

MONMOUTH COUNTY DEVELOPMENT REVIEW COMMITTEE

HALL OF RECORDS ANNEX
ONE EAST MAIN STREET
FREEHOLD, NEW JERSEY 07728-1255
DEVELOPMENTREVIEW@CO.MONMOUTH.NJ.US
(732) 431-7460

Site Plan Action

Our File # HSP10385

This is to inform the Borough of Highlands Planning Board

that the Site Plan Application of Sea Grass NJ, LLC

known as Preliminary & Final Major Site Plan Sea Grass NJ, LLC

located in Tax Map Blocks 72, 73 Lots 12, 2

Owned by: Leonel Cervantes

Drawn by: East Point Engineering

and dated 1/23/2023, was received in this office on 2/7/2023. On 2/27/2023 the following action

was taken by the: Development Review Committee Planning Director

Request Information. No action will be taken until the items listed below are submitted.

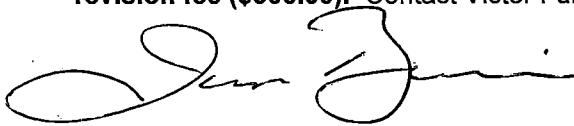
If disapproved, the reasons listed below or on the attached sheet must be rectified before approval will be given. If conditionally approved, the conditions listed below or on the attached sheet must be met before final approval will be given. This action does not release the applicant from obtaining a consistency determination pursuant to N.J.A.C. 7:8-1 et seq. (Monmouth County Areawide Water Quality Management Plan). Prior to commencing any work within the right-of-way of a county highway or before doing any work that affects a county bridge, the applicant is required to obtain a road opening permit from the Monmouth County Highway Department. A review of the location of subsurface utilities within county road rights-of-way will be conducted by the County Highway Department upon application for a road opening permit. Prior to planting or removal of trees or shrubs within or along the right-of-way of a county highway, the applicant is required to obtain a permit from the Monmouth County Shade Tree Commission.

Note: County review is made only on items covered by statutory authority.

The following items must be addressed before formal review and action by the Development Review Committee:

1. Address the comments in the memorandum prepared by Vince Cardone, dated February 23, 2023.
2. Address the comments in the memorandum prepared by Ellias Sarrinikolaou, dated February 9, 2022.
3. Address the comments in the memorandum prepared by Victorino Zabat, dated February 27, 2023.

Provide an itemized response to these comments. **Revised plans shall be accompanied by the plan revision fee (\$300.00).** Contact Victor Furmanec at (732) 431-7460 x.7467 if you have any questions.



Joseph Barris, P.P., A.I.C.P., C.F.M.
Director of Planning
For the Development Review Committee

cc: East Point Engineering
John B. Anderson III, Esq.
Mark R. Aikins, Esq.
J. Ettore; V. Cardone; R. Bragg; T. Lombardi; V. Zabat
Highway Department / Construction Official
HSP10385 1414 RI

The Board of County Commissioners of the County of Monmouth

DEPARTMENT OF PUBLIC WORKS & ENGINEERING

JOHN W. TOBIA
Director
Email: jwtoبيا@co.monmouth.nj.us



JOSEPH M. ETTORE
County Engineer
Email: engineer@co.monmouth.nj.us

**DIVISION OF ENGINEERING
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February 23, 2023

SUBDIVISION/SITE PLAN TRAFFIC REVIEW MEMORANDUM

TO: Joe Barris, PP, AICP, CFM, Director of Planning

FROM: Vincent Cardone, PE, Principal Engineer II, Traffic *VJC*

RE: HSP10385-Sea Grass, LLC
County Route 8
Block 72, Lot 12, and Block 73, Lot 2
Highlands

The following was reviewed in relation to the above noted site plan application:

- Preliminary & Final Major Site Plan, Block 72, Lot 12 & Block 73, Lot 2, Borough of Highlands, Prepared by East Point Engineering, Revised Through 1-23-23

The following comments/recommendations are made to the Development Review Committee (DRC) pursuant to the Design Standards set forth in the Monmouth County Development Regulations (MCDR):

- T1. The intended parking area for the proposed business is across CR 8 (Bay Ave). It is recommended that the DRC require a crosswalk across CR 8, including appropriate ADA ramps and pedestrian warning signs. The crosswalk should be consistent with MCDR Figure 12, and the pedestrian warning signs should be fluorescent yellow-green MUTCD signs W11-2 and W16-7pL.
- T2. Per the County Road plan, the standard right of way along CR 8 is 60 ft. The right of way as shown is 50 ft. There appears to be an existing encroachment on Block 72, Lot 12. Obtaining additional ROW consistent with the road improvement plans would increase this encroachment. However, per my conversation with Lee Klein of Klein Traffic consulting, the applicant is preparing plans to remove the existing "waiting area" in favor of an ADA ramp. Increasing the ROW at Block 73, Lot 2 would place parking spaces within County right of way. For these reasons, the DRC may wish to wave the right of way requirements outlined in the MCDR.

