

Borough of Highlands 151 Navesink Ave. Highlands, NJ 07732 (732) 872-1224 www.highlandsnj.gov

LAND USE BOARD APPLICATION

FOR OFFICIAL USE	p ex # 277	
Date Rec'd: 3 5 2025 Application #:	LUB25-03 Fee: 125.00	
Escrow: previous balance Escro	w Acct# T-03-56-875-000-194	
1. APPLICANT Name: John and Shari Nastasi Address: 19 Gravelly Point Road City: Highlands State: NJ Zip: 07732	2. OWNER Name: John and Shari Nastasi Address: 19 Gravelly Point Road City: Highlands State: NJ Zip: 07732 Phone: (516) 885-4104	
Phone: (516) 885-4104	Email: beachrx18@yahoo.com	
Email: <u>beachrx18@yahoo.com</u>		
Relation to property: Owner		
3. TYPE OF APPLICATION (Check all that apply)		
 Minor Subdivision Major Subdivision – Preliminary Major Subdivision – Final Minor Site Plan Major Site Plan – Preliminary Major Site Plan – Final Variance Use Variance 	□ Appeal − Zoning Denial date □ Appeal − Land Use Decision date □ Informal Concept Plan Review □ Extension of Approval □ Revision/Resubmission of Prior Application □ X Otherextension of deck	
4. PROPERTY INFORMATION		
Block 100 Lot(s) 26.19	Address: 19 Gravelly Point Road	
Lot size 0.057 # of Existing Lots 1	# of Proposed Lots	
Zone R203 Are there existing Deed Restrict	ions or Easements? ☑ No ☐ Yes — Please attach copies	
Has the property been subdivided? No		
5. ATTORNEY (A corporation, LLC, Limited Partnership Name:		
Address:		
Phone:	Email:	



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6. APPLICAN	T'S OTHER PROFESSIONAL(S) - Enginee	er, Planner, Architect, etc.		
Name: John	NASTASI NASTASI ARCHITECT:	Name:		
Address:321 HOBOKE	Newark St NNJ 07030	Address:		
Phone:	01 653 2577	Phone:		
Email: JOhr	01 653 2577 ne nastasiarchitect	S.C. Email:		
7. LAND USE				
Board applicat	HISTORY –Describe in detail, nature of pri ions for this site (attach copy of resolution d approved height variance			se
subdivided; 2)	PLAN –Describe in detail, proposed use for sell lot only; 3) construct house(s) for sale type of goods/services; 8) fire lane. Attach	e; 4) how trash will be dispo	sed; 5) landscaping; 6) hours of	
where supply was brought in the kitche the street c	received a variance due to specific plans did not account for the weight ort poles were placed in the middle t in. The new architect properly redien. Additionally, for aesthetic and proportions, creating a more cohes	distribution of the pole of the kitchen island. stributed the structural actical purposes, the c	s, which led to a design flaw To correct this, a new archited Toad to remove the obstruction eck was expanded to align w	ct on /ith
	nat was previously approved			
C. ADDITIONA	AL INFORMATION:	Existing	Proposed	
Residential:	How many dwelling units? How many bedrooms in each unit? How many on-site parking spaces?	1 3 3	1 3 3	
Commercial:	How many commercial uses on site? How many on-site parking spaces?		h/x	





8. VARIANCE REQUESTS Complete section(s) related to the relief being requested.

	Req'd	Exist.	Prop'd	
Minimum Lot Requirements				
Lot Area				
Frontage				
Lot Depth				
Minimum Yard Requirer	nents			
Front Yard Setback				
2 nd Front Yard Setback				
Rear Yard Setback				
Side Yard Setback, right				
Side Yard Setback, left				
Building Height	20	16	29.1	

1		Req'd	Exist.	Prop'd
	Accessory Structures			
	Fence/Wall Height			
	Garage/Shed Height			
	Garage/Shed Area			
	Pool Setback			
	Parking Requirements			
	On-site Parking Spaces			
	Other (please add)			
E	06 461,006	c. (a)	ate 1	1
ysas	per D6 valiance	910	110	

OTHER RELIEF REQUESTED Please specify relief(s) and explain below.
NEW RELIEF REQUESTED IS EXPANSION OF DECK TO ALIGN WITH STREET
CONFORMATION along with keeping original approvals from first variance and application to continually beautify and improve
approximation, a continuous, and an approximation of the continuous of the continuou



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10. NOTARIZED SIGNATURE OF APPLICANT

I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual Applicant, or that I am an Officer of the Applicant authorized to sign the application for the business organization. Additionally, I certify that the survey or plans submitted with this application shows and discloses the premises in its entirety, and I further certify that no buildings, fences, or other facilities have been constructed, installed, or otherwise located on the premises after the date of the survey with the exception of the structures shown.

SWORN & SUBSCRIBED to before me this		11
cra M. 1		3/5/25
day of March 2025 (year)	Signature	Date
War Cosself (notary)	Shair	
KEVIN ROONEY	Shari Nastasi	
No(Se #I)blic, State of New Commission # 50170	Jer Brint Full Name	
My Commission Expires Sept.	1, 2026	

11. NOTARIZED CONSENT OF OWNER

certify that I am the Owner of the property which is the subject of this application, hereby consent to the making of this application and approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency (if owned by a corporation, a resolution must be attached authorizing the application and officer signature).

SWORN & SUBSCRIBED to before me this day of March 2025 (year)			15/05
$\frac{3}{1/4} \text{ day of } \sqrt{1/4} \sqrt{20} \sqrt{20} \text{ (year)}$	Signature	,	Date
Mus Lassly (notary)	Shari	Nastas,	
KEVINEY	Print Full Name		
Notary Public, State of New Jersey 12A. DISCLOSURE STATEMEN Son Expenses that apply			

Pursuant to N.J.S.A. 49:55D-48.1 & 48.2, please answer the following questions:

Is this application to subdivide a parcel of land into six (6) or more lots?	Yes	No
Is this application to construct a multiple dwelling of 25 or more units?	Yes	No
Is this an application for approval of a site(s) for non-residential purposes?	Yes	No
Is this Applicant a corporation?	Yes	No
Is the Applicant a limited liability corporation?	Yes	No
Is the Applicant a partnership?	Yes	No

If you circled **YES** to any of the above, please complete the following Ownership Discloser Statement (use additional sheets if necessary).





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12B. BUSINESS ORGANIZATION OWNERSHIP DISCLOSURE STATEMENT

Name of Corporation, Partnership, LLC, LLP, S-Corp:

N/A		
Listed below are the names and addresses of all owr business organization:	ners of 10% or more of the stock/intere	est* in the above referenced
NAME	ADDRESS	
*If a corporation or a partnership owns 10% or more partnership, that corporation or partnership shall lis its stock or 10% or greater interest in the partnership addresses of the non-corporate stockholders and indestablished have been listed.	t the names and address of its stockho p, and this requirement shall be follow	lders holding 10% or more of ed until the names and
SWORN & SUBSCRIBED to before me this		
day of 20 (year)	Signature (Officer/Partner)	Date
(notary)		
(Seal)	Print Full Name	Title



AHachmen L

BOROUGH OF HIGHLANDS COUNTY OF MONMOUTH

LAND USE BOARD RESOLUTION 2024-17

MEMORIALIZATION OF HEIGHT VARIANCE AND BULK VARIANCE RELIEF

IN THE MATTER OF JOHN AND SHARI NASTASI APPLICATION NO. LUB2024-04

Memorialized: September 12, 2024

Approved: August 8, 2024

WHEREAS, an application for height variance and bulk variance relief has been made to the Borough of Highlands Land Use Board (hereinafter referred to as the "Board") by John and Shari Nastasi (hereinafter referred to as the "Applicants") on lands known and designated as Block 100, Lot 26.19, as depicted on the Tax Map of the Borough of Highlands (hereinafter "Borough"), and more commonly known as 19 Gravelly Point Road, Highlands, New Jersey, in the Bungalow Colonies area of the R-2.03 Single-Family Residential (R-2.03) Zone District (hereinafter "Property"); and

WHEREAS, a live public hearing was held before the Board on August 8, 2024, with regard to this application; and

WHEREAS, the Board has heard testimony and comments from the Applicant, witnesses and consultants, and with the public having had an opportunity to be heard; and

WHEREAS, a complete application has been filed, the fees as required by Borough Ordinance have been paid, and it otherwise appears that the jurisdiction and powers of the Board have been properly invoked and exercised.

NOW, THEREFORE, does the Highlands Land Use Board make the following findings of fact and conclusions of law with regard to this application:

The subject Property is an existing undersized lot containing 2,758.25 square feet
 (0.06 acres) with 50.15 feet of frontage along Gravelly Point Road within Bungalow Colonies area

of the R-2.03 Single-Family Residential (R-2.03) Zone District. The subject Property is located within the AE Flood Hazard Area.

- 2. The subject Property is improved with an existing elevated two-story frame dwelling with existing garage under parking, with an elevated addition with garage under parking, decking, and stairs. The Applicants are proposing to construct a third floor which will include one (1) additional bedroom. Utilities will be elevated and located in the proposed attic. The Applicants propose paring in the existing and proposed garage as well as the under-parking area. The existing decking and stairs are proposed to be removed, and the existing shed and attached covered area are proposed to remain unchanged.
- 3. Counsel for the Applicants, Edward McKenna, Esq., identified the subject Property as Block 100, Lot 26.19, with the address of 19 Gravelly Point Road, Highlands, New Jersey, and located within the Bungalow Colonies area of the R-2.03 Single-Family Residential (R-2.03) Zone District. Mr. McKenna stated that the Applicants were seeking variance relief to permit pre-existing non-compliant conditions. He also represented that revisions had been made to the plans in response to the Board Engineer's Report. Mr. McKenna explained that the Applicants were seeking height variance relief from the Bungalow Colonies standards and noted that the proposed height would be compliant if the R-2.03 zone standards were applicable.
- 4. The Applicants' Architect, Catherine Franco, AIA, testified that the Applicants were proposing to elevate the existing bungalow to provide needed garage space. She stated that the dwelling would be brought into compliance with the latest building standards and that the ground level would contain the garage. Ms. Franco further testified that the Applicants were proposing to remove an existing bedroom on the first level and enlarge the kitchen. She also stated that the second level would contain three (3) bedrooms and two (2) bathrooms. Ms.

Franco explained that the existing ceiling height was ten (10) feet and nine (9) feet on the first and second levels, respectively. She testified that the roof was not flat.

- 5. Ms. Franco further testified that the proposal would eliminate the need for onstreet parking by providing three (3) parking spaces onsite within the garage. She stated that the parking spaces would be tandem. Ms. Franco further explained that elevating the dwelling would also place the utility out of the flood level by locating them in the attic. She stated that the A/C units would remain in the existing location but would be mounted upon a raised platform.
- 6. In response to questions from the Board, Ms. Franco testified that the attic was accessed by pull down stairs. She stated that the height of the collar ties in the attic was four (4) feet, therefore the attic would not be living space.
- 7. Testimony was then taken from John Caruso, how identified himself as the owner of Lil' Johns Construction, LLC, which was serving as the Applicants' General Contractor. Mr. Caruso testified that he had constructed fourteen (14) new houses, ten (10) renovations, and three (3) lifts on Gravelly Point Road. He also stated that he resides on Gravelly Point Road. Mr. Caruso opined that the proposal would be similar to the other houses on the street which he had constructed, renovated and lifted. He, therefore, believed that the proposed dwelling improvements would conform with the surrounding area. He also stated that the proposal would not impair the zone or the public good.
 - 8. The Applicants confirmed the need for the following variance relief:

Requirement	R-2.03 Residential Zone	Bungalow Colonies Required	Existing Lot 26.19 Bungalow Colonies	Proposed Lot 26.19 Bungalow Colonies
Minimum Lot Area	5,000 sf	5,000 sf	2,758.25 sf**	2,758.25 sf*
Lot Frontage/Width	50 ft	50 ft	50.15 ft	50.15 ft
Minimum Lot Depth	100 ft	100 ft	55.0 ft**	55.0 ft*
Minimum Front Yard Setback	20 ft	3 ft	5.1 ft	4.11 ft
Minimum Side Yard Setback	6 ft/8 ft	3 ft	6.56 ft/11.7 ft	5.46 ft/4.1 ft
Minimum Rear Yard Setback	20 ft	3 ft	2.37 ft**	2.37 ft*
Maximum Building Height***	30 ft	20 ft	16.0 ft	29.1 ft*
Maximum Lot Coverage****	75%	75%	53.4%	69.8%
Maximum Building Coverage****	30%	35%	43.3%	59.3%
On-Site Parking	2 spaces	1 space	3 spaces	3 spaces

^{*}Proposed Variance

9. There were no members of the public expressing an interest in this application.

WHEREAS, the Highlands Land Use Board, having reviewed the proposed application and having considered the impact of the proposed application on the Borough and its residents to determine whether it is in furtherance of the Municipal Land Use Law; and having considered whether the proposal is conducive to the orderly development of the site and the general area in which it is located pursuant to the land use and zoning ordinances of the Borough of Highlands; and upon the imposition of specific conditions to be fulfilled, hereby determines that the Applicants should be granted bulk variance relief pursuant to both N.J.S.A. 40:55D-70c(1) and c(2), as well as height variance relief pursuant to N.J.S.A. 40:55D-70d(6) in this instance.

^{**}Existing non-conformity

^{***} Where a dwelling is constructed or reconstructed to provide the required parking under the structure, the maximum height shall be increased by two and one-half (2 ½) feet.

^{**** §21-86} A.4.b(c) Total building coverage shall not exceed thirty-five (35%) percent of the total lot area and total lot coverage shall not exceed seventy-five (75%) percent except for those situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28.

The Applicants require the following variance relief:

- a. **Section 21-86A.4.b(2)(d)** The maximum permitted building height is 20 feet, whereas 29.1 feet is proposed.
- b. Section 21-86A.4.b(2)(a) Detached accessory structures are prohibited in the minimum required yard area, whereas the existing shed and covered area are located within the side yard setback and rear yard setback. The existing shed and covered area are to remain.
- c. **Section 21 Attachment I** The Minimum lot area is 5,000 square feet, whereas 2,758.25 feet is existing and proposed.
- d. **Section 21 Attachment I** The Minimum Lot Depth is 100 feet, whereas 55.0 feet is existing and proposed.
- e. **Section 21 Attachment I** The Minimum Rear Yard setback is 3 feet, whereas 2.37 feet is existing and proposed.

f.

I. Height Variance Relief

The Applicants require height variance approval pursuant to the <u>Municipal Land Use Law</u> pursuant to <u>N.J.S.A.</u> 40:55D-70d(6). The subject Property is located in the Bungalow Colonies area of the R-2.03 Single-Family Residential (R-2.03) Zone District and the maximum height of a principal structure in the zone is 20 feet. The Applicant, therefore, requires height variance relief because the height of the principal structure exceeds by 9.1 feet or 45.50% the maximum height permitted in the district for a principal structure.

In <u>Grasso v. Borough of Spring Lake Heights</u>, 375 <u>N.J. Super.</u> 41 (App. Div. 2004), the Court explored reasons for adopting height limitations. The Grasso Court found that special reasons may be established by demonstrating an undue hardship, which for a d(6) variance requires a showing that the height restriction prohibits the use of the property for a conforming structure, or in the alternative by demonstrating that the increased height of the building does not offend the purpose of the height restriction which the court characterized as being focused primarily on light and air concerns as well as providing an opportunity to control density.

The Board finds that the Applicants have satisfied the positive criteria. The Board finds that the proposed height comports with the density of the area. The Board finds that the majority of the dwellings in the area are of comparable height. The Board further finds that the proposed height will not block any view corridors for surrounding neighbors or cast undue shade upon adjoining properties. The Board also finds that the proposed height will allow additional on-site parking which would alleviate the demand for on-street parking in the area. The proposed height will also better protect the home from flood damage. The Board therefore finds that the positive criteria have been satisfied.

The Board also finds that the negative criteria has been satisfied for the reasons expressed infra in the bulk variance section. The Board concludes that the positive criteria substantially outweighs the negative criteria and height variance relief may be granted pursuant to N.J.S.A. 40:55D-70d(6).

II. Bulk Variance Relief

The Board finds that the Applicants have proposed construction which requires bulk variance relief. The Municipal Land Use Law, at N.J.S.A. 40:55D-70c provides Boards with the power to grant variances from strict bulk and other non-use related issues when the Applicant satisfies certain specific proofs which are enunciated in the Statute. Specifically, the Applicant may be entitled to relief if the specific parcel is limited by exceptional narrowness, shallowness or shape. An Applicant may show that exceptional topographic conditions or physical features exist uniquely affect a specific piece of property. Further, the Applicant may also supply evidence that exceptional or extraordinary circumstances exist which uniquely affect a specific piece of property or any structure lawfully existing thereon and the strict application of any regulation contained in the Zoning Ordinance would result in a peculiar and exceptional practical difficulty

or exceptional and undue hardship upon the developer of that property. Additionally, under the "c(2)" criteria, the Applicant has the option of showing that in a particular instance relating to a specific piece of property, the purpose of the Act would be advanced by allowing a deviation from the Zoning Ordinance requirements and the benefits of any deviation will substantially outweigh any detriment. In those instances, a variance may be granted to allow departure from regulations adopted, pursuant to the Zoning Ordinance.

Those categories specifically enumerated above constitute the affirmative proofs necessary in order to obtain "bulk" or (c) variance relief. Finally, the Applicant must also show that the proposed variance relief sought will not have a substantial detriment to the public good and, further, will not substantially impair the intent and purpose of the Zone Plan and Zoning Ordinance. It is only in those instances when the Applicant has satisfied both these tests that a Board, acting pursuant to the Statute and case law, can grant relief. The burden of proof is upon the Applicant to establish these criteria.

The Board finds that the Applicants have satisfied the positive criteria. The Board finds that the proposed improvements to the subject Property will upgrade the existing residential structure and will be consistent with neighboring development. The Board further finds that the proposed improvements will be aesthetically pleasing and create a desirable visual environment which will be more commensurate with other homes in the neighborhood in terms of size and setbacks. The Board further finds that the subject Property is unique and unusual with respect to its dimensions. Ultimately, the Board finds that the grant of variance relief will result in a visually desirable dwelling which will not only benefit the Applicant but will also advance the interests of the entire community. The Board therefore concludes that the goals of planning as enumerated

in <u>N.J.S.A.</u> 40:55D-2 have been advanced. The Applicants have therefore satisfied the positive criteria.

The Board also finds that the negative criteria has been satisfied. The proposed improvements requiring variance relief will not cause a detriment to the community in any discernible way. In fact, the Board finds that proposed addition will still be consistent and fit in seamlessly with the prevailing neighborhood residential scheme. The proposal is consistent with the Borough's overall goals and objectives of providing new, safe and visually attractive homes and will advance the general welfare by providing increased privacy and sound attenuation for both the Applicants and the neighbors alike. Granting of the variances sought by the Applicants will also not result in any substantial detriment to the public welfare or impair the purpose or intent of the Zone Plan or Zoning Ordinance. The Board therefore concludes that the negative criteria has therefore been satisfied pursuant to N.J.S.A. 40:55D-70c(2).

The Board concludes that the positive criteria substantially outweighs the negative criteria and that bulk variance relief may be granted pursuant to N.J.S.A. 40:55D-70c(2).

NOW, THEREFORE, BE IT RESOLVED by the Borough of Highlands Land Use Board on this 12th day of September 2024, that the action of the Board taken on August 8, 2024, granting application no. LUB 2024-04 of John and Shari Nastasi for bulk variance relief pursuant to N.J.S.A. 40:55D-70c(1) and "c(2)" and height variance relief pursuant to N.J.S.A. 40:55D-70d(6) is hereby memorialized as follows:

The application is granted subject to the following conditions:

 All site improvement shall take place in strict compliance with the testimony and with the plans and drawings which have been submitted to the Board with this application, or to be revised.

- Except where specifically modified by the terms of this Resolution, the Applicants shall comply with all recommendations contained in the Reports of the Board's Professionals.
- 3. The Applicants shall apply for all necessary Zoning Permit(s).
- 4. The attic shall not be used as living space.
- 5. The Applicants shall provide a certificate that taxes are paid to date of approval.
- 6. Payment of all fees, costs, escrows due or to become due. Any monies are to be paid within twenty (20) days of said request by the Board Secretary.
- Subject to all other applicable rules, regulations, ordinances and statutes of the Borough of Highlands, County of Monmouth, State of New Jersey, or any other jurisdiction.

BE IT FURTHER RESOLVED that the Board secretary is hereby authorized and directed to cause a notice of this decision to be published in the official newspaper at the Applicants' expense and to send a certified copy of this Resolution to the Applicants and to the Borough Clerk, Engineer, Attorney and Tax Assessor, and shall make same available to all other interested parties.

Robert Knox, Chairman

Borough of Highlands Land Use Board

ON MOTION OF: Mayor Broullon SECONDED BY: Mr. Montecalvo

ROLL CALL:

YES: Mayor Broullon, Chief Burton, Mr. Kutosh, Mr. Montecalvo, Mr. Zill, Mr. Cramer, Chair Knox

NO: None

ABSTAINED: None

INELIGIBLE: Ms. LaRussa, Vice Chair Tierney
ABSENT: Councilmember Olszewski, Ms. Vickery

DATED: September 12, 2024

I hereby certify this to be a true and accurate copy of the Resolution adopted by the Borough of Highlands Land Use Board, Monmouth County, New Jersey, at a public meeting held on September 12, 2024.

Nancy Tran, Secretary

Borough of Highlands Land Use Board

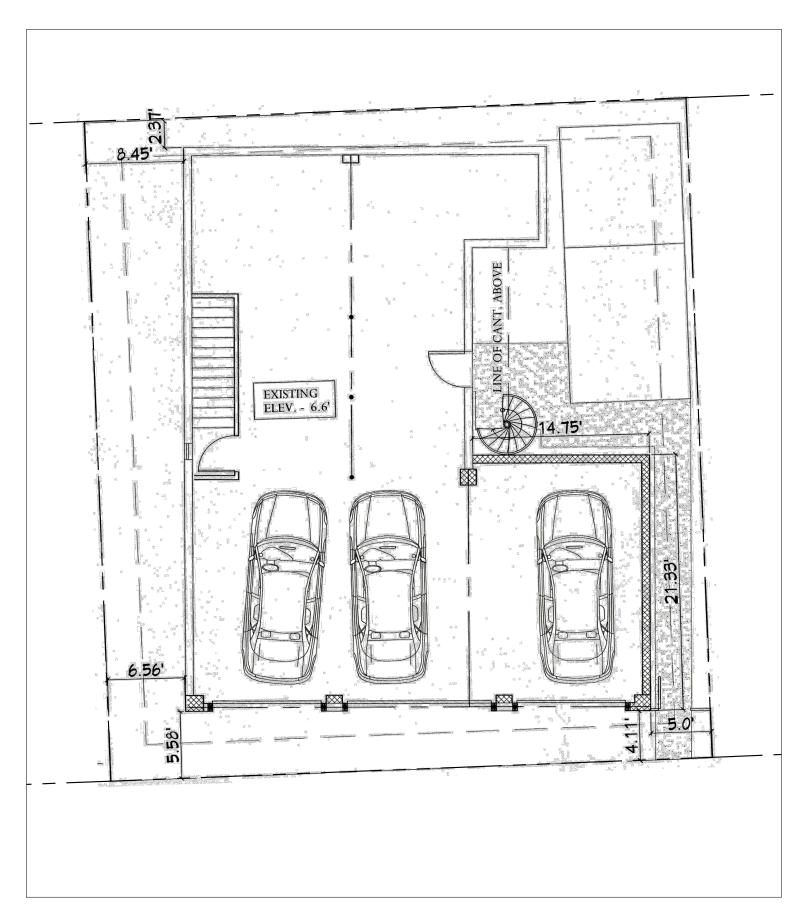
	Schedule I	- Bulk and Area					
	Requirement	R-2.03 Residential Zone	Bungalow Colonies Required	Existing Lot 26.19 Bungalow Colonies	Proposed Lot 26.19 Bungalow Colonies	Updated Proposed Design Lot 26.19 Bungalow Colonies	
1.	Min. Lot Area (sf)	5,000	5,000	2,758.25**	2,758.25*	2,758.25*	NO CHANGE
2.	Lot Frontage/Width (ft)	50	50	50.15	50.15	50.15	NO CHANGE
3.	Min. Lot Depth (ft)	100	100	55.0**	55.00*	55.00*	NO CHANGE
4.	Min. Front Yard Setback (ft)	20	3	5.1	4.11	3.11	CONFORMING
5.	Min. Side Yard Setback (ft)	6/8	3	6.56/11.7	5.46/4.1±	6.56/7.1±	CONFORMING
6.	Min. Rear Yard Setback (ft)	20	3	2.37**	2.37*	2.37*	NO CHANGE
7.	Max. Building Height (ft) ***	30	20	16.0	29.1*	29.1*	NO CHANGE
8.	Max Lot Coverage****	75%	75%	53.4±	69.8±	64.8±	CONFORMING
9.	Max Building Coverage****	30%	35%	43.3±	59.3±	53.2±	CONFORMING
10.	On-Site Parking (spaces)	2	1	3	3	3	NO CHANGE

- Proposed Variance
- Existing non-conformity
- *** Where a dwelling is constructed or reconstructed to provide the required parking under the
- structure, the maximum height shall be increased by two and one-half (2 ½) feet.

