



Borough of Highlands
151 Navesink Ave.
Highlands, NJ 07732
(732) 872-1224
www.highlandsnj.gov

LAND USE BOARD APPLICATION

FOR OFFICIAL USE			
Date Rec'd: <u>3/5/2025</u>	Application #: <u>LU25-03</u>	Fee: <u>125.00</u>	<u>etc # 277</u>
Escrow: <u>previous balance</u>	Escrow Acct# <u>T-03-56-875-000-194</u>		

1. APPLICANT

Name: John and Shari Nastasi
 Address: 19 Gravelly Point Road
 City: Highlands State: NJ Zip: 07732
 Phone: (516) 885-4104
 Email: beachrx18@yahoo.com
 Relation to property: Owner

2. OWNER

Name: John and Shari Nastasi
 Address: 19 Gravelly Point Road
 City: Highlands State: NJ Zip: 07732
 Phone: (516) 885-4104
 Email: beachrx18@yahoo.com

3. TYPE OF APPLICATION (Check all that apply)

- | | |
|--|---|
| <input type="checkbox"/> Minor Subdivision | <input type="checkbox"/> Appeal – Zoning Denial date _____ |
| <input type="checkbox"/> Major Subdivision – Preliminary | <input type="checkbox"/> Appeal – Land Use Decision date _____ |
| <input type="checkbox"/> Major Subdivision – Final | <input type="checkbox"/> Informal Concept Plan Review |
| <input type="checkbox"/> Minor Site Plan | <input type="checkbox"/> Extension of Approval |
| <input type="checkbox"/> Major Site Plan – Preliminary | <input type="checkbox"/> Revision/Resubmission of Prior Application |
| <input type="checkbox"/> Major Site Plan – Final | <input checked="" type="checkbox"/> Other <u>extension of deck</u> |
| <input checked="" type="checkbox"/> Variance | |
| <input type="checkbox"/> Use Variance | |

4. PROPERTY INFORMATION

Block 100 Lot(s) 26.19 Address: 19 Gravelly Point Road
 Lot size 0.057 # of Existing Lots 1 # of Proposed Lots 1
 Zone R203 Are there existing Deed Restrictions or Easements? No Yes – Please attach copies
 Has the property been subdivided? No Yes If yes, when? _____
 Attach copies of approved map or approved resolution
 Property taxes paid through Current Sewer paid through Current

5. ATTORNEY (A corporation, LLC, Limited Partnership, or S-Corp must be represented by a NJ attorney)

Name: _____
 Address: _____
 Phone: _____ Email: _____



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6. APPLICANT'S OTHER PROFESSIONAL(S) – Engineer, Planner, Architect, etc.

Name: <u>John NASTASI NASTASI ARCHITECT:</u>	Name: _____
Address: <u>321 Newark St</u>	Address: _____
<u>HOBOKEN NJ 07030</u>	_____
Phone: <u>201 653 2577</u>	Phone: _____
Email: <u>johnenastasiarchitects.com</u>	Email: _____

7. LAND USE

A. PROPERTY HISTORY –Describe in detail, nature of prior use(s) on the site, start date of such use, any prior Land Use Board applications for this site (attach copy of resolution, if applicable), history of current ownership, etc.

see attached approved height variance

B. PROPOSED PLAN –Describe in detail, proposed use for property, including, but not limited to: 1) portion to be subdivided; 2) sell lot only; 3) construct house(s) for sale; 4) how trash will be disposed; 5) landscaping; 6) hours of operation; 7) type of goods/services; 8) fire lane. Attach additional sheets if necessary.

19 Gravelly received a variance due to specific design and structural considerations. The initial architect's plans did not account for the weight distribution of the poles, which led to a design flaw where support poles were placed in the middle of the kitchen island. To correct this, a new architect was brought in. The new architect properly redistributed the structural load to remove the obstruction in the kitchen. Additionally, for aesthetic and practical purposes, the deck was expanded to align with the street conformation, creating a more cohesive and visually appealing design. We are keeping the height that was previously approved

C. ADDITIONAL INFORMATION:

		Existing	Proposed
Residential:	How many dwelling units?	<u>1</u>	<u>1</u>
	How many bedrooms in each unit?	<u>3</u>	<u>3</u>
	How many on-site parking spaces?	<u>3</u>	<u>3</u>
Commercial:	How many commercial uses on site?	<u>N/A</u>	<u>N/A</u>
	How many on-site parking spaces?	<u>N/A</u>	<u>N/A</u>



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8. VARIANCE REQUESTS Complete section(s) related to the relief being requested.

	Req'd	Exist.	Prop'd
Minimum Lot Requirements			
Lot Area			
Frontage			
Lot Depth			
Minimum Yard Requirements			
Front Yard Setback			
2 nd Front Yard Setback			
Rear Yard Setback			
Side Yard Setback, right			
Side Yard Setback, left			
Building Height	20	16	29.1

	Req'd	Exist.	Prop'd
Accessory Structures			
Fence/Wall Height			
Garage/Shed Height			
Garage/Shed Area			
Pool Setback			
Parking Requirements			
On-site Parking Spaces			
Other (please add)			

← stays as per PG variance granted

9. OTHER RELIEF REQUESTED Please specify relief(s) and explain below.

NEW RELIEF REQUESTED IS EXPANSION OF DECK TO ALIGN WITH STREET CONFORMATION along with keeping original approvals from first variance and application to continually beautify and improve



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10. NOTARIZED SIGNATURE OF APPLICANT

I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual Applicant, or that I am an Officer of the Applicant authorized to sign the application for the business organization. Additionally, I certify that the survey or plans submitted with this application shows and discloses the premises in its entirety, and I further certify that no buildings, fences, or other facilities have been constructed, installed, or otherwise located on the premises after the date of the survey with the exception of the structures shown.

SWORN & SUBSCRIBED to before me this
 5th day of March 2025 (year)
 Kevin Rooney (notary)


 Signature _____ Date 3/5/25

KEVIN ROONEY
 Notary Public, State of New Jersey
 Commission # 50170501
 My Commission Expires Sept. 1, 2026

Shari Nastasi
 Print Full Name _____

11. NOTARIZED CONSENT OF OWNER

I certify that I am the Owner of the property which is the subject of this application, hereby consent to the making of this application and approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency (if owned by a corporation, a resolution must be attached authorizing the application and officer signature).

SWORN & SUBSCRIBED to before me this
 5th day of March 2025 (year)
 Kevin Rooney (notary)


 Signature _____ Date 3/5/25

KEVIN ROONEY
 Notary Public, State of New Jersey
 Commission # 50170501
 My Commission Expires Sept. 1, 2026

Shari Nastasi
 Print Full Name _____

12A. DISCLOSURE STATEMENT Circle all that apply.

Pursuant to N.J.S.A. 40:55D-48.1 & 48.2, please answer the following questions:

- | | | |
|--|-----|----|
| Is this application to subdivide a parcel of land into six (6) or more lots? | Yes | No |
| Is this application to construct a multiple dwelling of 25 or more units? | Yes | No |
| Is this an application for approval of a site(s) for non-residential purposes? | Yes | No |
| Is this Applicant a corporation? | Yes | No |
| Is the Applicant a limited liability corporation? | Yes | No |
| Is the Applicant a partnership? | Yes | No |

If you circled **YES** to any of the above, please complete the following Ownership Discloser Statement (use additional sheets if necessary).



N/A

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12B. BUSINESS ORGANIZATION OWNERSHIP DISCLOSURE STATEMENT

Name of Corporation, Partnership, LLC, LLP, S-Corp:

N/A

Listed below are the names and addresses of all owners of 10% or more of the stock/interest* in the above referenced business organization:

NAME	ADDRESS

*If a corporation or a partnership owns 10% or more of the stock of a corporation, or 10% or great interest in a partnership, that corporation or partnership shall list the names and address of its stockholders holding 10% or more of its stock or 10% or greater interest in the partnership, and this requirement shall be followed until the names and addresses of the non-corporate stockholders and individual partners, exceeding the 10% owner ship criterion established have been listed.

<p>SWORN & SUBSCRIBED to before me this</p> <p>_____ day of _____ 20____ (year)</p> <p>_____ (notary)</p> <p>(Seal)</p>

_____	_____
Signature (Officer/Partner)	Date
_____	_____
Print Full Name	Title



Attachments

BOROUGH OF HIGHLANDS
COUNTY OF MONMOUTH

LAND USE BOARD RESOLUTION 2024-17
MEMORIALIZATION OF HEIGHT VARIANCE AND BULK VARIANCE RELIEF

IN THE MATTER OF JOHN AND SHARI NASTASI
APPLICATION NO. LUB2024-04

Approved: August 8, 2024
Memorialized: September 12, 2024

WHEREAS, an application for height variance and bulk variance relief has been made to the Borough of Highlands Land Use Board (hereinafter referred to as the "Board") by John and Shari Nastasi (hereinafter referred to as the "Applicants") on lands known and designated as Block 100, Lot 26.19, as depicted on the Tax Map of the Borough of Highlands (hereinafter "Borough"), and more commonly known as 19 Gravelly Point Road, Highlands, New Jersey, in the Bungalow Colonies area of the R-2.03 Single-Family Residential (R-2.03) Zone District (hereinafter "Property"); and

WHEREAS, a live public hearing was held before the Board on August 8, 2024, with regard to this application; and

WHEREAS, the Board has heard testimony and comments from the Applicant, witnesses and consultants, and with the public having had an opportunity to be heard; and

WHEREAS, a complete application has been filed, the fees as required by Borough Ordinance have been paid, and it otherwise appears that the jurisdiction and powers of the Board have been properly invoked and exercised.

NOW, THEREFORE, does the Highlands Land Use Board make the following findings of fact and conclusions of law with regard to this application:

1. The subject Property is an existing undersized lot containing 2,758.25 square feet (0.06 acres) with 50.15 feet of frontage along Gravelly Point Road within Bungalow Colonies area

of the R-2.03 Single-Family Residential (R-2.03) Zone District. The subject Property is located within the AE Flood Hazard Area.

2. The subject Property is improved with an existing elevated two-story frame dwelling with existing garage under parking, with an elevated addition with garage under parking, decking, and stairs. The Applicants are proposing to construct a third floor which will include one (1) additional bedroom. Utilities will be elevated and located in the proposed attic. The Applicants propose parking in the existing and proposed garage as well as the under-parking area. The existing decking and stairs are proposed to be removed, and the existing shed and attached covered area are proposed to remain unchanged.

3. Counsel for the Applicants, Edward McKenna, Esq., identified the subject Property as Block 100, Lot 26.19, with the address of 19 Gravelly Point Road, Highlands, New Jersey, and located within the Bungalow Colonies area of the R-2.03 Single-Family Residential (R-2.03) Zone District. Mr. McKenna stated that the Applicants were seeking variance relief to permit pre-existing non-compliant conditions. He also represented that revisions had been made to the plans in response to the Board Engineer's Report. Mr. McKenna explained that the Applicants were seeking height variance relief from the Bungalow Colonies standards and noted that the proposed height would be compliant if the R-2.03 zone standards were applicable.

4. The Applicants' Architect, Catherine Franco, AIA, testified that the Applicants were proposing to elevate the existing bungalow to provide needed garage space. She stated that the dwelling would be brought into compliance with the latest building standards and that the ground level would contain the garage. Ms. Franco further testified that the Applicants were proposing to remove an existing bedroom on the first level and enlarge the kitchen. She also stated that the second level would contain three (3) bedrooms and two (2) bathrooms. Ms.

Franco explained that the existing ceiling height was ten (10) feet and nine (9) feet on the first and second levels, respectively. She testified that the roof was not flat.

5. Ms. Franco further testified that the proposal would eliminate the need for on-street parking by providing three (3) parking spaces onsite within the garage. She stated that the parking spaces would be tandem. Ms. Franco further explained that elevating the dwelling would also place the utility out of the flood level by locating them in the attic. She stated that the A/C units would remain in the existing location but would be mounted upon a raised platform.

6. In response to questions from the Board, Ms. Franco testified that the attic was accessed by pull down stairs. She stated that the height of the collar ties in the attic was four (4) feet, therefore the attic would not be living space.

7. Testimony was then taken from John Caruso, who identified himself as the owner of Lil' Johns Construction, LLC, which was serving as the Applicants' General Contractor. Mr. Caruso testified that he had constructed fourteen (14) new houses, ten (10) renovations, and three (3) lifts on Gravelly Point Road. He also stated that he resides on Gravelly Point Road. Mr. Caruso opined that the proposal would be similar to the other houses on the street which he had constructed, renovated and lifted. He, therefore, believed that the proposed dwelling improvements would conform with the surrounding area. He also stated that the proposal would not impair the zone or the public good.

8. The Applicants confirmed the need for the following variance relief:

Requirement	R-2.03 Residential Zone	Bungalow Colonies Required	Existing Lot 26.19 Bungalow Colonies	Proposed Lot 26.19 Bungalow Colonies
Minimum Lot Area	5,000 sf	5,000 sf	2,758.25 sf**	2,758.25 sf*
Lot Frontage/Width	50 ft	50 ft	50.15 ft	50.15 ft
Minimum Lot Depth	100 ft	100 ft	55.0 ft**	55.0 ft*
Minimum Front Yard Setback	20 ft	3 ft	5.1 ft	4.11 ft
Minimum Side Yard Setback	6 ft/8 ft	3 ft	6.56 ft/11.7 ft	5.46 ft/4.1 ft
Minimum Rear Yard Setback	20 ft	3 ft	2.37 ft**	2.37 ft*
Maximum Building Height***	30 ft	20 ft	16.0 ft	29.1 ft*
Maximum Lot Coverage****	75%	75%	53.4%	69.8%
Maximum Building Coverage****	30%	35%	43.3%	59.3%
On-Site Parking	2 spaces	1 space	3 spaces	3 spaces

*Proposed Variance

**Existing non-conformity

*** Where a dwelling is constructed or reconstructed to provide the required parking under the structure, the maximum height shall be increased by two and one-half (2 ½) feet.

**** §21-86 A.4.b(c) Total building coverage shall not exceed thirty-five (35%) percent of the total lot area and total lot coverage shall not exceed seventy-five (75%) percent except for those situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28.

9. There were no members of the public expressing an interest in this application.

WHEREAS, the Highlands Land Use Board, having reviewed the proposed application and having considered the impact of the proposed application on the Borough and its residents to determine whether it is in furtherance of the Municipal Land Use Law; and having considered whether the proposal is conducive to the orderly development of the site and the general area in which it is located pursuant to the land use and zoning ordinances of the Borough of Highlands; and upon the imposition of specific conditions to be fulfilled, hereby determines that the Applicants should be granted bulk variance relief pursuant to both N.J.S.A. 40:55D-70c(1) and c(2), as well as height variance relief pursuant to N.J.S.A. 40:55D-70d(6) in this instance.

The Applicants require the following variance relief:

- a. **Section 21-86A.4.b(2)(d)** – The maximum permitted building height is 20 feet, whereas 29.1 feet is proposed.
- b. **Section 21-86A.4.b(2)(a)** – Detached accessory structures are prohibited in the minimum required yard area, whereas the existing shed and covered area are located within the side yard setback and rear yard setback. The existing shed and covered area are to remain.
- c. **Section 21 Attachment I** – The Minimum lot area is 5,000 square feet, whereas 2,758.25 feet is existing and proposed.
- d. **Section 21 Attachment I** – The Minimum Lot Depth is 100 feet, whereas 55.0 feet is existing and proposed.
- e. **Section 21 Attachment I** – The Minimum Rear Yard setback is 3 feet, whereas 2.37 feet is existing and proposed.
- f.

I. **Height Variance Relief**

The Applicants require height variance approval pursuant to the Municipal Land Use Law pursuant to N.J.S.A. 40:55D-70d(6). The subject Property is located in the Bungalow Colonies area of the R-2.03 Single-Family Residential (R-2.03) Zone District and the maximum height of a principal structure in the zone is 20 feet. The Applicant, therefore, requires height variance relief because the height of the principal structure exceeds by 9.1 feet or 45.50% the maximum height permitted in the district for a principal structure.

In Grasso v. Borough of Spring Lake Heights, 375 N.J. Super. 41 (App. Div. 2004), the Court explored reasons for adopting height limitations. The Grasso Court found that special reasons may be established by demonstrating an undue hardship, which for a d(6) variance requires a showing that the height restriction prohibits the use of the property for a conforming structure, or in the alternative by demonstrating that the increased height of the building does not offend the purpose of the height restriction which the court characterized as being focused primarily on light and air concerns as well as providing an opportunity to control density.

