) • 732-531-7344 (fx) • InSite@InSiteEng.net • www.InSiteEng.net
Licensed in NJ, PA, DE, NY, CT, NC, DC, & CO

The proposed building coverage is below the allowable 80%.

Informational.

4. *The approved plan had the relocation of the existing/proposed dwelling to be 5.00 ft from the Bay Avenue right-of-way.*

The dwelling has been repositioned to 5.67 ft from the right-of-way. Consequently, to the additional offset of 0.67 ft, the driveways along Shrewsbury Avenue may no longer meet the minimum 18 ft length for residential driveways (garage face to the right-of-way). Vehicles are not permitted to overhang the sidewalk.

Please confirm whether the required minimum 18 ft. length has been maintained for each driveway.

The repositioning of the dwelling was necessitated by the County to avoid any structures, including footings, from encroaching in the requested dedication. The parking areas shown on the plan are 9-feet by 18-feet. Additional dimensions were added for clarity.

5. *Eleven parking spaces are required per RSIS bedroom count. The EV charger counts as one space, leaving 10 required parking spaces.*

Please indicate on the plan the individual number of proposed parking spaces dedicated to each unit, based on the bedrooms, for each garage and driveway. Indicate the existing off-street parking as noted in the parking calculation table.

Please dimension (length and width) the driveways.

Testimony provided to clarify which unit each parking space is for. The three tandem spaces (two in garage one in driveway behind) are for Apartment 'E'. The southern most car port is dedicated to another unit and the northern most parking space is dedicated to another unit. Additional dimensions were added to the driveway.

6. *It appears that sections of the existing sidewalk, apron and curbing are to be replaced. Please clearly indicate the areas and types of replacement.*

The plans were revised accordingly.

7. *Provide the apron flares on the plans.*

The plans were revised accordingly.

8. *The Depressed Curb, Driveway Apron & Sidewalk construction detail indicates a 6 ft. wide sidewalk and apron. The plan appears to have a 5 ft. wide sidewalk. Please update the detail accordingly.*

Dimension the concrete sidewalk along Shrewsbury Avenue on the plan.

InSite Engineering, LLC

Provide an apron section detail.

Confirm that the proposed rolled concrete curb and gutter is replacing the same type of existing curb and gutter on Shrewsbury. Provide note.

The plans were revised accordingly.

9. *One of the parking spaces shown on the east side of Shrewsbury Avenue is not a parking space but a yellow striped no parking area designating driveway access to 18 Shrewsbury Avenue. Please indicate on the plan.*

The existing yellow-striped no parking area along the west side of Shrewsbury Avenue appears to be in the wrong location and may impact turning maneuvers. Please correct

Indicate the no parking area (painted curb) along the west side of Shrewsbury Avenue.

Provide parking and no parking spaces along both sides of Bay Avenue. Show the locations of the proposed parking to be used for this site.

The plans were revised accordingly. Exhibits and testimony were presented at the hearing to describe the areas of parking and no parking.

10. *The Applicant has provided six (6) circulation plans indicating the existing parking spaces along Shrewsbury Avenue. The circulation plans demonstrate vehicles maneuvering Shrewsbury Avenue by accessing the driveways and garages. These maneuvers are of great concern and appear so difficult as to be questionable.*

We question the size and location of the driveways. The turning templates provided for maneuvers in and out of the garages require turns, starts and stops. Some of the turning templates indicate that vehicles must drive into opposing traffic to be able to enter the driveways and garages.

In addition, garages on Shrewsbury Avenue appear to show that cars cannot enter and exit without sideswiping the door opening. When a car is parked in the space near the rear property line, the vehicle entering and exiting the garage on to Shrewsbury Avenue seems to sideswipe the parked car. Please explain.

The proposed dwelling has a small projection into the driveway area. The vehicle entering the garage does not appear to sufficiently clear the projection. Additionally, the sample 19 ft long vehicle in the turning maneuvers and parked in the driveway will not clear the sidewalk.

The Applicant is to provide specific testimony and presentation to clearly show how all driveways will be accessed from Shrewsbury Avenue, and how all garages will be entered, without driving into opposing traffic. The applicant must provide details of how these driveways will allow for proper and safe operation for entering and exiting.

The turning movement plans were revised to show pulling in and pulling out of each of the parking areas, while considering the location of parked vehicles. The centerline

of Shrewsbury Avenue was added to the plan and no lane incursions into opposing traffic are proposed.

Section II. Comments – Other

1. *The building heights are different between the site plan and the architectural plans. Please confirm and update the schematic, zoning compliance chart and the architectural plans accordingly.*

The building height was revised accordingly.

2. *The proposed building has been elevated from the approved FF 14.00 (shown on the plans for the meeting) to FF 15.00.*

Please provide testimony for the purpose of elevating the building an additional foot.

Testimony was provided accordingly.

3. *The building height needs to be updated based on the raised FF elevation.*

The building height is taken from the BFE + 1 ft. to the middle of the roof.

If the building was raised one foot, the middle of the roof's elevation would also be an additional one foot in elevation.

Please confirm and update the zoning compliance chart accordingly.

The building height was revised accordingly.

4. *A proposed sanitary sewer lateral extends from the rear of the proposed dwelling and connects to an existing sanitary sewer main in Shrewsbury Avenue.*

More information is needed. Provide the location of the existing sanitary sewer main including up and downstream manholes, pipe material, size, rim elevations and inverts. Provide proposed invert connection.

Indicate all utility crossings (storm, sanitary and water) with elevations on the plan. Maintain regulated clearances.

The sanitary sewer main is located approximately within the center of Shrewsbury Avenue. The sanitary lateral appears to not extend to the approximate location. Please confirm. Update the proposed lateral information. Update area of restoration.

The cleanouts are located within the proposed gravel driveway and subjected to vehicle load. The protection cap shall be Campbell pattern #4153 or approved equal.

The plans were revised based upon approximate locations of the existing mains within Shrewsbury Avenue, based upon visible evidence. A note was added to the plan that the contractor shall confirm the existing proposed locations with test pits.

InSite Engineering, LLC

5. *Installation of proposed utilities will require trenching within South Street and Shrewsbury Avenue. Indicate pavement milling and paving to be the full width of South Street and Shrewsbury Avenue and 25-ft beyond the outer limits of the trenches longitudinally. Restripe the roadway in the area disturbed and repaved. The Applicant is responsible for the cost of pavement milling and paving as well as restriping.*

The plans were revised accordingly.

6. *Coordinate the water service size between the plan and the detail.*

The plans were revised accordingly.

7. *The lighting plan needs to be updated based on the additional 1 foot in FF elevation which may affect the mounting height of the proposed lighting units placed along the walls of the building relative to the ground.*

The Applicant is required to maintain:

- a. *§ 21-65(11)(E) Minimum Lighting Level. 0.3 fc and average of 0.5 fc*
- b. *§ 21-65(11)(F) Maximum Lighting Level at property line. 0.3 fc*
- c. *§ 21-65(11)(D) Maximum Mounting Height at 15 ft.*

The lighting plan was revised accordingly.

8. *The proposed roof leader system will be connected to an existing inlet on Shrewsbury Ave and no sidewalk is shown to be disturbed and replaced.*

Please provide a plan note on the Grading, Drainage & Utility Plan as to how the system will be connected and that the sidewalk shall not be disturbed. Please confirm that a 6-inch header pipe will be adequately sized for all gutters to connect to.

The plans were revised to indicate replacement of the sidewalk in this location. Capacity calculations were added to the plan.

9. *Provide the material type and size of the sanitary lateral on the “Standard Lateral Connection with Cleanout...” detail.*

On same detail, there is a reference to a detail entitled, “Bedding and Initial Backfill Detail for PVC Sewer Pipe”, however it is missing on the sheet. There is a Pipe Bedding Detail. Please update the detail.

The plans were revised accordingly.

10. *The Applicant shall comply with any applicable affordable housing requirements.*

According to XI.E General Administrative Requirements Affordable Housing Provisions, the mandatory set-aside requirements in Section 26-2 of the Borough of Highlands Affordable Housing Ordinance apply to any multifamily residential development of five (5)

dwelling units or more, including the residential portion of a mixed-use project The Applicant has agreed in a previous submission.

Testimony was previously provided.

Thank you for your continued courtesies regarding this application. If you have any questions or require further information, please feel free to contact this office anytime.

Sincerely,
InSite Engineering, LLC



Douglas D. Clelland, PE

23-2237-01
DDC/htm

Cc: David Cahill
Luke Policastro
Donna Jennings
Salvatore La Ferlita

(via electronic mail w/o attachments)

PRELIMINARY & FINAL MAJOR SITE PLAN FOR PROPOSED MULTI-FAMILY RESIDENCE

BLOCK 42, LOT 1 TAX MAP SHEET #11 60 BAY AVENUE

BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY

PROPERTY OWNERS WITHIN 200' (2/21/2024)

Block/Lot	Current Owner	Mailing Address		
1319-41-8	75 BAY AVENUE SWANTON LLC	75 BAY AVENUE	HIGHLANDS NJ	07732
1319-41-9	DOUITY DOUGLAS & BAYARD	88 BAY AVENUE	HIGHLANDS NJ	07732
1319-41-10	AMERICAN LEGION	BAY AVE	HIGHLANDS NJ	07732
1319-42-2	SHARKEY MARY T	68 BAY AVENUE	HIGHLANDS NJ	07732
1319-42-13	WEST CARL & BUSICHIO KARIN	78 BAY AVENUE	HIGHLANDS NJ	07732
1319-42-14	TRI STATE REALTY LLC	484 SICHAMORE AVE STE 100	SHREWSBURY NJ	07702
1319-39-1.01	BOROUGH OF HIGHLANDS	171 BAY AVE	HIGHLANDS NJ	07732
1319-39-1.02	BOROUGH OF HIGHLANDS	171 BAY AVE	HIGHLANDS NJ	07732
1319-42-3	PISANO BEVERLY	11 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-41-4	61 BAY AVENUE LLC	28 ATLANTIC AVENUE	OCEAN GROVE NJ	07756
1319-41-7	KEMPSON MATTHEW	30 SECOND STREET	HIGHLANDS NJ	07732
1319-42-9	KURDES LAWRENCE J & MARY-ALISON	8 BAY ST	HIGHLANDS NJ	07732
1319-41-2.01	BASKET EUGENE J	57 BAY AVENUE	HIGHLANDS NJ	07732
1319-43-3	REMIAS ROSE MARIE	22 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-42-12.01	RICCIARDONE BRIAN	163 FANNING STREET	STATEN ISLAND NY	10314
1319-42-15	SHARKEY HUGH & MARY	68 BAY AVENUE	HIGHLANDS NJ	07732
1319-43-1	LAURITANO VICTOR	18 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-43-2	FRANSON LOREEN	20 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-41-3	KU WALTER & EVA L	59 BAY AVENUE	HIGHLANDS NJ	07732
1319-42-4	HARTSGROVE TROY & JOY ANNE	13 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-42-5	STENSETH MARK D & ALECIA E	15 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-42-6	MAZZELLA KIM M	17 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-42-7	MENZA DAN & KAREN	19 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-41-5	SMITH MURRAY T	226 PARK STREET	MONTCLAIR NJ	07040
1319-38-01-17.01	MONAHAN WILLIAM	55 A BAY AVE	HIGHLANDS NJ	07732
1319-38-01-17.02	DAVIS COREY MOLZON & JOHN A	55 BAY AVENUE	HIGHLANDS NJ	07732
1319-38-01-17.03	KEETON RANDALL E & DALE ANN	53 BAY AVENUE	HIGHLANDS NJ	07732
1319-38-01-17.04	FEIGH ALICIA M	51 BAY AVENUE	HIGHLANDS NJ	07732
1319-38-01-17.05	ZHENG WU & QI SUM	27 SOUTH AVENUE	ATLANTIC HIGHLANDS NJ	07716
1319-41-6	KOEPEL RICHARD J & JOSEPH W	P.O. BOX 810	NAVESINK NJ	07752

UTILITY CONTACTS

* If you are located within 200 feet of a State Highway, you **MUST** notify the NJ Department of Transportation:

NJ Dept. of Transportation
1035 Hwy Avenue
PO Box 600
Trenton, NJ 08625

* If you are within 200 feet of a County owned road, you **MUST** notify the Monmouth County Planning Board:

Monmouth County Planning Board
Hall of Records Annex 2nd Floor
One East Main St.
PO Box 1255
Freehold, NJ 07728

JCP&L
300 Madison Avenue
PO Box 1911
Morristown, NJ 07960

NEW JERSEY AMERICAN WATER COMPANY
Attn: Construction Department
661 Shrewsbury Ave
Shrewsbury, NJ 07702

COMCAST COMMUNICATIONS OF MONMOUTH COUNTY
Ron Bertrand, Construction Foreman
403 South St.
Eatontown, NJ 07724

VERIZON COMMUNICATIONS
One Verizon Way
Basking Ridge, NJ 07920

TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY
Raymond J. Niersteth, P.E., Executive Director
PO Box 205, 100 Beverly Way
Belford, NJ 07718

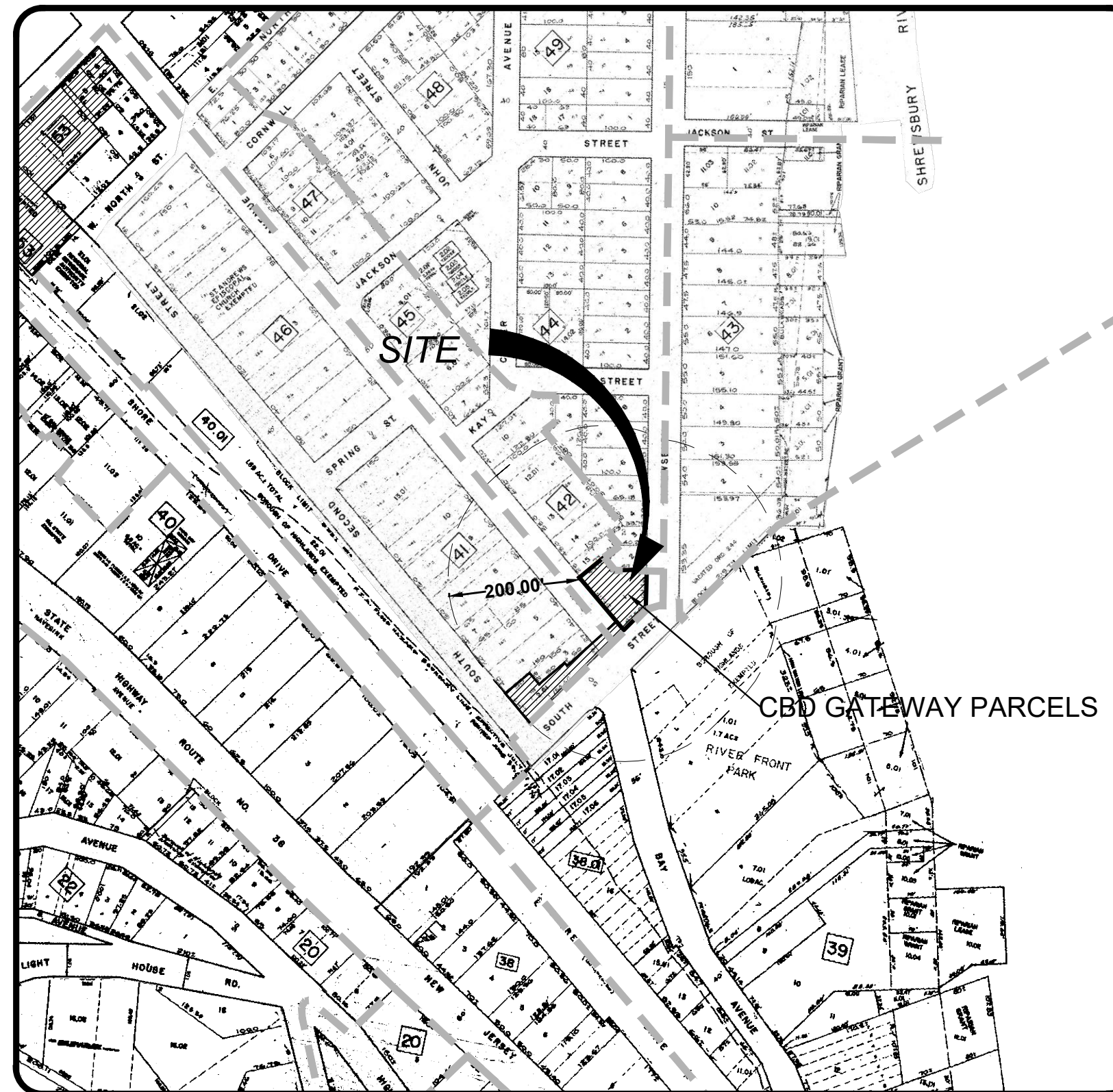
NEW JERSEY NATURAL GAS COMPANY
Attn: Joan Purcaro
PO Box 1464
1415 Wyckoff Road
Wall, NJ 07719

MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY
Attn: Executive Director
200 Harbor Way
PO Box 184
Belford, NJ 07718

LAND USE BOARD APPROVAL

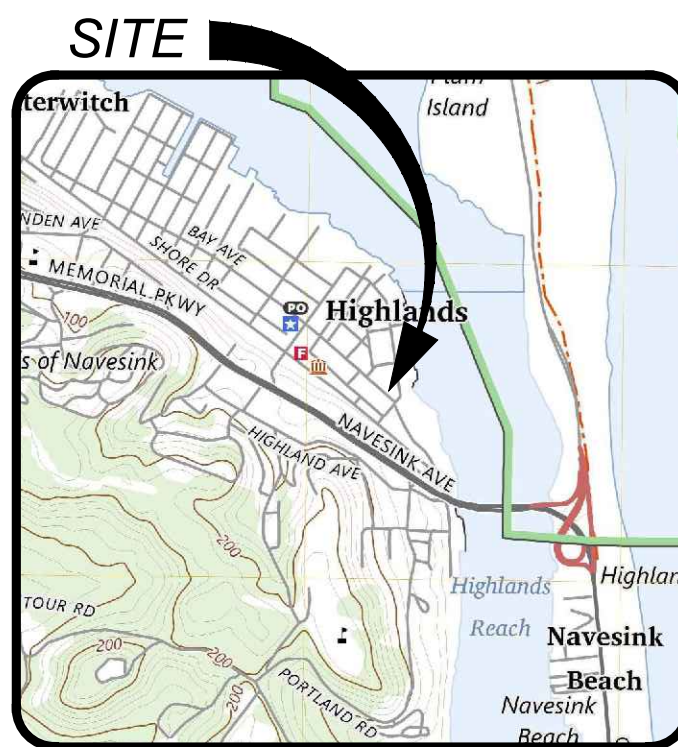
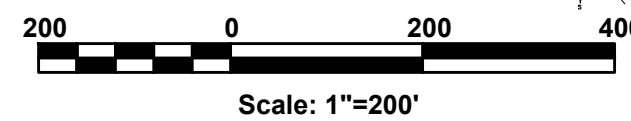
APPROVED BY THE BOROUGH OF HIGHLANDS LAND USE BOARD

BOARD CHAIRPERSON	DATE
BOARD SECRETARY	DATE
BOARD ENGINEER	DATE

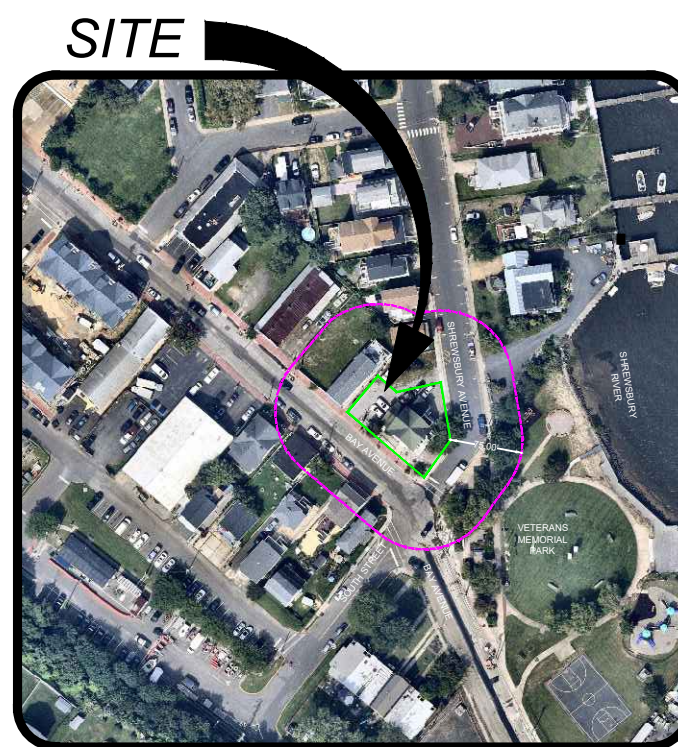
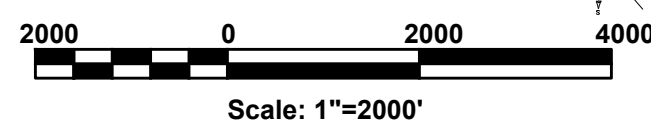


ZONE	REDEVELOPMENT OVERLAY 2 ZONE (C-RO-2)
CBD	REDEVELOPMENT OVERLAY 3 ZONE (C-RO-3)
PB	PROFESSIONAL BUSINESS
R-1.01	SINGLE FAMILY RESIDENTIAL
R-2.02	SINGLE FAMILY RESIDENTIAL
R-4	ONE-FAMILY RESIDENTIAL
WC-1	WATERFRONT COMMERCIAL
WT-R	WATERFRONT TRANSITION RESIDENTIAL

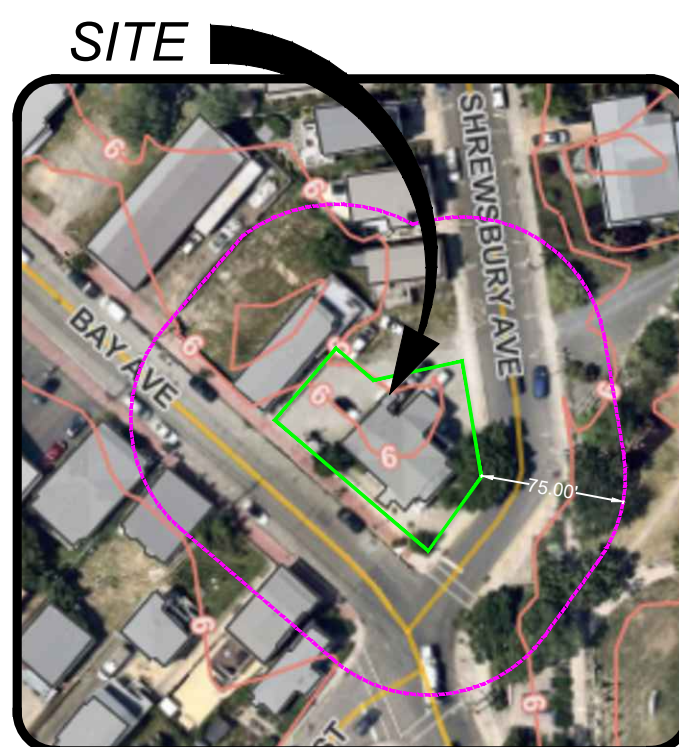
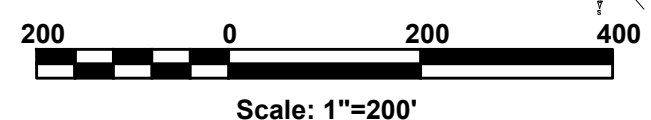
TAX MAP



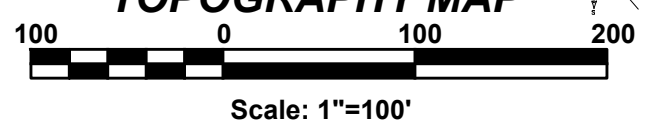
USGS MAP



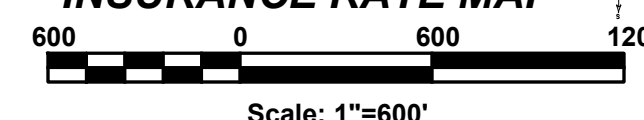
LOCATION MAP



MONMOUTH COUNTY TOPOGRAPHY MAP



EFFECTIVE FLOOD INSURANCE RATE MAP



SHEET #	SHEET TITLE	INITIAL RELEASE	REV. DATE
C100	TITLE SHEET	02/05/24	07/25/25
C101	PLAN NOTES	02/05/24	07/25/25
C200	EXISTING CONDITIONS & SITE PREPARATION PLAN	02/05/24	07/25/25
C300	SITE LAYOUT PLAN	02/05/24	07/25/25
C400	GRADING, DRAINAGE & UTILITY PLAN	02/05/24	07/25/25
C600	LANDSCAPE PLAN	02/05/24	07/25/25
C601	LIGHTING PLAN - EXISTING CONDITIONS R.O.W. ONLY	02/05/24	07/25/25
C602	LIGHTING PLAN - PROPOSED CONDITIONS	02/05/24	07/25/25
C603	LIGHTING DETAILS	11/20/24	07/25/25
C700	CONSTRUCTION DETAILS	02/05/24	07/25/25
C701	CONSTRUCTION DETAILS	06/05/24	07/25/25
C800	SOIL EROSION & SEDIMENT CONTROL PLAN	02/05/24	07/25/25
C801	SEDC NOTES	02/05/24	07/25/25
C802	SEDC DETAILS	02/05/24	07/25/25
C900	TURNING MOVEMENT PLAN	11/20/24	07/25/25
C901	TURNING MOVEMENT PLAN	11/20/24	07/25/25
C902	TURNING MOVEMENT PLAN	11/20/24	07/25/25

PROJECT INFORMATION

PROJECT NAME:

PROPOSED
MULTI -
FAMILY
RESIDENCE

PROJECT LOCATION:

BLOCK 42, LOT 1
60 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER:

60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT:

60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

ATTORNEY:

DONNA M. JENNINGS ESQ.
WILENTZ, GOLDMAN & SPITZER, PA
90 WOODBRIDGE CENTER DRIVE, SUITE 900
WOODBRIDGE, NJ 07095

ARCHITECT:

SALVATORE LA FERLITA, R.A.
115 UNIVERSITY DRIVE
LINCROFT, NJ 07738

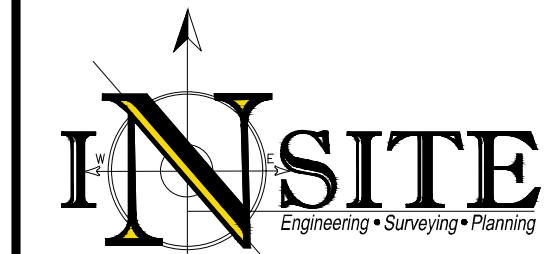
SURVEYOR:

INSITE SURVEYING, LLC
1955 ROUTE 34, SUITE 1A
WALL, NJ 07719



CALL BEFORE YOU DIG!
NJ ONE CALL - 800-272-1000
(Call 2 days prior to excavation)

ELECTRIC	RED
GAS, OIL	YELLOW
COMMUNICATION, TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKERS	MAGENTA
PROPOSED EXCAVATION	WHITE



InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (PH) 732-531-7344 (FAX)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA,
DELAWARE, CONNECTICUT, NORTH CAROLINA,
COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE
AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL
AND MAY HAVE BEEN ALTERED

Douglas D. Clelland
DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24GE05331000

REVISIONS

Rev.#	Date	Comment
1	02/05/24	PER BOARD COMMENTS
2	02/05/24	PER COUNTY
3	02/05/24	PER COUNTY
4	02/05/24	PER COUNTY REVIEW LETTER
5	02/05/24	FOR RESOLUTION COMPLIANCE
6	12/05/24	FOR FSCD
7	11/20/24	FOR RESOLUTION COMPLIANCE
8	06/05/24	PER BOARD COMMENTS
9	04/09/24	PER ATTORNEY
10	03/28/24	PER ARCHITECT
11	02/05/24	INITIAL RELEASE

SCALE: AS SHOWN

DATE: 02/05/24

JOB #: 23-2237-01

CAD ID: 23-2237-01/3

NOT FOR CONSTRUCTION

FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:

PRELIMINARY & FINAL

MAJOR SITE PLAN

SHEET TITLE:

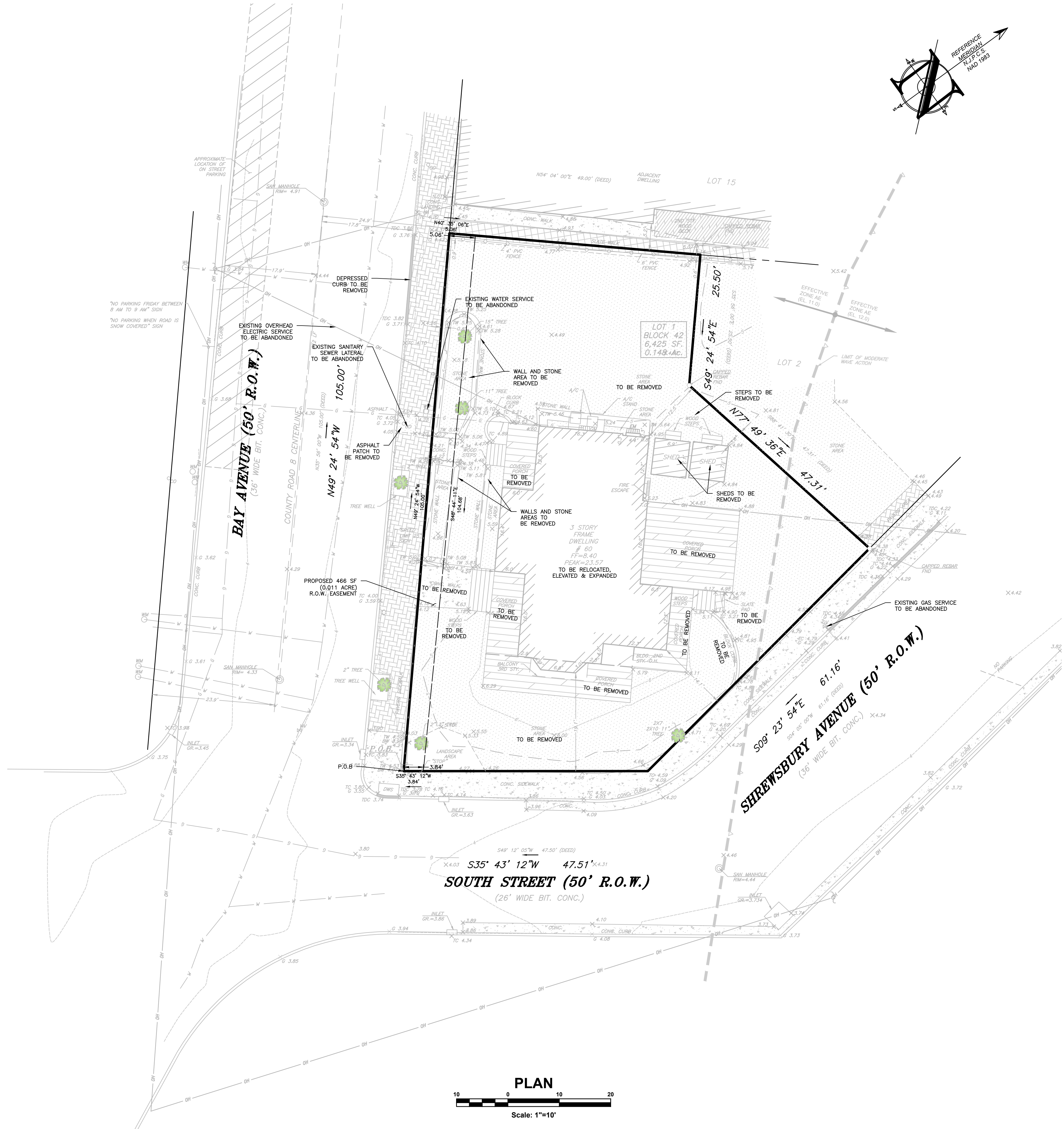
TITLE SHEET

SHEET NO.

C100

SEE SHEET C101 FOR PLAN NOTES

LEGEND	
EXISTING	PROPOSED



PROJECT INFORMATION

PROJECT NAME:

**PROPOSED
MULTI -
FAMILY
RESIDENCE**

PROJECT LOCATION:

BLOCK 42, LOT 1
60 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER:

60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT:

60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

ATTORNEY:

DONNA M. JENNINGS ESQ.
WILENTZ, GOLDMAN & SPITZER, PA
90 WOODBRIDGE CENTER DRIVE, SUITE 900
WOODBRIIDGE, NJ 07095

ARCHITECT:

SALVATORE LA FERLITA, R.A.
115 UNIVERSITY DRIVE
LINCOLN, NJ 07738

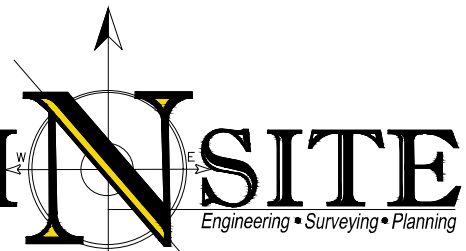
SURVEYOR:

INSITE SURVEYING, LLC
1955 ROUTE 37, SUITE 1A
WALL, NJ 07719



CALL BEFORE YOU DIG!
NJ ONE CALL... 800-272-1000
(NJ One Call is a service)

ELECTRIC	RED
GAS	YELLOW
COMMUNICATION	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKERS	MAGENTA
PROPOSED EXCAVATION	WHITE



InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA
DELAWARE, CONNECTICUT, NORTH CAROLINA
COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE
AND PAID SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL
AND MAY HAVE BEEN ALTERED

Douglas D. Clelland
DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24605331000

REVISIONS

REV.#	DATE	COMMENT
12	07/25/25	PER BOARD COMMENTS
11	04/10/25	PER COUNTY
10	04/01/25	PER COUNTY
9	02/20/25	PER COUNTY
8	01/31/25	PER COUNTY REVIEW LETTER
7	01/01/25	FOR RESOLUTION COMPLIANCE
6	12/05/24	FOR PS&D
5	11/01/24	FOR RESOLUTION COMPLIANCE
4	06/05/24	PER BOROUGH COMMENTS
3	04/08/24	PER ATTORNEY
2	03/28/24	PER ARCHITECT
1	03/12/24	PER ARCHITECT
0	02/05/24	INITIAL RELEASE

SCALE: 1"=10'	DESIGNED BY: DDC
DATE: 02/05/24	DRAWN BY: AMC
JOB #: 23-2237-01	CHECKED BY: DDC
CAD ID: 23-2237-01r3	

☒ NOT FOR CONSTRUCTION

APPROVED BY:
☐ FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:
**PRELIMINARY & FINAL
MAJOR SITE PLAN**

SHEET TITLE:
**EXISTING CONDITIONS &
SITE PREPARATION PLAN**

SHEET NO.:
C200



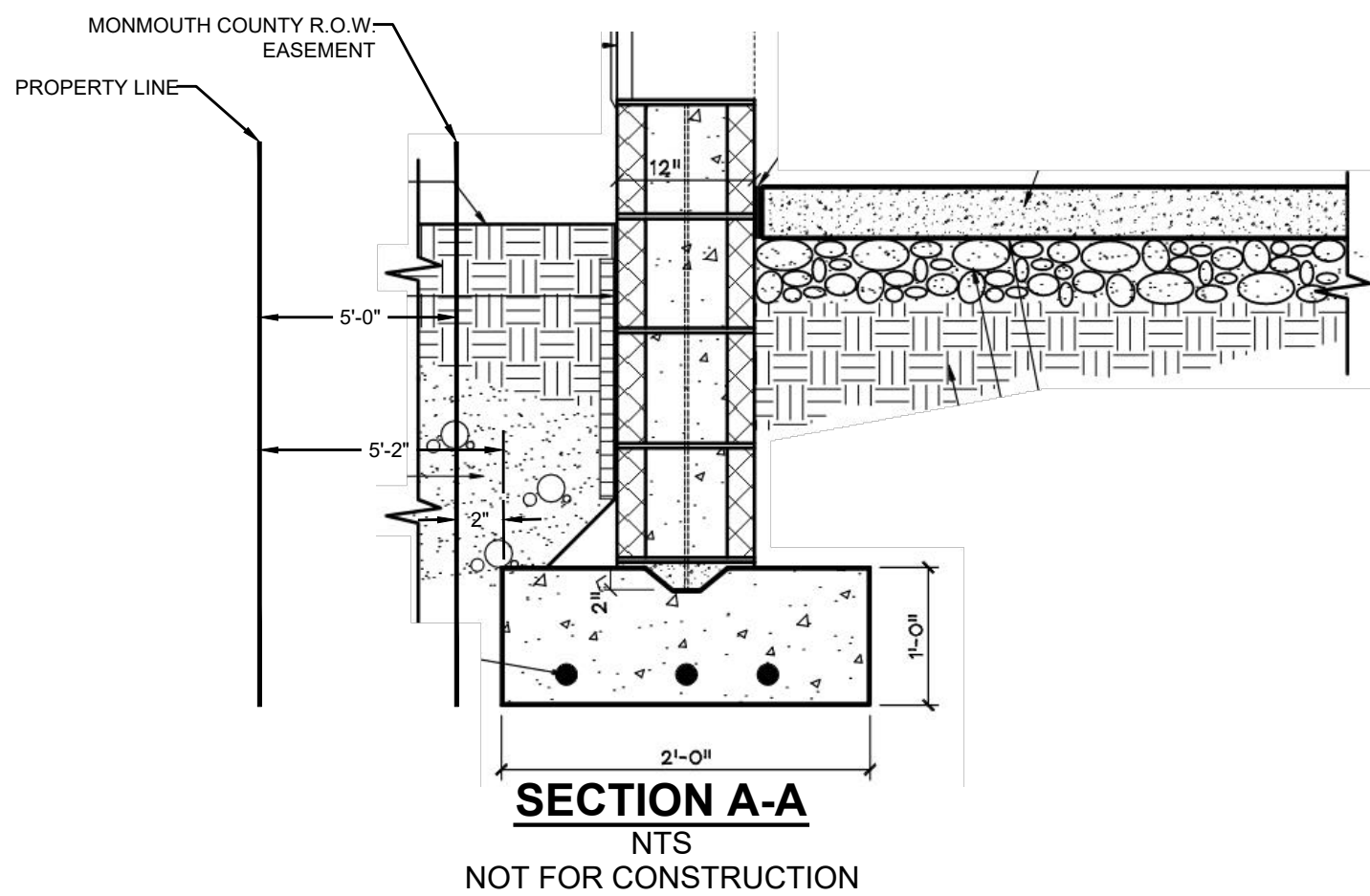
BUILDING HEIGHT COMPLIANCE PER MUNICIPAL ORDINANCE

NTS

ZONING COMPLIANCE CHART					
CBD REDEVELOPMENT OVERLAY 2 ZONE (C-RO-2 - GATEWAY PARCELS)					
RESIDENTIAL ABOVE FIRST FLOOR: PERMITTED (§ 21-91A.U.)					
ORD SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED	COMPLIES
ATT. 1	MIN. LOT AREA (SF)	-	6,425 (0.147 AC)	NO CHANGE	-
ATT. 1	MIN. LOT FRONTAGE (FT)	-	213.67	NO CHANGE	-
PRINCIPAL BUILDING					
VII.A.	MIN. FRONT YARD SETBACK (FT)		13.9	5.67	YES
	BAY AVENUE (FT)	2	13.3	8.30	YES
	SHREWSBURY AVENUE	2	8.3	7.51	YES
VII.A.	MIN. REAR YARD SETBACK (FT)	12	-	N/A	YES
VII.A.	MIN. SIDE YARD SETBACK	5 (1)	11.4	5.00	YES
VII.D.	MAX. BUILDING HEIGHT (FT)	40 (3)	11.6	30.33	YES
VII.B.	MAX. BUILDING COVERAGE (%)	80	31.9	52.77	YES
VII.B.	MAX. LOT COVERAGE (%)	80	37.0	75.87	YES
ACCESSORY BUILDING					
\$21-78A.2	MAX. GROUND FLOOR AREA (%)	30 (2)	5.0	N/A	-
\$21-78A.2	MAX. COVERAGE OF REAR YARD (%)	40 (2)	N/A	N/A	-
\$21-78A.3	MIN. YARD SETBACK (FT)	3	3.6	N/A	-
	MIN. OUTDOOR LIVING SPACE (SF)	500	(a)	1,981	YES
	100 SF/UNIT				

(N) EXISTING NON-COMFORMITY (I) IMPROVED CONDITION N/A - NOT APPLICABLE
(E) EXISTING VARIANCE (X) VARIANCE / NON-COMFORMITY ELIMINATED NS - NOT SPECIFIED
(V) PROPOSED VARIANCE (W) PROPOSED WAIVER

(a) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE
(1) PER § VII.A SIDE YARDS. NO SIDE YARD IS REQUIRED ADJACENT TO THE PROPERTIES IN THE CBD ZONE. HOWEVER, IF ANY IS TO BE PROVIDED, IT SHALL BE AT LEAST FIVE (5) FEET. ANY SIDE YARD WHICH SERVES AS A BOUNDARY BETWEEN THAT LOT AND ANY RESIDENCE ZONE SHALL BE AT LEAST FIVE (5) FEET AND SHALL CONTAIN BUFFERING IN ACCORDANCE WITH THE REQUIREMENTS OF THIS SECTION.
(2) NO ACCESSORY STRUCTURE(S), EXCEPT FOR SHORE FRONT PROTECTION, BULKHEADS, REVETMENTS AND OTHER SUCH STRUCTURES, SHALL HAVE AN AGGREGATE GROUND FLOOR AREA GREATER THAN THIRTY (30%) PERCENT OF THE GROUND FLOOR AREA OF THE PRINCIPAL STRUCTURE ON THE SAME LOT. ALL ACCESSORY STRUCTURES SHALL OCCUPY NO MORE THAN FORTY (40%) PERCENT OF THE REAR YARD AREA.
(3) THE VERTICAL DISTANCE AS MEASURED FROM THE GRADE PLANE TO THE AVERAGE HEIGHT OF THE HIGHEST ROOF SURFACE. IN THE CASE OF SLOPED ROOFS, THE AVERAGE HEIGHT IS THE MID-POINT BETWEEN THE LOWEST ROOF EAVE OF THE TOP FLOOR AND THE ROOF RIDGE. IN THE CASE OF A BUILDING THAT HAS MULTIPLE ROOF LEVELS, THE HIGHEST ROOF LEVELS MUST BE USED TO DETERMINE THE BUILDING HEIGHT.
GRADE PLANE: AREAS OR PORTIONS OF THE BUILDING AREA OF A LOT LOCATED WITHIN THE FLOOD HAZARD AREA. THE REFERENCE PLANE SHALL BE THE MORE RESTRICTIVE OF THE BASE FLOOD ELEVATION OR ADVISORY BASE FLOOD ELEVATION OF THE FLOOD HAZARD AREA PLUS ONE (1) FOOT.