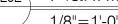
 §21-86 A.4.b(c) Total building coverage shall not exceed thirty-five (35%) percent of the total
- lot area and total lot coverage shall not exceed seventy-five (75%) percent except for those situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28.

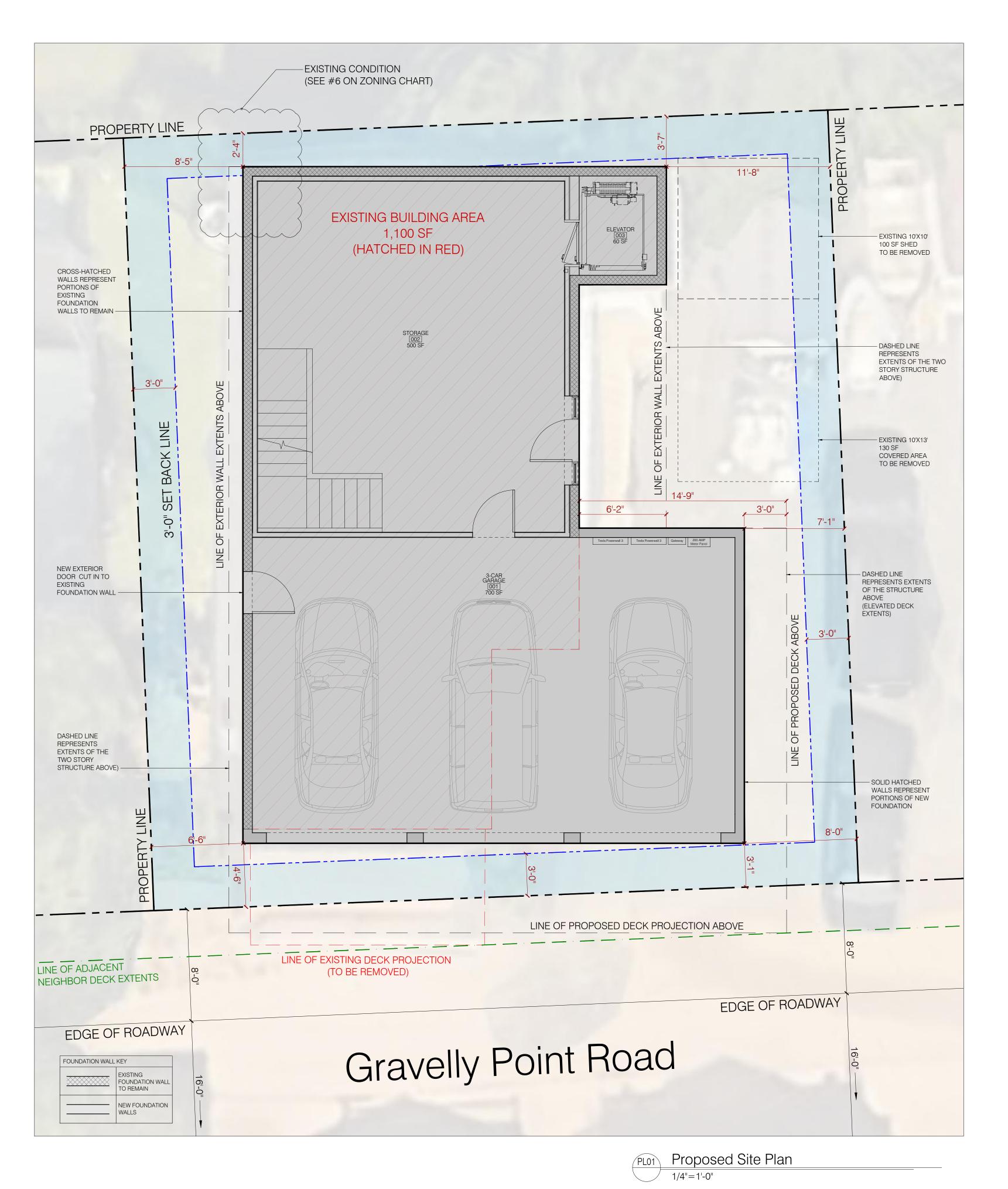
SECOND FLOOR BALCONY CODE

- (a) Every unit shall have associated with it a minimum yard requirement around the perimeter of the unit and attached accessory structures of three (3) feet, except for those decks attached to the front of the dwellings situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28, which may extend to locations equivalent to those which existed prior to elevation or reconstruction as determined by prior property surveys conducted by a licensed surveyor. For those properties situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28 that do not have prior property surveys available, any new decks attached to the front of the dwelling can extend to a location which is the equivalent of the location of the front decks located on adjacent properties situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28. Structures shall be located no closer together than the sum of the yard requirements, that is, six (6) feet. Detached accessory structures are prohibited in the minimum required yard area.
- ** This code defines the scope for projection or (Extension) and not width/length. The proposed deck extends short of the existing deck marked on the licensed survey; however the width/length is greater by ±21'-6" and connnects continuously to the elevated deck off of the main living area (Not constrained or defined in the code).



PL02 Planning Board Approved Site Plan





19 Gravelly PR
19 Gravelly Point Road,

Highlands, NJ 07732

Corrected Building Height

2 Zoning/ Floodplain Review

1 Zoning Board

no. to whom issued

02-13-2025

01-23-2025

01-03-2025

10-12-2022

Block: 100 Lot: 26.19

> n a s t a s architects

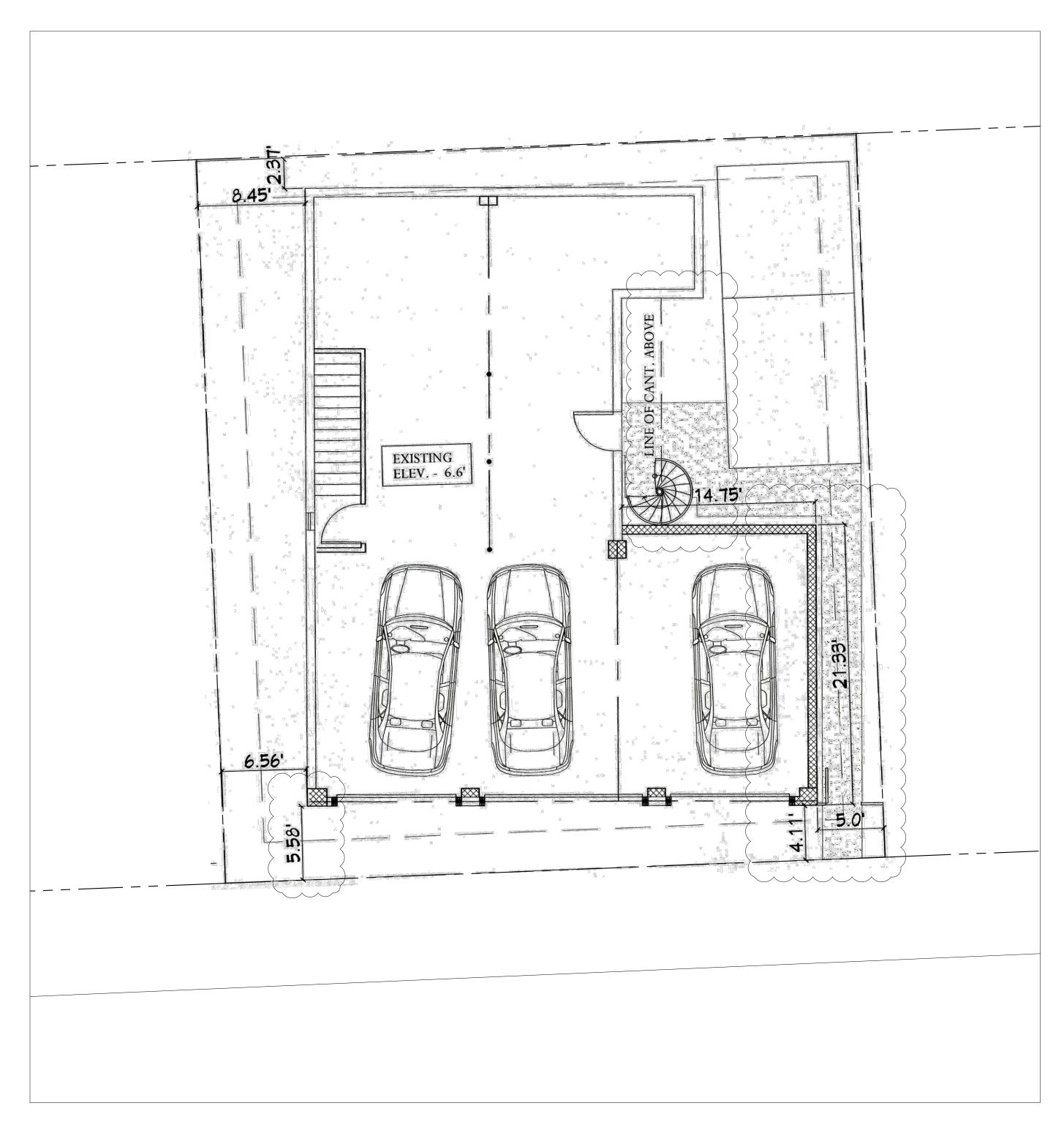


321 newark street hoboken, nj 0703 t: 201-653-2577 f: 201-652-2577 www.nastasiarchitects.com **NJ license: Al11550**

Proposed Site Plan
Zoning Information
Bulk Regulations
Approved PB Site Plan

date:	10-12-2022
scale:	as shown
drawn by:	NF
checked by:	
phase:	BD

G102.1

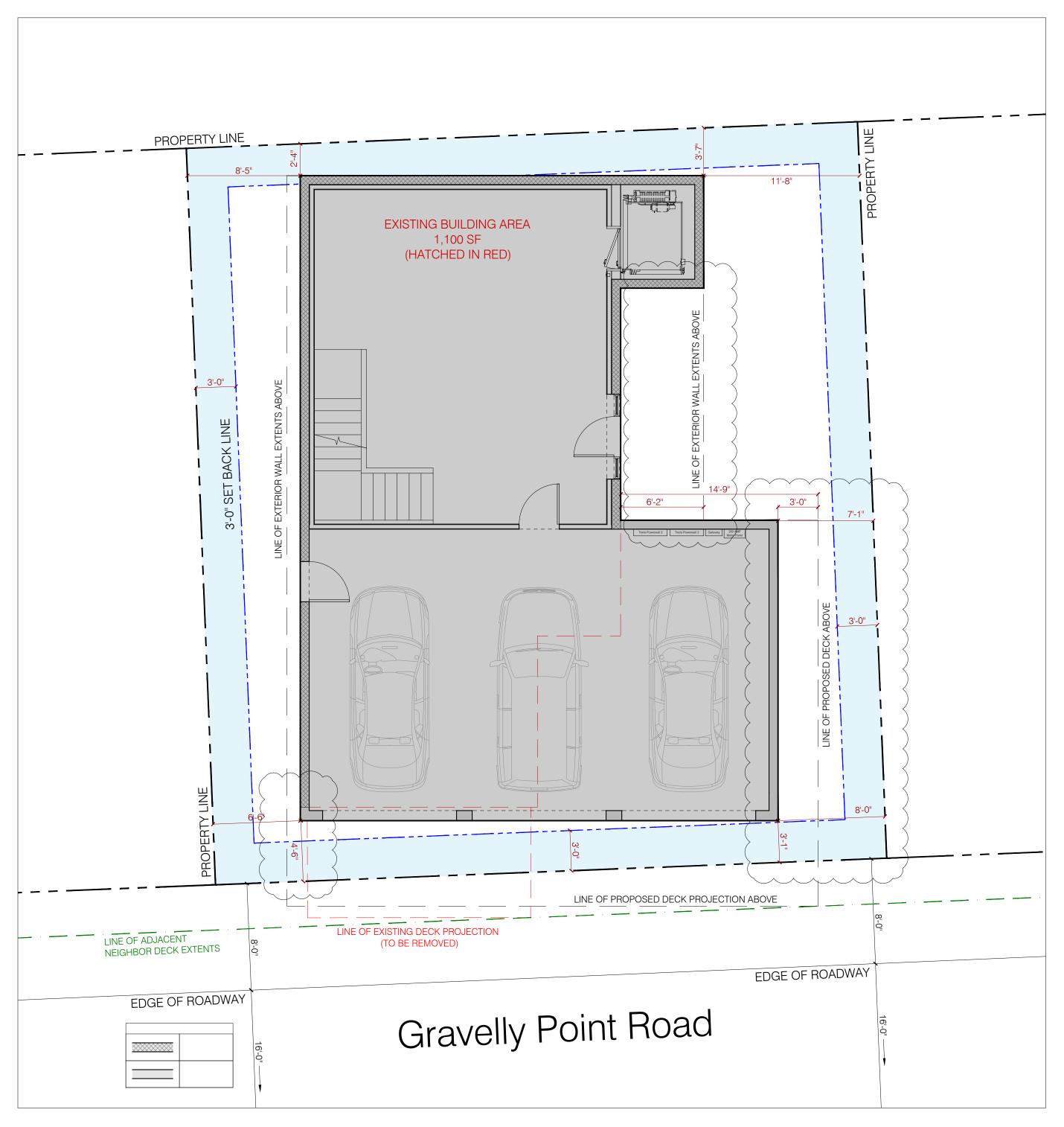




PL01 Planning Board Approved Site Plan
3/16"=1'-0"

AS APPROVED

** This is the original site plan approved by the Planning Board. This shows all existing and proposed setbacks are conforming, less the rear yard setback at the western corner of the property which is an existing non conforming condition to remain **



2

PL02 Proposed Site Plan (Ground Floor)

3/16"=1'-0

MODIFIED

** This is modified/ proposed site plan with minor design revisions. The proposed changes are bubbled on both the original and modified site plan for reference **

4 Zoning Board/ BD 02-13-2025
3 Building Department 01-23-2025
2 Zoning/ Floodplain Review 01-03-2025
1 Zoning Board 10-12-2022
no. to whom issued date

ISSUE

no. description

Corrected Building Height

19 Gravelly PR

19 Gravelly Point Road, Highlands, NJ 07732

Block: 100 Lot: 26.19

n a s t a s i



321 newark street hoboken, nj 07030 t: 201-653-2577 f: 201-652-2577 www.nastasiarchitects.com **NJ license: Al11550**

Proposed Site Plans: Aerial Site Plan Ground Floor Site Plan Approved PB Site Plan

 date:
 10-12-2022

 scale:
 as shown

 drawn by:
 NF

 checked by:

 phase:
 BD

G102.2



April 1, 2025

I670 Whitehorse-Hamilton Square Rd. Hamilton, New Jersey 08690 609-586-II41 fax 609-586-II43 www.RobertsEngineeringGroup.com

Nancy Tran
Land Use Board Secretary
Borough of Highlands Land Use Board
151 Navesink Avenue
Highlands, New Jersey 07732

Re: Variance Application

Applicant: Nastasi 19 Gravelly Point Road Block 100, Lot 26.19

Borough of Highlands, Monmouth County, New Jersey

Our File No.: HLPB25-03

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations.

The Applicant is seeking approval to construct an elevated deck which was not shown on plans recently approved by the Land Use Board.

The Applicant received approval per Resolution 2024-17 (memorialized September 12, 2024) to construct a 3-story dwelling on an existing elevated 2-story frame dwelling. The Resolution granted bulk variance relief and height variance relief for a single-family dwelling.

Please refer to Completeness Review No. 1 letter dated July 11, 2024 (attached).

The Applicant received a Denial of Zoning Permit notification, dated March 10, 2025, upon seeking a new single family dwelling building permit and was deemed noncompliant per the Municipal Zoning Officer and advised to submit to the Land Use Board for approval.

We have reviewed the following documents submitted in support of the above referenced application for completeness purposes:

- 1. Copy of the Land Use Board Application for Variance, dated March 5, 2025.
- Copy of a Denial of Zoning Permit issued on March 10, 2025, by Courtney Lopez, Zoning Officer for the Borough of Highlands.
- Copy of the Borough of Highlands, County of Monmouth, Land Use Land Use Board Resolution 2024-17
 Memorialization of Height Variance and Bulk Variance Relief. Approved: August 8, 2024, and
 Memorialized: September 12, 2023
- Copy of plans entitled, "19 Gravelly PR, 19 Gravelly Point Road Highlands, NJ, Block: 100 Lot: 26.19", prepared by John Nastasi, Architect, signed and dated October 12, 2022, and having a revision date of February 13, 2025, consisting of 2 sheets
- Copy of plans entitled, "Proposed Renovations & Addition, 19 Gravely Point Road, Unit 19, Highlands, NJ, Lot: 26.19 Block: 100", prepared by Catherine Franco, Architect, unsigned and dated January 18, 2024, and having a revision date of October 12, 2022, consisting of 3 sheets (survey & site plan, floor plans and elevations.

Completeness Review No. 1 Applicant: Nastasi 19 Gravelly Point Road Block 100, Lot 26.19

Borough of Highlands, Monmouth County, New Jersey

Our File No.: HLPB24-04

Page 2 of 3

We offer the following comments and recommendations for the Land Use Board's consideration:

VARIANCES

§21-86.A.4.b(2)(a) for placement of a deck along the frontage of a building.in the Bungalow Colonies area.

The Applicant requires one (1) variance for this modification to the approved plan.

II. COMPLETENNESS

Adequate information has been provided to perform a technical review and therefore the application is deemed COMPLETE.

III. GENERAL COMMENTS

The proposed elevated deck extends the entire front of the existing dwelling and the proposed addition, 3 ft towards the side yard and continues 3 ft along the addition (garage with first floor deck) towards the rear yard. Additionally, the proposed deck extends past the front yard setback and into Gravelly Point Road right-of-way. The deck was not shown on plans that were approved by Resolution.

The application presents the following items that deviate from the approved plans for a variance:

- 1. Modified building footprint.
- 2. Dwelling closer to right-of-way.
- 3. Construction of new deck.
- 4. Removal of existing shed and covered area.

Our comments are as follows:

- 1. A copy of the approved site plan is shown with the proposed site plan with this submission. The maximum building coverage has decreased by 6.1% in comparison to the approved plan
 - The proposed addition has been shortened by 3 feet along the front of the dwelling nearest to the right-side yard.
 - b. A foundation wall has been added to the front of the existing dwelling.
 - c. The cantilevered second floor has been extended.
- 2. The proposed plans indicate a new foundation wall along the front of the existing dwelling which was not delineated on the approved plans. The dwelling is now approximately 1 ft closer to the right-of-way.

However, the closest building offset is outside the 3 ft front yard setback at 3'-1" and no variance is required.

3. According to §21-86.A.4.b(2)(a) under the Bungalow Colonies standards, every unit shall have associated with it a minimum yard requirement around the perimeter of the unit and attached accessory structures of three (3) feet, except for those decks attached to the front of the dwellings situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28, which may extend to locations equivalent to those which existed prior to elevation or reconstruction as determined by prior property surveys conducted by a licensed surveyor. For those properties situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28 that do not have prior property surveys available, any new decks attached to the front of the dwelling can extend to a location which is the equivalent of the location of the front decks located on adjacent properties situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28. Structures shall be located no closer together than the sum of the yard requirements, that is, six (6) feet. Detached accessory structures are prohibited in the minimum required yard area.

Completeness Review No. 1 Applicant: Nastasi 19 Gravelly Point Road Block 100, Lot 26.19

Borough of Highlands, Monmouth County, New Jersey

Our File No.: HLPB24-04

Page 3 of 3

Two options are noted in the code and are underlined for this discussion.

The first option has a proposed deck replacing an existing deck of the same size as determined by a prior survey.

The Applicant has a prior survey which indicates an existing elevated deck of approximately 9 ft x 17 ft. situated along the front of the existing dwelling. The proposed elevated deck is approximately 39.5ft. The Applicant has indicated that the proposed deck is 21.5± feet longer than the existing deck.

The second option has a proposed deck aligning with a neighboring deck if a survey is not available.

The Applicant is placing the proposed elevated deck based upon the second option and has indicated a "line of adjacent neighbor deck extents" and an outline of the existing deck on the

The proposed deck aligns with the neighboring deck according to the plan

The proposed deck extends into the right-of-way based upon the neighboring deck alignment

The Applicant is required to provide a full view of the neighboring decks. There appears to be no dwelling with decking on the lot to the right.

Please provide internal building and deck dimensions. Please provide deck offsets to the rightof-way.

The Ordinance would indicate the second option is not applicable since the existing survey indicates an existing elevated deck and the proposed deck would be restricted to the existing size under option one.

Therefore, the Applicant requires a variance for option two.

Please provide the proposed front and side offsets of the proposed deck to the property lines and rightof-way on the plan.

- The existing shed and covered area are now proposed to be removed.
- The Applicant will be required to provide testimony.

We will continue our review upon submission of revised plans.

Should you have any questions, please do not hesitate to contact me.

Very truly yours,

Carmela Roberts, P.E., C.M.E., C.P.W.M Land Use Board Engineer

mt Roberte



Nastasi Residence Renovation & Addition

19 GRAVELLY POINT ROAD HIGHLANDS, NEW JERSEY 07732 REVISION

no. description date

Corrected Building Height 01-31-2025

Block & Lot Number 03-31-2025

Completeness Review 04-02-2025

Block & Lot Number 03-31-2025

1 Zoning Floodplain Review 01-03-2025

1 Zoning Board 10-12-2022

no. to whom issued date

19 Gravelly PR

19 Gravelly Point Road, Highlands, NJ 07732

Block: 100 Lot: 26 C00011



ñăstasi

321 newark street hoboken, nj 070 t: 201-653-2577 f: 201-652-2577 www.nastasiarchitects.com

Title sheet

date: April 2, 2025
scale: as shown
drawn by: VP
checked by: AG
phase: BD

T000.0

19 Gravelly Point Road, Highlands, NJ 07732

Code Compliance

THIS PROJECT IS DESIGNED USING THE FOLLOWING CODES: 2021 International Residential Code New Jersey Edition 2020 National Electrical Code (NFPA 70) 2021 National Standard Plumbing Code (NJAC) 2021 International Energy Conservation Code (IECC) and ANSI/ASHRAE/IES Standard 90.1-20192021 2021 International Mechanical Code (IMC)

Project Scope

2021 International Fire Code (IFC)

2021 International Fuel Gas Code (IFGC)

The proposed project is a substantial renovation and expansions of a single-family

The existing home is to be demolished down to the top of the existing foundation

The foundations East corner will be extended, roughly squaring off the houses footprint.