The Board finds that the Applicants have satisfied the positive criteria. The Board finds that the proposed height comports with the density of the area. The Board finds that the majority of the dwellings in the area are of comparable height. The Board further finds that the proposed height will not block any view corridors for surrounding neighbors or cast undue shade upon adjoining properties. The Board also finds that the proposed height will allow additional on-site parking which would alleviate the demand for on-street parking in the area. The proposed height will also better protect the home from flood damage. The Board therefore finds that the positive criteria have been satisfied.

The Board also finds that the negative criteria has been satisfied for the reasons expressed infra in the bulk variance section. The Board concludes that the positive criteria substantially outweighs the negative criteria and height variance relief may be granted pursuant to N.J.S.A. 40:55D-70d(6).

II. Bulk Variance Relief

The Board finds that the Applicants have proposed construction which requires bulk variance relief. The Municipal Land Use Law, at N.J.S.A. 40:55D-70c provides Boards with the power to grant variances from strict bulk and other non-use related issues when the Applicant satisfies certain specific proofs which are enunciated in the Statute. Specifically, the Applicant may be entitled to relief if the specific parcel is limited by exceptional narrowness, shallowness or shape. An Applicant may show that exceptional topographic conditions or physical features exist uniquely affect a specific piece of property. Further, the Applicant may also supply evidence that exceptional or extraordinary circumstances exist which uniquely affect a specific piece of property or any structure lawfully existing thereon and the strict application of any regulation contained in the Zoning Ordinance would result in a peculiar and exceptional practical difficulty

or exceptional and undue hardship upon the developer of that property. Additionally, under the “c(2)” criteria, the Applicant has the option of showing that in a particular instance relating to a specific piece of property, the purpose of the Act would be advanced by allowing a deviation from the Zoning Ordinance requirements and the benefits of any deviation will substantially outweigh any detriment. In those instances, a variance may be granted to allow departure from regulations adopted, pursuant to the Zoning Ordinance.

Those categories specifically enumerated above constitute the affirmative proofs necessary in order to obtain “bulk” or (c) variance relief. Finally, the Applicant must also show that the proposed variance relief sought will not have a substantial detriment to the public good and, further, will not substantially impair the intent and purpose of the Zone Plan and Zoning Ordinance. It is only in those instances when the Applicant has satisfied both these tests that a Board, acting pursuant to the Statute and case law, can grant relief. The burden of proof is upon the Applicant to establish these criteria.

The Board finds that the Applicants have satisfied the positive criteria. The Board finds that the proposed improvements to the subject Property will upgrade the existing residential structure and will be consistent with neighboring development. The Board further finds that the proposed improvements will be aesthetically pleasing and create a desirable visual environment which will be more commensurate with other homes in the neighborhood in terms of size and setbacks. The Board further finds that the subject Property is unique and unusual with respect to its dimensions. Ultimately, the Board finds that the grant of variance relief will result in a visually desirable dwelling which will not only benefit the Applicant but will also advance the interests of the entire community. The Board therefore concludes that the goals of planning as enumerated

in N.J.S.A. 40:55D-2 have been advanced. The Applicants have therefore satisfied the positive criteria.

The Board also finds that the negative criteria has been satisfied. The proposed improvements requiring variance relief will not cause a detriment to the community in any discernible way. In fact, the Board finds that proposed addition will still be consistent and fit in seamlessly with the prevailing neighborhood residential scheme. The proposal is consistent with the Borough's overall goals and objectives of providing new, safe and visually attractive homes and will advance the general welfare by providing increased privacy and sound attenuation for both the Applicants and the neighbors alike. Granting of the variances sought by the Applicants will also not result in any substantial detriment to the public welfare or impair the purpose or intent of the Zone Plan or Zoning Ordinance. The Board therefore concludes that the negative criteria has therefore been satisfied pursuant to N.J.S.A. 40:55D-70c(2).

The Board concludes that the positive criteria substantially outweighs the negative criteria and that bulk variance relief may be granted pursuant to N.J.S.A. 40:55D-70c(2).

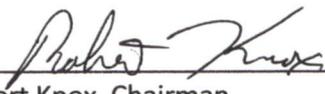
NOW, THEREFORE, BE IT RESOLVED by the Borough of Highlands Land Use Board on this 12th day of September 2024, that the action of the Board taken on August 8, 2024, granting application no. LUB 2024-04 of John and Shari Nastasi for bulk variance relief pursuant to N.J.S.A. 40:55D-70c(1) and "c(2)" and height variance relief pursuant to N.J.S.A. 40:55D-70d(6) is hereby memorialized as follows:

The application is granted subject to the following conditions:

1. All site improvement shall take place in strict compliance with the testimony and with the plans and drawings which have been submitted to the Board with this application, or to be revised.

2. Except where specifically modified by the terms of this Resolution, the Applicants shall comply with all recommendations contained in the Reports of the Board's Professionals.
3. The Applicants shall apply for all necessary Zoning Permit(s).
4. The attic shall not be used as living space.
5. The Applicants shall provide a certificate that taxes are paid to date of approval.
6. Payment of all fees, costs, escrows due or to become due. Any monies are to be paid within twenty (20) days of said request by the Board Secretary.
7. Subject to all other applicable rules, regulations, ordinances and statutes of the Borough of Highlands, County of Monmouth, State of New Jersey, or any other jurisdiction.

BE IT FURTHER RESOLVED that the Board secretary is hereby authorized and directed to cause a notice of this decision to be published in the official newspaper at the Applicants' expense and to send a certified copy of this Resolution to the Applicants and to the Borough Clerk, Engineer, Attorney and Tax Assessor, and shall make same available to all other interested parties.



 Robert Knox, Chairman
 Borough of Highlands Land Use Board

ON MOTION OF: Mayor Broullon

SECONDED BY: Mr. Montecalvo

ROLL CALL:

YES: Mayor Broullon, Chief Burton, Mr. Kutosh, Mr. Montecalvo, Mr. Zill, Mr. Cramer, Chair Knox

NO: None

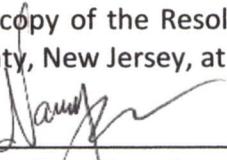
ABSTAINED: None

INELIGIBLE: Ms. LaRussa, Vice Chair Tierney

ABSENT: Councilmember Olszewski, Ms. Vickery

DATED: September 12, 2024

I hereby certify this to be a true and accurate copy of the Resolution adopted by the Borough of Highlands Land Use Board, Monmouth County, New Jersey, at a public meeting held on September 12, 2024.



 Nancy Tran, Secretary
 Borough of Highlands Land Use Board

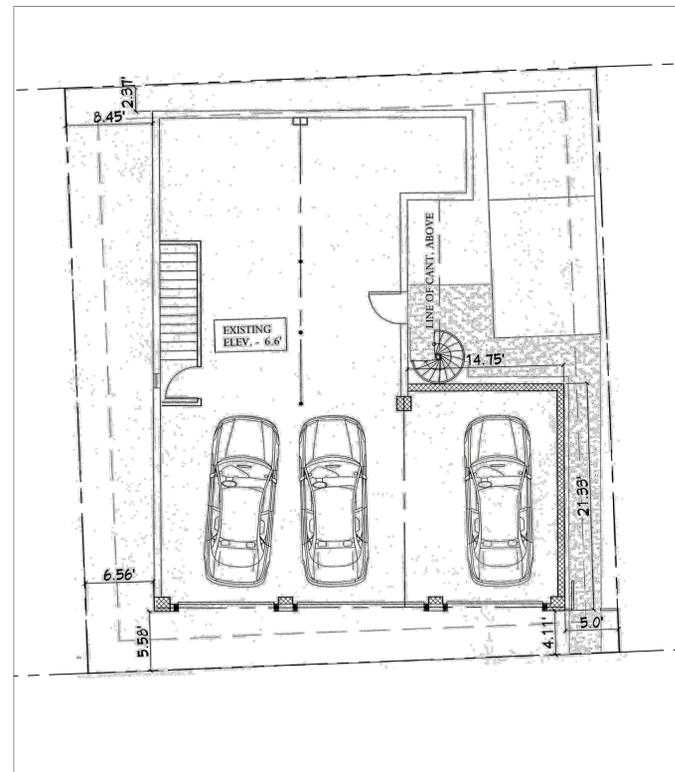
Schedule I - Bulk and Area Requirements §21-86A.4b							
Requirement	R-2.03 Residential Zone	Bungalow Colonies Required	Existing Lot 26.19 Bungalow Colonies	Proposed Lot 26.19 Bungalow Colonies	Updated Proposed Design Lot 26.19 Bungalow Colonies		
1.	Min. Lot Area (sf)	5,000	5,000	2,758.25**	2,758.25*	2,758.25*	NO CHANGE
2.	Lot Frontage/Width (ft)	50	50	50.15	50.15	50.15	NO CHANGE
3.	Min. Lot Depth (ft)	100	100	55.0**	55.00*	55.00*	NO CHANGE
4.	Min. Front Yard Setback (ft)	20	3	5.1	4.11	3.11	CONFORMING
5.	Min. Side Yard Setback (ft)	6/8	3	6.56/11.7	5.46/4.1±	6.56/7.1±	CONFORMING
6.	Min. Rear Yard Setback (ft)	20	3	2.37**	2.37*	2.37*	NO CHANGE
7.	Max. Building Height (ft)***	30	20	16.0	29.1*	29.1*	NO CHANGE
8.	Max Lot Coverage****	75%	75%	53.4±	69.8±	64.8±	CONFORMING
9.	Max Building Coverage****	30%	35%	43.3±	59.3±	53.2±	CONFORMING
10.	On-Site Parking (spaces)	2	1	3	3	3	NO CHANGE

* Proposed Variance
 ** Existing non-conformity
 *** Where a dwelling is constructed or reconstructed to provide the required parking under the structure, the maximum height shall be increased by two and one-half (2 1/2) feet.
 **** §21-86 A.4.b(c) Total building coverage shall not exceed thirty-five (35%) percent of the total lot area and total lot coverage shall not exceed seventy-five (75%) percent except for those situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28.

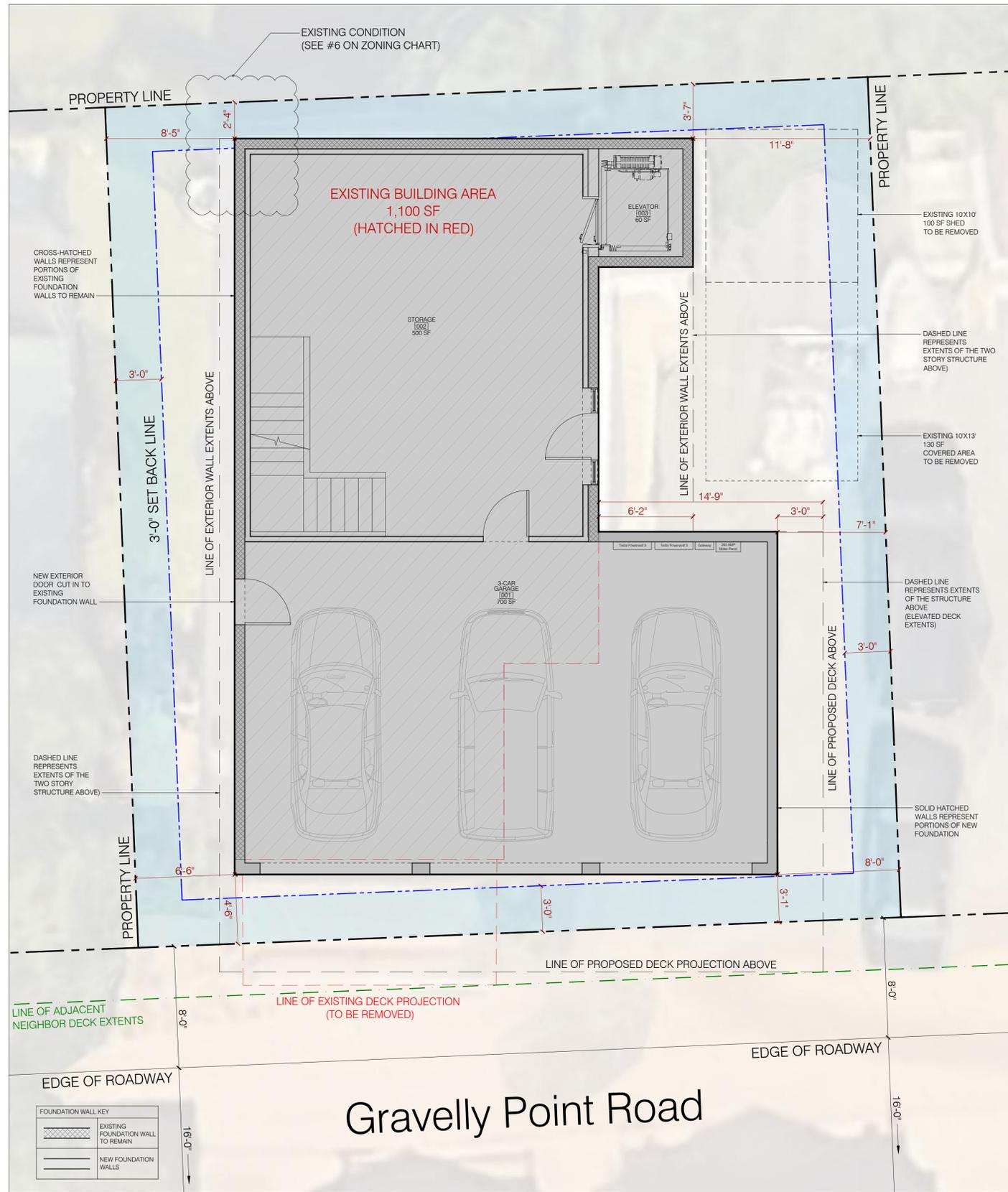
SECOND FLOOR BALCONY CODE

(a) Every unit shall have associated with it a minimum yard requirement around the perimeter of the unit and attached accessory structures of three (3) feet, except for those decks attached to the front of the dwellings situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28, which may extend to locations equivalent to those which existed prior to elevation or reconstruction as determined by prior property surveys conducted by a licensed surveyor. For those properties situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28 that do not have prior property surveys available, any new decks attached to the front of the dwelling can extend to a location which is the equivalent of the location of the front decks located on adjacent properties situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28. Structures shall be located no closer together than the sum of the yard requirements, that is, six (6) feet. Detached accessory structures are prohibited in the minimum required yard area.

** This code defines the scope for projection or (Extension) and not width/length. The proposed deck extends short of the existing deck marked on the licensed survey; however the width/length is greater by ±21'-6" and connects continuously to the elevated deck off of the main living area (Not constrained or defined in the code).