SEE SHEET C101 FOR PLAN NOTES

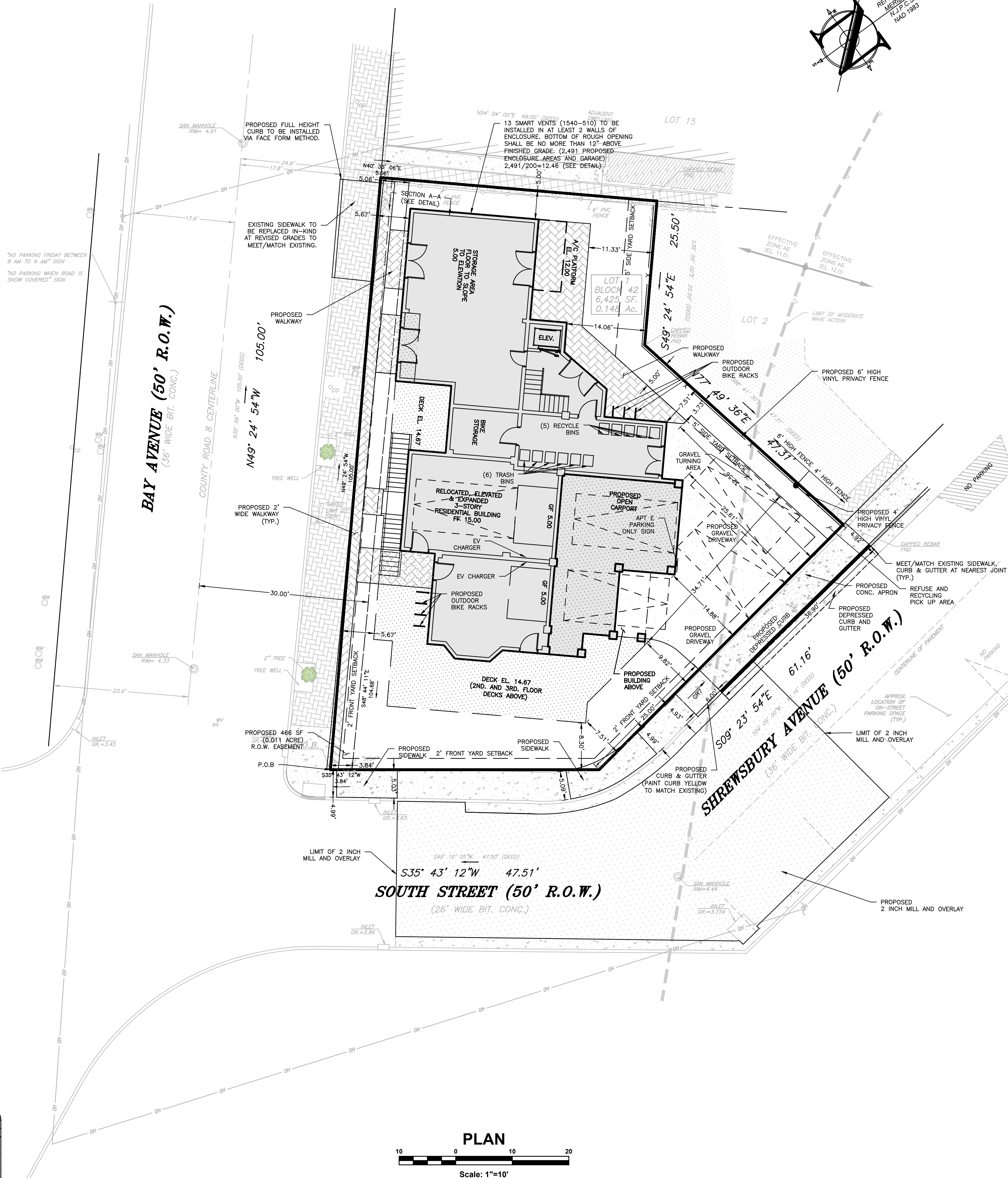
LEGEND	
EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

PARKING, DRIVEWAY & LOADING COMPLIANCE CHART				
ORD SECTION	STANDARD	REQUIRED	PROPOSED	COMPLIES
\$21-65.14	STALL SIZE (FT)	9 X 18	9 X 18	YES
NUMBER OF PARKING SPACES				
RSIS TABLE 4.4 RESIDENTIAL USES (2 FAMILY & MULTIFAMILY UNITS)				
	1.8 SPACES PER (1 BR UNITS)			
	2.0 SPACES PER (2 BR UNITS)			
	2.1 SPACES PER (3 BR UNITS)			
	1ST. FLOOR - 2 UNITS 2 BEDROOMS EACH	4		
	2ND. FLOOR - 2 UNITS 2 BEDROOMS EACH	4		
	3RD. FLOOR - 1 UNIT 3 BEDROOMS	2.1		
	TOTAL PARKING SPACES (INCLUDING EV CREDIT OF 1 SPACE)	9.1	5 (1)	YES
\$21-65.5C	MAX. DRIVEWAY WIDTH AT CURB (FT)	18	36.90 (W)	NO
\$21-65.5A	MAX. DRIVEWAY WIDTH AT INTERIOR (FT)	22	34.71 (W)	NO
\$21-65.5A	MIN. DRIVEWAY DISTANCE TO STREET INTERSECTION (FT)	25	25.00	YES

(N) EXISTING NON-COMFORMITY (I) IMPROVED CONDITION N/A - NOT APPLICABLE
(E) EXISTING VARIANCE (X) VARIANCE / NON-COMFORMITY ELIMINATED NS - NOT SPECIFIED
(V) PROPOSED VARIANCE (W) PROPOSED WAIVER

(1) PURSUANT TO THE BOROUGH OF HIGHLANDS, NJ CENTRAL BUSINESS DISTRICT REDEVELOPMENT PLAN § VII.A VEHICULAR PARKING. RESIDENTIAL USES ARE PERMITTED TO COUNT FIRST ANY AVAILABLE ON-STREET PARKING SPACES BEFORE DETERMINING THE NUMBER OF PARKING SPACES THAT MUST BE PROVIDED OFF-STREET. THERE ARE MORE THAN 5 EXISTING ON-STREET PARKING SPACES WITHIN THE IMMEDIATE VICINITY, THEREFORE THE PROJECT COMPLIES.

ELECTRIC VEHICLE PARKING SUMMARY (P.L. 1975, c. 291)				
RESIDENTIAL ABOVE FIRST FLOOR / CBD REDEVELOPMENT OVERLAY 2 ZONE (C.40:55D-66.20.3.a.(1))				
SECTION	STANDARD	REQUIRED	PROPOSED	COMPLIES
3.a.(1)(a)	MIN. NUMBER OF MAKE-READY (MR) PARKING SPACES	15% OF REQUIRED OFF-STREET SPACES 10 x 15% = 1.5 SPACES = 2	2 SPACES	YES
3.a.(1)(a)	MIN. # OF INSTALLED VEHICLE SUPPLY EQUIPMENT			
3.a.(1)(b)	@ INITIAL CONSTRUCTION	1 x MAKE-READY = 1 SPACES	1 EV SPACES	YES
3.a.(1)(b)	@ 3 YEARS AFTER CERT. OF OCCUPANCY	1 x MAKE-READY = 2 SPACES	2 EV SPACES	YES
3.a.(1)(c)	@ 6 YEARS AFTER CERT. OF OCCUPANCY	1 x MAKE-READY = 2 SPACES	2 EV SPACES	YES



PROJECT INFORMATION

PROJECT NAME:
PROPOSED MULTI-FAMILY RESIDENCE

PROJECT LOCATION:
BLOCK 42, LOT 1
90 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER:
60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT:
60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS:
ATTORNEY:
DONNA M. JENNINGS ESQ.
WILENTZ, GOLDMAN & SPITZER, PA
90 WOODBRIDGE CENTER DRIVE, SUITE 900
WOODBRIDGE, NJ 07095
ARCHITECT:
SALVATORE LA FERLITA, R.A.
115 UNIVERSITY DRIVE
LINCROFT, NJ 07738
SURVEYOR:
INSITE SURVEYING, LLC
1955 ROUTE 37, SUITE 1A
WALL, NJ 07719

**INSITE**
Engineering • Surveying • Planning
InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (PH) 732-531-7344 (FAX)
InSite@InSiteEng.net www.InSiteEng.net
LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA
DELAWARE, CONNECTICUT, NORTH CAROLINA
COLORADO, & DISTRICT OF COLUMBIA
CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE
AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL
AND MAY HAVE BEEN ALTERED
Douglas D. Clelland
DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24605331000

REVISIONS

Rev.#	Date	Comment
12	07/25/23	PER BOARD COMMENTS
11	04/10/23	PER COUNTY
10	04/01/23	PER COUNTY
9	02/20/23	PER COUNTY
8	01/31/23	PER COUNTY REVIEW LETTER
7	01/01/23	FOR RESOLUTION COMPLIANCE
6	12/05/24	FOR PS&D
5	11/09/24	FOR RESOLUTION COMPLIANCE
4	06/05/24	PER BOROUGH COMMENTS
3	04/09/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY
0	03/12/24	PER ARCHITECT INITIAL RELEASE

SCALE: 1"=10'
DATE: 02/05/24
JOB #: 23-2237-01
CAD ID: 23-2237-01r3
DESIGNED BY: DDC
DRAWN BY: AMC
CHECKED BY: DDC

NOT FOR CONSTRUCTION

APPROVED BY:

FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:
PRELIMINARY & FINAL MAJOR SITE PLAN

SHEET TITLE:
SITE LAYOUT PLAN

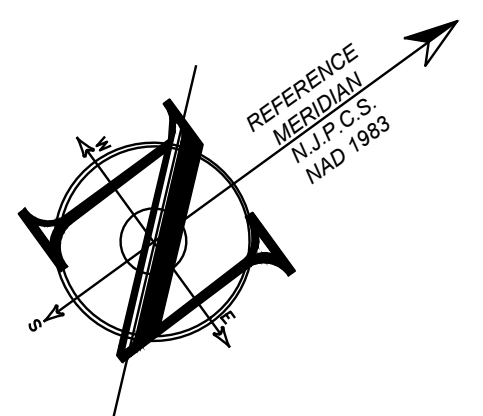
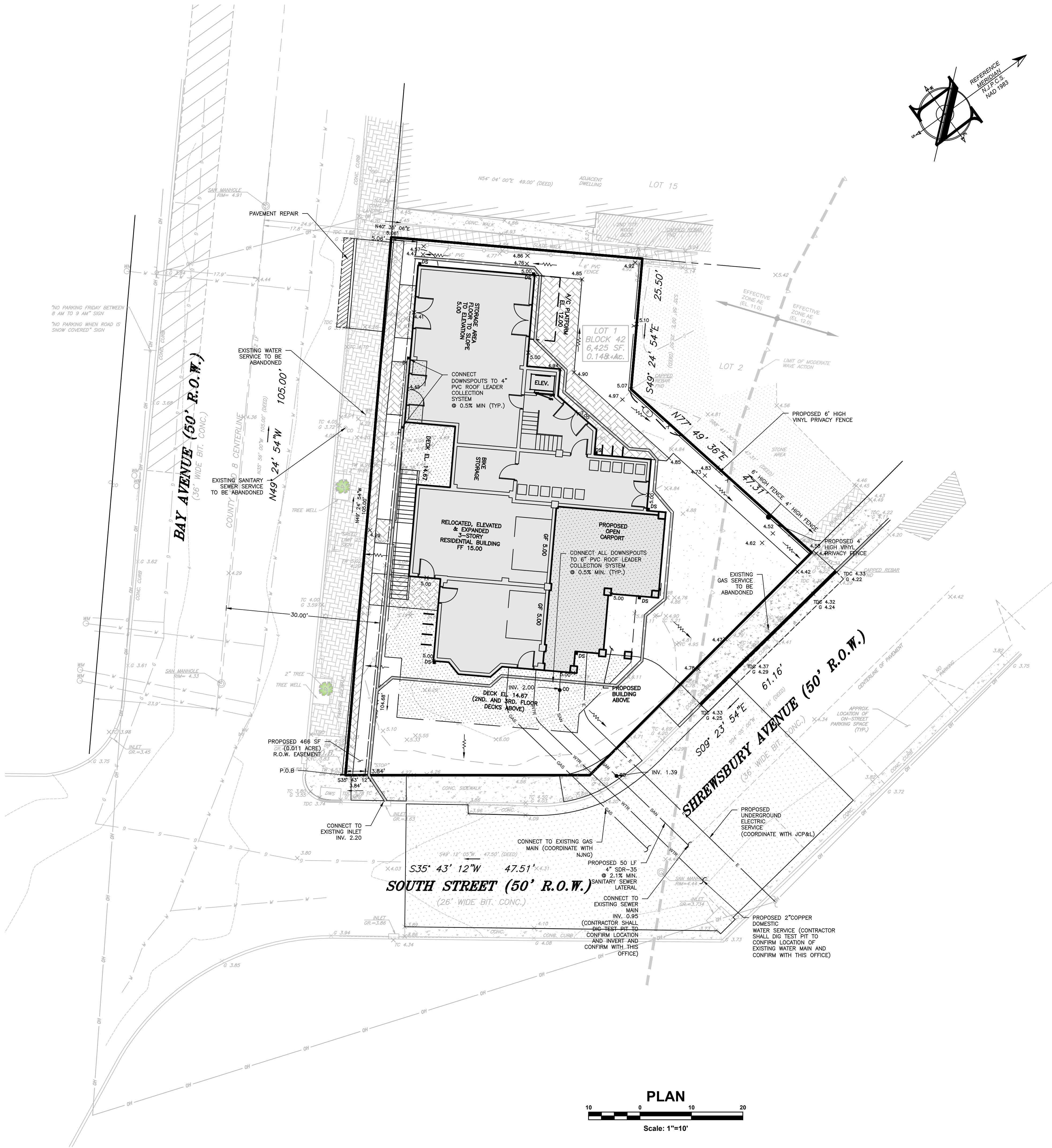
SHEET NO.:
C300

WATER FLOW CALCULATIONS
EXISTING AVERAGE DAILY DEMAND (PER N.J.A.C. 5:21-5.2)
TWO-BEDROOM APARTMENT (UNIT) = 3 UNITS
TWO-BEDROOM APARTMENT (140 GPD/UNIT: $Q_{avg} = 140 \text{ GPD/UNIT} \times 3 \text{ UNITS} = 420 \text{ GPD}$)
STUDIO-BEDROOM APARTMENT (UNIT) = 1 UNITS
STUDIO APARTMENT (120 GPD/UNIT: $Q_{avg} = 120 \text{ GPD/UNIT} \times 1 \text{ UNITS} = 120 \text{ GPD}$)
TOTAL EXISTING AVERAGE DAILY DEMAND: = 540 GPD = 0.0005 MGD

PROPOSED AVERAGE DAILY DEMAND (PER N.J.A.C. 5:21-5.2):
TWO-BEDROOM APARTMENT (UNIT) = 4 UNITS
TWO-BEDROOM APARTMENT (140 GPD/UNIT: $Q_{avg} = 140 \text{ GPD/UNIT} \times 4 \text{ UNITS} = 560 \text{ GPD}$)
THREE-BEDROOM APARTMENT (UNIT) = 1 UNITS
THREE-BEDROOM APARTMENT (200 GPD/UNIT: $Q_{avg} = 200 \text{ GPD/UNIT} \times 1 \text{ UNITS} = 200 \text{ GPD}$)
TOTAL PROPOSED AVERAGE DAILY DEMAND: = 560 GPD + 200 GPD = 760 GPD = 0.0006 MGD

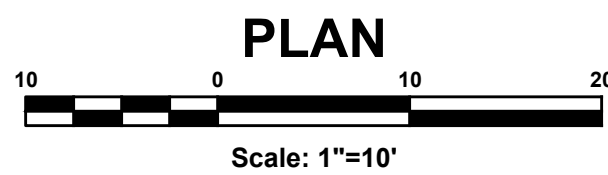
SANITARY SEWER FLOW CALCULATIONS
EXISTING AVERAGE DAILY DEMAND (PER N.J.A.C. 7:14A-23.3)
TWO-BEDROOM APARTMENT (UNIT) = 3 UNITS
TWO-BEDROOM APARTMENT (225 GPD/UNIT: $Q_{avg} = 225 \text{ GPD/UNIT} \times 3 \text{ UNITS} = 675 \text{ GPD}$)
STUDIO-BEDROOM APARTMENT (UNIT) = 1 UNITS
STUDIO APARTMENT (150 GPD/UNIT: $Q_{avg} = 150 \text{ GPD/UNIT} \times 1 \text{ UNITS} = 150 \text{ GPD}$)
TOTAL EXISTING AVERAGE DAILY DEMAND: = 675 GPD + 150 GPD = 825 GPD = 0.0009 MGD

PROPOSED AVERAGE DAILY DEMAND (PER N.J.A.C. 7:14A-23.3)
TWO-BEDROOM APARTMENT (UNIT) = 4 UNITS
TWO-BEDROOM APARTMENT (225 GPD/UNIT: $Q_{avg} = 225 \text{ GPD/UNIT} \times 4 \text{ UNITS} = 900 \text{ GPD}$)
THREE-BEDROOM APARTMENT (UNIT) = 1 UNITS
THREE-BEDROOM APARTMENT (300 GPD/UNIT: $Q_{avg} = 300 \text{ GPD/UNIT} \times 1 \text{ UNITS} = 300 \text{ GPD}$)
TOTAL PROPOSED AVERAGE DAILY DEMAND: = 900 GPD + 300 GPD = 1,200 GPD = 0.0012 MGD



SEE SHEET C101 FOR PLAN NOTES

LEGEND	
EXISTING	PROPOSED



PROJECT INFORMATION

PROJECT NAME:
PROPOSED MULTI-FAMILY RESIDENCE

PROJECT LOCATION:
BLOCK 42, LOT 1
80 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER:
60 BAY AVE HIGHLANDS, LLC
80 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT:
60 BAY AVE HIGHLANDS, LLC
80 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

ATTORNEY:
DONNA M. JENNINGS ESQ.
WILENTZ, GOLDMAN & SPITZER, PA
90 WOODBRIDGE CENTER DRIVE, SUITE 900
WOODBRIDGE, NJ 07095

ARCHITECT:
SALVATORE LA FERLITA, R.A.
115 UNIVERSITY DRIVE
LINCROFT, NJ 07738

SURVEYOR:
INSITE SURVEYING, LLC
1955 ROUTE 37, SUITE 1A
WALL, NJ 07719


SINCE 2003

CALL BEFORE YOU DIG!
NJ ONE CALL: 800-272-1000
(NJ One Call.org for more info)

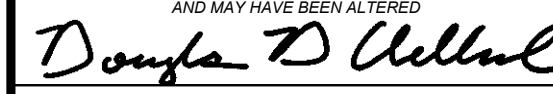
ELECTRIC	RED
GAS/OIL	YELLOW
COMMUNICATION TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE


Engineering • Surveying • Planning

InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA
DELAWARE, CONNECTICUT, NORTH CAROLINA
COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND PAID SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED.


DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24GE0331000

REVISIONS

Rev.#	Date	Comment
12	07/25/25	PER BOARD COMMENTS
11	04/10/25	PER COUNTY
10	04/01/25	PER COUNTY
9	02/28/25	PER COUNTY
8	01/31/25	PER COUNTY REVIEW LETTER
7	01/21/25	FOR RESOLUTION COMPLIANCE
6	12/05/24	FOR PSD
5	11/09/24	FOR RESOLUTION COMPLIANCE
4	06/05/24	FOR BOROUGH COMMENTS
3	04/08/24	PER ATTORNEY
2	03/28/24	PER ARCHITECT
1	03/12/24	INITIAL RELEASE
0	02/05/24	

SCALE: 1"=10'	DESIGNED BY: DDC
DATE: 02/05/24	DRAWN BY: AMC
JOB #: 23-2237-01	CHECKED BY: DDC
CAD ID: 23-2237-01r3	

☒ NOT FOR CONSTRUCTION

APPROVED BY:

<input type="checkbox"/> FOR CONSTRUCTION	
---	--

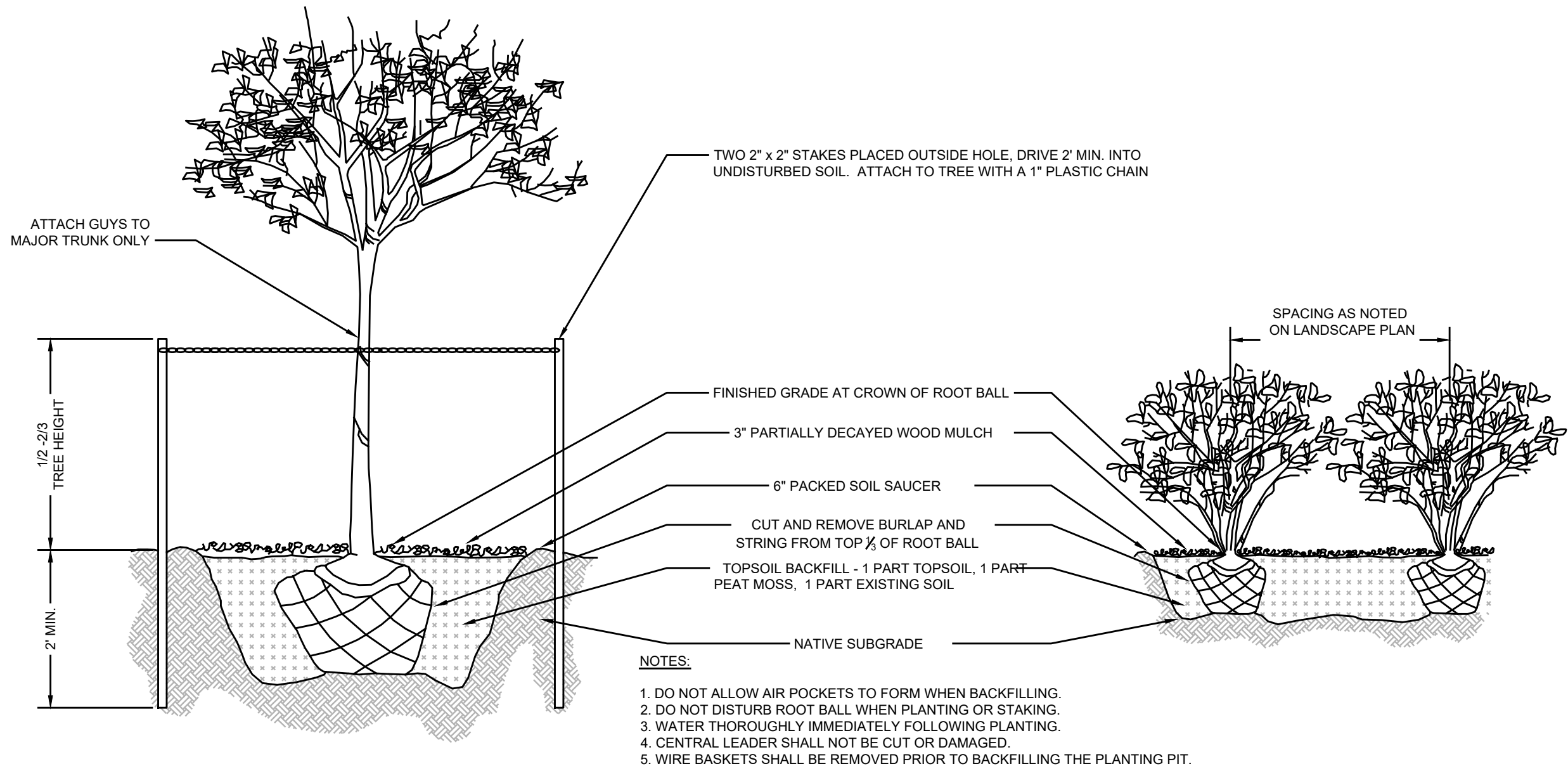
PLAN INFORMATION

DRAWING TITLE:
PRELIMINARY & FINAL MAJOR SITE PLAN

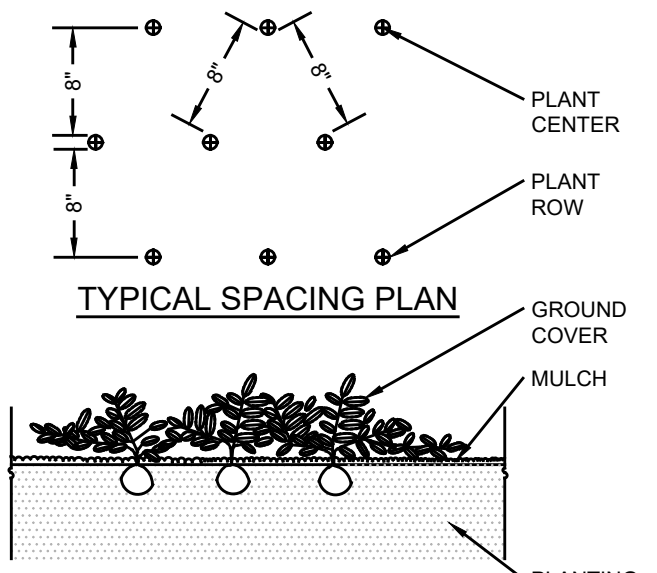
SHEET TITLE:
GRADING, DRAINAGE & UTILITY PLAN

SHEET NO.:
C400

PLANTING SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	ROOT
TO	16	SHED AND ORNAMENTAL TREES			
ZS	1	THUJA OCCIDENTALIS 'SMARAGO'	EMERALD GREEN ARBORVITAE	8-10' HT.	670 GAL.
		ZELKOVA SERRATA 'MUSASHINO'	MUSASHINO COLUMNAR ZELKOVA	7-8' HT.	(B+B)
RR2	12	SHRUBS			
		ROSA RUGOSA 'KNOCKOUT'	PINK 'KNOCKOUT' ROSE	2.5-3 FT	#5 CONT.
		GRASSES, PERENNIAL FLOWER, GROUNDCOVERS			
LM	37	LIRIOPE MUSCARI	LILLYTURF	1 GAL.	(Cont.)
AX	26	AJUGA REPTANS	BUGLEWEED	3-4"	6" POT



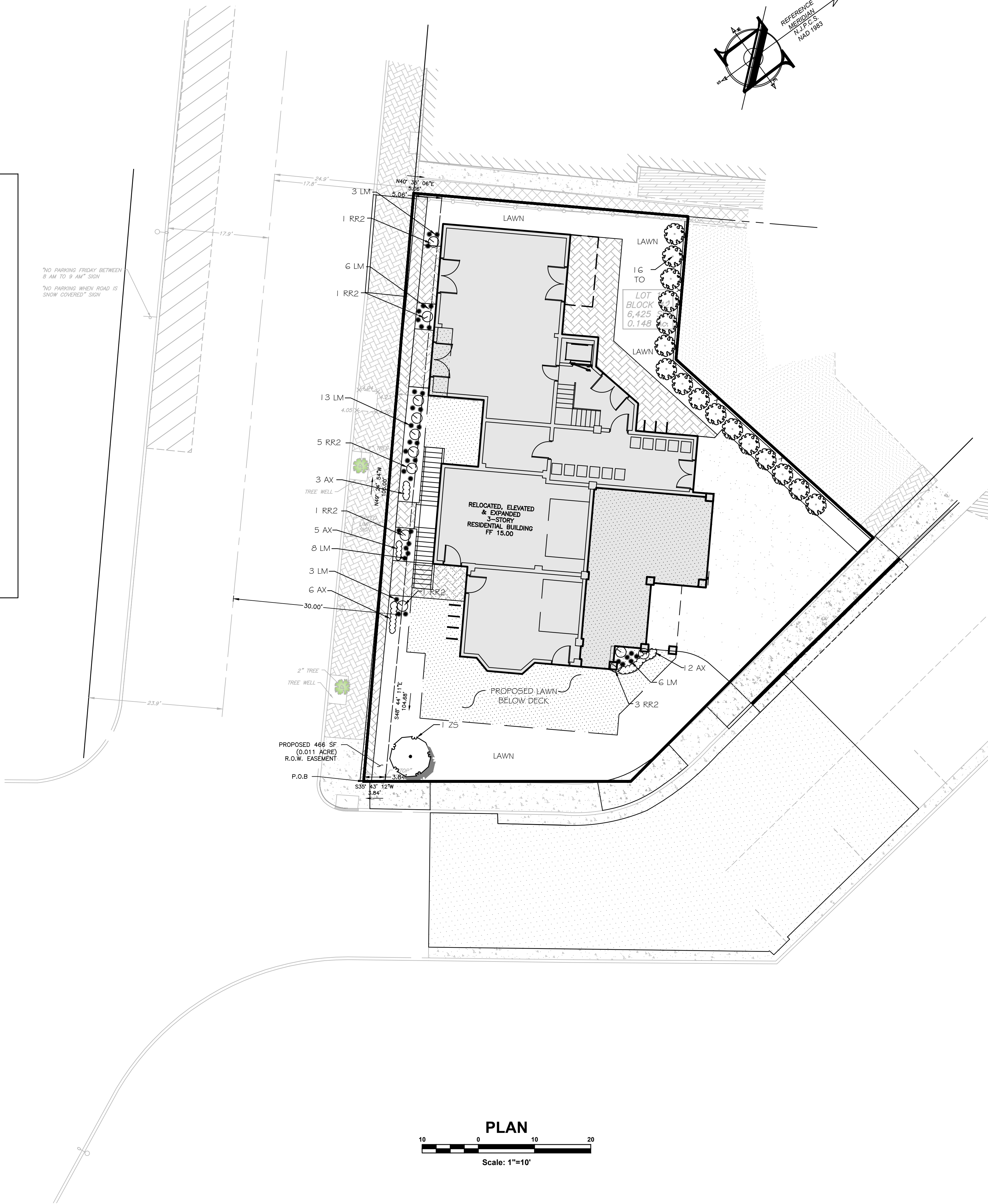
TREE & SHRUB PLANTING & STAKING
NTS



GROUND COVER PLANTING
NTS

SEE SHEET C101 FOR PLAN NOTES

LEGEND	
EXISTING	PROPOSED
	BOUNDARY LINE
	CONTOUR LINE
	SPOT ELEVATION
	BUILDING
	WALL
	GAS
	WATER
	INLET
	STORM
	SANITARY MAIN
	SANITARY LATERAL
	OVERHEAD WIRE
	ELECTRIC
	TELEPHONE
	UTILITY POLE
	HYDRANT
	SIGN POST
	FENCE
	LIGHT FIXTURE
	TEST PIT LOCATION
	GRADE FLOW ARROW
	SWALE CENTER LINE



PROJECT INFORMATION

PROJECT NAME:

**PROPOSED
MULTI -
FAMILY
RESIDENCE**

PROJECT LOCATION:

BLOCK 42, LOT 1
60 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER:

60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT:

60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS:

ATTORNEY:
DONNA M. JENNINGS ESQ.
WILENTZ, GOLDMAN & SPITZER, PA
90 WOODBRIDGE CENTER DRIVE, SUITE 900
WOODBRIDGE, NJ 07095

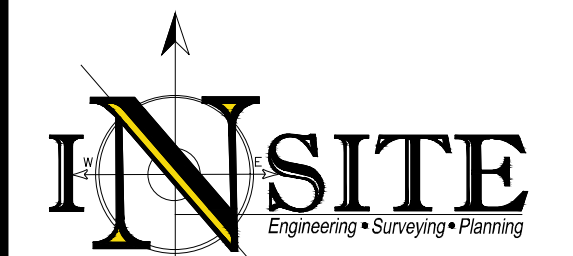
ARCHITECT:
SALVATORE LA FERLITA, R.A.
115 UNIVERSITY DRIVE
LINCOLN, NJ 07738

SURVEYOR:
INSITE SURVEYING, LLC
1955 ROUTE 37, SUITE 1A
WALL, NJ 07719



CALL BEFORE YOU DIG!
NJ ONE CALL: 800-272-1000
www.OneCallNJ.com

ELECTRIC	RED
GAS	YELLOW
COMMUNICATION	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE



InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA
DELAWARE, CONNECTICUT, NORTH CAROLINA
COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE
AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL
AND MAY HAVE BEEN ALTERED.

Douglas D. Clelland
DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24GE0331000

REVISIONS

REV.#	DATE	COMMENT
12	07/25/25	PER BOARD COMMENTS
11	04/10/25	PER COUNTY
10	04/01/25	PER COUNTY
9	02/20/25	PER COUNTY
8	01/31/25	PER COUNTY REVIEW LETTER
7	01/01/25	FOR RESOLUTION COMPLIANCE
6	12/05/24	FOR PS&D
5	11/01/24	FOR RESOLUTION COMPLIANCE
4	06/05/24	PER BOROUGH COMMENTS
3	04/08/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY
1	03/12/24	PER ARCHITECT
0	02/05/24	INITIAL RELEASE

SCALE: 1"=10'	DESIGNED BY: DDC
DATE: 02/05/24	DRAWN BY: AMC
JOB #: 23-2237-01	CHECKED BY: DDC
CAD ID: 23-2237-01r3	

☒ NOT FOR CONSTRUCTION

APPROVED BY:

☐ FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:

**PRELIMINARY & FINAL
MAJOR SITE PLAN**

SHEET TITLE:

LANDSCAPE PLAN

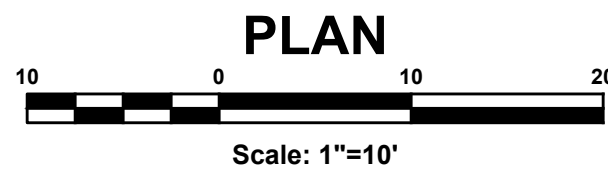
SHEET NO.:

C600

File: X:\data\2327 - 60 Bay Ave Highlands, LLC\23-2237-01 - 60 Bay Avenue Highlands, NJ\2323270100.dwg (G:\Landscapes & Lighting\dwg) --> 0202 LIGHTING
Copyright 2023, InSite Engineering, LLC, All Rights Reserved.

SEE SHEET C101 FOR PLAN NOTES

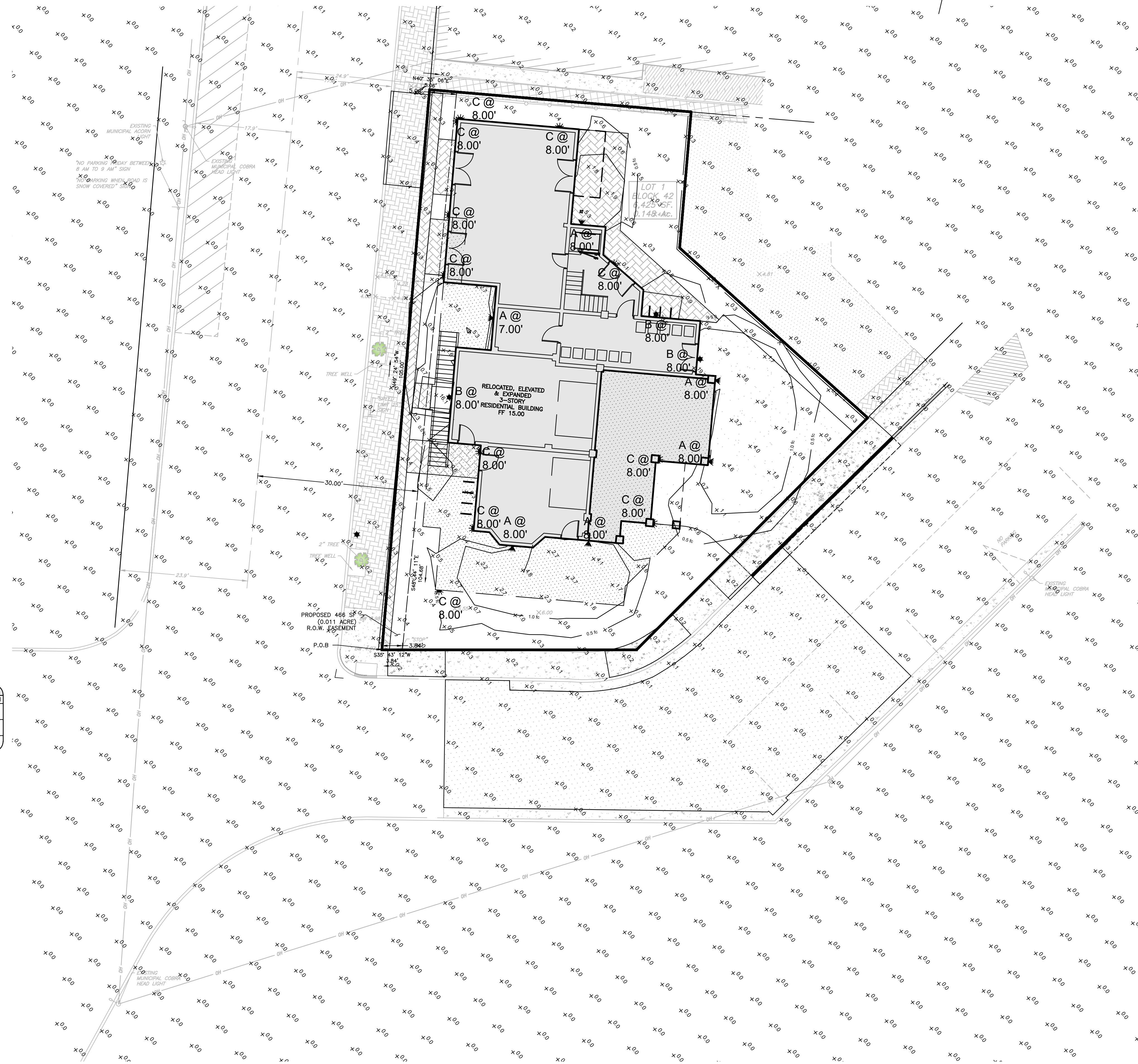
LEGEND	
EXISTING	PROPOSED
	BOUNDARY LINE
	CONTOUR LINE
	SPOT ELEVATION
	BUILDING
	WALL
	GAS
	WATER
	INLET
	STORM
	SANITARY MAIN
	SANITARY LATERAL
	OVERHEAD WIRE
	ELECTRIC
	TELEPHONE
	UTILITY POLE
	HYDRANT
	SIGN POST
	FENCE
	LIGHT FIXTURE
	TEST PIT LOCATION
	GRADE FLOW ARROW
	SWALE CENTER LINE



SCHEDULE OF LIGHTING REQUIREMENTS (\$ 21-65.11)					
ORD SECTION	STANDARD	PERMITTED	EXISTING	PROPOSED	COMPLIES
21-65.11E	MIN. LIGHTING LEVEL (FC)	0.3	0.0 (N)	0.3	YES
21-65.11E	MIN. AVERAGE LIGHTING LEVEL (FC)	0.5	0.2 (N)	0.7	YES
21-65.11F	MAX. LIGHTING LEVEL AT PROPERTY LINE (FC)	0.3	2.3 (N)	0.3	YES
21-65.11D	MAX. LIGHT MOUNTING HEIGHT (FT)	15	N/A	8.0	YES

LUMINAIRE SCHEDULE						
LABEL	QTY	DESCRIPTION	WATTAGE	LAYOUT	MOUNT HEIGHT	DIRECTION OF ILLUMINATION
A	6	LITHONIA LIGHTING WDG1 ARCHITECTURAL WALL SCONCE	LED	SINGLE	SEE PLAN	DOWN
B	3	LITHONIA LIGHTING OLLWD & OLLWJ LED WALL CYLINDER LIGHT	LED	SINGLE	SEE PLAN	DOWN
C	11	LITHONIA LIGHTING OLCS OUTDOOR LED CAST SCONCE	LED	SINGLE	SEE PLAN	FORWARD

NOTE:
1. LIGHTING TEMPLATE VALUES SHOWN ARE: 1.0 AND 0.50 FOOT CANDLES.
2. ALL LIGHTS TO REMAIN ON FROM DUSK UNTIL DAWN.



PROJECT INFORMATION

PROJECT NAME:

PROPOSED MULTI - FAMILY RESIDENCE

PROJECT LOCATION:

BLOCK 42, LOT 1
60 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER:

60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT:

60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

ATTORNEY:
DONNA M. JENNINGS ESQ.
WILENTZ, GOLDMAN & SPITZER, PA
90 WOODBRIDGE CENTER DRIVE, SUITE 900
WOODBRIDGE, NJ 07095

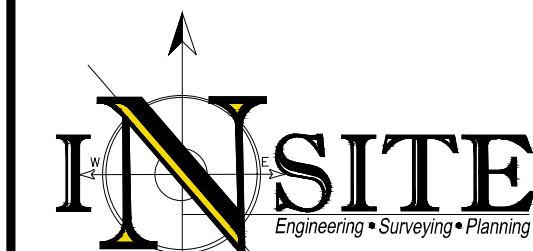
ARCHITECT:
SALVATORE LA FERLITA, R.A.
115 UNIVERSITY DRIVE
LINCOLN, NJ 07738

SURVEYOR:
INSITE SURVEYING, LLC
1955 ROUTE 37, SUITE 1A
WALL, NJ 07719



CALL BEFORE YOU DIG!
NJ ONE CALL: 800-272-1000
(NJ One Call is a registered trademark of InSite Engineering, LLC)

ELECTRIC	RED
GAS/OIL	YELLOW
COMMUNICATION TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. W/TH. MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE



InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA
DELAWARE, CONNECTICUT, NORTH CAROLINA
COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE
AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL
AND MAY HAVE BEEN ALTERED.