T3. The applicant is proposing "streetscape planters" within the right of way and also apparently within the AASHTO sight line of Sea Drift Ave. Provide a detail of the planters, and also show the AASHTO sight line on the plan.

T4. Per §5.1-2, show a sight triangle easement at CR 8 and Bay Ave.

Per my conversation with Mr. Klein, it is not likely that the new ADA ramp can be constructed while not obstructing the County's standard site triangle easement (In this case 25ft x 250 ft). Therefore, it is recommended that the DRC accept the minimum required by AASHTO (14.5 ft from edge of traveled way, 280 ft along CR 8).

T5. Label all signs along site frontage with MUTCD designation.

Please request that the applicant provide an itemized response to this memorandum. Additional recommendations or comments may be made upon submittal of additional or revised application documents. I will attend the Development Review Committee meeting on February 27, 2023 to discuss the above items with the Committee. In the interim, please contact me with questions or comments.

Attachments: (none)

- c. David Schmetterer, Assistant Director of Planning
- Victor Furmanec, Supervising Planner
- Kyle DeGroot, Assistant Planner
- Jeannine Smith, Planning Aide
- Joseph Ettore, County Engineer
- Raymond Bragg, Assistant County Engineer
- Michael Nei, Traffic Engineer
- Thomas Lombardi, Supervising Engineer
- Victorino Zabat, Principal Engineer

Monmouth County Board of County Commissioners

DEPARTMENT OF PUBLIC WORKS & ENGINEERING

JOHN W. TOBIA
Director
Email: jwtobia@co.monmouth.nj.us



Gary Fread
Superintendent
Divisions of Highway/Shade Tree
Email: Gary.Fread@co.monmouth.nj.us

250 Center Street
Freehold, New Jersey 07728
Telephone: (732) 431-6550
Fax: (732) 431-7833

MEMORANDUM

TO: Victor Furmanec, Monmouth County Division of Planning
Kyle DeGroot, Monmouth County Division of Planning

FROM: Ellias Sarrinikolaou, LLA, MCDPW&E

DATE: February 9, 2022

RE: File Number HSP10385; "Sea Grass NJ. LLC", Preliminary and Final Major Site Plan, Block 72, Lots 12 & Block 73, Lot 2, Borough of Highlands, Bay Avenue, CR 8, Monmouth County, NJ

Landscape Comments:

1. Label and indicate the County ROW line on the landscape plan.
2. The applicant is proposing 3 streetscape planters. Submit details and manufacturers catalog cuts for review. The location is proposed near the intersection of Sea Drift Avenue and CR 8, Bay Avenue. The planters' locations must be reviewed by County Engineering with regards to possible conflict and or sight line issues.

Submit additional planter information regarding:

- a. Materials of planters
- b. Anchoring of planters
- c. Size, width and height, and weight of planters
- d. Type of ornamental grasses

Additionally, the county does not typically maintain planted containers or planters in the county ROW. This feature in the streetscape will become solely the responsibility and liability of the applicant and or the municipality. Submit further information for review.

3. The applicant proposes a wall of some kind, in the County ROW, for Block 73 lot 2.
 - a. Provide detail of materials of retaining wall and its proposed construction.
 - b. Provide drainage details behind wall, and section, as well as depth of footing.
 - c. County engineering will need to review the wall with regards to permitting this structure within the ROW, and if it creates any additional sight line issues near the adjacent intersection.

4. Please label Block 73, Lot 2 clearly.
5. The applicant does not propose any street trees within the ROW, and the County does not take exception. We do offer our experience and observations with street trees on CR 8, Bay Avenue.
 - a. County has found that brackish ground water has been observed in tree pits on this roadway and ground water levels fluctuate with rain and tidal occurrences.
 - b. Even though proposed serviceberry, Amelanchier is proposed outside of the ROW, the trees, regardless of species, may be impacted by ground water.
 - c. The tree is of small stature and typically a large shrub, it height may encroach into the pedestrian sidewalk on CR8.
 - d. Please ensure that trees near and outside the ROW are clearly not installed in the County ROW.
 - e. The applicant must ensure that trees are not planted with in a dedicated utility easement.
6. Please indicate on the landscape plan the location of all overhead utilities on the County Road.
7. In accordance with the guidelines, the applicant shall indicate the average heights of all plant materials at maturity in the plant list.