The new house will consist of: Ground Floor

> (3) Car garage, storage space, main entry door, stair to main dwelling floors, and elevator access to first floor. First Floor

Kitchen/ pantry, dining Area, living room, home office, (1) full bathroom, elevator access to ground floor, elevated deck. Deck extends past the property line but no further than the existing

deck marked on the survey. (2) En-Suite Bedrooms w/ attached bathrooms and walk-in closets,

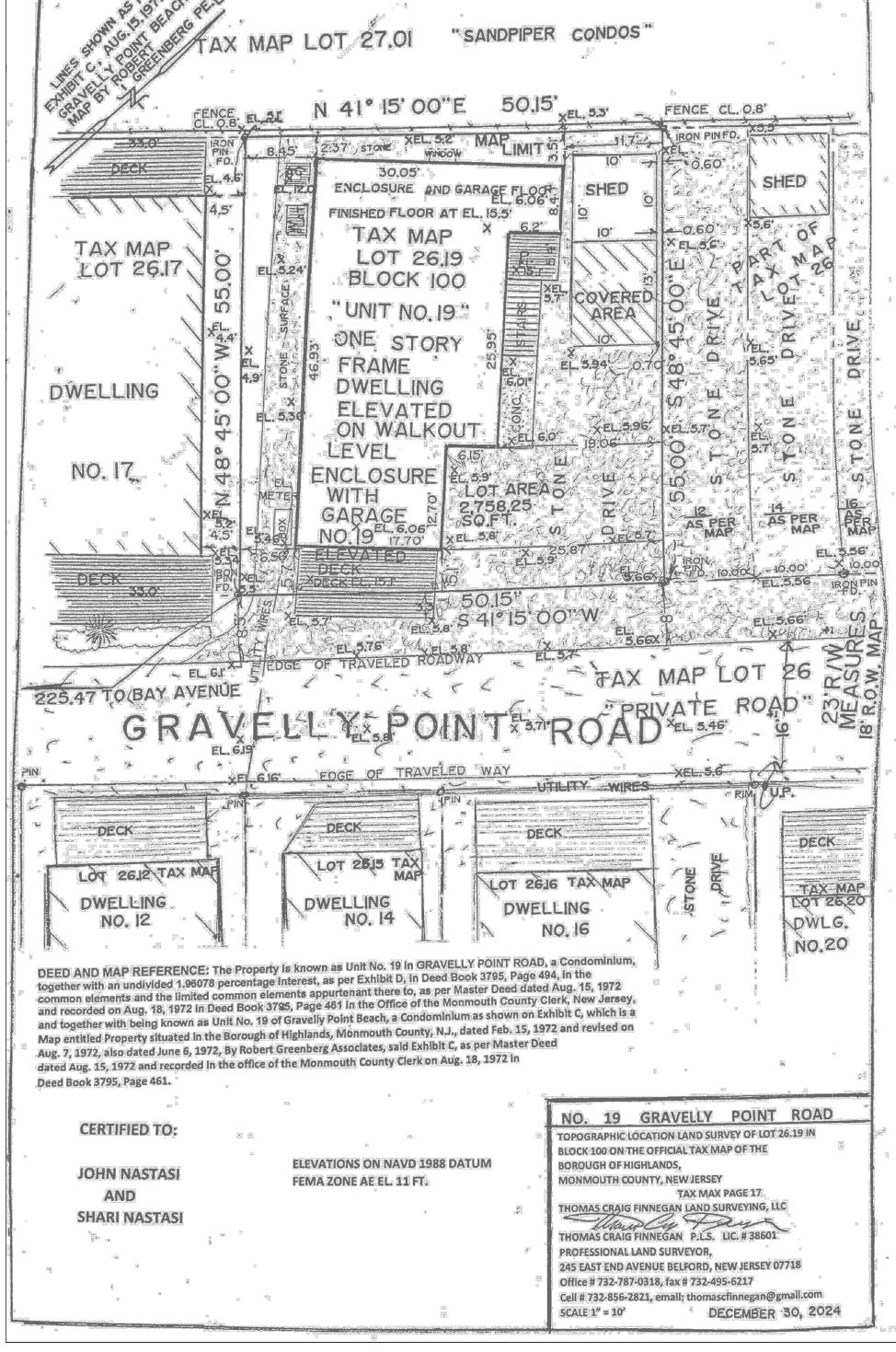
laundry room, master Suite (incld. master bedroom, bathroom, his/hers closets, sitting room, and private covered balcony).

Attic space for extra storage and mechanical equipment. Access hatch will be provided on second floor to enter attic space. Attic in non ventilated and conditioned within the building envalope

Drawing List

	1119 2101
T000.0	Title Sheet
G100.0	Project Data, Project Scope, Code Compliance, Drawing List, Site Map, Zoning Map, Area Map, Site Aerial, Existing Street View
G101.0	General Construction Specifications
G102.0	Zoning Information, Zoning Bulk Regulations, Proposed Site Plan
G103,0	Proposed Flood Proofing Plan, Flood Vent Details
A110.0	Proposed Ground Floor Plan, Proposed First Floor Plan
A111.0	Proposed Second Floor Plan, Proposed Roof Plan
A200,0	Proposed Elevations
A201.0	Proposed Elevations
A300.0	Typical Wall Section and Assembly Intersection Details
A301.0	South-East Wall Section, North-East Wall Section, South-West Wall Section, North-West Wall Section
A400.0	General Partition Notes, Typ Wall Assemblies, Horizontal Assemblies
A600,0	Window/ Door Schedule, Window, Door Elevations
S110.0	First Floor Framing Plan, Second Floor Framing Plan
S111.0	Attic Floor Framing Plan, Roof Framing Plan
E110.0	Electrical Specifications, Electric Symbol Legend, Electrical Service Diagram, Ground Floor Electric and Power Plan
E111.0	First Floor Electric and Power Plan, Second Floor Electric and Power Plan
P100.0	Plumbing Specifications, Gas Riser Diagram, Sanitary Rise Diagram, Plumbing Riser Diagram

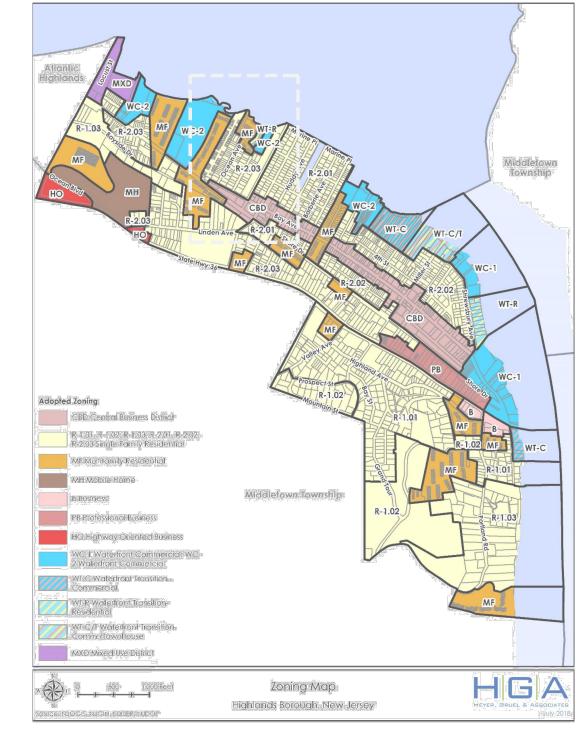
Site Map



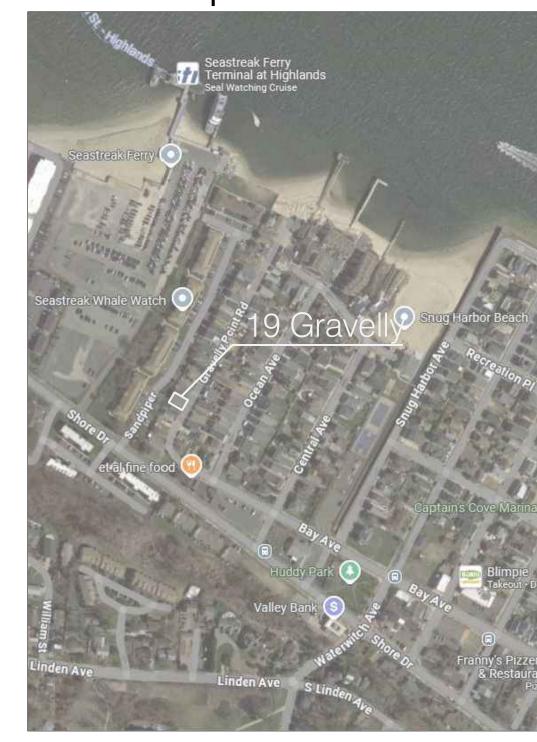
Project Data

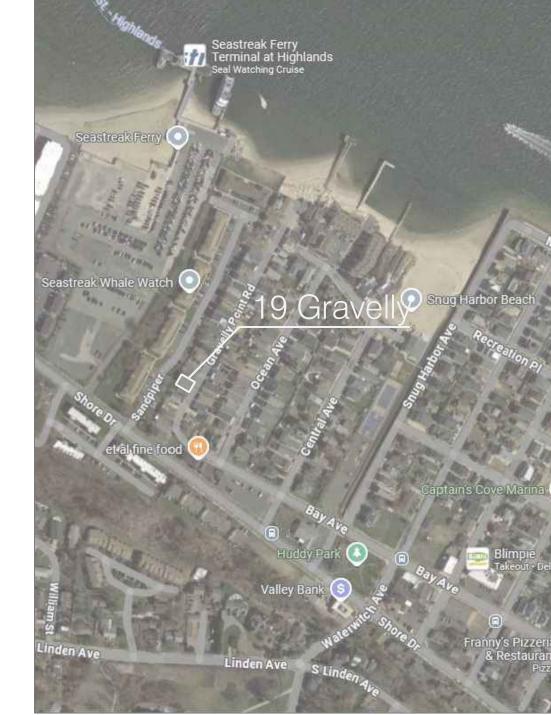
OF STORIES BLOCK NUMBER = 100 = 26 C00011 HEIGHT OF STRUCTURE = 38'-11" LOT NUMBER or 29'-0" Above DFE (as per ZB Approval) AREA - LARGEST FLOOR = 1,570 SQ.FT. ZONING DISTRICT = R203 **USE GROUP** = R-5**NEW BUILDING AREA** $= 4,420 \, \text{SQ.FT.}$ VOLUME OF STRUCTURE = 49,410 CU.FT. CONST. CLASS

Zoning Map



Area Map





Site Aerial



Existing Street View



Corrected Building Height

01-31-2025

03-31-2025 04-02-2025

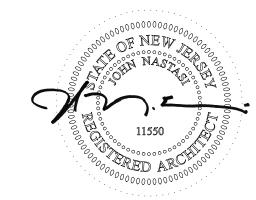
3 Building Department 01-23-2025 2 Zoning/ Floodplain Review 1 Zoning Board 10-12-2022 no. to whom issued

19 Gravelly PR

19 Gravelly Point Road, Highlands, NJ 07732

Block: 100 Lot: 26 C00011

> nastas architects



321 newark street hoboken, nj 07030 t: 201-653-2577 f: 201-652-2577

Project Data, Scope, Code Compl., Drawing List, Site Map, Zoning Map, Area Map, Site Aerial, **Existing Street View**

3 - 1 - 1	
date:	April 2, 202
scale:	as show
drawn by:	VF
checked by:	AC
phase:	ВГ

G100.2

GENERAL CONSTRUCTION SPECIFICATIONS

DIVISION 1: GENERAL REQUIREMENTS

01060: REGULATORY REQUIREMENTS

1. Work shall comply with the "International Building Code/2021, NJ Edition" and other regulations, ordinances, utility companies and all governmental agencies having jurisdiction, most recent

2. All electrical work to be in accordance with and conform to "The National Electrical Code/2020," including all subsequent revisions and amendments thereto.

3. All mechanical work to be in accordance with and conform to the "International Mechanical Code/2021," including all subsequent revisions and amendments thereto. 4. All construction work to be in accordance with and conform to the "International Fuel Gas

Code/2021," including all subsequent revisions and amendments thereto. 5. All plumbing work to be in accordance with and conform to "The National Standard Plumbing Code/2021, NJ Edition," including all subsequent revisions and amendments thereto. 6. All Fire protection work to be in accordance with and conform to portions of building, electrical and mechanical subcodes to the extent delineated in "International Fire Code, 2021" and other regulations stipulated by agencies having jurisdiction in the State of New Jersey, most recent

7. All Energy subcode work to be in accordance with and conform to "International Energy Conservation Code/2021, NJ Edition", most recent edition, including all subsequent revisions and

8. Wherever drawings state to be "Certified", test reports conducted by an approved testing agency shall be provided to the Architect at the expense of the Contractor. 9. Design loads are as follows:

Dead Load = 20 PSF + structure Live Load = 40 PSF

10. Contractor shall conform to all National, State, and Local codes, even in the event of conflicting requirements in the Specifications and Plans at no additional cost to the Owner 11. Contractor is responsible for obtaining all necessary permits, approvals, and Certificates of Occupancy.

01100: SPECIAL PROJECT PROCEDURES

1. Work shall comply with the "International Residential Code/2021, NJ Edition" and other, regulations, ordinances, utility companies and all governmental agencies having jurisdiction, most

2. No Contractor nor Subcontractor shall commence work under this Contract until he/she has provided proof of insurance of such character and in such amounts as will provide adequate protection for the Owner, the Architect, the members thereof, and their successors, all agents, officers and servants of the Owner, and the Contractor and Subcontractor against all claims, liabilities, damages and accidents. Such insurance shall remain in force throughout the life of this

3. Each Contractor must maintain all liability insurance and Workmen's Compensation as required by law, and insure tools, materials and equipment.

4. The Owner will obtain the necessary homeowner's insurance to cover work incorporated into the 5. Each Contractor by making his/her bid represents that he/she has read and understands the

Contract Documents and his/her bid is made in accordance therewith; and that he/she visited the site and has familiarized himself/herself with the local conditions under which the work is to be performed; and that his/her bid is based upon the materials, systems, and equipment described in the contract documents without exceptions.

01400: QUALITY REQUIREMENTS

CONSTRUCTION INDOOR AIR QUALITY

A high level of indoor air quality should be maintained throughout construction. Absorptive materials (including but not limited to masonry units, lumber, finished architectural woodwork, flush wood doors, gypsum board, and insulation) should be stored so as to avoid contact with water. All HVAC system equipment should be covered and/or sealed to avoid contamination and exposure to water during construction. If HVAC equipment is in operation during construction, filtration media should be changed prior to occupancy. If possible HVAC equipment should be operated with a 100% outside for a two week period after substantial construction is completed and before occupancy to flush out dust and VOCs, after this flush out filtration media should be changed.

1. All labor and materials to carry out fully the intentions of the Plans and Specifications are part of the Contract, whether or not specifically documented. Contractor shall provide and install each item mentioned, indicated or implied to achieve the intended building according to the methods of best construction practice. In no event is any article, operation, method or material to fall below the standard set by the FHA Minimum Property Standard for One and Two Living Units, latest edition. 2. The Contractor shall herewith agree to furnish only labor, materials and workmanship which are first class. Should any trouble occur to the installation due to defective workmanship or materials within one year from the date of acceptance, the Contractor shall repair same without cost to the Owner. This guarantee shall apply to general construction and trades. This shall in no way void or limit any extended warranty for service, equipment, etc.

3. All work performed as a part of this Contract is to be guaranteed by the Contractor and/or Subcontractor and to be free from defects on material and workmanship for a period of one (1) year from the date of substantial completion of the work: the Contractor and/or Subcontractor agrees to return to the job and make repairs and/or replacement to such defects at no cost to the Owner. 4. The Contractor is to guarantee the water tightness of the structure for two (2) years after the completion of the contract.

5. All materials are to be installed in strict accordance with the manufacturer's recommendations and are to be new and free of defects. 6. Wherever the quality of the material or work called for in the drawings does not agree with that

called for in the specifications, the better of the two materials or work shall be installed or 7. No deviations from the Contract Documents and Specifications shall be made except through

established Change Order Forms to be transmitted to and signed by the Architect and the Owner. 8. The Contractor is to submit samples or catalog cuts of all visible materials and equipment for the Architect's and Designer's approval prior to installation. The work shall be in accordance with the approved samples. 9. The Architect shall be the final judge of the quality of the workmanship and reserves the right to

reject any work he/she considers unacceptable. 10. Details and dimensions, shown in any section, apply to all similar sections unless otherwise

11. These drawings were prepared with the intent that the Work shall be performed by a qualified General Contractor.

12. All Work shall be in conformance with all codes and regulations of any Federal, State, County or Municipal agency having jurisdiction over such work. 13. All Work is to be performed by qualified mechanics and technicians and shall be of the highest

levels of craftsmanship. 14. The Contractor is responsible for laying out the Work and that of the Subcontractors; verifying all measurements, dimensions and sizes; checking all elevations and coordinating all floor elevations and details. In the event of a discrepancy, the Contractor shall consult with the Architect before

15. The Contractor is responsible for the scheduling and coordination of all work that is to be completed under this contract. Coordination includes but is not limited to the scheduling of all necessary Subcontractors, public utilities, inspections, materials suppliers, etc. 16. Any discrepancies between the drawings and site conditions, and any incongruities present within these drawings are to be brought to the attention of the Architect as soon as they are noticed and prior to continuation of the work.

ordering any material or performing any work.

17. During the course of the Work, conditions may be found that require Architectural or Engineering intervention. It is the responsibility of the Contractor to bring such conditions to the attention of the Architect and the Owner immediately following discovery and prior to commencement or continuation of Work.

18. The Contractor must protect all existing work, utilities, or any other existing property and shall repair any damages to the building or site resulting from his work.

19. Job Site Clean-up: A. The Contractor is responsible for the complete removal and disposal of all debris and discarded material. Transport materials removed from construction and legally dispose of off site. The interior and exterior of the site shall be swept clean at the end of each working day. There shall be no visual obstruction to the site or adjacent properties. The condition of the site shall be maintained in an orderly manner. Leave site in a broom clean condition at the end of each work day. Do not close or obstruct streets, walks, or other occupied or used facilities. Secure all necessary permits.

B. At completion of the job, the Contractor shall leave the site and the house free of all waste materials except those designated by the Owner. The building should be clean and ready to be occupied.

20. Security: The building, site and property shall be securely enclosed and locked - by the last Contractor to leave the jobsite - at the end of each work day. 21. Alcohol is not to be stored or consumed on the site, and work is not to be performed by

persons under the influence of alcohol 22. Do not scale Construction Documents. Use written dimensions only.

01425: EXAMINATION OF PREMISES

1. Prior to submitting a proposal, each bidder will be held to have examined the premises and satisfied him/herself as to the existing conditions under which he/she will be obliged to

2. If, in the Contractor's opinion, any work shown on the drawings or called for in the specifications is portrayed in such a manner as to preclude first quality work and/or product, the Contractor shall refer same to the Architect prior to proceeding.

3. Contractors to verify all dimensions and report any discrepancies to the Architect.

01500: PROTECTION OF PREMISES

1. Contractor shall devise methods and procedures to ensure safe, orderly execution of the work, and to allow safe passage of Owner's personnel, and general public to occupied portions of the building.

2. Contractor shall protect from damage all portions of the existing site to remain. 3. Protect all floors with suitable coverings as required. 4. Remove all protection at completion of work or as quickly as possible. 5. All damage to adjacent facilities to be repaired promptly, at no cost to the owner.

6. Maintain existing utilities to adjacent areas and protect against damage during

construction.

on the drawings.

DIVISION 5: METALS Refer to Structural Drawings for additional Specifications

Structural steel should be procured from local sources, within 500 miles of the project site.

STRUCTURAL STEEL AND MISC. IRON:

1. The Structural Steel Contractor shall submit complete shop drawings to the Architect for review by the Structural Engineer prior to fabrication and installation. 2. The Structural Steel Contractor shall verify the foundation construction for anchor bolt location, elevation of top of concrete and bearing plates, alignment, etc., prior to start of erecting. 3. All structural steel framing shall conform with the latest standard of AISC in connection with the manufacture, detailing, fabrication, delivery and erection of all structural steel shapes. Said framing

assembly and erection shall also comply with the requirements for welded or bolted connections for buildings, as outlined by AISC. 4. Structural steel shall conform with the structural specifications, unless shown otherwise on plan. 5. All tubular columns shall conform with the structural specifications.

6. All structural steel shop work to be welded or bolted with 3/4" high strength bolts. Connections to be made as per structural specifications. 7. All field connections to be made as per structural specifications, unless noted otherwise.

8. All anchor bolts, straps, framing anchors and hangers to be galvanized or stainless steel. 9. All columns shall be furnished with cap plates and base plates of sizes called for and shall be shop welded. Base plates shall bear on leveling nuts set 1-1/2" approved non-shrink grout, and anchored with four 3/4" diameter x 18" bolts plus 4" hook. Shim under base plates as required. 10. General Contractor shall grout under all column base plates with an "approved" non-shrink grout after columns are set and plumbed and prior to installation of supported decking. 11. Where beams cantilever over columns, provide two 1/4" stiffeners on each side of beams. 12. True shear connections shall be provided at all points of cantilever suspension.

13. Beams bearing on walls shall be provided with bearing plates and anchored with bolts as approved by Engineer. 14. Punch holes in steel members at 2'-0" for fastening, blocking, etc., refer to all architectural

15. Provide temporary bracing as required to resist wind, construction loads, etc., during construction. 16. The Steel Contractor shall be responsible for exact location, elevation and alignment of all hung

lintels, as indicated on drawings and shall provide all necessary adjustable connections proposed by and submitted to and approved by the Architect. 17. All structural steel shall have two (2) coats shop primer (red lead iron oxide) or similar,

conforming to SSPC paint 2-64; retouch after erection. 18. Interior columns will be nominal 4" diameter steel pipe, schedule 40, concrete filled unless otherwise specified. All lally columns shall be provided with both top plate and bottom plate with a minimum thickness of 1/4" or otherwise specified and securely fastened or welded to column. 19. STEEL REINFORCING BARS: shall be as indicated in DIVISION 3: CONCRETE and as shown

NOTE: All exterior finish metals (i.e.: flashing, coping, louver frames) that are non-structural to the integrity of the building frame to be copper, terne-coated zinc or powder-coated aluminum, color t.b.d.; verify with Architect.

DIVISION 6: WOODS AND PLASTICS

Also Refer to Structural Drawings for additional Specifications

1. All lumber, and engineered wood products (including framing, flooring, finishes, furnishings, and non-rented temporary construction applications such as bracing, concrete formwork and pedestrian barriers), shall be FSC certified to ensure that the wood was harvested in a sustainable manner. Chain of custody certificates should be provided as proof of FSC certification.

2. Composite and prefabricated wood products should contain no added urea-formaldehyde. 3. Agrifiber products should be used in place of composite wood products wherever

possible. These products should also contain no added urea-formaldehyde. 4. Whenever possible, wood products should be procured from local sources, within 500 miles of the project site.

5. General Contractor to submit to the Architect all FSC certification forms for review and

1. All wood framing shall conform with the latest standard of AITC in connection with the manufacture, fabrication, delivery and erection of all wood members. 2. Wood framing where called for on drawings shall comply with National Design Specifications for stress grade lumber and its fastenings and shall be as follows: Base Values for Douglas Fir-Larch

(Surfaced Dry at 19% maximum M.C.) - No. 2. Extreme Fiber Stress in Bending "Fb" (Single member use) = 875 PSI Tension Parallel to Grain "Ft" = 575 PSI Compression Parallel to Grain "Fc" = 1300 PSI Horizontal Shear "Fv" = 95 PSI Modulus of Elasticity "E" = 1,600,000 PSI

ALL EXTERIOR GRADE LUMBER TO BE TREATED "ARSENIC FREE". CCA-TREATED LUMBER IS UNACCEPTABLE. ACCEPTABLE ALTERNATIVES ARE AS FOLLOWS: 1. BORATE TREATED WOOD BY PAC-BOR/ADVANCE GUARD 2. ACQ TREATED WOOD BY ACQ PRESERVE AND NATURE WOOD 3. COPPER AZOLE TREATED WOOD BY ARCH WOOD PROTECTION

Exterior Siding, Decking, exposed wood, trim, fascias to be "Sustainably Harvested" wood. Refer to Exterior Materials and Finish Schedule for additional Specifications.

06172: PREFABRICATED WOOD JOISTS AND TRUSSES Refer to Structural Drawings for additional Specifications for: ENGINEERED WOOD JOISTS PARALLEL STRAND LUMBER (PSL) LAMINATED VENEER LUMBER (LVL) LAMINATED STRAND LUMBER (LSL)

06060: CONNECTORS AND SUPPORTS

4. Nailing to be in accordance with IBC.

4. NATURAL CEDAR &/OR IPE

1. Provide bridging of joist of not less than one row for every eight feet of span. 2. All joist hangers to be galvanized metal and secured with galvanized nails as specified by manufacturer of hangers being used. Shall comply with IBC. 3. Exterior walls shall be braced as per IBC.

6100: ROUGH CARPENTRY

1. Framing lumber (studs, joists, girders, plates, sills, headers, trimmers, ridges, valleys, tail beams, etc.) as noted in wall type legend with extreme fiber in bending 1450 PSI, modulus of elasticity 1,600,000 PSI.

Double up studs at all openings. Support headers on studs, support headers longer than 7'-0" on two studs each end. 3. All wood framing members, including wood sheathing, which rests on exterior

foundation walls of in direct contact with masonry shall be of approved naturally durable of 4. Cut framing square on bearings, closely fitted, accurately set to required lines level

and plumb. Secure rigidly in place at bearings and connections. 5. Do not use wood shims. Use slate or structural plastic shims with full bearing for leveling on masonry or concrete. All bearing plates to be set on flex-seal. 6. Provide 1/2" clear space at top, end and sides of wood girders entering masonry or

Provide minimum of 2" bearing for all wood structural members.

Set all normal joists with camber up. Notches in joists, rafters and beams shall not exceed one sixth of the depth of the member, shall not be longer than one third of the depth of the member and shall not be located in the middle one third of the span.

10. Wood floor joists within 18" of finished grade, wood girders within 12" of finished grade, wood framing and sheathing within 8" of finished grade, and wood siding within 6" of finished grade shall be of approved naturally durable or preservative treated wood. 11. In all walls greater than 8'-0" in height, run continuous studs for full height of wall.

Above 15'-0" in height run double studs entire length. 12. Keep wood framing min. 2" away from flues, chimneys and fireplaces, and 6" away from flue openings.