Douglas D. Clelland
DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24GE0331000

REVISIONS

Rev.#	Date	Comment
12	07/25/25	PER BOARD COMMENTS
11	04/01/25	PER COUNTY
10	04/01/25	PER COUNTY
9	02/20/25	PER COUNTY
8	01/31/25	PER COUNTY REVIEW LETTER
7	01/21/25	FOR RESOLUTION COMPLIANCE
6	12/05/24	FOR PS&D
5	11/05/24	FOR RESOLUTION COMPLIANCE
4	06/05/24	FOR BOROUGH COMMENTS
3	04/08/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY
1	03/12/24	PER ATTORNEY
0	02/05/24	INITIAL RELEASE

SCALE: 1"=10' DESIGNED BY: DDC
DATE: 02/05/24 DRAWN BY: AMC
JOB #: 23-2237-01 CHECKED BY: DDC
CAD ID: 23-2237-01r3

NOT FOR CONSTRUCTION
FOR CONSTRUCTION

PLAN INFORMATION

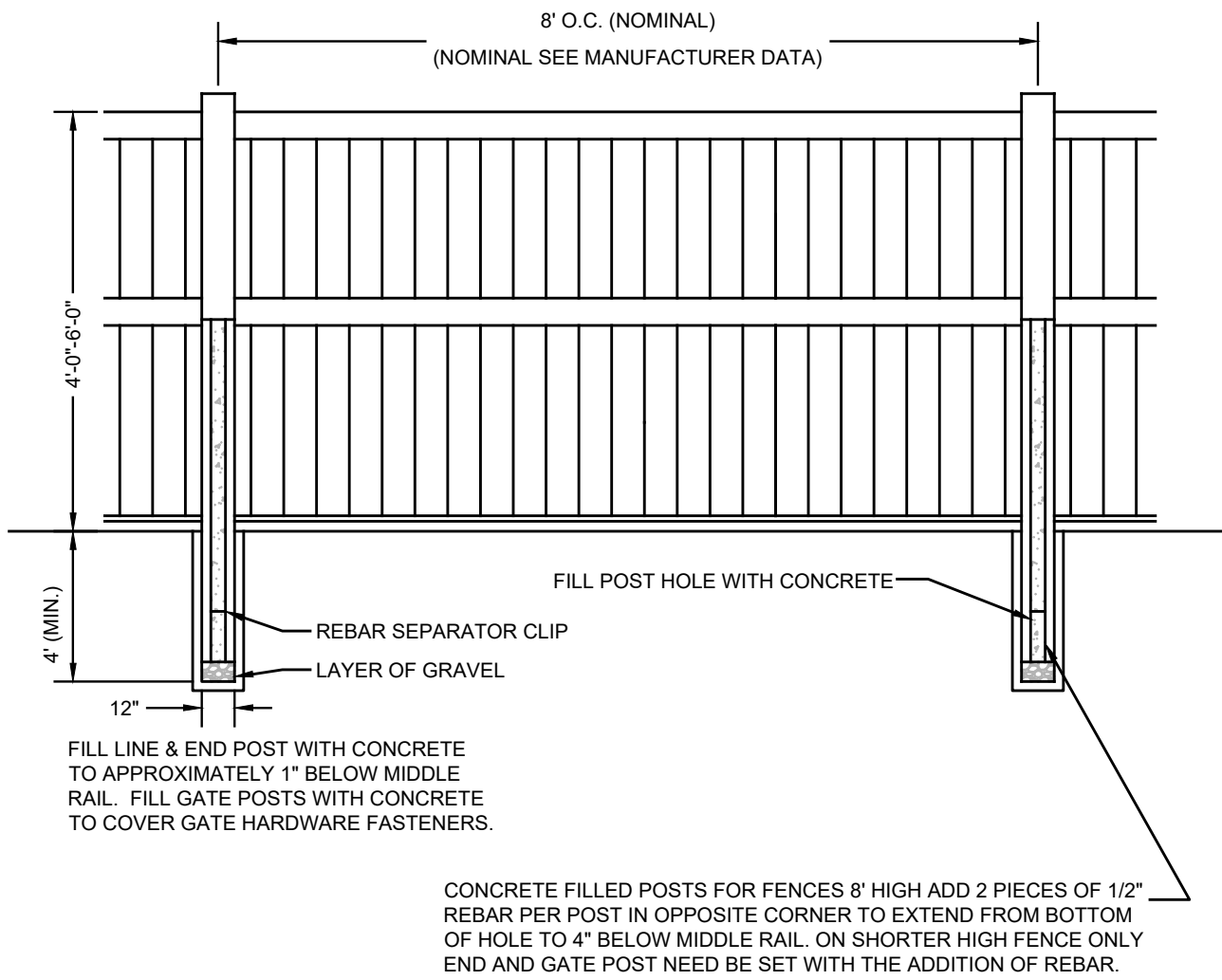
PRELIMINARY & FINAL
MAJOR SITE PLAN

SHEET TITLE:

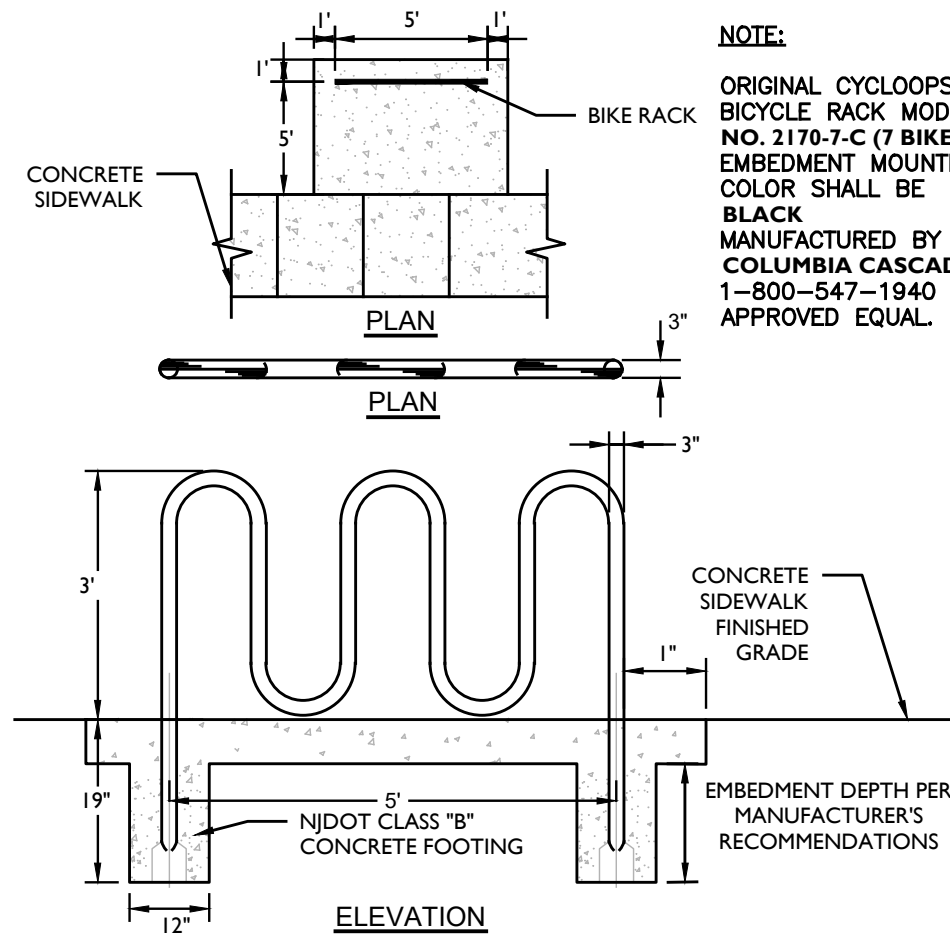
LIGHTING PLAN -
PROPOSED CONDITIONS

SHEET NO.:

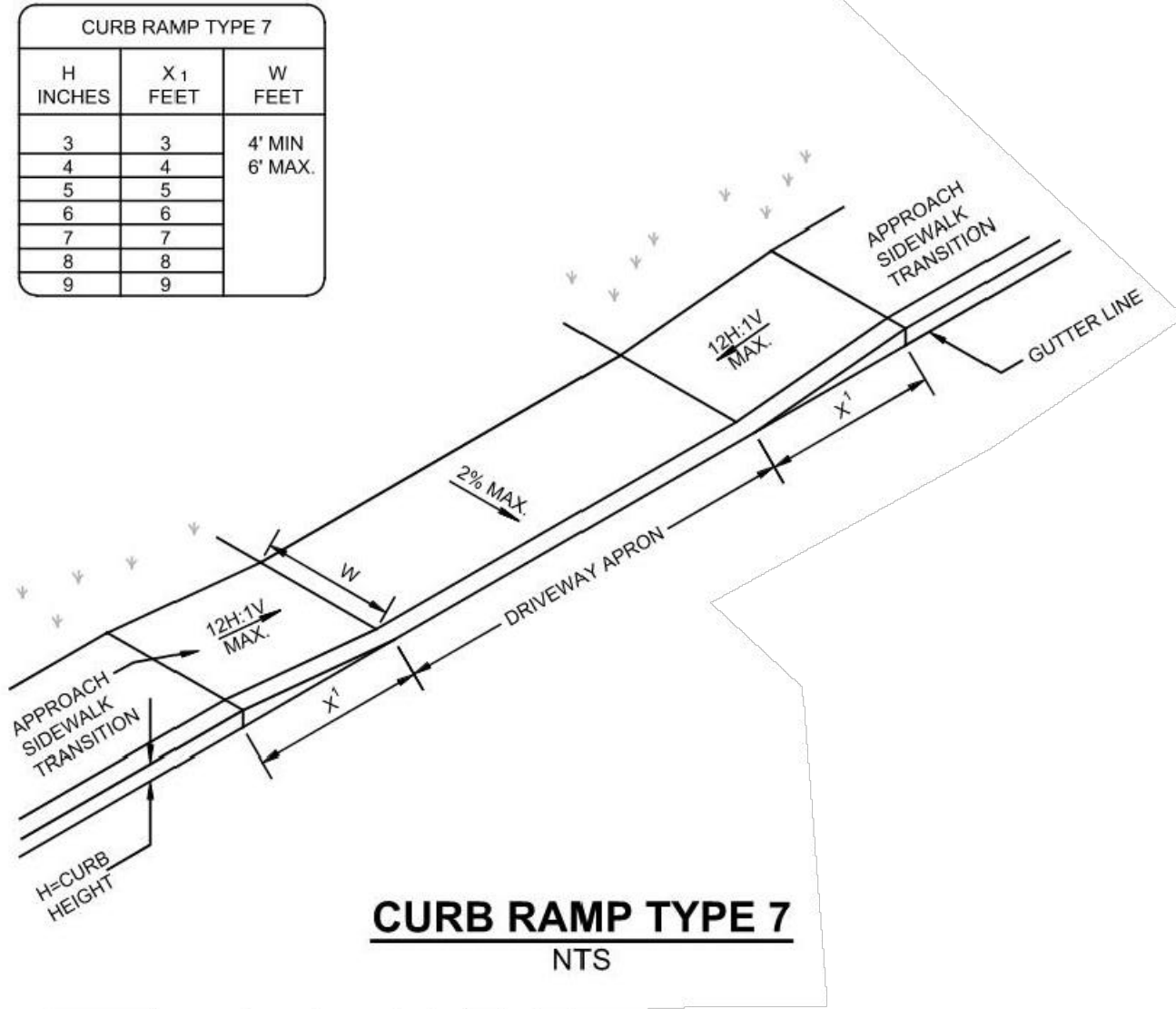
C602



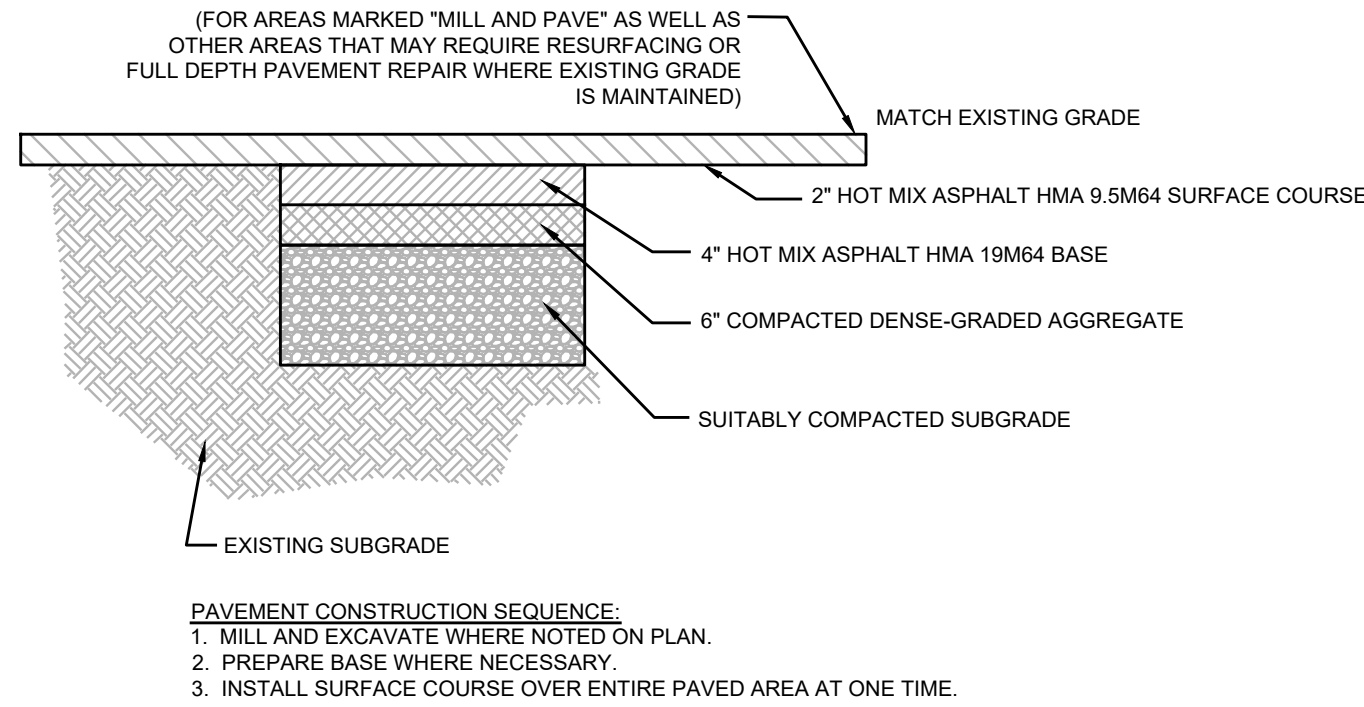
VINYL FENCE
NTS



BICYCLE RACK DETAIL
NOT TO SCALE



CURB RAMP TYPE 7
NTS



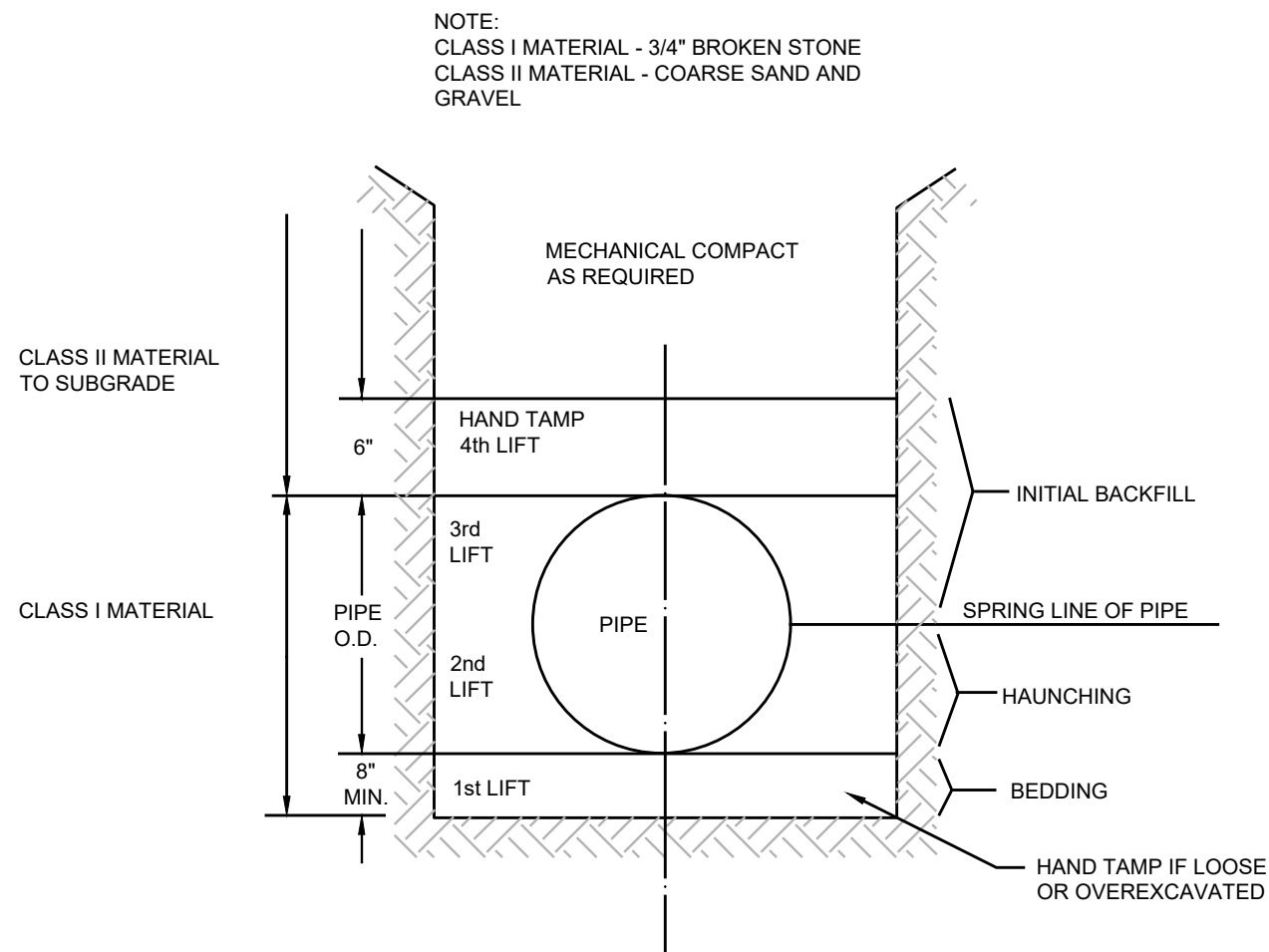
PAVEMENT REPAIR
NTS

Roof Runoff Flowrate Calculation	
$Q = c i A$	
$c = 0.99$	
$i = 6.50$ in/hr	
$A = 0.070$ ac	
$Q = 0.45$ cfs	
Pipe Capacity Calculation (Manning's Equation)	
$Q = 1.49 i n^3 \cdot A \cdot R^{2/3} \cdot S^{1/2}$	
$n (pvc) = 0.01$	
$d = 6$ in	
$A (full) = 0.20$ sf	
$R (full) = 1.57$ ft	
$S = 0.005$ ft/ft	
$Q (full) = 0.52$ cfs	
$Q_{required} = 0.45$ cfs	<OK>

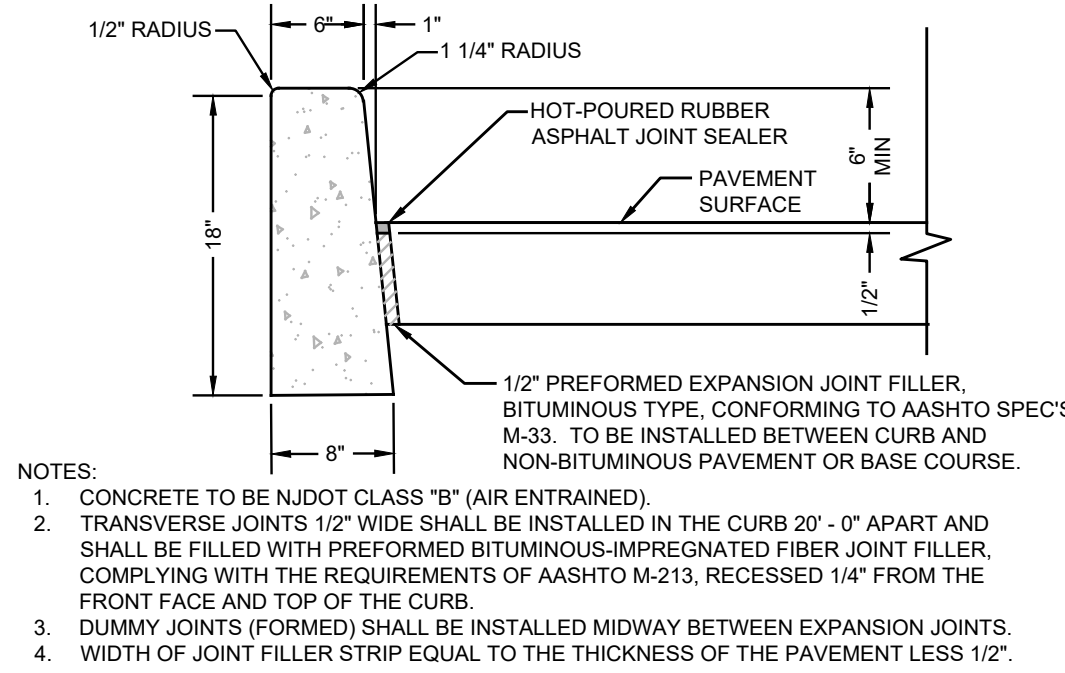
ROOF LEADER COLLECTION SYSTEM
CAPACITY CALCULATIONS



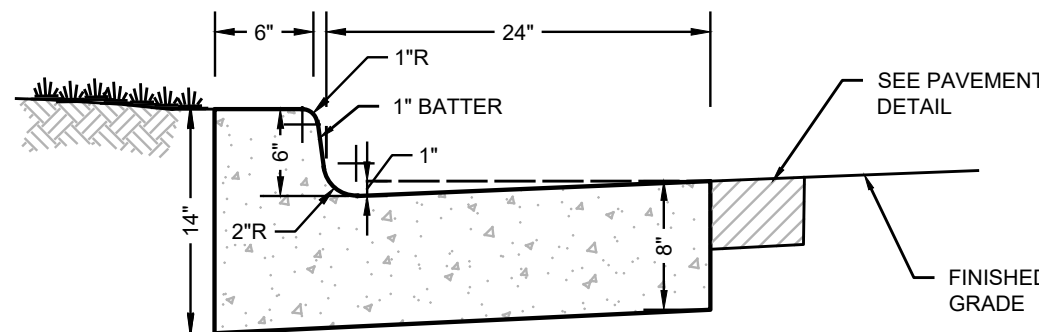
RETAIL AND RESIDENT
PARKING ONLY SIGN
NTS



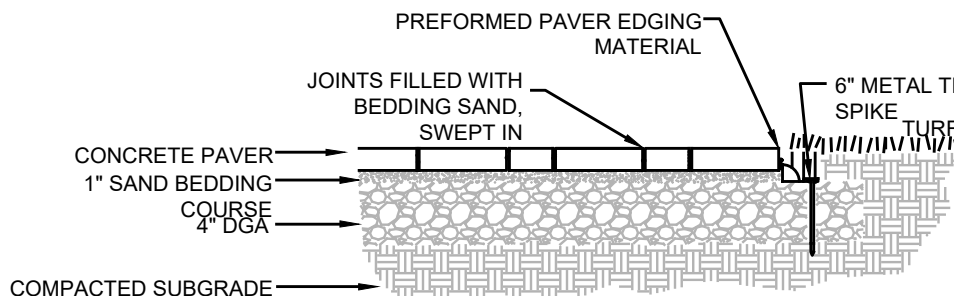
PIPE BEDDING DETAIL
NTS



CONCRETE VERTICAL CURB
NTS

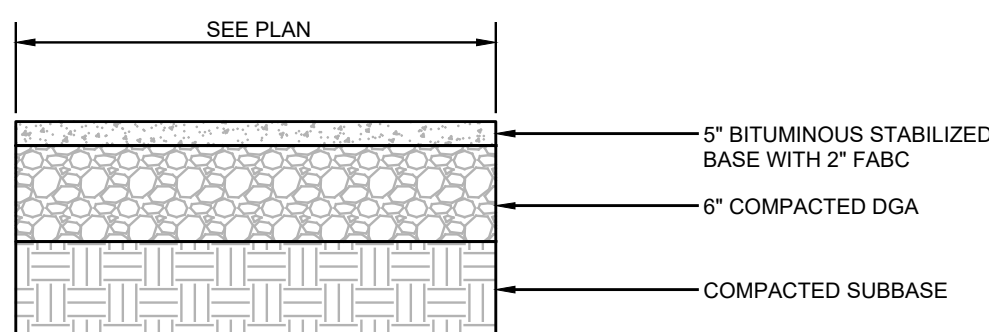


ROLLED CONCRETE CURB & GUTTER
NTS

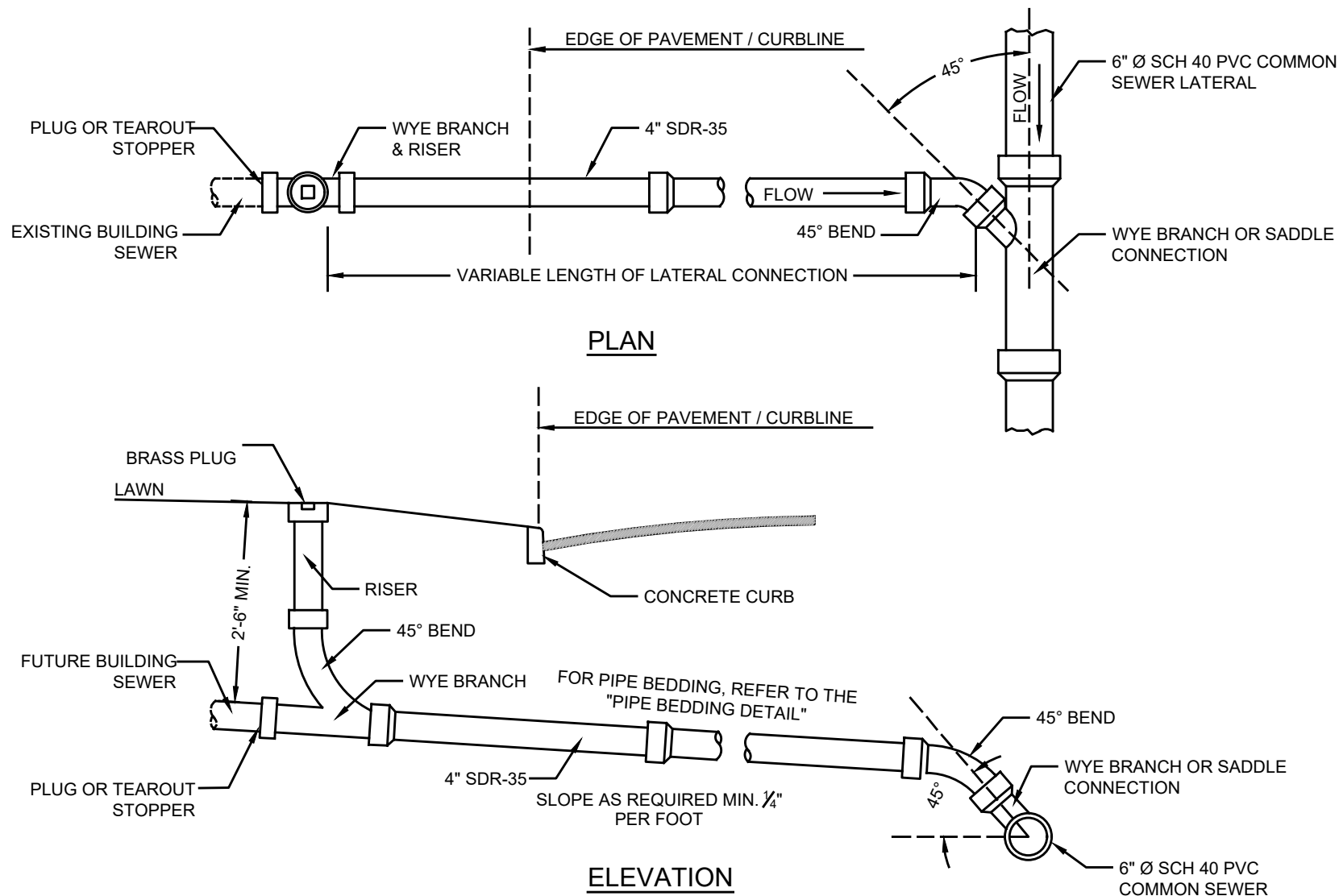


CONCRETE PAVER WALKWAY
NTS

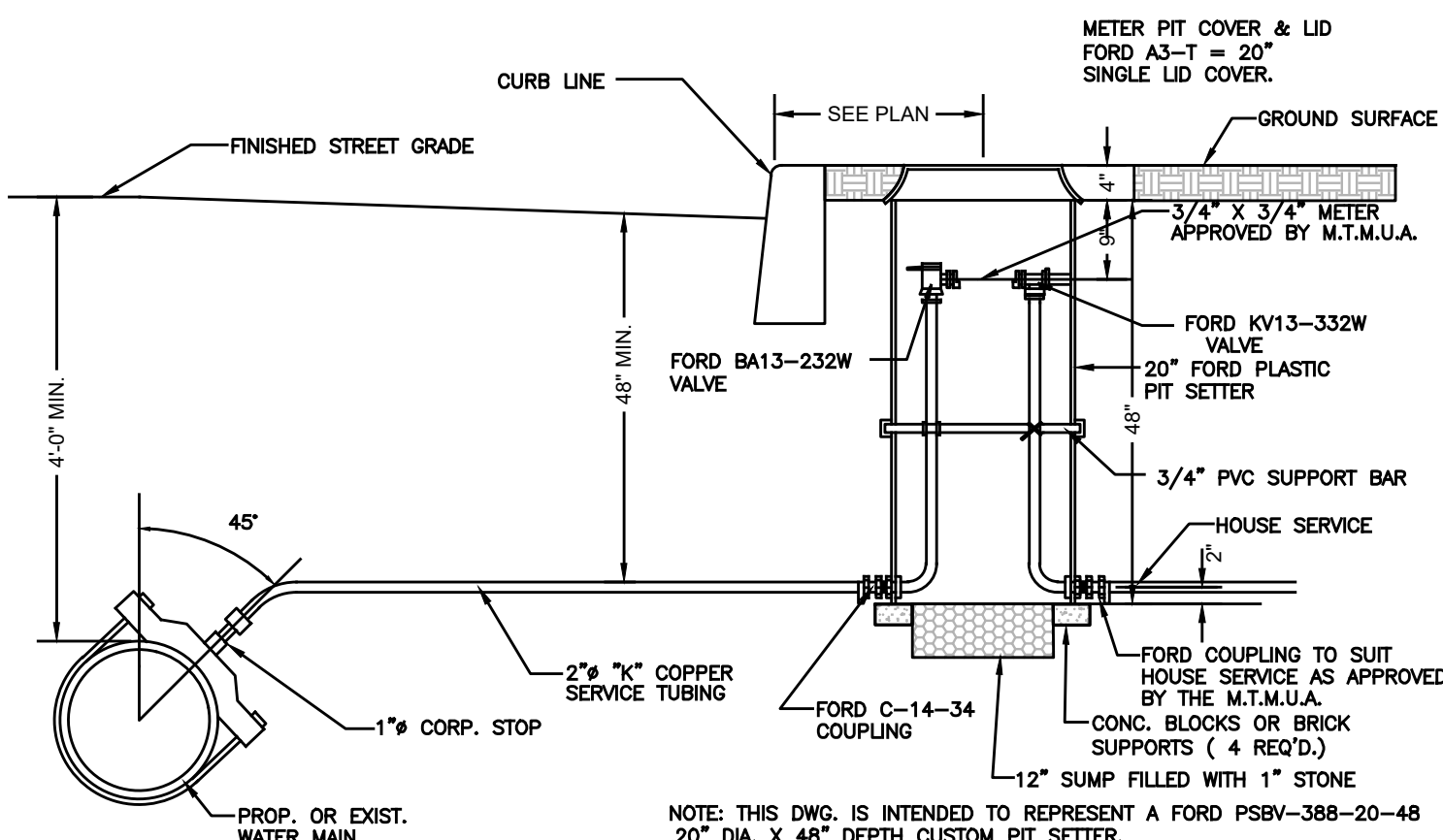
NOTE: CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE CITY ENGINEER'S OFFICE FOR PAVEMENT COLOR AND PATTERN PRIOR TO INSTALLATION.



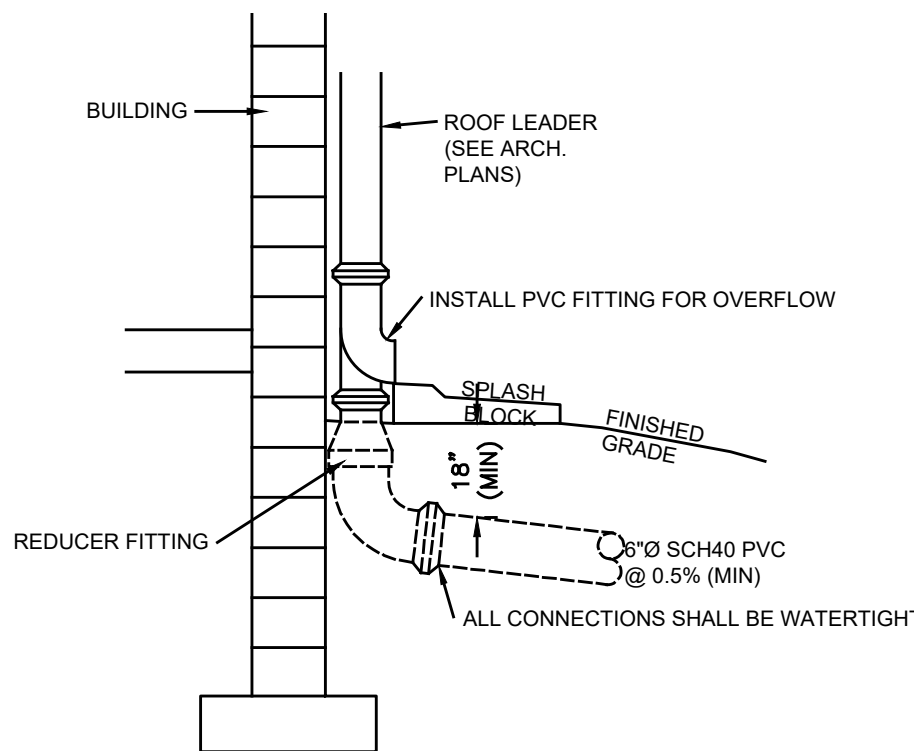
PAVEMENT SECTION
NTS



STANDARD LATERAL CONNECTION WITH CLEANOUT - SEWER DEPTH 10' OR LESS
NTS



TYPICAL SERVICE CONNECTION WITH FORD METER PIT
NTS



EXTERIOR DOWNSPOUT COLLECTOR
NTS

PROJECT INFORMATION

PROJECT NAME:

PROPOSED
MULTI -
FAMILY
RESIDENCE

PROJECT LOCATION:

BLOCK 42, LOT 1
80 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER:

60 BAY AVE HIGHLANDS, LLC
80 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT:

60 BAY AVE HIGHLANDS, LLC
80 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS:

ATTORNEY:
DONNA M. JENNINGS ESQ.
WILENTZ, GOLDMAN & SPITZER, PA
90 WOODBRIDGE CENTER DRIVE, SUITE 900
WOODBRIDGE, NJ 07095

ARCHITECT:
SALVATORE LA FERLITA, R.A.
115 UNIVERSITY DRIVE
LINCOLN, NJ 07738

SURVEYOR:
INSITE SURVEYING, LLC
1955 ROUTE 37, SUITE 1A
WALL, NJ 07719



CALL BEFORE YOU DIG!
NJ ONE CALL: 800-272-1000
(NJ One Call is a service)

ELECTRIC	RED
GAS/OIL	YELLOW
COMMUNICATION TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. MARKING	MAGENTA
PROPOSED EXCAVATION	WHITE



CERTIFICATE OF AUTHORIZATION: 24GA20803200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA
DELAWARE, CONNECTICUT, NORTH CAROLINA
COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND PAID SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED.

DOUGLAS D. CLELAND, PE
PROFESSIONAL ENGINEER
NJ PE 24605331000

REVISIONS

Rev.#	Date	Comment
12	07/25/25	PER BOARD COMMENTS
11	04/01/25	PER COUNTY
10	04/01/25	PER COUNTY
9	02/20/25	PER COUNTY
8	01/31/25	PER COUNTY REVIEW LETTER
7	01/31/25	FOR RESOLUTION COMPLIANCE
6	12/05/24	FOR PS&D
5	11/20/24	FOR RESOLUTION COMPLIANCE
4	06/05/24	FOR BOROUGH COMMENTS
3	04/09/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY
1	03/12/24	PER ARCHITECT
0	02/05/24	INITIAL RELEASE

SCALE: AS SHOWN DESIGNED BY: DDC

DATE: 02/05/24 DRAWN BY: AMC

JOB #: 23-2237-01 CHECKED BY: DDC

CAD ID: 23-2237-01r3

NOT FOR CONSTRUCTION

APPROVED BY:

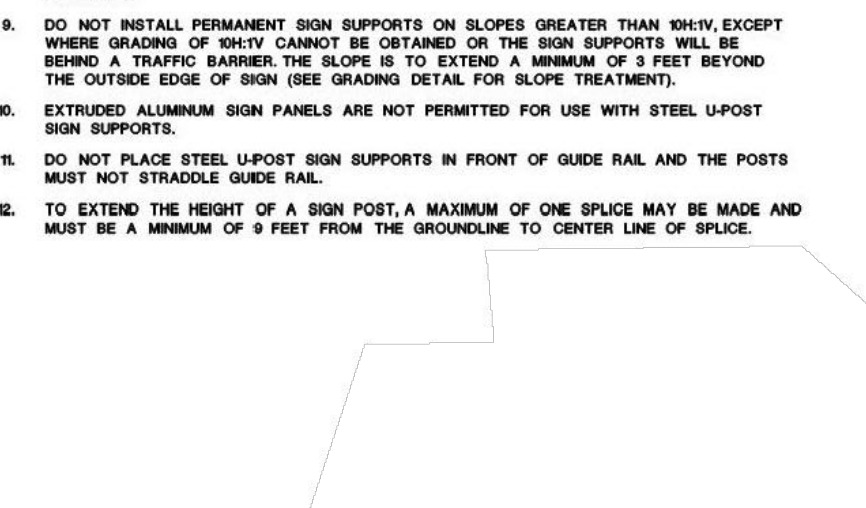
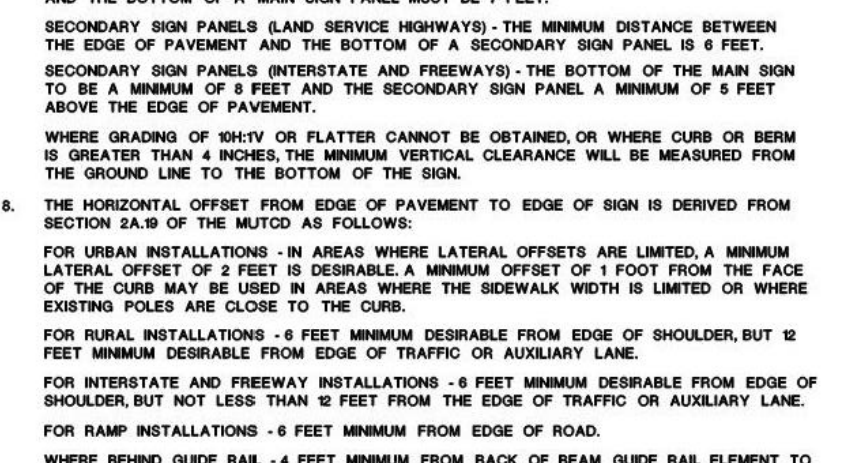
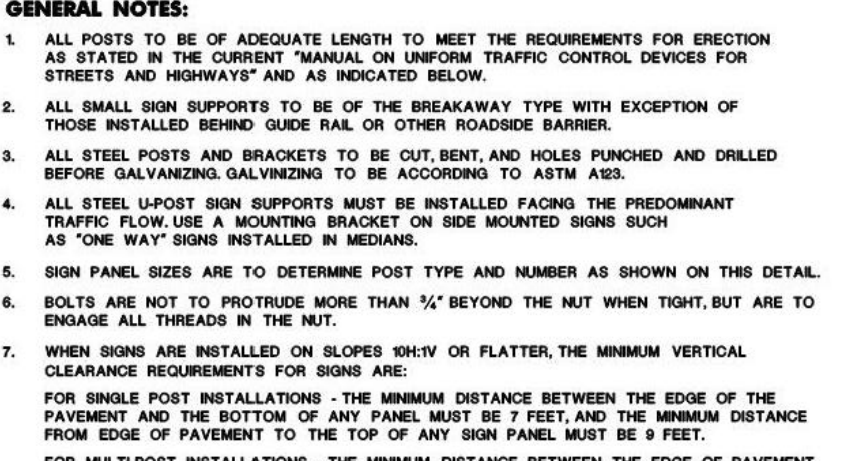
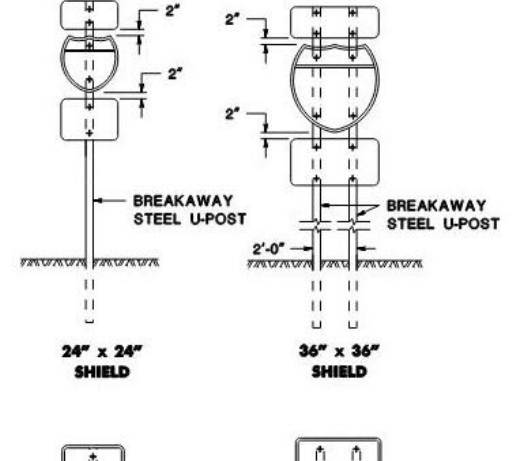
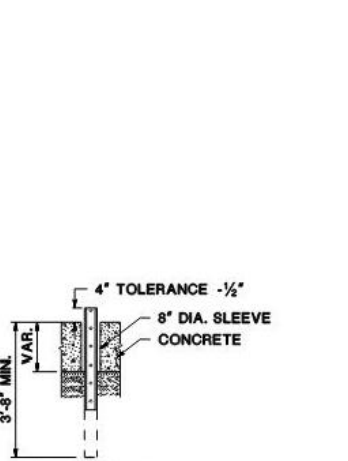
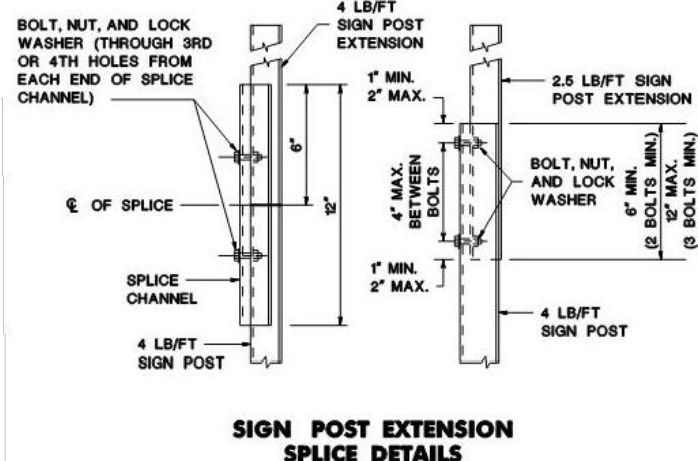
FOR CONSTRUCTION

PLAN INFORMATION

PRELIMINARY & FINAL
MAJOR SITE PLAN

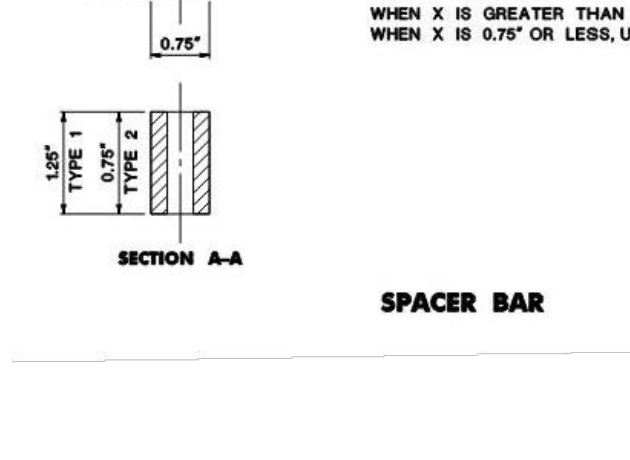
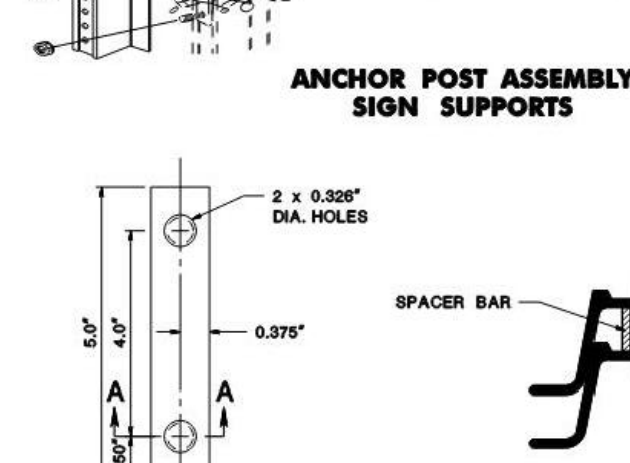
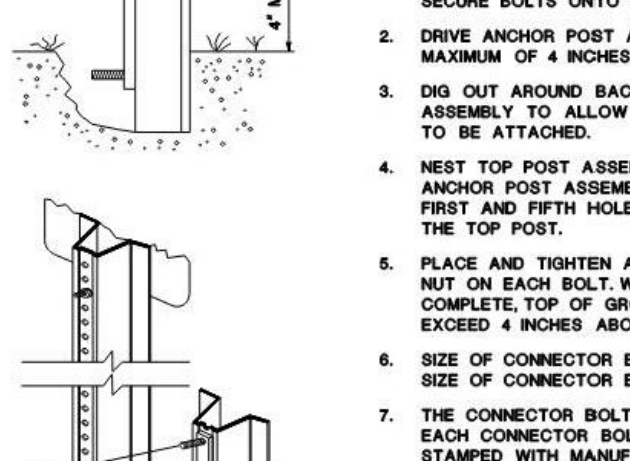
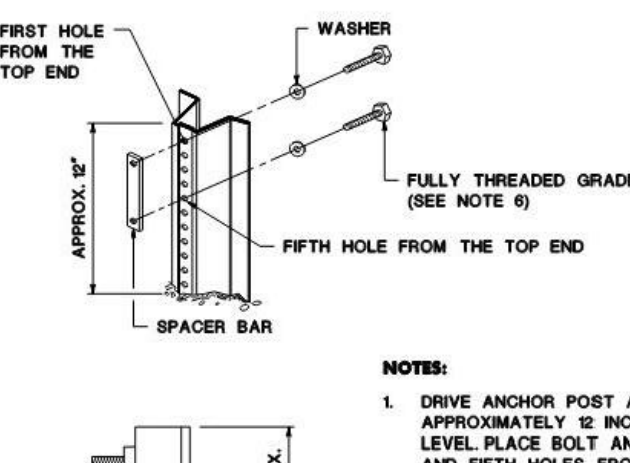
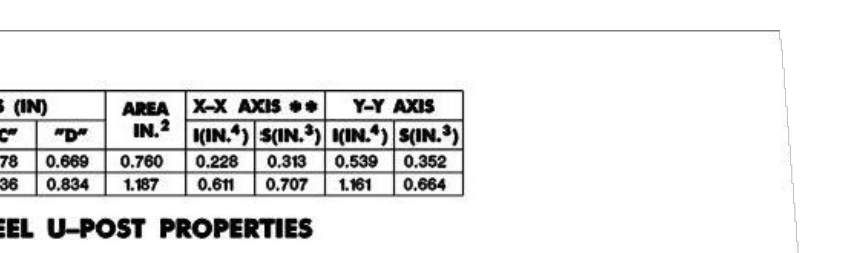
CONSTRUCTION
DETAILS