The Board of Chosen Freeholders of the County of Monmouth

DEPARTMENT OF PUBLIC WORKS & ENGINEERING

JOHN W. TOBIA
Director of Public Works & Engineering
Email: jwtoبيا@co.monmouth.nj.us



JOSEPH M. ETTORE
County Engineer
Email: engineer@co.monmouth.nj.us

27 Feb., 2023

**DIVISION OF ENGINEERING
& TRAFFIC SAFETY**
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(a) MEMORANDUM

TO: Joe Barris, Director of Planning

FROM: Victorino B. Zabat, P.E., Principal Engineer

**RE: HSP 10385 – Sea Grass
County Route 8, Bay Avenue
Block 72, Lot 12, & Block 73, Lot 2
Borough of Highlands**

The following items were received by this office in connection with the above-referenced application:

1. Preliminary & Final Major Site Plan, Sea Grass NJ. LLC. Block 72, Lot 12, & Block 73, Lot 2, Borough of Highlands, Monmouth County, New Jersey, dated 21 Jan., 2023

Please request the following from the applicant and applicant's engineer, so that we can continue our review:

1. Indicate the County Route designation of Bay Avenue.
Indicate the right-of-way centerline of Bay Avenue.
2. Provide dimensions from the centerline of CR 8, Bay Avenue to:
 - a. Right of way fronting the site;
 - b. Curb line fronting the site;
 - c. Right of way and curb line opposite the site .
3. Was right-of-way for CR 8, Bay Avenue established at 30-ft. from centerline? If so, indicate the Deed Book and page on the plan. Provide the following:
 - a. Metes and bounds of the dedication;
 - b. area of dedication, in acres and sq.ft.;
 - c. grantee of dedication;
 - d. deed of dedication, with parcel description for review.

continued

3. (continued) If right-of-way was not established as above, then provide right-of-way dedication to 40-ft. from centerline of for CR 23, Jackson Mills Road. Provide information requested in comments 3.a-3.c above. Provide a deed of dedication, with parcel description for review.
4. Indicate how storm runoff will be addressed.
5. Indicate limit of asphalt and gravel parking areas.
6. Plans indicate a wall within the right-of-way of CR 8, Bay Avenue, fronting the parking area. Street photographs indicate that this wall exists. This is not acceptable.
 - a. Linework for the wall on the plans suggests that this wall is proposed. Revise as necessary, indicate intervening paths between segments of the existing wall;
 - b. Eliminate this wall from the right-of-way of CR 8, Bay Avenue.
 - c. If this wall will be rebuilt outside the right-of-way of CR 8, Bay Avenue, provide minimum one (1) ft. clear distance from the right-of-way to any underground, ground-level or above ground element of the wall. Provide corresponding dimension. Place similar language on the site plan and the grading plan.
7. Provide a cross-section of the wall, perpendicular to the right-of-way of CR 8, Bay Avenue, at 1-in. = 30-ft. horizontal scale and 1=ft. vertical scale, or greater. Indicate underground, ground-level and above ground elements of the wall. Place dimension from the nearest element of the wall to the right-of-way of CR 8, Bay Avenue, Place language regarding location of the wall behind the right-of-way. Refer to comment 6.c above.
7. The accessible path was indicated crossing CR 8, Bay Avenue. Plans and street photos did not indicate a crosswalk.
 - a. Provide a crosswalk for the accessible path, using thermoplastic stripes;
 - b. Provide ADA ramps at both ends of the crosswalk, i.e. fronting Lot 12 and Lot 2;
 - c. Indicate detectable warning surfaces (DWS) at both ends of the crosswalk, directional to the crosswalk.
8. Provide grading details for the ADA ramps, at scale 1-in. = 6-ft. or greater. Provide the following information:
 - a. Provide spot elevations at top and bottom of all existing and proposed curb ramps; at corners of detectable warning surfaces, and associated landing / maneuvering areas; at corners of all transition areas, and at corners of ramp flares, as indicated on Attachment 1;
 - b. Indicate clearly that all changes in longitudinal / running slope are perpendicular to the direction of the associated sidewalk and that all cross-slopes are at maximum 2%, as indicated in Attachment 2;
 - c. Indicate clearly that all detectable warning surfaces are located at the lower end of each curb ramp, as indicated on Attachment 3;
 1. Indicate clearly that the lower edge of each detectable warning surface is 6-in – 8-in. from the face of curb, or adjacent to the back of curb, as shown on Attachment 3A;

continued

To: Joe Barris, Director of Planning
From: Victorino B. Zabat, Principal Engineer

Page: 3 of 3
RE: HSP 10385

- 8.d. Provide computations to verify that all longitudinal / running slopes are at maximum 8.33% (1V:12H) and that all cross slopes are at maximum 2% at locations indicated on Attachment 4. Use design slopes of 7.0% and 1.5% respectively, to allow for construction tolerances;
- e. Indicate clearly that curb ramps within the right-of-way of C.R. 8, Bay Avenue., are aligned with crosswalks, as indicated in Attachment 5;
- f. If curb ramps are not aligned with crosswalks, provide 4-ft. x 4-ft. Turning Area with maximum 2% slope, as indicated in Attachment 6;