13. Clearance to combustibles: The exterior surface of fireplace walls shall have a minimum clearance of 4" to combustible materials. Combustible materials, including framing and sheathing, shall have a minimum clearance of 2" from the exterior surface of smoke chamber walls. Combustible material attached to a fireplace face, such as trim and mantels, shall have a minimum clearance of 12" above a fireplace opening. 14. Wall sill plates, shall be sized and anchored to foundation walls at intermediate intervals as required to resist wind uplift. Anchor bolts shall be a minimum diameter of 1/2". The bolts shall be embedded in poured-in-place concrete or grouted unit masonry foundations to a depth of not less than 10". There shall be a minimum of two (2) anchor bolts

per section of plate and anchor bolts shall be placed 12" from the end of each section of plate with intermediate bolts spaced a maximum of 6 feet on center one- and two-story buildings and not more than 4 feet on center for buildings over two stories in height. 15. Headers to be (2) 2 X 10's unless otherwise specified on architectural drawings.

6430: WOOD STAIRS AND HANDRAILS

Minimum headroom at stairs shall be as per International Residential Code, most recent edition.

Maximum riser height and minimum tread depth shall be as per International Building Code, most recent edition.

3. All decks, steps, platforms, landings, etc...raised 3 or more risers shall be in accordance with the International Building Code, most recent edition. 4. The triangular openings formed by the riser, tread and bottom rail at the open side of

a stairway shall be in accordance with the International Building Code, most recent edition. Guardrails and handrails shall be designed and constructed to the structural loading conditions in International Building Code, most recent edition.

WOOD FINISHES AND TRIM 1. The wood of the interior trim shall be selected by Architect &/or Owner, finishes (where

applicable) to be determined. 2. Samples of all wood trim and finishes shall be submitted to the Architect for review and approval prior to the ordering of the trim for this project.

4. Exterior trim shall be clear select, exterior grade approved wood, species and finish to be determined by Architect.

DIVISION 7: THERMAL AND MOISTURE PROTECTION

07100: WATERPROOFING AND DAMPROOFING

1. Install damproofing from top of footing to above ground level as follows: a. Prepare surface - fill all voids with bituminous material.

b. Cove at footing. c. Two coats bituminous damproofing at unexposed surfaces.

07200: INSULATION

1. All batt insulation to be cellulose made from newsprint that is up to 80% post consumer material.

R-Value / in = 3.7-3.8Add/Alt: All insulation to be Mineral Wool Batts w/ an R-value / in = 4.2

2. All rigid insulation to be mineral wool batts. R-value / in = 4.2Add/Alt: All rigid insulation should be EPS (expanded polystyrene)

3. Spray-on insulation should contain no CFCs or HCFCs. 4. Refer to ResCheck or ComCheck Reports for this specific project prepared by the Architect.

07270: FIRESTOPPING

1. Draftstopping and firestopping to be in accordance with International Building Code, most recent

07300: SHINGLES AND ROOFING TILES

1. EPDM roofing should be white, Energy Star compliant, and have an emissivity of at least 0.9. 2. EPDM roofing as per Manufacturer's Specifications.

07600: FLASHING AND SHEETMETAL

1. Provide 16 oz. powder-coated aluminum metal (color t.b.d.) flashing across top and sides of exterior window and door openings, and at other locations where needed. 2. Flashing shall be installed: at wall and roof intersections; wherever there is a change in roof slope

of direction; and around all roof openings.

DIVISION 9: FINISHES

09250: GYPSUM BOARD

1. Gypsum board should contain 100% recycled content for both the gypsum itself and the paper 2. Gypsum board should be procured locally, within 500 miles of the project site.

3. A minimum of 64 s.f. of 5/8" FIRECODE gypsum wallboard shall be applied to ceiling located above

1. The use of lead solder is prohibited on installation of potable water systems. central heating system (boiler, furnace, etc.). 4. Provide water-resistant gypsum board on walls and ceilings in bathroom. Concrete composition

board shall be used at all tiled wall and ceiling areas. 5. Gypsum board shall be fastened with approved screws spaced as per local and regional Building Code, most recent edition.

6. Provide gypsum board in thickness indicated in maximum lengths available to minimize end-to-end

7. Provide gypsum board to comply with local and regional Building Code, most recent edition. 8. Provide and install corner bead where required in compliance with ASTM C 840. 9. All joint treatments to be from a single source and to comply with ASTM C 475, ASTM C 840, and

both gypsum board and joint treatment manufacturers' recommendations. 9. All joint compounds to be applied in three coats and sanded. 10. Joint tape to comply with ASTM C475, perforated type.

11. Partitions to be gypsum board of thickness specified in construction documents, taped, spackled, sanded and painted, unless otherwise noted in provided finish schedule. 12. Metal trim and accessories: Standard types of galvanized steel, of sizes required to suit

conditions of installation, similar and equal to those by United States Gypsum. Casing beads and edge trim shall be spackle L, USG 801B series, and corner beads be Durabead Reinforcement, or

109900: PAINTING AND STAINING

All paints and stains should conform to the following VOC levels: 1. Non-flat paint including primers: 150 g/L. 2. Flat paint including primers: 50 g/l.

5. Stains, clear: 550 g/L.

3. Sanding sealers (non-lacquer): 550 g/L.

4. Sealers (including clear wood sealers): 400 g/L.

6. Stains, semitransparent: 550 g/L.

Stains, opaque: 350 g/L 8. Varnishes: 450 g/L.

General Contractor shall be responsible for all painting and staining.

10. All surfaces scheduled to be painted or stained shall be thoroughly cleaned and properly 11. All surfaces of wood, gypsum board and trim throughout the interior areas of new construction shall be painted or stained as directed by the Owner and Architect, unless otherwise specified in finish

12. All areas to be painted shall receive three (3) coats on all surfaces (one prime coat and two finish coats). Painted wood trim shall be sanded between coats of paint. 13. All areas to be painted to be specified in finish schedule unless otherwise noted.

14. The Contractor shall provide samples of the interior paint colors for review and approval of the Owner and Architect prior to any painting. 15. If any exterior wood is to be painted it shall be fully primed prior to installation.

16. All areas of finished work are to be protected and cleaned. 17. Paint colors for the interior are to be selected by the Architect and Owner and provided and applied by the Contractor.

18. Paint to be delivered to the site in new, unopened containers.

1. All tile sealants and adhesives should contain no more than 130 g/L VOC content. 2. All ceramic tile, stone flooring, saddles, trim pieces shall be selected by the Owner and DIVISION 15: MECHANICAL SYSTEMS

Refer to Mechanical Drawings for additional Specifications

All HVAC system equipment should be covered and/or sealed to avoid contamination and exposure to water during construction. No CFCs or HCFCs should be used in mechanical system

15050: BASIC MECHANICAL MATERIALS AND METHODS

1. Every room or space intended for human occupancy shall be provided with natural or mechanical ventilation.

2. Heating system shall be capable of maintaining 68 degrees F inside when outside temperature is 0 degrees F. Verify with local conditions; refer to Mechanical Specifications. 3. Cooling system shall be capable of maintaining 78 degrees F inside when outside temperature is 92 degrees F. Verify with local conditions; refer to Mechanical Specifications. 4. Heating/cooling units are to be vented independent flues sized as per manufacturer's

specifications. 5. Location of meters, main shutoff valves, relief valves and regulators other than integral appliance regulators shall be approved by the administrative authority and shall conform to state

6. All plumbing work to conform to the National Standard Plumbing Code, most recent edition.

15255: DUCTWORK INSULATION

1. Provide 1 1/2" thick fiberglass duct wrap with foil faced vapor barrier on all supply ductwork in non-air conditioned spaces and other locations as shown on the drawings. (GC to verify ducts fit within open web joists)

2. All slot diffusers in floors to be continuous along openings; provide continuous blank-off extensions as required to maintain diffuser appearance aligned with opening in which the diffuser is located in front of. Slot diffusers in ceilings to align with specified openings. Review with Architect prior to installation.

15260: PIPING INSULATION

1. Insulate all heating hot water pipes in exterior walls, crawl spaces, basements and all other unheated spaces and part of basement as shown on the Mechanical Drawings. 2. All hot and cold supply piping shall be insulated to prevent heat loss and condensation. 3. Insulation with a thickness of no less than 1 1/2" shall be installed on any space heating distribution piping located outside of a conditioned space.

4. Insulation with a minimum thickness of no less than 3/4" shall be installed on any service water distribution piping that is greater than 3/4" in diameter.

2. All waste lines are to be PVC schedule 40.

All water supply lines are to be type "L" copper 4. Contractor to be responsible to check soil pipe height and location and to adjust to job

5. Potable water system is to be protected from contamination by use of back flow preventers, as conditions required. 6. All hot and cold supply piping shall have air chambers to prevent water hammering.

<u>Fixture</u> <u>HW CW Drain Trap Vent</u> Water Closet - 1/2" 4"* - 3" Sink 1/2" 1/2" 1 1/2" 1 1/2" 1 1/2"

7. Supply and waste line sizes shall conform to the following.

Stall Shower 1/2" 1/2" 2" 2" 1 1/2" Laundry Tub 1/2" 1/2" 1 1/2" 1 1/2" 1 1/2"

*3" PVC pipe may be used if approved by local Plumbing Sub-Code Official

15440: PLUMBING FIXTURES

Plumbing Fixture Schedule.

1. All plumbing fixtures to be selected by the Owner in conjunction with the Architect. Refer to the

DIVISION 16: ELECTRICAL

Refer to Electrical Drawings for additional Specifications 16050: BASIC ELECTRICAL MATERIALS AND METHOD

1. All fixtures to be selected by Owner in conjunction with the Architect. See Lighting Fixture

2. All wiring to be in accordance with N.E.C., most recent edition. 3. All electrical, telephone, and data constrction work to be done in accordance with and conform to the N.E.C., most recent edition, including subsequent additions and amendments thereto. 4. Contractor shall recieve, handle, assemble, install and connect light fixtures, including initial

5. All visible electrical equipment such as switches, duplex outlets, cover plates and floor mounted outlets shall be installed by competent mechanics in a first class manner. 6. Notify Architect immediately (Prior to lighting installation) of any discrepancy or questions regarding lighting intent. 7. Upon completion of work, Electrical Contractor to supply all pertinent information in electrical

panel to Architect and Owner. (i.e. Which breakers control which circuits/rooms/etc.).

1. All interior wiring to be "Romex" with ground or alternate as approved by Architect.

8. No floor mounted outlets shall be connected to lighting circuits.

16120: WIRES AND CABLES

2. All wiring to be as per article 517 of the N.E.C. 16505: LENSES, LOUVERS AND ACCESSORIES

1. All receptacles to be grounded type. Bottom of base receptacles plate to be 6" A.F.F., unless otherwise noted on Construction Drawings (refer to Interior Elevations). 2. Bottom of all wall switches to be at 36" A.F.F., unless otherwise noted on Construction

5. Contractor shall be responsible for all electrical connections for the kitchen appliances.

Drawings (refer to Interior Elevations). 3. All receptacles and switches are to be selected by the Owner and Architect. 4. Contractor to provide all switches and receptacles U.O.N., Color: TBD by Architect.

Highlands, NJ 07732

Block: 100

REVISION

Corrected Building Height

Block & Lot Number Completeness Review

3 Building Department

1 Zoning Board

no. to whom issued

2 Zoning/ Floodplain Review

01-31-2025 03-31-2025

04-02-2025

Genreal Construction

checked by:

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01-23-2025

01-03-2025

10-12-2022

19 Gravelly Point Road,

Lot: 26 C00011



Zoning Information

			R203 District - Bungalow Colony	
<u>ITEM</u>	REQUIRED	EXISTING	PROPOSED	VARIATION
ZONE DISTRICT				
Residential - Single Family	Residential	Residential	Residential	Complies
MINIMUM LOT SIZE				
Lot Area (Minimum)	5,000 sf	2,758 sf	No Change	Complies
	sidential Zone. Any parcel of land vinthe zone without a variance, pro			ch such lot is located may be used as
MINIMUM YARD REQUIREMENT	S			
All Yards (Minimum)	3 ft.	3 ft.	3 ft.	Complies

Structures shall be located no closer together than the sum of the yard requirements, that is, six (6) feet. Detached accessory structures are prohibited in the minimum required yard area.

MAXIMUM BUILDING HEIGHT

Feet (Maximum) Variance - Approved

(d) Building height shall not exceed twenty (20) feet.

** VARIANCE APPROVED FOR PROPOSED HEIGHT OF 27.5' ABOVE BASE FLOOD ELEVATION, WHERE 20' IS REQUIRED **

SITE COVERAGE REQUIREMENTS Building Coverage (Maximum) 48.2 % (1,330/2,758) 59.5 % (1,640/2,758) Complies Lot Coverage (Maximum) 64.8 % (1,787/2,758) Complies 53.2 % (1,466/2,758)

(c) Total building coverage shall not exceed thirty-five (35%) percent of the total lot area and total lot coverage shall not exceed seventy-five (75%) percent except for those situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28

Zoning Bulk Regulations R203 District - Bungale

§ 21-86R-2 SINGLE-FAMILY RESIDENCE.

- [Ord. No. O-2007-06 § 26; Ord. No. O-2014-33; Ord. No. O-2016-23]
- 4. Bulk and Area Requirements. [Ord. No. O-2016-23]
- a. Single-family dwellings shall meet the requirements shown in Schedule I.[1][1]
- b. Existing bungalow colonies shall meet the following requirements:
- (1) Density shall not exceed the number of units existing at the time of the adoption of this ordinance, as shown on existing Borough Tax Maps and/or other tax
- (2) Any application for expansion of an individual dwelling unit, either vertically or horizontally, shall meet the following standards:

(a) Every unit shall have associated with it a minimum yard requirement around the perimeter of the unit and attached accessory structures of three (3) feet, except for those decks attached to the front of the dwellings situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28, which may extend to locations equivalent to those which existed prior to elevation or reconstruction as determined by prior property surveys conducted by a licensed surveyor. For those properties situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28 that do not have prior property surveys available, any new decks attached to the front of the dwelling can extend to a location which is the equivalent of the location of the front decks located on adjacent properties situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28. Structures shall be located no closer together than the sum of the yard requirements, that is, six (6) feet. Detached accessory structures are prohibited in the minimum required yard area.

- (b) Each unit shall have associated with it a minimum of one (1) parking space, located on site, either adjacent to the individual unit or in a common parking area.
- (c) Total building coverage shall not exceed thirty-five (35%) percent of the total lot area and total lot coverage shall not exceed seventy-five (75%) percent except for those situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.01-15.28.
- (d) Building height shall not exceed twenty (20) feet.
- (e) Shall require an application for a site plan for the entire property except for those situated in Block 100, Lots 26.01-26.76 and Block 69, Lots 15.0l-15.28.
- (3) Bungalow colonies shall not be subject to the provisions of Section 21-98F below.
- [Ord. No. O-2014-33; Ord. No. O-2016-23]

VARIANCE APPROVED FOR PROPOSED HEIGHT OF 29.1' ABOVE BASE FLOOD ELEVATION, WHERE 20' IS REQUIRED **

EXISTING ELEV. - 6.6'

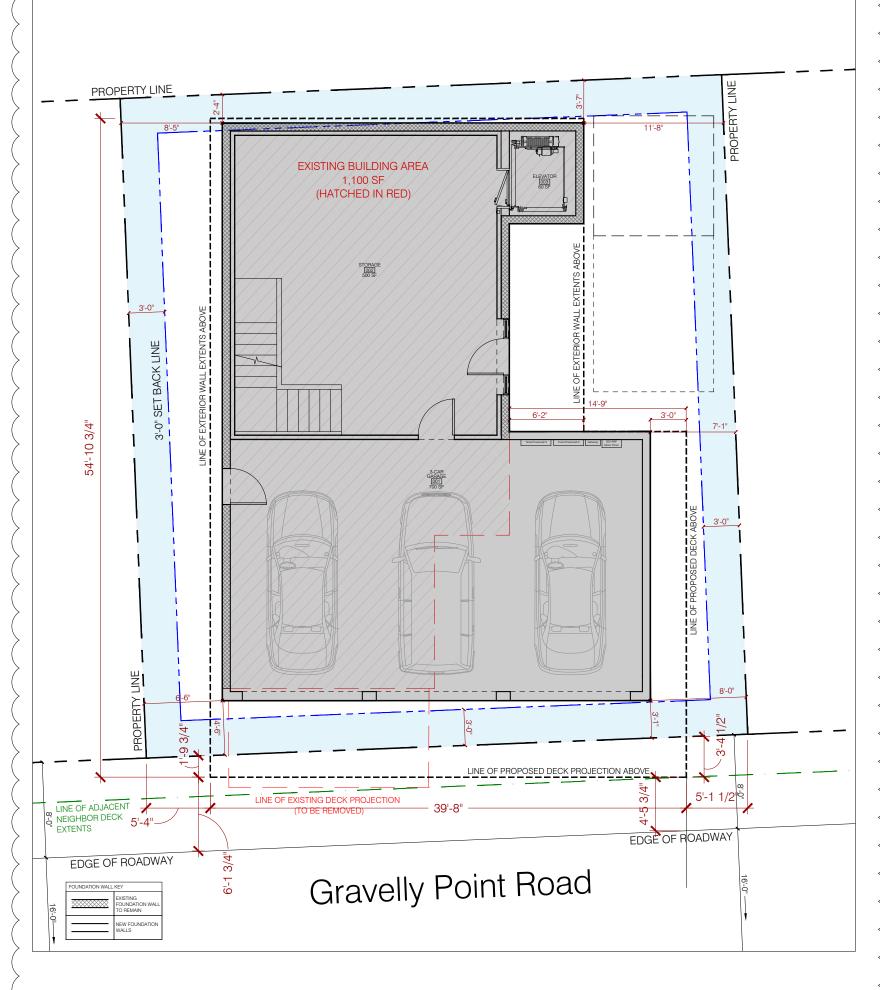


6.56'

PLO3 Planning Board Approved Site Plan

AS APPROVED

** This is the original site plan approved by the Planning Board. This shows all existing and proposed setbacks are conforming, less the rear yard setback at the western corner of the property which is an existing non conforming condition to remain **

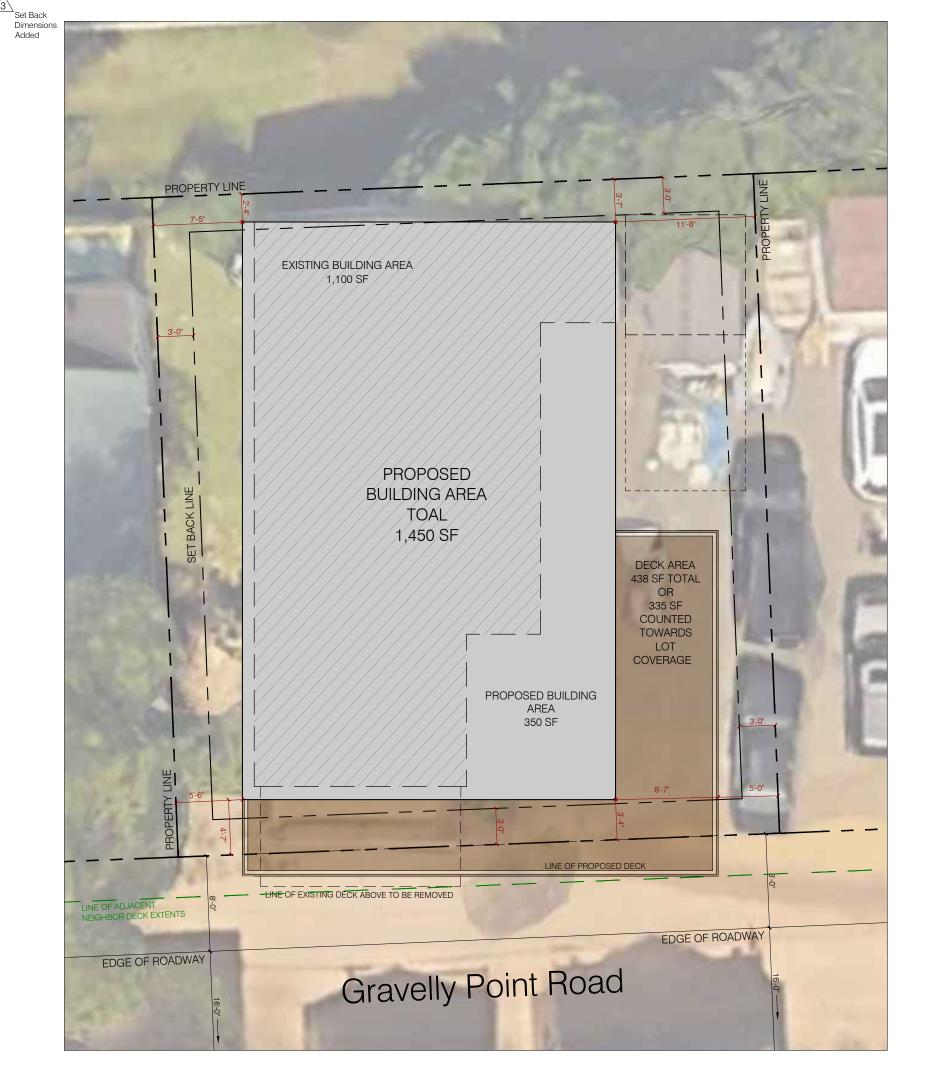




PLO2 Proposed Site Plan (Ground Floor)

1/8"=1'-0"

** This is modified/ proposed site plan with minor design revisions. The proposed changes are bubbled on both the original and modified site plan for reference **





PLO1 Proposed Site Plan (Site Aerial)

ORIGINALLY SUBMITTED

** This is the most recent site plan submitted and denied by Zoning. This site plan used an aerial view, showing lot coverage, rather than a slice through the ground floor plane. I believe this may have been misunderstood as the new ground floor plan with more bulk than originally approved **

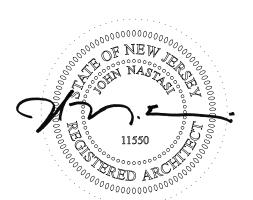
no.	description	date
1	Corrected Building Height	01-31-2025
2	Block & Lot Number	03-31-2025
3	Completeness Review	04-02-2025
3	Building Department	01-23-2025
2	Zoning/ Floodplain Review	01-03-2025
1	Zoning Board	10-12-2022
no.	to whom issued	date
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19 Gravelly PR 19 Gravelly Point Road,

Highlands, NJ 07732

Block: 100

Lot: 26 C00011 nastas architects

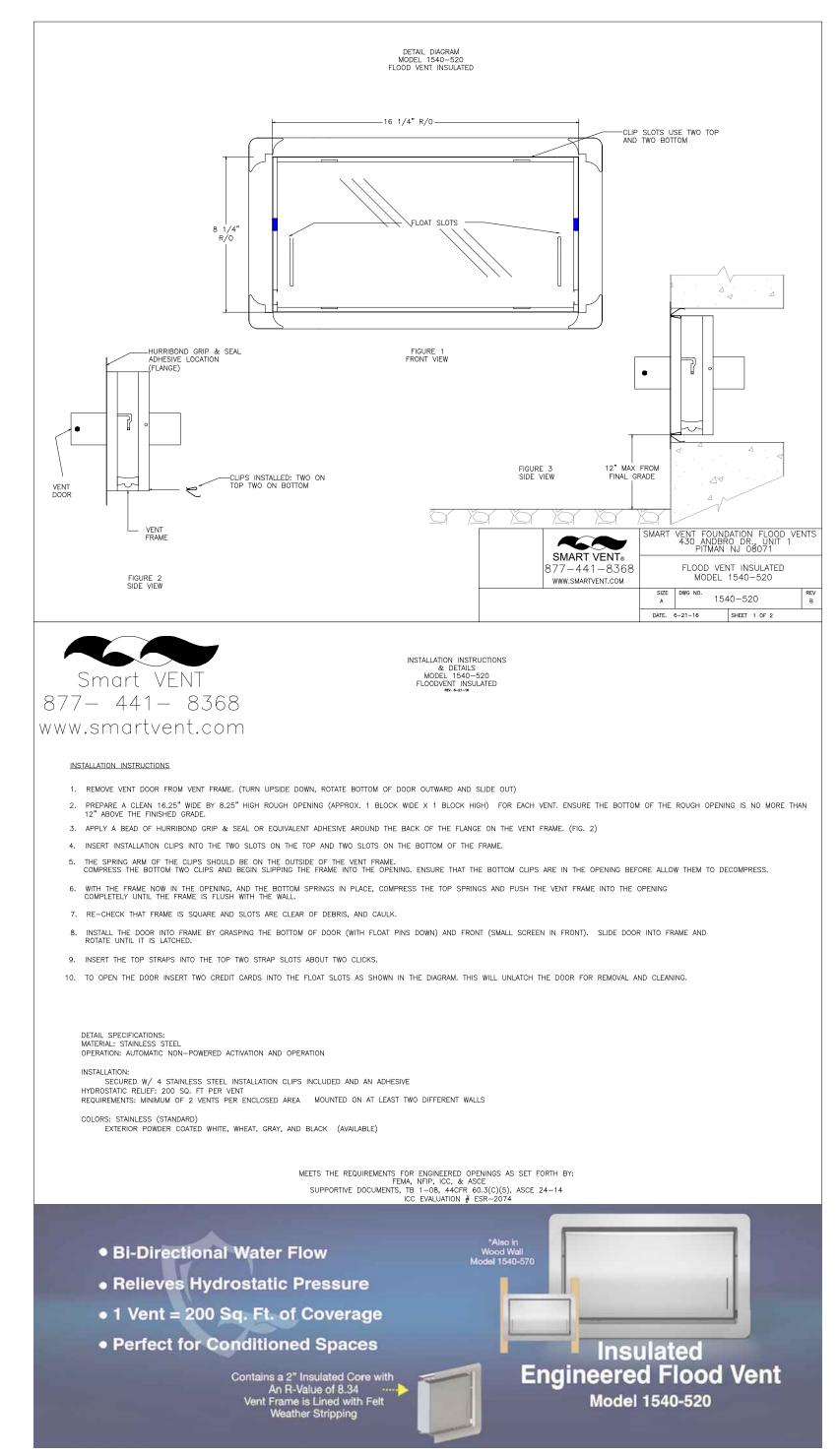


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Proposed Site Plan Zoning Information/ **Bulk Regulations**

April 2, 2025 checked by:

G102.3



UTILITY NOTE:

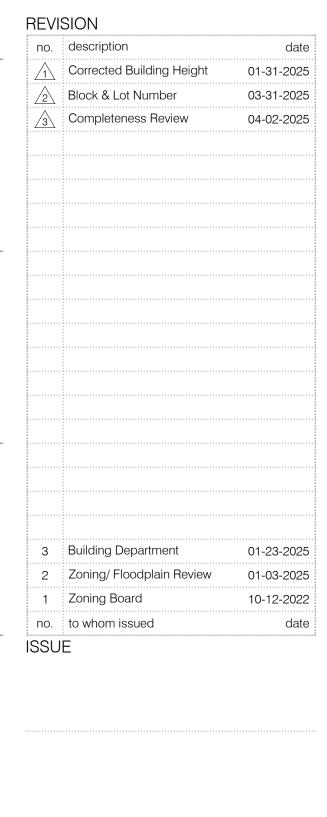
ALL ELECTRIC SERVICE UTILITY METERS/PANELS ARE TO BE INSTALLED ABOVE ELEVATION 13.0 NAVD. GAS METERS ARE HIGH-PRESSURE AND AN EXCEPTION; THEY MAY BE IN THE FLOOD PLAIN SO LONG AS THE EXTENSION OF THE VENT PIPE OFF THE REGULATOR REACHES 4' TO 6' ABOVE GRADE, PER PSE&G RECOMMENDATION. SPRINKLER AND WATER SERVICE IS LOCATED ON THE GROUND FLOOR AND SUBMERSIBLE.