SHEET NO.: C700



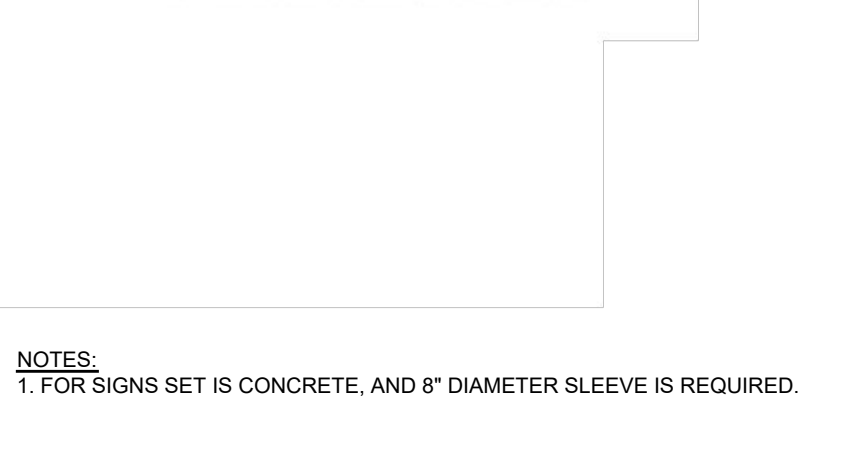
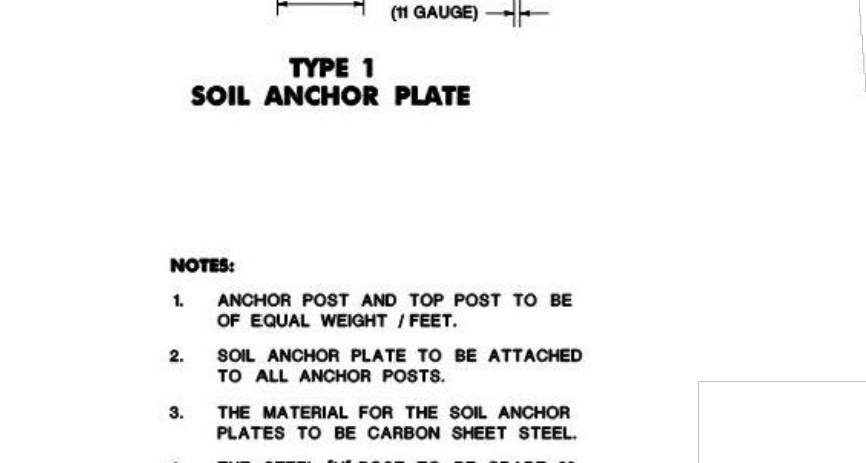
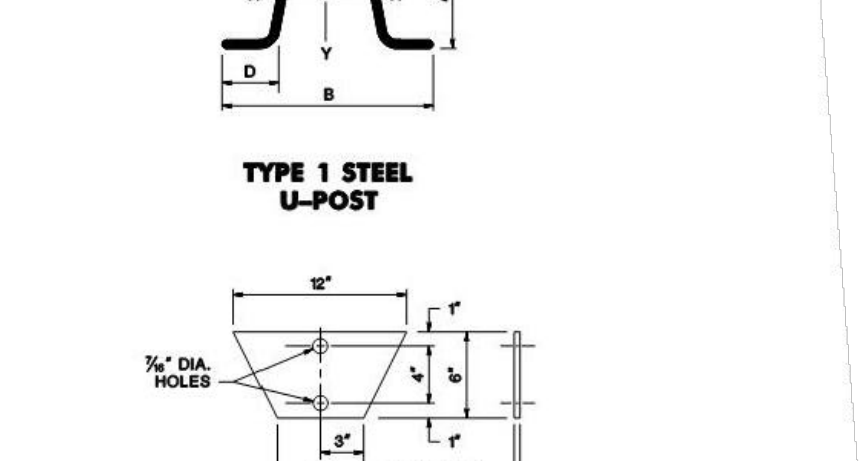
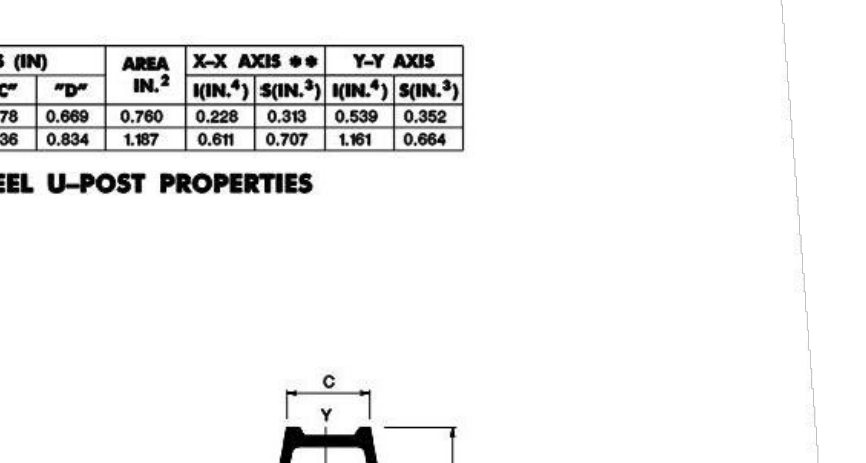
U-POST SELECTION TABLE
BREAKAWAY SIGN SUPPORT

PANEL SIZE (W x H)	# OF POSTS (U-POSTS)	PANEL SIZE (W x H)	# OF POSTS (U-POSTS)
18" x 36"	1	36" x 36"	2
24" x 24"	1	36" x 36"	2
24" x 36"	1	36" x 36"	2
24" x 36"	1	36" x 36"	2
30" x 24"	1	36" x 36"	2
30" x 30"	1	36" x 36"	2
30" x 30"	1	36" x 36"	2
36" x 36"	2	36" x 36"	2
36" x 36"	2	36" x 36"	2
36" x 36"	2	36" x 36"	2



TYPE 1 STEEL U-POST PROPERTIES
♦♦ 2%
♦♦ GOVERNING SECTION

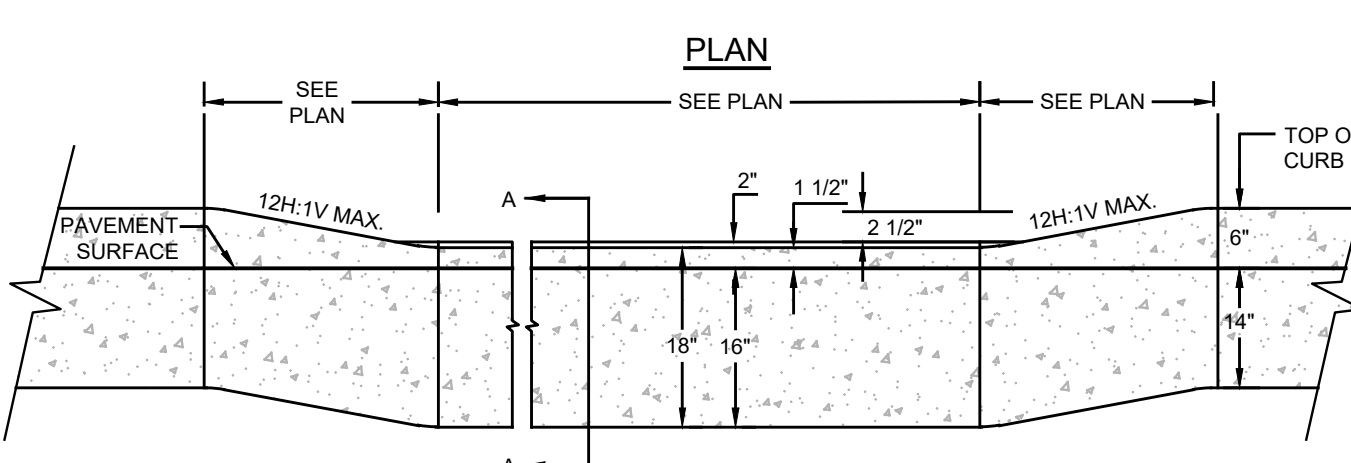
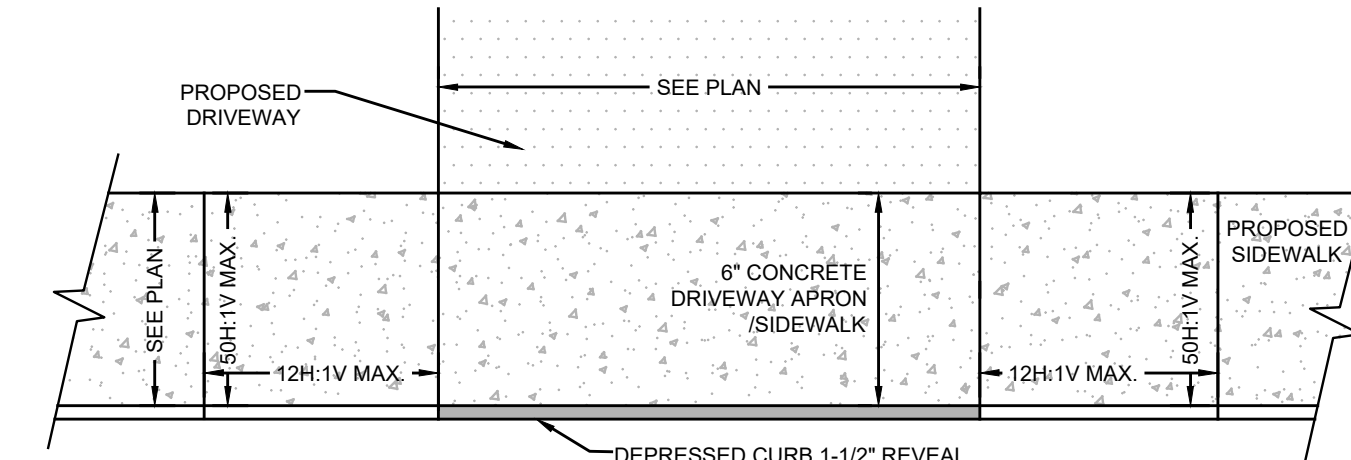
WEIGHT * LBS./FT.	DIMENSIONS (IN)				AREA	X-X AXIS ** [IN ²]	Y-Y AXIS [IN ²]
	"A"	"B"	"C"	"D"		[IN ²]	[IN ²]
2.55	1.562	0.500	1.575	0.767	0.222	0.510	0.559
4.00	1.968	3.500	1.536	0.834	1.197	0.611	0.707



STEEL U-POST SIGN SUPPORTS

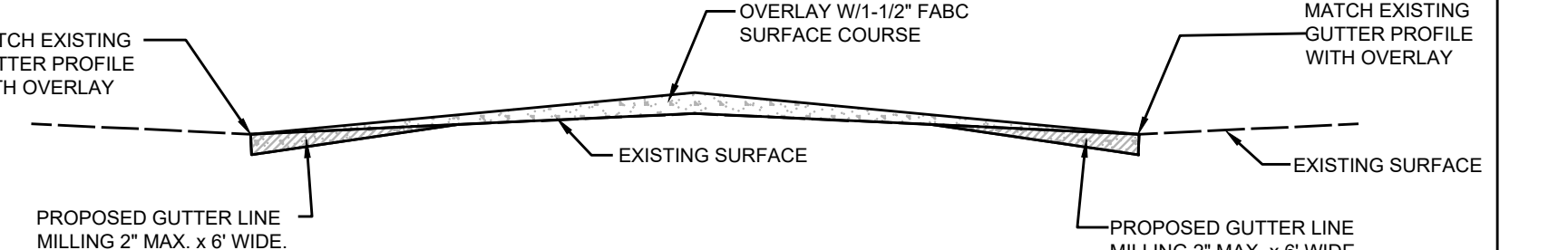
NTS

NOTES:
1. FOR SIGNS SET IN CONCRETE, AND 6" DIAMETER SLEEVE IS REQUIRED.



DEPRESSED CURB, DRIVEWAY APRON & SIDEWALK

NTS

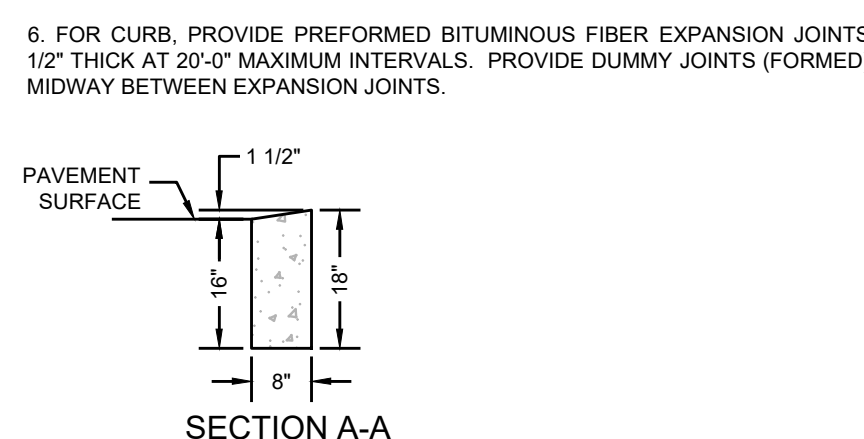


- NOTES:
1. PRIOR TO PLACEMENT OF THE SURFACE COURSE, A TACK COAT OF CUTBACK ASPHALT, GRADE RC-70 SHALL BE APPLIED AT A MINIMUM RATE OF 0.05 GAL. PER S.Y. OVER THE BASE COURSE.
 2. PRIOR TO PLACEMENT OF THE BASE COURSE, A PRIME COAT OF CUTBACK ASPHALT, GRADE MC-70 SHALL BE APPLIED AT A MINIMUM RATE OF 0.15 GAL. PER S.Y. OVER THE SUBGRADE.
 3. ALL WORKMANSHIP METHODS AND MATERIALS TO BE IN ACCORDANCE WITH N.J.D.O.T. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION."
 4. FABC LEVELING COURSE TO BE USED AS DIRECTED FOR TRENCH REPAIR AND TO MAINTAIN A MINIMUM 3" ROADWAY CROWN.
 5. CONTRACTOR SHALL EXCAVATE AND REPLACE PAVEMENT WHERE DIRECTED IF PROPOSED MILLING BREAKS THROUGH TO UNSUITABLE SUBBASE MATERIALS.

MILLING & OVERLAY CROSS SECTION

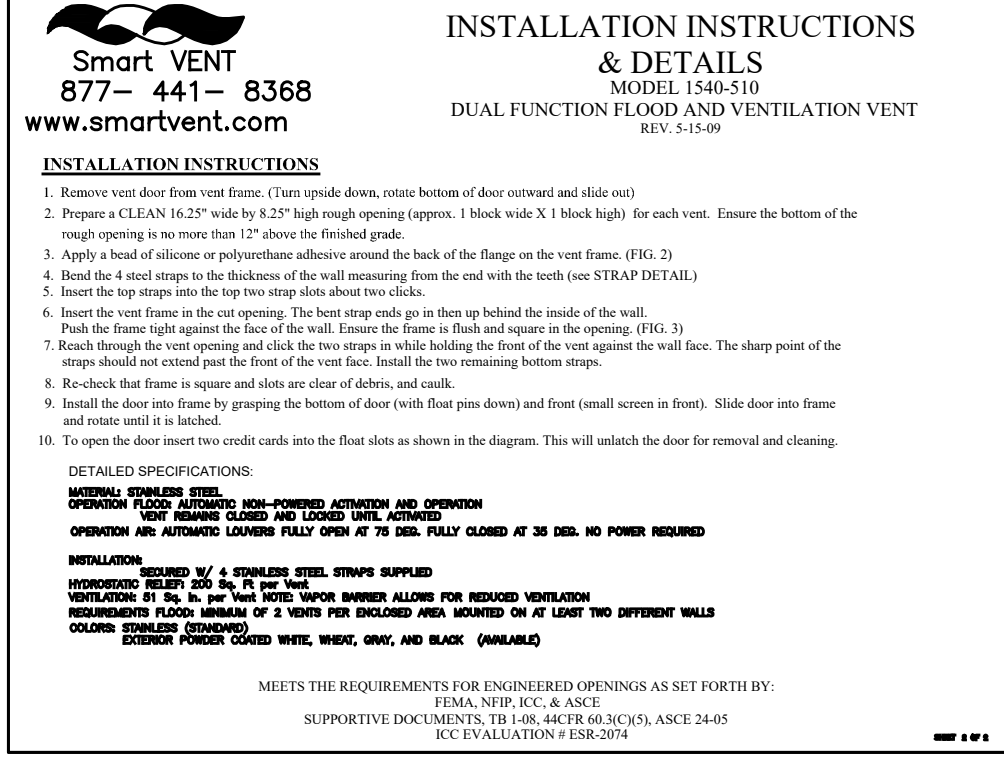
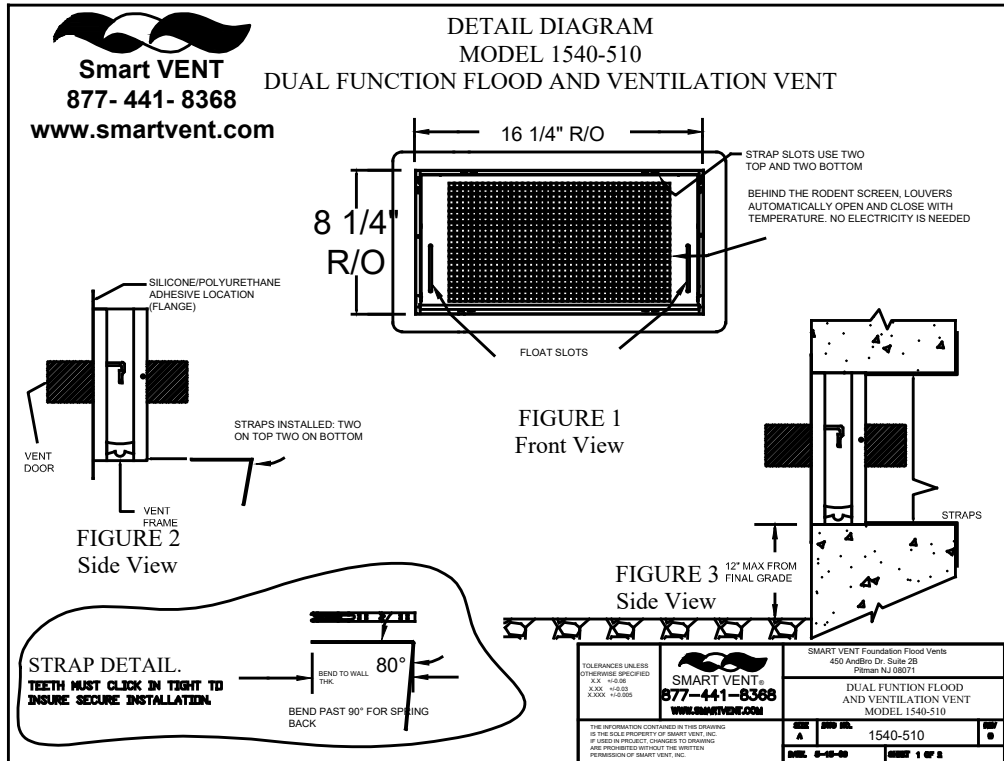
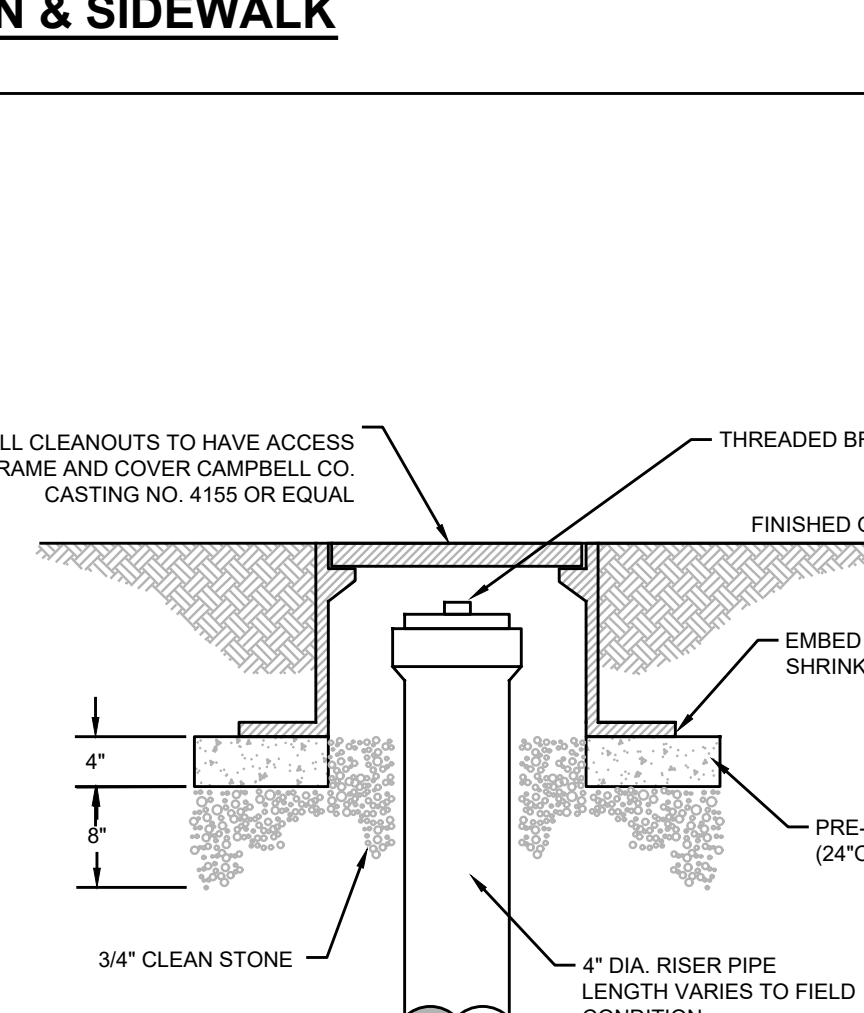
NTS

- NOTES:
1. ALL SIDEWALK AND DRIVEWAY APRON CONCRETE TO BE NJDOT CLASS "B".
 2. PROVIDE PREFORMED BITUMINOUS FIBER EXPANSION JOINTS 12" THICK AT 20'-0" (MAXIMUM) INTERVALS. PROVIDE DUMMY JOINTS AT INTERVALS EQUAL TO THE SIDEWALK WIDTH BETWEEN EXPANSION JOINTS.
 3. PROVIDE WELDED WIRE FABRIC REINFORCEMENT, TYPE 6X6=2.WX2.9 AT DRIVEWAY APRONS.
 4. CURB AND SIDEWALK SHALL BE POURED SEPARATELY.
 5. LONGITUDINAL JOINTS BETWEEN CURB AND SIDEWALK SHALL BE PREFORMED BITUMINOUS FIBER EXPANSION MATERIAL, 1/2" THICK.
 6. FOR CURB, PROVIDE PREFORMED BITUMINOUS FIBER EXPANSION JOINTS 1/2" THICK AT 20'-0" MAXIMUM INTERVALS. PROVIDE DUMMY JOINTS (FORMED) MIDWAY BETWEEN EXPANSION JOINTS.



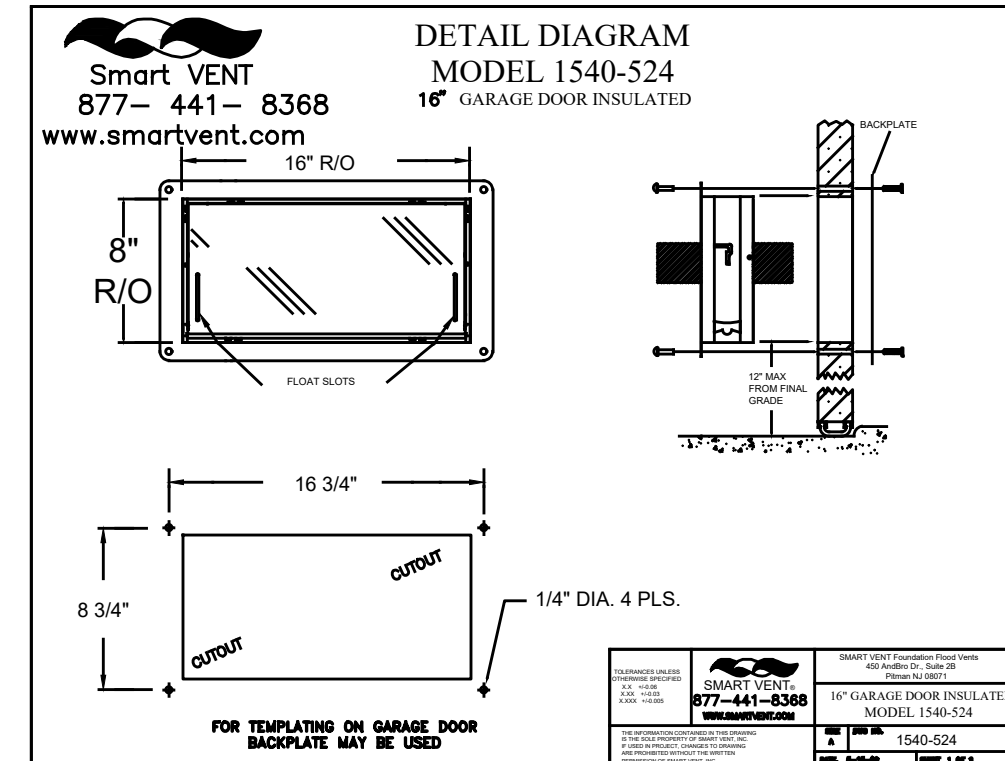
SANITARY SEWER CLEANOUT FRAME AND COVER

NTS



SMART VENT (1540-510)

NTS



SMART VENT (1540-524)

NTS

PROJECT INFORMATION

PROJECT NAME:
PROPOSED MULTI-FAMILY RESIDENCE

PROJECT LOCATION:
BLOCK 42, LOT 1
80 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER:
60 BAY AVE HIGHLANDS, LLC
80 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT:
60 BAY AVE HIGHLANDS, LLC
80 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANTS PROFESSIONALS:
ATTORNEY:
DONNA M. JENNINGS ESQ.
WILENTZ, GOLDMAN & SPITZER, PA
90 WOODBRIDGE CENTER DRIVE, SUITE 900
WOODBRIDGE, NJ 07095
ARCHITECT:
SALVATORE LA FERLITA, R.A.
115 UNIVERSITY DRIVE
LINCOLN, NJ 07738
SURVEYOR:
INSITE SURVEYING, LLC
1955 ROUTE 37, SUITE 1A
WALL, NJ 07719

INSITE ENGINEERING, LLC
SINCE 2003

CALL BEFORE YOU DIG!
NJ ONE CALL... 800-272-1000
(NJ One Call is not a guarantee)

ELECTRIC: RED
GAS: ORANGE
COMMUNICATION: YELLOW
WATER: BLUE
SEWER: GREEN
TEMP. MARKING: MAGENTA
PROPOSED EXCAVATION: WHITE

INSITE Engineering • Surveying • Planning

CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (PH) 732-531-7344 (FAX)
Insite@InsiteEng.net www.InsiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA, DELAWARE, CONNECTICUT, NORTH CAROLINA, COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND PAID SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED.

Douglas D. Clelland
DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24605331000

REVISIONS

Rev.#	Date	Comment
12	07/25/25	PER BOARD COMMENTS
11	04/10/25	PER COUNTY
10	04/01/25	PER COUNTY
9	02/26/25	PER COUNTY
8	01/31/25	PER COUNTY REVIEW LETTER
7	01/01/25	FOR RESOLUTION COMPLIANCE
6	12/05/24	FOR PSD
5	11/05/24	FOR RESOLUTION COMPLIANCE
4	06/05/24	FOR BOROUGH COMMENTS
3	04/05/24	FOR ATTORNEY
2	03/28/24	PER ATTORNEY
1	03/12/24	PER ARCHITECT
0	02/25/24	INITIAL RELEASE

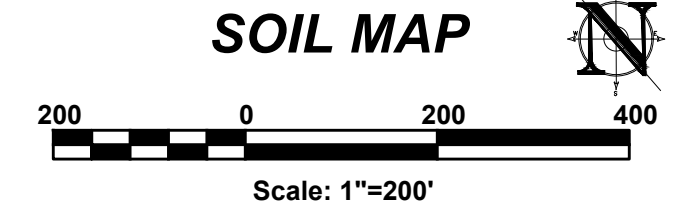
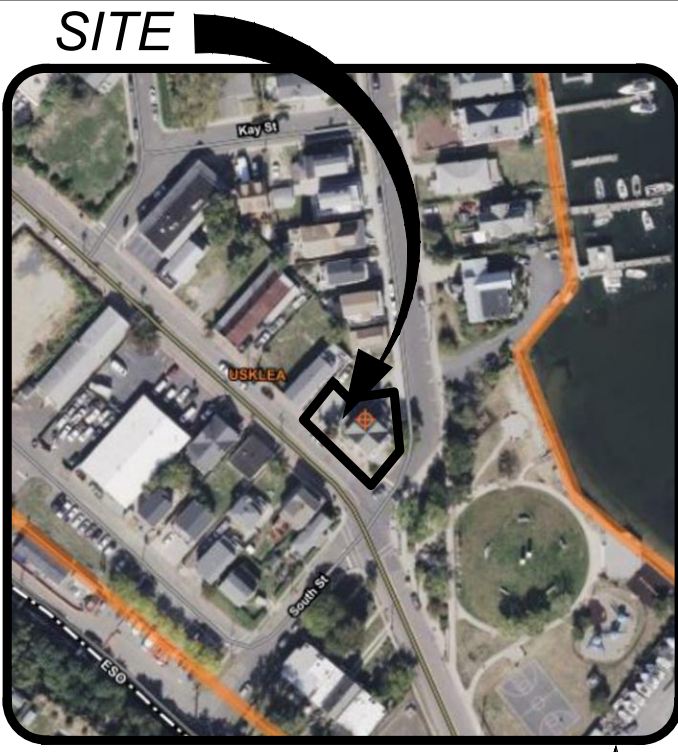
SCALE: AS SHOWN DESIGNED BY: DDC
DATE: 02/05/24 DRAWN BY: AMC
JOB #: 23-2237-01 CHECKED BY: DDC
CAD ID: 23-2237-01/3
NOT FOR CONSTRUCTION

PLAN INFORMATION

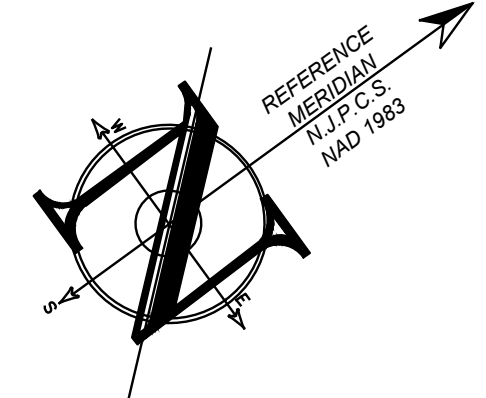
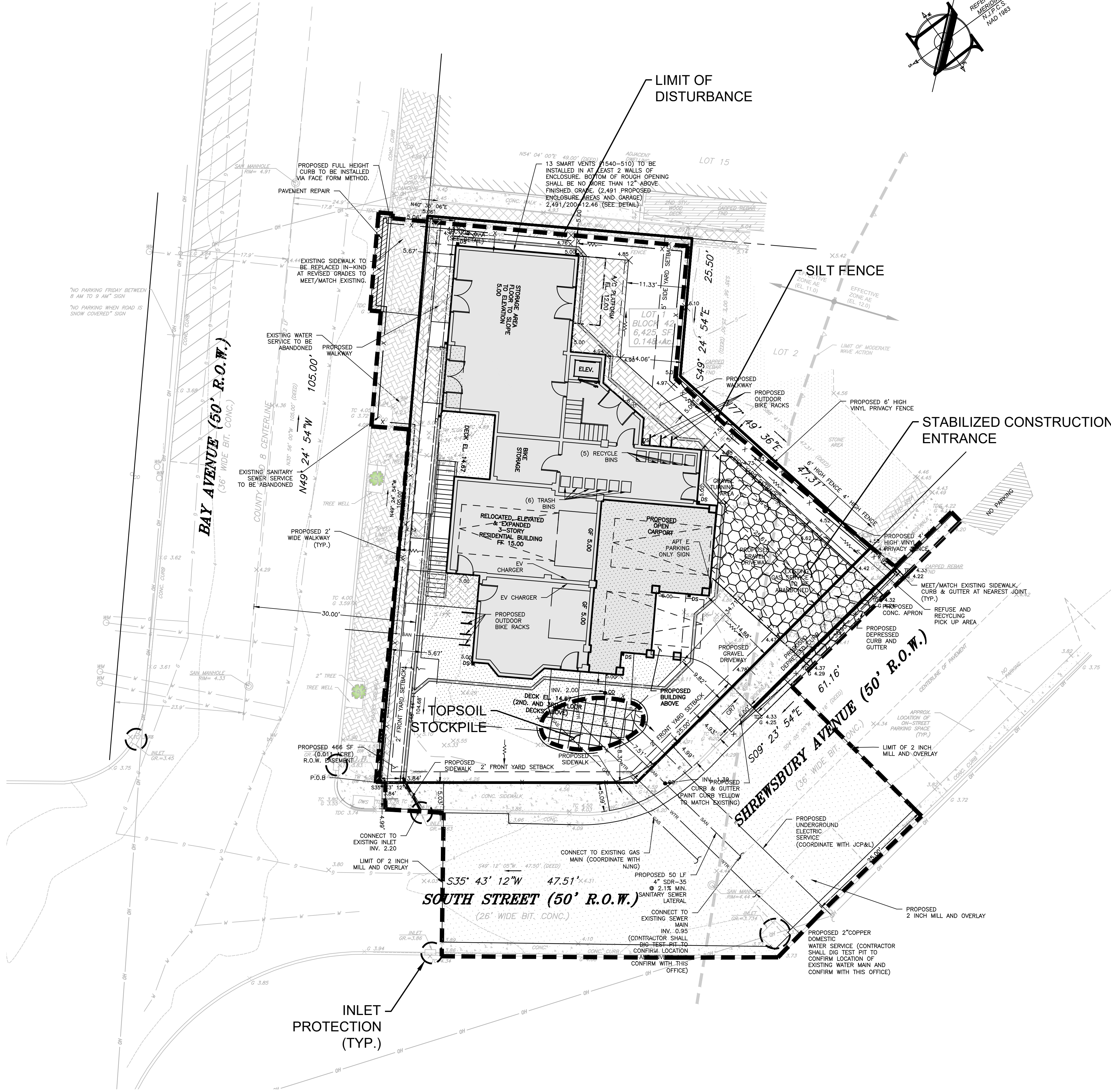
DRAWING TITLE:
PRELIMINARY & FINAL MAJOR SITE PLAN

SHEET TITLE:
CONSTRUCTION DETAILS

SHEET NO.:
C701



SOIL DESIGNATION LEGEND		
MAP UNIT SYMBOL	MAP UNIT NAME	RATING
USKLEA	URBAN LAND-KLEY COMPLEX, 0 TO 2 PERCENT SLOPES	X



PROJECT INFORMATION

PROJECT NAME: PROPOSED MULTI-FAMILY RESIDENCE

PROJECT LOCATION: BLOCK 42, LOT 1
90 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER: 60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT: 60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS:

ATTORNEY: DONNA M. JENNINGS ESQ.
WILENTZ, GOLDMAN & SPITZER, PA
90 WOODBRIDGE CENTER DRIVE, SUITE 900
WOODBRIDGE, NJ 07095

ARCHITECT: SALVATORE LA FERLITA, R.A.
115 UNIVERSITY DRIVE
LINCOLN, NJ 07738

SURVEYOR: INSITE SURVEYING, LLC
1955 ROUTE 37, SUITE 1A
WALL, NJ 07719



CALL BEFORE YOU DIG!
NJ ONE CALL: 800-272-1000
(NJ One Call is a service of the NJ Office of Emergency Management)

ELECTRIC	RED
GAS	YELLOW
COMMUNICATION	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKERS	MAGENTA
PROPOSED EXCAVATION	WHITE

INSITE
Engineering • Surveying • Planning

InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA
DELAWARE, CONNECTICUT, NORTH CAROLINA
COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED.

Douglas D. Clelland
DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24GE0331000

REVISIONS		
REV.#	DATE	COMMENT
12	07/25/25	PER BOARD COMMENTS
11	04/10/25	PER COUNTY
10	04/01/25	PER COUNTY
9	02/20/25	PER COUNTY REVIEW LETTER
8	01/31/25	FOR RESOLUTION COMPLIANCE
7	01/01/25	FOR RESOLUTION COMPLIANCE
6	12/05/24	FOR RESOLUTION COMPLIANCE
5	11/05/24	FOR RESOLUTION COMPLIANCE
4	06/05/24	PER BOROUGH COMMENTS
3	04/08/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY
1	03/12/24	PER ATTORNEY
0	02/05/24	INITIAL RELEASE
SCALE: 1"=10'		DESIGNED BY: DDC
DATE: 02/05/24		DRAWN BY: AMC
JOB #: 23-2237-01		CHECKED BY: DDC
CAD ID: 23-2237-01r3		
NOT FOR CONSTRUCTION		
APPROVED BY:		
FOR CONSTRUCTION		
PLAN INFORMATION		
DRAWING TITLE:		
PRELIMINARY & FINAL MAJOR SITE PLAN		
SHEET TITLE:		
SESC PLAN		
SHEET NO.:		
C800		

File: X:\Jobs\2327 - 60 Bay Ave Highlands, LLC\23-2237-01 - 60 Bay Avenue Highlands, NJ\2323270100.dwg (08-SESC Plan.dwg) -> 0800-SESC PLAN
Copyright: 2024, InSite Engineering, LLC, All Rights Reserved.

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE FRESHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
3. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
4. N.J.S.A. 24-29 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL. IN NEW JERSEY AND A CERTIFICATE OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.
5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO STATE STANDARD FOR STABILIZATION WITH MULCH ONLY.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STOCKPILES, STEEP SLOPES AND ROADWAY EMPALEMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
7. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION POUND. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF ONE INCH TO TWO INCH (1" - 2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10) EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
9. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY.
10. PERMANENT VEGETATION IS TO BE SEEDS OR SOODED IN ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
11. AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT THE SOIL CONDITIONS FOR VEGETATIVE GROUND COVER WILL BE MINIMIZED AND NOT INCORPORATED INTO THE SOIL. POOR SEED TO SOIL CONTACT OCCURS REDUCING SEED GERMINATION AND GROWTH. HYDROSEEDING MAY BE USED FOR AREAS TOO STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVEL OR TOO OBSTRUCTED WITH ROCKS, STUMPS, ETC.
12. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE, (OR 400 LBS/1,000 SQ. FT. OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A PH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PLANTED.
13. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
14. UNFILTERED Dewatering IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL Dewatering OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY Dewatering METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR Dewatering.
15. SHOULD THE CONTROL OF SOIL EROSION BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
16. STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5,000 SQUARE FEET IS DISTURBED.
17. ALL SOIL STOCKPILES SHALL BE SEEDED IMMEDIATELY IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
18. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

1. SITE PREPARATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 19-1.
 - B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
 - C. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 2" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
- ##### 2. SEEDED PREPARATION
- A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. LIMING RATES SHALL BE ESTABLISHED VIA SOIL TESTING. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.
 - B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
 - C. INSPECT SEEDED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE SURFACE MUST BE RETILLED IN ACCORDANCE WITH THE ABOVE.
 - D. SOILS HIGH IN SULFIDES OR HAVING A PH OF 4 OR LESS REFER TO STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, PG. 1-1.

3. SEEDING

A. TEMPORARY VEGETATIVE SEEDING COVER SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED UNIFORMLY AT A RATE OF 1 POUND PER 1,000 SF (100 LBS/AC) WITH AN OPTIMUM SEED DEPTH OF 0.5" (TWICE THE DEPTH IF SANDY SOILS), IN ACCORDANCE WITH TABLE 7-2, PAGE 7-3.

*SEEDING DATES: 2/15-5/1 AND 8/15-10/15

- A. CONVENTIONAL SEEDING: APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL, OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL, TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL.
- C. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK, OR TRAILER MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION IV MULCHING) HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. POOR SEED TO SOIL CONTACT OCCURS REDUCING SEED GERMINATION AND GROWTH. HYDROSEEDING MAY BE USED FOR AREAS TOO STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVEL OR TOO OBSTRUCTED WITH ROCKS, STUMPS, ETC.
- D. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD, WHEN PERFORMED ON THE CONTOUR. SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

4. MULCHING

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.

- A. STRAW OR HAY, UNROOTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH COVERING MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.

APPLICATION: SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 95% OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE TO 90 POUNDS WITH EACH SECTION.

ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS.

1. PEG AND TWINE: DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRIS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
2. MULCH NETTINGS: STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOVED.
3. CRIMPER (MULCH ANCHORING TOOL): A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL, SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.

4. LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR HAY OR STRAW MULCH.

- a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.

- b. USE ONE OF THE FOLLOWING:

- (1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOXIC GROWTH OF TURFGRASSES. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
- (2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION OF MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

- B. WOOD-FIBER OR PAPER-FIBER MULCH SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PROJECT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. THIS MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.
- C. PELLETED MULCH: COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDED AREA AND WATERED, FORM A MULCHMATT. PELLETED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS. SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE.

APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

1. SITE PREPARATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING.
- B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
- C. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
- D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.

2. SEEDED PREPARATION

- A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL, WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES (HTTP://NAJES.RUTGERS.EDU/CULMERS). FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.
- B. WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL, TO A DEPTH OF 4 INCHES WITH A DISC, SPRING-TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
- C. HIGH ACID PRODUCING SOILS: SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL, HAVING A PH OF 5 OR MORE, BEFORE INITIATING SEEDED PREPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH ACID-PRODUCING SOILS FOR SPECIFIC REQUIREMENTS.

3. SEEDING

(ZONE 7A)

- A. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED.

SEED MIXTURE #13 FOR LAWN AREAS

PLANTING RATE LBS/1,000 (LBS/ACRE)	
HARD FESCUE AND/OR CHEWING FESCUE	4 (11%)
PERENNIAL RYEGRASS	4 (1%)
KENTUCKY BLUEGRASS (BLEND)	1 (4%)

ACCEPTABLE SEEDING DATES: 2/1-4/30 AND 5/1-8/14

*OPTIMAL SEEDING DATES: 8/15-10/15

*SUMMER SEEDING SHALL ONLY BE CONDUCTED WHEN SITE IS IRRIGATED

SEED MIXTURE #7 FOR BASIN, SLOPE, SLOPES, AND SWALES

PLANTING RATE LBS/2,000 (LBS/ACRE)	
STRONG CREEPING RED FESCUE	3 (13%)
KENTUCKY BLUEGRASS	1 (5%)
PERENNIAL RYEGRASS	0.5 (2%)
OR REDTOP	0.25 (1%)
PLUS WHITE CLOVER	0.1 (0.5%)

ACCEPTABLE SEEDING DATES: 2/1-4/30 AND 5/1-8/14

*OPTIMAL SEEDING DATES: 8/15-10/15

*SUMMER SEEDING SHALL ONLY BE CONDUCTED WHEN SITE IS IRRIGATED

3. SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION UP TO 50% REDUCTION IN RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE INSPECTION. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVERAGE WITH THE SPECIFIED SEED MIXTURE FOR THE SEEDED AREA AND MOVED ONECE.

- A. WARM SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT HIGH TEMPERATURES, GENERALLY 850 F AND ABOVE. SEE CONTENT MATERIALS 110-7. PLANTING RATES FOR WARM-SEASON GRASSES SHALL BE THE AMOUNT OF PURE LINE SEED (PLS) AS DETERMINED BY GERMINATION TESTING RESULTS.