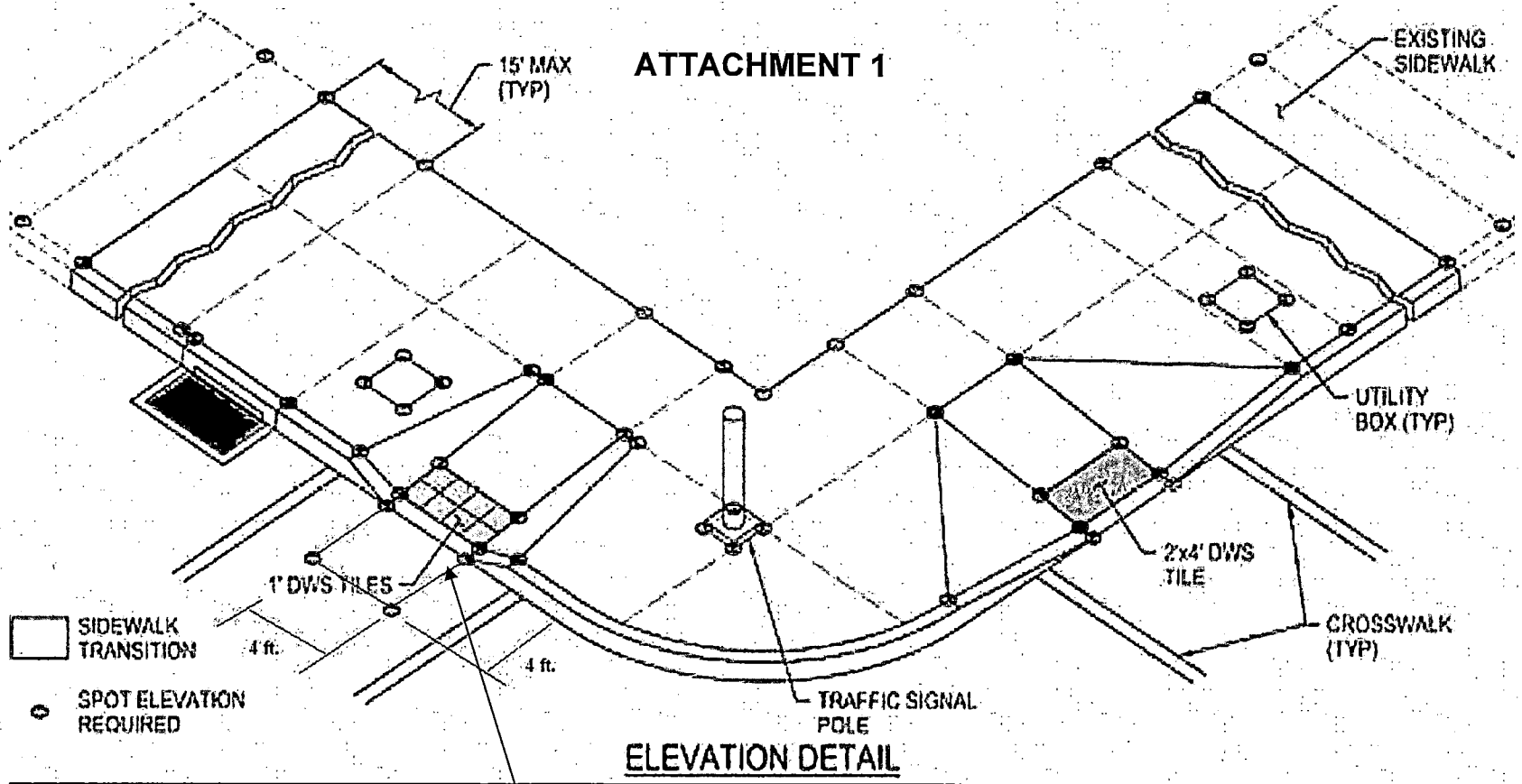
Incorporate the attached curb cradle detail into the detail sheet(s).

Please request the applicant and the engineer to provide an itemized response to these comments.

Please advise the applicant that responses to this Request for Information may result in additional requests and / or conditions on the application.

- c. Joseph M. Ettore, County Engineer
Raymond W. Bragg, Assistant County Engineer
Tom Lombardi, Supervising Engineer
Vince Cardone, Principal Engineer II
Dave Schmetterer, Asst. Planning Director
Victor Furmanec, Principal Planner
Kyle DeGroot, Assistant Planner
Jeannine Smith, Planning Aide
File

