



# Zoning Board of Appeals Staff Report



**TO:** Zoning Board of Appeals  
(ZBA)

**FROM:** Amy Steffens, AICP

**HEARING  
DATE:** April 12, 2023

**SUBJECT:** ZBA 23-005

**PROJECT  
SITE:** 4363 Old Mill Road  
TID 15-16-301-026

**OWNER:** William and Jennifer Griffin

**PROJECT:** Variance application to permit the construction of a covered porch with a 45-foot setback from the ordinary high water mark of Ibis Lake (50-foot setback required, Section 36-186).

**ZONING:** RA single family residential

## **Project Description**

The subject site is a 0.39-acre parcel that fronts onto Old Mill to the east and Ibis Lake to the west; single-family dwellings are located to the north, east, and south. The site is improved with a 2,212-square foot dwelling and a 340-square foot deck in the west rear yard.

If approved, the variance would permit the construction of a covered porch with a 45-foot setback from the ordinary high water mark of Ibis Lake (50-foot setback required, Section 36-186).

## **Standards of Review**

In accordance with Section 36-137 of the Hamburg Township Zoning Ordinance, the ZBA's decision on this matter is to be based on findings of fact to support the standards provided below. The applicable discretionary standards are listed below in **bold typeface**, followed by Staff's analysis of the request as it relates to these standards. A variance may be granted only if the ZBA finds that all of the following standards are met:

- 1. That there are exceptional or extraordinary circumstances or conditions applicable to the property involved that do not apply generally to other properties in the same district or zone.**

The 50-foot setback from the ordinary high water mark of a waterbody is a requirement that applies to all properties in Hamburg Township, and thus would apply to every parcel with frontage on Ibis Lake. However, the subject site is marked by a curved shoreline on an in-land lake of approximately 5.4 acres in size. The dwellings to the north and south have approximate setbacks from the lake of 70 and 80 feet; subject site has an approximate setback of 75 feet. While staff would be concerned about the impact of a reduced setback of a covered structure in the 50-foot setback the curvilinear shoreline would help to mitigate the visual impact of the proposed covered porch.

- 2. That such variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the same zone and vicinity. The possibility of increased financial return shall not be deemed sufficient to warrant a variance.**

While granting this variance request is not necessary for the preservation and enjoyment of a substantial property right, as a smaller structure could be built on the subject site, staff believes that the approximate 45 square feet of covered porch in the setback is negligible and would not be an unacceptable deviation from the ordinance.

- 3. That the granting of such variance or modification will not be materially detrimental to the public welfare or materially injurious to the property or improvements in such zone or district in which the property is located.**

See analysis under standard number one.

- 4. That the granting of such variance will not adversely affect the purpose or objectives of the master plan of the Township.**

One of the goals of the 2020 master plan is to "Protect, preserve, and enhance whenever possible the unique and desirable natural amenities of Hamburg Township" the Master Plan discusses preserving and maintaining the existing character of parcels along lakes. The required setback regulations are designed to help maintain the character for the area.

- 5. That the condition or situation of the specific piece of property, or the intended use of said property, for which the variance is sought, is not of so general or recurrent a nature.**

The condition or situation of the specific piece of property is of a general and recurrent nature. Accessory structure setback requirements have previously been relaxed by zoning text amendments. The setback from the OHM applies to all parcels in the township and serves to protect aesthetic views from both adjacent parcels and the water.

**6. Granting the variance shall not permit the establishment with a district of any use which is not permitted by right within the district.**

The site is zoned for single-family dwellings and related appurtenances. Approval of the variance request would not permit the establishment of a use not permitted by right within the district.

**7. The requested variance is the minimum necessary to permit reasonable use of the land.**

The site is developed and used for its intended purpose as single-family residential. A covered porch that does not comply with the setback requirements of the zoning ordinance would not advance the reasonable use of the property.

*“Practical difficulty” exists on the subject site when the strict compliance with the Zoning Ordinance standards would render conformity unnecessarily burdensome (such as exceptional narrowness, shallowness, shape of area, presence of floodplain or wetlands, exceptional topographic conditions).*

**Recommendation**

Staff recommends denial of the variance request considering a thorough review and discussion among ZBA members.

Staff recommends the ZBA open the public hearing, take testimony, close the public hearing, evaluate the proposal for conformance with the applicable regulations, and deny or approve the application. In the motion to deny or approve the project, the ZBA should incorporate the ZBA’s discussion and analysis of the project and the findings in the staff report.

**Approval Motion**

Motion to approve variance application ZBA 23-005 at 4363 Old Mill Road (TID 15-16-301-026) to permit the construction of a covered porch with a 45-foot setback from the ordinary high water mark of Ibis Lake (50-foot setback required, Section 36-186).

The variance meets variance standards one (1) through seven (7) of Section 36-137 of the Hamburg Township Zoning Ordinance, and a practical difficulty exists on the subject site when strict compliance with the Zoning Ordinance standards is applied, as discussed at the meeting this evening and as presented in the staff report. The Board directs Staff to prepare a memorialization of the ZBA’s findings for the request.

**Denial Motion**

Motion to deny variance application ZBA 23-005 at 4363 Old Mill Road (TID 15-16-301-026) to permit the construction of a covered porch with a 45-foot setback from the ordinary high water mark of Ibis Lake (50-foot setback required, Section 36-186).

The variances do not meet variance standards four (4), five (5), or seven (7) of Section 36-137 of the Hamburg Township Zoning Ordinance, and no practical difficulty exists on the subject site when strict compliance with the Zoning Ordinance standards is applied, as discussed at the meeting this evening and as presented in this staff report.