- B. COOL-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT TEMPERATURES BELOW 80. MANY GRASSES BECOME ACTIVE AT 650F. SEE TABLE 4-3. MIXTURES 8-20. ADJUSTMENT OF PLANTING RATE COMPENSATES FOR THE AMOUNT OF PLS IS NOT REQUIRED FOR COOL SEASON GRASSES.

- B. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL, OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDED PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.

- C. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD, WHEN PERFORMED ON THE CONTOUR. SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

- D. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK, OR TRAILER MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT-FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION IV MULCHING) HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. POOR SEED TO SOIL CONTACT OCCURS, THERE IS A REDUCED SEED GERMINATION AND GROWTH.

4. MULCHING

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.

- A. STRAW OR HAY, UNROOTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH COVERING MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.

APPLICATION: SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 85% OF THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE TO 90 POUNDS WITHIN EACH SECTION.

ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS.

1. PEG AND TWINE: DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRIS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
2. MULCH NETTINGS: STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOVED.
3. CRIMPER (MULCH ANCHORING COUNTER TOOL): A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL, SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.

4. LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCH.

- a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.

- b. USE ONE OF THE FOLLOWING:

- (1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOXIC GROWTH OF TURFGRASSES. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
- (2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION OF MULCH, DRYING AND CURING, SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A COMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

- B. WOOD-FIBER OR PAPER-FIBER MULCH SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, IN NEW JERSEY JANUARY 2016GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. THIS MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

- C. PELLETED MULCH: COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDED AREA AND WATERED, FORM A MULCHMATT. PELLETED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS. SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE.

APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

5. IRRIGATION (WHERE FEASIBLE)

IF SOIL MOISTURE IS DEFICIENT SUPPLY NEW SEEDING WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH APPLIED UP TO TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.

6. TOP DRESSING

SINCE SOIL ORGANIC MATTER CONTENT AND SLOW RELEASE NITROGEN FERTILIZER (WATER INSOLUBLE) ARE PRESCRIBED IN SECTION 2A, SEEDED PREPARATION IN THIS STANDARD, NO FOLLOW-UP OF TOP DRESSING IS MANDATORY. AN EXCEPTION MAYBE MADE WHERE GROSS NITROGEN DEFICIENCY EXISTS IN THE SOIL TO THE EXTENT THAT TURF FAILURE MAY DEVELOP. IN THAT INSTANCE, TOP DRESS WITH 10-10-10 OR EQUIVALENT AT 300 POUNDS PER ACRE OR 7 POUNDS PER 1,000 SQUARE FEET EVERY 3 TO 5 WEEKS UNTIL THE GROSS NITROGEN DEFICIENCY IN THE TURF IS MELIORATED.

7. ESTABLISHING PERMANENT VEGETATIVE STABILIZATION

THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR. THE TIMING OF SEEDING, PREPARING THE SEEDED, APPLYING NUTRIENTS, MULCH AND OTHER MANAGEMENT ARE ESSENTIAL. THE SEEDING RATES SPECIFIED IN TABLE 4-3 ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN APPLICATION RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE INSPECTION. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVER (OF THE SEEDED SPACES) AND MOVED ONECE. NOTE THIS DESIGNATION OF MOVED ONECE DOES NOT GUARANTEE THE PERMANENCY OF THE TURF SHOULD OTHER MAINTENANCE FACTORS BE NEGLECTED OR OTHERWISE MISMANAGED.

STANDARD FOR DUST CONTROL

DEFINITION

THE CONTROL OF DUST ON CONSTRUCTION SITES AND ROADS.

PURPOSE

TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCED ON-SITE AND OFF-SITE DAMAGE AND HEALTH HAZARDS AND IMPROVE TRAFFIC SAFETY.

CONDITION WHERE PRACTICE APPLIES

THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON-SITE AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. CONSULT WITH LOCAL MUNICIPAL ORDINANCES ON ANY RESTRICTION.

WATER QUALITY ENHANCEMENT

SEDIMENTS DEPOSITED AS "DUST" ARE OFTEN FINE COLLOIDAL MATERIAL, WHICH IS EXTREMELY DIFFICULT TO REMOVE FROM WATER ONCE IT BECOMES SUSPENDED. USE OF THIS STANDARD WILL HELP TO CONTROL THE GENERATION OF DUST FROM CONSTRUCTION SITES AND SUBSEQUENT BLOWING AND DEPOSITION INTO LAND, SURFACE WATER RESOURCES.

PLANNING CRITERIA

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:

MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1

VEGETATIVE COVER

TEMPORARY VEGETATIVE COVER, PG. 7-1

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, PG. 4-1, AND

PERMANENT STABILIZATION WITH SOO, PG. 6-1

SPRAY ON ADHESIVE - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

DUST CONTROL MATERIALS

MATERIALS	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12:5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON			
POLYACRYLAMIDE (PAM) - DRY SPREAD			
ADJULATED SOY BEAM SOAP STICK	NONE	COARSE SPRAY	1200

APPLY ACCORDINGLY TO MANUFACTURER'S INSTRUCTIONS, MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD PG. 26-1

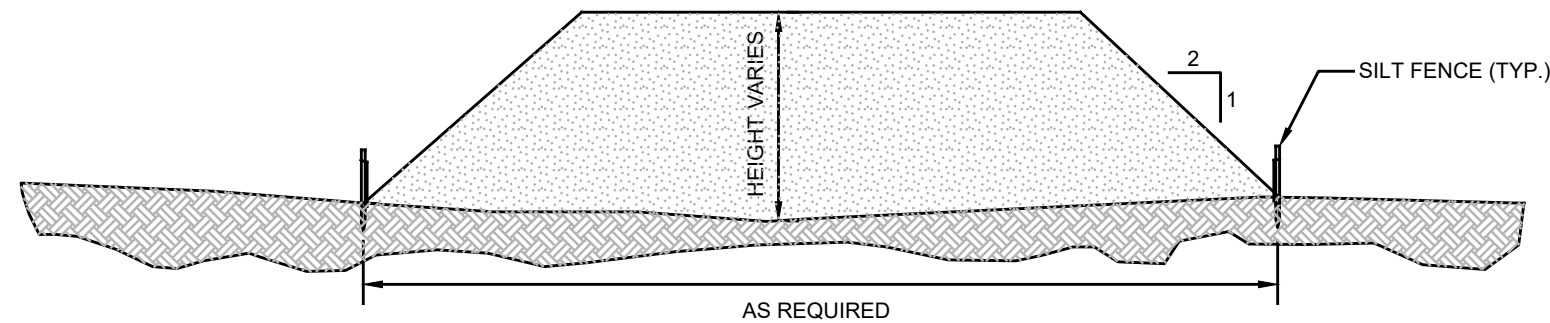
USE OF THIS STANDARD WILL HELP TO CONTROL THE GENERATION OF DUST FROM CONSTRUCTION SITES AND SUBSEQUENT BLOWING AND DEPOSITION INTO LAND, SURFACE WATER RESOURCES.

SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

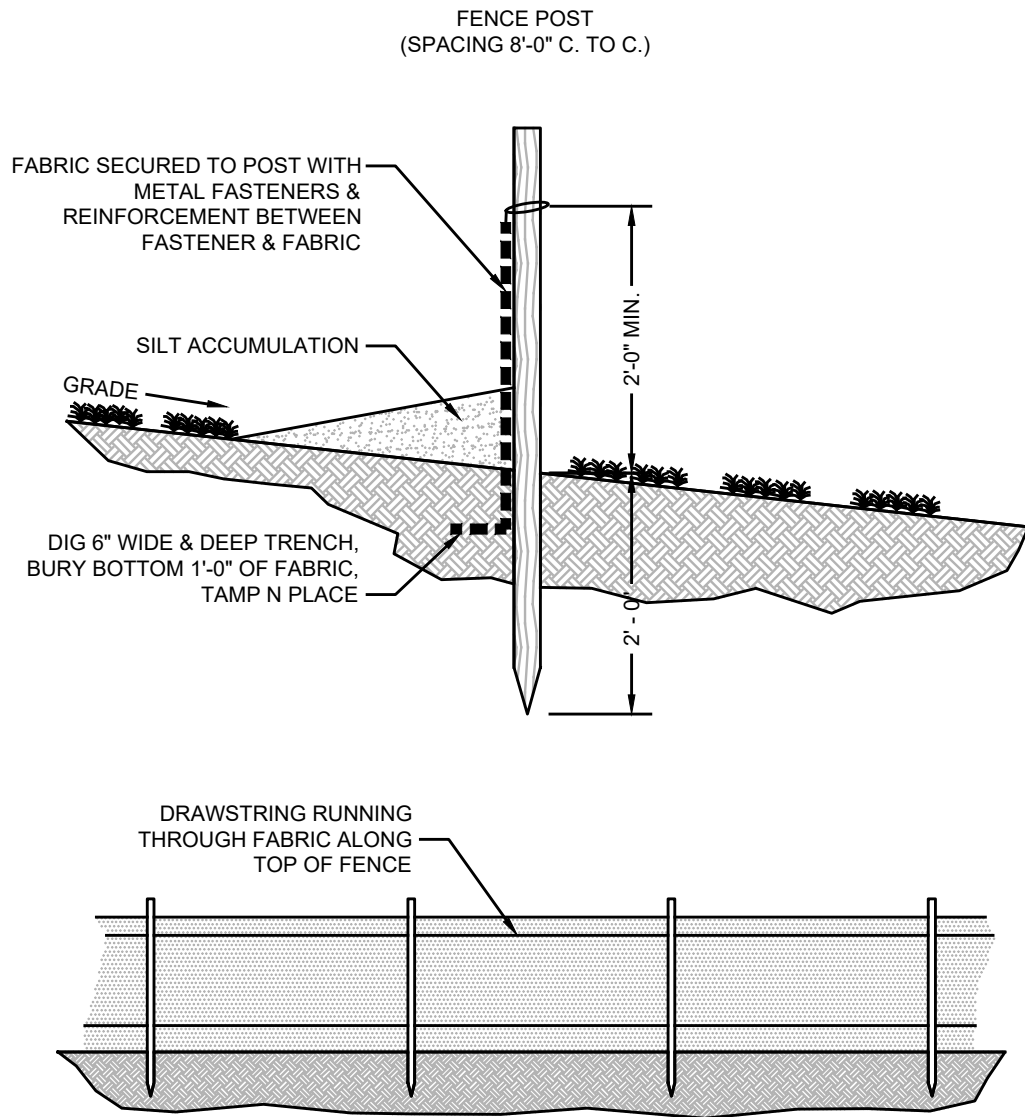
BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEEL THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IS USED ON STEEPER SLOPES THEN OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.

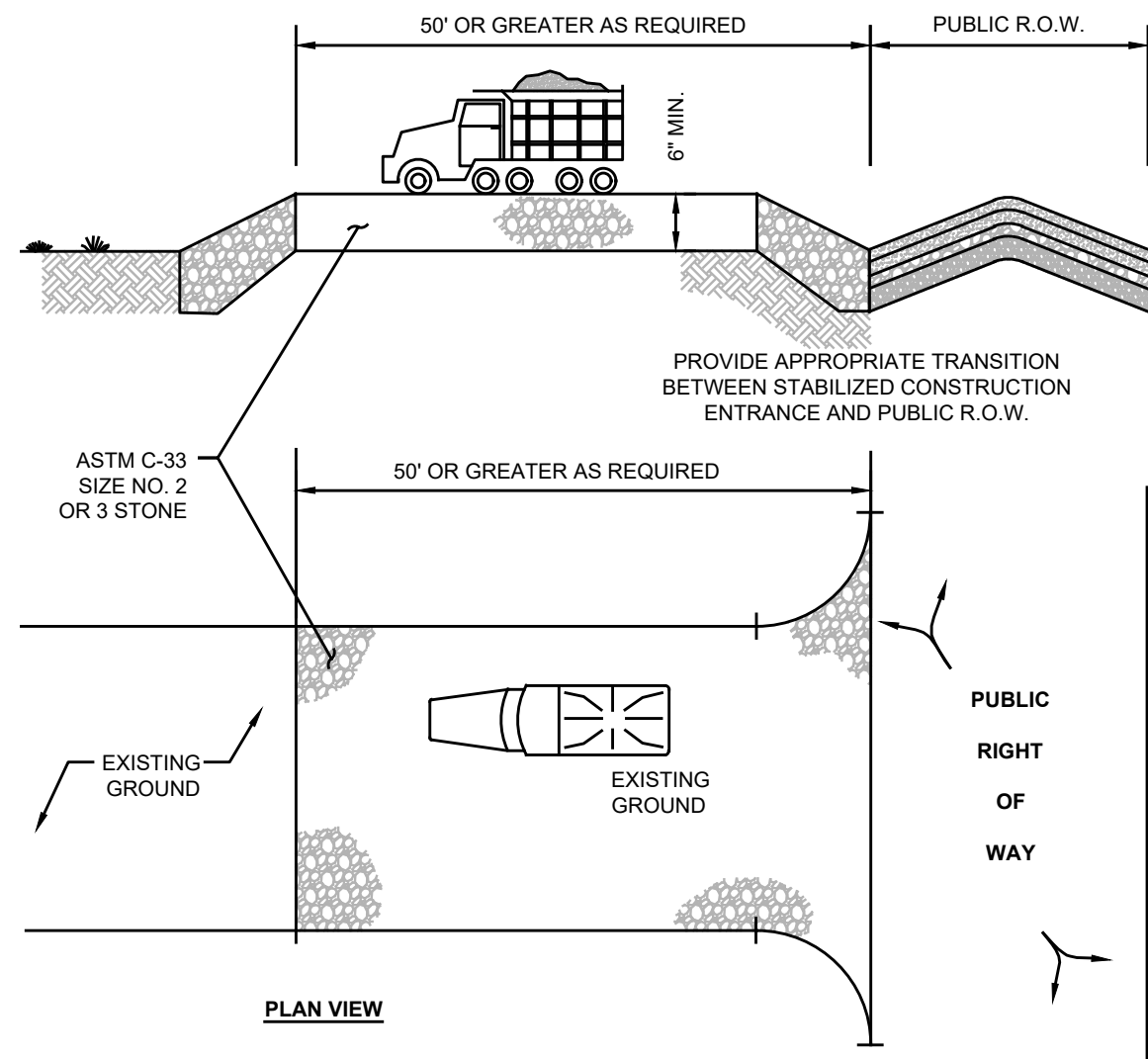
<



SECTION THROUGH SOIL STOCKPILE (TYP.)
NTS



SILT FENCE DETAIL
NTS

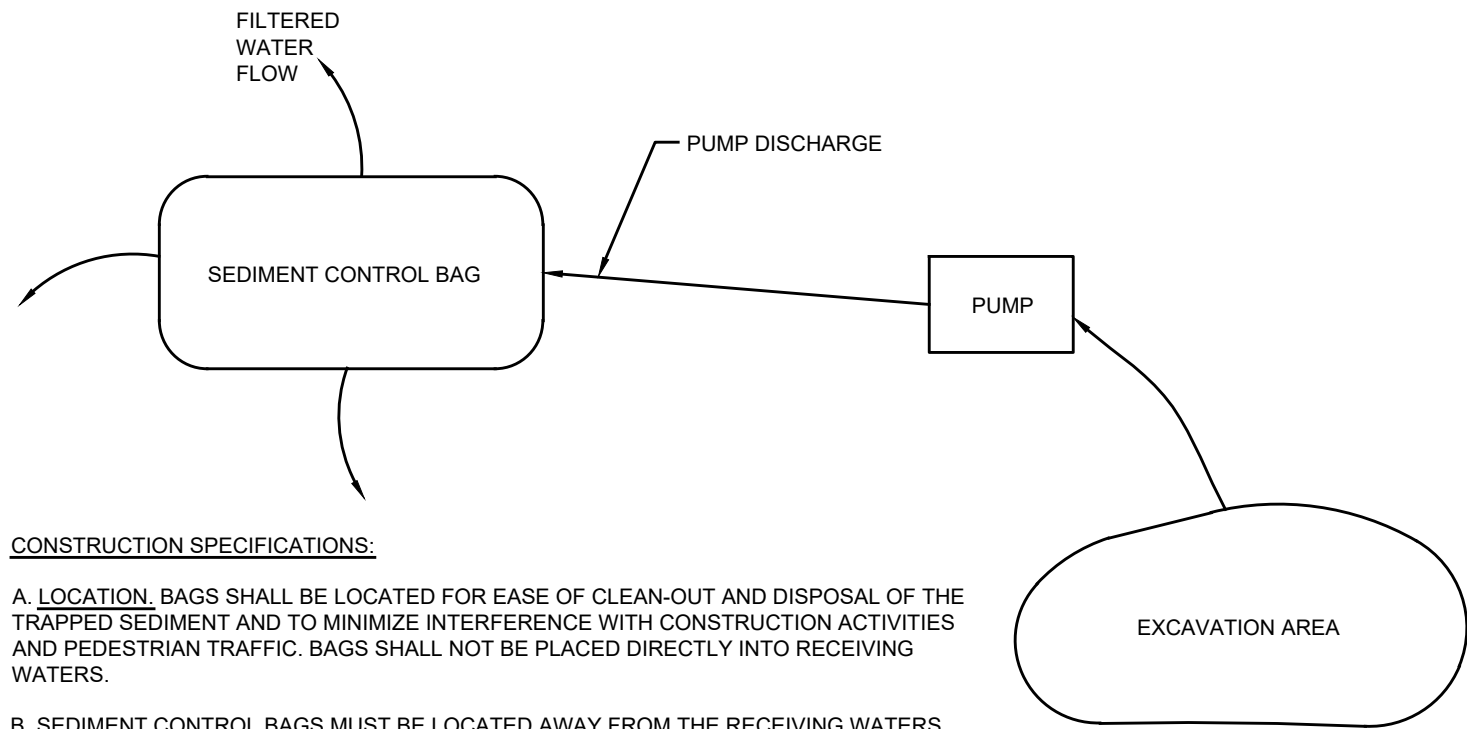


PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COURSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2 TO 5%	100 FT	200 FT
> 5%	ENTIRE SURFACE STABILIZED WITH FABC HOT MIX ASPHALT BASE COURSE, MIX 1-2'	

1. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

STABILIZED CONSTRUCTION ENTRANCE
NTS

NOTE: INDIVIDUAL LOT ACCESS POINTS MAY REQUIRE STABILIZATION. THE THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCE ONLY.

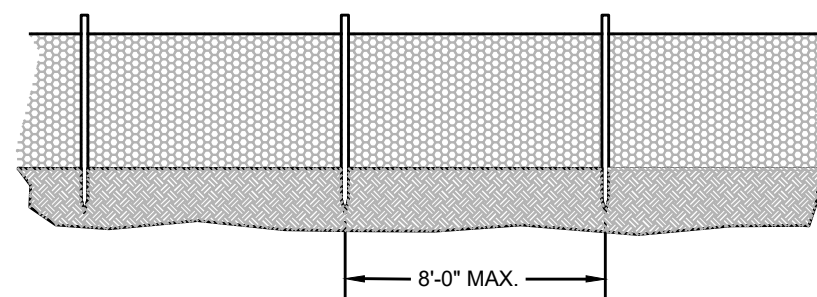
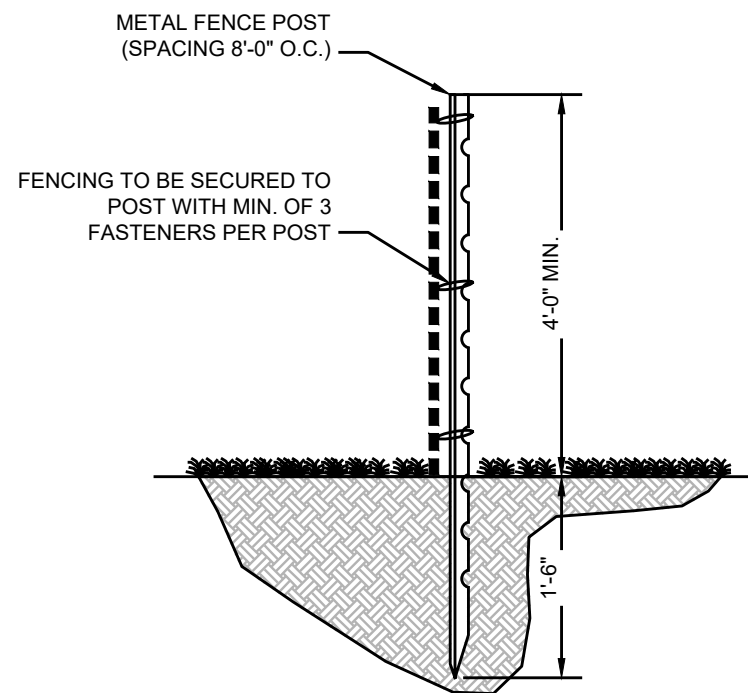


CONSTRUCTION SPECIFICATIONS:

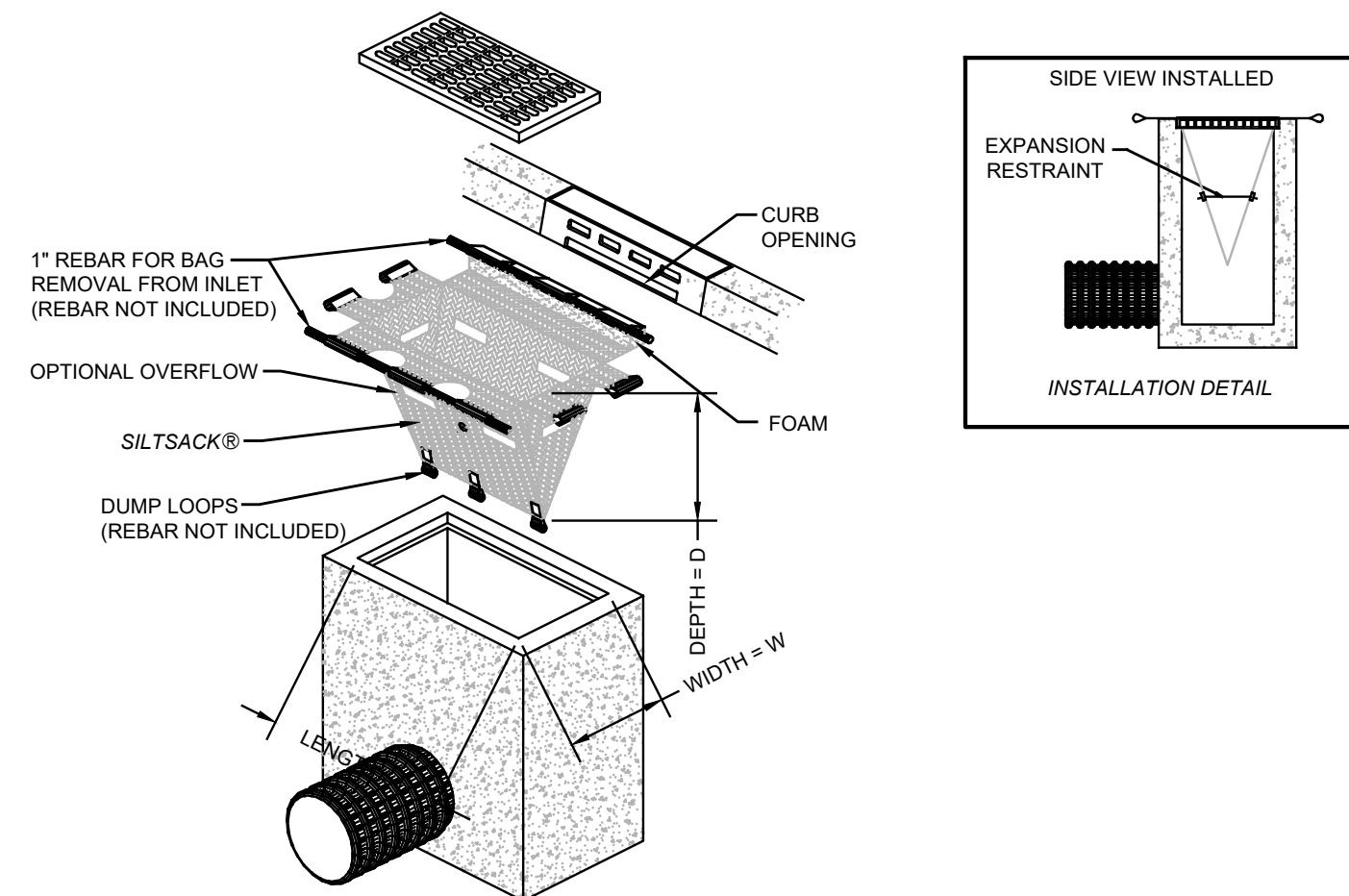
A. LOCATION. BAGS SHALL BE LOCATED FOR EASE OF CLEAN-OUT AND DISPOSAL OF THE TRAPPED SEDIMENT AND TO MINIMIZE INTERFERENCE WITH CONSTRUCTION ACTIVITIES AND PEDESTRIAN TRAFFIC. BAGS SHALL NOT BE PLACED DIRECTLY INTO RECEIVING WATERS.

B. SEDIMENT CONTROL BAGS MUST BE LOCATED AWAY FROM THE RECEIVING WATERS AND/OR CONSTRUCTION ACTIVITIES, AND DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS. BAGS MAY NOT BE REUSED.

SEDIMENT CONTROL BAG FOR DEWATERING
NOT TO SCALE



TREE PROTECTION FENCING
NTS



INLET PROTECTION DETAIL
NTS

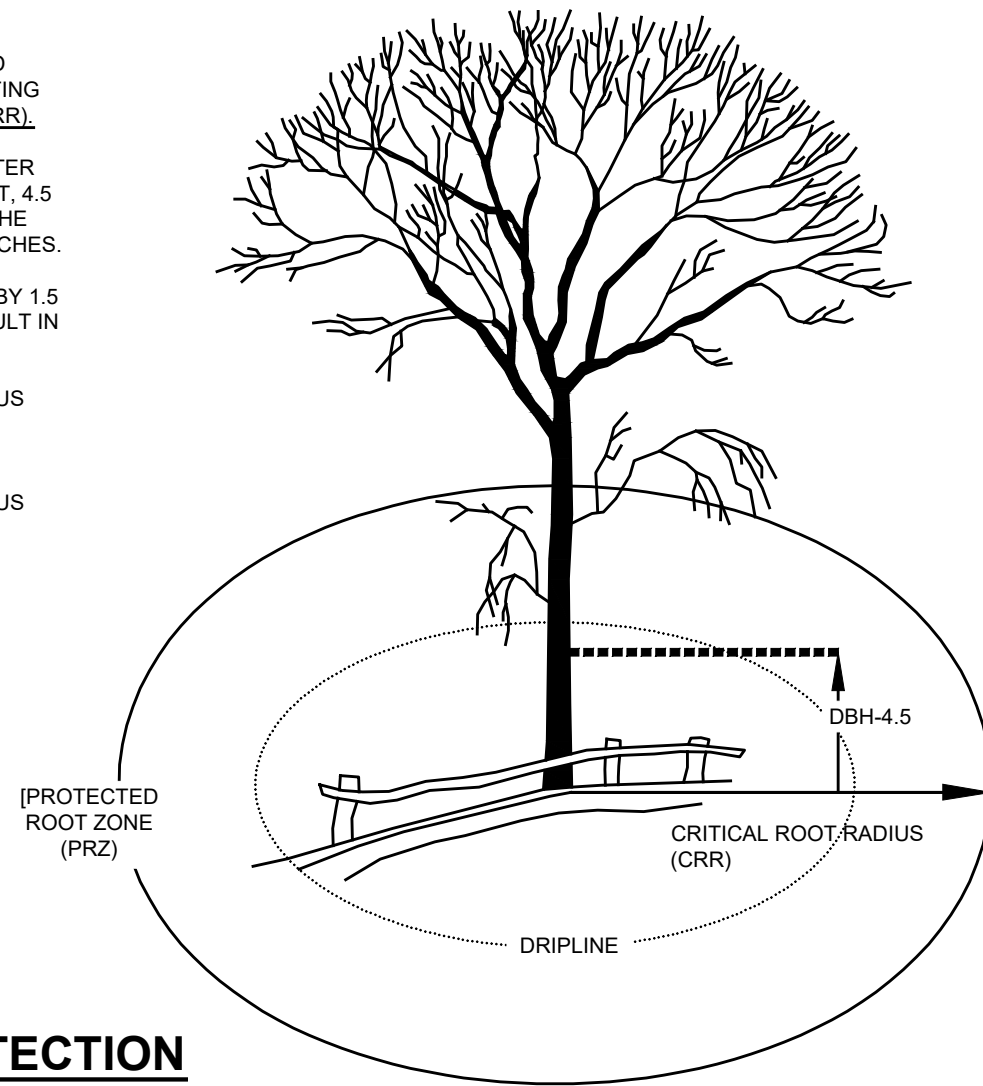
ESTIMATE A TREE'S PROTECTED ROOT ZONE (PRZ) BY CALCULATING THE CRITICAL ROOT RADIUS (CRR).

1. MEASURE THE DBH (DIAMETER OF TREE AT BREAST HEIGHT, 4.5 FEET ABOVE GROUND ON THE UPHILL SIDE OF TREE) IN INCHES.

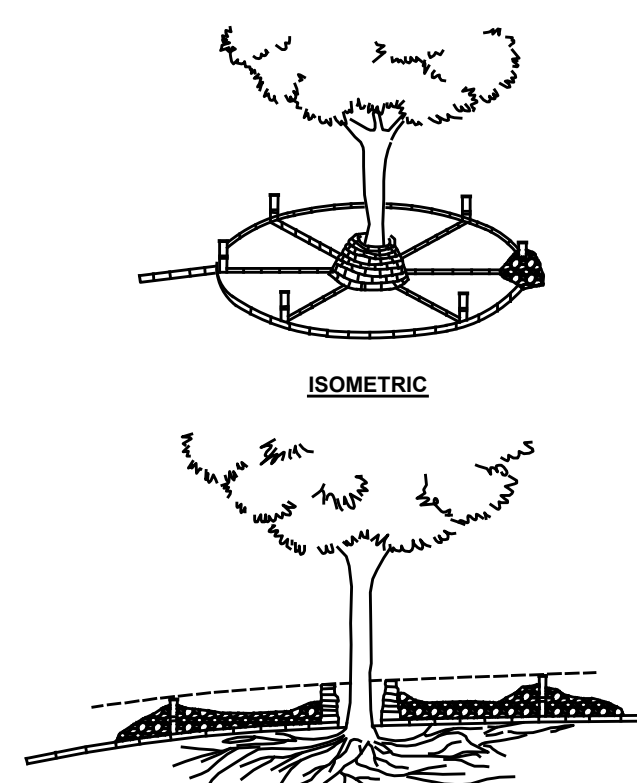
2. MULTIPLY MEASURED DBH BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET.

DBH X 1.5: CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY, OR SENSITIVE SPECIES.

DBH X 1.0: CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES.

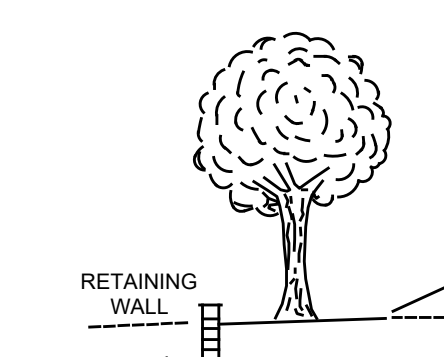
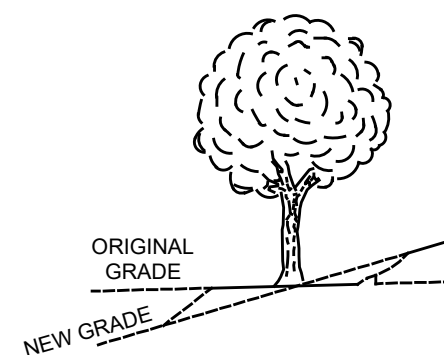


TREE ROOT PROTECTION
NTS



TREE PROTECTION
(FILL AREAS)
NTS

A RETAINING WALL PROTECTS A TREE FROM A LOWERED GRADE.



TREE PROTECTION
(CUT AREAS)
NTS

PROJECT INFORMATION

PROJECT NAME:

**PROPOSED
MULTI -
FAMILY
RESIDENCE**

PROJECT LOCATION:

BLOCK 42, LOT 1
80 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER:

60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT:

60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

ATTORNEY:

DONNA M. JENNINGS ESQ.
WILENTZ, GOLDMAN & SPITZER, PA
90 WOODBRIDGE CENTER DRIVE, SUITE 900
WOODBRIDGE, NJ 07095

ARCHITECT:

SALVATORE LA FERLITA, R.A.
115 UNIVERSITY DRIVE
LINCOLN, NJ 07738

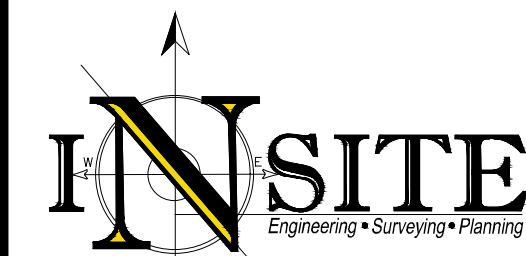
SURVEYOR:

INSITE SURVEYING, LLC
1955 ROUTE 37, SUITE 1A
WALL, NJ 07719



CALL BEFORE YOU DIG!
NJ ONE CALL... 800-272-1000
(NJ One Call is a service of InSite Engineering, LLC)

ELECTRIC	RED
GAS/OIL	YELLOW
COMMUNICATION, TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE



InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA
DELAWARE, CONNECTICUT, NORTH CAROLINA
COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED.

Douglas D. Clelland
DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24GE0331000

REVISIONS

Rev.#	Date	Comment
12	07/25/25	PER BOARD COMMENTS
11	04/10/25	PER COUNTY
10	04/01/25	PER COUNTY
9	02/20/25	PER COUNTY
8	01/31/25	PER COUNTY REVIEW LETTER
7	01/31/25	FOR RESOLUTION COMPLIANCE
6	12/05/24	FOR PS&D
5	11/05/24	FOR RESOLUTION COMPLIANCE
4	06/05/24	PER BOROUGH COMMENTS
3	04/05/24	PER ATTORNEY
2	03/28/24	PER ARCHITECT
1	03/12/24	INITIAL RELEASE
0	02/05/24	

SCALE: AS SHOWN DESIGNED BY: DDC
DATE: 02/05/24 DRAWN BY: AMC
JOB #: 23-2237-01 CHECKED BY: DDC
CAD ID: 23-2237-01r3

☒ NOT FOR CONSTRUCTION
☐ FOR CONSTRUCTION

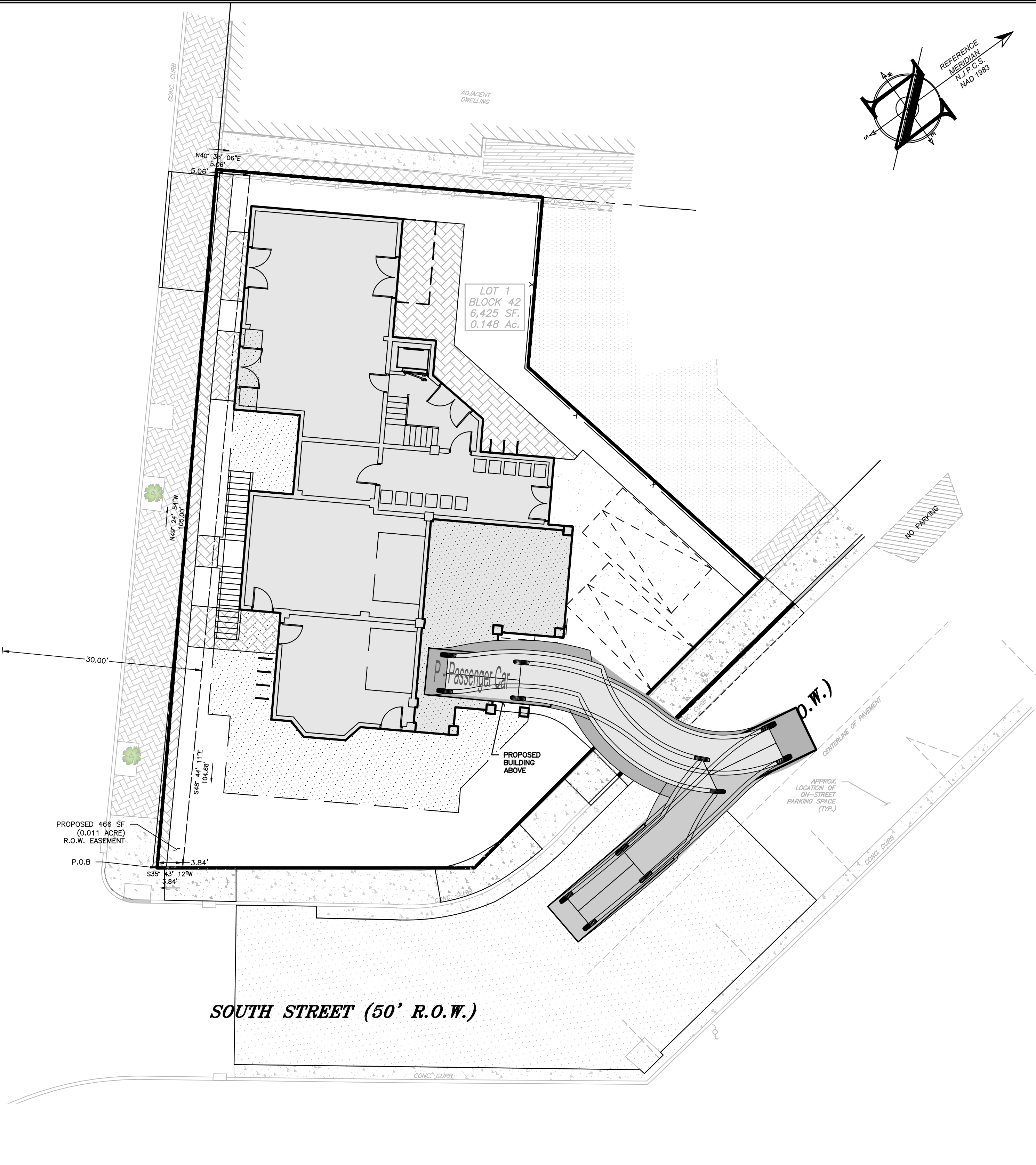
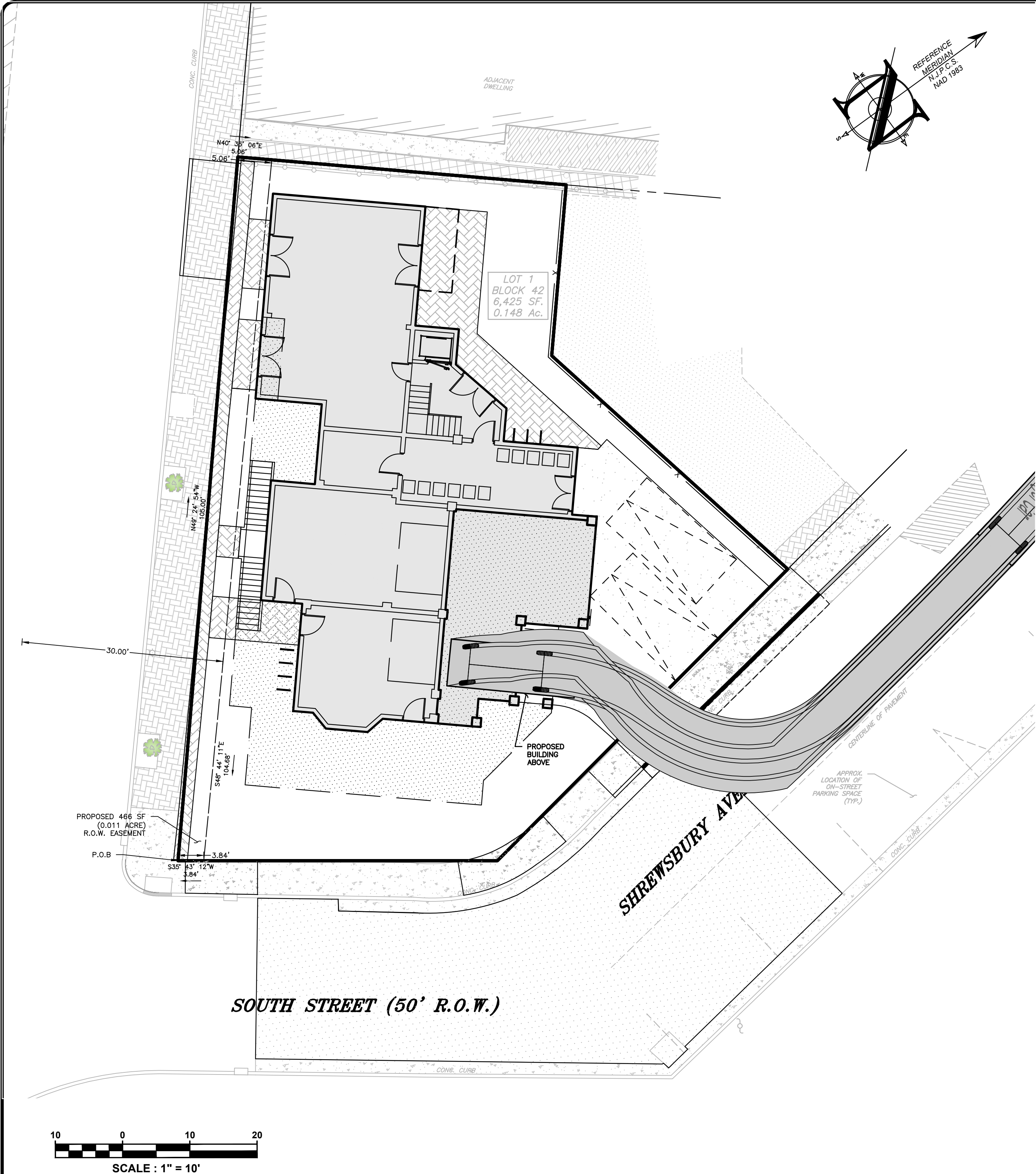
APPROVED BY:
PLAN INFORMATION

DRAWING TITLE:
**PRELIMINARY & FINAL
MAJOR SITE PLAN**

SHEET TITLE:
SESC DETAILS

SHEET NO.:
C802

File: X:\data\2327 - 60 Bay Ave Highlands, LLC\23-2237-01 - 60 Bay Avenue Highlands, NJ\23-2237-01.dwg (D-Turning Movement) -> 0000 ATR01 ATR02
Copyright 2024, InSite Engineering, LLC, All Rights Reserved.