PL02 Planning Board Approved Site Plan
 1/8" = 1'-0"



PL01 Proposed Site Plan
 1/4" = 1'-0"

REVISION		
no.	description	date
1	Corrected Building Height	01-31-2025
4	Zoning Board/ BD	02-13-2025
3	Building Department	01-23-2025
2	Zoning/ Floodplain Review	01-03-2025
1	Zoning Board	10-12-2022
no.	to whom issued	date

ISSUE

19 Gravelly PR
 19 Gravelly Point Road,
 Highlands, NJ 07732

Block: 100
 Lot: 26.19

nastasi
 architects



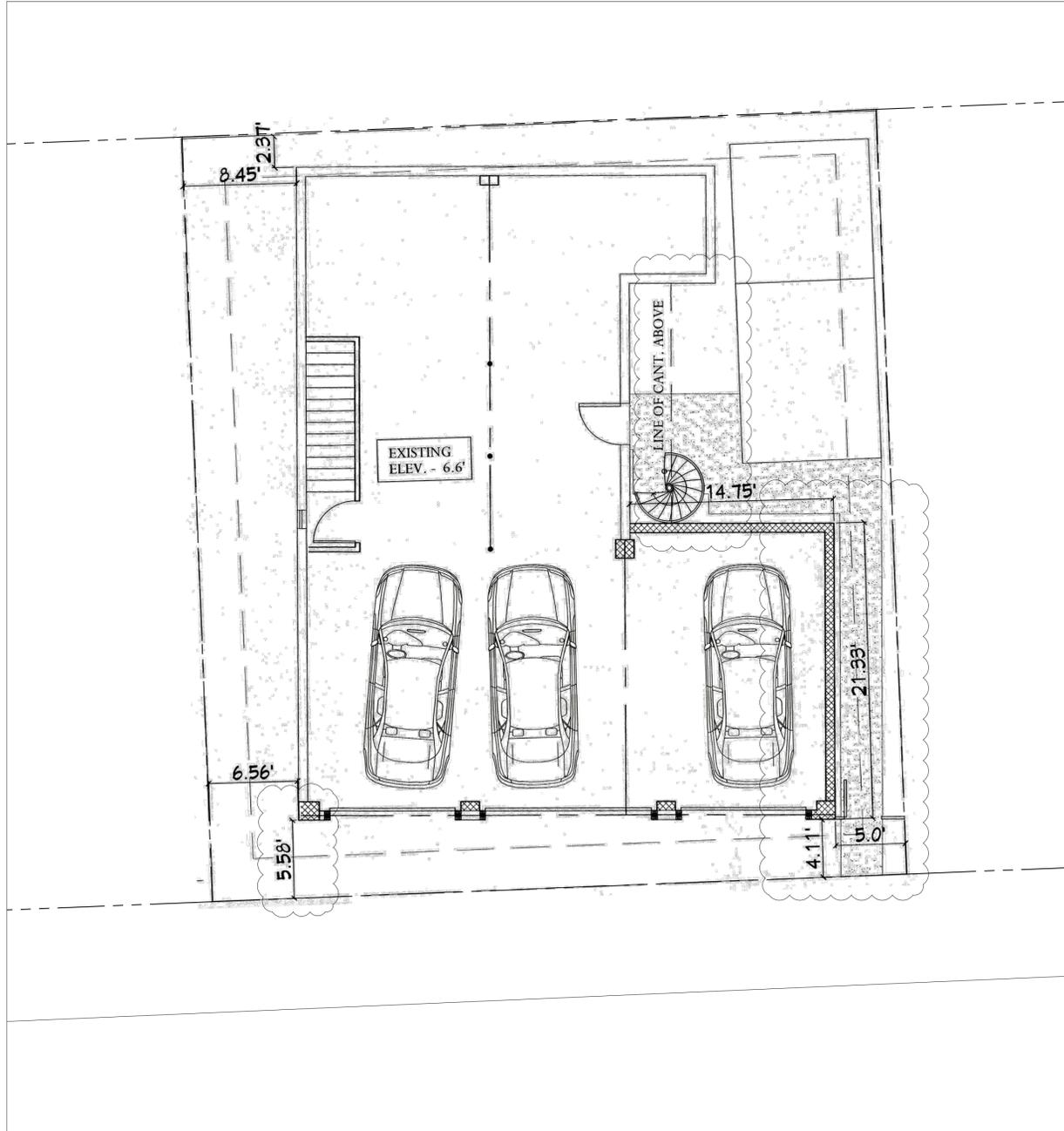
321 newark street hoboken, nj 07030
 t: 201-663-2577 f: 201-662-2577
 www.nastasiarchitects.com
 NJ license: A111550

Proposed Site Plan
 Zoning Information
 Bulk Regulations
 Approved PB Site Plan

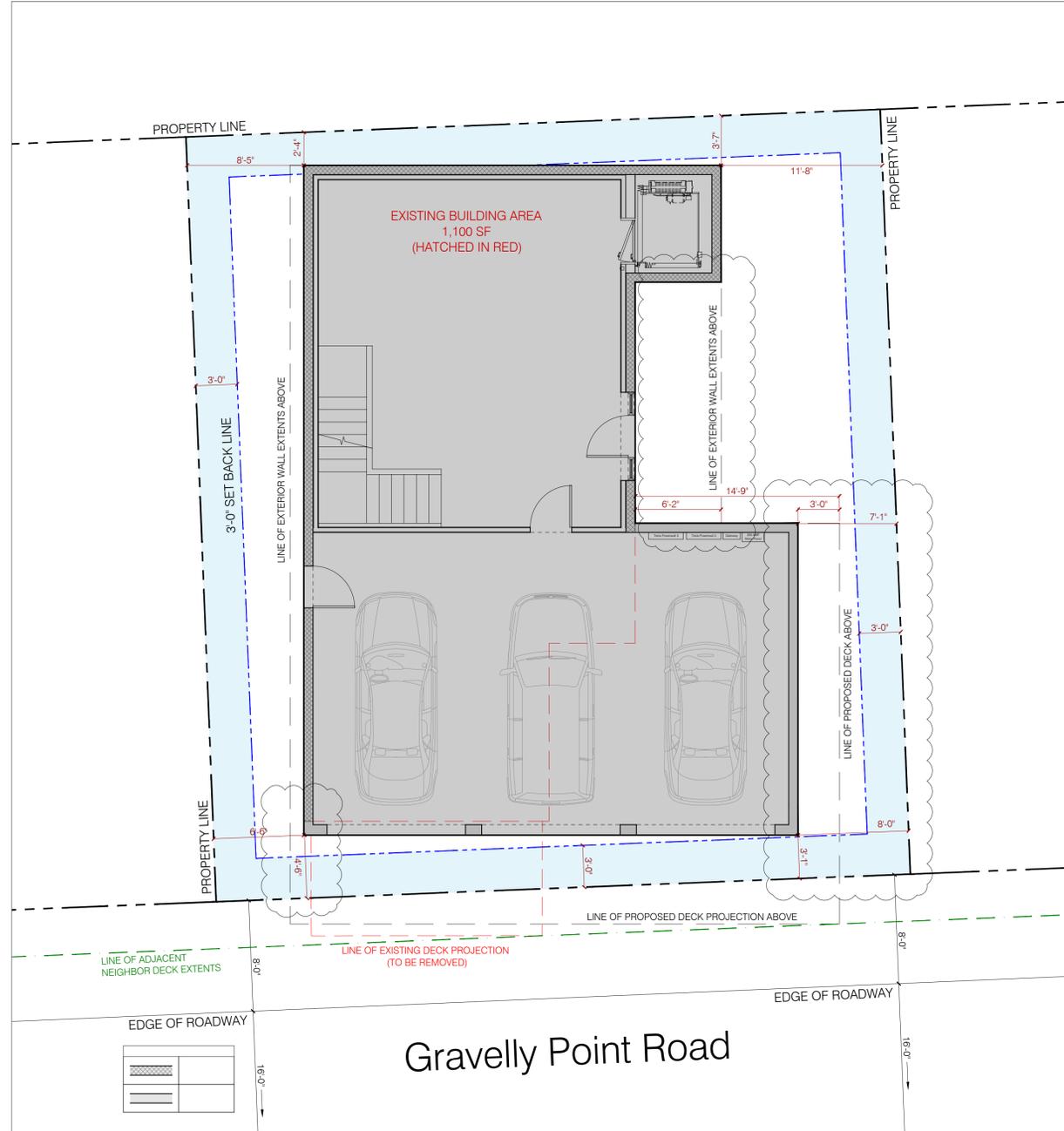
date: 10-12-2022
 scale: as shown
 drawn by: NF
 checked by:
 phase: BD

G102.1

no.	description	date
1	Corrected Building Height	01-31-2025
2		
3		
4	Zoning Board/ BD	02-13-2025
3	Building Department	01-23-2025
2	Zoning/ Floodplain Review	01-03-2025
1	Zoning Board	10-12-2022
no.	to whom issued	date



1 PL01 Planning Board Approved Site Plan
3/16"=1'-0"
AS APPROVED
** This is the original site plan approved by the Planning Board. This shows all existing and proposed setbacks are conforming, less the rear yard setback at the western corner of the property which is an existing non conforming condition to remain **



2 PL02 Proposed Site Plan (Ground Floor)
3/16"=1'-0"
MODIFIED
** This is modified/ proposed site plan with minor design revisions. The proposed changes are bubbled on both the original and modified site plan for reference **

19 Gravelly PR
19 Gravelly Point Road,
Highlands, NJ 07732

Block: 100
Lot: 26.19

nastasi
architects



321 newark street hoboken, nj 07030
t: 201-663-2577 f: 201-662-2577
www.nastasiarchitects.com
NJ license: A111550

Proposed Site Plans:
Aerial Site Plan
Ground Floor Site Plan
Approved PB Site Plan

date: 10-12-2022
scale: as shown
drawn by: NF
checked by:
phase: BD

G102.2



Roberts
ENGINEERING GROUP LLC
Women Business Enterprise Certified

1670 Whitehorse-Hamilton Square Rd.
Hamilton, New Jersey 08690
609-586-1141 fax 609-586-1143
www.RobertsEngineeringGroup.com

April 1, 2025

Nancy Tran
Land Use Board Secretary
Borough of Highlands Land Use Board
151 Navesink Avenue
Highlands, New Jersey 07732

Re: Variance Application
Applicant: Nastasi
19 Gravelly Point Road
Block 100, Lot 26.19
Borough of Highlands, Monmouth County, New Jersey
Our File No.: HLPB25-03

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations.

The Applicant is seeking approval to construct an elevated deck which was not shown on plans recently approved by the Land Use Board.

The Applicant received approval per Resolution 2024-17 (memorialized September 12, 2024) to construct a 3-story dwelling on an existing elevated 2-story frame dwelling. The Resolution granted bulk variance relief and height variance relief for a single-family dwelling.

Please refer to Completeness Review No. 1 letter dated July 11, 2024 (attached).

The Applicant received a Denial of Zoning Permit notification, dated March 10, 2025, upon seeking a new single family dwelling building permit and was deemed noncompliant per the Municipal Zoning Officer and advised to submit to the Land Use Board for approval.

We have reviewed the following documents submitted in support of the above referenced application for completeness purposes:

1. Copy of the Land Use Board Application for Variance, dated March 5, 2025.
2. Copy of a Denial of Zoning Permit issued on March 10, 2025, by Courtney Lopez, Zoning Officer for the Borough of Highlands.
3. Copy of the Borough of Highlands, County of Monmouth, Land Use Land Use Board Resolution 2024-17 Memorialization of Height Variance and Bulk Variance Relief. Approved: August 8, 2024, and Memorialized: September 12, 2023
4. Copy of plans entitled, "19 Gravelly PR, 19 Gravelly Point Road Highlands, NJ, Block: 100 Lot: 26.19", prepared by John Nastasi, Architect, signed and dated October 12, 2022, and having a revision date of February 13, 2025, consisting of 2 sheets
5. Copy of plans entitled, "Proposed Renovations & Addition, 19 Gravelly Point Road, Unit 19, Highlands, NJ, Lot: 26.19 Block: 100", prepared by Catherine Franco, Architect, unsigned and dated January 18, 2024, and having a revision date of October 12, 2022, consisting of 3 sheets (survey & site plan, floor plans and elevations).

We offer the following comments and recommendations for the Land Use Board's consideration:

I. VARIANCES

§21-86.A.4.b(2)(a) for placement of a deck along the frontage of a building in the Bungalow Colonies area.

The Applicant requires one (1) variance for this modification to the approved plan.

II. COMPLETENESS

Adequate information has been provided to perform a technical review and therefore the application is deemed COMPLETE.

III. GENERAL COMMENTS

The proposed elevated deck extends the entire front of the existing dwelling and the proposed addition, 3 ft towards the side yard and continues 3 ft along the addition (garage with first floor deck) towards the rear yard. Additionally, the proposed deck extends past the front yard setback and into Gravelly Point Road right-of-way. The deck was not shown on plans that were approved by Resolution.

The application presents the following items that deviate from the approved plans for a variance:

1. Modified building footprint.
2. Dwelling closer to right-of-way.
3. Construction of new deck.
4. Removal of existing shed and covered area.

Our comments are as follows:

1. A copy of the approved site plan is shown with the proposed site plan with this submission. The maximum building coverage has decreased by 6.1% in comparison to the approved plan
 - a. The proposed addition has been shortened by 3 feet along the front of the dwelling nearest to the right-side yard.
 - b. A foundation wall has been added to the front of the existing dwelling.
 - c. The cantilevered second floor has been extended.

2. The proposed plans indicate a new foundation wall along the front of the existing dwelling which was not delineated on the approved plans. The dwelling is now approximately 1 ft closer to the right-of-way.

However, the closest building offset is outside the 3 ft front yard setback at 3'-1" and no variance is required.

3. According to §21-86.A.4.b(2)(a) under the Bungalow Colonies standards, every unit shall have associated with it a minimum yard requirement *around the perimeter of the unit and attached accessory structures of three (3) feet, except for those decks attached to the front of the dwellings situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28, which may extend to locations equivalent to those which existed prior to elevation or reconstruction as determined by prior property surveys conducted by a licensed surveyor. For those properties situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28 that do not have prior property surveys available, any new decks attached to the front of the dwelling can extend to a location which is the equivalent of the location of the front decks located on adjacent properties situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28. Structures shall be located no closer together than the sum of the yard requirements, that is, six (6) feet. Detached accessory structures are prohibited in the minimum required yard area.*

Two options are noted in the code and are underlined for this discussion.

- a. The first option has a proposed deck replacing an existing deck of the same size as determined by a prior survey.

The Applicant has a prior survey which indicates an existing elevated deck of approximately 9 ft x 17 ft. situated along the front of the existing dwelling. The proposed elevated deck is approximately 39.5ft. The Applicant has indicated that the proposed deck is 21.5± feet longer than the existing deck.

- b. The second option has a proposed deck aligning with a neighboring deck if a survey is not available.

The Applicant is placing the proposed elevated deck based upon the second option and has indicated a "line of adjacent neighbor deck extents" and an outline of the existing deck on the plan.

The proposed deck aligns with the neighboring deck according to the plan

The proposed deck extends into the right-of-way based upon the neighboring deck alignment

The Applicant is required to provide a full view of the neighboring decks. There appears to be no dwelling with decking on the lot to the right.

Please provide internal building and deck dimensions. Please provide deck offsets to the right-of-way.

The Ordinance would indicate the second option is not applicable since the existing survey indicates an existing elevated deck and the proposed deck would be restricted to the existing size under option one.

Therefore, the Applicant requires a variance for option two.

Please provide the proposed front and side offsets of the proposed deck to the property lines and right-of-way on the plan.

4. The existing shed and covered area are now proposed to be removed.
5. The Applicant will be required to provide testimony.

We will continue our review upon submission of revised plans.

Should you have any questions, please do not hesitate to contact me.