ZBA Case Number 23-0005



FAX 810-231-4295  
PHONE 810-231-1000

P.O. Box 157  
10405 Merrill Road  
Hamburg, Michigan 48139

**APPLICATION FOR A ZONING BOARD OF APPEALS (ZBA)  
VARIANCE/INTERPRETATION  
(FEE \$500 plus \$50 each additional)**

1. Date Filed: 3/10/2023
2. Tax ID #: 15-16-301-026 Subdivision: Old Mills Hills Lot No.: 52
3. Address of Subject Property: 4363 Old Mill Rd Penckney MI 48161
4. Property Owner: Bill Griffin Phone: (H) 248-514-7841  
 Email Address: bgriffin793@gmail.com (W) \_\_\_\_\_  
 Street: 4363 Old Mill Rd City Penckney State MI
5. Appellant (If different than owner): All Home Services <sup>Mike</sup> Berean Phone: (H) 734-244-6247  
 E-mail Address: allhome.services.06@gmail.com (W) \_\_\_\_\_  
 Street: 1273 Euler Rd City Brighton State MI
6. Year Property was Acquired: \_\_\_\_\_ Zoning District: \_\_\_\_\_ Flood Plain \_\_\_\_\_
7. Size of Lot: Front 133 Rear 70 Side 1 174 Side 2 154 Sq. Ft. \_\_\_\_\_
11. Dimensions of Existing Structure (s) 1st Floor \_\_\_\_\_ 2nd Floor \_\_\_\_\_ Garage \_\_\_\_\_
12. Dimensions of Proposed Structure (s) 1st Floor \_\_\_\_\_ 2nd Floor \_\_\_\_\_ Garage 22x24 + 12x24  
 (22x36 Footprint) Covered porch
13. Present Use of Property: Home Residence
14. Percentage of Existing Structure (s) to be demolished, if any 0 %
15. Has there been any past variances on this property? Yes \_\_\_\_\_ No \_\_\_\_\_
16. If so, state case # and resolution of variance application \_\_\_\_\_
17. Please indicate the type of variance or zoning ordinance interpretation requested:  
We would ask for a 10' variance of the 50' lake setback.  
The SOB was designed and built in 1993 w/a 25' set back.  
Approval of variance would still leave a 40' set back
18. Please explain how the project meets each of the following standards:

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- a) That there are exceptional or extraordinary circumstances or conditions applicable to the property involved that do not apply generally to other properties in the same district or zone.

Sub was built and designed for a 25' set back which 2 homes (1 north + 1 south) of project have 23' or less to residence.

- b) That such variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the same zone and vicinity. The possibility of increased financial return shall not be deemed sufficient to warrant a variance.

Would allow for a covered porch as close to lake as possible. Actual measurement from proposed new building has one corner of structure at 45' from high water mark

- c) That the granting of such variance or modification will not be materially detrimental to the public welfare or materially injurious to the property or improvements in such zone or district in which the property is located.

Will not inhibit any other property owners as neighbors are already within 25' of lake high water mark w/residences

- d) That the granting of such variance will not adversely affect the purpose or objectives of the master plan of the Township.

granting variance will not adversely affect master plan as sub was built and designed w 25' set back originally.

- e) That the condition or situation of the specific piece of property, or the intended use of said property, for which the variance is sought, is not of so general or recurrent a nature.

Home was built based on 25' set back, and the curvature of the lake impedes a straight line set back

- f) Granting the variance shall not permit the establishment with a district of any use which is not permitted by right within the district.

No

- g) The requested variance is the minimum necessary to permit reasonable use of the land.

yes to give equitable use to this property owner that his neighbors already enjoy.

- I hereby certify that I am the owner of the subject property or have been authorized to act on behalf of the owner(s) and that all of the statements and attachments are true and correct to the best of my knowledge and belief.
- I acknowledge that approval of a variance only grants that which was presented to the ZBA.
- I acknowledge that I have reviewed the Hamburg Township Zoning Ordinance, the ZBA Application and the ZBA Checklist and have submitted all of the required information.
- I acknowledge that filing of this application grants access to the Township to conduct onsite investigation of the property in order to review this application.
- I understand that the house or property must be marked with the street address clearly visible from the roadway.
- I understand that there will be a public hearing on this item and that either the property owner or appellants shall be in attendance at that hearing.
- I understand that a Land Use Permit is required prior to construction if a variance is granted.

• I understand that any order of the ZBA permitting the erection alteration of a building will be void after one (1) year (12 months), unless a valid building permit is obtained and the project is started and proceeds to completion (See Sec. 6.8 of the Township Zoning Ordinance).

\_\_\_\_\_  
Owner's Signature

\_\_\_\_\_  
Date



\_\_\_\_\_  
Appellant's Signature

3/10/23

\_\_\_\_\_  
Date

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Hamburg Township  
Planning and Zoning Department

**VARIANCE (ZBA) APPLICATION CHECKLIST:**

Eight (8) sets of plans must be submitted. The sets are for the individual use of the Zoning Board members and for the Township's records. None will be returned to you. The Land Use Permit will not be released until three (3) final construction blueprints and three (3) copies of your site plan are submitted which have been prepared according to the variances granted and conditions imposed at the appeals meeting.

**Zoning Board of Appeals Application Form**

**Site (plot) Plan with the following information:**

- Location and width of road(s) and jurisdiction (public or private road).
- Location and dimensions of existing/proposed construction.
- Dimensions, designation, and heights of existing structures on property clearly marked.
- Dimensions of property (lot lines).
- Location and dimensions of required setbacks.
- Measurement from each side of existing and proposed structure to the property lines.
- All easements.
- Any bodies of water (lake, stream, river, or canal) with water body name.
- Distance proposed structure and existing structures are from any body of water.
- Septic tank and field, sewer (grinder pump), and water well.
- All areas requiring variances clearly marked with dimensions and amount of variance requested.
- Any outstanding topographic features that should be considered (hills, drop-offs, trees, boulders, etc.)
- Any other information which you may feel is pertinent to your appeal.
- If the variance is to a setback requirement a licensed professional stamp shall be on the site plan.