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Wet Flood Proof Interior Area (Total):

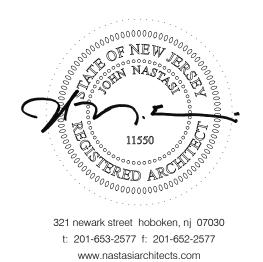
Total Area = 1,470 SF or 8 Total Flood Vents





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19 Gravelly Point Road, Highlands, NJ 07732

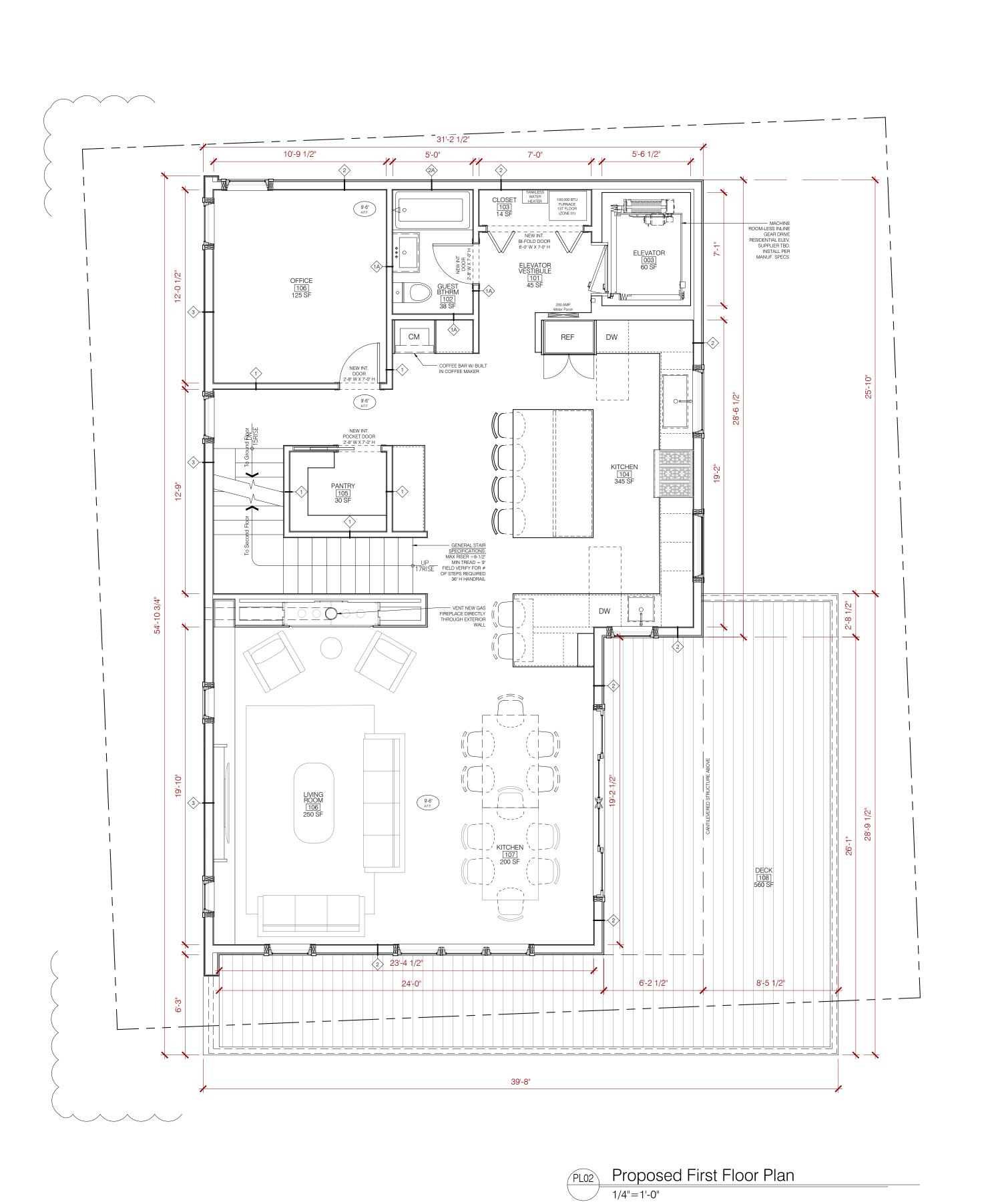


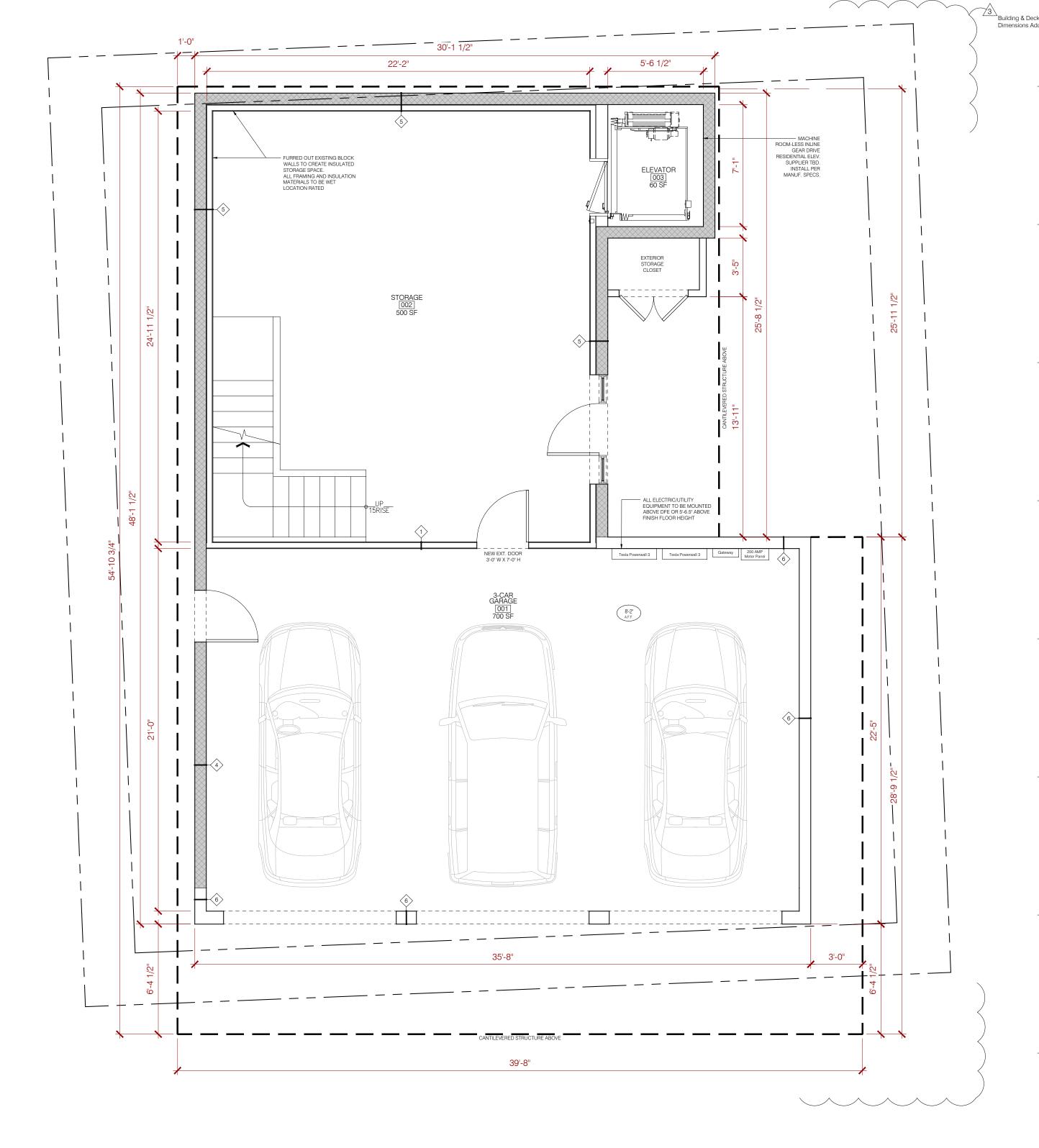
NJ license: Al11550

Ground Floor Flood Vent / Wet Floodproofing Plan Smart Vent Specifications

date:	April 2, 2025
scale:	as shown
drawn by:	VF
checked by:	AG
phase:	BC

G103.0





19 Gravelly PR

19 Gravelly Point Road, Highlands, NJ 07732

Block: 100 Lot: 26 C00011

REVISION

no. description

Corrected Building Height

03-31-2025

04-02-2025

01-23-2025

01-03-2025

10-12-2022

Block & Lot Number

3 Building Department

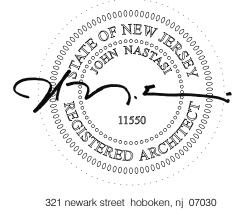
1 Zoning Board

no. to whom issued

2 Zoning/ Floodplain Review

3 Completeness Review

n a s t a s i



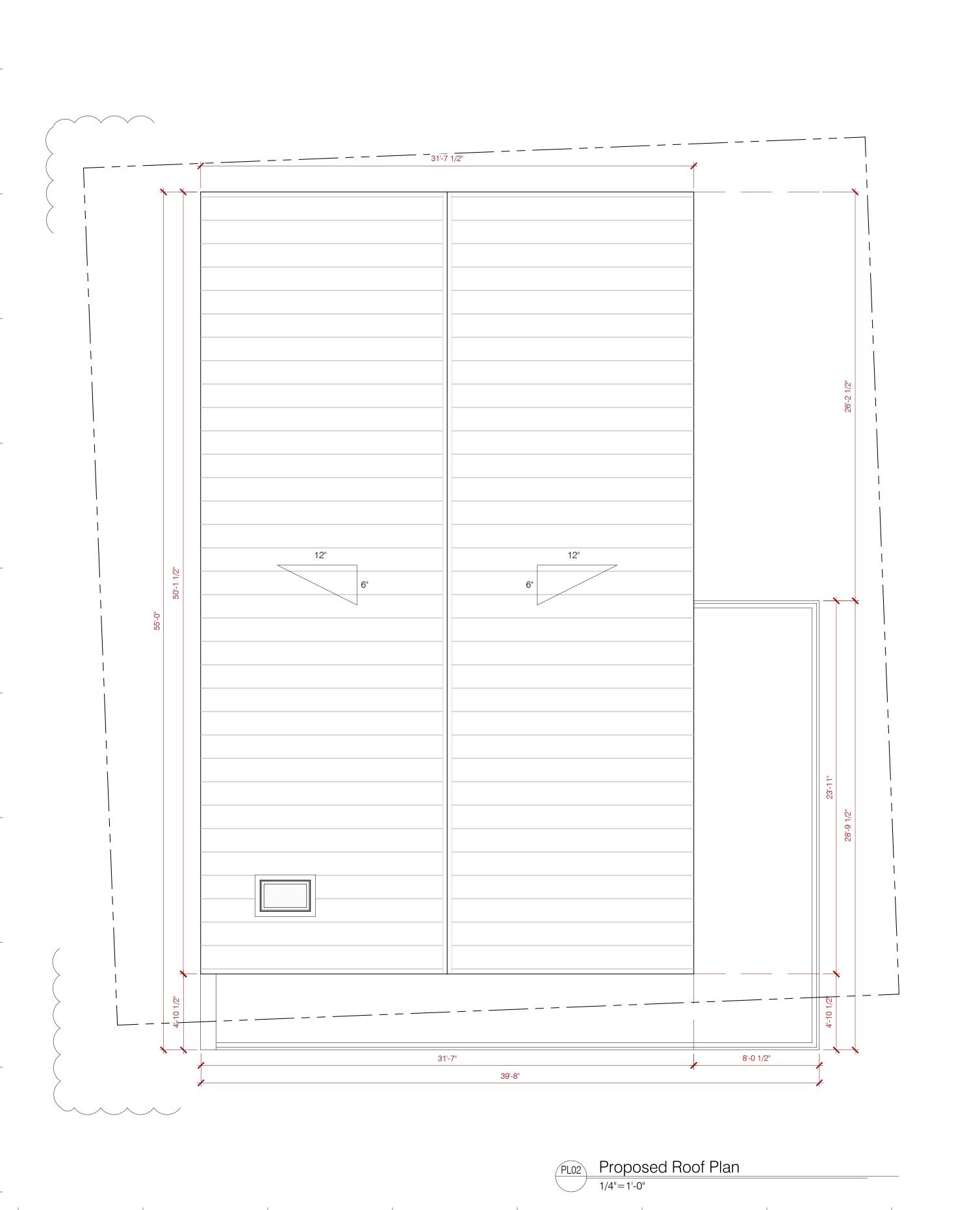
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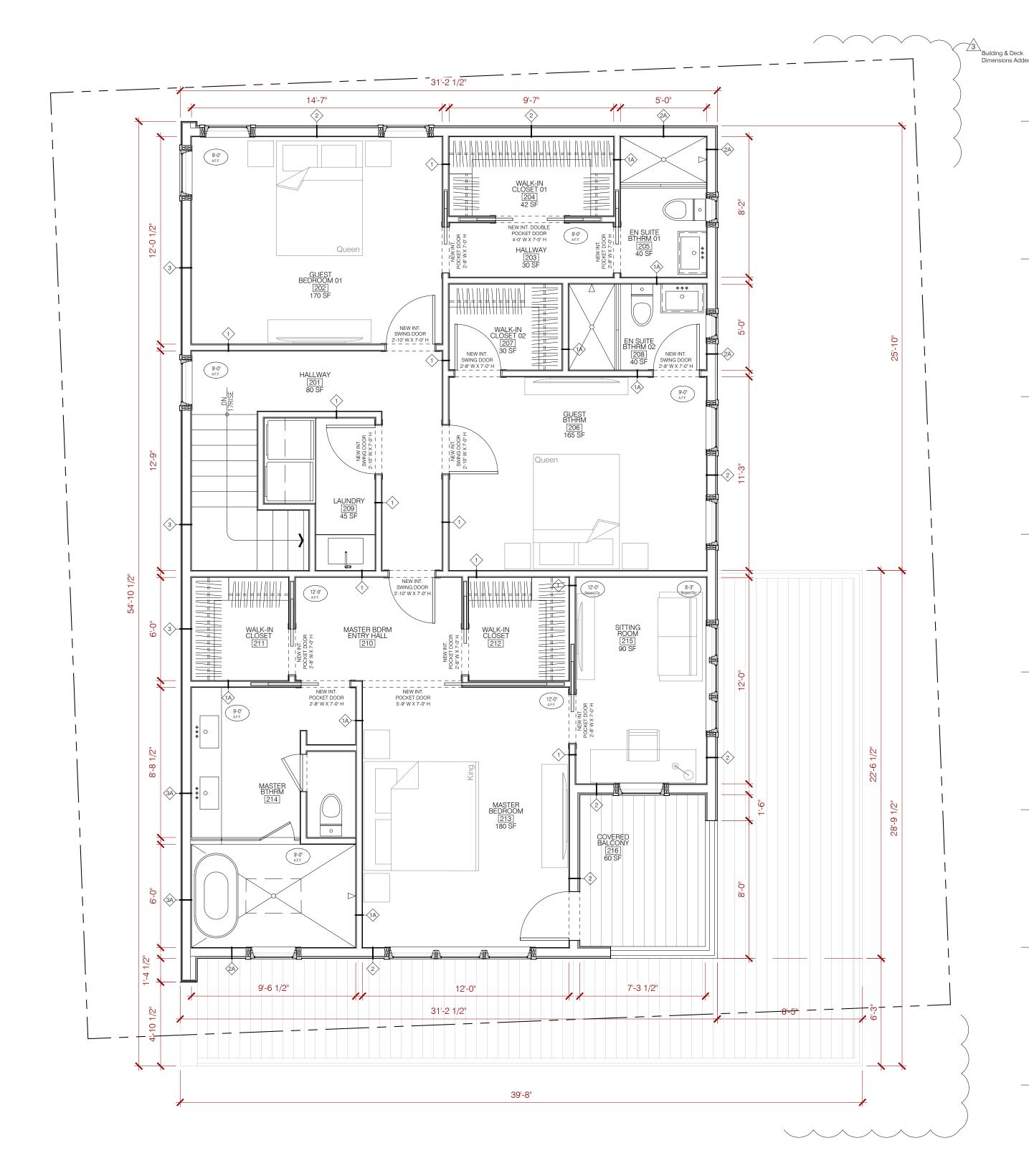
Proposed Floor Plans: Ground Floor Plan First Floor Plan

date: April 2, 2025
scale: as shown
drawn by: VP
checked by: AG
phase: BD

PL01 Proposed Ground Floor Plan
1/4"=1'-0"

A110.3





Roof Plan

Second Floor Plan

Proposed Floor Plans:

REVISION

Corrected Building Height

Block & Lot Number

3 Building Department

Zoning Board

no. to whom issued

2 Zoning/ Floodplain Review

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19 Gravelly Point Road, Highlands, NJ 07732

Block: 100 Lot: 26 C00011

3 Completeness Review

01-31-2025

03-31-2025

04-02-2025

01-23-2025

01-03-2025

10-12-2022

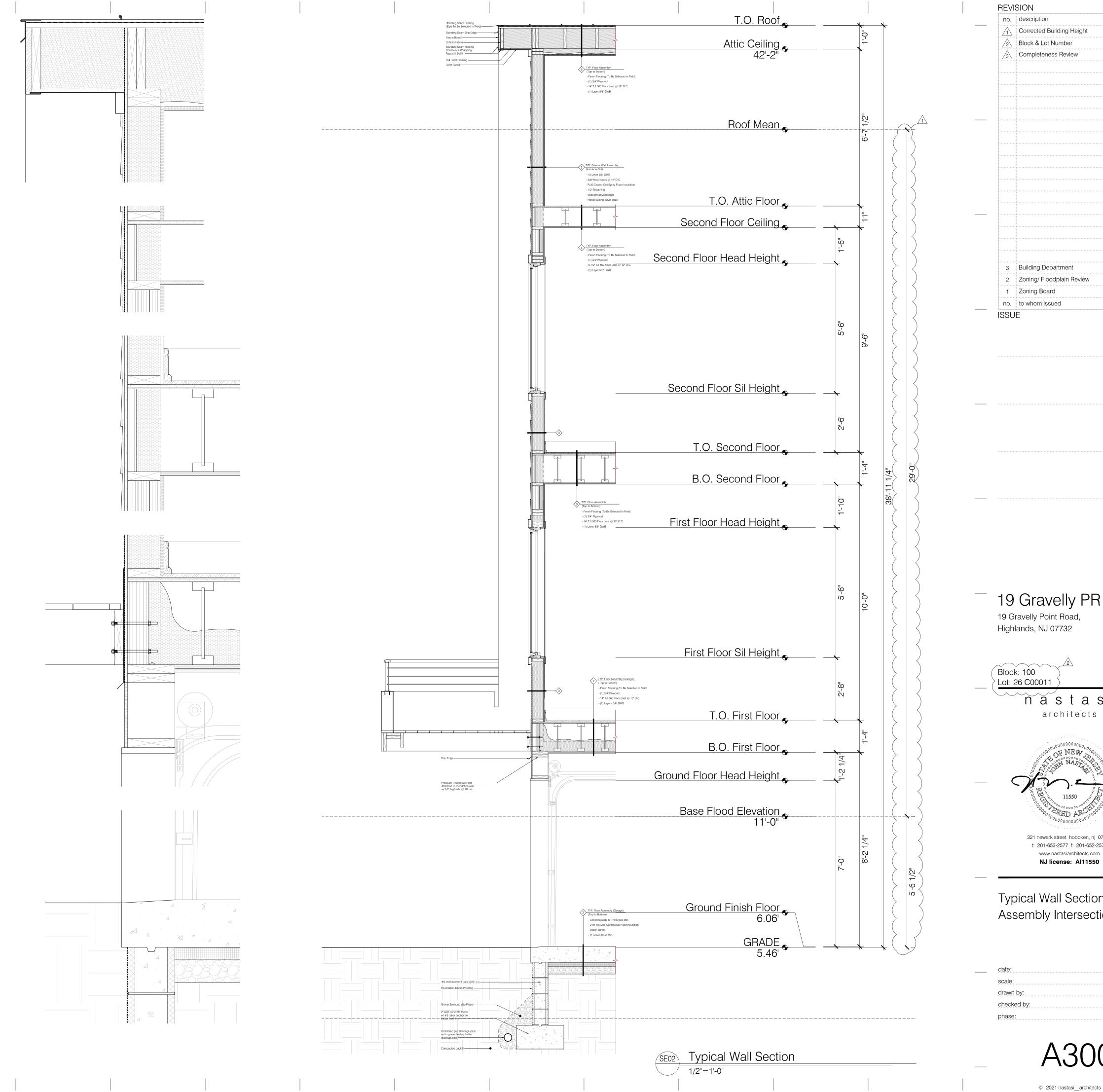
date: April 2, 2025
scale: as shown
drawn by: VP
checked by: AG
phase: BD

PL01 Proposed Second Floor Plan
1/4"=1'-0"

A111.3







Corrected Building Height 01-31-2025 03-31-2025 Block & Lot Number 3 Completeness Review 04-02-2025 Building Department 01-23-2025 2 Zoning/ Floodplain Review 01-03-2025 1 Zoning Board 10-12-2022 no. to whom issued