Very truly yours,



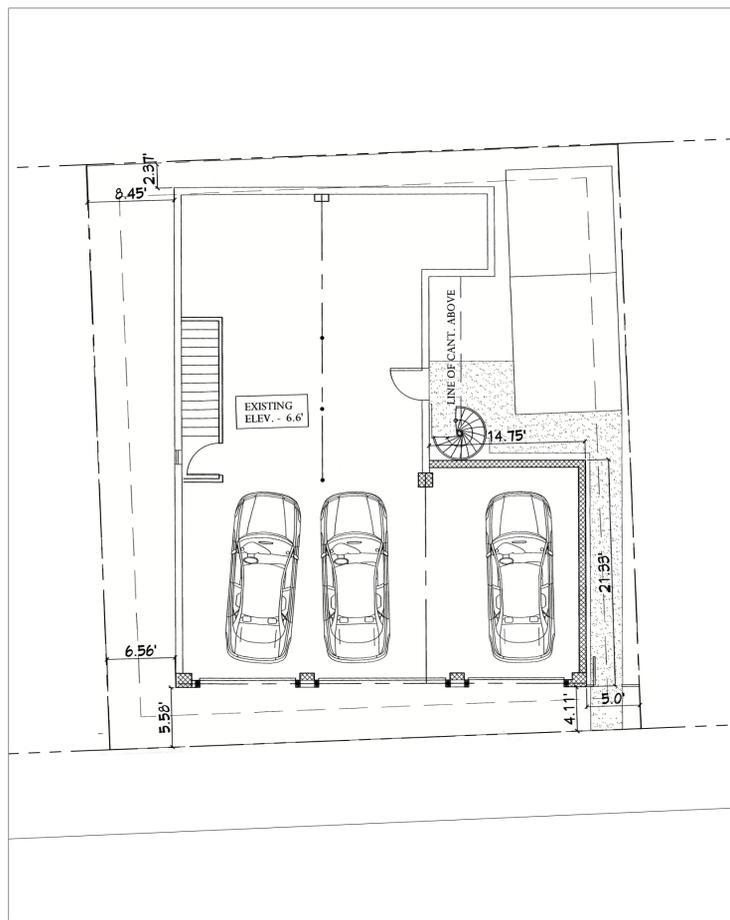
Carmela Roberts, P.E., C.M.E., C.P.W.M.
Land Use Board Engineer

cc: Michael Muscillo, Borough Administrator, (mmuscillo@highlandsborough.org)
Dustin F. Glass, Esq., Land Use Board Attorney (dglass@semerarolaw.com)
Courtney Lopez, Zoning Officer (clopez@highlandsborough.org)
Cameron Corini, P.E., C.M.E., C.P.W.M., Roberts Engineering Group, LLC
GS Bachman, E.I.T., Roberts Engineering Group, LLC

Zoning Information

R203 District - Bungalow Colony

ITEM	REQUIRED	EXISTING	PROPOSED	VARIATION
ZONE DISTRICT				
Residential - Single Family	Residential	Residential	Residential	Complies
MINIMUM LOT SIZE				
Lot Area (Minimum)	5,000 sf	2,758 sf	No Change	Complies
(f) Nonconforming Lots in a Residential Zone. Any parcel of land with an area, width or depth less than required in the zone in which such lot is located may be used as a lot for purposes permitted in the zone without a variance, provided that it meets the requirements below.				
MINIMUM YARD REQUIREMENTS				
All Yards (Minimum)	3 ft.	3 ft.	3 ft.	Complies
(a) Every unit shall have associated with it a minimum yard requirement around the perimeter of the unit and attached accessory structures of three (3) feet, except for those decks attached to the front of the dwellings situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28, which may extend to locations equivalent to those which existed prior to elevation or reconstruction as determined by prior property surveys conducted by a licensed surveyor. For those properties situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28 that do not have prior property surveys available, any new decks attached to the front of the dwelling can extend to a location which is the equivalent of the location of the front decks located on adjacent properties situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28. Structures shall be located no closer together than the sum of the yard requirements, that is, six (6) feet. Detached accessory structures are prohibited in the minimum required yard area.				
MAXIMUM BUILDING HEIGHT				
Feet (Maximum)	20'-0"	16'-0"	29'-0"	Variance - Approved
(d) Building height shall not exceed twenty (20) feet.				
** VARIANCE APPROVED FOR PROPOSED HEIGHT OF 27.5' ABOVE BASE FLOOD ELEVATION, WHERE 20' IS REQUIRED **				
SITE COVERAGE REQUIREMENTS				
Building Coverage (Maximum)	35%	48.2 % (1,330/2,758)	59.5 % (1,640/2,758)	Complies
Lot Coverage (Maximum)	75%	53.2 % (1,466/2,758)	64.8 % (1,787/2,758)	Complies
(c) Total building coverage shall not exceed thirty-five (35%) percent of the total lot area and total lot coverage shall not exceed seventy-five (75%) percent except for those situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28				



1 **PL03** Planning Board Approved Site Plan
1/8" = 1'-0"
AS APPROVED
** This is the original site plan approved by the Planning Board. This shows all existing and proposed setbacks are conforming, less the rear yard setback at the western corner of the property which is an existing non conforming condition to remain **

Zoning Bulk Regulations

R203 District - Bungalow Colony

§ 21-96R-2 SINGLE-FAMILY RESIDENCE.
[Ord. No. O-2007-06 § 26; Ord. No. O-2014-33; Ord. No. O-2016-23]

4. Bulk and Area Requirements. [Ord. No. O-2016-23]

a. Single-family dwellings shall meet the requirements shown in Schedule I.[1][1]

b. Existing bungalow colonies shall meet the following requirements:

(1) Density shall not exceed the number of units existing at the time of the adoption of this ordinance, as shown on existing Borough Tax Maps and/or other tax records.

(2) Any application for expansion of an individual dwelling unit, either vertically or horizontally, shall meet the following standards:

(a) Every unit shall have associated with it a minimum yard requirement around the perimeter of the unit and attached accessory structures of three (3) feet, except for those decks attached to the front of the dwellings situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28, which may extend to locations equivalent to those which existed prior to elevation or reconstruction as determined by prior property surveys conducted by a licensed surveyor. For those properties situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28 that do not have prior property surveys available, any new decks attached to the front of the dwelling can extend to a location which is the equivalent of the location of the front decks located on adjacent properties situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28. Structures shall be located no closer together than the sum of the yard requirements, that is, six (6) feet. Detached accessory structures are prohibited in the minimum required yard area.

(b) Each unit shall have associated with it a minimum of one (1) parking space, located on site, either adjacent to the individual unit or in a common parking area.

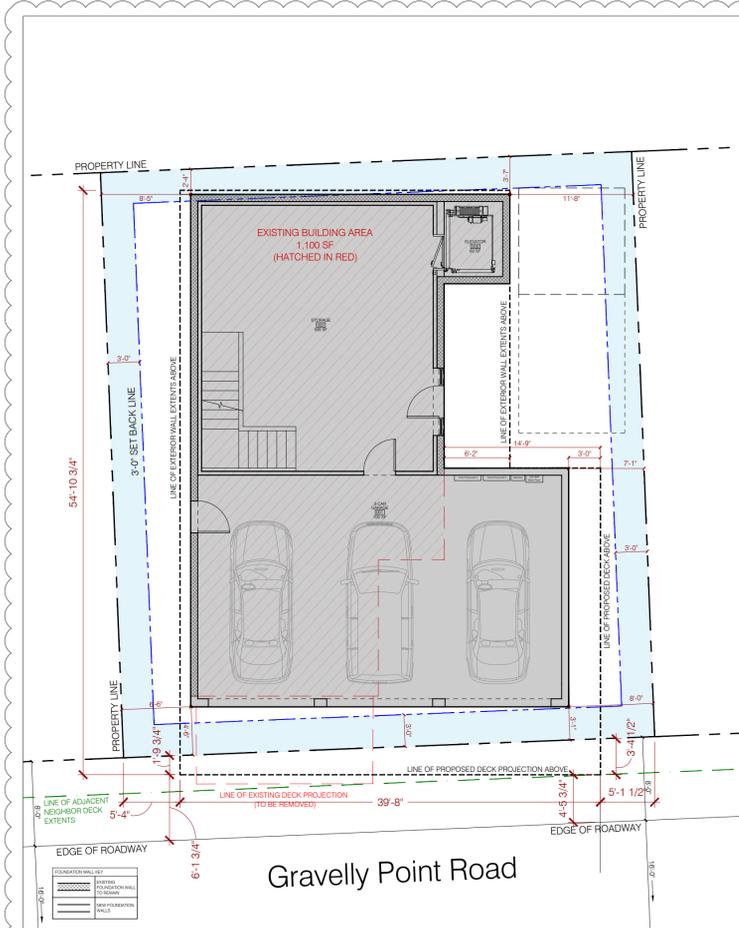
(c) Total building coverage shall not exceed thirty-five (35%) percent of the total lot area and total lot coverage shall not exceed seventy-five (75%) percent except for those situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28.

(d) Building height shall not exceed twenty (20) feet.

(e) Shall require an application for a site plan for the entire property except for those situated in Block 100, Lots 26.01- 26.76 and Block 69, Lots 15.01-15.28.

(3) Bungalow colonies shall not be subject to the provisions of Section 21-98F below.
[Ord. No. O-2014-33; Ord. No. O-2016-23]

** VARIANCE APPROVED FOR PROPOSED HEIGHT OF 29.1' ABOVE BASE FLOOD ELEVATION, WHERE 20' IS REQUIRED **



2 **PL02** Proposed Site Plan (Ground Floor)
1/8" = 1'-0"
MODIFIED
** This is modified/ proposed site plan with minor design revisions. The proposed changes are bubbled on both the original and modified site plan for reference **



3 **PL01** Proposed Site Plan (Site Aerial)
1/8" = 1'-0"
ORIGINALLY SUBMITTED
** This is the most recent site plan submitted and denied by Zoning. This site plan used an aerial view, showing lot coverage, rather than a slice through the ground floor plane. I believe this may have been misunderstood as the new ground floor plan with more bulk than originally approved **

no.	description	date
1	Corrected Building Height	01-31-2025
2	Block & Lot Number	03-31-2025
3	Completeness Review	04-02-2025
3	Building Department	01-23-2025
2	Zoning/ Floodplain Review	01-03-2025
1	Zoning Board	10-12-2022
no.	to whom issued	date

ISSUE

19 Gravelly PR
19 Gravelly Point Road,
Highlands, NJ 07732

Block: 100
Lot: 26 C00011

nastasi
architects

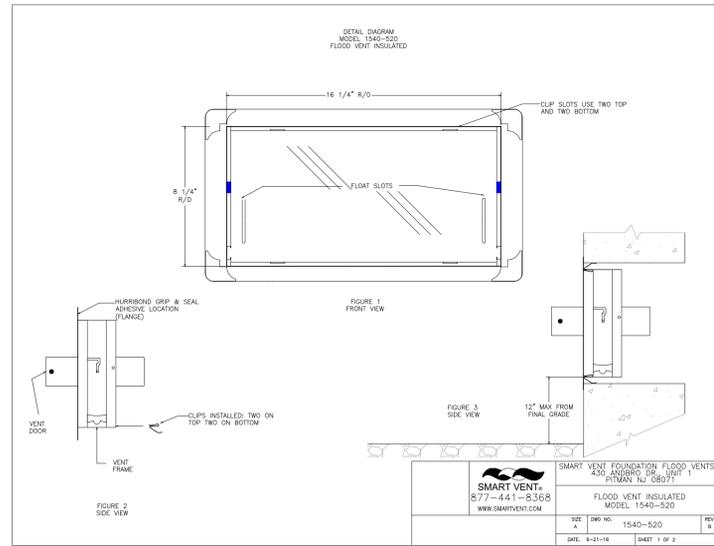


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www.nastasiarchitects.com
NJ license: A111550

Proposed Site Plan
Zoning Information/
Bulk Regulations

date: April 2, 2025
scale: as shown
drawn by: VP
checked by: AG
phase: BD

G102.3



Smart VENT
877-441-8368
www.smartvent.com

INSTALLATION INSTRUCTIONS & DETAILS
MODEL 1540-520
FLOOD VENT INSULATED

INSTALLATION INSTRUCTIONS

- REMOVE VENT DOOR FROM VENT FRAME (TURN UPSIDE DOWN, ROTATE BOTTOM OF DOOR OUTWARD AND SLIDE OUT)
- PREPARE A CLEAN 16.25" WIDE BY 8.25" HIGH ROUGH OPENING (APPROX. 1 BLOCK WIDE X 1 BLOCK HIGH) FOR EACH VENT. ENSURE THE BOTTOM OF THE ROUGH OPENING IS NO MORE THAN 1/2" ABOVE THE FINISHED GRADE.
- APPLY A BEAD OF HURRIBOND GRP & SEAL OR EQUIVALENT ADHESIVE AROUND THE BACK OF THE FLANGE ON THE VENT FRAME (FIG. 3)
- INSERT INSTALLATION CLIPS INTO THE TWO SLOTS ON THE TOP AND TWO SLOTS ON THE BOTTOM OF THE FRAME.
- THE SPRING ARM OF THE CLIPS SHOULD BE ON THE OUTSIDE OF THE VENT FRAME. COMPRESS THE BOTTOM TWO CLIPS AND BEGIN SLIPPING THE FRAME INTO THE OPENING. ENSURE THAT THE BOTTOM CLIPS ARE IN THE OPENING BEFORE ALLOW THEM TO DECOMPRESS.
- WITH THE FRAME NOW IN THE OPENING, AND THE BOTTOM SPRINGS IN PLACE, COMPRESS THE TOP SPRINGS AND PUSH THE VENT FRAME INTO THE OPENING COMPLETELY UNTIL THE FRAME IS FLUSH WITH THE WALL.
- RE-CHECK THAT FRAME IS SQUARE AND SLOTS ARE CLEAR OF DEBRIS, AND CALCUL.
- INSTALL THE DOOR INTO FRAME BY GRASPING THE BOTTOM OF DOOR (WITH FLOAT PINS DOWN) AND FRONT (SMALL SCREEN IN FRONT). SLIDE DOOR INTO FRAME AND ROTATE UNTIL IT IS LATCHED.
- INSERT THE TOP STRAPS INTO THE TOP TWO STRAP SLOTS ABOUT TWO CLICKS.
- TO OPEN THE DOOR INSERT TWO CREDIT CARDS INTO THE FLOAT SLOTS AS SHOWN IN THE DIAGRAM. THIS WILL UNLATCH THE DOOR FOR REMOVAL AND CLEANING.

DETAIL SPECIFICATIONS:
MATERIAL: STAINLESS STEEL
OPERATION: AUTOMATIC NON-POWERED ACTIVATION AND OPERATION

INSTALLATION:
SECURED W/ 4 STAINLESS STEEL INSTALLATION CLIPS INCLUDED AND AN ADHESIVE.
HYDROSTATIC RESIST: 200 SQ. FT PER VENT.
REQUIREMENTS: MINIMUM OF 2 VENTS PER ENCLOSED AREA MOUNTED ON AT LEAST TWO DIFFERENT WALLS

COLORS: STAINLESS (STANDARD)
EXTERIOR POWDER COATED WHITE, WHEAT, GRAY, AND BLACK (AVAILABLE)

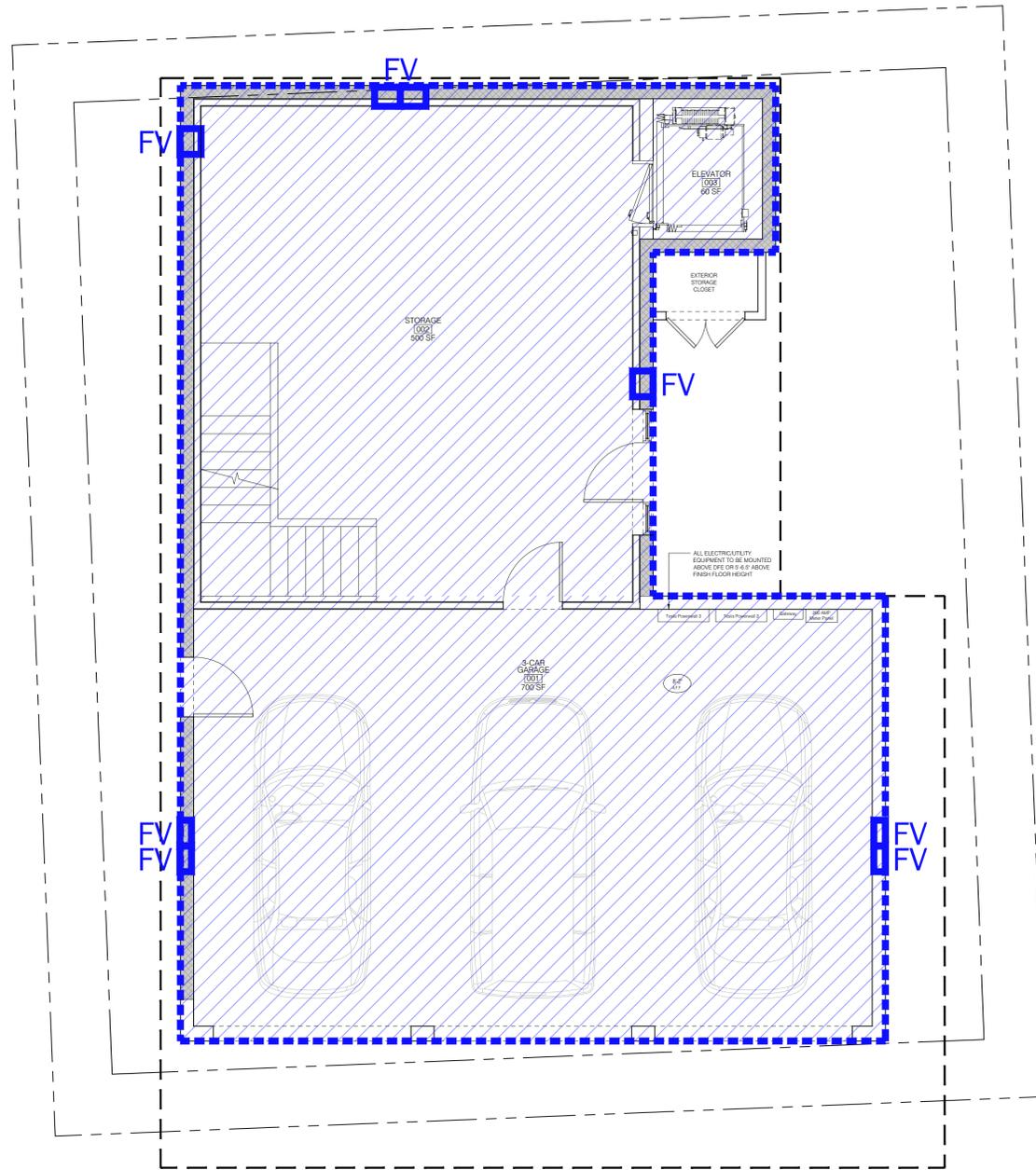
MEETS THE REQUIREMENTS FOR ENGINEERED OPENINGS AS SET FORTH BY:
TOTAL NFPA 101, § 8.05
SUPPORTIVE DOCUMENTS: IS 1-08, 44CFR 60.3(C)(5), ASCE 24-14
ICC EVALUATION # ESR-2074

- Bi-Directional Water Flow
- Relieves Hydrostatic Pressure
- 1 Vent = 200 Sq. Ft. of Coverage
- Perfect for Conditioned Spaces

Contains a 2" Insulated Core with An R-Value of 8.34
Vent Frame is Lined with Felt Weather Stripping

Insulated Engineered Flood Vent
Model 1540-520

UTILITY NOTE:
ALL ELECTRIC SERVICE UTILITY METERS/PANELS ARE TO BE INSTALLED ABOVE ELEVATION 13.0 NAVD. GAS METERS ARE HIGH-PRESSURE AND AN EXCEPTION: THEY MAY BE IN THE FLOOD PLAIN SO LONG AS THE EXTENSION OF THE VENT PIPE OFF THE REGULATOR REACHES 4' TO 6' ABOVE GRADE. PER PSE&G RECOMMENDATION. SPRINKLER AND WATER SERVICE IS LOCATED ON THE GROUND FLOOR AND SUBMERSIBLE.