**Preliminary sketch plans:**

a) Elevation plans:

- Existing and proposed grade
- Finished floor elevations
- Plate height
- Building height
- Roof pitch

b) Floor plans:

- Dimension of exterior walls
- Label rooms
- Clearly identify work to be done
- Location of floor above and floor below

c) All other plans you may need to depict the variance you're requesting (surveys, grading plans, drainage plans, elevation certificates, topographical surveys, etc.)

**Proof of Ownership:** Include one of the following:

- a) Warranty Deed – showing title transaction bearing Livingston County Register of Deeds stamps, OR
- b) Notarized letter of authorization from seller of property giving the purchaser authorization to sign a Land Use Permit.

## VARIANCE PROCESS:

### Once a project is submitted:

The Zoning Administrator will review your submittal to make sure you have submitted a complete set of project plans (1 week if complete).

### Once the project has been deemed complete by the Zoning Administrator:

The project will be scheduled for a Zoning Board of Appeals (ZBA) hearing. ZBA hearings are held the second Wednesday of each month. Your project will need to be deemed complete by the Zoning Administrator a minimum of three (3) weeks prior to a hearing in order to be scheduled for that hearing.

### Once the project has been scheduled for a ZBA hearing:

All property owners within a three hundred (300) foot radius of the subject property shall be notified if the date and time of the public hearing on your variance request and the basic nature of your proposed project and variances being requested, and the owner's name and address of the subject property. Notices will be sent on or before fifteen (15) days prior to the date of the hearing.

A public hearing notice stating all appeals for a given date will be published in the Tuesday edition of the Livingston County Daily Press & Argus fifteen (15) days prior to the date of the hearing.

### At the ZBA meeting/hearing:

- You and/or your representative (Lawyer, builder, contractor, relative, friend, etc.) must attend.
- Variance requests/appeals are taken in order of submission.
- Unless your variance request/appeal is tabled due to lack of information, insufficiency of drawings, etc., you will know the disposition of the appeal at the meeting before you leave.
- *No Land Use Permits will be available for pick up on the night of the meeting, so please do not ask the Zoning Administrator for them that night. You may bring the requirements for the Land Use Permit to the Township Zoning Department on the next business day.*
- In the event that the Zoning Board of Appeals **does not grant** your variance request there will be **no refund** of the filing fee, as it pays for administration costs, the member's reviewing and meeting time, and noticing costs in the newspaper and for postage.
- Rehearing requests may be charged \$200.00 for postage and newspaper costs in addition to the original \$500.00 charge, at the discretion of the Zoning Board of Appeals.

### Once the project has been approved:

You will need to submit a completed Land Use Permit, three (3) sets of your final construction plans and three (3) copies of your site plan from which your project will actually be constructed, before your Land Use Permit will be released. If the Board has made special conditions, they must be met before your Land Use Permit will be released.

### If the project is denied:

Section 6.8 (C) of the Hamburg Township Zoning Ordinance states that a one (1) year period must elapse before a rehearing of the appeal "except on grounds of newly-discovered evidence or proof of changed conditions found upon inspection of the Zoning Board of Appeals to be valid."

Section 6.8 (E) of the Zoning Ordinance governs appeals to Circuit Court. If you desire to appeal the decision of the Zoning Board of Appeals, you need to contact your attorney for filing appeals to Circuit Court.

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Planning and Zoning Department