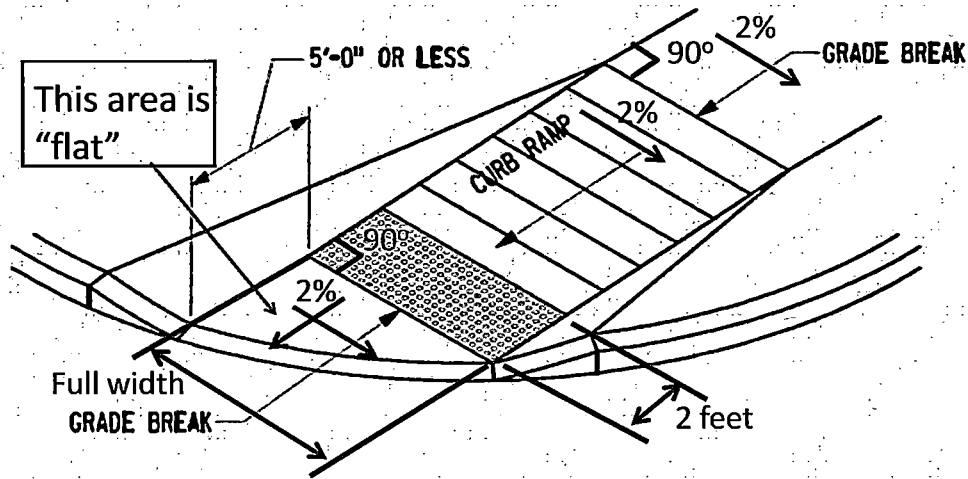
ATTACHMENT 1



IF RAMP IS NOT DIRECTIONAL, MUST PROVIDE 4-ft. x 4-ft. TURNING AREA ON PAVEMENT, AT MAX. 2% SLOPE IN BOTH DIRECTIONS. SEE ATTACHMENT 2

ATTACHMENT 2

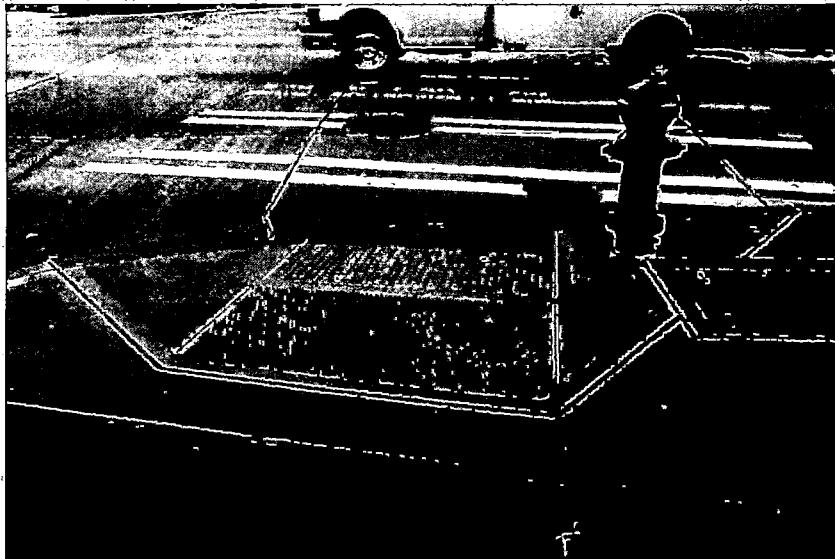
**Detectable Warning Surface
DWS Placement**



- Grade breaks perpendicular to direction of travel
- DWS place full width of curb ramp

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**Detectable Warning Surface
DWS Placement**

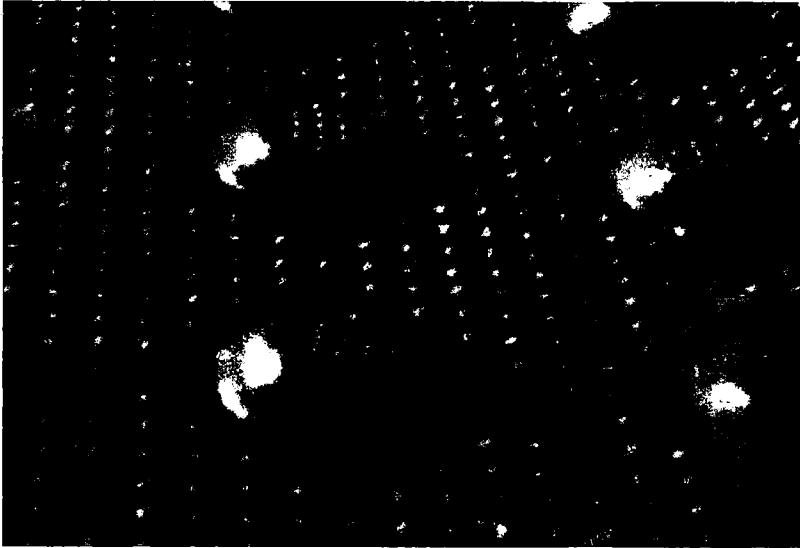


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Basic ADA Requirements

Detectable Warning Surface (DWS)

ATTACHMENT 3



Raised truncated domes in a rectangular array.

Where do you place them?

Placed across the bottom of the curb ramp. Full width of ramp

What exactly do they do?