Wet Flood Proof Interior Area (Total) :

**Total Area = 1,470 SF
or 8 Total Flood Vents**

P1 Ground Floor Wet Floodproofing Plan
1/4" = 1'-0"

no.	description	date
1	Corrected Building Height	01-31-2025
2	Block & Lot Number	03-31-2025
3	Completeness Review	04-02-2025

3	Building Department	01-23-2025
2	Zoning/ Floodplain Review	01-03-2025
1	Zoning Board	10-12-2022
no.	to whom issued	date

ISSUE

19 Gravelly PR
19 Gravelly Point Road,
Highlands, NJ 07732

Block: 100
Lot: 26 C00011

nastasi architects

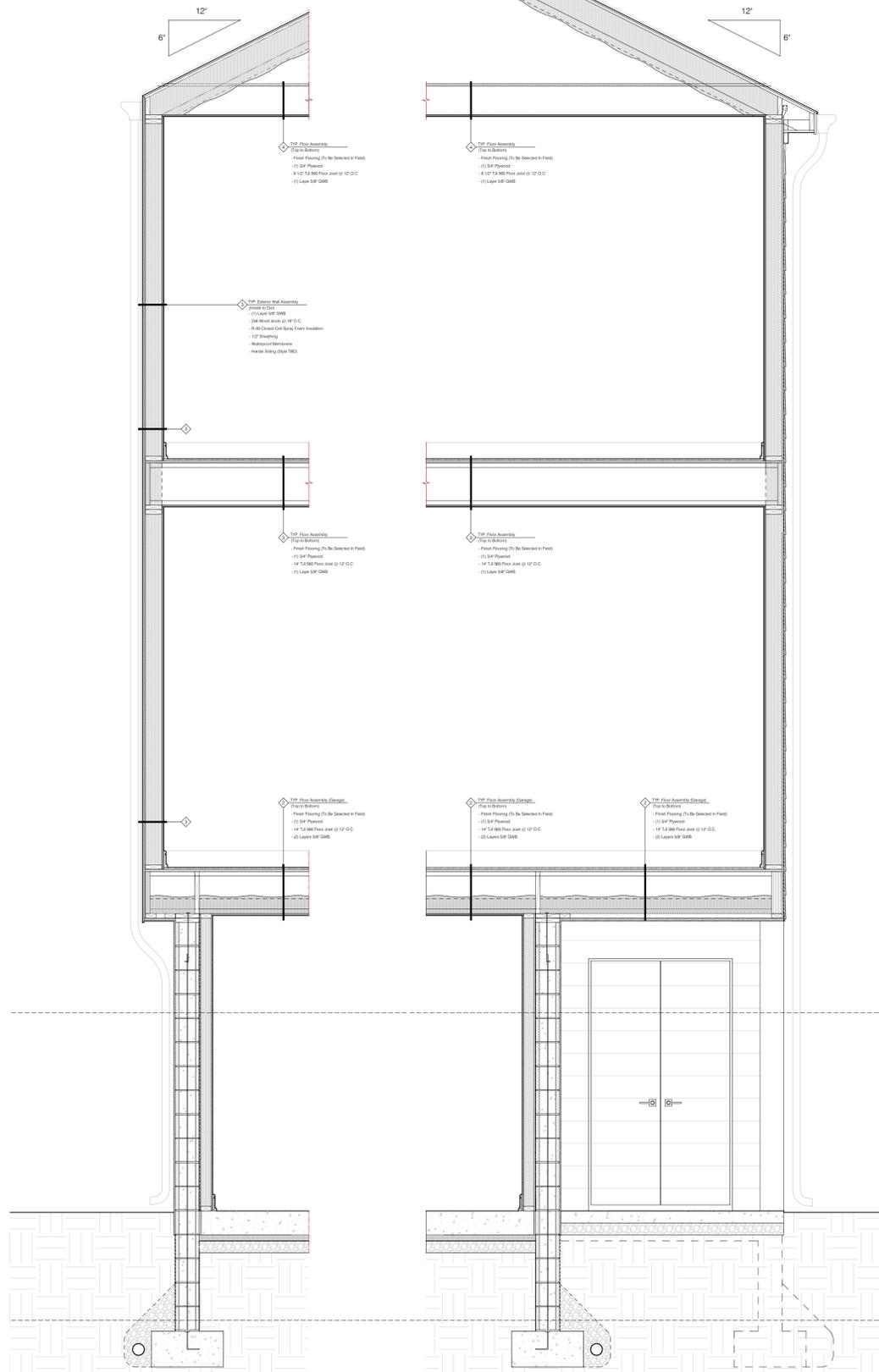


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NJ license: A111550

Ground Floor Flood Vent / Wet Floodproofing Plan
Smart Vent Specifications

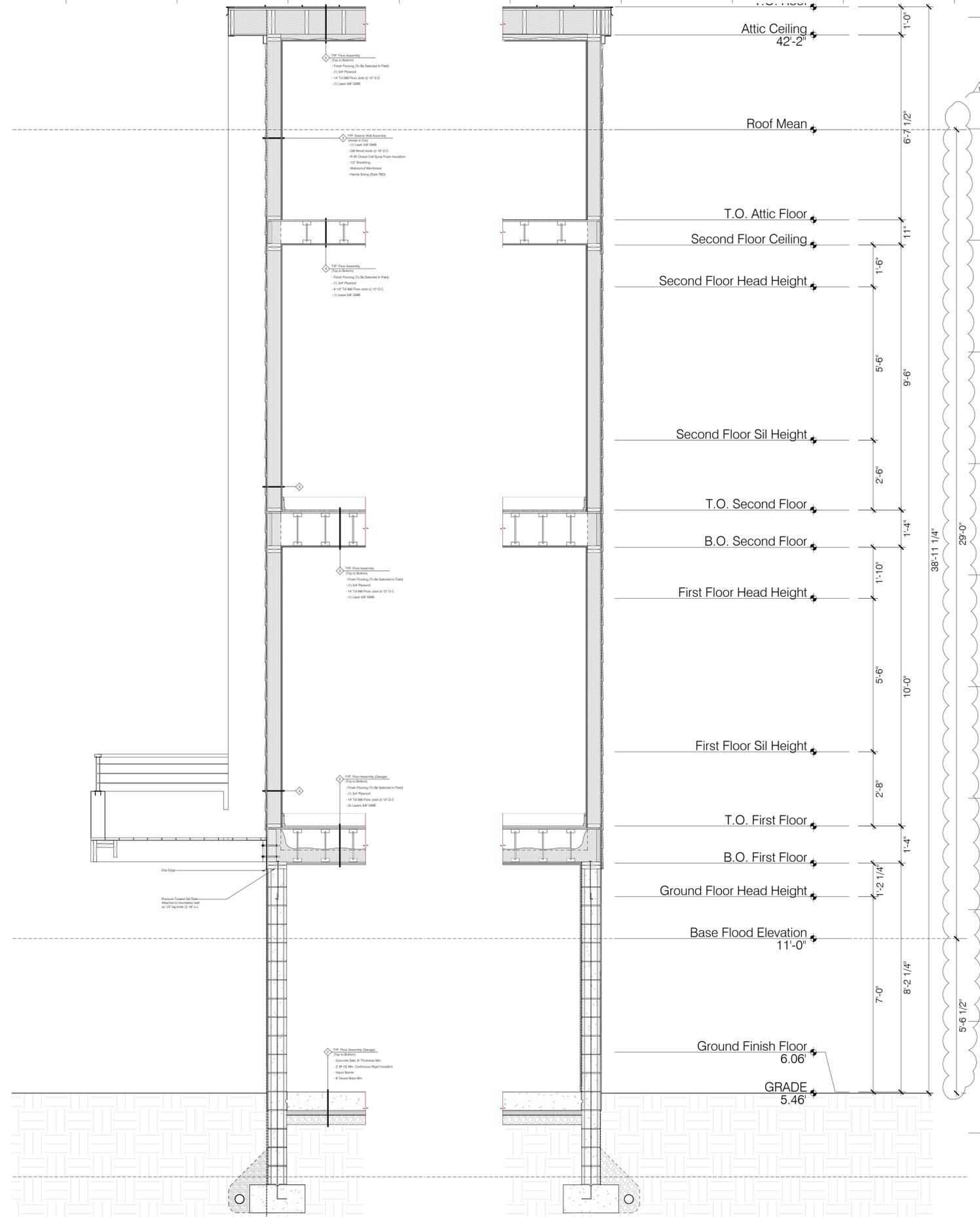
date: April 2, 2025
scale: as shown
drawn by: VP
checked by: AG
phase: BD

G103.0



SE04 South-West Wall Section
1/2" = 1'-0"

SE03 North-East Wall Section
1/2" = 1'-0"



SE02 South-West Wall Section
1/2" = 1'-0"

SE01 North-East Wall Section
1/2" = 1'-0"

no.	description	date
4	Corrected Building Height	01-31-2025
3	Block & Lot Number	03-31-2025
2	Completeness Review	04-02-2025

3	Building Department	01-23-2025
2	Zoning/ Floodplain Review	01-03-2025
1	Zoning Board	10-12-2022

no. to whom issued date
ISSUE

19 Gravelly PR
19 Gravelly Point Road,
Highlands, NJ 07732

Block: 100
Lot: 26 C00011
nastasi
architects



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NJ license: A11550

Exterior Wall Sections

date: April 2, 2025
scale: as shown
drawn by: VP
checked by: AG
phase: BD

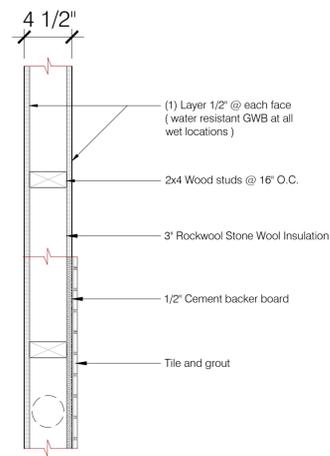
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General Partition Notes

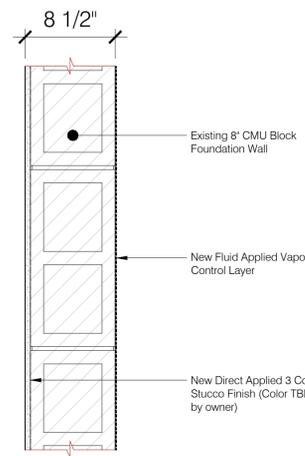
- ALL WOOD FRAMING SHALL BE DOUG FIR UNLESS OTHERWISE NOTED
- ALL FRAMING SHALL BE AT 16" O.C. UNLESS OTHERWISE NOTED
- ALL 2X FRAMING SHALL BE HORIZONTALLY BRACED AT 48" O.C.
- ENTIRE PERIMETER OF GWB PARTITIONS SHALL BE CAULKED WITH ACOUSTICAL SEALANT
- INSTALL MOISTURE AND MOLD RESISTANT GWB AT ALL WET LOCATIONS
- REFER TO FINISH PLANS FOR FINISHES. FINISHES MAY INCLUDE, BUT ARE NOT LIMITED TO, PAINT, PLASTER, MILLWORK (PANELS) OR SIMILAR MATERIAL APPLICATION
- AT ALL POCKET DOORS, ADJUST FRAMING AS REQUIRED AND AS PER DETAILS
- PROVIDE SOLID WOOD BLOCKING WITHIN FRAMING FOR ALL WALL-MOUNTED ITEMS
- ALL LUMBER USED FOR WOOD BLOCKING / BACK UP SHALL BE FIRE RETARDANT
- INSULATION IS TO BE ROXUL MONOBOARD OR CAVITYROCK DD INSULATION WITHOUT FOIL BACKING AS PER THE BUILDINGS RECOMMENDATION. UNFACED CLOSED CELL POLYISOCYANURATE (A.K.A. ICO) FOAM IS ALSO ACCEPTABLE BUT REQUIRES A 1 HOUR RATED ENCLOSURE TO MEET NYC CODE REQUIREMENTS. NO SPRAY ON INSULATION TO BE USED. FOAM INSULATION DOES NOT MEET NYC CODE REQUIREMENTS FOR SMOKE DEVELOPED / FLAME SPREAD, THEREFORE ALL INSULATION MUST BE ENCLOSED IN AT LEAST 1 LAYER OF GYPSUM BOARD TO CREATE A 1 HOUR RATED ENCLOSURE. VAPOR BARRIERS AND PAPER FACING ARE TO BE AVOIDED AT EXTERIOR WALL CONDITIONS.
- CHOPPING, CUTTING, CHASING OR CHANNELING IS NOT PERMITTED FOR ANY REASON IN BRICK OR BLOCK AT EXTERIOR WALLS, APARTMENT DEMISING WALLS, BUILDING STRUCTURE, STRUCTURAL SLABS, BEAMS, MASONRY COLUMNS OR THEIR ENCLOSURES. TYPICAL UNIT PARTITIONS CAN BE COMPLETELY REMOVED ON CONDITION THEY ARE NOT STRUCTURAL AND NO RISERS ARE DISTURBED IN THE PROCESS. IF IN DOUBT VERIFY WITH THE RESIDENT MANAGER WHICH WALLS MAY/MAY NOT BE REMOVED/CHOPPED/CHASED. ANY UNAPPROVED CHOPPING WILL RESULT IN STOPPAGE OF WORK AND INSPECTION OF THE CONDITIONS BY THE BUILDING'S ARCHITECT TO INDICATE A SOLUTION. FIREPROOF/FIRE STOP AROUND ALL ELECTRICAL BOXES IN RATED PARTITIONS. VERIFY WALL THICKNESS AND VIABILITY OF INSTALLATION OF ELECTRICAL BOXES IN WALL PRIOR TO CUTTING.
- ALL NEW WALL FRAMING MUST BE DOUGLAS FIR CONSTRUCTION AND INCLUDE SOUND ATTENUATION INSULATION WHERE POSSIBLE. FIRE RATED LUMBER TREATED WITH HAZARDOUS MATERIALS MAY NOT BE USED IN CONSTRUCTION. NEW "WET ROOM" WALLS (KITCHEN, BATH, LAUNDRY ETC.) ARE TO HAVE NEW WATER-RESISTANT SHEETROCK BRAND MOLD TOUGH BOARD OR EQUAL, EXCEPT AT WALLS AROUND SHOWERS AND TUBS WHICH ARE CEMENTITIOUS WALLBOARD SIMILAR TO DUROCK INSTALLED ACCORDING TO MANUFACTURER'S GUIDELINES. ONE OR MORE WALLS MAY LIE ON A DEMISING CHASE WALL. GC TO CONFIRM AND MATCH EXISTING GYPSUM GRADE(S) AND SIZE(S) ON SUCH / MAINTAIN EXISTING FIRE RATINGS. ALL WALLS MUST BE COMPLETELY SHEATHED AND ALL OPENINGS PATCHED OR PLASTERED PRIOR TO INSTALLATION OF CABINERY. THE INTEGRITY OF THE FIRE RATING AT DEMISING AND SHAFT WALLS MUST BE MAINTAINED. ALL RATED PARTITIONS MUST BE INSTALLED FROM CONCRETE SLAB TO UNDERSIDE OF CONCRETE SLAB.
- DEMISING WALLS ARE TO REMAIN UNDISTURBED. ALL RESIDENTIAL DEMISING WALLS ARE 2 HOUR FIRE RATED CONSTRUCTION, THIS RATING IS TO BE MAINTAINED. PENETRATIONS OF THE DEMISING WALLS WILL NOT BE PERMITTED.
- ANY ELECTRICAL PANELS / DEVICES / OUTLETS MAY NOT BE INSTALLED INTO DEMISING WALLS AND MAY NOT BE CHOPPED INTO ANY MASONRY PRESENT AT THE BUILDING PERIMETER OR COLUMN / SHAFT ENCLOSURES. ALL ELECTRICAL INSTALLATIONS ARE TO MAINTAIN THE INTEGRITY AND FIRE RATING OF THE WALL INTO WHICH THEY ARE INSTALLED. WALLS TO BE FURRED OUT AS REQUIRED TO INSTALL NEW OUTLETS. ALL INSTALLATIONS MUST MAINTAIN THE FIRE RATING OF THE WALL FROM WHICH THE ARE REMOVED AND / OR ON / INTO WHICH THEY ARE INSTALLED. CERTAIN WALLS DO NOT PROVIDE THE REQUIRED CLEARANCES FOR RECESSED DEVICES. VERIFY WALL THICKNESS WITH RESIDENT MANAGER PRIOR TO INSTALLATION. DO NOT CHOP PLUMBING INTO ANY MASONRY PRESENT AT THE BUILDING PERIMETER OR COLUMN / SHAFT ENCLOSURES.