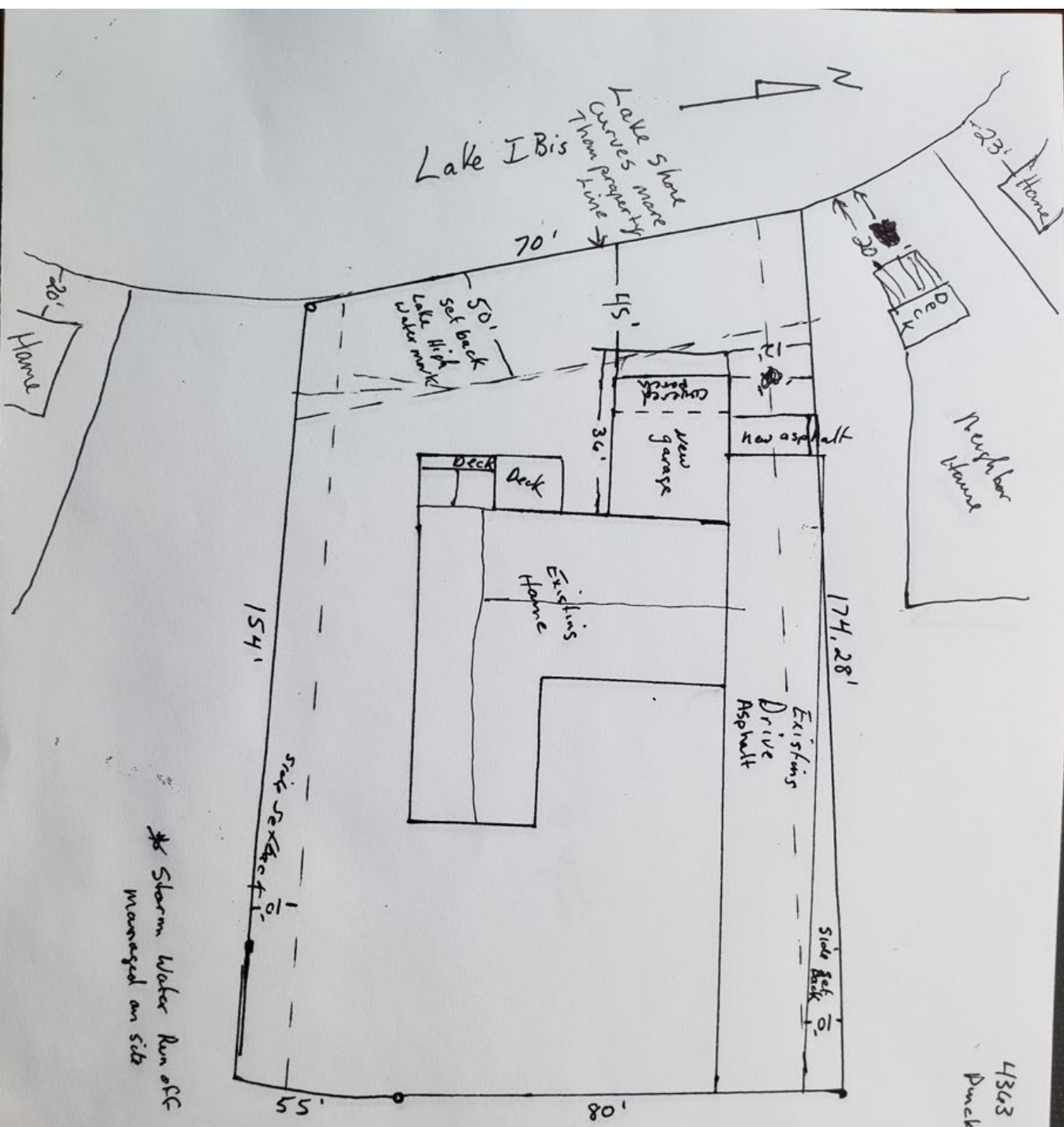


## **VARIANCE STANDARDS:**

**Variance:** (*definition*) A modification of the literal provisions of the zoning ordinance granted when strict enforcement would cause undue hardship due to circumstances unique to the individual property for which the variance is granted.

### ***Section 6.5 (C) & (D) of the Township Zoning Ordinance:***

- A. Where, owing to special conditions, a literal enforcement of the provisions of this Zoning Ordinance would involve practical difficulties, the Zoning Board of Appeals shall have power upon appeal in specific cases to authorize such variation or modification of the provisions of this Zoning Ordinance with such conditions and safeguards as it may determine, as may be in harmony with the spirit of this Zoning Ordinance and so that public safety and welfare be secured and substantial justice done. No such variance or modification of the provisions of this Zoning Ordinance shall be granted unless it appears that, at a minimum, the applicant has proven a practical difficulty and that all the following facts and conditions exist:
1. **That there are exceptional or extraordinary circumstances or conditions applicable to the property involved that do not apply generally to other properties in the same district or zone.**
  2. **That such variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the same zone and vicinity. The possibility of increased financial return shall not be deemed sufficient to warrant a variance.**
  3. **That the granting of such variance or modification will not be materially detrimental to the public welfare or materially injurious to the property or improvements in such zone or district in which the property is located.**
  4. **That the granting of such variance will not adversely affect the purpose or objectives of the master plan of the Township.**
  5. **That the condition or situation of the specific piece of property, or the intended use of said property, for which the variance is sought, is not of so general or recurrent a nature.**
  6. **Granting the variance shall not permit the establishment with a district of any use which is not permitted by right within the district.**
  7. **The requested variance is the minimum necessary to permit reasonable use of the land.**
- B. For the purpose of the above, a “practical difficulty” exists on the subject land when the strict compliance with the Zoning Ordinance standards would render conformity unnecessarily burdensome (such as exceptional narrowness, shallowness, shape of area, presence of floodplain or wetlands, exceptional topographic conditions), and the applicant has proven all of the standards set forth in Section 6.5 (C) (1) through (7). Demonstration of practical difficulty shall focus on the subject property or use of the subject property, and not on the applicant personally.
- C. In consideration of all appeals and all proposed variations to this Zoning Ordinance, the Zoning Board of Appeals shall, before making any variations from this Zoning Ordinance in a specific case, determine that the standards set forth above have been met, and that the proposed variation will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property values within the surrounding area, or in any other respect impair the public health, safety, or welfare of the inhabitants of the Township.



Old Mill Rd

\* Storm Water Run off  
Managed on site

4363 Old Mill Rd  
Punckney ME 48169



**TABLE R404.1.2(1)**  
MINIMUM HORIZONTAL REINFORCEMENT FOR CONCRETE BASEMENT WALLS<sup>a</sup>

MAXIMUM UNSUPPORTED HEIGHT OF BASEMENT WALL (feet)	LOCATION OF HORIZONTAL REINFORCEMENT
≤ 8	One N. 4 bar within 12 inches of the top of the wall story and one No. 4 bar near mid-height of the wall story
> 8	One N. 4 bar within 12 inches of the top of the wall story and one No. 4 bar near third points in the wall story

For 5: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound per square inch = 6.895 kPa.  
 a. Horizontal reinforcement requirements are for reinforcing bars with a minimum yield strength of 60,000 psi and concrete with a minimum concrete compressive strength of 2,000 psi.  
 b. See Section R404.1.2.2 for minimum reinforcement required for foundation walls supporting above-grade concrete walls.

**TABLE R404.1.2(1B)**  
MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10-, 12 INCH NOMINAL FLAT CONCRETE BASEMENT WALLS<sup>a,b,c,d</sup>

MAXIMUM WALL HEIGHT (feet)	MINIMUM VERTICAL REINFORCEMENT - BAR SIZE AND SPACING (INCHES)		MINIMUM NOMINAL WALL THICKNESS (INCHES)		SC, MC, CL and Inorganic CL	
	GW, GP, SW, SP	45	30	45	40	60
5	NR	NR	NR	NR	NR	NR
6	NR	NR	NR	NR	NR	NR
7	NR	NR	NR	NR	NR	NR
8	NR	NR	NR	NR	NR	NR
9	NR	NR	NR	NR	NR	NR
10	NR	NR	NR	NR	NR	NR