SEE SHEET C101 FOR PLAN NOTES

LEGEND

EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

REVISIONS

Rev. #	Date	Comment
12	07/25/25	PER BOARD COMMENTS
11	04/10/25	PER COUNTY
10	04/01/25	PER COUNTY
9	02/20/25	PER COUNTY
8	01/31/25	PER COUNTY REVIEW LETTER
7	01/31/25	FOR RESOLUTION COMPLIANCE
6	12/05/24	FOR PSOD
5	11/20/24	FOR RESOLUTION COMPLIANCE
4	06/05/24	FOR BOROUGH COMMENTS
3	04/08/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY
1	03/12/24	PER ARCHITECT
0	02/05/24	INITIAL RELEASE

SCALE: 1"=10'

DESIGNED BY: DDC

DATE: 02/05/24

DRAWN BY: AMC

JOB #: 23-2237-01

CHECKED BY: DDC

CAD ID: 23-2237-01r3

☒ NOT FOR CONSTRUCTION

APPROVED BY:

FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:

PRELIMINARY & FINAL
MAJOR SITE PLAN

SHEET TITLE:

CIRCULATION PLAN

SHEET NO.:

C900

PROJECT INFORMATION

PROJECT NAME: **PROPOSED MULTI-FAMILY RESIDENCE**

PROJECT LOCATION: BLOCK 42, LOT 1
60 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER: **60 BAY AVE HIGHLANDS, LLC**
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT: **60 BAY AVE HIGHLANDS, LLC**
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

ATTORNEY: **DONNA M. JENNINGS ESQ.**
WILENTZ, GOLDMAN & SPITZER, PA
90 WOODBRIDGE CENTER DRIVE, SUITE 900
WOODBRIDGE, NJ 07095

ARCHITECT: **SALVATORE LA FERLITA, R.A.**
115 UNIVERSITY DRIVE
LINCOLN, NJ 07738

SURVEYOR: **INSITE SURVEYING, LLC**
1955 ROUTE 37, SUITE 1A
WALL, NJ 07719

INSITE ENGINEERING, LLC
SINCE 2003

CALL BEFORE YOU DIG!
NJ ONE CALL: 800-272-1000
(www.onecallnj.com)

ELECTRIC	RED
GAS/OIL	YELLOW
COMMUNICATION TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

INSITE
Engineering • Surveying • Planning

InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA
DELAWARE, CONNECTICUT, NORTH CAROLINA
COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE
AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL
AND MAY HAVE BEEN ALTERED

Douglas D. Clelland
DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24GE0331000

REVISIONS

Rev. #	Date	Comment
12	07/25/25	PER BOARD COMMENTS
11	04/10/25	PER COUNTY
10	04/01/25	PER COUNTY
9	02/20/25	PER COUNTY
8	01/31/25	PER COUNTY REVIEW LETTER
7	01/31/25	FOR RESOLUTION COMPLIANCE
6	12/05/24	FOR PSOD
5	11/20/24	FOR RESOLUTION COMPLIANCE
4	06/05/24	FOR BOROUGH COMMENTS
3	04/08/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY
1	03/12/24	PER ARCHITECT
0	02/05/24	INITIAL RELEASE

SCALE: 1"=10'

DESIGNED BY: DDC

DATE: 02/05/24

DRAWN BY: AMC

JOB #: 23-2237-01

CHECKED BY: DDC

CAD ID: 23-2237-01r3

☒ NOT FOR CONSTRUCTION

APPROVED BY:

FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:

PRELIMINARY & FINAL
MAJOR SITE PLAN

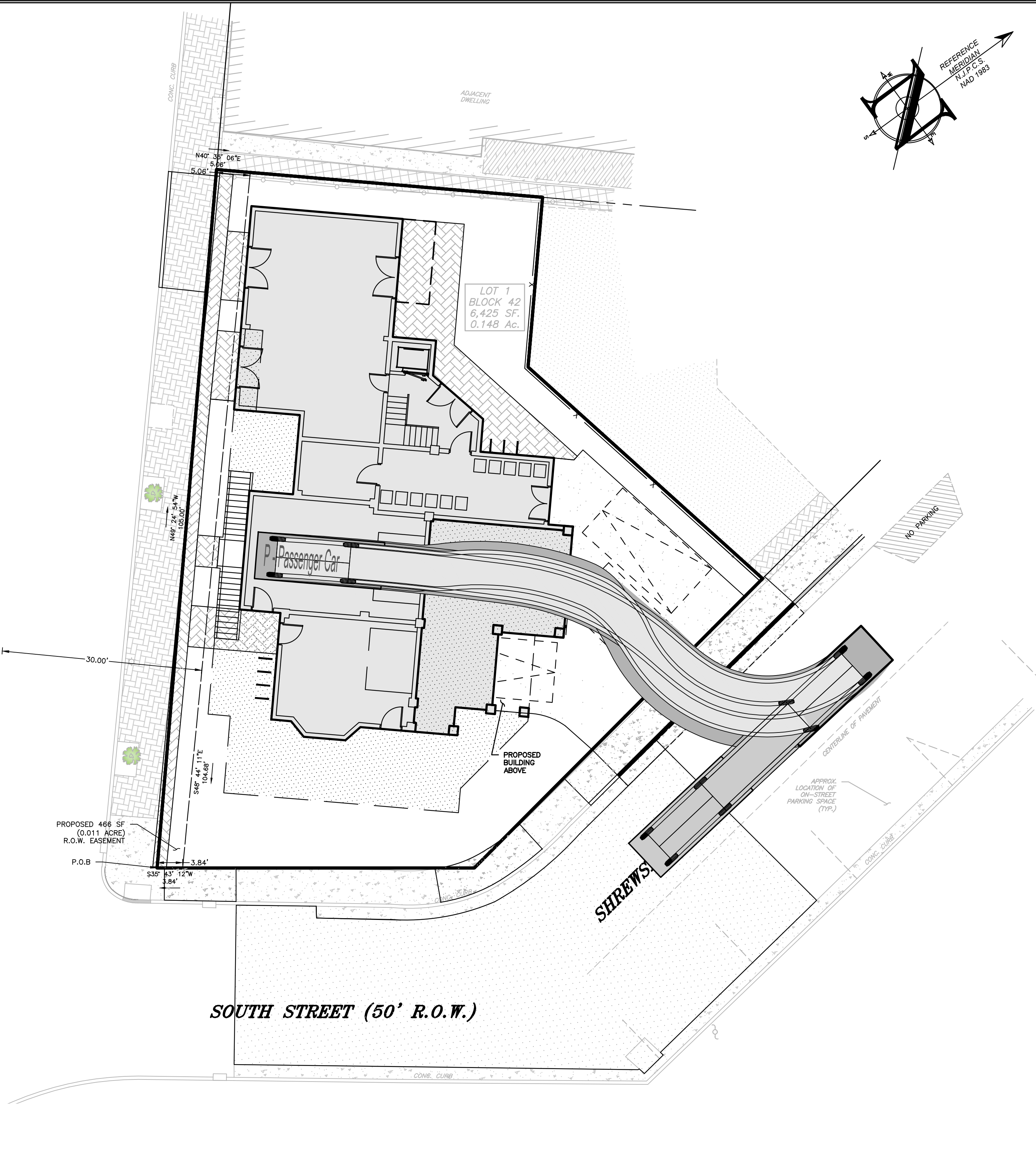
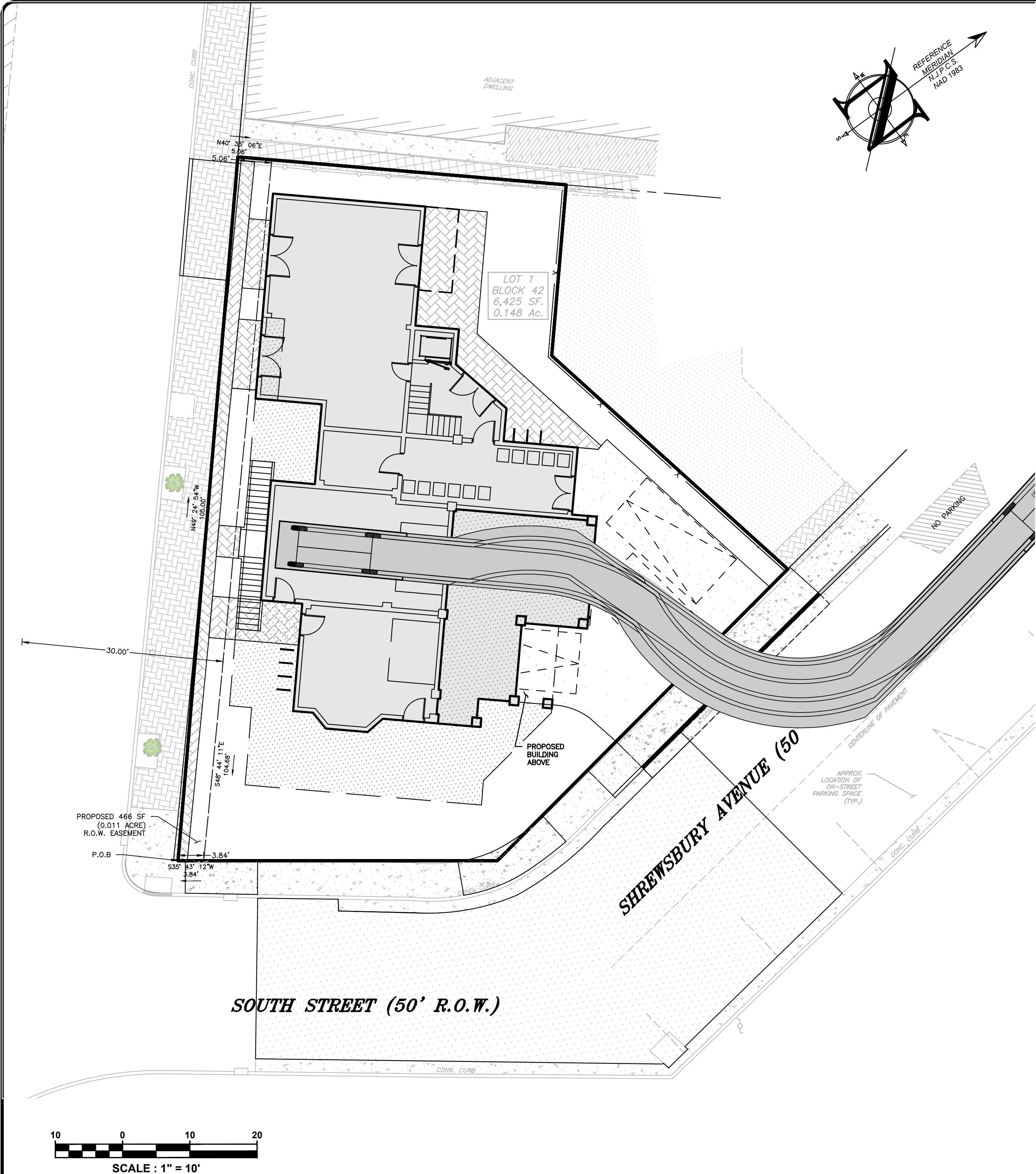
SHEET TITLE:

CIRCULATION PLAN

SHEET NO.:

C900

File: X:\data\2327 - 60 Bay Ave Highlands, LLC\23-2237-01 - 60 Bay Avenue Highlands, NJ\23232701C904.dwg (D-Turning Movement) Date: 01/01/2023 10:04
Copyright: 2023, InSite Engineering, LLC, All Rights Reserved.



SEE SHEET C101 FOR PLAN NOTES

LEGEND	
EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

19.000ft	P - Passenger Car
7.000ft	Overall Length
4.300ft	Overall Width
1.115ft	Overall Body Height
6.000ft	Min Body Ground Clearance
4.00s	Track Width
31.60°	Lock-to-lock time
	Curb to Curb Turning Radius

PROJECT INFORMATION

PROJECT NAME:
PROPOSED MULTI-FAMILY RESIDENCE

PROJECT LOCATION:
BLOCK 42, LOT 1
60 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER:
60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT:
60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS
ATTORNEY:
DONNA M. JENNINGS ESQ.
WILENTZ, GOLDMAN & SPITZER, PA
90 WOODBRIDGE CENTER DRIVE, SUITE 900
WOODBRIDGE, NJ 07095
ARCHITECT:
SALVATORE LA FERLITA, R.A.
115 UNIVERSITY DRIVE
LINCOLN, NJ 07738
SURVEYOR:
INSITE SURVEYING, LLC
1955 ROUTE 34, SUITE 1A
WALL, NJ 07719

**INSITE**
Engineering • Surveying • Planning
InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA,
DELAWARE, CONNECTICUT, NORTH CAROLINA,
COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE
AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL
AND MAY HAVE BEEN ALTERED.
Douglas D. Clelland
DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24GE0331000

REVISIONS

Rev. #	Date	Comment
12	07/25/25	PER BOARD COMMENTS
11	04/10/25	PER COUNTY
10	04/01/25	PER COUNTY
9	02/20/25	PER COUNTY
8	01/31/25	PER COUNTY REVIEW LETTER
7	01/21/25	FOR RESOLUTION COMPLIANCE
6	12/05/24	FOR PSD
5	11/20/24	FOR RESOLUTION COMPLIANCE
4	06/05/24	PER BOROUGH COMMENTS
3	04/08/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY
1	03/12/24	PER ARCHITECT
0	02/05/24	INITIAL RELEASE

SCALE: 1"=10'
DATE: 02/05/24
JOB #: 23-2237-01
CAD ID: 23-2237-01r3

DESIGNED BY: DDC
DRAWN BY: AMC
CHECKED BY: DDC

☒ NOT FOR CONSTRUCTION

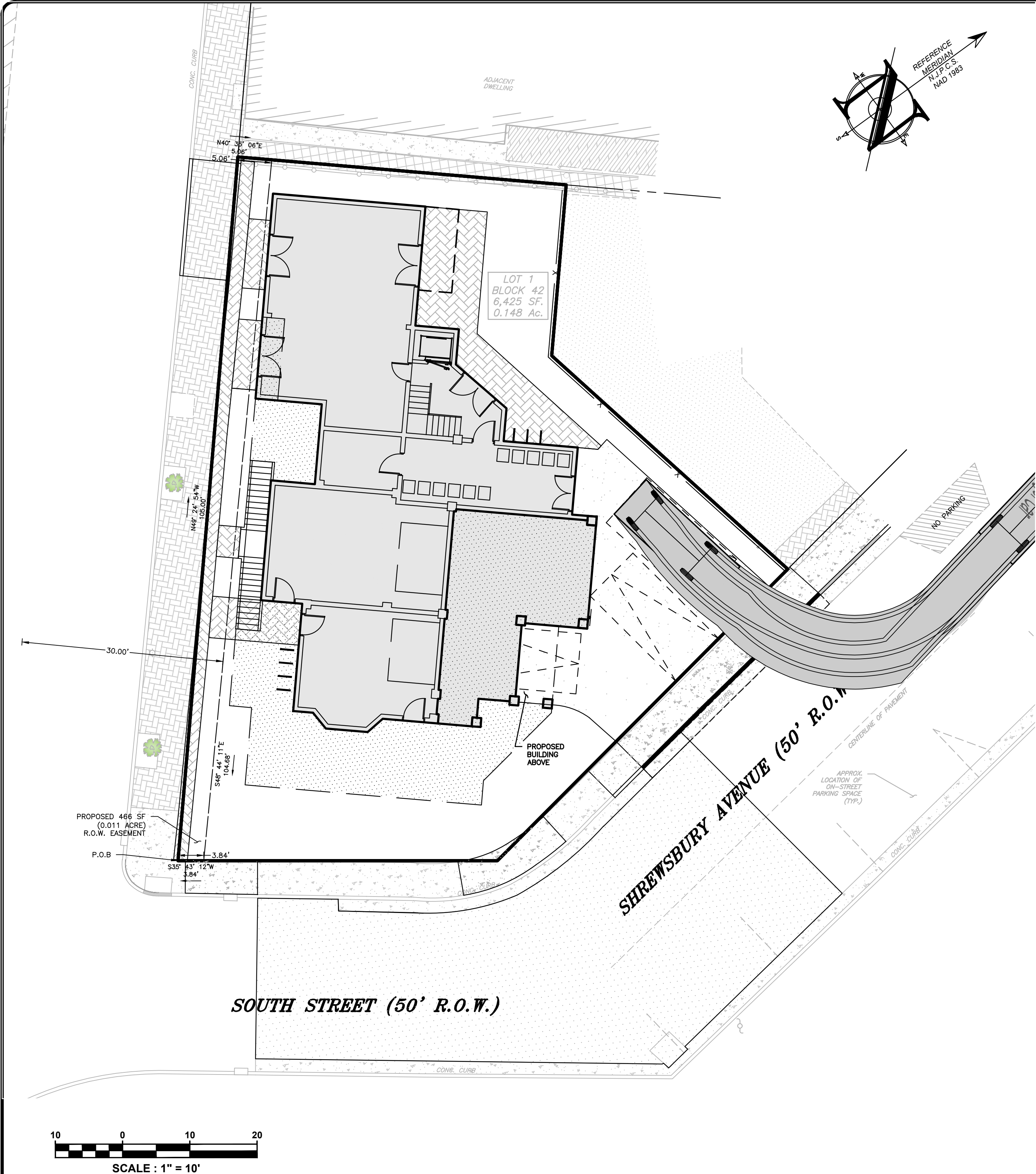
APPROVED BY:
☐ FOR CONSTRUCTION

DRAWING TITLE:
**PRELIMINARY & FINAL
MAJOR SITE PLAN**

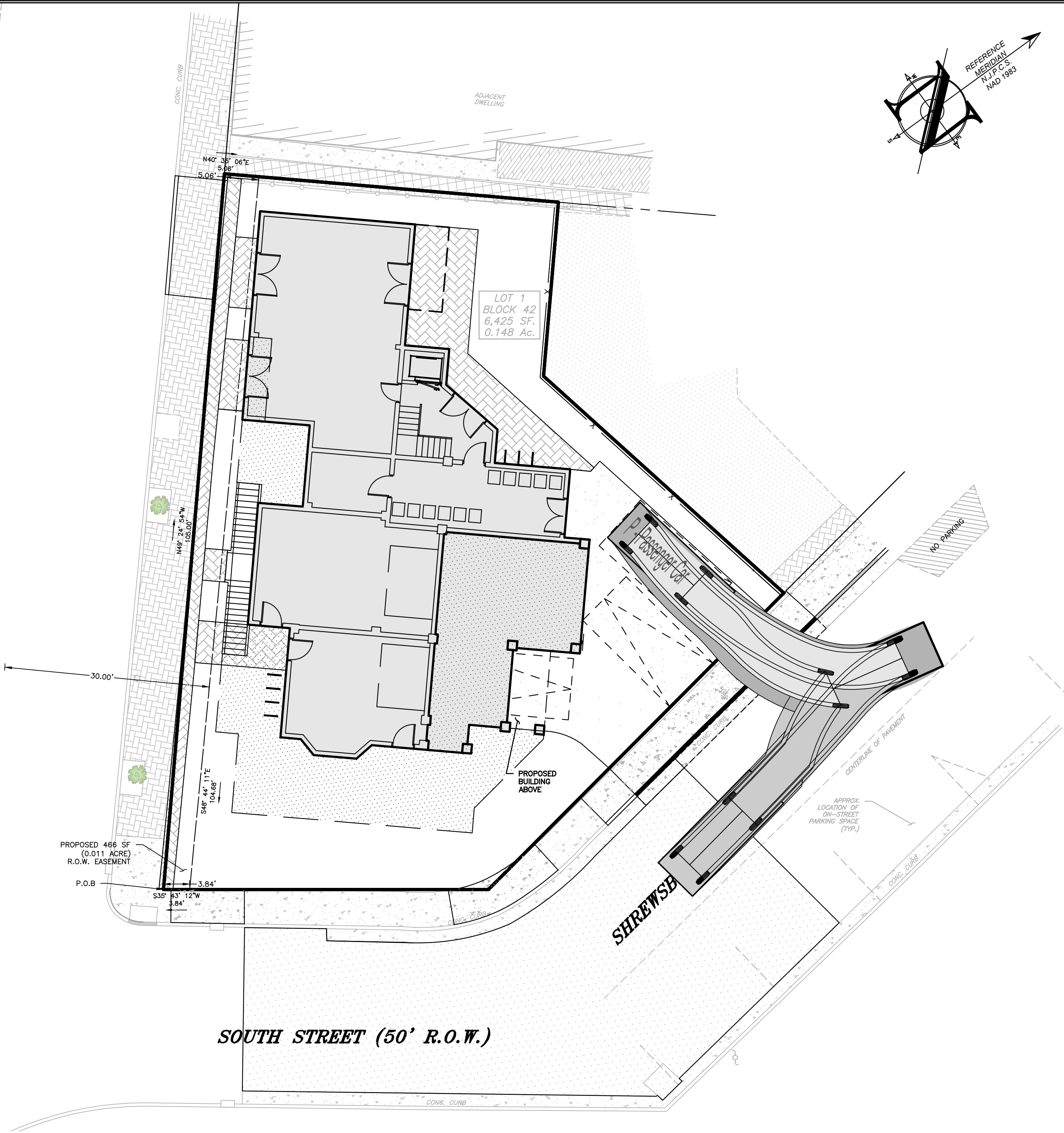
SHEET TITLE:
CIRCULATION PLAN

SHEET NO.:
C901

File: X:\data\2327 - 60 Bay Ave Highlands, LLC\23-2237-01 - 60 Bay Avenue Highlands, NJ\23-2237-01.dwg (D-Turning Movement) -> 0302 ATR06 ATR06
Copyright: 2024, InSite Engineering, LLC, All Rights Reserved.



PULLING IN



BACKING OUT

SEE SHEET C101 FOR PLAN NOTES

LEGEND	
EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

19.000ft
7.000ft
4.300ft
1.115ft
6.000ft
4.00s
31.60°

P - Passenger Car
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Curb to Curb Turning Radius

PROJECT INFORMATION

PROJECT NAME: PROPOSED MULTI-FAMILY RESIDENCE

PROJECT LOCATION: BLOCK 42, LOT 1
60 BAY AVENUE
BOROUGH OF HIGHLANDS,
MONMOUTH COUNTY, NJ

OWNER: 60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT: 60 BAY AVE HIGHLANDS, LLC
60 BAY AVENUE
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

ATTORNEY: DONNA M. JENNINGS ESQ.
WILENTZ, GOLDMAN & SPITZER, PA
90 WOODBRIDGE CENTER DRIVE, SUITE 900
WOODBRIDGE, NJ 07095

ARCHITECT: SALVATORE LA FERLITA, R.A.
115 UNIVERSITY DRIVE
LINCROFT, NJ 07738

SURVEYOR: INSITE SURVEYING, LLC
1955 ROUTE 37, SUITE 1A
WALL, NJ 07719

INSITE ENGINEERING, LLC
SINCE 2003

CALL BEFORE YOU DIG!
NJ ONE CALL: 800-272-1000
(www.onecallnj.com)

ELECTRIC	RED
GAS/OIL	YELLOW
COMMUNICATION TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

INSITE
Engineering • Surveying • Planning

InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA
DELAWARE, CONNECTICUT, NORTH CAROLINA
COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE
AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL
AND MAY HAVE BEEN ALTERED.

Douglas D. Clelland
DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24GE0331000

REVISIONS

Rev. #	Date	Comment
12	07/25/25	PER BOARD COMMENTS
11	04/10/25	PER COUNTY
10	04/01/25	PER COUNTY
9	02/20/25	PER COUNTY
8	01/31/25	PER COUNTY REVIEW LETTER
7	01/21/25	FOR RESOLUTION COMPLIANCE
6	12/05/24	FOR PS&D
5	11/20/24	FOR RESOLUTION COMPLIANCE
4	06/05/24	PER BOROUGH COMMENTS
3	04/08/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY
1	03/12/24	PER ARCHITECT
0	02/05/24	INITIAL RELEASE

SCALE: 1"=10'

DATE: 02/05/24

JOB #: 23-2237-01

CAD ID: 23-2237-01r3

DESIGNED BY: DDC

DRAWN BY: AMC

CHECKED BY: DDC

APPROVED BY:

FOR CONSTRUCTION

PLAN INFORMATION

PRELIMINARY & FINAL
MAJOR SITE PLAN

SHEET TITLE:

CIRCULATION PLAN

SHEET NO.: C902

GENERAL NOTES

GENERAL CONDITIONS:

- THE PROVISIONS OF THESE CONSTRUCTION DOCUMENTS, IN WHOLE AND IN PART INCLUDING THESE NOTES AND DRAWINGS APPLY TO ALL PARTIES PERFORMING WORK FOR THE PROJECT. IT IS RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONVEY, COORDINATE, AND ENSURE PERFORMANCE OF THESE PROVISIONS.
- ALL SUBCONTRACTORS SHALL COOPERATE IN THE COORDINATION AND PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, BONDS, INSURANCE, PERMITS, AND INSPECTIONS FOR COMPLETING THE WORK.
- THESE CONSTRUCTION DOCUMENTS ARE INSTRUMENTS OF SERVICE FOR THIS PARTICULAR PROJECT. THEY ARE THE SOLE PROPERTY OF THIS FIRM AND SHALL NOT BE OTHERWISE USED IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION AND DUE COMPENSATION.
- THE CONTRACTOR AND OWNER SHALL HOLD HARMLESS THE ARCHITECT FROM DAMAGES OR EXPENSES INCLUDING LEGAL FEES ARISING OUT OF THE CONTRACTORS PERFORMANCE OF WORK.
- THESE CONSTRUCTION DOCUMENTS MAKE NO REPRESENTATION AS TO THE SUITABILITY OF SOIL CONDITIONS, SUCH A REPRESENTATION OF WOULD REQUIRED TESTING AND PROFESSIONAL ENGINEERING REVIEW OF THE RESULTS.
- THESE CONSTRUCTION DOCUMENTS MAKE NO REPRESENTATION AS TO THE CONDITIONS OR SUITABILITY OF CONCEALED STRUCTURAL OR FOUNDATION ELEMENTS.
- THIS WORK OF THIS PROJECT SHALL BE PERFORMED AND/OR COORDINATED BY AN EXPERIENCED GENERAL CONTRACTOR OR CONSTRUCTION MANAGER, WITH AT LEAST THREE YEARS OF EXPERIENCE IN AT LEAST THREE PROJECTS OF SIMILAR SCOPE AND TYPE.

SCOPE OF THE WORK:

- THE CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE CARRIED OUT.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING THE WORK OF THIS CONTRACT, WHERE DISCREPANCIES ARE FOUND NOTIFY THE ARCHITECT IMMEDIATELY.
- WHERE DRAWINGS, SPECIFICATIONS, OR OTHER CONSTRUCTION DOCUMENTS DISAGREE OR CONFLICT WITH EACH OTHER NOTIFY ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL PERFORM ALL INDICATED WORK AND RELATED WORK EVEN IF NOT CLEARLY INDICATED THAT MAY BE REASONABLY CONSIDERED AS NECESSARY FOR COMPLETION.
- THE CONTRACTOR SHALL PROTECT AGAINST DAMAGE OR THEFT TO ALL NEW AND EXISTING CONSTRUCTION, SITE DEVELOPMENT AND SERVICES.
- THE CONTRACTOR SHALL REPAIR DAMAGE TO THE EXISTING AND/OR NEIGHBORING CONSTRUCTION OR SITES CAUSED BY NEW CONSTRUCTION AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER AND LEGAL DISPOSAL OF ALL REFUSE AND FOR MAINTAINING THE WORK PLACE IN A SAFE AND ORDERLY CONDITION AT ALL TIMES.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SERVICES AND ASSOCIATED HOOR-UPS, COORDINATION AND PERMISSIONS AT HIS OWN COST.
- THE CONTRACTOR IS CAUTIONED TO MAKE CONTINUOUS OBSERVATIONS OF THE EXISTING STRUCTURE DURING PERFORMANCE OF HIS WORK. SHOULD HE BECOME AWARE OF ANY INVESTIGATION OR STUDY (SUCH AS CRACKS IN MASONRY AND PARTITIONS, ADDITIONAL DEFLECTIONS, ETC) AND NOTIFY THE ARCHITECT IMMEDIATELY.
- FIREPROOF GARAGE AND UTILITY ROOM AS REQUIRED BY LOCAL CODES WITH 5/8" FIRE CODE "X" GYPSUM BOARD OR EQUAL.
- CRAWL SPACE ACCESS AND VENTILATION SHALL COMPLY WITH SECTION R 408.1 AND R 408.4 OF 2021 RESIDENTIAL CODE N.J. EDITION.

PERFORMANCE OF THE WORK:

- ALL WORK SHALL BE TO THE HIGHEST STANDARDS OF THE TRADE.
- ALL MATERIALS AND PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND CODE REQUIREMENTS, AND AS OTHERWISE INDICATED IN CONTRACT DOCUMENTS.
- ALL MATERIAL AND PRODUCTS SHALL BE NEW AND IN GOOD CONDITION. WHENE APPLICABLE, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH COPIES AND ASSIGNMENTS OF ALL GUARANTEES PROVIDED BY THE MANUFACTURER.
- THE CONTRACTOR SHALL MAINTAIN THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS AT THE WORK SITE AT ALL TIMES.
- DO NOT SCALE DRAWINGS. DIMENSIONS ARE FACE OF STUD OR TO FACE OF MASONRY UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS CLEAR OR CLEAR SHALL BE USED AS FINISHED SURFACE TO FINISHED SURFACE DIMENSION.

DEMOLITION NOTES:

- ALL INDICATED DEMOLITION INCLUDES REQUIRED PATCHING, REPAIR AND MODIFICATIONS AS NECESSARY TO PREPARE FOR NEW WORK AND/OR MATCH EXISTING.
- DEMOLITION WORK INCLUDES REMOVING ALL DEMOLITION DEBRIS FROM THE SITE IN A LEGAL AND TIMELY MANNER.
- NOTIFY ARCHITECT IMMEDIATELY IF DEMOLITION REVEALS EXISTING CONDITIONS DIFFERENT FROM THOSE ASSUMED ON DRAWINGS.
- REMOVAL OF PLUMBING FIXTURES OR PIPES INCLUDES CAPPING OFF ALL SUPPLY AND WASTE LINES.
- REMOVAL OF ELECTRICAL FIXTURES OR WORK, INCLUDES PROPER TERMINATION OF ALL WIRES.
- COORDINATE WITH PLUMBING FOR RELOCATION OF ALL EXISTING PLUMBING AND/OR GAS PIPING REQUIRED BY DEMOLITION AND/OR NEW WORK INDICATED.
- COORDINATE WITH ELECTRICAL FOR RELOCATION OF ALL EXISTING WIRE AND/OR OTHER ELECTRICAL WORK REQUIRED BY DEMOLITION AND/OR NEW WORK INDICATED.
- COORDINATE WITH HVAC FOR RELOCATION OF ALL EXISTING DUCTS AND/OR OTHER SYSTEM COMPONENTS AS WORK REQUIRED BY DEMOLITION AND/OR NEW WORK INDICATED.
- SHORE UP ALL EXISTING FRAMING BEFORE TOTAL REMOVAL OF THE BEARING WALLS AND BEFORE NEW BEAMS ARE INSTALLED.

SITWORK/EARTHWORK:

- SITE WORK INCLUDES ALL ASPECTS OF SOIL MOVEMENT, PREPARATION, SOIL CONDITIONS, PAVING, AND GRASS SEEDING ASSOCIATED WITH THE PROJECT.
- SITE WORK INCLUDES ALL REGULATORY ASPECTS OF THE WORK INCLUDING SOIL RETENTION PROCEDURES, EXCAVATION APPROVALS, AND PERMITS AS MAY BE REQUIRED.
- SITE WORK INCLUDES ALL SOIL WORK RELATED TO FOUNDATION, SLABS, COMPACTION AND REQUIRED RETAINING WALLS.
- TREAT SOIL WITH APPROVED INSECTICIDES AT FOUNDATION AND CRAWL SPACE AREAS. USE MANUFACTURERS DISTRIBUTION RECOMMENDATIONS OF A TYPE APPROVED BY OWNER.
- STRIP OFF AND CONSERVE ALL TOP SOIL IN AREAS TO BE DISTURBED.
- PROVIDE A STABILIZED STONE SUB-BASE FOR CONSTRUCTION ACCESS IN THE LOCATION OF PROPOSED DRIVE WAY BED WITH QUALITY MIX GRASS SEED (APPROVED BY OWNER) AND MAINTAIN ALL DISTURBED AREAS TO PROMOTE NEW LAWN FOR A PERIOD NOT LESS THAN 30 DAYS.
- CONTRACTOR SHALL INSTALL NEW 2" BITUMINOUS DRIVEWAY OVER 3" CRUSHED STONE WITH BELGIUM BLOCK CURBING AND SLATE SIDEWALK AS PER SITE PLAN, PROVIDE ALTERNATE PRICE.

MASONRY AND CONCRETE NOTES:

- MASONRY AND CONCRETE WORK INCLUDES ALL CONSTRUCTION INVOLVING STONE, BRICK, CONCRETE MASONRY UNITS AND POURED CONCRETE AND INCLUDES ALL ASSOCIATED MATERIALS LABOR AND EQUIPMENT FOR THE WORK.
- CONCRETE AND MASONRY WORK INCLUDES ALL GARAGE, CRAWL SPACE AND BASEMENT SLABS, PATIOS, FOUNDATIONS, AND BUILDING WALLS, RETAINING WALLS, WALKWAYS OR OTHER WORK AS APPROPRIATE TO THE TRADE INCLUDING ALL COORDINATION WITH OTHER TRADES AS TO EXCAVATION, GRADING, UTILITIES, ETC.
- MASONRY AND CONCRETE WORK INCLUDES ALL REINFORCING CALLED FOR AS NORMALLY PROVIDED, INCLUDING ALL REBAR, STEEL LINTELS, AND WIRE MESH.
- ALL CONCRETE SHALL BE MIN. STRENGTH 3,000 psi AT 28 DAYS UNLESS OTHERWISE INDICATED.
- ALL CONCRETE MASONRY UNITS AND BRICK ARE TO BE RUNNING BOND UNLESS OTHERWISE INDICATED.
- PROVIDE FOUNDATION DAMP-PROOFING (2) LAYER HOT ASPHALTIC COATING OR OTHER APPROVED SYSTEMS.
- PROVIDE RADON MITIGATION MEASURES AS REQUIRED BY LOCAL CODE AND AS CALLED FOR IN THE DRAWINGS.
- PROVIDE #4 VERTICAL REBAR AT 8'-0" O.C. AT ALL CORNERS AND ON BOTH SIDES OF ALL MASONRY WALL OPENINGS. POUR SOLID AT ALL REBAR LOCATIONS FOR MIN. 18".
- THE BOTTOM OF ALL EXTERIOR WALLS, COLUMNS AND FOOTINGS SHALL BE A MINIMUM OF 3'-0" BELOW FINISHED GRADE UNLESS OTHERWISE INDICATED ON THE WORKING DRAWINGS.
- WHEN FINISHED FLOOR IS 2'-0" OR GREATER ABOVE FINISHED GRADE, THE FOUNDATION WALL SHALL BE REINFORCED FROM TOP OF FOOTING TO 12" ABOVE FLOOR SLAB, FILL BLOCK SOLID WITH CONCRETE AND PROVIDE VERTICAL ROD REINFORCING AT 12" O.C.
- PROVIDE HORIZONTAL TRUSS-TYPE REINFORCING EVERY OTHER BLOCK COURSE.
- ALL FOOTING SHALL BEAR ON VIRGIN SOIL OF 3,000 P.S.F. BEARING CAPACITY.
- PROVIDE LINTELS OVER MASONRY OPENINGS. STEEL LINTELS SHALL BE TWO (2) 3 1/2" x 3 1/2" x 1/2" UNLESS OTHERWISE NOTED.
- DO NOT ERECT MASONRY WALLS WHEN TEMPERATURE IS BELOW 25 DEGREES WITHOUT RECEIVING WRITTEN PERMISSION AND SPECIAL REQUIREMENTS FROM THE ARCHITECT. FOR TEMPERATURES LESS THAN 40 DEGREES BUT MORE THAN 25 DEGREES MAINTAIN MORTAR TEMPERATURE BETWEEN 40 AND 120 DEGREES, HEATING MIXING WATER AS NECESSARY. MASONRY UNITS SHALL BE HEATED TO A MINIMUM TEMPERATURE OF 40 DEGREES.
- WHERE EXPOSED MASONRY MUST BE TRIMMED, SAWCUT ALL EXPOSED JOINTS.

ENERGY NOTES:

- THE CONSTRUCTION SHALL MEET OR EXCEED ALL STATE ENERGY CODE REQUIREMENTS.
 - ALL FRAMED EXTERIOR WALLS OR WALLS ADJACENT TO UNHEATED SPACES, SHALL COMPLY WITH THE PRESCRIPTIVE REQUIREMENTS OF 2021 IECC 402.1.1. MINIMUM R-39 INSULATION IN FLOOR/CEILING ASSEMBLIES, MINIMUM R-19 IN FLOOR ASSEMBLIES. REFER TO CHART BELOW FOR ALL OTHER AREAS.
- | 2021 IECC FOR CLIMATE ZONE 4 & 5 | |
|----------------------------------|-----------|
| CEILING R-VALUE | R-49 MIN. |
| WOOD FRAME WALL R-VALUE | R-19 |
| MASONRY WALL R-VALUE | R-19 |
| FLOOR R-VALUE | R-49 |
| BASEMENT WALL R-VALUE | R-10/13 |
| SLAB R-VALUE | R-10 |
| CRAWL SPACE R-VALUE | R-10/13 |
| PENESTRATION U-VALUE | 0.35 |
| SKYLIGHT U-VALUE | 0.60 |
- ALL SLABS ON GRADE SHALL HAVE PERIMETER INSTALLATION 2" x 24" RIGID BOARD; HORIZONTAL AND VERTICAL (NOT IN BASEMENT UNLESS OTHERWISE NOTED).
 - INSULATE ALL PIPES, DUCTS, AND TANKS AS REQUIRED BY BOCA INTERNATIONAL ENERGY CODE.
 - SUPPLY ALL WINDOWS AND DOORS WITH STOPS AND SEALS FOR A MAX INFILTRATION OF 0.5 CFM PER FOOT OF GASH CRACK.
 - CAULK OR WEATHER STRIP ALL EXTERIOR JOINTS AROUND DOORS AND WINDOWS TO MINIMIZE INFILTRATION.

GLAZING NOTES:

- WINDOWS NOTED AS EGRESS PROVIDE MINIMUM CLEAR OPENING OF 5.7 SQ. FT. WITH MIN. 20" WIDTH AND 24" HEIGHT EGRESS WINDOWS ON THE FIRST FLOOR SHALL HAVE A MINIMUM CLEAR OPENING OF 5.0 SQ. FT.
- SILL HEIGHT FOR WINDOWS INDICATED AS EGRESS WINDOWS SHALL NOT EXCEED 44" ABOVE THE FLOOR.
- PROVIDE TEMPERED GLASS AS INDICATED ON DRAWINGS IN ALL GLASS AT BATH AND SHOWER AREAS LESS THAN 72" A.F.F., IN ALL GLASS IN DOORS, AND AS OTHERWISE REQUIRED.

WOOD, FRAMING AND CARPENTRY:

- ALL STRUCTURAL WOOD MEMBERS SHALL BE NO.2 DOUGLAS FIR OR SOUTHERN PINE.
- ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED UNLESS OTHERWISE NOTED ON THE DRAWINGS. (OF A TYPE APPROVED BY OWNER).
- ALL INTERIOR TRIM SHALL BE PAINT-GRADE PINE AND/OR STAIN-GRADE PINE, VERIFY FINAL SELECTION WITH OWNER.
- PROVIDE DOUBLE MEMBERS AROUND ALL FRAMED OPENING.
- PROVIDE SOLID BLOCKING AT ALL CANTILEVERS PERPENDICULAR WALLS ABOVE, AND OTHER CONCENTRATED LOADS. PROVIDE DOUBLE JOISTS RUNNING PARALLEL TO PARTITIONS ABOVE.
- PROVIDE BRIDGING AT 8'-0" O.C. MAXIMUM.
- PROVIDE ALL WORK INDICATED AS CABINETRY, VANITIES, SHELVES, OR MANTELS, AND/OR COORDINATE CARPENTRY WITH TILE OR GRANITE WORK AS APPROPRIATE.
- SILL PLATE SHALL BE (2) 2" x 6" TREATED LUMBER, FASTEN TO FOUNDATION WALL. MINIMUM 8'-0" O.C. WITH A 1/2" DIAMETER x 18" MINIMUM LENGTH SOLIDLY EMBEDDED IN CONCRETE.
- ALL FRAMING LUMBER SHALL BE NO.2 DOUGLAS FIR OR SOUTHERN PINE WITH MINIMUM Fb OF 1450 P.S.I. AND MINIMUM E OF 1,700,000.
- ALL NAILING SHALL BE IN ACCORDANCE WITH 2021 INTERNATIONAL RESIDENTIAL CODE NEW JERSEY EDITION.
- PROVIDE CATS AS REQUIRED, MINIMUM 8'-0" O.C.
- WOOD HEADERS (2) 2" x 8" FOR OPENINGS UP TO 5'-0" AND (2) 2" x 10" FOR OPENINGS UP TO 8'-0" UNLESS OTHERWISE NOTED ON THE PLANS.
- STAIR, GUARD RAILS AND HAND RAILS AT DECKS, BALCONIES OR STAIRCASES SHALL COMPLY WITH THE SECTION OF 2018 INTERNATIONAL RESIDENTIAL CODE NEW JERSEY EDITION.
- DESIGN LOADS:

FLOORS:	40 PSF LIVE LOAD
	10 PSF DEAD LOAD
ROOF:	10 PSF LIVE LOAD
	10 PSF DEAD LOAD

WIND LOAD: MINIMUM DESIGN WIND LOAD = 110 MPH BASIC WIND SPEED - EXPOSURE B IN ACCORDANCE WITH AF & PA WOOD CONSTRUCTION MANUAL FOR 1 AND 2 FAMILY DWELLINGS "WFCM".

FINISH NOTES:

- DO NOT START THE APPLICATION OR INSTALLATION OF ANY FINISHED MATERIAL WITHOUT INSURING THE SUBSTRATE IS ACCEPTABLE AND PROPERLY PREPARED.
- WHERE APPROPRIATE FOR PROPER INSTALLATION OR APPLICATION FINISH WORK INCLUDES ALL REMOVAL OF EXISTING FINISHES INCLUDING WALL COVERING, PAINT AND OTHER COATINGS, AND FLOORING MATERIALS.
- ALL FINISHED WORK INCLUDES LEVELING BETWEEN FLOORS.
- PROVIDE OWNER WITH SAMPLES OF ALL INTERIOR AND EXTERIOR FINISH MATERIALS FOR ACCEPTANCE BEFORE ORDERING.
- INSTALLATION OF FINISHES, INTERIOR AND EXTERIOR SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- GYPSUM BOARD INSTALLATION INCLUDES TAPING AND SPACKLING (THREE COATS) ALL WALLS IN THE HOUSE, TWO COATS IN CLOSETS, AND ONE COAT IN THE GARAGE.
- PAINTING CONTRACTOR SHALL PROVIDE (1) COAT PRIMER AND (2) COAT FINISH WITH BENJAMIN MOORE PAINT OR EQUAL.
- ALL BATHROOMS SHALL HAVE TILE FLOORS AND WALLS, TILES ARE SELECTED BY OWNER.
- ALL TUBS AND SHOWERS SHALL HAVE MOLDED ENCLOSURES AS SELECTED BY OWNER.
- ALL HARDWARE SHALL BE SELECTED BY OWNER.
- ALL WOOD FLOORS WHERE INDICATED ON THE PLANS) SHALL BE #1 OAK FINISHED NATURAL WITH (2) COATS OF POLYURETHANE.
- ALL TRIMS SHALL BE 3" CASING AND 5" BASE (SATIN GRADE AND/OR PAINT GRADE) AS SELECTED BY OWNER.

ELECTRICAL NOTES:

- ALL WORK PERFORMED TO CONFIRM TO ALL STATE, COUNTY, TOWN AND LOCAL CODES.
- CONTRACTOR SHALL BE LICENSED BY THE STATE AND TO PROVIDE ALL NECESSARY DESIGN WORK NECESSARY TO OBTAIN ALL PERMITS, HARDWARE CONNECTIONS, FIXTURES, BULBS, PLATES, ETC.
- ALL ELECTRICAL WORK IS THROUGH TO COMPLETE INSTALLATION INCLUDING ALL LABOR, EQUIPMENT, AND ALL MATERIALS FOR DISTRIBUTION SYSTEM AND PANEL, BOARDS, WIRING, HARDWARE CONNECTIONS, FIXTURES, BULBS, PLATES, ETC.
- PROVIDE GROUND FAULT INTERRUPT OUTLETS WITHIN SIX FEET OF ANY WATER SOURCE, IN GARAGES, BASEMENTS AND AS INDICATED ON PLAN (G.F.I.).
- SMOKE DETECTORS TO BE INSTALLED TO MEET ALL UPDATED LOCAL AND STATE CODES. ALL ALARMS TO SOUND SIMULTANEOUSLY.
- THE CONTRACTOR WILL PROVIDE ALL ELECTRICAL WORK NECESSARY TO COMPLETE THE PROJECT, GENERAL CONTRACTOR TO FURNISH AND INSTALL LIGHTING FIXTURES.
- ALL BATHROOMS TO HAVE FAIL-SAFE CIRCUITS.