Wall Assemblies

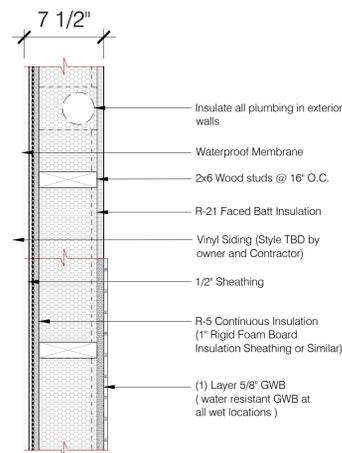
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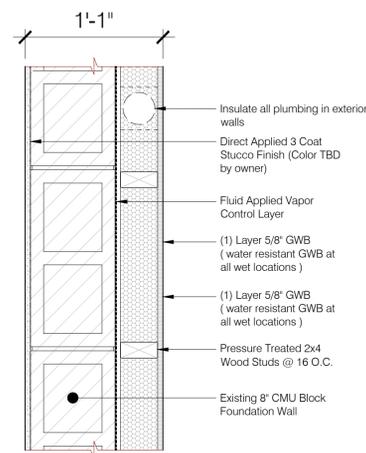
1 Typical Partition Wall
1A Typical Tiled Partition Wall



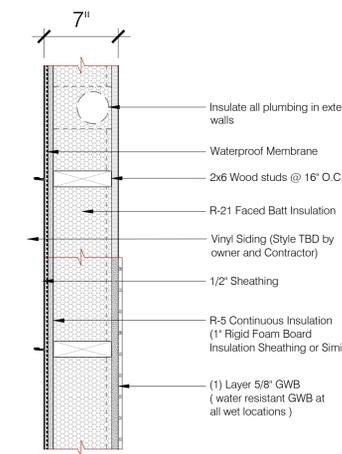
4 TYP. Existing Block Wall



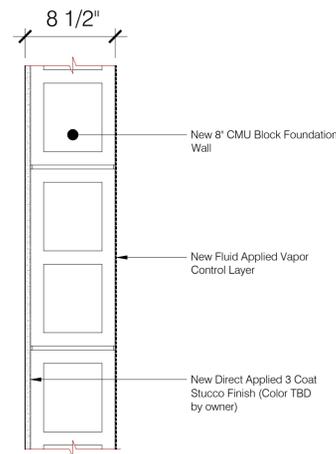
2 TYP. Shingle Siding Exterior Wall
2A TYP. Shingle Siding Tiled Exterior Wall



5 TYP. Furred Out Existing Block Wall



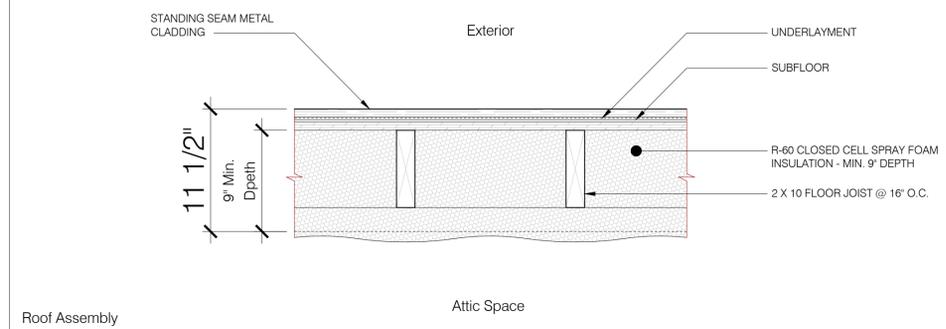
3 TYP. Standing Seam Exterior Wall
3A Typical Standing Seam Tiled Exterior Wall



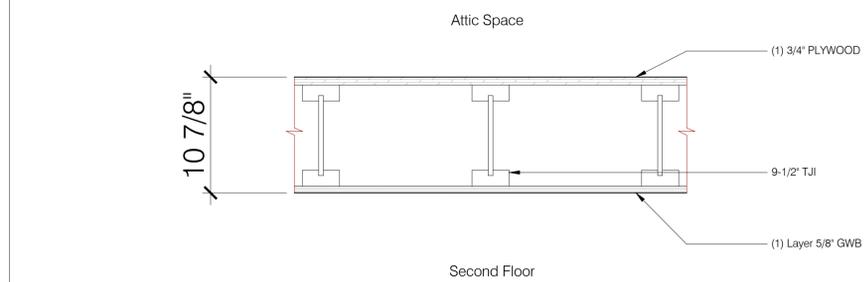
6 TYP. New Block Wall (To Match Existing)

Horizontal Assemblies

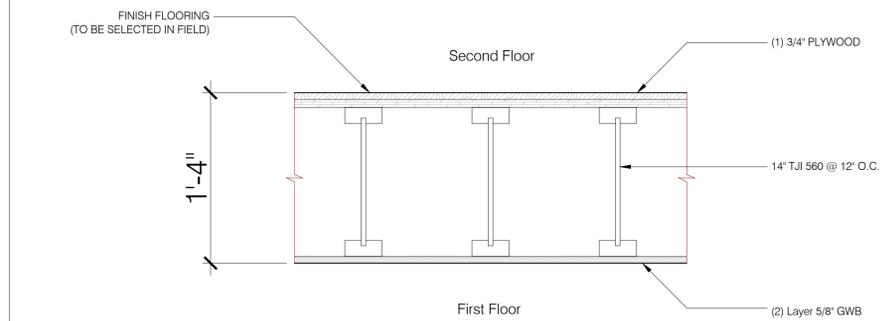
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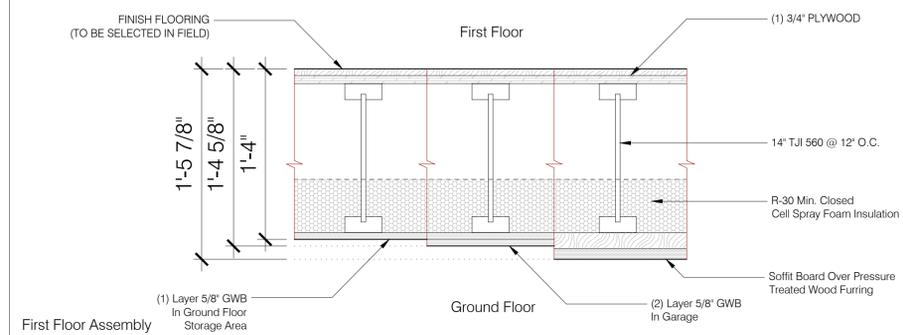
Roof Assembly



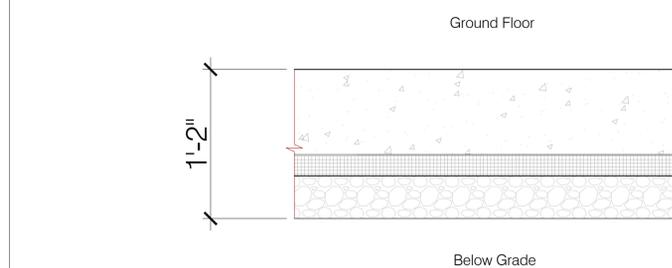
Attic Floor Assembly



Second Floor Assembly



First Floor Assembly



Ground Floor Assembly

no.	description	date
1	Corrected Building Height	01-31-2025
2	Block & Lot Number	03-31-2025
3	Completeness Review	04-02-2025
3	Building Department	01-23-2025
2	Zoning/ Floodplain Review	01-03-2025
1	Zoning Board	10-12-2022
no.	to whom issued	date

ISSUE

19 Gravelly PR
19 Gravelly Point Road,
Highlands, NJ 07732

Block: 100
Lot: 26 C00011

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General Partition Notes
Wall Assemblies
Horizontal Assemblies

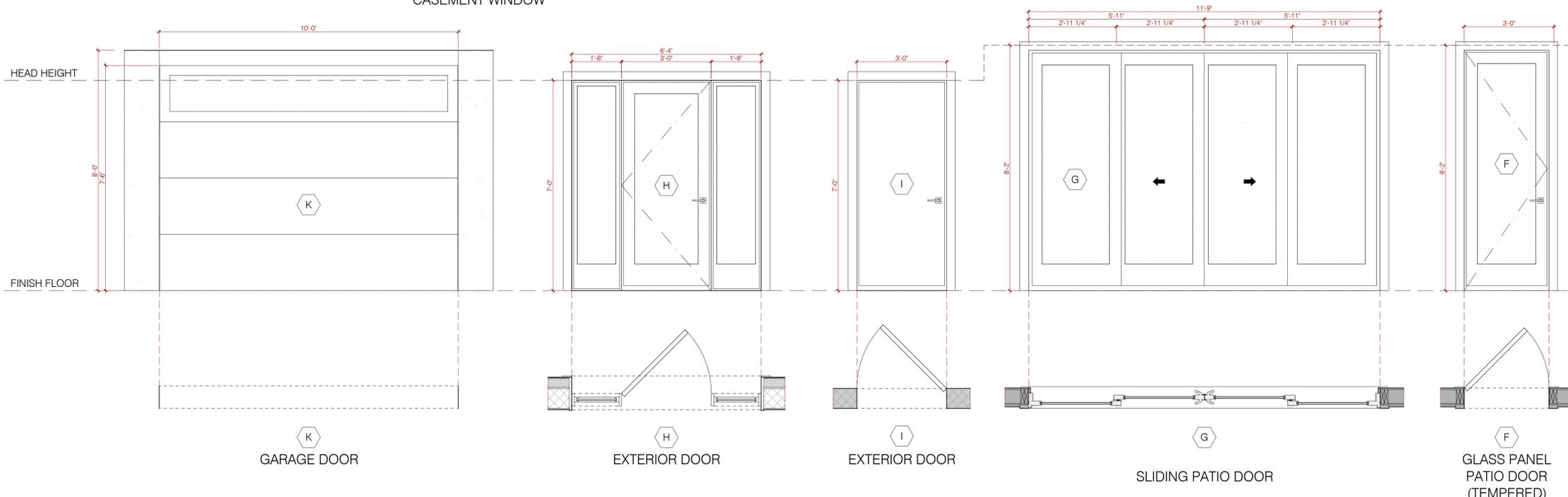
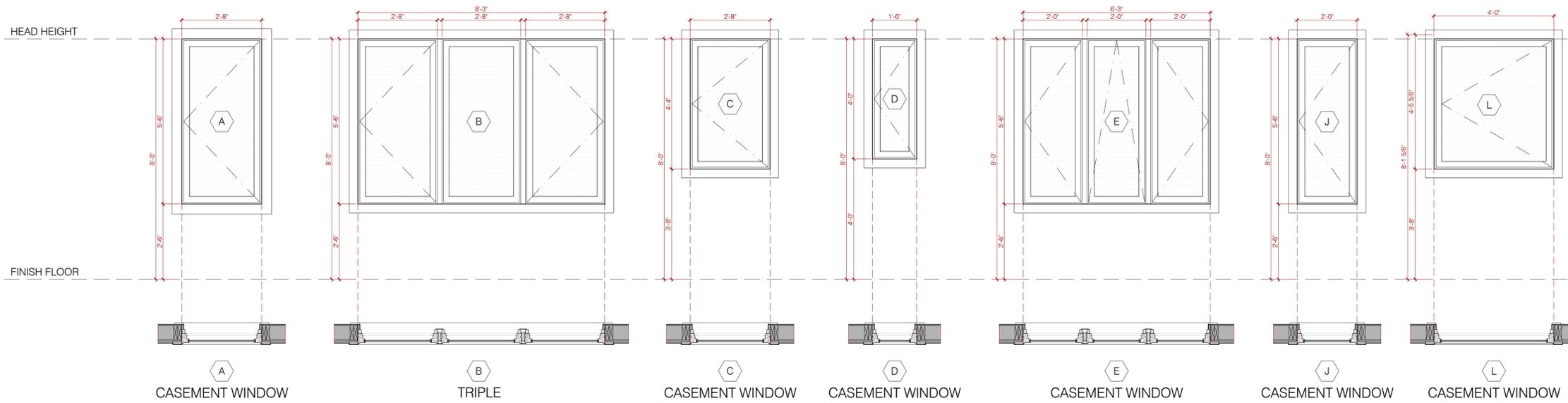
date: April 2, 2025
scale: as shown
drawn by: VP
checked by: AG
phase: BD

A400.0

WINDOW SCHEDULE

TAG	QUANTITY	WINDOW TYPE	MANUFACTURER	MODEL NO.	DIMENSIONS	NOTES	NOTES
A	11	Casement / 400 Series or similar / Vinyl Clad	Andersen or Similar	CX145	FRAME SIZE: 2'-7 1/2" W X 5'-4 13/16" H	FRAME: Vinyl Clad Wood	Dual Pane, Low - E4, No Tint, U-Value=0.27 SHGC=0.32
B	2	Triple Casement / 400 Series or similar / Vinyl Clad	Andersen or Similar	CX145	FRAME SIZE: 2'-7 1/2" W X 5'-4 13/16" H	FRAME: Vinyl Clad Wood	Dual Pane, Low - E4, No Tint, U-Value=0.27 SHGC=0.32
C	2	Casement / 400 Series or similar / Vinyl Clad	Andersen or Similar	CX135	FRAME SIZE: 2'-7 1/2" W X 5'-4 13/16" H	FRAME: Vinyl Clad Wood	Dual Pane, Low - E4, No Tint, U-Value=0.27 SHGC=0.32
D	2	Casement / 400 Series or similar / Vinyl Clad	Andersen or Similar	CR13	FRAME SIZE: 2'-7 1/2" W X 5'-4 13/16" H	FRAME: Vinyl Clad Wood	Dual Pane, Low - E4, No Tint, U-Value=0.27 SHGC=0.32
E	1	Tripla Casement / 400 Series or similar / Vinyl Clad	Andersen or Similar	C145	FRAME SIZE: 2'-7 1/2" W X 5'-4 13/16" H	FRAME: Vinyl Clad Wood	Dual Pane, Low - E4, No Tint, U-Value=0.27 SHGC=0.32
F	1	Glass Panel Swing Patio Door / 400 Series or similar / Vinyl Clad	Andersen or Similar	FWH31611	FRAME SIZE: 3'-0" W X 8'-0" H	FRAME: Vinyl Clad Wood TEMPERED	Dual Pane, Low - E4, No Tint, U-Value=0.27 SHGC=0.32