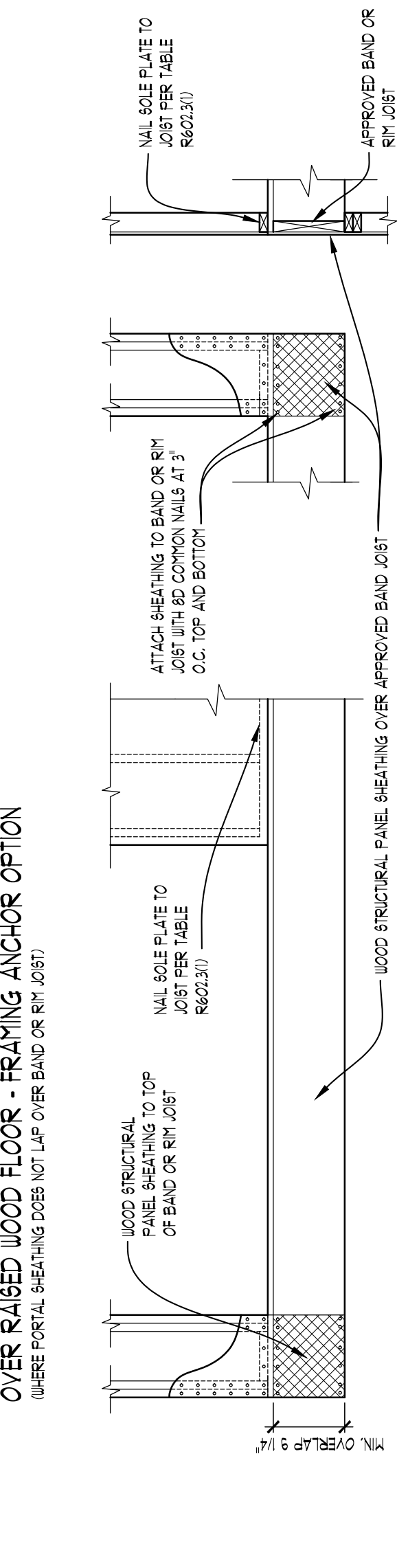
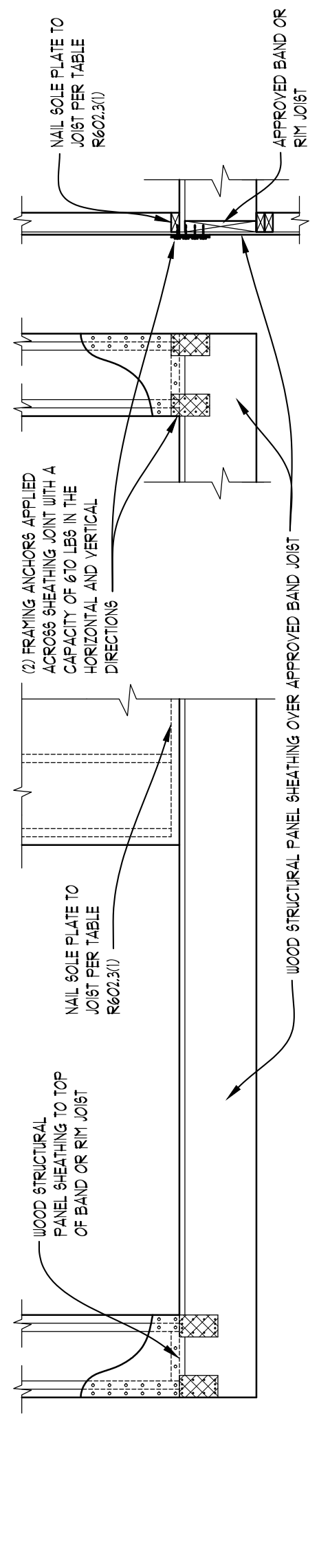
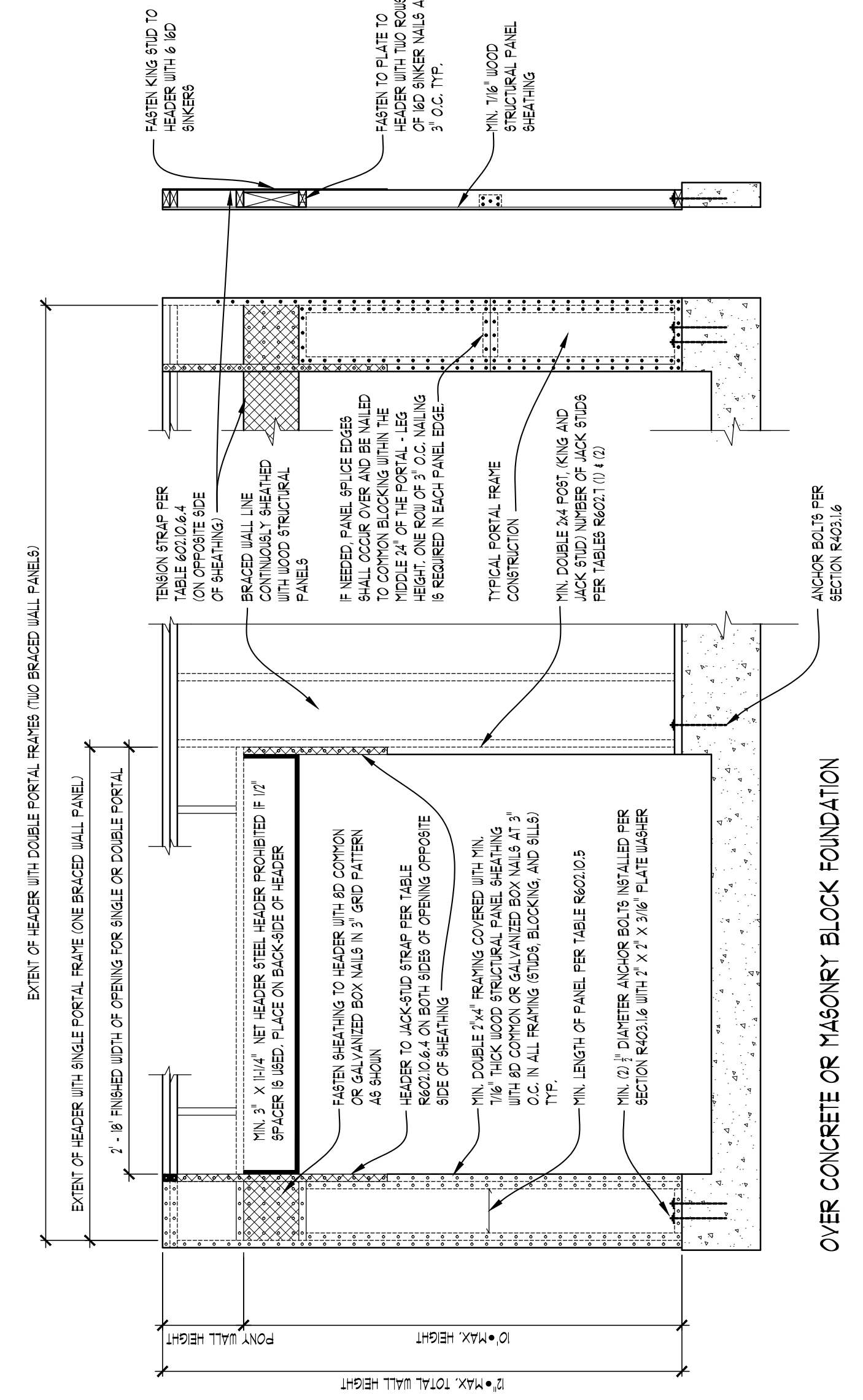
Soil classes<sup>e</sup> and design lateral soil (per foot of depth):  
 GW, GP, SW, SP: Soil classes GW, GP, SW, SP  
 30: Minimum nominal wall thickness (inches)  
 45: Minimum nominal wall thickness (inches)  
 SC, MC, CL and Inorganic CL: Soil classes SC, MC, CL and Inorganic CL