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Highlands, NJ 07732

Lot: 26 C00011 ñāstasi

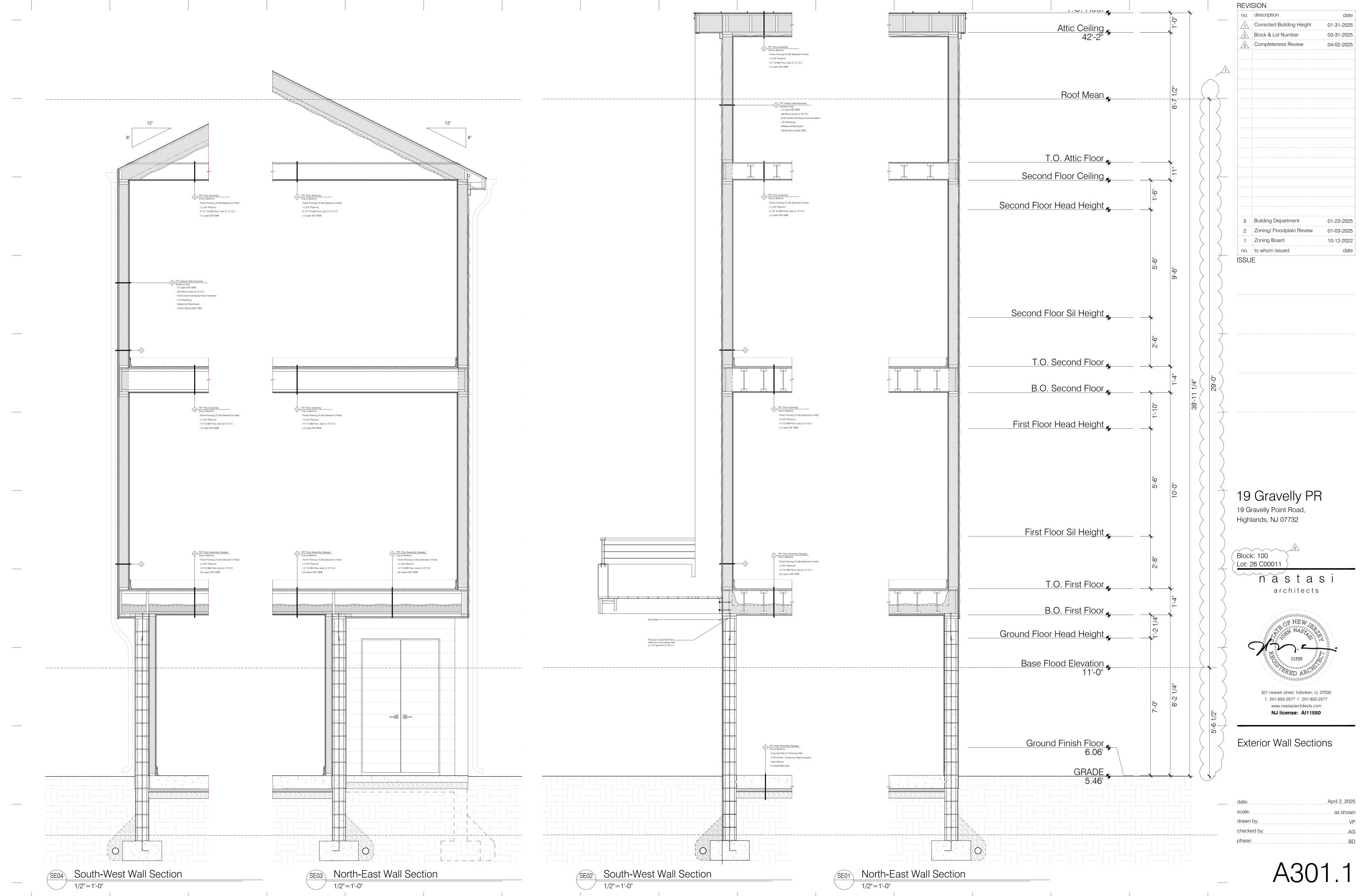


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Typical Wall Section Assembly Intersections

April 2, 2025

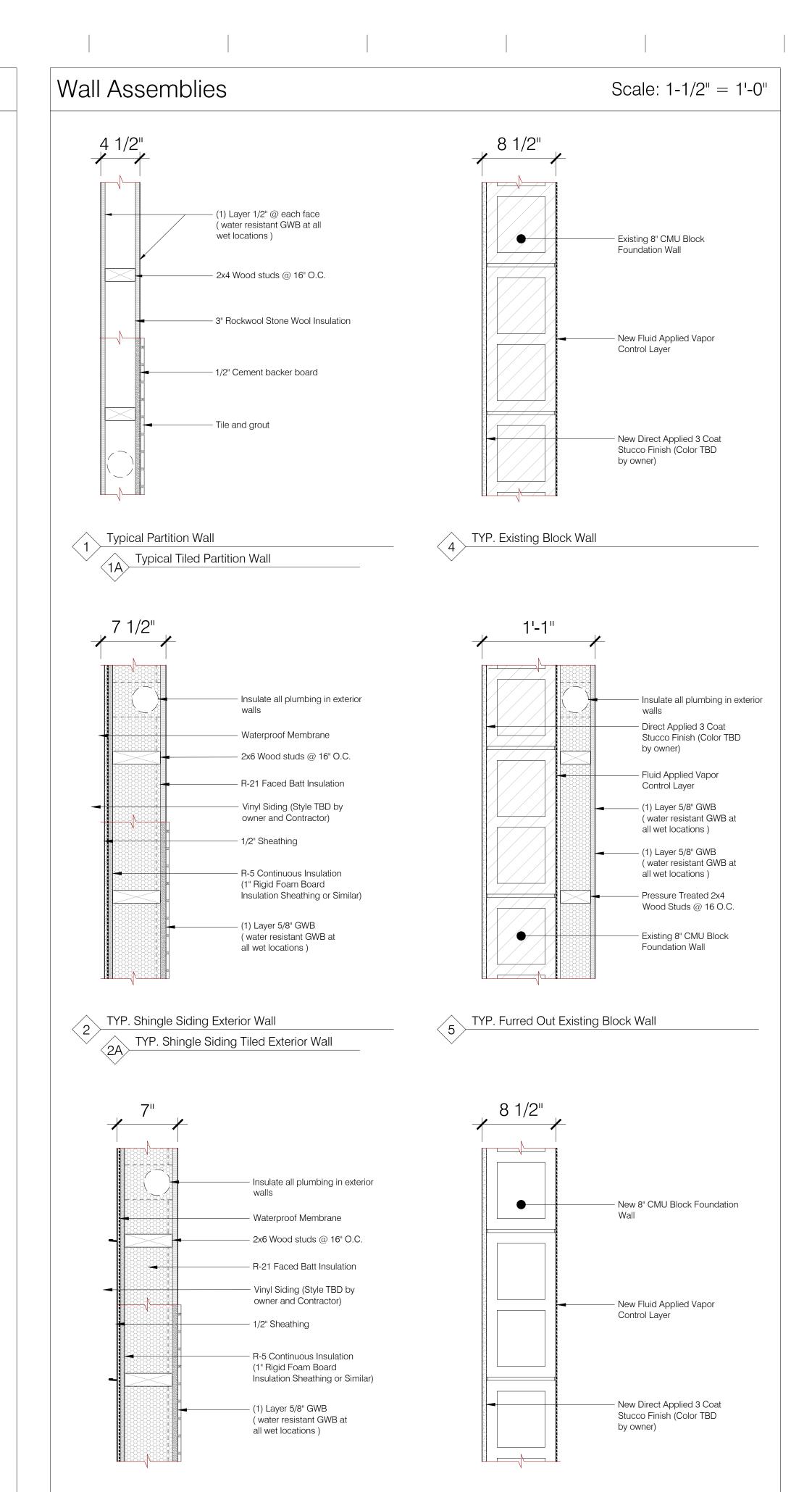
A300.1



General Partition Notes

- 1. ALL WOOD FRAMING SHALL BE DOUG FIR UNLESS OTHERWISE NOTED
- 2. ALL FRAMING SHALL BE AT 16" O.C. UNLESS OTHERWISE NOTED
- 3. ALL 2X FRAMING SHALL BE HORIZONTALLY BRACED AT 48" O.C.
- 4. ENTIRE PERIMETER OF GWB PARTITIONS SHALL BE CAULKED WITH ACOUSTICAL SEALANT
- 5. INSTALL MOISTURE AND MOLD RESISTANT GWB AT ALL WET LOCATIONS
- 6. REFER TO FINISH PLANS FOR FINISHES. FINISHES MAY INCLUDE, BUT ARE
 NOT LIMITED TO, PAINT, PLASTER, MILLWORK (PANELS) OR SIMILAR
 MATERIAL APPLICATION
- 7. AT ALL POCKET DOORS, ADJUST FRAMING AS REQUIRED AND AS PER DETAILS
- 8. PROVIDE SOLID WOOD BLOCKING WITHIN FRAMING FOR ALL WALL-MOUNTED ITEMS
- 9. ALL LUMBER USED FOR WOOD BLOCKING / BACK UP SHALL BE FIRE RETARDANT
- 10. INSULATION IS TO BE ROXUL MONOBOARD OR CAVITYROCK DD
 INSULATION WITHOUT FOIL BACKING AS PER THE BUILDINGS
 RECOMMENDATION. UNFACED CLOSED CELL POLYISOCYANURATE (A.K.A.
 ICO) FOAM IS ALSO ACCEPTABLE BUT REQUIRES A 1 HOUR RATED
 ENCLOSURE TO MEET NYC CODE REQUIREMENTS. NO SPRAY ON
 INSULATION TO BE USED. FOAM INSULATION DOES NOT MEET NYC CODE
 REQUIREMENTS FOR SMOKE DEVELOPED / FLAME SPREAD, THEREFORE
 ALL INSULATION MUST BE ENCLOSED IN AT LEAST 1 LAYER OF GYPSUM
 BOARD TO CREATE A 1 HOUR RATED ENCLOSURE. VAPOR BARRIERS AND
 PAPER FACING ARE TO BE AVOIDED AT EXTERIOR WALL CONDITIONS.
- 11. CHOPPING, CUTTING, CHASING OR CHANNELING IS NOT PERMITTED FOR ANY REASON IN BRICK OR BLOCK AT EXTERIOR WALLS, APARTMENT DEMISING WALLS, BUILDING STRUCTURE, STRUCTURAL SLABS, BEAMS, MASONRY COLUMNS OR THEIR ENCLOSURES. TYPICAL UNIT PARTITIONS CAN BE COMPLETELY REMOVED ON CONDITION THEY ARE NOT STRUCTURAL AND NO RISERS ARE DISTURBED IN THE PROCESS. IF IN DOUBT VERIFY WITH THE RESIDENT MANAGER WHICH WALLS MAY/MAY NOT BE REMOVED/CHOPPED/CHASED. ANY UNAPPROVED CHOPPING WILL RESULT IN STOPPAGE OF WORK AND INSPECTION OF THE CONDITIONS BY THE BUILDING'S ARCHITECT TO INDICATE A SOLUTION. FIREPROOF/FIRE STOP AROUND ALL ELECTRICAL BOXES IN RATED PARTITIONS. VERIFY WALL THICKNESS AND VIABILITY OF INSTALLATION OF ELECTRICAL BOXES IN WALL PRIOR TO CUTTING.
- 12. ALL NEW WALL FRAMING MUST BE DOUGLAS FIR CONSTRUCTION AND INCLUDE SOUND ATTENUATION INSULATION WHERE POSSIBLE. FIRE RATED LUMBER TREATED WITH HAZARDOUS MATERIALS MAY NOT BE USED IN CONSTRUCTION. NEW "WET ROOM" WALLS (KITCHEN, BATH, LAUNDRY ETC.) ARE TO HAVE NEW WATER-RESISTANT SHEETROCK BRAND MOLD TOUGH BOARD OR EQUAL, EXCEPT AT WALLS AROUND SHOWERS AND TUBS WHICH ARE CEMENTITIOUS WALLBOARD SIMILAR TO DUROCK INSTALLED ACCORDING TO MANUFACTURER'S GUIDELINES. ONE OR MORE WALLS MAY LIE ON A DEMISING CHASE WALL. GC TO CONFIRM AND MATCH EXISTING GYPSUM GRADE(S) AND SIZE(S) ON SUCH / MAINTAIN EXISTING FIRE RATINGS. ALL WALLS MUST BE COMPLETELY SHEATHED AND ALL OPENINGS PATCHED OR PLASTERED PRIOR TO INSTALLATION OF CABINETRY. THE INTEGRITY OF THE FIRE RATING AT DEMISING AND SHAFT WALLS MUST BE MAINTAINED. ALL RATED PARTITIONS MUST BE INSTALLED FROM CONCRETE SLAB TO UNDERSIDE OF CONCRETE SLAB.
- 13. DEMISING WALLS ARE TO REMAIN UNDISTURBED. ALL RESIDENTIAL

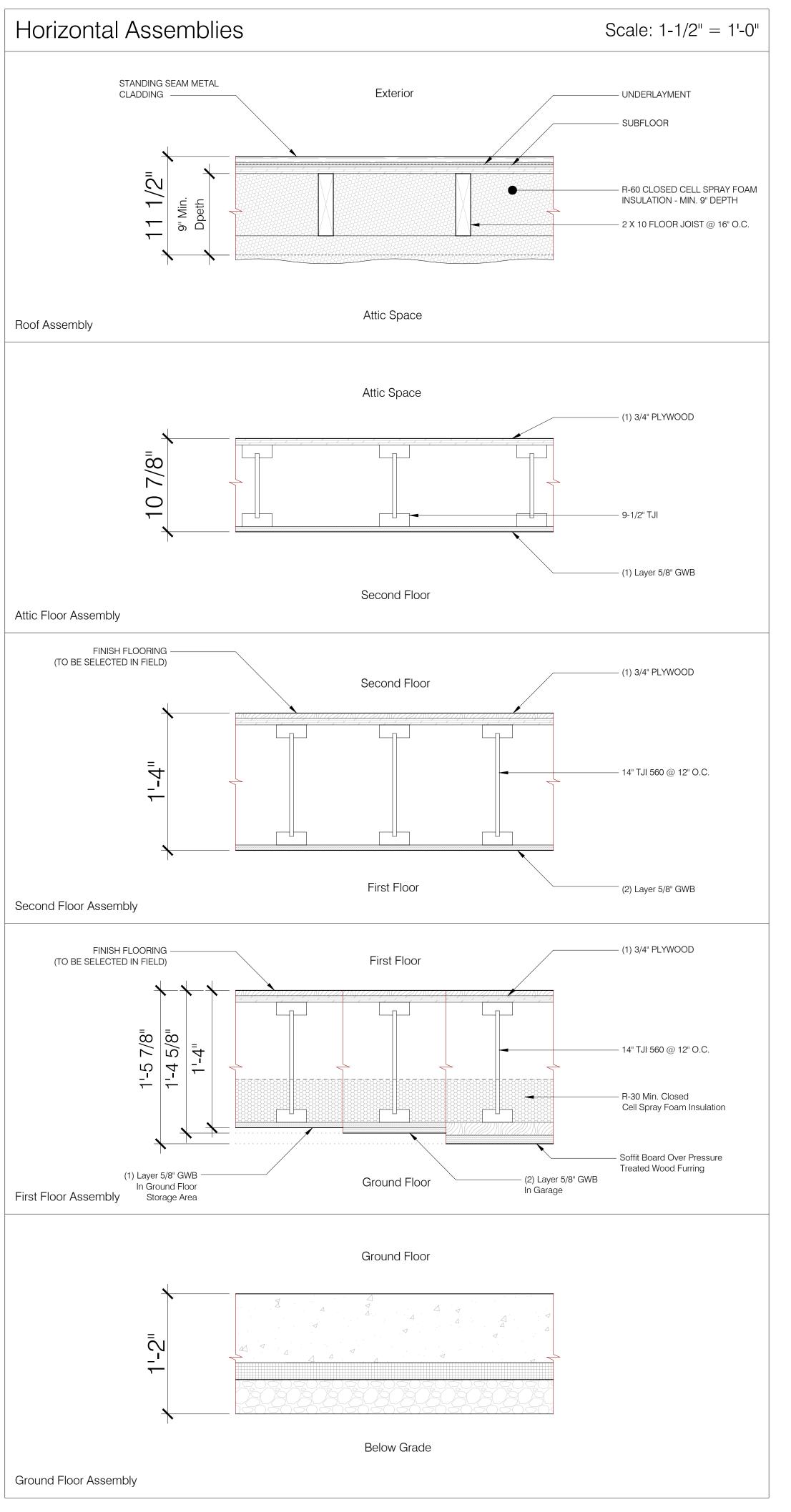
 DEMISING WALLS ARE 2 HOUR FIRE RATED CONSTRUCTION, THIS RATING
 IS TO BE MAINTAINED. PENETRATIONS OF THE DEMISING WALLS WILL NOT
 BE PERMITTED.
- 14. ANY ELECTRICAL PANELS / DEVICES / OUTLETS MAY NOT BE INSTALLED INTO DEMISING WALLS AND MAY NOT BE CHOPPED INTO ANY MASONRY PRESENT AT THE BUILDING PERIMETER OR COLUMN / SHAFT ENCLOSURES. ALL ELECTRICAL INSTALLATIONS ARE TO MAINTAIN THE INTEGRITY AND FIRE RATING OF THE WALL INTO WHICH THEY ARE INSTALLED. WALLS TO BE FURRED OUT AS REQUIRED TO INSTALL NEW OUTLETS. ALL INSTALLATIONS MUST MAINTAIN THE FIRE RATING OF THE WALL FROM WHICH THE ARE REMOVED AND / OR ON / INTO WHICH THEY ARE INSTALLED. CERTAIN WALLS DO NOT PROVIDE THE REQUIRED CLEARANCES FOR RECESSED DEVICES, VERIFY WALL THICKNESS WITH RESIDENT MANAGER PRIOR TO INSTALLATION. DO NOT CHOP PLUMBING INTO ANY MASONRY PRESENT AT THE BUILDING PERIMETER OR COLUMN / SHAFT ENCLOSURES.

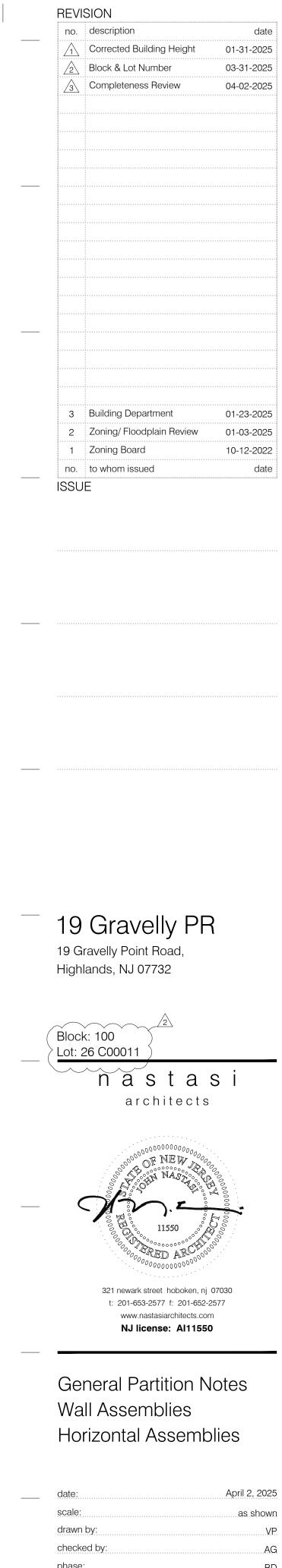


TYP. Standing Seam Exterior Wall

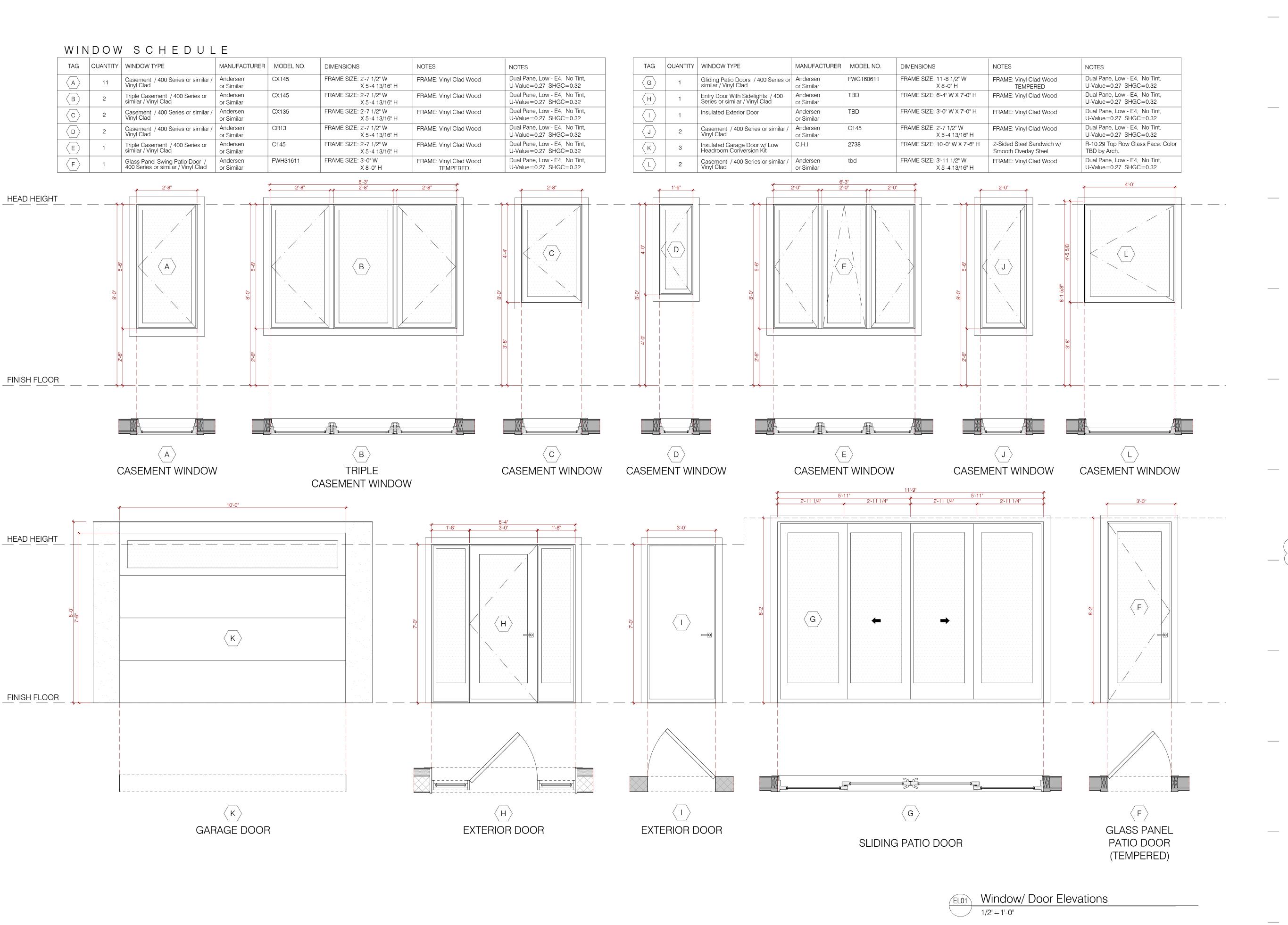
Typical Standing Seam Tiled Exterior Wall

TYP. New Block Wall (To Match Existing)





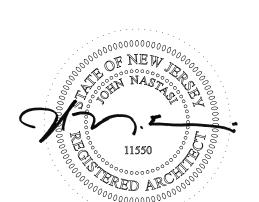
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19 Gravelly PR

19 Gravelly Point Road, Highlands, NJ 07732

Block: 100 Lot: 26 C00011 n a s t a s



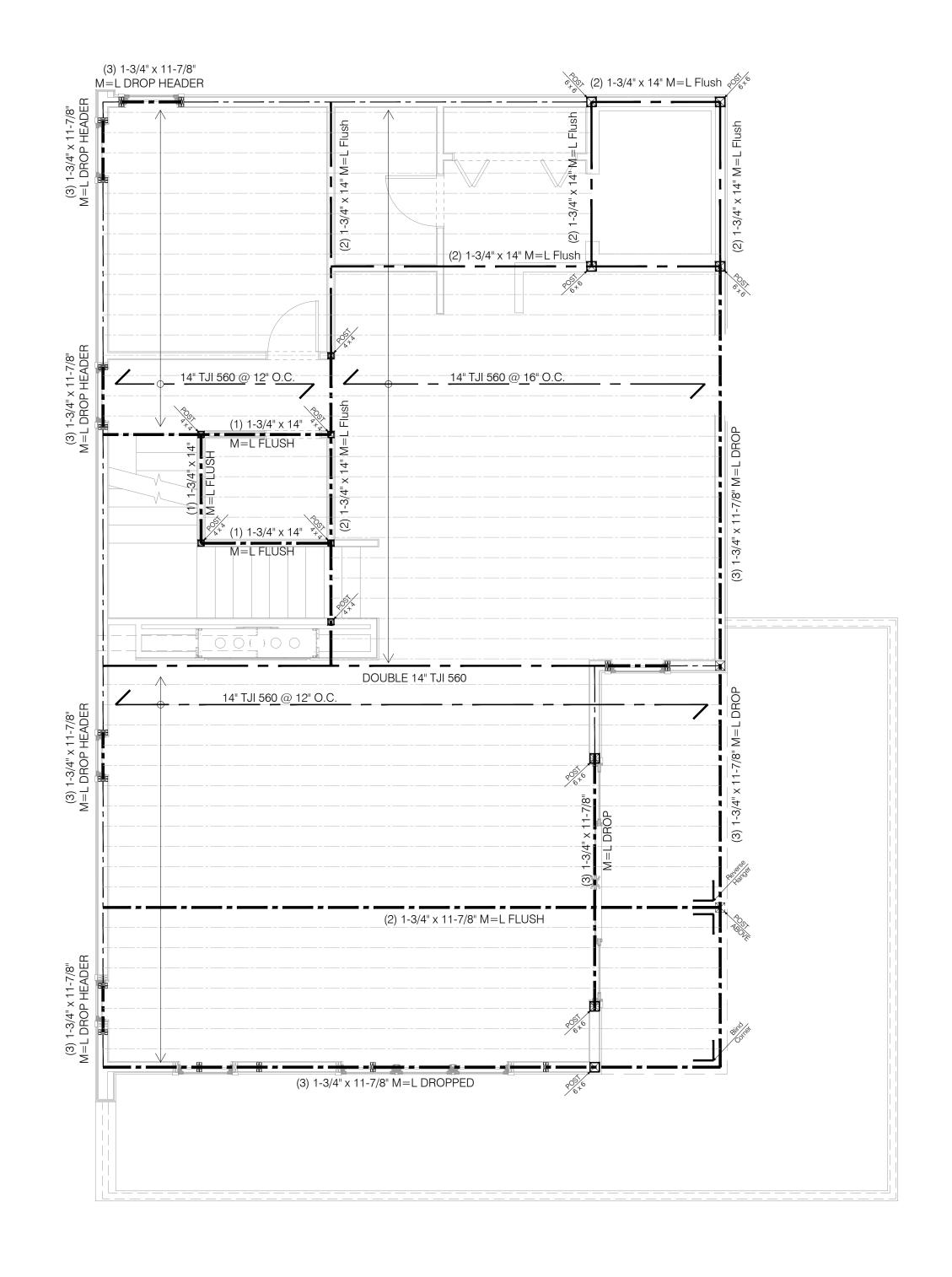
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Window/ Door Schedule Window/ Door Elevations