TAG	QUANTITY	WINDOW TYPE	MANUFACTURER	MODEL NO.	DIMENSIONS	NOTES	NOTES
G	1	Sliding Patio Doors / 400 Series or similar / Vinyl Clad	Andersen or Similar	FWG160611	FRAME SIZE: 11'-8 1/2" W X 8'-0" H	FRAME: Vinyl Clad Wood TEMPERED	Dual Pane, Low - E4, No Tint, U-Value=0.27 SHGC=0.32
H	1	Entry Door With Sidelights / 400 Series or similar / Vinyl Clad	Andersen or Similar	TBD	FRAME SIZE: 6'-4" W X 7'-0" H	FRAME: Vinyl Clad Wood	Dual Pane, Low - E4, No Tint, U-Value=0.27 SHGC=0.32
I	1	Insulated Exterior Door	Andersen or Similar	TBD	FRAME SIZE: 3'-0" W X 7'-0" H	FRAME: Vinyl Clad Wood	Dual Pane, Low - E4, No Tint, U-Value=0.27 SHGC=0.32
J	2	Casement / 400 Series or similar / Vinyl Clad	Andersen or Similar	C145	FRAME SIZE: 2'-7 1/2" W X 5'-4 13/16" H	FRAME: Vinyl Clad Wood	Dual Pane, Low - E4, No Tint, U-Value=0.27 SHGC=0.32
K	3	Insulated Garage Door w/ Low Headroom Conversion Kit	C.H.I	2738	FRAME SIZE: 10'-0" W X 7'-6" H	2-Sided Steel Sandwich w/ Smooth Overlay Steel	R-10.29 Top Row Glass Face. Color TBD by Arch.
L	2	Casement / 400 Series or similar / Vinyl Clad	Andersen or Similar	tbd	FRAME SIZE: 3'-11 1/2" W X 5'-4 13/16" H	FRAME: Vinyl Clad Wood	Dual Pane, Low - E4, No Tint, U-Value=0.27 SHGC=0.32



no.	description	date
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2	Block & Lot Number	03-31-2025
3	Completeness Review	04-02-2025
3	Building Department	01-23-2025
2	Zoning/ Floodplain Review	01-03-2025
1	Zoning Board	10-12-2022
no.	to whom issued	date

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Block: 100
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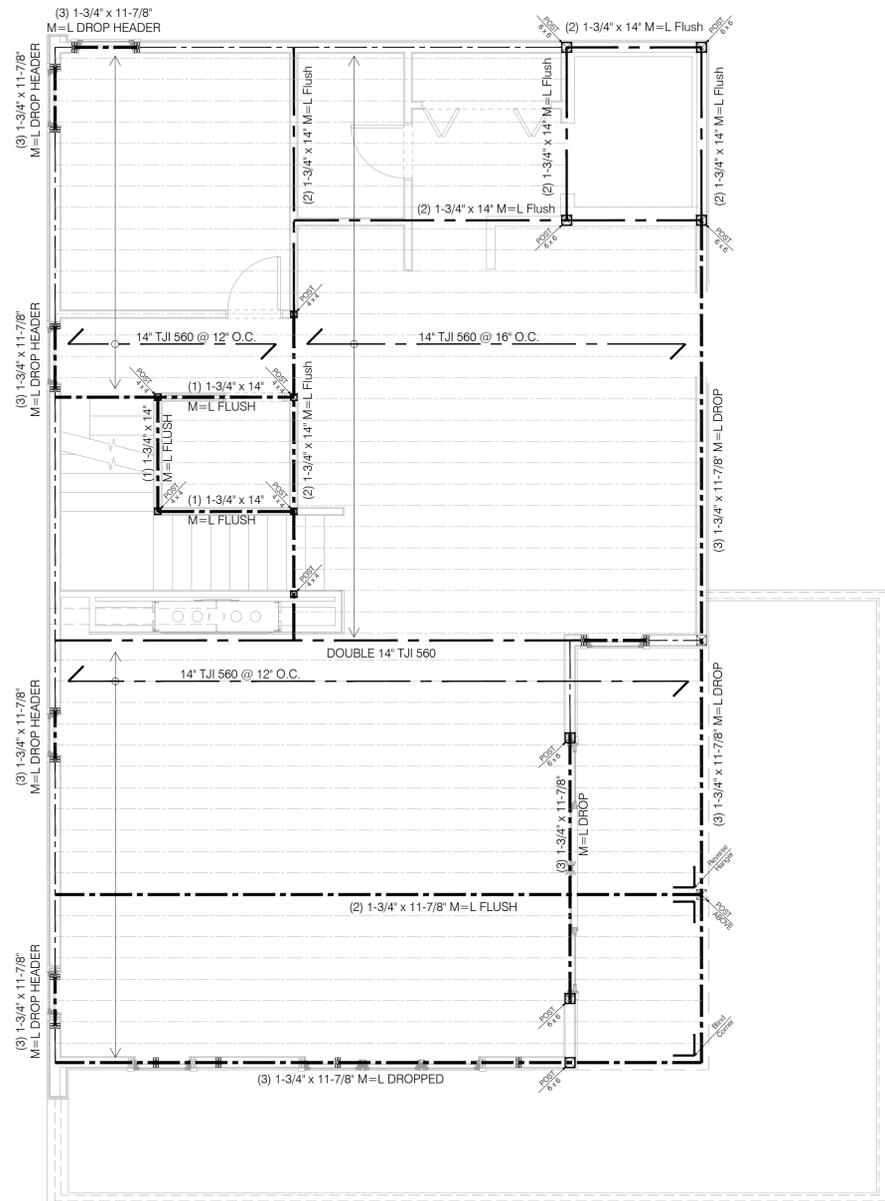


Window/ Door Schedule
Window/ Door Elevations

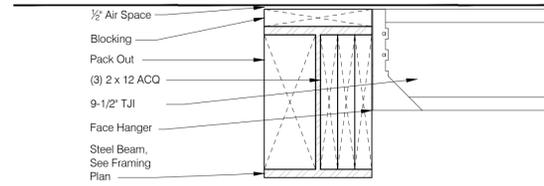
date: April 2, 2025
scale: as shown
drawn by: VP
checked by: AG
phase: BD

EL01 Window/ Door Elevations
1/2" = 1'-0"

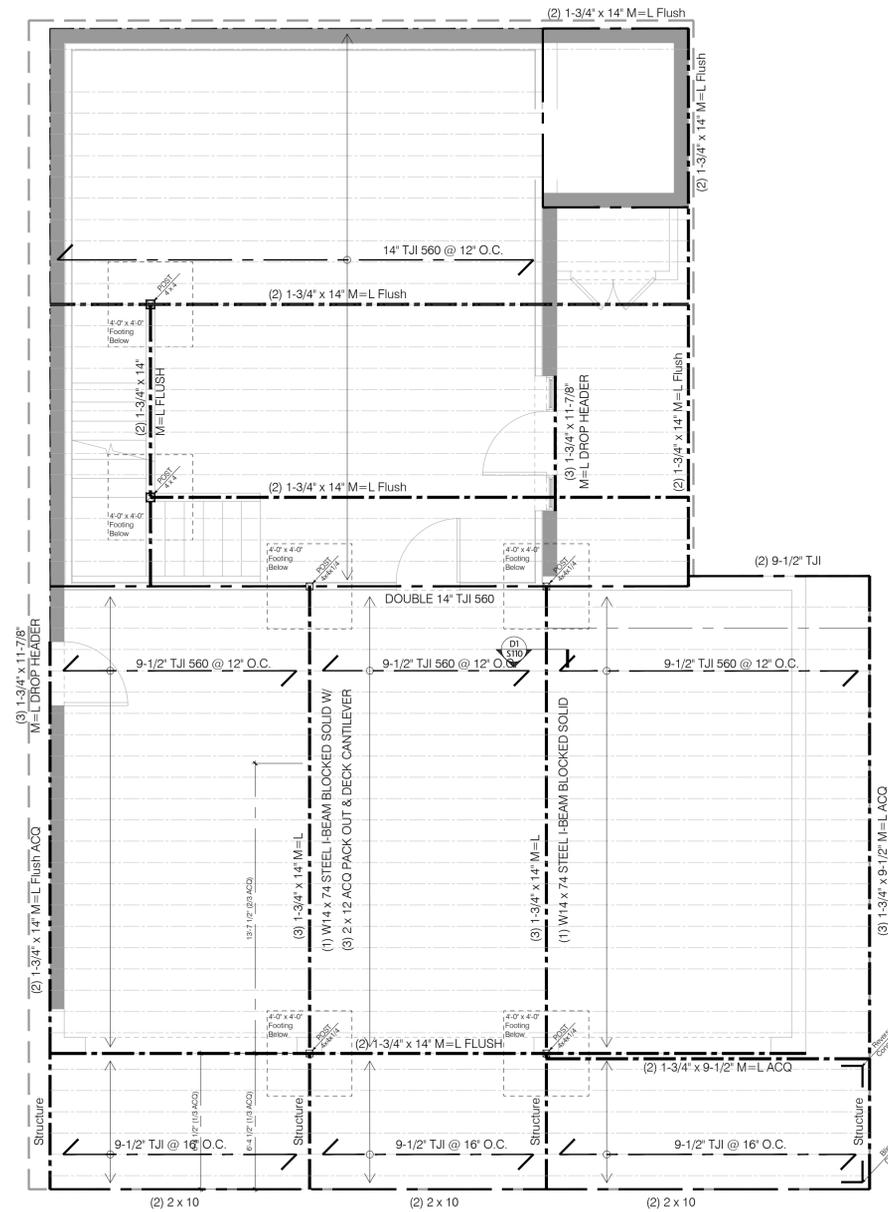
A600.0



FP02 Second Floor Framing Plan
1/4"=1'-0"



D1 Steel Beam Detail
1-1/2"=1'-0"



FP01 First Floor Framing Plan
1/4"=1'-0"

no.	description	date
1	Corrected Building Height	01-31-2025
2	Block & Lot Number	03-31-2025
3	Completeness Review	04-02-2025

no.	to whom issued	date
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First Floor Framing Plan
First Floor Framing Plan

date: April 2, 2025
scale: as shown
drawn by: VP
checked by: AG
phase: BD

S110.0

ELECTRICAL SPECIFICATIONS

GENERAL:

A. Provide labor, materials, equipment and services for complete electrical systems as shown on these drawings and as required by applicable city, state, and federal codes, including OSHA. Pay all fees, obtain all certificates. Use new U.L. approved equipment. Include all temporary light and power during construction. Scope includes light and power systems, telephone raceway provisions, and power hook-up of Owner's equipment.

B. All equipment and materials shall be installed in a neat and workmanlike manner.

C. All materials shall be of the best quality for the purpose intended.

D. Render full cooperation to other trades where work of Contractor will be installed in close proximity to work of other trades. This Contractor shall assist in working out space conditions. If Contractor installs work before coordinating with other trades or causes interferences, he shall make changes necessary to correct condition without extra charge.

E. For exact location of lighting fixtures, receptacles and telephone outlets, refer to Architectural Drawings.

F. This Contractor shall repair and damage done by himself or his workmen, and shall coordinate his work with that of other crafts. All work shall be done to the satisfaction of the Architect.

G. Keep conduits and other openings closed to prevent entry of foreign matter: cover fixtures, equipment and apparatus and protect against dirt, water, chemical or mechanical damage, before and during the construction period until final acceptance. Restore to original condition any fixtures, apparatus, or equipment damaged prior to final acceptance, including restoration of damaged shop coats of paint. Equipment shall be delivered and stored at site, properly packed and crated, until finally installed.

H. Upon acceptance of Contract, Contractor agrees to guarantee all his Work and equipment for a period not less than one (1) year from date of initial operation. Manufactured equipment shall carry full period of manufacturer's guarantee and shall not be less than one (1) year.

I. Contractor shall maintain such limits of insurance as required by the building.

TEMPORARY LIGHT AND POWER:

Provide and fully maintain all facilities for temporary light and power within the construction area during the entire building period, for safety of personnel, utilizing the electric service in the area as arranged with building management and Public Utility by the Electrical Contractor.

RUBBISH:

Remove all rubbish from premises as often as necessary or directed. Debris removal during construction to be coordinated with the Landlord. All work and equipment shall be cleaned to the satisfaction of the Tenant before turning same over to the Tenant.

LIGHTING FIXTURES:

Install all fixtures as indicated on drawings and provided by the Owner. Fixtures to bear label of Underwriters Laboratories and be installed true and plumb, left clear and free from grease and fingerprints. Lighting fixture installation to be complete with all necessary mounting hardware, lamps, ballasts, starters and other necessary equipment.

MISCELLANEOUS:

BASIC ELECTRICAL MATERIALS AND METHOD

- All fixtures to be selected by Tenant in conjunction with the Architect.
- All electrical, telephone, and data/com work to be done in accordance with and conform to the "National Electrical Code/2015" including subsequent additions and amendments thereto.
- All visible electrical equipment such as switches, duplex outlets, cover plates and floor-mounted outlets shall be installed by competent mechanics in a first class manner.
- Notify Architect immediately (prior to lighting installation) of any discrepancy or questions regarding lighting intent.
- Upon completion of work, electrical contractor to supply all pertinent information in electrical panel to Architect and Landlord. (i.e. which breakers control which circuits/rooms/etc.).

LENSES, LOUVERS AND ACCESSORIES

- All receptacles to be grounded type.
- All receptacles, telephone and cable television jacks to be at Tenant and Landlord's request. (where installation is within an existing room, match style of existing equipment - upgrade at Tenant's request).
- All switches and wallplates to be selected by Tenant unless located in Mechanical, Storage or Utility Rooms. Must be approved by Landlord prior to installation.
- Contractor to provide all switches, receptacles and wallplates U.O.N., Color: To be selected by Tenant.
- Contractor shall be responsible for all appliances + HVAC.
- Contractor to provide all switches, receptacles and wallplates U.O.N., Color: Lutron Satin Color.
- Contractor shall be responsible for all electrical connections for the kitchen, bar and laundry appliances.