For 5: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound per square inch = 6.895 kPa, 1 psi = 6.895 kPa.  
 a. Vertical reinforcement with a cross-section length of less than 48 inches shall be provided in accordance with Section R404.1.2.2.  
 b. Table values are based on reinforcing bars with a minimum yield strength of 60,000 psi.  
 c. NR indicates no vertical reinforcement is required, except for 4-inch nominal walls formed with stay-in-place forming systems in which case vertical reinforcement shall be provided.  
 d. Allowable deflection criterion is L/240, where L is the unsupported height of the basement wall in inches.  
 e. Where walls are reinforced with steel reinforcement, they shall be uniformly supported at the top and bottom before backfilling.  
 f. Vertical reinforcement shall be located to provide a cover of 1.25 inches measured from the inside face of the wall. The center of the steel shall not vary from the vertical reinforcement location.  
 g. Concrete cover for reinforcement measured from the inside face of the wall shall not be less than 3/4 inch. Concrete cover for reinforcement measured from the outside face of the wall shall not be less than 1.25 inches.  
 h. DR means design requires reinforcement in accordance with the applicable building code, or where there is no code in accordance with ACI 318.  
 i. Reinforcement shall be provided to be at least No. 4, and not less than 2,000 psi or 138 MPa concrete compressive strength.  
 j. A plain concrete wall with a minimum nominal thickness of 12 inches is permitted, provided minimum specified compressive strength of concrete,  $f_c$ , is 3,500 psi.  
 k. The use of this table shall be prohibited for cold-chambered cast-in-place concrete.

**TABLE R602.10.6.4**  
TENSION STRAP CAPACITY FOR RESISTING WIND PRESSURES PERPENDICULAR TO METHODS PFI, PFG AND CS-PF BRACED WALL PANELS

MINIMUM WALL STUD FRAMING NOMINAL SIZE AND GRADE	MAXIMUM PONY WALL HEIGHT (feet)	MAXIMUM TOTAL WALL HEIGHT (feet)	TENSION STRAP CAPACITY REQUIRED (pounds) <sup>a,b</sup>			
			Ultimate Design Wind Speed V <sub>h</sub> (mph)	Exposure B	Exposure C	Exposure D
2 x 4 No. 2 Grade	0	10	1,000	1,000	1,000	1,050
	1	10	1,000	1,000	1,000	1,050
	2	10	1,000	1,000	1,000	1,050
	4	12	1,000	1,000	1,000	1,050

Fig. 61: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 lb per foot = 14.67 N/m.  
 a. DR = Design Required  
 b. Design values are tabulated in accordance with manufacturer's recommendations.



**SECTION**  
**FRONT ELEVATION**  
**FIGURE R602.10.6.4**  
**METHOD CS-PF: CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION**  
 NOT TO SCALE  
 FOR 5: 1 inch = 25.4 mm, 1 foot = 304.8 mm

**TABLE R602.3.1(5)**  
SIZE, HEIGHT AND SPACING OF WOOD STUDS<sup>a</sup>

STUD SIZE (inches)	BEARING WALLS		NONBEARING WALLS	
	Minimum stud height <sup>b</sup> (feet)	Maximum stud height <sup>c</sup> (feet)	Minimum stud height <sup>b</sup> (feet)	Maximum stud height <sup>c</sup> (feet)
2x3 b	-	-	-	-
2x4	10	24 c	16 c	24
3x4	10	24	16	24
2x5	10	24	24	24
2x6	10	24	24	24

For 5: 1 inch = 25.4 mm, 1 foot = 304.8 mm.  
 a. Stud height and spacing between studs of interior support placed perpendicular to the plane of the stud shall be in accordance with Section R602.3.1.1. Stud height and spacing between studs of exterior support shall be in accordance with Section R602.3.1.2. Increases in unsupported height are permitted where in conformance with Section R602.3.1.1 or R602.3.1.2, or otherwise in accordance with accepted engineering practice.  
 b. Stud not to be used in exterior walls.  
 c. A habitable attic assembly supported by 2 x 4 studs is limited to a roof span of 22 feet. Where the roof span exceeds 22 feet, the wall studs shall be increased to 2 x 6 or the studs shall be designed in accordance with accepted engineering practice.