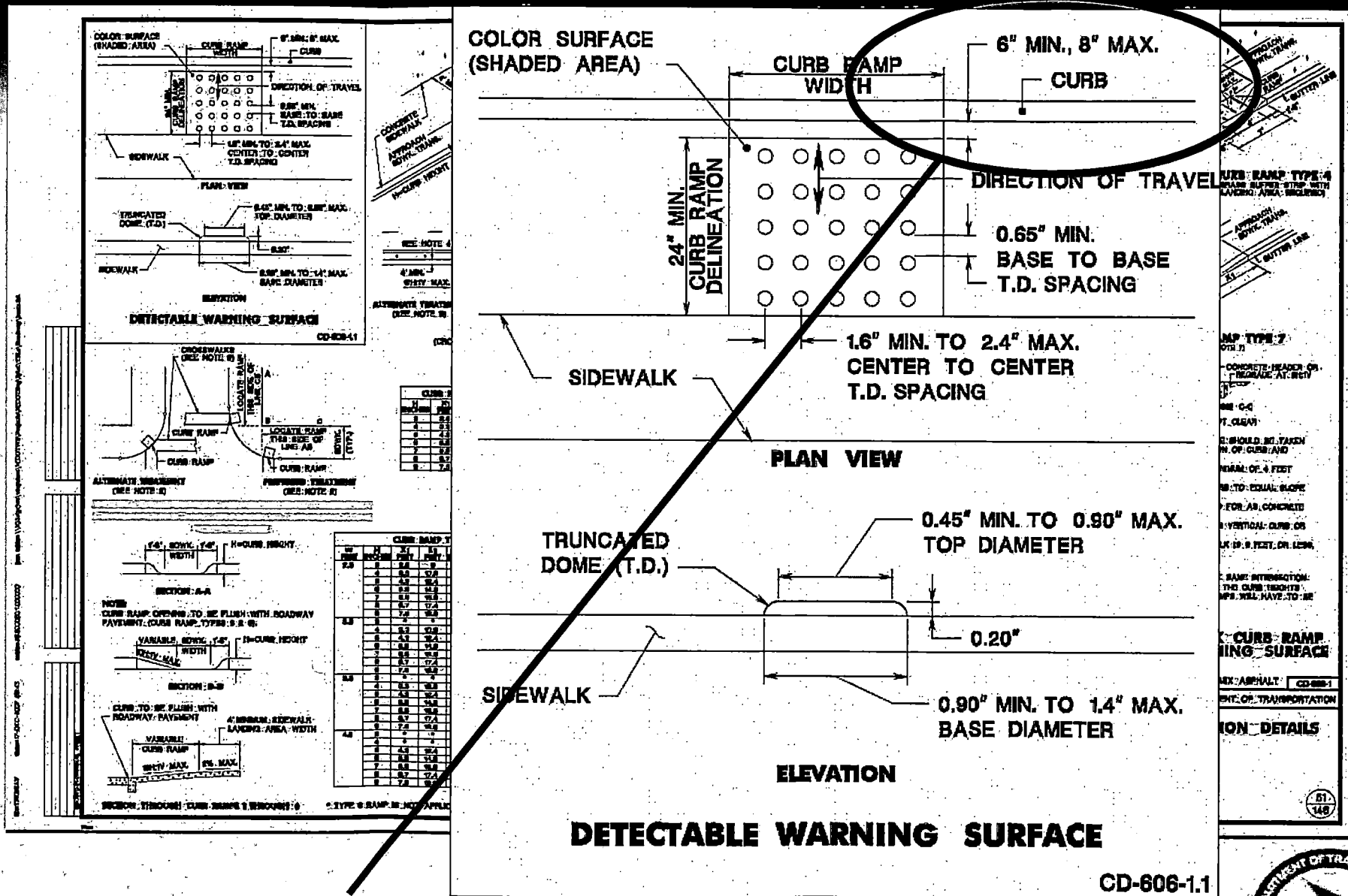
Aid those visually impaired to identify the end of the ramp.