ALARM AND DETECTION SYSTEMS

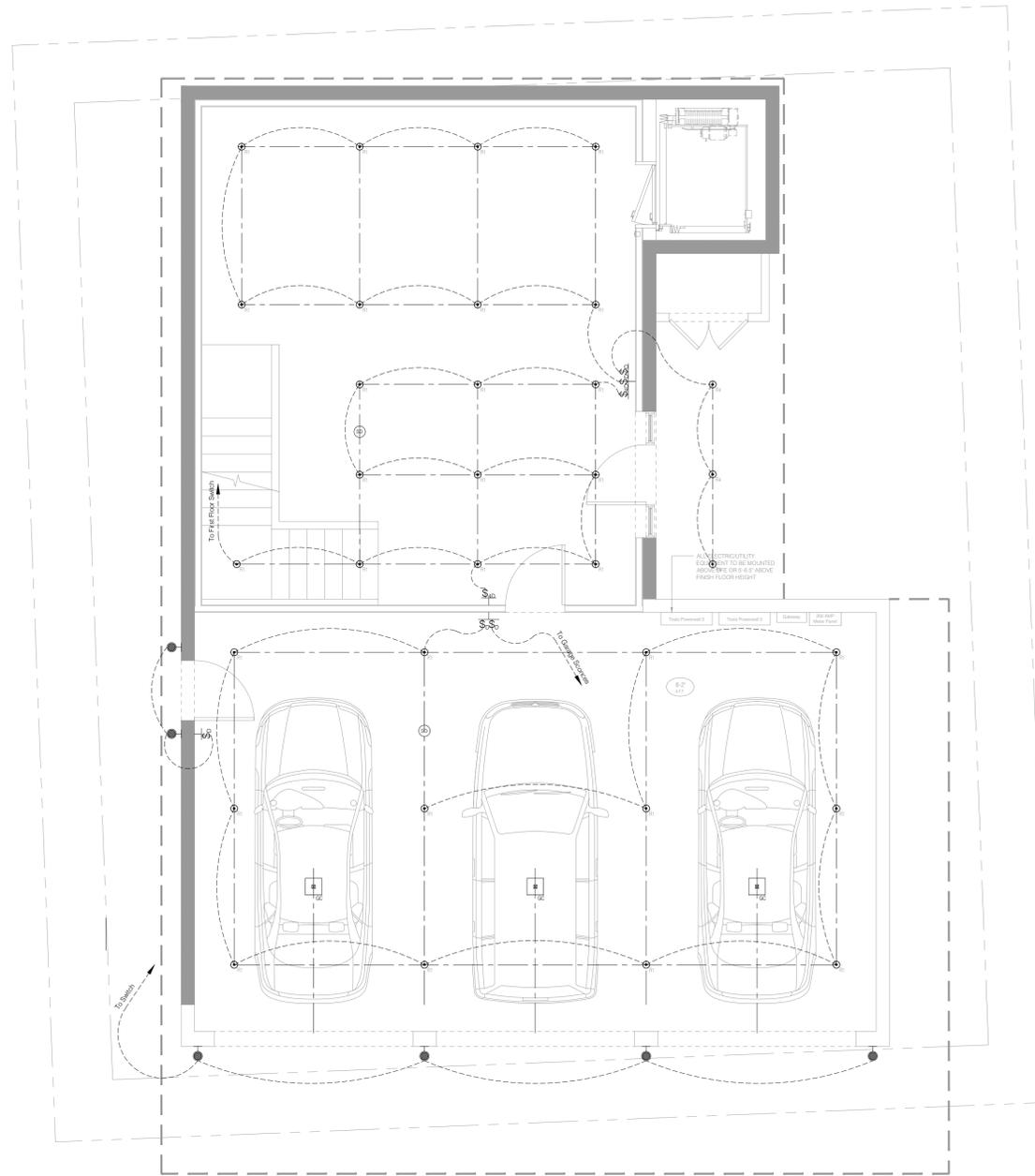
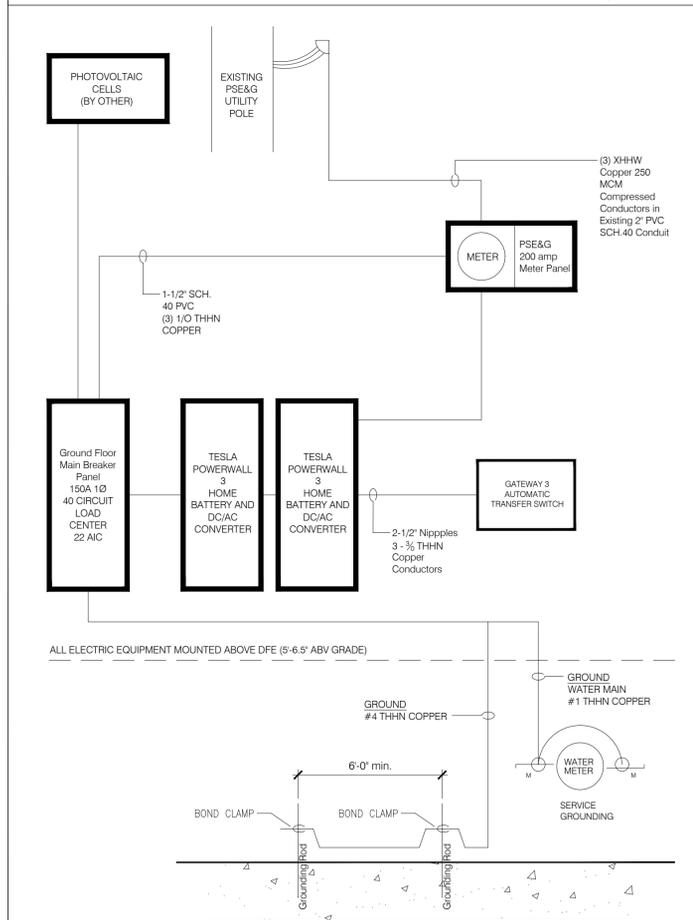
- Smoke detectors shall be required on every floor including the basement, in the immediate vicinity of the bedrooms and in each bedroom. The detectors shall be wired so that the actuation of one alarm will actuate all the alarms in the dwelling (IBC 907.2.10.1.2 and 907.2.10.3). Detectors shall be supplied with a battery backup in case of AC power interruption (IBC 907.2.10.2).

ELECTRICAL SYMBOL LEGEND

	DUPLEX OUTLET		OUTDOOR WALL SCONCE
	DEDICATED DUPLEX OUTLET MAY INDICATE SPECIFIC APPLIANCE. COORDINATE LOCATION WITH MANUFACTURERS REQUIREMENTS		RECESSED CEILING LIGHT
	GFCI (GROUND FAULT CIRCUIT INTERRUPT) OUTLET		WET LOCATION RECESSED LIGHT
	COMBINATION SMOKE / CARBON MONOXIDE ALARM		RECESSED LIGHT GIMBALED PIN LIGHT
	SMOKE ALARM		WATERPROOF EXTERIOR RECESSED LIGHT
	WATERPROOF GFCI (GROUND FAULT CIRCUIT INTERRUPT) OUTLET		SURFACE MOUNTED LIGHT
	SWITCH 3-WAY & 3-WAY DIMMABLE 4-WAY & 4-WAY DIMMABLE		PENDANT LIGHT
	TELEPHONE AND DATA OUTLETS SINGLE PORT TELEPHONE OUTLET SINGLE PORT DATA OUTLET TWO-PORT TELEPHONE / DATA OUTLET		GARAGE CONTROLS
	ELECTRICAL PANEL		SURFACE MOUNTED MOTION DETECTOR LIGHT
	CEILING FAN RATED LIGHT		VANITY LIGHT
	EXHAUST FAN		UNDER CABINET LIGHT

ELECTRIC SERVICE DIAGRAM

New 200 Amp Service



PL01 Ground Floor Electric & Power Plan
1/4" = 1'-0"

no.	description	date
1	Corrected Building Height	01-31-2025
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2	Zoning/ Floodplain Review	01-03-2025
1	Zoning Board	10-12-2022
no.	to whom issued	date

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19 Gravelly Point Road,
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Block: 100
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Ground Floor Electric
And Power Plan
Electric Specifications
Electric Symbol Legend

date: April 2, 2025
scale: as shown
drawn by: VP
checked by: AG
phase: BD

E110.0

Plumbing Specifications

A. REFERENCE TO GENERAL CONDITIONS:

1. Perform the Work in accordance with the requirements of the General Conditions.

B. SCOPE OF WORK:

1. All work shown on the drawings and in the specifications shall be included under the base bid, except where there is specific reference to exclusion and incorporation in other quotations.

C. GENERAL:

1. Coordinate Work with all other trades and existing conditions of the job site and maintain required ceiling heights and space conditions.
2. Provide all materials, equipment, services, labor and tests necessary for complete execution of the plumbing work in accordance with the governing codes and authorities

D. CODES AND STANDARDS:

1. All work shall meet or exceed the latest requirements of all national, state, county, municipal and other authorities exercising jurisdiction over construction work at the project.
2. All required permits and inspection certificates shall be obtained, paid for, and made available at the completion of the work.

E. TESTS:

1. Before an application for final acceptance of the work will be considered, all tests deemed necessary to show proper execution of the Work shall have been performed and completed in the presence of an Architect's/Owner's representative, scheduling of all testing procedures shall be arranged to suit the convenience of the Architect and/or Owner's Representative.

PIPING INSULATION

1. Insulate all heating hot water pipes in exterior walls, crawl spaces, basements and all other unheated spaces.
2. All hot and cold supply piping shall be insulated to prevent heat loss and condensation.
3. Insulation with a thickness of no less than 1 1/2" shall be installed on any space heating distribution piping located outside of a conditioned space.
4. Insulation with a minimum thickness of no less than 3/4" shall be installed on any service water distribution piping that is greater than 3/4" in diameter.

H. MISCELLANEOUS:

PROVIDE FOR FOLLOWING:

- Scaffolding, rigging, hoisting.
- Rubbish removal.
- Sleeves and openings (Waterproof sleeves and flashing through waterproofed construction).
- Caulking, packing and filling of sleeves and openings.
- Shop drawings.
- Record (As-built) drawings.
- Obtaining all required permits, approvals and inspection certificates.
- Guarantee all work, labor and materials for one year following date of acceptance.
- Verify site conditions at the project site.
- Access doors for valves.
- Spare parts and tools.
- Test: Operating, performance and code required tests.
- Protection of work during construction.
- Coordination with other trades.
- Cleaning.
- Adjusting and balancing.
- Identification: Valve tags and valve tag schedules.
- Hangers and supports for piping and equipment.
- Flashing for drains and pipe penetrations.

F. GUARANTEES AND CERTIFICATIONS:

1. All work shall be guaranteed to be free from leaks or defects. Any defective materials or workmanship, as well as damage to the work of all trades resulting from same, shall be replaced or repaired as directed for the duration of stipulated guaranteed periods. The duration of guarantee periods shall be one year.

G. SHOP DRAWINGS AND OTHER INFORMATION REQUIRED:

1. Prior to assembling or installing the Work, the following shall be submitted for approval:

- (A) Equipment drawings and scale drawings showing all equipment and piping with sizes, elevations, dimensioned locations and appropriate indication of coordination with other trades.

PLUMBING

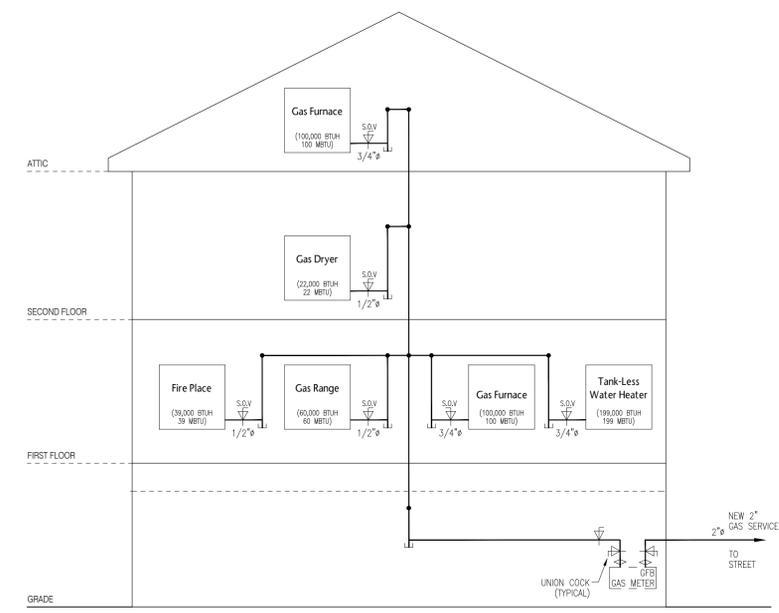
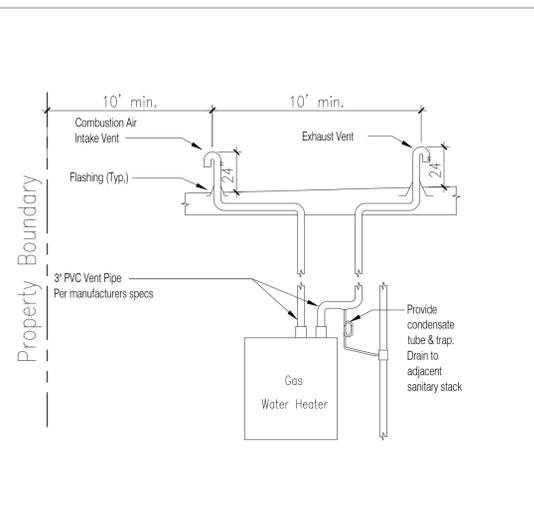
1. The use of lead solder is prohibited on installation of potable water systems.
2. Contractor to be responsible to check soil pipe height and location and to adjust to job conditions.
3. Potable water system is to be protected from contamination by use of back flow preventers, as conditions required.
4. All hot and cold supply piping shall have air chambers to prevent water hammering.
5. Supply and waste line sizes shall conform to the following.

Fixture	HW	CW	Drain	Trap	
Water Closet	-	1/2"	4"	-	2"
Lavatory	1/2"	1/2"	1-1/2"	-	1-1/2"
Sink	3/4"	3/4"	2"	2"	2"
Tub	3/4"	3/4"	2"	2"	1-1/2"
Shower	1/2"	1/2"	2"	2"	1-1/2"

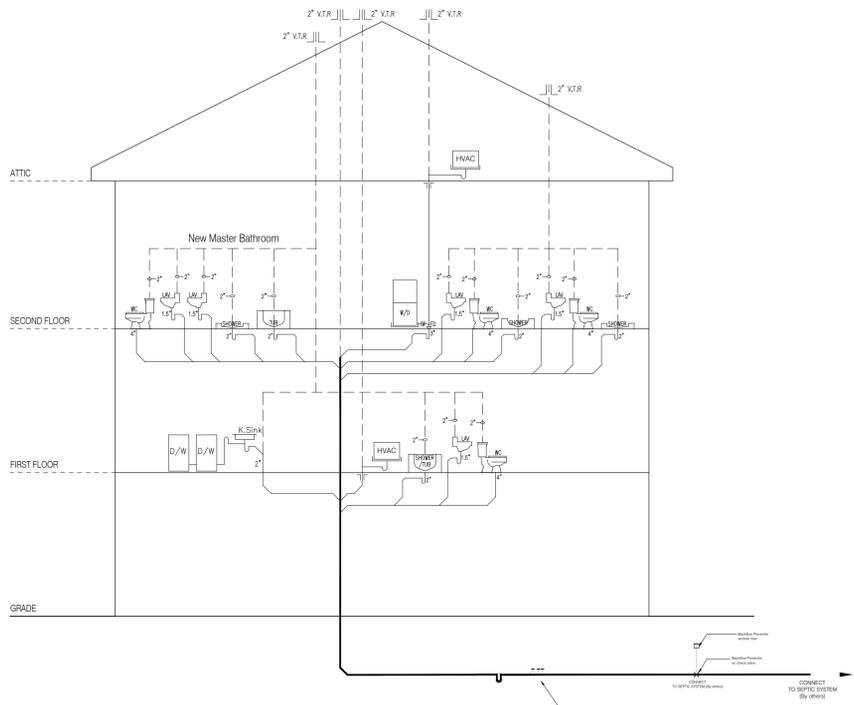
*3" PVC pipe may be used if approved by local Plumbing Sub-Code Official

PLUMBING FIXTURES

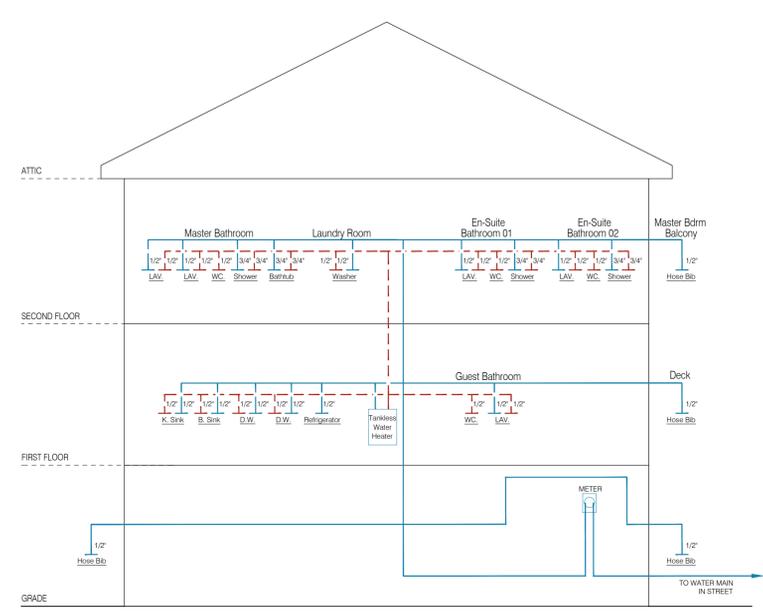
1. All fitting, escutcheons, faucets, traps, exposed piping, etc., shall be brass, chrome plated or nickel plated with polished finish, Contractor to verify final finish selection with Owner.
2. Before roughing work is started submit to the Architect complete figured drawings and cuts of each and all of the plumbing fixtures, fittings, trimmings, etc., and secure his approval before proceeding with the installation of any work - these drawings shall show accurately the locations and indicate where dimensions on architectural drawings cannot be met.
3. Provide all hangers, supports, brackets, etc., for the proper installation of the lavatories, sinks, etc., requiring support - Such supports shall be in accordance with the recommendations of the manufacturers of the fixtures and it built into partitions or wall shall be set as the wall progresses.
4. All plumbing fixtures to be selected by the Owner in conjunction with the Architect. Refer to the Plumbing Fixture Schedule.



D3 Gas Riser Diagram
Not To Scale



D2 Sanitary Riser Diagram
Not To Scale



D1 Plumbing Riser Diagram
Not To Scale

no.	description	date
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Plumbing Riser Diagrams

date: April 2, 2025
scale: as shown
drawn by: VP
checked by: AG
phase: BD

P100.0