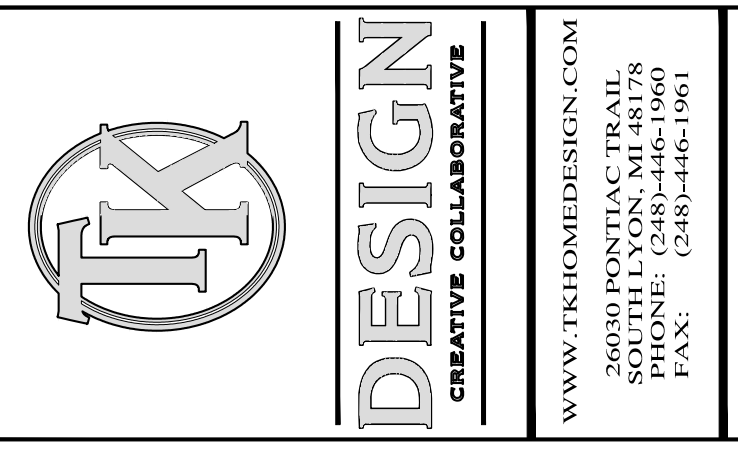
**TABLE R703.8.3.1**  
ALLOWABLE SPANS FOR LINTELS SUPPORTING MASONRY VENEER<sup>a,b,c,d</sup>

NO. OF STORIES ABOVE	ONE STORY ABOVE	TWO STORIES ABOVE	NO. OF OR EQUIVALENT REINFORCING BARS <sup>b,d</sup>
3x3x4	6'-0"	4'-6"	3'-0"
4x3x4	8'-0"	6'-0"	4'-6"
5x3x4	10'-0"	8'-0"	6'-0"
6x3x4	14'-0"	9'-6"	7'-0"
2, 4x3x4	20'-0"	12'-0"	9'-6"

a. Long leg of angle shall be placed in a vertical position.  
 b. Spacing of reinforcing steel shall not be less than 8 inches and all ends of below-reinforcing steel shall be lap spliced.  
 c. Steel members indicated are subjected to hydrostatic conditions, other steel members meeting structural design requirements shall be permitted to be used.  
 d. Either steel angle or reinforced brick shall span opening.

**TYPICAL CONVENTIONAL ROOF FRAMING**  
 \* RIDGE BEAM SIZE WILL BE EQUAL TO THE RAFTER CUT EDGE \*

RAFTER SPANS	0'-0" - 4'-0"	4'-0" - 8'-0"	8'-0" - 12'-0"	12'-0" - 16'-0"
LUMBER SIZE	2x4	2x6	2x8	2x12



WWW.TKXDESIGN.COM  
 2600 PONTIAC CAPITAL  
 PHONE: (248) 446-1960  
 FAX: (248) 446-1961

CLIENT / PROJECT  
 BEREAN / GRIFFIN  
 ADDITION  
 4363 OLD MILL RD.  
 PLYMOUTH, MI. 48169

JOB NO.: 22-2278  
 DRAWN: RFS  
 CHECKED: DM  
 FRAMED: DM  
 REVIEW: 2-1-23  
 FINAL: 2-23-23  
 REVISION: -

SCALE:  
 PER PLAN  
 SHEET #  
 GN2

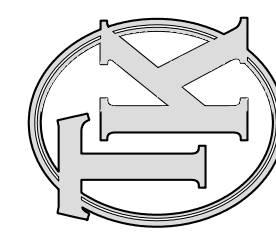
**NOTE:**

INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED. ALL DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURER AND GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS INCLUDING BUT NOT LIMITED TO:

- EXTERIOR WALL THICKNESS
  - EXISTING ROOF PITCH
  - EXISTING HEEL HEIGHT
  - OVERHANG DIMENSIONS
  - OVERALL DIMENSIONS ACROSS TOP PLATES
  - EXISTING FLOOR JOIST AND ROOF FRAMING DIRECTION
- PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL TAKEOFF

**DEMOLITION NOTES**

1. EXTERIOR GRADE SHALL BE INSPECTED AND LOCATIONS WHERE THE GRADE IS WITHIN 8" OF THE SUBGRADE INSPECT CLOSELY FOR SIGNS OF ROT. ANY ROT SHALL BE REMOVED TO A MINIMUM OF 2" BELOW THE SPOT TREATED WITH TIMBERS OR AN EQUIVALENT PRESERVATIVE.
2. NEW SILICONE BEALANT SHALL BE APPLIED AROUND ANY OPENINGS THROUGH THE FOUNDATION (PIPES, WIRES, ETC).
3. ALL VERTICAL CRACKS NOTED SHALL BE TUCK POINTED WITH AN EPOXY MORTAR.
4. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SUBSTRATES.
5. ALL WORK IS TO BE DONE BY LICENSED CONTRACTORS
6. CONTRACTOR SHALL VERIFY ALL ON SITE CONDITIONS, DIMENSIONS AND TO NOTIFY TK DESIGN ASSOCIATES OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO CONSTRUCTION/DEMOLITION.
7. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION MATERIALS FROM THE PROJECT AREA AND TO BE REMOVED FROM THE PROJECT AREA IN A LEGAL MANNER. CONTRACTOR IS TO KEEP THE PROJECT AREA CLEAN AT ALL TIMES.
8. CONTRACTOR SHALL NOTIFY, COORDINATE AND SCHEDULE ANY AND ALL DISCONNECTIONS OF EXISTING UTILITY SERVICES WITH THE OWNER PRIOR TO THE WORK BEING DONE.
9. REPAIR DEMOLITION FERROUS IN EXCESS OF THAT REQUIRED. RETURN STRUCTURES AND SURFACES TO REMAIN TO CONDITION EXISTING PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK.
10. MAINTAIN EXISTING UTILITY SERVICES AND PROTECT AGAINST DAMAGE DURING ALL PHASES OF CONSTRUCTION.
11. HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION WORK, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LOCAL HEALTH DEPARTMENT AND AGENCY CONCERNING REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
12. ALL DRAWINGS ARE SCHEMATIC. EXTENT OF DEMOLITION BECOMES APPROXIMATE. FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
13. ALL STRUCTURAL MEMBERS ARE TO REMAIN (ITF, UNLESS NOTED OTHERWISE)