PLUMBING NOTES:

- ALL PLUMBING WORK SHALL BE BY A LICENSED PLUMBER.
- ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENT.
- PLUMBING WORK INCLUDES ALL SUPPLY, WASTE, AND VENT PIPING, PROVISIONS AND COMPLETE INSTALLATION FOR FIXTURE SHUTOFF VALVES FOR EACH FIXTURE GROUP. PROVIDE AND COMPLETE INSTALLATION OF ANY REQUIRED HOT-WATER HEATER.
- PLUMBING WORK INCLUDES ALL NATURAL GAS AND PROPANE PIPING INCLUDING SERVICE CONNECTION TO ALL GAS APPLIANCES AND PURNACES.
- WASTE PIPING SHALL BE APPROVED PVC, SUPPLY PIPING SHALL BE TYPE "L" COPPER PIPE.
- PROVIDE CLEANOUTS AS REQUIRED BY CODE, NOT MORE THAN 75'-0" APART, AT ALL TURNS OF 45 DEGREES OR MORE.
- ALL PLUMBING FIXTURES SHALL BE SELECTED BY OWNER, (REFER TO PLUMBING FIXTURE SCHEDULE).

HVAC/MECHANICAL NOTES:

- ALL HEATING, COOLING AND VENTILATION SHALL BE PERFORMED BY A QUALIFIED MECH. SUBCONTRACTOR ACCORDING TO ALL CODES.
- WORK OF THE CONTRACTOR INCLUDES ALL WORK REQUIRED FOR A COMPLETELY INSTALLED FUNCTIONING, BALANCED AND TESTED HVAC SYSTEM. WORK OF THIS CONTRACT ALSO INCLUDES PROVIDING ALL HEATERS, RADIATORS, REGISTERS DUCTWORK AND ANY OTHER ACCESSORIES MADE NECESSARY BY THE WORK OF THIS CONTRACT INCLUDING ALL RELOCATIONS, MODIFICATION OF EXTENSIONS TO THE EXISTING SYSTEM, AS WELL AS NEW OR SUPPLEMENTAL SYSTEMS.
- SUBCONTRACTOR SHALL CHECK AND VERIFY UNIT CAPACITIES AND DEMAND LOADS FOR BOTH NEW AND EXISTING UNITS. CONTRACTOR SHALL REVIEW WITH THE OWNER THE ENTIRE HVAC LAYOUT INCLUDING ZONES AND THERMOSTAT LOCATIONS, AND THE LOCATIONS OF ALL RADIATORS, REGISTERS AND RETURNS. MARK LOCATIONS FOR REVIEW BY OWNER.

2021 INTERNATIONAL RESIDENTIAL CODE CHAPTER 6

THIS COMPREHENSIVE CODE COMPRISES ALL BUILDING, PLUMBING, MECHANICAL, FUEL GAS AND ELECTRICAL REQUIREMENTS FOR ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES UP TO THREE STORIES. FOR THE MOST CURRENT ADOPTIONS DETAILS GO TO INTERNATIONAL CODE ADOPTIONS THE IRC CONTAINS MANY IMPORTANT CHANGES SUCH AS: AN UPDATED SEISMIC MAP REFLECTS THE MOST CONSERVATIVE SEISMIC DESIGN CATEGORY (SDC) BASED ON ANY SOIL TYPE AND A NEW MAP REFLECTS LESS CONSERVATIVE SDCs WHEN SITE CLASS A, B OR D IS APPLICABLE. THE TOWNHOUSE SEPARATION PROVISIONS NOW INCLUDE OPTIONS FOR USING TWO SEPARATE FIRE-RESISTANT-RATED WALLS OR A COMMON WALL. AN EMERGENCY ESCAPE AND RESCUE OPENING IS NO LONGER REQUIRED IN BASEMENT SLEEPING ROOMS WHERE THE DWELLING HAS AN AUTOMATIC FIRE SPRINKLER SYSTEM AND THE BASEMENT HAS A SECOND MEANS OF EGRESS OR AN EMERGENCY ESCAPE OPENING FOR INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS HAS BEEN DELETED. NEW GIRDER/HEADER TABLES HAVE BEEN REVISED TO INCORPORATE THE USE OF #2 SOUTHERN PINE IN LIEU OF #1 SOUTHERN PINE. TABLES ADDRESS ALTERNATIVE WOOD STUD HEIGHTS AND THE REQUIRED NUMBER OF FULL HEIGHT STUDS IN HIGH WIND AREAS.

ENERGY CALCULATIONS:

PER THE UNIFORM CONSTRUCTION CODE N.J.A.C. 5:23-2.15 (I) (vi) (ENERGY CALCULATIONS) APPLICANTS ARE REQUIRED TO DEMONSTRATE COMPLIANCE WITH THE ENERGY SUBCODE & 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AS PART OF THE PERMIT APPLICATION PROCESS FOR NEWLY CONSTRUCTED BUILDING OR ADDITION. THE PROJECT LOCATED IN CLIMATE ZONE 4 COMPLIES WITH THE PRESCRIPTIVE PACKAGE OPTION NO. 4 BULLETIN No. 1-1, AS FOLLOWS:

WOOD FRAME CONSTRUCTION 2018 IECC CODE CHAPTER 4

	REQUIRED	PROPOSED
PENESTRATION (U)	0.35	<0.35
CEILING (R)	49 / 38*	38*
WALL (R)	20	21
FLOOR (R)	19	19

*40x21" ALLOWS R-38 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES.

SITE INFORMATION

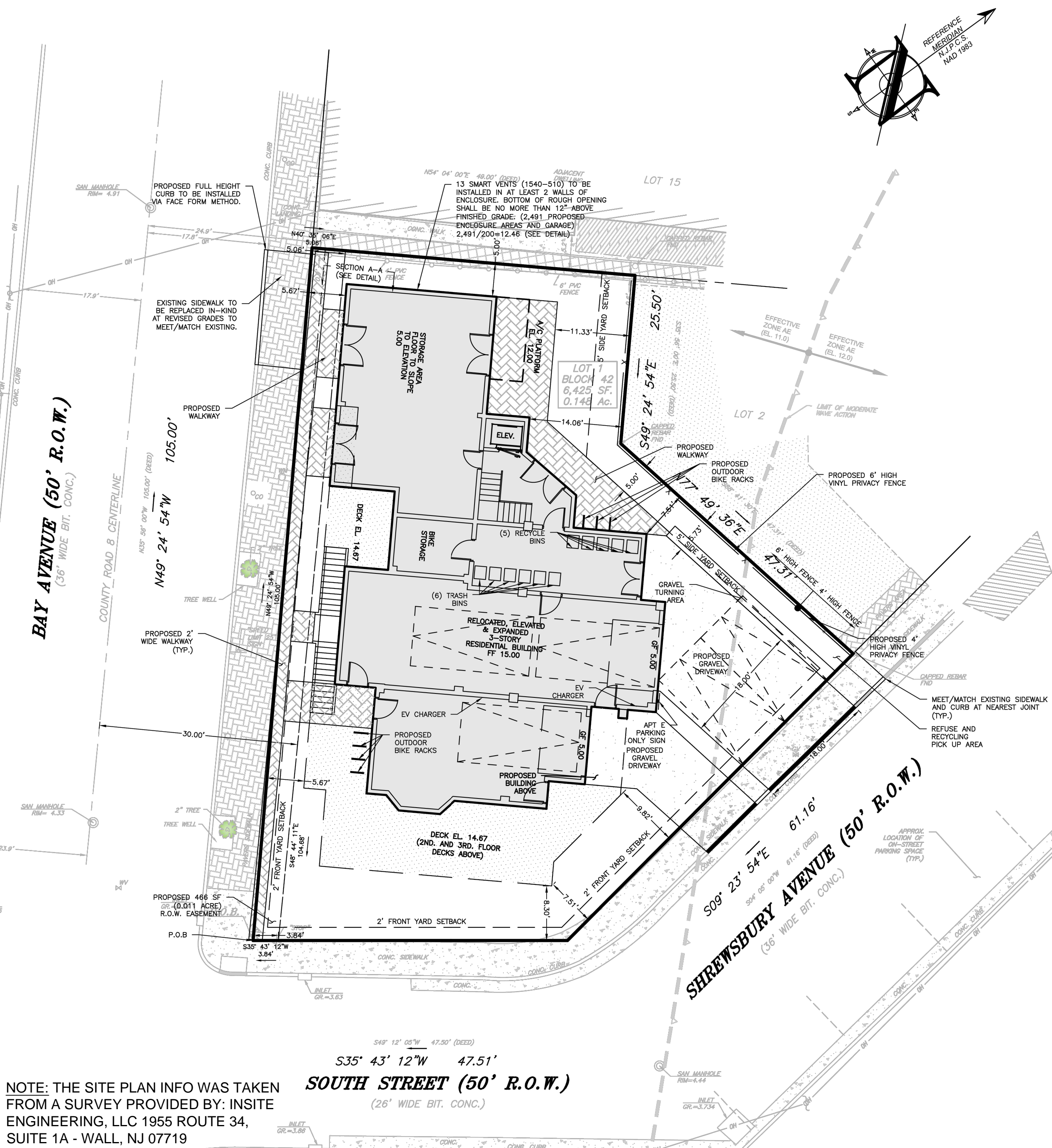
APPLICABLE CODES			
INTERNATIONAL RESIDENTIAL CODE (N.J. EDITION)	2021		
INTERNATIONAL MECHANICAL CODE	2021		
NATIONAL STANDARD PLUMBING CODE	2021		
NATIONAL ELECTRICAL CODE	2020		
INTERNATIONAL FIRE CODE	2021		
INTERNATIONAL ENERGY CONSERVATION CODE	2021		

ZONING DATA			
	ZONE: CBD	BLOCK: 42	LOT: 1
ITEM	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA			6,408 S.F.
MINIMUM LOT FRONTAGE			105.00'
MINIMUM FRONT SETBACK ACCESSORY			2.00'
MINIMUM SIDE SETBACK ACCESSORY			5.00' / 8.00'
MINIMUM STREET SIDE SETBACK ACCESSORY			
MINIMUM REAR SETBACK ACCESSORY			5.00' / 8.00'
MINIMUM REAR STREET SIDE SETBACK ACCESSORY			
MAXIMUM BUILDING COVERAGE			2,681 S.F.
* MAXIMUM LOT COVERAGE			2,681 / 6,408 = 41%
MAXIMUM BUILDING HEIGHT ACCESSORY			46'-10"

BUILDING STATISTICS			
CONSTRUCTION CLASS: 5A USE GROUP CLASSIFICATION: R3 RESIDENTIAL FOUNDATION PLAN & DETAILS ARE DRAWN IN ACCORDANCE WITH ABSCE24 110 MPH EXPOSURE B' WIND ZONE			

BUILDING DATA			
HABITABLE AREA	EXISTING AREA	NEW AREA	TOTAL AREA
GROUND FLOOR	0	0	0
FIRST FLOOR	1,200 SF	1,268 SF	2,468 SF
SECOND FLOOR	900 SF	1,686 SF	2,586 SF
THIRD FLOOR	900 SF	1,534 SF	2,434 SF
TOTAL	3,000 SF	4,488 SF	7,488 SF
HABITABLE AREA	EXISTING VOLUME	NEW VOLUME	TOTAL VOLUME
GROUND FLOOR	0	22,419 CF	22,419 CF
FIRST FLOOR	9,600 CF	11,412 CF	21,012 CF
SECOND FLOOR	7,200 CF	13,488 CF	20,688 CF
THIRD FLOOR	7,200 CF	12,272 CF	19,472 CF
TOTAL	24,000 CF	59,591 CF	83,591 CF

SITE PLAN




DRAWING LIST

- T-100 TITLE SHEET
- A-100 GROUND FLOOR DEMOLITION AND CONSTRUCTION FLOOR PLAN
- A-101 FIRST AND SECOND FLOOR DEMOLITION AND CONSTRUCTION FLOOR PLANS
- A-102 THIRD FLOOR CONSTRUCTION AND ROOF FRAMING PLANS
- A-103 FRONT AND REAR EXTERIOR ELEVATIONS
- A-104 LEFT AND RIGHT SIDE EXTERIOR ELEVATIONS
- A-105 FASTENING SCHEDULE AND DETAILS

PROGRESS SET

ISSUED: 4/11/2025

<div>SALVATORE LA FERLITA, R.A. Architectural Services Construction Management</div> <div></div> <div>115 University Drive Lincroft, N.J. 07738 732-741-5105 Sallaferita@aol.com</div>					
Revised			Issued		
No.	DATE	REVISION	No.	DATE	DESCRIPTION

Client: 60 BAY AVE HIGHLAND LLC
MULTI- FAMILY RESIDENCE
60 BAY AVENUE
HIGHLANDS, NEW JERSEY

Title: TITLE SHEET

Seal & Signature:	Job Type: -
Project No.:	Scale: AS NOTED
Date:	Drawn By:
Reviewed By: -	Reviewed By:
Drawing No.:	Drawing No.:
T-100	
SHEET No: 1 OF 1	

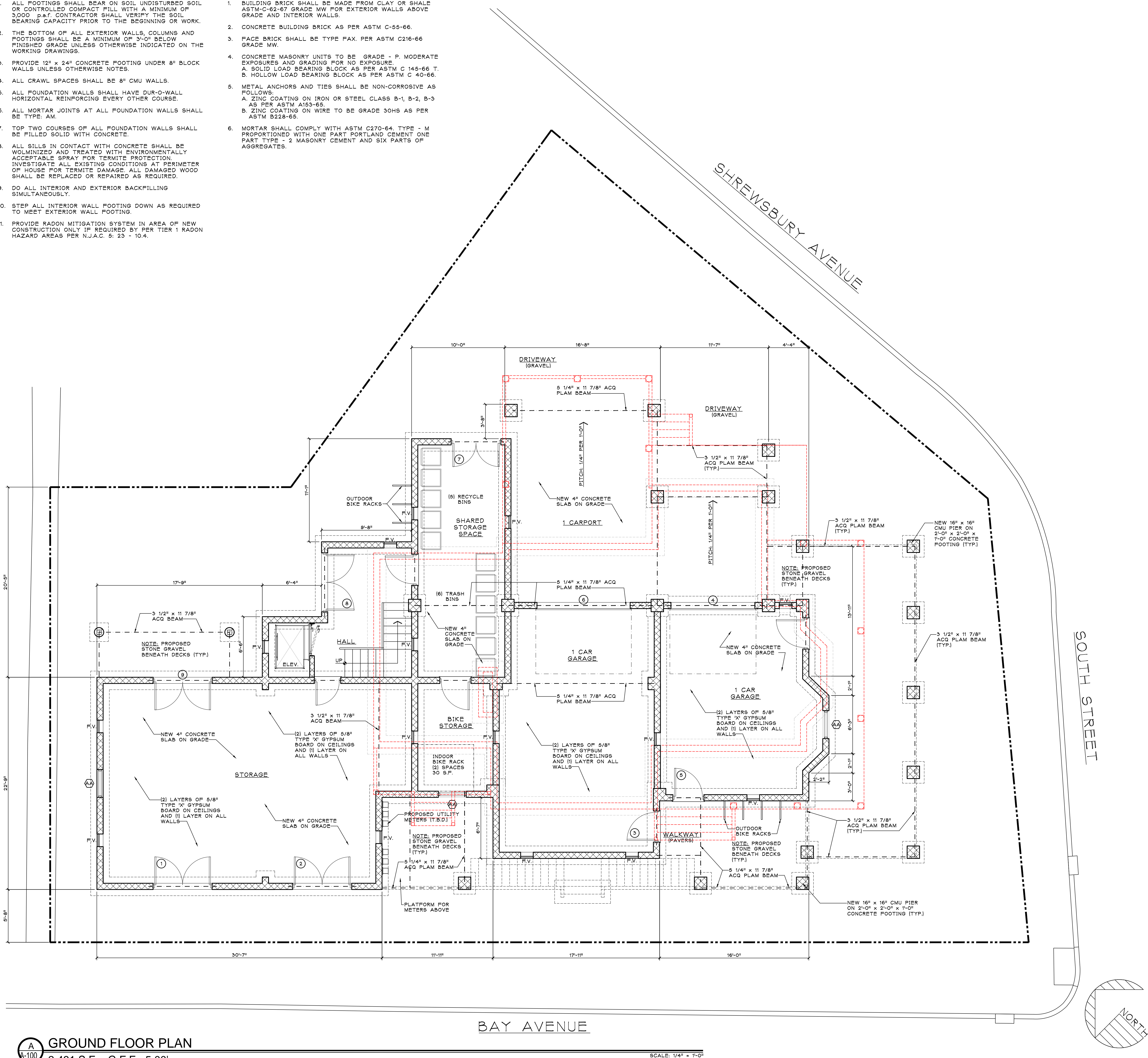
MULTI - FAMILY RESIDENCE PROPOSED NEW FOUR STORY DWELLING

FOUNDATION NOTES:

- ALL FOOTINGS SHALL BEAR ON SOIL UNDISTURBED SOIL OR CONTROLLED COMPACT FILL WITH A MINIMUM OF 3000 p.s.f. CONTRACTOR SHALL VERIFY THE SOIL BEARING CAPACITY PRIOR TO THE BEGINNING OF WORK.
- THE BOTTOM OF ALL EXTERIOR WALLS, COLUMNS AND FOOTINGS SHALL BE A MINIMUM OF 3'-0" BELOW FINISHED GRADE UNLESS OTHERWISE INDICATED ON THE WORKING DRAWINGS.
- PROVIDE 12" x 24" CONCRETE FOOTING UNDER 8" BLOCK WALLS UNLESS OTHERWISE NOTES.
- ALL CRAWL SPACES SHALL BE 8" CMU WALLS.
- ALL FOUNDATION WALLS SHALL HAVE DUR-O-WALL HORIZONTAL REINFORCING EVERY OTHER COURSE.
- ALL MORTAR JOINTS AT ALL FOUNDATION WALLS SHALL BE TYPE: AM.
- TOP TWO COURSES OF ALL FOUNDATION WALLS SHALL BE FILLED SOLID WITH CONCRETE.
- ALL SILLS IN CONTACT WITH CONCRETE SHALL BE WOLMINIZED AND TREATED WITH ENVIRONMENTALLY ACCEPTABLE SPRAY FOR TERMITE PROTECTION. INVESTIGATE ALL EXISTING CONDITIONS AT PERIMETER OF HOUSE FOR TERMITE DAMAGE. ALL DAMAGED WOOD SHALL BE REPLACED OR REPAIRED AS REQUIRED.
- DO ALL INTERIOR AND EXTERIOR BACKFILLING SIMULTANEOUSLY.
- STEP ALL INTERIOR WALL FOOTING DOWN AS REQUIRED TO MEET EXTERIOR WALL FOOTING.
- PROVIDE RADON MITIGATION SYSTEM IN AREA OF NEW CONSTRUCTION ONLY IF REQUIRED BY PER TIER 1 RADON HAZARD AREAS PER N.J.A.C. 5: 23 - 10.4.

MASONRY NOTES:

- BUILDING BRICK SHALL BE MADE FROM CLAY OR SHALE ASTM-C-62-67 GRADE MW FOR EXTERIOR WALLS ABOVE GRADE AND INTERIOR WALLS.
- CONCRETE BUILDING BRICK AS PER ASTM C-55-66.
- FACE BRICK SHALL BE TYPE FAX. PER ASTM C216-66 GRADE MW.
- CONCRETE MASONRY UNITS TO BE GRADE - P. MODERATE EXPOSURES AND GRADING FOR NO EXPOSURE. A. SOLID LOAD BEARING BLOCK AS PER ASTM C 145-66 T. B. HOLLOW LOAD BEARING BLOCK AS PER ASTM C 40-66.
- METAL ANCHORS AND TIES SHALL BE NON-CORROSIVE AS FOLLOWS: A. ZINC COATING ON IRON OR STEEL CLASS B-1, B-2, B-3 AS PER ASTM A153-65. B. ZINC COATING ON WIRE TO BE GRADE 30HS AS PER ASTM B228-65.
- MORTAR SHALL COMPLY WITH ASTM C270-64. TYPE - M PROPORTIONED WITH ONE PART PORTLAND CEMENT ONE PART TYPE - 2 MASONRY CEMENT AND SIX PARTS OF AGGREGATES.



A-100 GROUND FLOOR PLAN
2,491 S.F. - G.F.E.: 5.00'

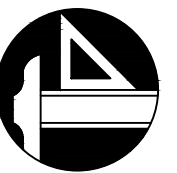
SCALE: 1/4" = 1'-0"

LEGEND

- EXISTING TO BE REMOVED
- EXISTING INTERIOR PARTITION TO REMAIN
- NEW 2" x 4" WOOD STUD INTERIOR WALL CONSTRUCTION
- NEW TWO HOUR RATED WALL CONSTRUCTION
- NEW 2" x 6" WOOD STUD EXTERIOR WALL CONSTRUCTION
- NEW 12" CONCRETE BLOCK FOUNDATION WALL
- DOOR NUMBER, REFER TO DOOR SCHEDULE
- WINDOW NUMBER, REFER TO WINDOW SCHEDULE
- NEW 'SMART VENT' AUTOMATIC NON-POWERED, 8" x 16" FLOOD VENTS OR APPROVED EQUAL, 12" ABOVE GRADE MAX (1) PER 200 S.F. MIN.
- NEW HOSE BIBB
- SECTION NUMBER
DRAWING NUMBER
- ELEVATION LETTER
DRAWING NUMBER
- A.F.F. ABOVE FINISHED FLOOR
- U.O.N. UNLESS OTHERWISE NOTED
- V.I.F. VERIFY IN FIELD

PROGRESS SET
ISSUED: 4/11/2025

SALVATORE LA FERLITA, R.A.
Architectural Services
Construction Management



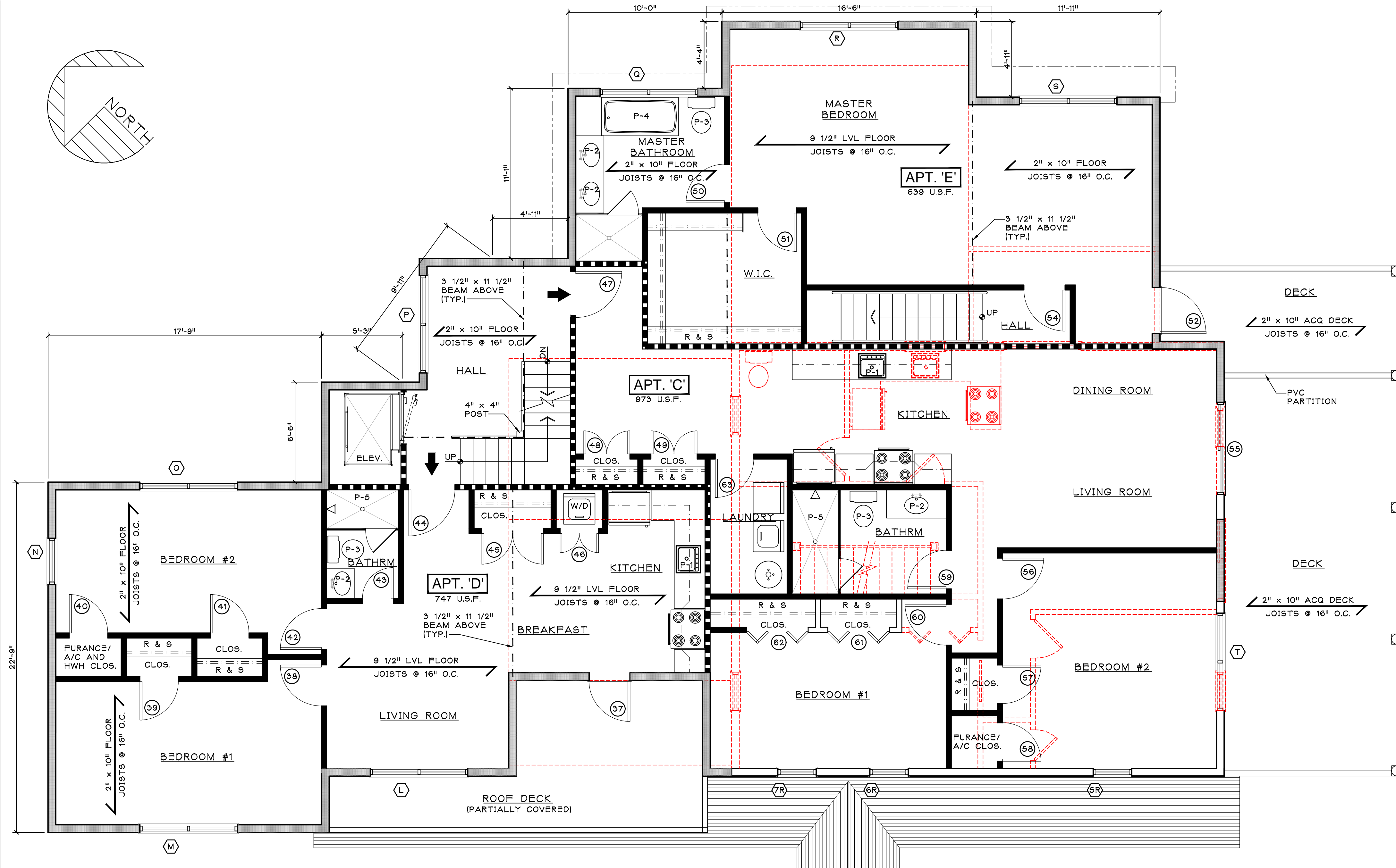
115 University Drive
Lincroft, N.J. 07738
732-741-5105
Sallafelita@aol.com

Revised			Issued		
No.	DATE	REVISION	No.	DATE	DESCRIPTION

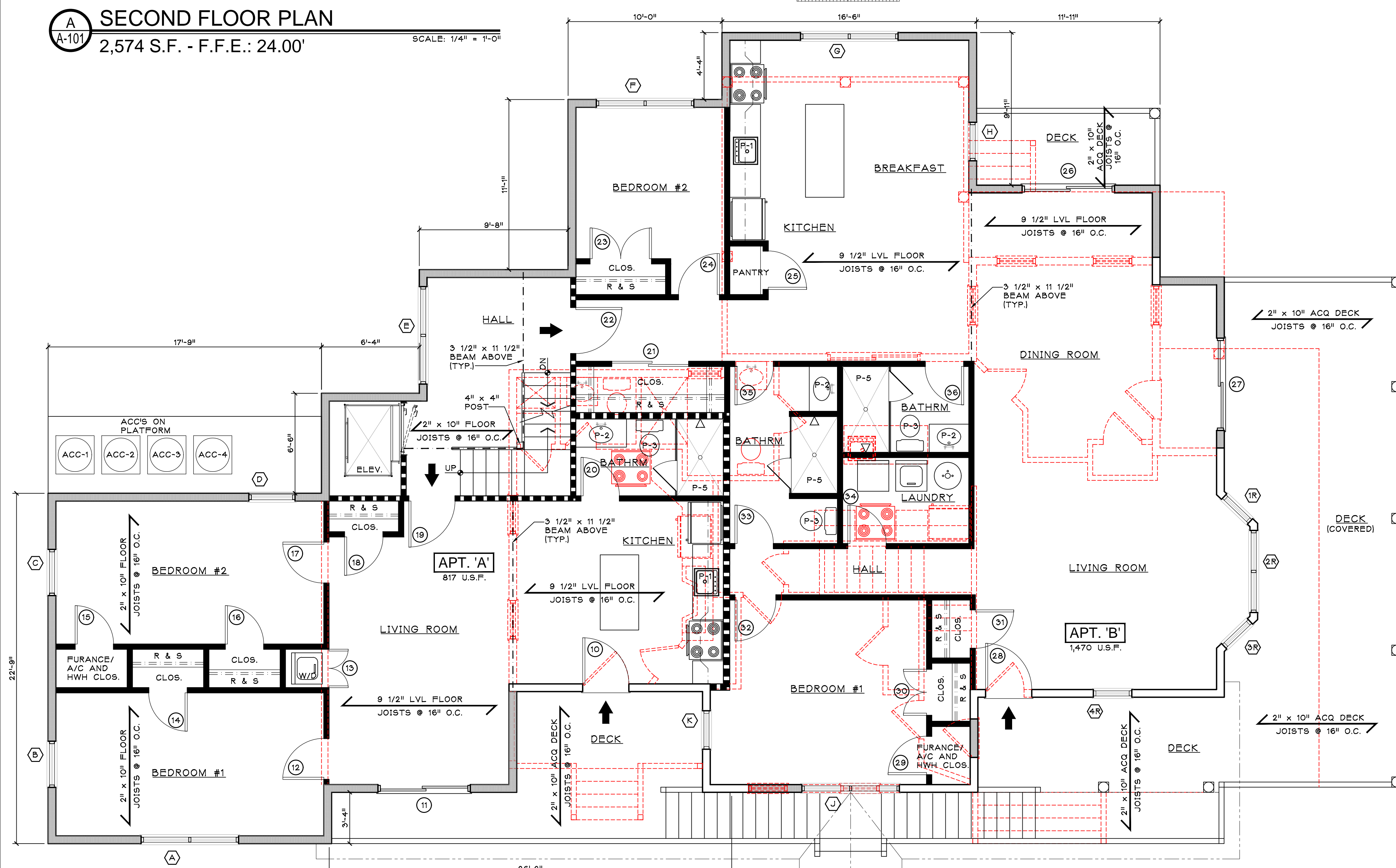
Client
**60 BAY AVE HIGHLAND LLC
MULTI- FAMILY RESIDENCE
60 BAY AVENUE
HIGHLANDS, NEW JERSEY**

Title
**GROUND FLOOR DEMOLITION
& CONSTRUCTION PLAN**

Seal & Signature: 	Job Type: - Project No.: Scale: AS NOTED Date: Drawn By: Reviewed By: - Drawing No.: A-100 SHEET No.: _ OF _
-----------------------	---



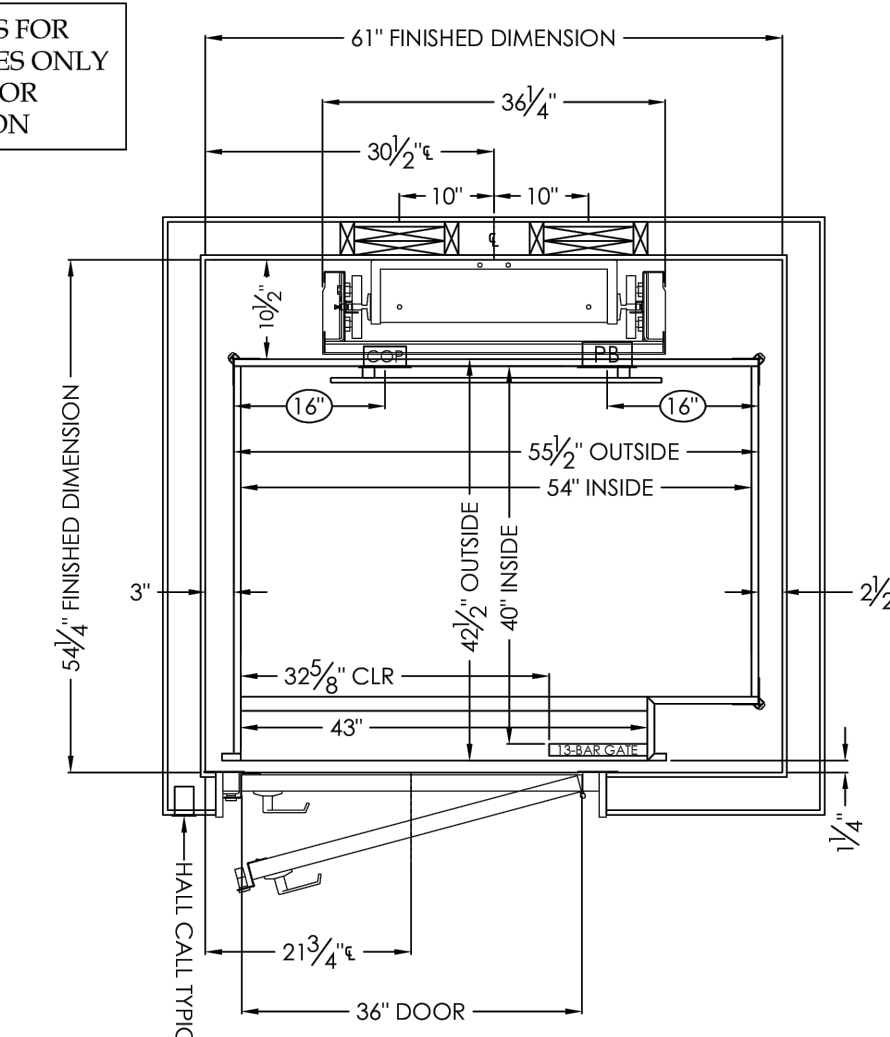
A SECOND FLOOR PLAN
2,574 S.F. - F.F.E.: 24.00'
SCALE: 1/4" = 1'-0"



B FIRST FLOOR PLAN (RAISED)
2,468 S.F. - F.F.E.: 15.00'
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE				
No.	MANUFACTURER	MODEL #	SIZE	R.O. DESCRIPTION
1	STANLEY	T.B.D.	(2) 3'-0" x 7'-0"	PAIR - FIRE RATED
2	STANLEY	T.B.D.	(2) 3'-0" x 7'-0"	PAIR - FIRE RATED
3	STANLEY	T.B.D.	3'-0" x 7'-0"	ENTRY DOOR - FIRE RATED
4	OVERHEAD DOOR	T.B.D.	8'-0" x 8'-0"	GARAGE O.H. DOOR
5	STANLEY	T.B.D.	3'-0" x 7'-0"	ENTRY DOOR - FIRE RATED
6	OVERHEAD DOOR	T.B.D.	10'-0" x 8'-0"	GARAGE O.H. DOOR
7	STANLEY	T.B.D.	(2) 3'-0" x 7'-0"	PAIR - FIRE RATED
8	STANLEY	T.B.D.	(2) 3'-0" x 7'-0"	PAIR - FIRE RATED
9	OVERHEAD DOOR	T.B.D.	10'-0" x 8'-0"	GARAGE O.H. DOOR
10	MORGAN	T.B.D.	3'-0" x 7'-0"	ENTRY DOOR
11	ANDERSEN	FWG 6068		SLIDE PATIO DOOR
12	MASONITE OR EQUAL		2'-8" x 6'-8"	6 PANEL WOOD
13	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"	PAIR CLOSET DOORS
14	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
15	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
16	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
17	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
18	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
19	MASONITE OR EQUAL	T.B.D.	3'-0" x 7'-0"	APT. ENTRY DOOR - FIRE RATED
20	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
21	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"	PAIR SLIDING CLOSET DOORS
22	MASONITE OR EQUAL	T.B.D.	3'-0" x 7'-0"	APT. ENTRY DOOR - FIRE RATED
23	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"	PAIR CLOSET DOORS
24	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
25	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
26	ANDERSEN	FWG 6068		SLIDE PATIO DOOR
27	ANDERSEN	FWG 6068		SLIDE PATIO DOOR
28	MORGAN	T.B.D.	3'-0" x 7'-0"	ENTRY DOOR
29	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
30	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"	PAIR CLOSET DOORS
31	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
32	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
33	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
34	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
35	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
36	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
37	MORGAN	T.B.D.	3'-0" x 7'-0"	ENTRY DOOR
38	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
39	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
40	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
41	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
42	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
43	MASONITE OR EQUAL		2'-0" x 6'-8"	6 PANEL WOOD
44	MASONITE OR EQUAL	T.B.D.	3'-0" x 7'-0"	APT. ENTRY DOOR - FIRE RATED
45	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"	PAIR CLOSET DOORS
46	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"	PAIR CLOSET DOORS
47	MASONITE OR EQUAL	T.B.D.	3'-0" x 7'-0"	APT. ENTRY DOOR - FIRE RATED
48	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"	PAIR CLOSET DOORS
49	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"	PAIR CLOSET DOORS
50	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
51	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
52	MORGAN	T.B.D.	3'-0" x 7'-0"	ENTRY DOOR
53	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
54	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
55	ANDERSEN	FWG 6068		SLIDE PATIO DOOR
56	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
57	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
58	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
59	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
60	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
61	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"	6 PANEL WOOD BI-FOLD
62	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"	6 PANEL WOOD BI-FOLD
63	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
64	ANDERSEN	FWG 6068		SLIDE PATIO DOOR
65	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
66	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
67	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
68	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
69	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
70	MASONITE OR EQUAL		2'-0" x 6'-8"	6 PANEL WOOD
71	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
72	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
73	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
74	MASONITE OR EQUAL	T.B.D.	3'-0" x 7'-0"	APT. ENTRY DOOR - FIRE RATED
75	ANDERSEN	FWG 6068		SLIDE PATIO DOOR
76	FOUR SEASONS SUNROOM			
77	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD

THIS DRAWING IS FOR PLANNING PURPOSES ONLY. DO NOT USE FOR CONSTRUCTION.



C ELEVATOR FRAMING PLAN
SCALE: N.T.S.

WINDOW SCHEDULE				
No.	MANUFACTURER	MODEL #	R.O. (W x H)	DESCRIPTION
A	ANDERSEN	AW 351		AWNING
B	ANDERSEN	TW 3046-2		DH COMBO
C	ANDERSEN	TW 3046		DH
D	ANDERSEN	TW 3046		DH
E	ANDERSEN	TW 3046		DH
F	ANDERSEN	TW 3046-2		DH COMBO
G	ANDERSEN	TW 30210		DH COMBO
H	ANDERSEN	TW 3046		DH
I	ANDERSEN	TW 3046-2		DH COMBO
J	ANDERSEN	TW 3046		DH
K	ANDERSEN	TW 3046		DH
L	ANDERSEN	TW 3046-2		DH COMBO
M	ANDERSEN	TW 3046-2		DH COMBO
N	ANDERSEN	TW 3046		DH
O	ANDERSEN	TW 3046-2		DH COMBO
P	ANDERSEN	TW 3446-2		DH COMBO
Q	ANDERSEN	AW 31-2		AWNING COMBO - TEMPERED GLASS
R	ANDERSEN	TW 3046-2		DH COMBO
S	ANDERSEN	TW 3046-2		DH COMBO
T	ANDERSEN	TW 3046-2		DH COMBO
U	ANDERSEN	TW 3046-2		DH COMBO
V	ANDERSEN	TW 3046-2		DH COMBO
W	ANDERSEN	TW 3046-2		DH COMBO
X	ANDERSEN	TW 3446-2		DH COMBO
Y	ANDERSEN	TW 3046		DH COMBO
Z	ANDERSEN	TW 30210		DH COMBO
1	ANDERSEN	VERIFY IN FIELD		
2	ANDERSEN	VERIFY IN FIELD		
3	ANDERSEN	VERIFY IN FIELD		
4	ANDERSEN	VERIFY IN FIELD		
5	VELUX	2246	25 1/2" x 49 1/2"	OPTIONAL SKYLIGHT
6	VELUX	2246	25 1/2" x 49 1/2"	OPTIONAL SKYLIGHT

REMARKS
1) BEDROOM WINDOWS MUST COMPLY WITH LOCAL CODES REGARDING FIRE EGRESS REQUIREMENTS.
2) ♦ DENOTES BEDROOM EGRESS WINDOW.
NOTE: ALL WINDOWS WITH A MINIMUM SILL HEIGHT FROM FINISH FLOOR OF (24" FOR 1-2 FAMILY) TO (36" FOR MULTI-FAMILY) SHALL COMPLY WITH ASTM F2080 (WOOD) PER NJIRC 2018 SECTION K312.2 WINDOW OPENING CONTROL DEVICES.
3) ALL NEW WINDOWS SHALL BE 'ANDERSEN' 400 SERIES WITH THE WINDOW SCREEN SYSTEM REQUIREMENTS.
4) VERIFY WINDOW TRIM DETAILS PRIOR TO INSTALLATION.
5) G.C. SHALL SUBMIT A DOOR AND HARDWARE SCHEDULE FOR OWNERS REVIEW AND APPROVAL PRIOR TO ORDERING AND MATERIAL.