DWS = Stop

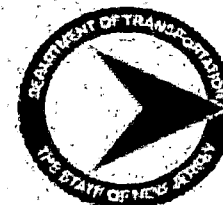


ADA Standards

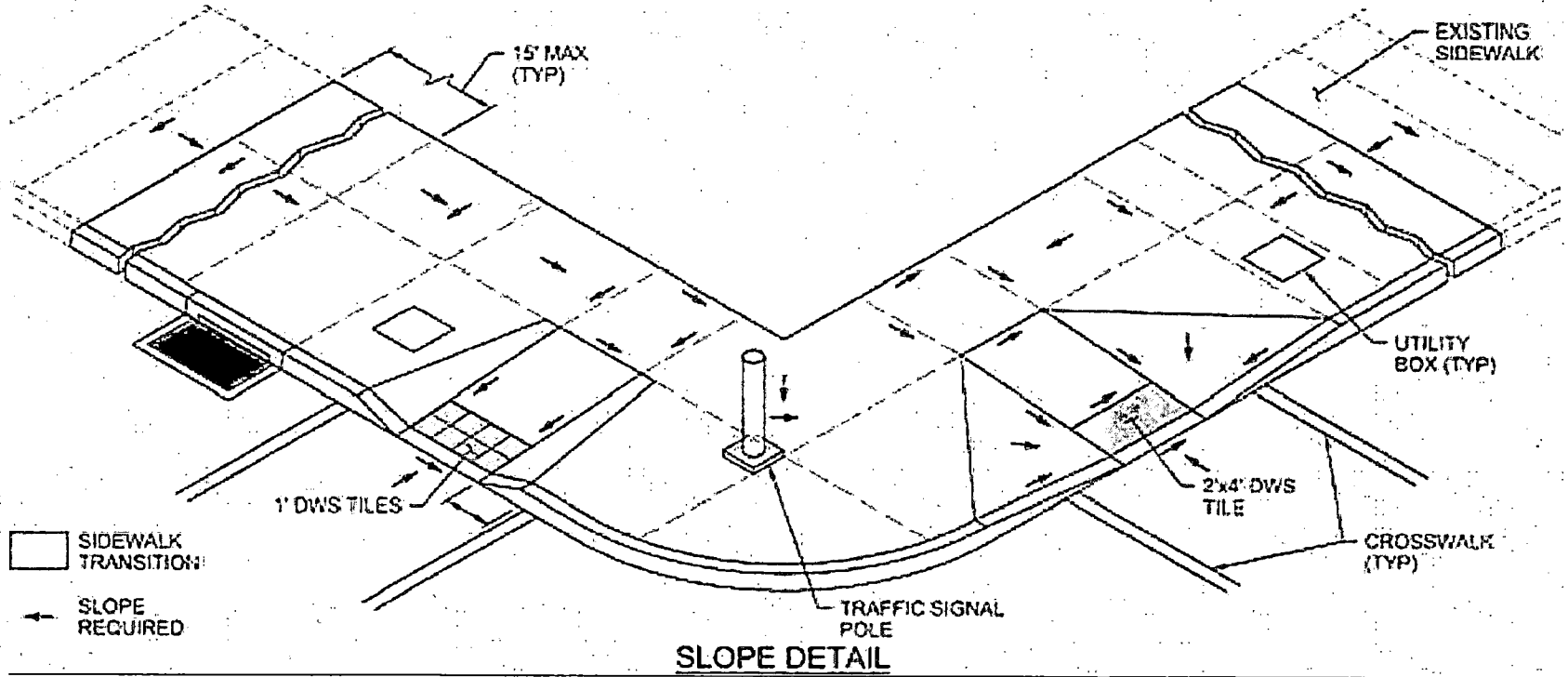
ATTACHMENT 3A



Should be placed at back of curb or 6" to 8" from front face of curb



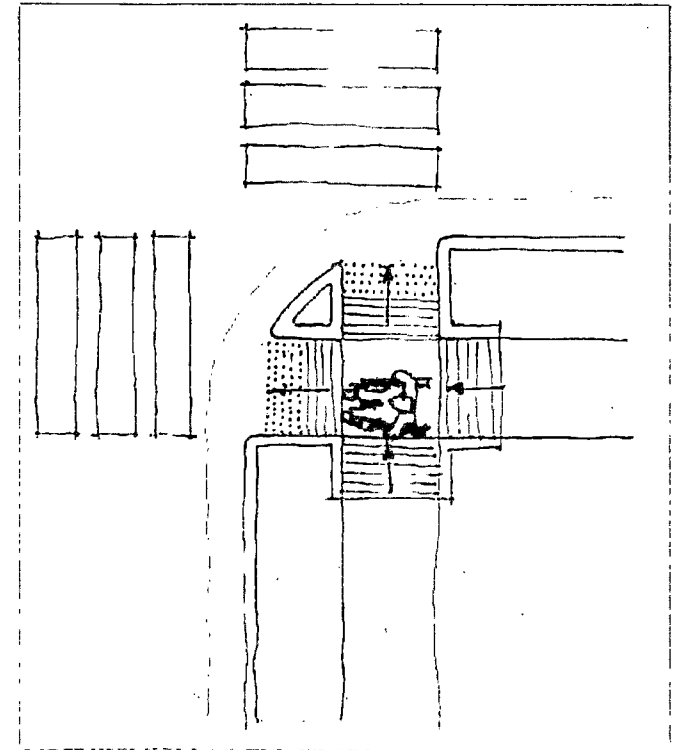
ATTACHMENT 4



Ramp Alignment

ATTACHMENT 5

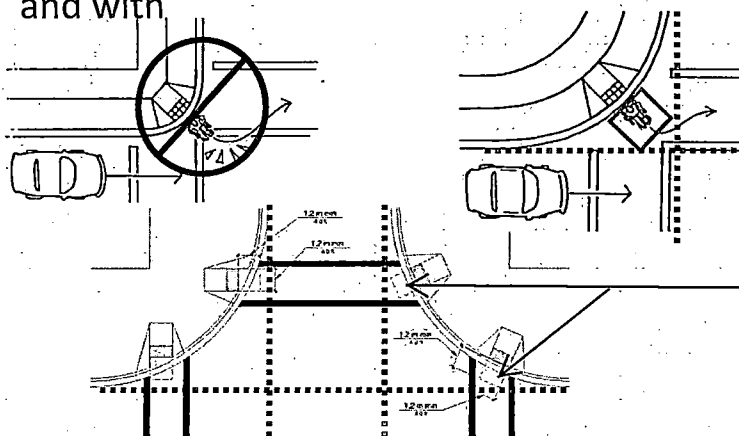
Ramps must aligned with crosswalks help wheelchair users orient themselves to cross the street