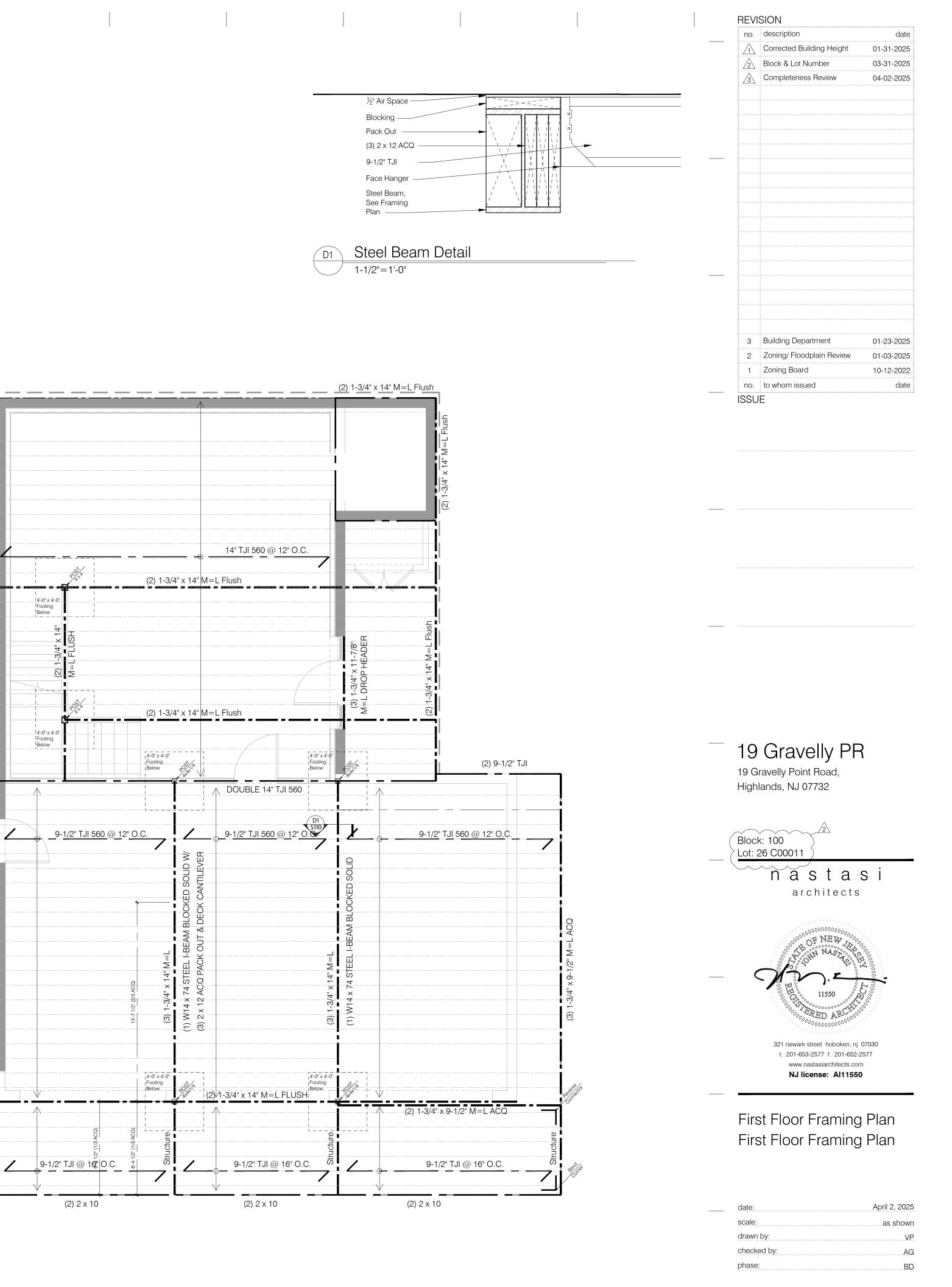
date: April 2, 2025
scale: as shown
drawn by: VP
checked by: AG
phase: BD

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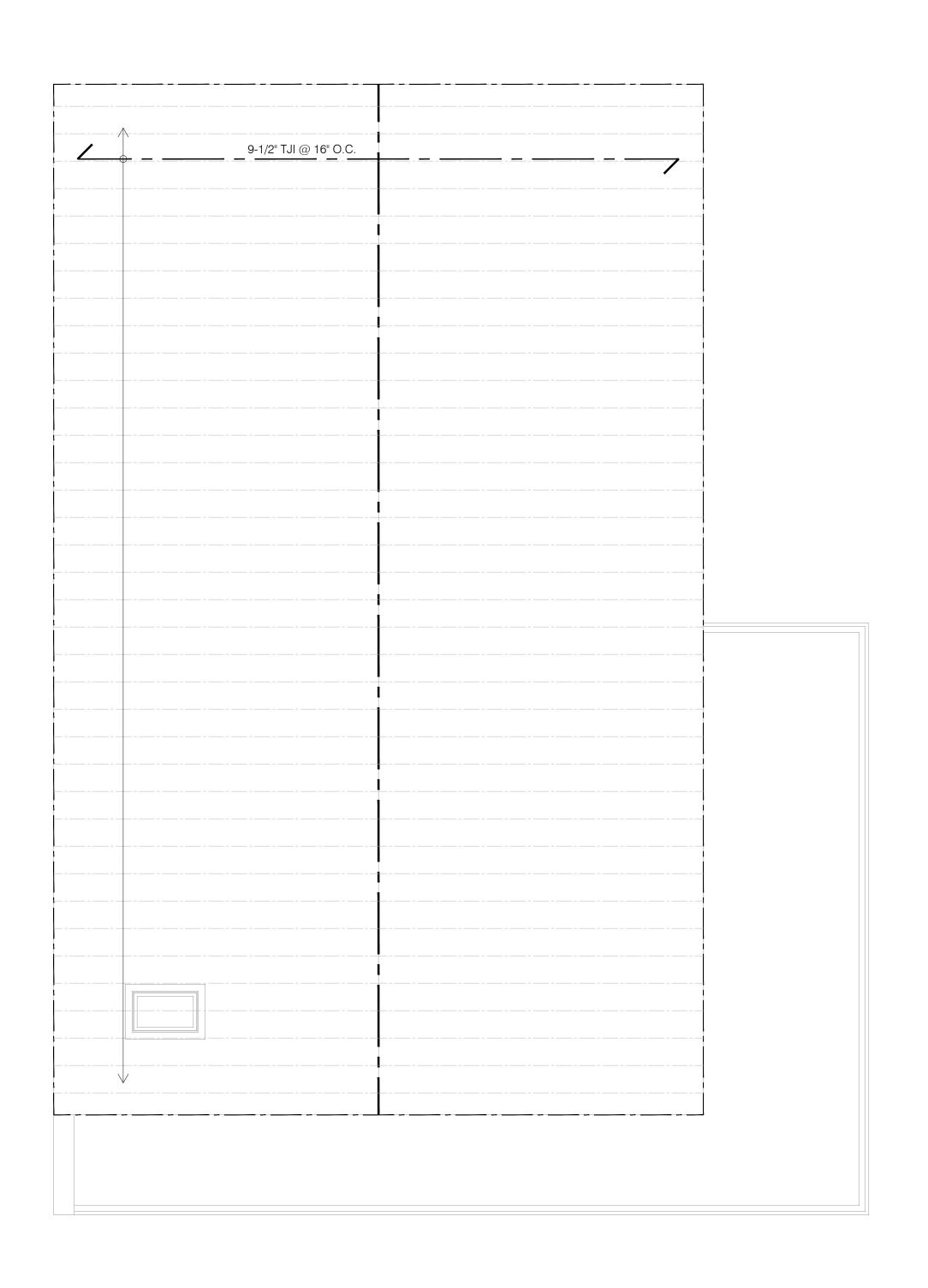
Second Floor Framing Plan

1/4"=1'-0"



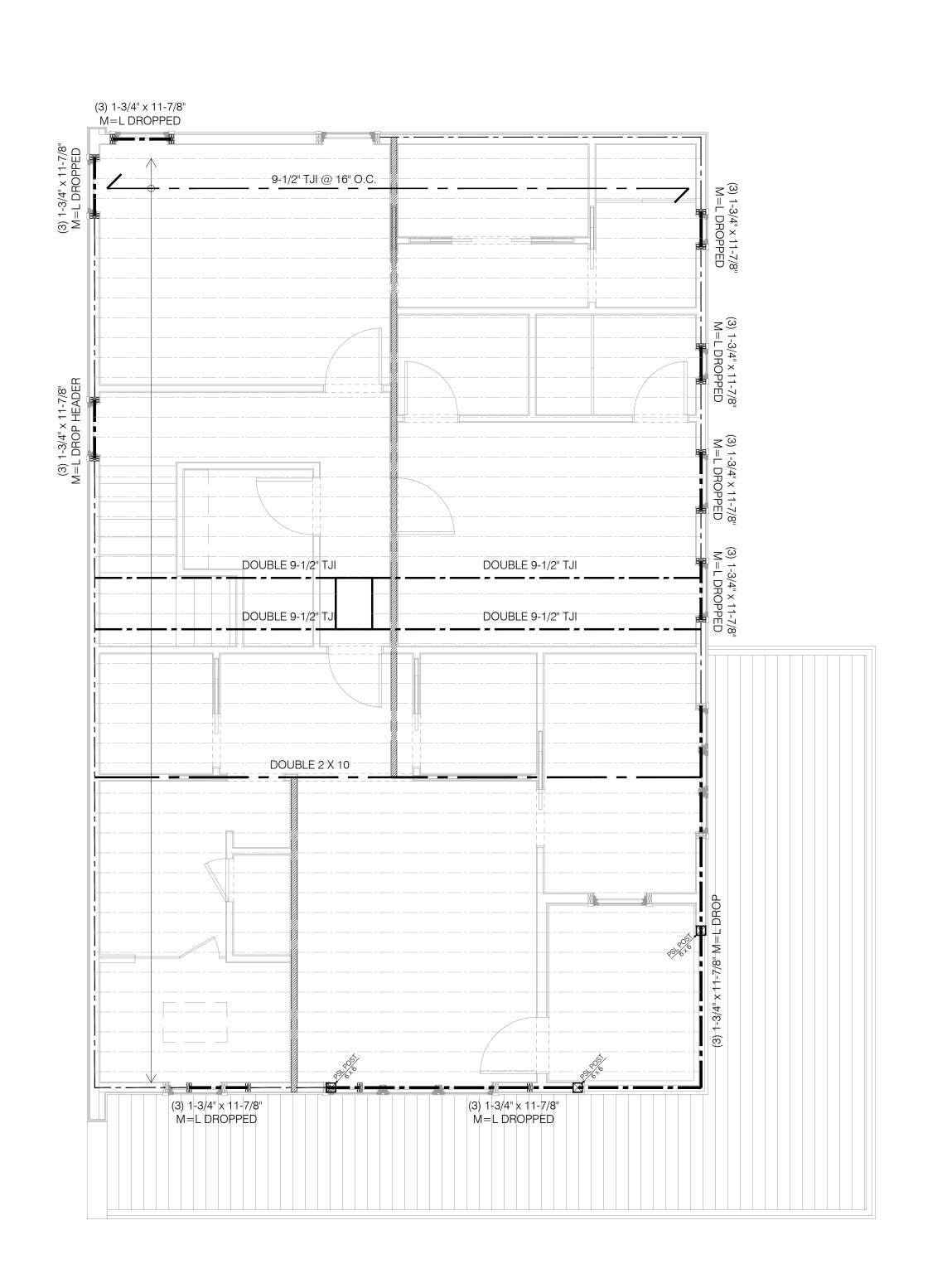
FP01 First Floor Framing Plan
1/4"=1'-0"

S110.0



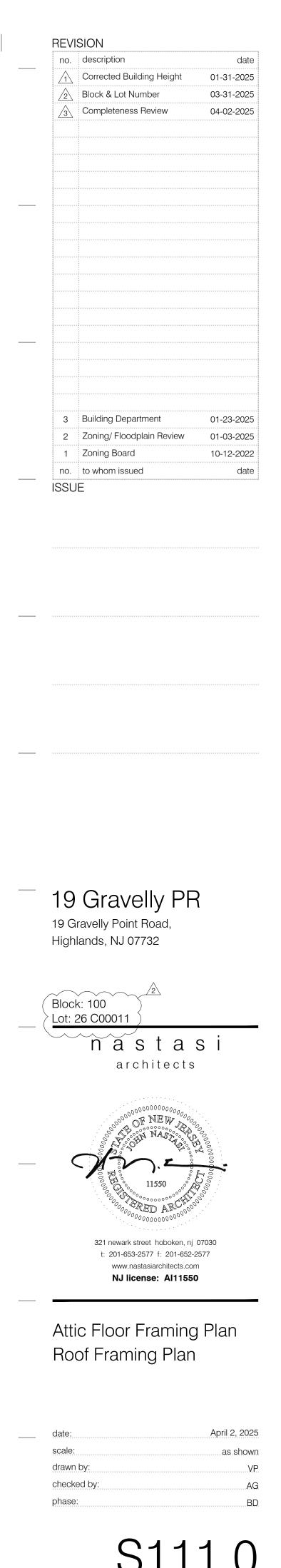
Roof Floor Framing Plan

1/4"=1'-0"



Attic Floor Framing Plan

1/4"=1'-0"



ELECTRICAL SPECIFICATIONS

GENERAL:

A. Provide labor, materials, equipment and services for complete electrical systems as shown on these drawings and as required by applicable city, state, and federal codes, including OSHA. Pay all fees, obtain all certificates. Use new U.L. approved equipment. Include all temporary light and power during construction. Scope includes light and power systems, telephone raceway provisions, tests, and power hook-up of Owner's equipment.

- B. All equipment and materials shall be installed in a neat and workmanlike
- C. All materials shall be of the best quality for the purpose intended.
- D. Render full cooperation to other trades where work of Contractor will be installed in close proximity to work of other trades. This Contractor shall assist in working out space conditions. If Contractor installs work before coordinating with other trades or causes interferences, he shall make changes necessary to correct condition without extra charge.
- E. For exact location of lighting fixtures, receptacles and telephone outlets, refer to Architectural Drawings.
- F. This Contractor shall repair and damage done by himself or his workmen, and shall coordinate his work with that of other crafts. All work shall be done to the satisfaction of the Architect.
- G. Keep conduits and other openings closed to prevent entry of foreign matter: cover fixtures, equipment and apparatus and protect against dirt, water, chemical or mechanical damage, before and during the construction period until final acceptance. Restore to original condition any fixtures, apparatus, or equipment damage prior to final acceptance, including restoration of damaged shop coats of paint. Equipment shall be delivered and stored at site, properly packed and crated, until finally installed.
- H. Upon acceptance of Contract, Contractor agrees to guarantee all his Work and equipment for a period not less than one (1) year from date of initial operation. Manufactured equipment shall carry full period of manufacturer's guarantee and shall not be less than one (1) year.
- I. Contractor shall maintain such limits of insurance as required by the building.

TEMPORARY LIGHT AND POWER:

Provide and fully maintain all facilities for temporary light and power within the construction area during the entire building period, for safety of personnel, utilizing the electric service in the area as arranged with building management and Public Utility by the Electrical Contractor.

RUBBISH:

Remove all rubbish from premises as often as necessary or directed. Debris removal during construction to be coordinated with the Landlord. All work and equipment shall be cleaned to the satisfaction of the Tenant before turning same over to the Tenant.

LIGHTING FIXTURES:

Install all fixtures as indicated on drawings and provided by the Owner. Fixtures to bear label of Underwriters Laboratories and be installed true and plumb, left clear and free from grease and fingerprints. Lighting fixture installation to be complete with all necessary mounting hardware, lamps, ballasts, starters and other necessary equipment.

MISCELLANEOUS:

BASIC ELECTRICAL MATERIALS AND METHOD

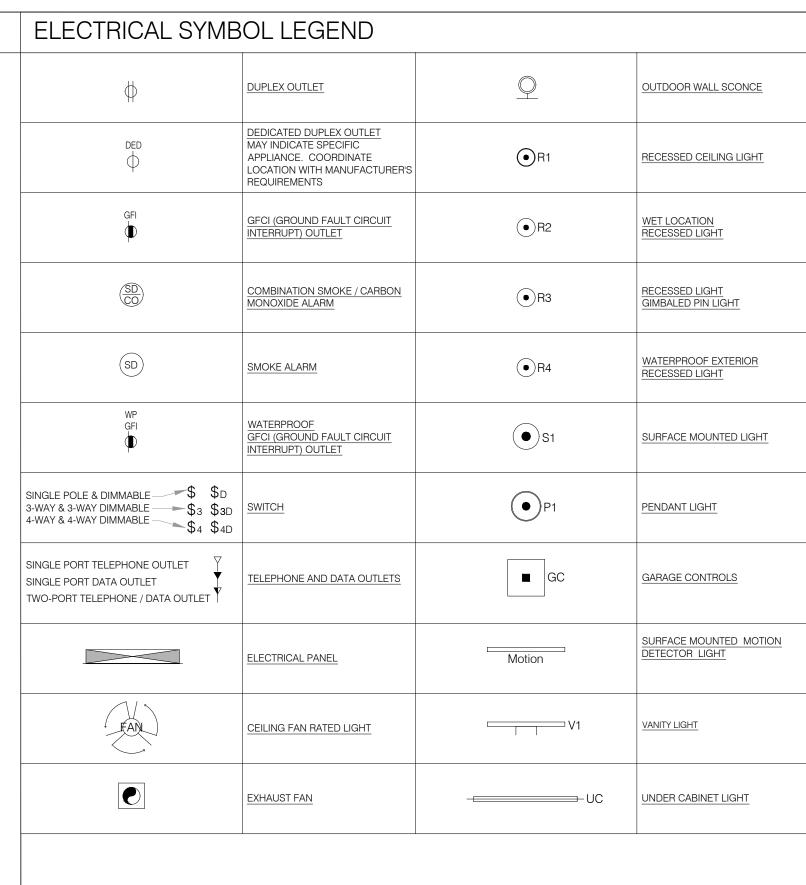
- All fixtures to be selected by Tenant in conjunction with the Architect.
- 2. All electrical, telephone, and data/com work to be done in accordance with and conform to the "National Electrical Code/2015" including subsequent additions and amendments thereto.
- 3. All visible electrical equipment such as switches, duplex outlets, cover plates and floor-mounted outlets shall be installed by competent mechanics in a first
- 4. Notify Architect immediately (prior to lighting installation) of any discrepancy or questions regarding lighting intent.
- 5. Upon completion of work, electrical contractor to supply all pertinent information in electrical panel to Architect and Landlord. (i.e. which breakers control which circuits/rooms/etc.).

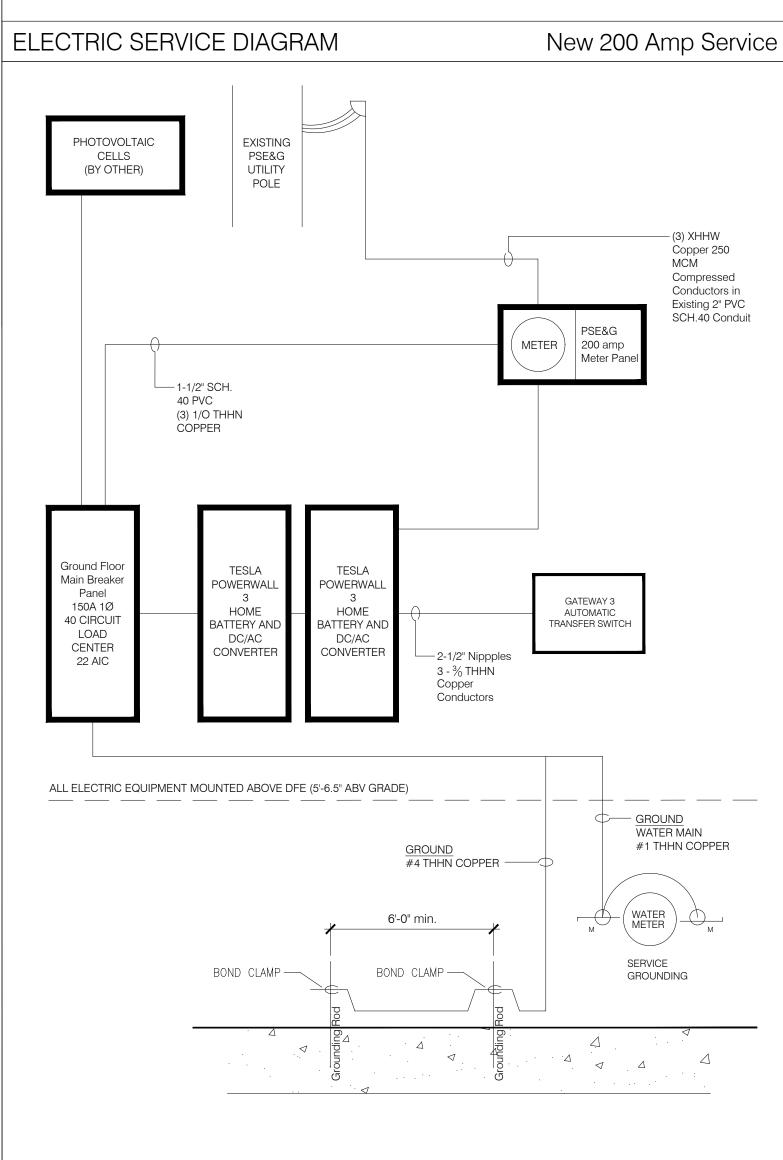
LENSES, LOUVERS AND ACCESSORIES

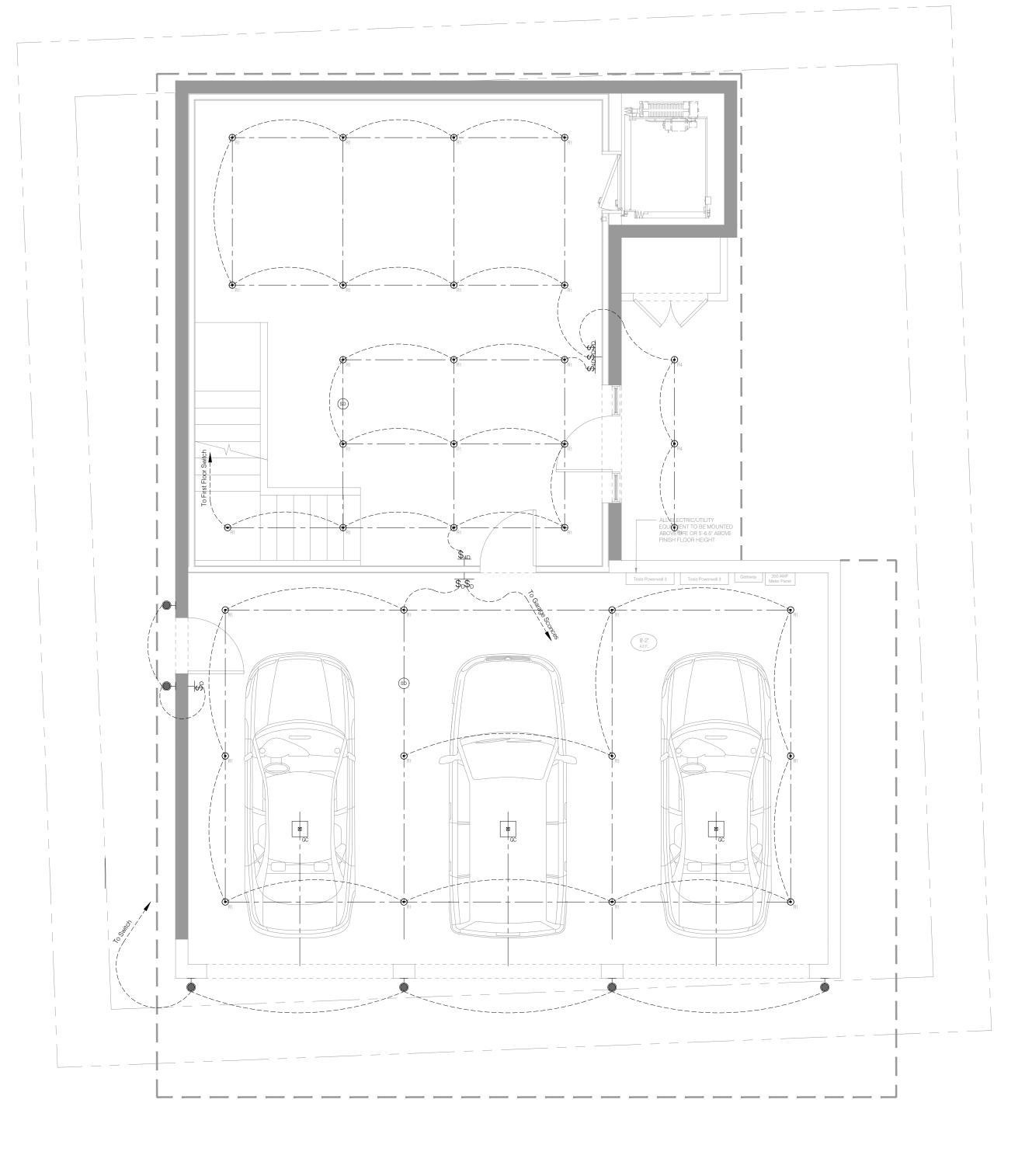
- All receptacles to be grounded type.
- 2. All receptacles, telephone and cable television jacks to be at Tenant and Landlord's request. (where installation is within an existing room, match style of existing equipment - upgrade at Tenant's request).
- 3. All switches and wallplates to be selected by Tenant unless located in Mechanical, Storage or Utility Rooms. Must be approved by Landlord prior to
- 4. Contractor to provide all switches, receptacles and wallplates U.O.N., Color: To be selected by Tenant.
- 5. Contractor shall be responsible for all appliances + HVAC.
- 6. Contractor to provide all switches, receptacles and wallplates U.O.N., Color: Lutron Satin Color.
- 7. Contractor shall be responsible for all electrical connections for the kitchen, bar and laundry appliances.