PLUMBING SCHEDULE				
No.	DESCRIPTION	MANUFACTURER	MODEL #	REMARKS
P-1	KITCHEN SINK	T.B.D.		TO BE SELECTED BY OWNER
P-2	LAVATORY SINK	T.B.D.		TO BE SELECTED BY OWNER
P-3	WATER CLOSET	T.B.D.		TO BE SELECTED BY OWNER
P-4	TUB	T.B.D.		TO BE SELECTED BY OWNER
P-5	SHOWER	T.B.D.		TO BE SELECTED BY OWNER
P-6	JACUZZI	T.B.D.		TO BE SELECTED BY OWNER
P-7	BAR SINK	T.B.D.		TO BE SELECTED BY OWNER

PROGRESS SET
ISSUED: 4/11/2025

SALVATORE LA FERLITA, R.A.
Architectural Services
Construction Management
115 University Drive
Lincroft, N.J. 07738
732-741-5105
Sallafelita@aol.com

Revised: _____ Issued: _____

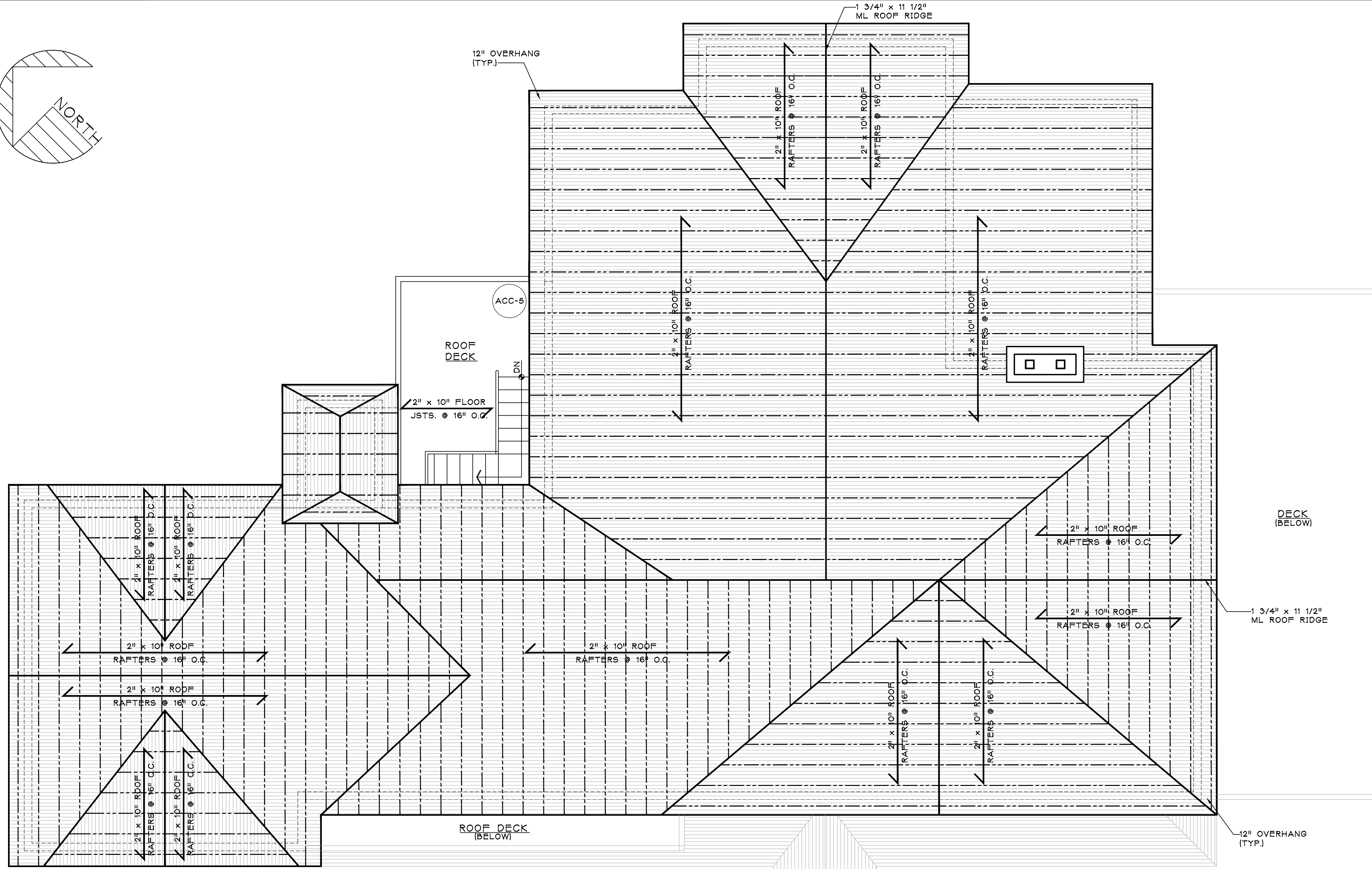
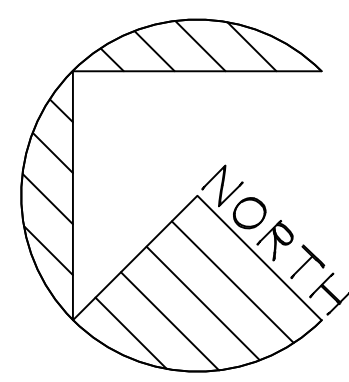
No.	DATE	REVISION	No.	DATE	DESCRIPTION

Client: **60 BAY AVE HIGHLAND LLC**
MULTI-FAMILY RESIDENCE
60 BAY AVENUE
HIGHLANDS, NEW JERSEY

Title: **FIRST AND SECOND FLOOR PRELIMINARY LAYOUT**

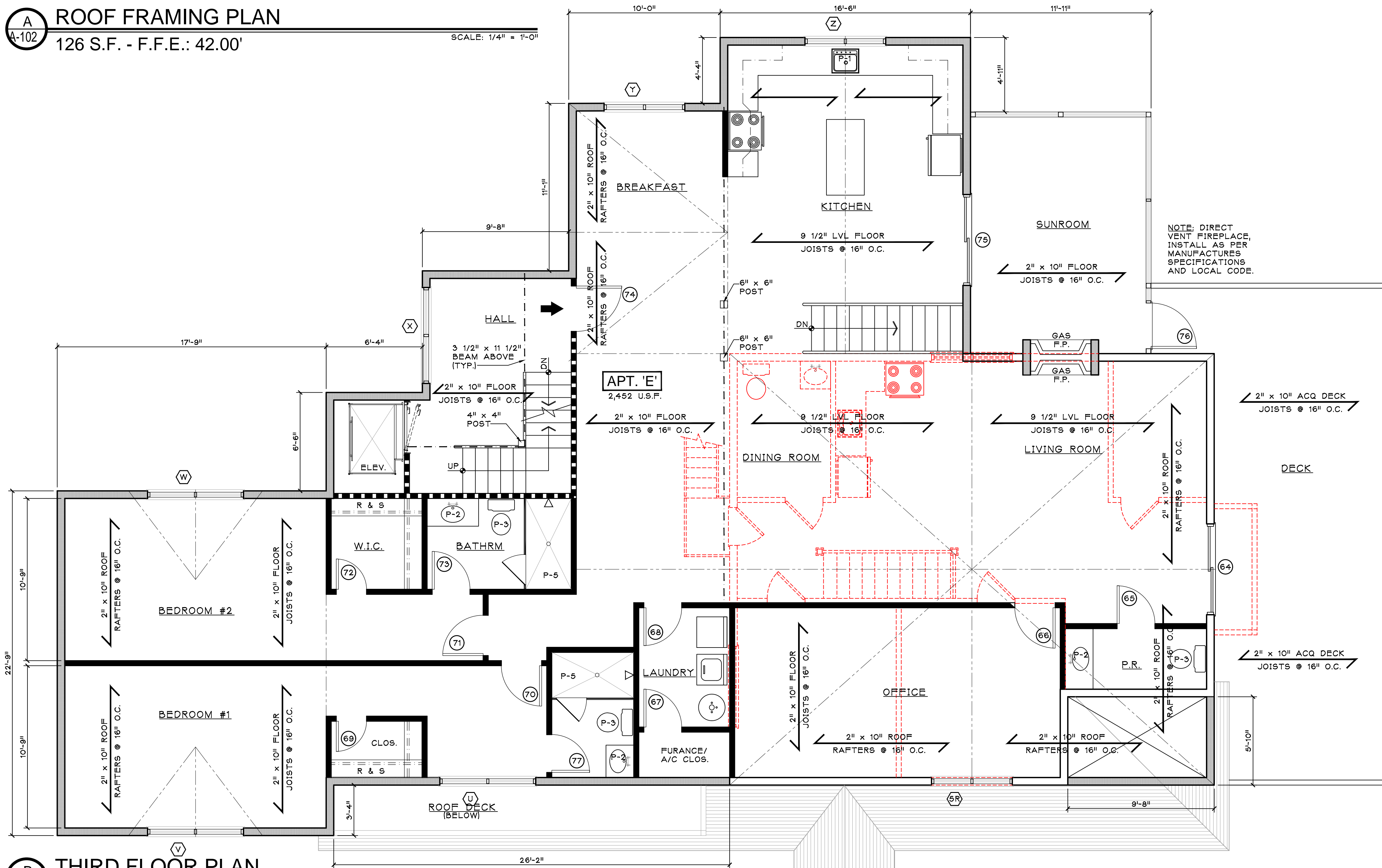
Seal & Signature: _____ Job Type: _____
Project No.: _____
Scale: AS NOTED
Date: _____
Drawn By: _____
Reviewed By: _____
Drawing No.: _____

A-101
SHEET No.: _____ OF _____
N.J. LIC. #A115228



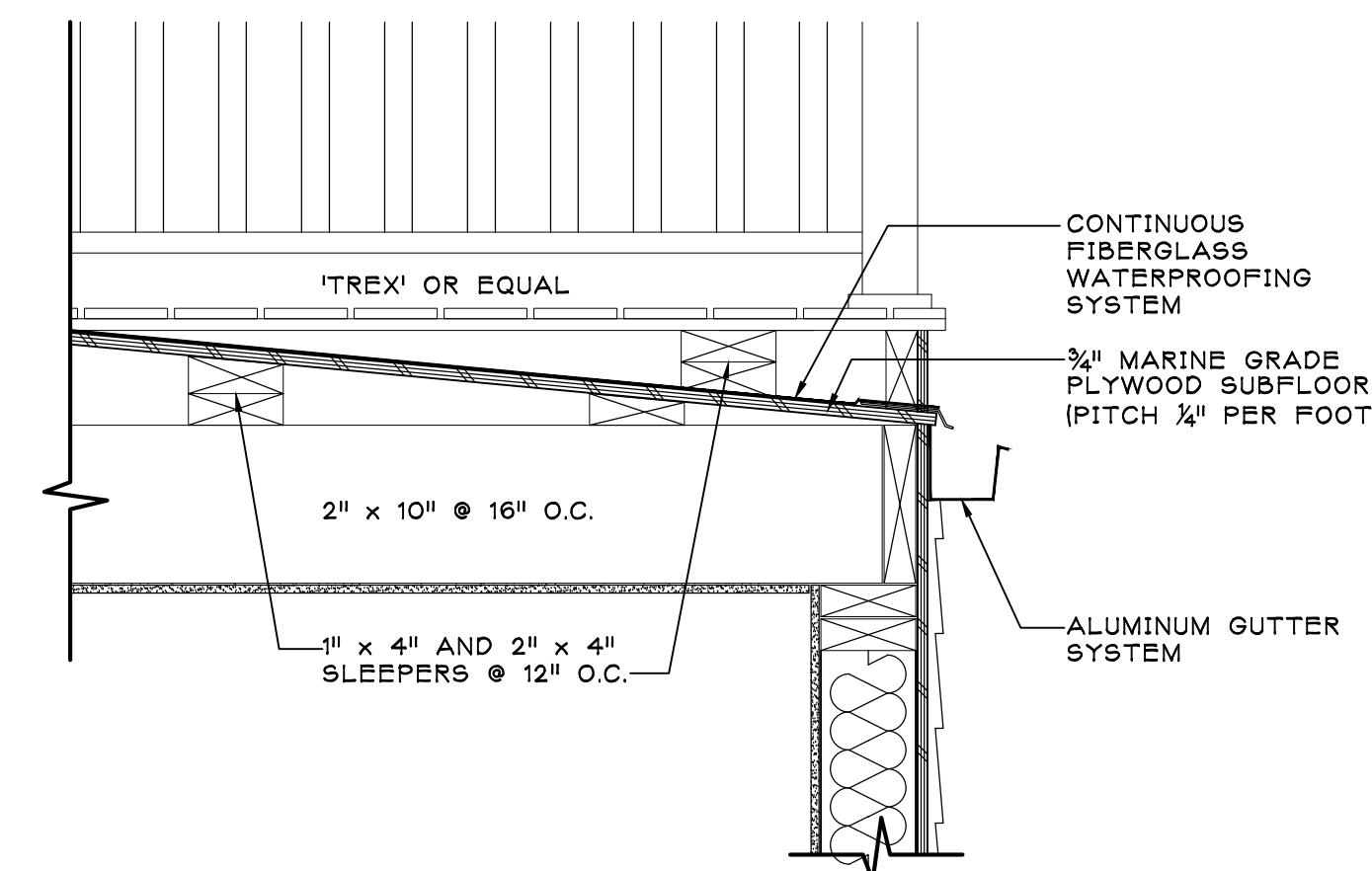
A
A-102 **ROOF FRAMING PLAN**
126 S.F. - F.F.E.: 42.00'

SCALE: 1/4" = 1'-0"



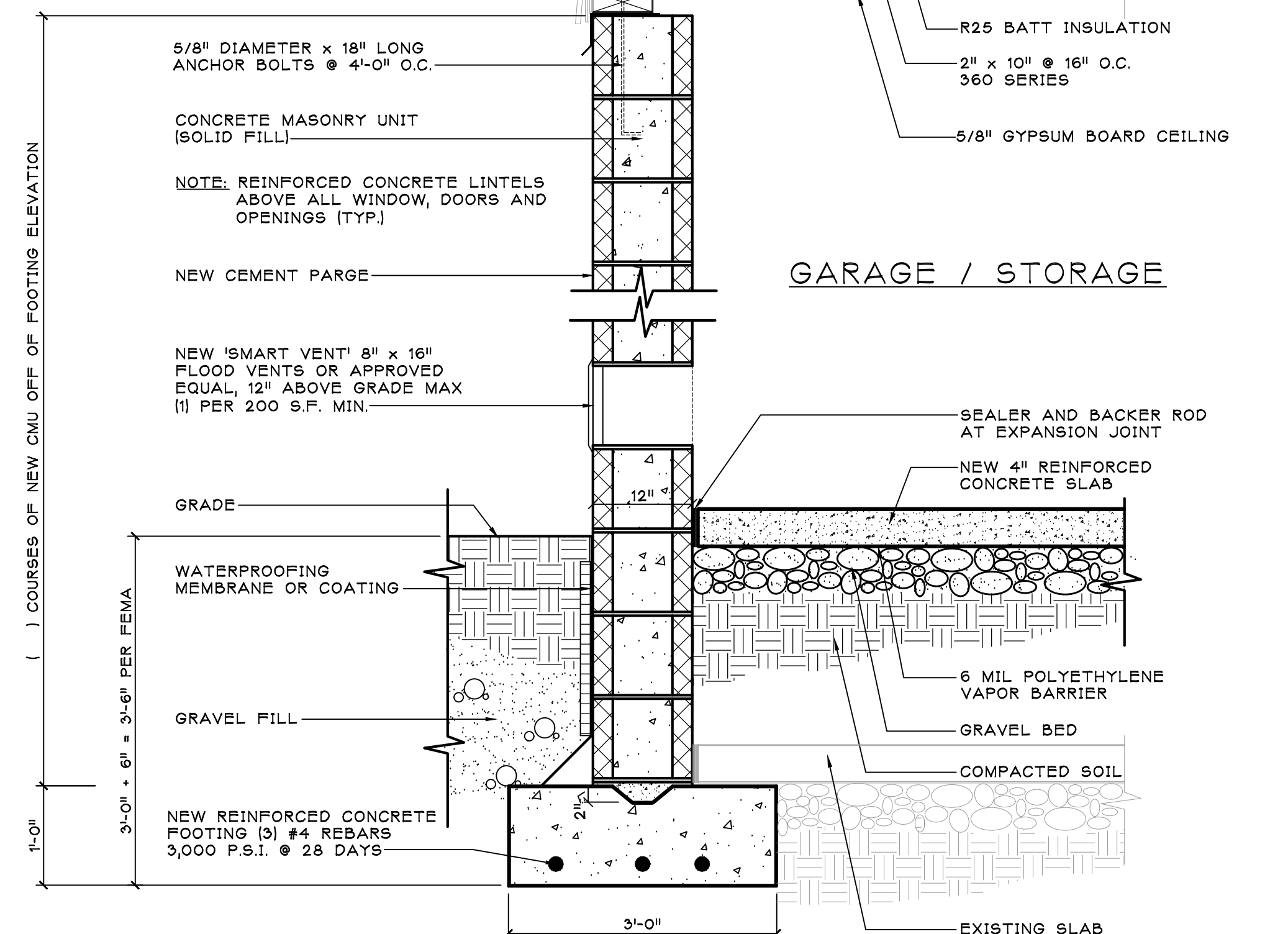
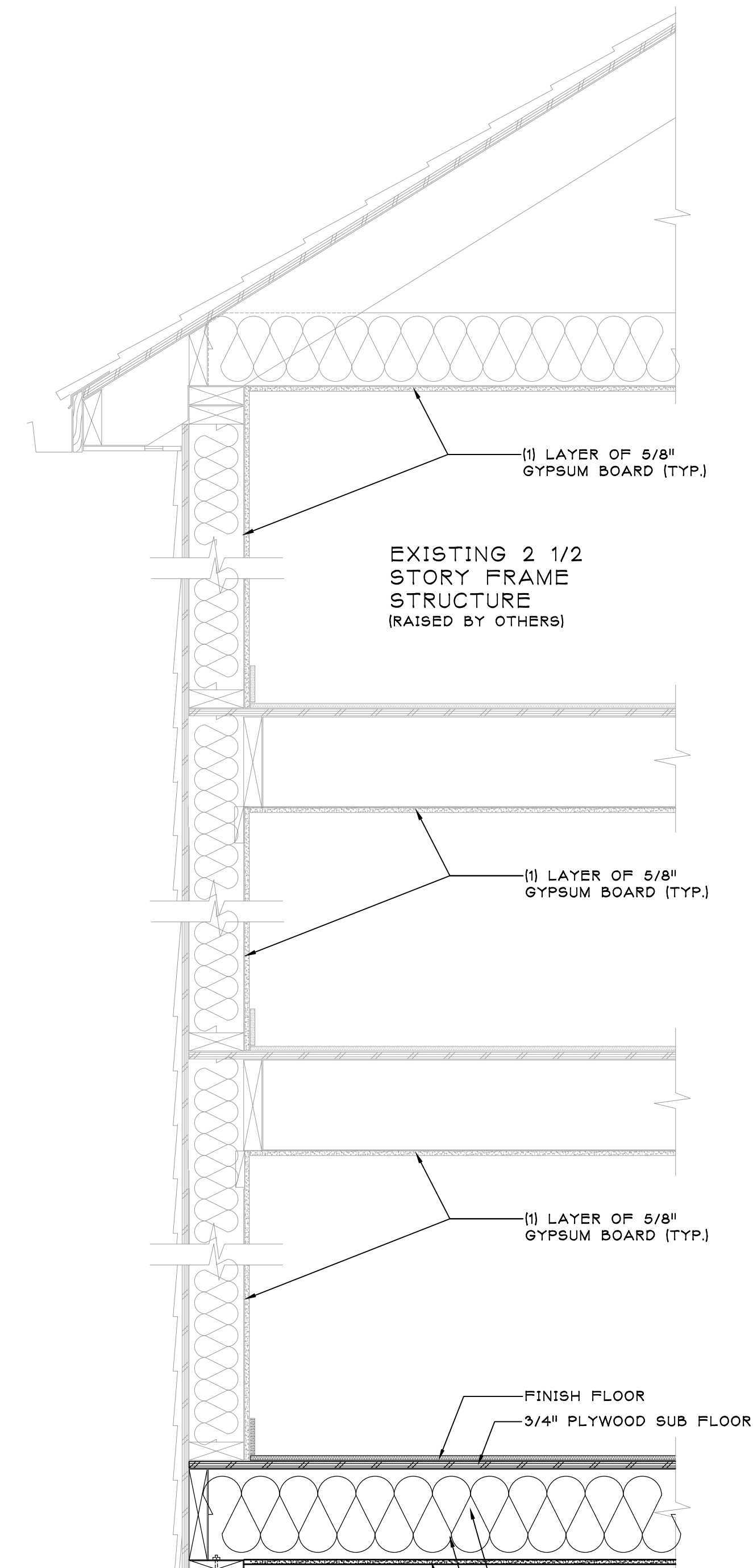
B
A-102 **THIRD FLOOR PLAN**
2,634 S.F. - F.F.E.: 33.00'

SCALE: 1/4" = 1'-0"



D
A-102 **SECOND FLOOR DECK DETAIL**

SCALE: N.T.S.



C
A-102 **WALL SECTION**

SCALE: 1" = 1'-0"

PROGRESS SET
ISSUED: 4/11/2025

SALVATORE LA FERLITA, R.A.
Architectural Services
Construction Management
115 University Drive
Lincroft, N.J. 07738
732-741-5105
Sallaferlita@aol.com

Revised			Issued		
No.	DATE	REVISION	No.	DATE	DESCRIPTION

Client: **60 BAY AVE HIGHLAND LLC**
MULTI- FAMILY RESIDENCE
60 BAY AVENUE
HIGHLANDS, NEW JERSEY

Title: **THIRD FLOOR AND ROOF**
PRELIMINARY SPACE ANALYSIS

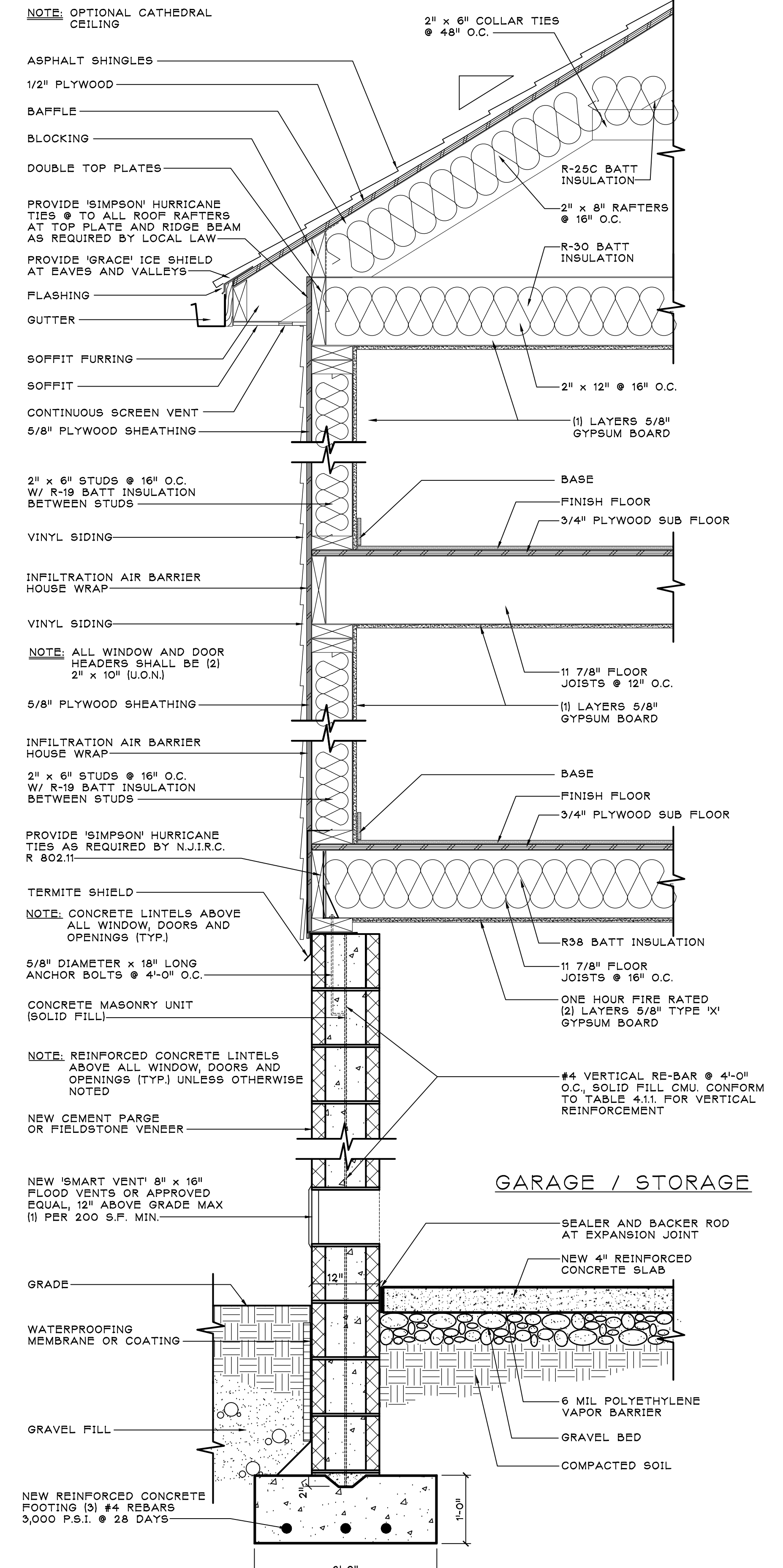
Seal & Signature: 		Job Type: -	
Project No.: -		Scale: AS NOTED	
Date: -		Drawn By: -	
Reviewed By: -		Drawing No.: A-102	
N.J. LIC. #A115228		SHEET No.: _ OF _	



1 FRONT ELEVATION

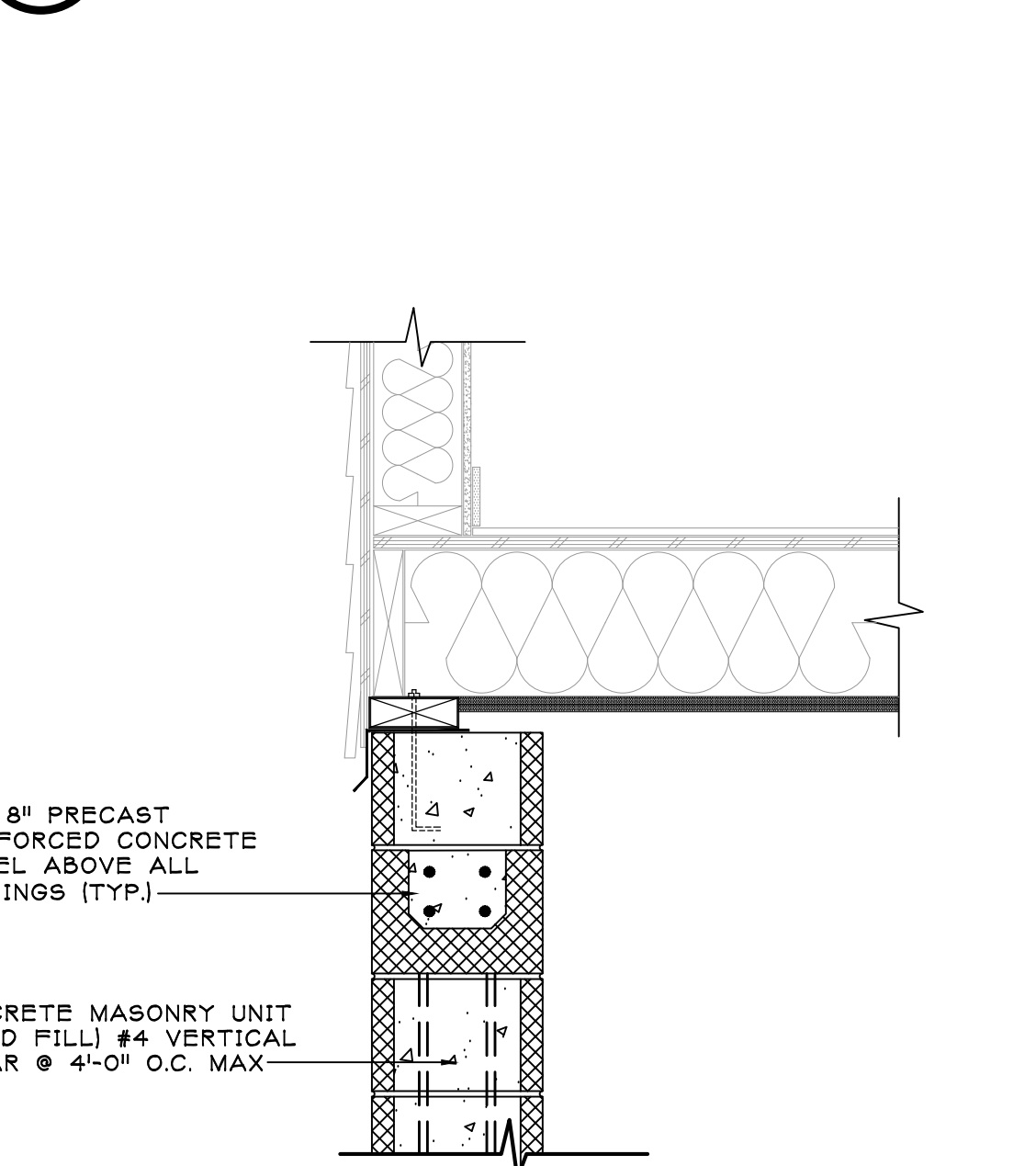


2 REAR ELEVATION



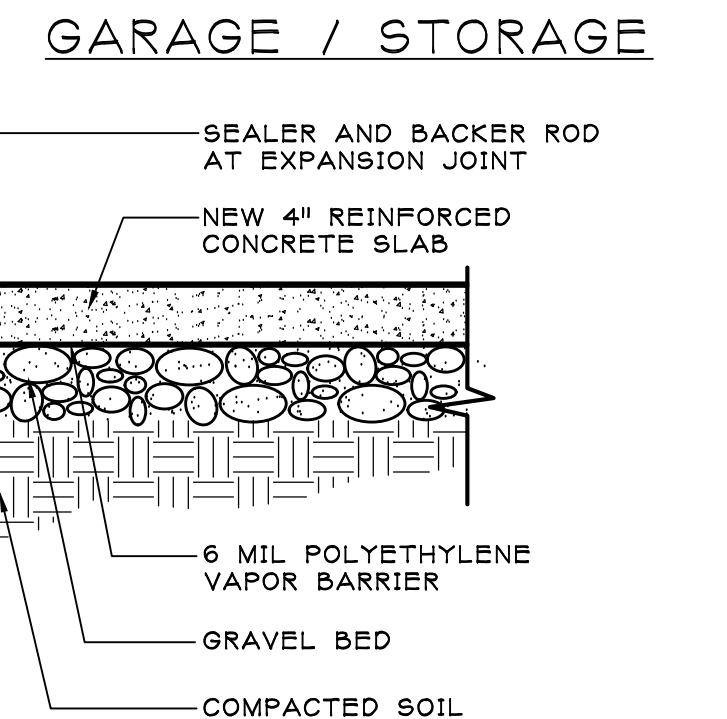
A FOUNDATION / WALL SECTION

SCALE: 1/4" = 1'-0"



B TYPICAL CONCRETE LINTEL DETAIL

SCALE: 1/4" = 1'-0"



PROGRESS SET

ISSUED: 4/11/2025

SALVATORE LA FERLITA, R.A.
Architectural Services
Construction Management

115 University Drive
Lincroft, N.J. 07738
732-741-5105
Sallalferlita@aol.com

No.	DATE	REVISION	No.	DATE	DESCRIPTION

Client: **60 BAY AVE HIGHLAND LLC**
MULTI- FAMILY RESIDENCE
60 BAY AVENUE
HIGHLANDS, NEW JERSEY

Title: **FRONT ELEVATION AND REAR ELEVATION**

Seal & Signature:

Job Type: **AS NOTED**

Scale: **AS NOTED**

Date: **AS NOTED**

Drawn By: **AS NOTED**

Reviewed By: **AS NOTED**

Drawing No.: **A-103**

SHEET No.: **1 OF 1**



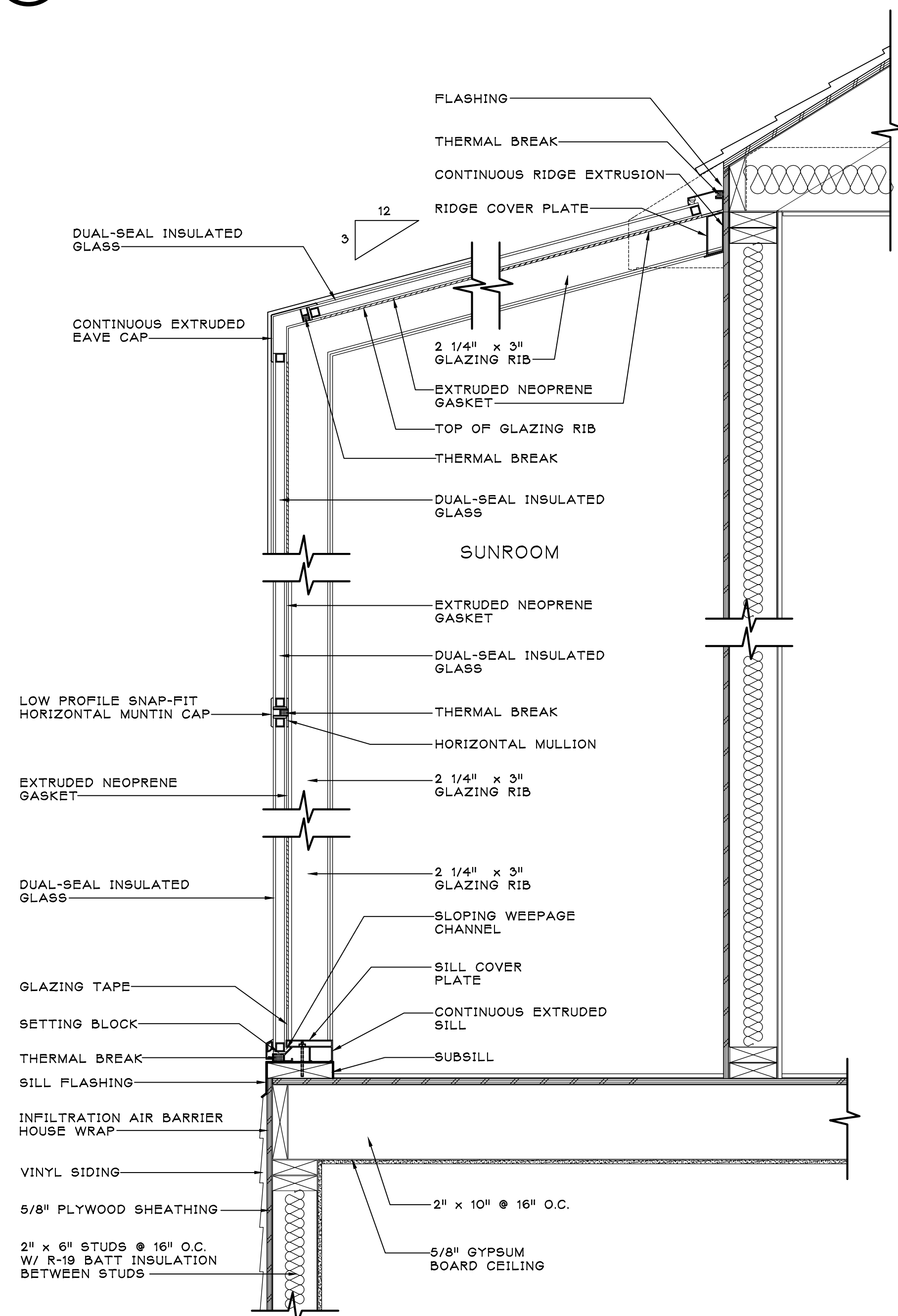
1 RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



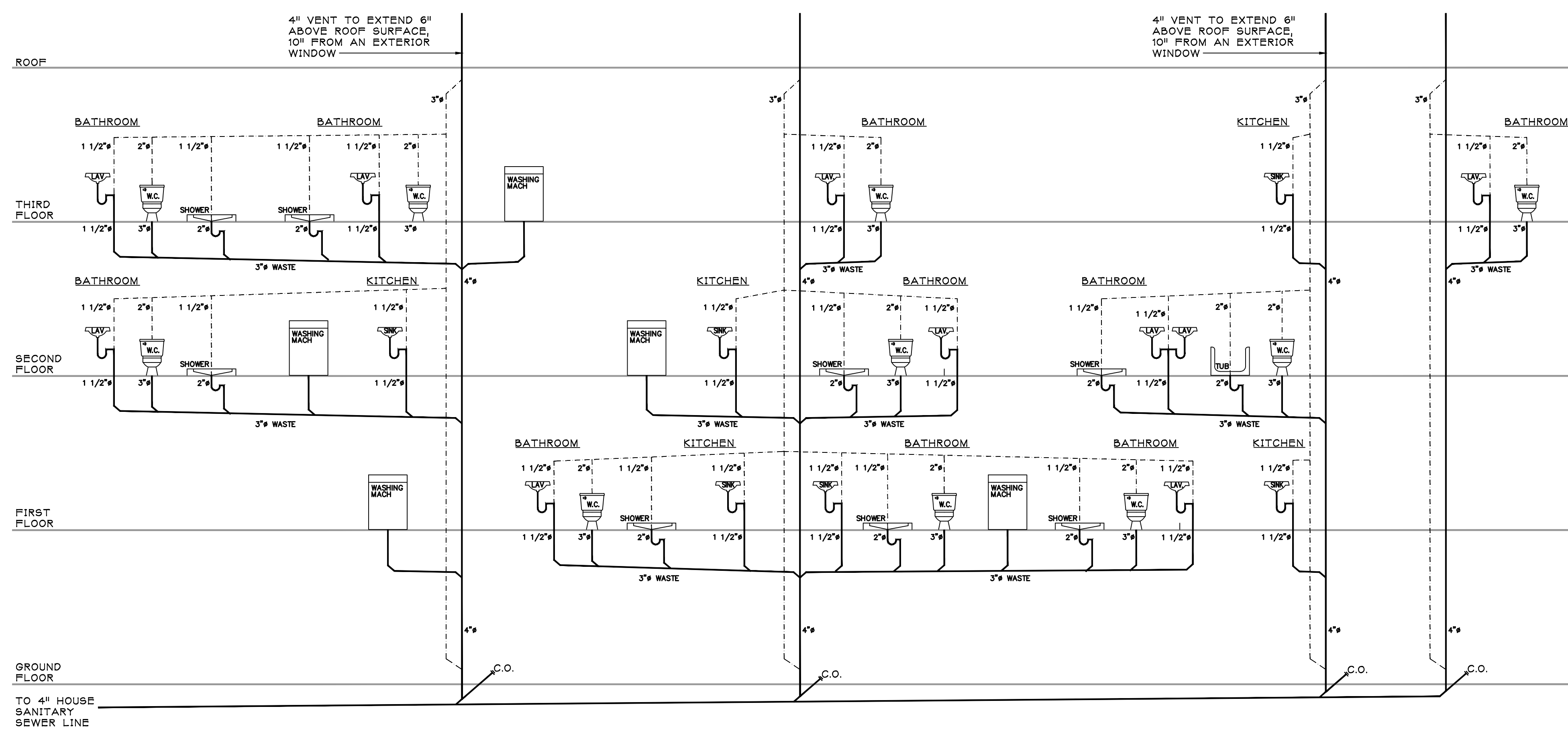
2 LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



A WALL SECTION THRU SUNROOM

SCALE: 1" = 1'-0"



C PLUMBING RISER DIAGRAM

SCALE: N.T.S.

ALL PLUMBING FIXTURE LOCATIONS ARE FOR DIAGRAMMATIC PURPOSES ONLY. OWNERS PLUMBING CONTRACTOR TO VERIFY ALL PURPOSED CONDITIONS PRIOR TO DESIGN & CONSTRUCTION.
MAINTAIN 1/2" PER FOOT PITCH ON ALL WASTE LINES

PROGRESS SET
ISSUED: 4/11/2025

SALVATORE LA FERLITA, R.A.
Architectural Services
Construction Management
115 University Drive
Lincroft, N.J. 07738
732-741-5105
Sallafelita@aol.com

Revised			Issued		
No.	DATE	REVISION	No.	DATE	DESCRIPTION

Client
60 BAY AVE HIGHLAND LLC
MULTI- FAMILY RESIDENCE
60 BAY AVENUE
HIGHLANDS, NEW JERSEY

Title
LEFT AND RIGHT
SIDE ELEVATIONS

Seal & Signature:	Job Type:
	-
Project No.:	AS NOTED
Scale:	
Date:	
Drawn By:	
Reviewed By:	
Drawing No.:	
N.J. LIC. #A115228	

A-104

SHEET No.: _ OF _



MONMOUTH COUNTY DEVELOPMENT REVIEW COMMITTEE

Development Application Action

FILE NUMBER: HSP10591

Application:	60 Bay Avenue Multifamily Residence	Municipality:	Highlands
Applicant:	60 Bay Avenue Highlands, LLC	Municipal Agency:	Planning Board
Owner:	Applicant	Block:	42
Design Professional:	InSite Engineering	Lot:	1
Plan Date:	4/10/2025	Date Received:	5/30/2025
Project Description:	Addition and off-street parking at existing multifamily residence		
Action Taken By:	<div>Development Review Committee</div> <div>X Planning Director</div>		
	<div>Approval Status: Conditional Approval</div> <div>Action Date: 7/16/2025</div>		

If conditionally approved, the conditions listed below or on the attached sheet shall be satisfactorily addressed before final approval is issued. This action does not release the applicant from obtaining a consistency determination pursuant to N.J.A.C. 7:8-1 et seq. (Monmouth County Areawide Water Quality Management Plan). Prior to commencing any work within the right-of-way of a county highway or before doing any work that affects a county bridge, the applicant is required to obtain a road opening permit from the Monmouth County Highway Department. A review of the location of subsurface utilities within county road rights-of-way will be conducted by the County Highway Department upon application for a road opening permit. Prior to planting or removal of trees or shrubs within or along the right-of-way of a county highway, the applicant is required to obtain a permit from the Monmouth County Shade Tree Commission. Note: County review is made only on items covered by statutory authority.

On 6/23/2025, a waiver was granted from §5.1-1 to accept an easement instead of a dedication, to avoid creating new bulk variances.

Conditions:

1. Address the comments in the memorandum prepared by Michael T. Brusca, dated June 23, 2025.
 2. Receipt of an easement to widen the Bay Avenue (County Route 8) right-of-way to a distance of 30 feet from the centerline. The only format acceptable to the County of Monmouth is provided on the Division of Planning webpage at www.visitmonmouth.com. The draft deed shall be submitted to the Division of Planning for review and approval. Following approval, submit the executed deed directly to this office for filing with the Monmouth County Clerk.
 3. Receipt of a performance guarantee in the amount of **\$4,469.30**, to assure the satisfactory installation of the required improvements within the Bay Avenue (County Route 8) right-of-way. Ten percent, or **\$446.93**, is required to be in the form of a bank/certified check. The remaining amount of **\$4,022.37**, may be in the form of a surety bond, letter of credit, or bank/certified check. Sample formats for bonds and letters of credit acceptable to the County of Monmouth may be found at the Division of Planning webpage at www.visitmonmouth.com. See attached calculation of the bond estimate.
- The inspection fee, in the amount of **\$89.39**, must be submitted prior to the inspection of installed improvements. All inspection requests and photos assuring the installation of the required improvements shall be submitted via email to DevelopmentReview@co.monmouth.nj.us.

Monmouth County Planning Board
Hall of Records Annex
1 E. Main Street
Freehold, NJ 07728-1255

Phone: 732-431-7460
Email: DevelopmentReview@co.monmouth.nj.us

Submit questions via email to DevelopmentReview@co.monmouth.nj.us.



Joseph Barris, P.P., A.I.C.P., C.F.M.
Director of Planning

cc: InSite Engineering
Donna M. Jennings, Esq.
Mark R. Aikins, Esq.
J. Ettore; V. Cardone; T. Lombardi; V. Zabat; M. Brusca
Highway Department
Construction Official
HSP10591 CA2 07162025

Monmouth County Planning Board
Hall of Records Annex
1 E. Main Street
Freehold, NJ 07728-1255

Phone: 732-431-7460
Email: DevelopmentReview@co.monmouth.nj.us

The Board of County Commissioners of the County of Monmouth

DIVISION OF ENGINEERING

JOSEPH M. ETTORE, P.E.
County Engineer
Email: engineer@co.monmouth.nj.us



Hall of Records Annex
1 East Main Street
Freehold, New Jersey 07728
Telephone: (732) 431-7760
Fax: (732) 431-7765

July 15, 2025

MEMORANDUM

TO: Joe Barris, Director of Planning

FROM: Michael Brusca, Assistant Engineer

RE: HSP10591 - 60 Bay Ave. Highlands
County Route 8 – Bay Avenue
Block 42 - Lot 1
Borough of Highlands

The following items were received by this office in connection with the above-referenced application:

1. Preliminary & Final Major Site Plan for Proposed Multi-Family Residence, Block 42, Lot 1, 60 Bay Avenue, Borough of Highlands, Monmouth County, New Jersey, prepared by Douglas Clelland, P.E., of Insite, dated February 5, 2024, last revised April 1, 2025, received May 30, 2025.

Please find attached the Performance Bond Estimate for the above site plan application. Please incorporate this document into the permanent file. Please request that the applicant provide and itemized response to this memorandum. Additional recommendations or comments may be made upon submittal of additional or revised application documents.

cc: Dave Schmetterer, Asst. Planning Director
Victor Furmanec, Supervising Planner
Kyle DeGroot, Senior Planner
Jeannine Smith, Planning Aide
Joseph M. Ettore, County Engineer
Thomas J. Lombardi, Supervising Engineer
Vincent Cardone, Principal Engineer
Victorino Zabat, Principal Engineer



MONMOUTH COUNTY DEPARTMENT OF PUBLIC WORKS AND ENGINEERING

BOROUGH OF HIGHLANDS

COUNTY ROUTE 8 (WEST MAIN STREET)

HSP10591

PROJECT: Proposed Multi Family Residence

BLOCK 42, LOT 1

BY: MTB

DATE: 7/15/2025

CHECKED:

REvised: 7/15/2025

PERFORMANCE BOND ESTIMATE

Item No.	Est'd Qty	Units	Item	Unit Price	Amount
1	1	L.S.	MAINTENANCE AND PROTECTION OF TRAFFIC, INCL. POLICE OFFICERS	\$2,000.00	\$2,000.00
2	1	L.S.	CLEARING SITE	\$1,000.00	\$1,000.00
3	1	C.Y.	DENSE-GRADED AGGREGATE BASE COURSE, 6" THICK (pave repair)	\$40.00	\$40.00
4	40	L.F.	POLYMERIZED JOINT ADHESIVE (pave repair)	\$3.00	\$120.00
5	1	GAL.	TACK COAT (pave repair)	\$3.00	\$3.00
6	1	TON	HOT MIX ASPHALT 9.5M64 SURFACE COURSE (pave repair)	\$90.00	\$90.00
7	2	TON	HOT MIX ASPHALT, 19M64 BASE COURSE (pave repair)	\$90.00	\$180.00
8	18	L.F.	6" x 8" x 20" CONCRETE VERTICAL CURB	\$35.00	\$630.00

SUB-TOTAL ALL ITEMS

\$4,063.00

10% CONTINGENCIES

\$406.30

TOTAL BOND AMOUNT

\$4,469.30

2% INSPECTION FEE

\$89.39

NOTE 10% OF THE BOND AMOUNT, OR **\$446.93** MUST BE IN THE FORM OF A BANK CHECK OR CERTIFIED CHECK. THE BALANCE OF **\$4,022.37** MUST BE IN THE FORM OF A BOND, LETTER OF CREDIT, BANK CHECK OR CERTIFIED CHECK.

REF. Preliminary & Final Major Site Plan for Proposed Multi-Family Residence, Block 42, Lot 1, 60 Bay Avenue, Borough of Highlands, Monmouth County, New Jersey, prepared by Douglas Clelland, P.E., of Insite, dated February 5, 2024, last revised April 1, 2025, received May 30, 2025.