ATTACHMENT 6

Bottom Clear Space

Curb ramps shall also have clear space at the bottom of ramp that is level (2% max), and wholly outside of vehicle travel lanes and with

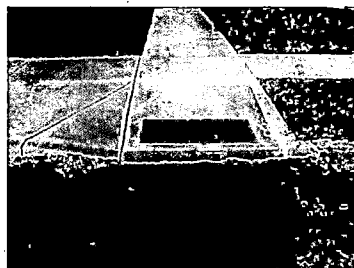
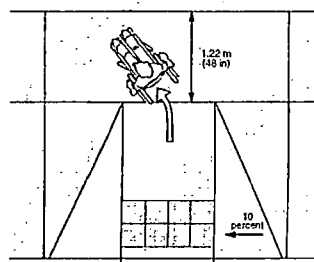


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IF RAMP IS NOT DIRECTIONAL, MUST PROVIDE 4-ft x 4-ft TURNING AREA WITH MAX. 2% SLOPE IN ALL DIRECTIONS, OUTSIDE VEHICLE TRAVEL LANES, WITHIN CROSSWALK LINES.

Flares

- Not part of the accessible route
- Flares should be used on all curbside sidewalks
- Flare slope: 10% (1:10) max. (ADAAG 4.7.5/PROWAG)
- If landing is less than 48", flare slope 8.33% (1:12) max (consider parallel ramp first)



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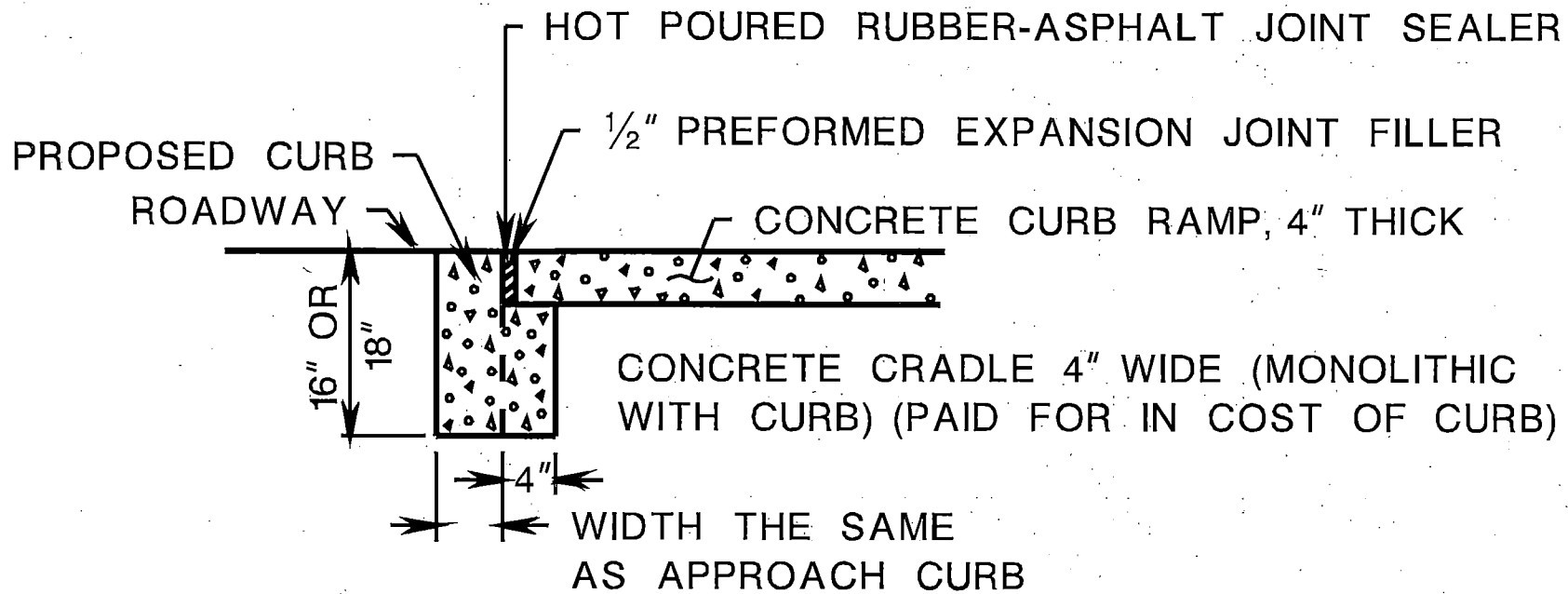
Median Openings

ATTACHMENT 7



NJDOT Pedestrian Compatible Planning and Design Guidelines state if a street is wider than 60 feet then a pedestrian refuge should be provided so that people can find openings in traffic from only one direction, and have a place to wait for an opening in the other direction. MUTCD requires a walking speed of 3.5 ft./sec





DROPPED CURB AND CRADLE

CURB RAMPS

YPE 2.