ALARM AND DETECTION SYSTEMS

Smoke detectors shall be required on every floor including the basement, in the immediate vicinity of the bedrooms and in each bedroom. The detectors shall be wired so that the actuation of one alarm will actuate all the alarms in the dwelling (IBC 907.2.10.1.2 and 907.2.10.3). Detectors shall be supplied with a battery backup in case of AC power interruption (IBC 907.2.10.2).







Ground Floor Electric & Power Plan

3 Building Department 01-23-2025 2 Zoning/ Floodplain Review 01-03-2025 Zoning Board 10-12-2022 no. to whom issued **ISSUE**

REVISION

no. description

Corrected Building Height

Block & Lot Number Completeness Review 01-31-2025

03-31-2025

04-02-2025

19 Gravelly PR 19 Gravelly Point Road,

Highlands, NJ 07732

Block: 100 Lot: 26 C00011 nastas architects

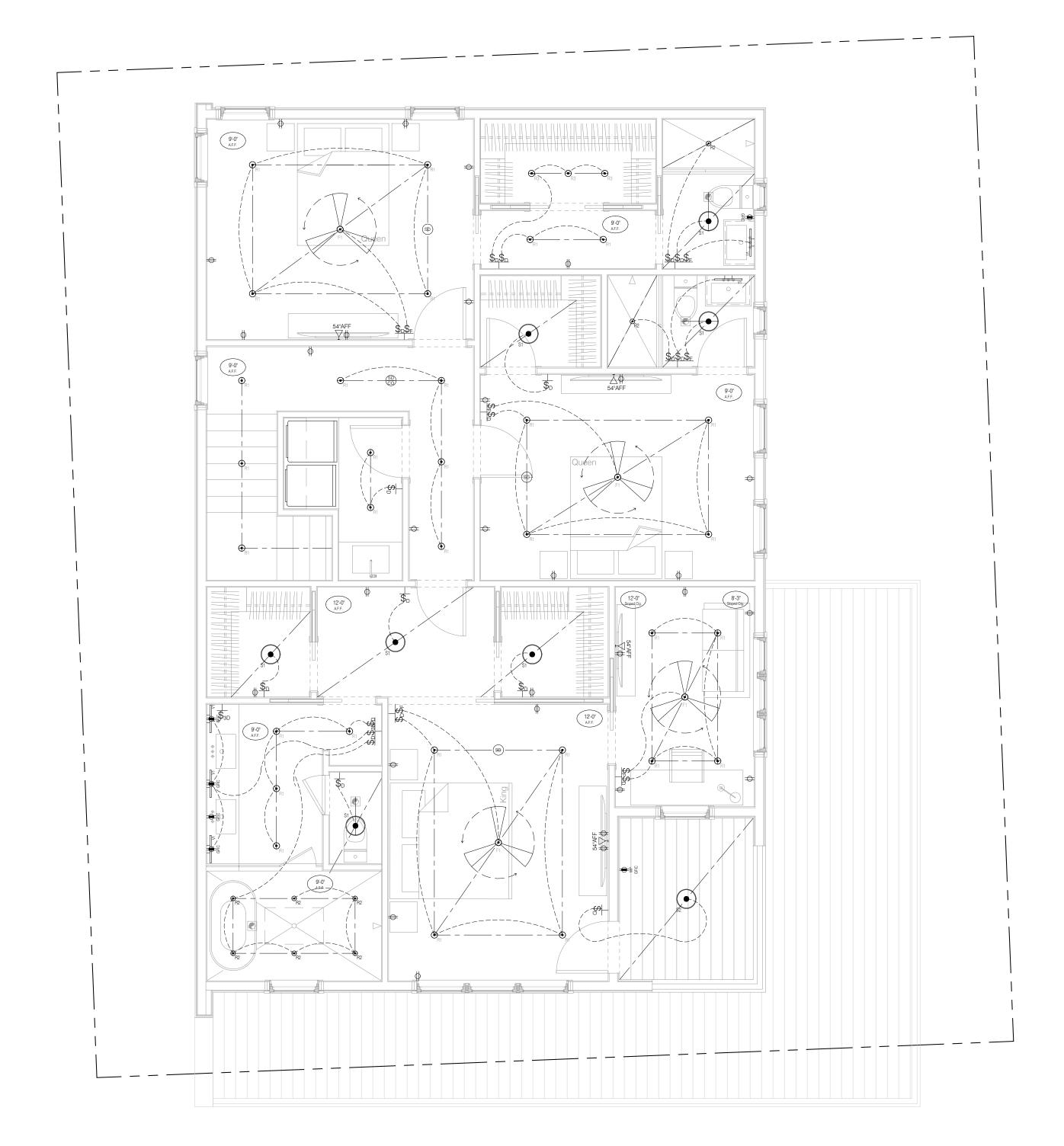


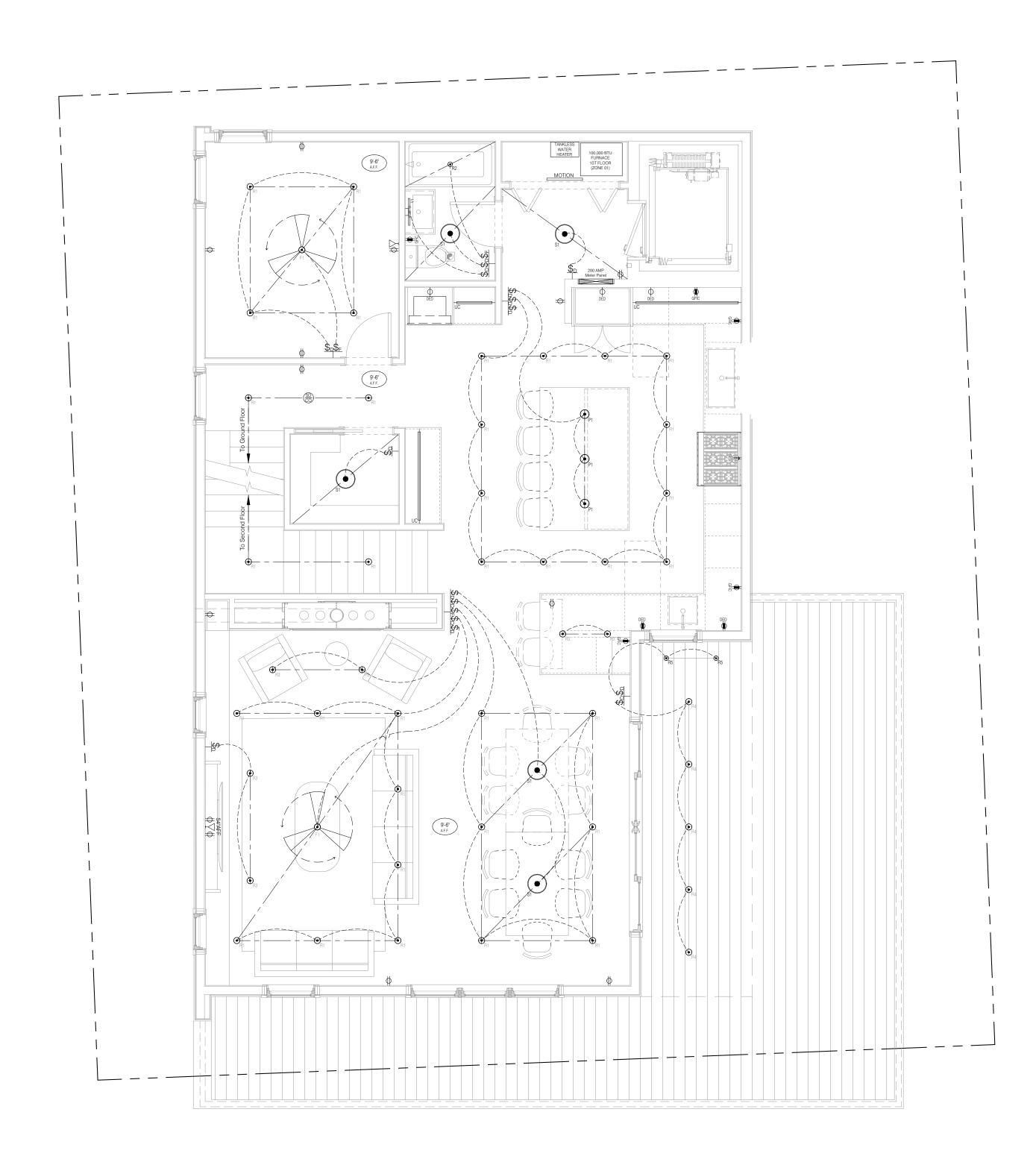
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Ground Floor Electric And Power Plan Electric Specifications Electric Symbol Legenc

date:	April 2, 2025
scale:	as shown
drawn by:	VP.
checked by:	AG
phase:	BD.

E110.0





19 Gravelly PR

19 Gravelly Point Road,
Highlands, NJ 07732

Block: 100
Lot: 26 C00011

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architects

321 newark street hoboken, nj 07030
t: 201-653-2577 f: 201-652-2577

REVISION

no. description

Corrected Building Height

Block & Lot Number

Completeness Review

3 Building Department

1 Zoning Board

no. to whom issued

2 Zoning/ Floodplain Review

03-31-2025

04-02-2025

01-23-2025

01-03-2025

10-12-2022

Second Floor Electric & Power Plan

1/4"=1'-0"

First Floor Electric & Power Plan

1/4"=1'-0"

E111.0

April 2, 2025

Electric & Power Plans:

First Floor

Second Floor

Plumbing Specifications

A. REFERENCE TO GENERAL CONDITIONS:

1. Perform the Work in accordance with the requirements of the General Conditions.

B. SCOPE OF WORK:

1. All work shown on the drawings and in the specifications shall be included under the base bid, except where there is specific reference to exclusion and incorporation in other quotations.

C. GENERAL:

- 1. Coordinate Work with all other trades and existing conditions of the job site and maintain required ceiling heights and space
- 2. Provide all materials, equipment, services, labor and tests necessary for complete execution of the plumbing work in accordance with the governing codes and authorities

D. CODES AND STANDARDS:

1. All work shall meet or exceed the latest requirements of all national, state, county, municipal and other authorities exercising - Test: Operating, performance and code required tests.

- jurisdiction over construction work at the project. 2. All required permits and inspection certificates shall be obtained, paid for, and made available at the completion of the

1. Before an application for final acceptance of the work will be considered, all tests deemed necessary to show proper execution of the Work shall have been performed and completed in the presence of an Architect's/Owner's representative, scheduling of all testing procedures shall be arranged to suit the convenience of the Architect and/or Owner's Representative.

PIPING INSULATION

- 1. Insulate all heating hot water pipes in exterior walls, crawl spaces, basements and all other unheated spaces. 2. All hot and cold supply piping shall be insulated to prevent
- heat loss and condensation. 3. Insulation with a thickness of no less than 1 1/2" shall be installed on any space heating distribution piping located
- outside of a conditioned space. 4. Insulation with a minimum thickness of no less than 3/4" shall be installed on any service water distribution piping that is greater than 3/4" in diameter.

H. MISCELLANEOUS:

- Rubbish removal.

- Shop drawings.

acceptance.

date of

Cleaning.

REQUIRED:

trades.

- Scaffolding, rigging, hoisting.

waterproofed construction).

- Record (As-built) drawings.

- Access doors for valves.

- Adjusting and balancing.

- Spare parts and tools.

- Verify site conditions at the project site.

- Protection of work during construction.

- Identification: Valve tags and valve tag schedules.

- Hangers and supports for piping and equipment.

1. All work shall be guaranteed to be free from leaks or defects.

work of all trades resulting from same, shall be replaced or

repaired as directed for the duration of stipulated guaranteed

periods. The duration of guarantee periods shall be one year.

1. Prior to assembling or installing the Work, the following

(A) Equipment drawings and scale drawings showing all

equipment and piping with sizes, elevations, dimensioned locations and appropriate indication of coordination with other

G. SHOP DRAWINGS AND OTHER INFORMATION

- Flashing for drains and pipe penetrations.

F. GUARANTEES AND CERTIFICATIONS:

- Coordination with other trades.

shall be submitted for approval:

- Caulking, packing and filling of sleeves and openings.

- Obtaining all required permits, approvals and inspection

- Guarantee all work, labor and materials for one year following

1. The use of lead solder is prohibited on installation of potable water PROVIDE FOR FOLLOWING:

PLUMBING

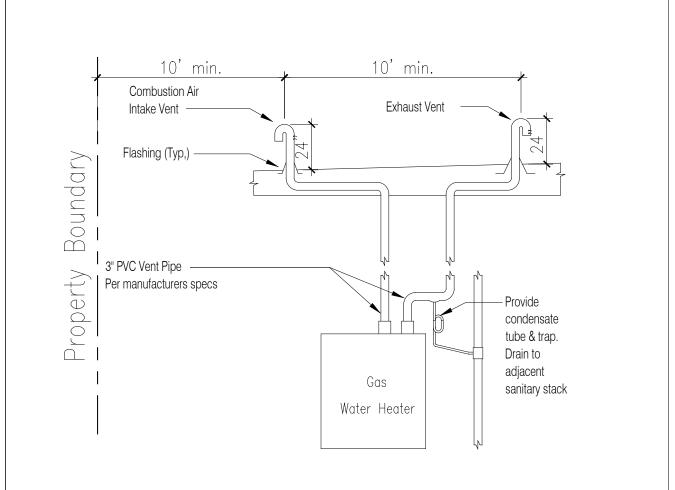
- 2. Contractor to be responsible to check soil pipe height and location and
- to adjust to job conditions. - Sleeves and openings (Waterproof sleeves and flashing through
 - Potable water system is to be protected from contamination by use of back flow preventers, as conditions required.
 - 4. All hot and cold supply piping shall have air chambers to prevent water
 - 5. Supply and waste line sizes shall conform to the following.

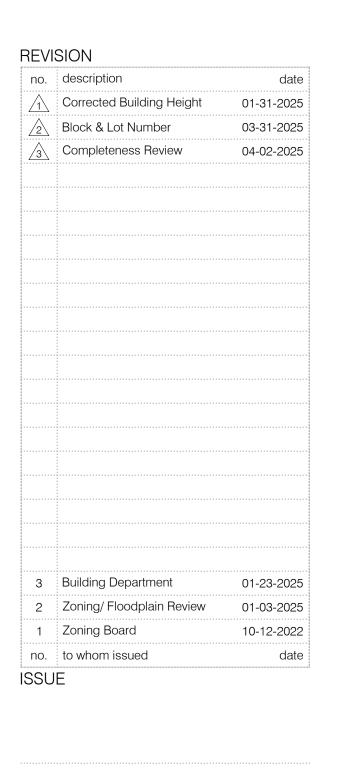
Fixture	H\	N C'	W [Orain	Trap
Water Closet	-	1/2"	4"	-	2"
Lavatory	1/2"	1/2"	1-1/2"	-	1-1/2'
Sink	3/4"	3/4"	2"	2"	2"
Tub	3/4"	3/4"	2"	2"	1-1/2"
Shower	1/2"	1/2"	2"	2"	1-1/2"

*3" PVC pipe may be used if approved by local Plumbing Sub-Code Official

PLUMBING FIXTURES

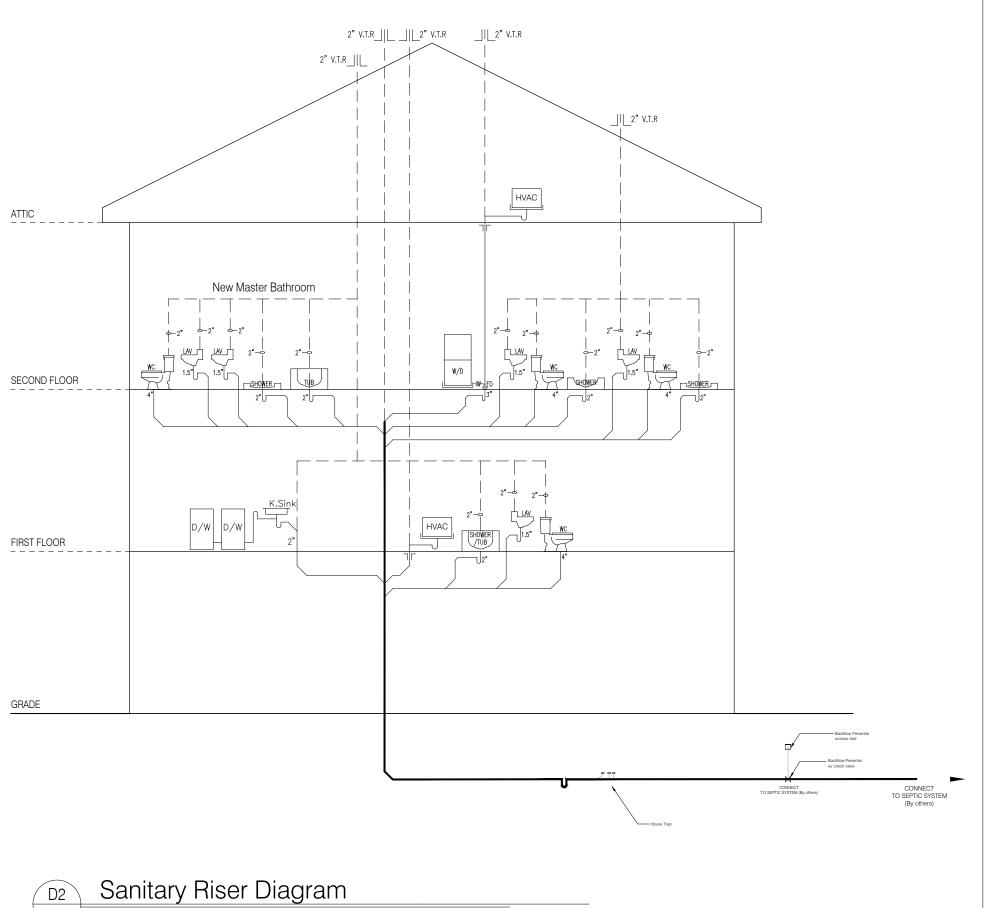
- 1. All fitting, escutcheons, faucets, traps, exposed piping, etc., shall be brass, chrome plated or nickel plated with polished finish, Contractor to verify final finish selection with Owner.
- 2. Before roughing work is started submit to the Architect complete figured drawings and cuts of each and all of the plumbing fixtures, fittings, trimmings, etc., and secure his approval before proceeding with the installation of any work - these drawings shall show accurately the locations and indicate where dimensions on architectural drawings Any defective materials or workmanship, as well as damage to the
 - 3. Provide all hangers, supports, brackets, etc., for the proper installation of the lavatories, sinks, etc., requiring support - Such supports shall be in accordance with the recommendations of the manufacturers of the fixtures and it built into partitions or wall shall be set as the wall
 - 4. All plumbing fixtures to be selected by the Owner in conjunction with the Architect. Refer to the Plumbing Fixture Schedule.

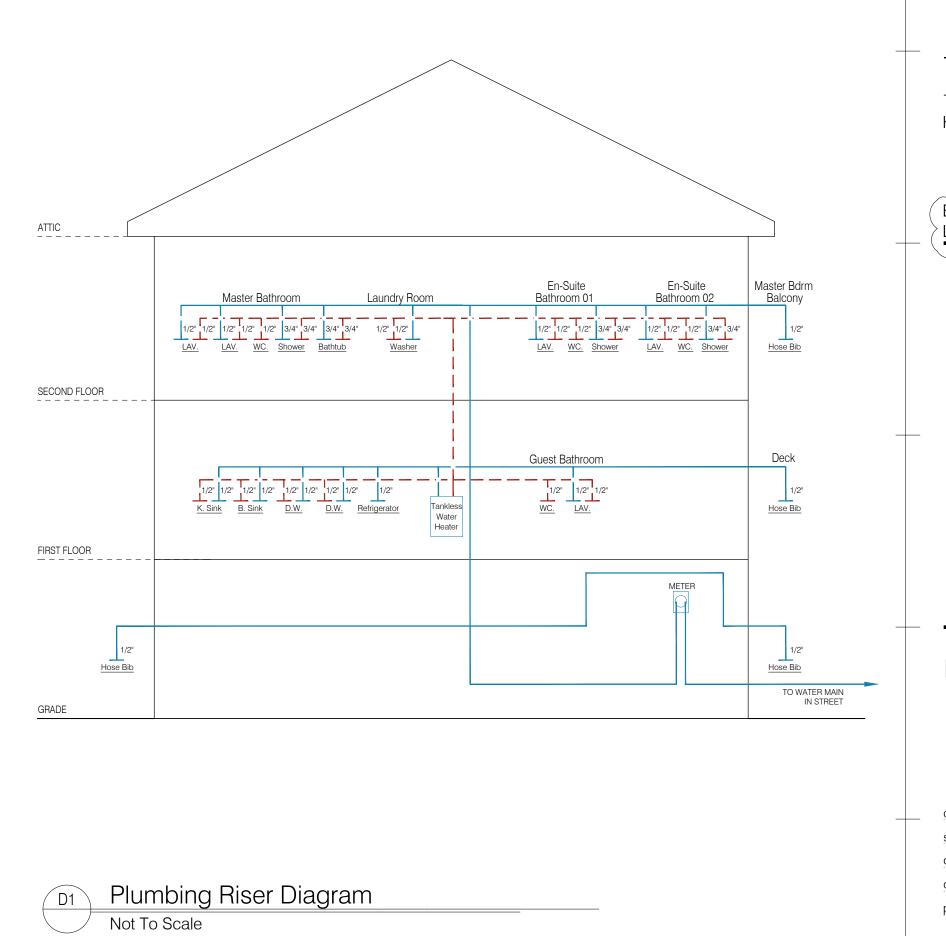




SECOND FLOOR Tank-Less Fire Place Gas Range Water Heater Gas Furnace FIRST FLOOR NEW 2" GAS SERVICE

Gas Riser Diagram





19 Gravelly PR 19 Gravelly Point Road Highlands, NJ 07732

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Block: 100 Lot: 26 C00011
n a s t a s i
11550 1550 1550 1550 1550 1550
321 newark street, hoboken, ni, 07030

Plumbing Riser Diagrams

t: 201-653-2577 f: 201-652-2577

date:	April 2, 202
scale:	as show
drawn by:	VI
checked by:	A(
phase:	BI

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