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CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND AGENCY CONCERNING REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.

CLIENT / PROJECT	BREAN / GRIFFIN ADDITON 4363 OLD MILL RD. PNCCKNEY, MI. 48169
JOB No.	22-278
DRAWN:	RFS
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FRAMED:	DM
REVIEW:	2-1-23
FINAL:	2-23-23
REVISION	-

SCALE:  
PER PLAN

SHEET #

**D-1**

**FIRST FLOOR DEMOLITION PLAN**  
SCALE 1/4" = 1'-0"

### FOUNDATION NOTES

**NOTE:**  
ALL FOOTINGS ARE DESIGNED FOR 3000 P.S.F. SOIL BRG. CAPACITY + 130 P.S.F. ROOF SNOW LOAD. FOR VARYING CONDITIONS REFER TO TABLE R402.1(1), R402.1(2), R402.1(3) OF THE IBC.

- ALL COLUMN BARS SHALL BE AT LEAST 6" BELOW FINISH FLOOR SLAB. PROVIDE 4" MIN. CONC. COVER FOR COLUMN BARS TO BE 4" BELOW FINISH BARS. (TYPICAL UNLESS NOTED OTHERWISE)
- WHERE STEEL BEAMS REST ON FOUNDATION WALLS, SIZE BEAM POCKET APPROPRIATELY AND SHIM AS REQUIRED.
- AS REQUIRED DROP FORMER FLOOR SHEATHING 3/4" FOR MASONRY TILE INSTALLATION
- VERIFY ALL UTILITY LOCATIONS W/ BUILDER.
- PROVIDE GUARDRAIL AT STAIRS DURING CONSTRUCTION.
- PROVIDE LADDERS UNDER ANY WALL RUNNING PARALLEL W/ JOIST THAT DOES NOT LAND DIRECTLY ON A JOIST.
- PROVIDE SQUASH BLOCKS UNDER ALL BEARING CONDITIONS.
- GROUT SOLID 4" BEARING CONDITIONS WHERE BLOCK IS USED.
- PROVIDE 7" X 24" (MIN. R-20) RIGID PERIMETER INSULATION AT ALL BARS. PROVIDE 1" MIN. AIR SPACE ABOVE INSULATION. PROVIDE 1/2" MIN. CONC. COVER TO ALL BARS. PROVIDE 1/2" MIN. CONC. COVER TO ALL BARS. PROVIDE 1/2" MIN. CONC. COVER TO ALL BARS.
- BASEMENT CEILING HEIGHTS MAY VARY AT LOCATIONS DEPENDENT ON MECHANICAL DROPS, LOW STRUCTURAL BEAMS IF REQUIRED, OR ANY FINISHED C.G. TREATMENTS.

### PLAN NOTES

**INTERIOR WALLS:**  
1/2" GYPSUM WALL BOARDS ON EACH SIDE OF 2x4 WOOD STUDS @ 16" O.C. 3/16" THICK TYPICAL UNLESS NOTED OTHERWISE. ALL DIMENSIONS TAKEN FROM STUD EDGES.

**EXTERIOR WALLS:**  
1. ALL EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" GYPSUM WALL BOARDS ON EACH SIDE OF 2x4 WOOD STUDS @ 16" O.C. OR AS NOTED. MIN. R-20 WALL CONSTRUCTION 1/2" GYPSUM WALL BOARD (GLUE & SCREW), WALL TO BE 4" THICK WITH 8" BONDING AND 8" THICK WITH MASONRY (TYPICAL UNLESS NOTED OTHERWISE). ALL DIMENSIONS TAKEN FROM FINISH FLOOR PLANS OR FOUNDATION CORNERS (FOUNDATION PLAN).

- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20-MINUTE FIRE RATED DOORS (OR EQUIVALENT PER 2015 IRC SECTION R202.3.1).
- VENT ALL EXHAUST FANS TO EXTERIOR.
- WHEN POSSIBLE DIRECT ALL FLUES AND VENTS THAT PENETRATE ROOF BEYOND THAN ROOF.
- INSTALL WATER SUPPLY AND DRAIN BOX (GREY BOX) AT WASHING MACHINE LOCATION.
- USE MOISTURE RESISTANT DRYWALL AT ALL AREAS SUSCEPTIBLE TO MOISTURE.
- ALL FIRST FLOOR INTERIOR DOORS TO BE FRAMED 6'-8" TALL. ALL SECOND FLOOR INTERIOR DOORS TO BE FRAMED 6'-6" UNLESS NOTED OTHERWISE. VERIFY W/ BUILDER.
- PROVIDE GUARDRAIL AT STAIRS DURING CONSTRUCTION.
- PROVIDE SQUASH BLOCKS UNDER ALL BEARING CONDITIONS.
- GARAGE WALLS TO BE 2x6 STUDS OVER 10'-0" TALL.
- ALL EXTERIOR SLIDING GLASS DOORS TO BE PROVIDED W/ BUILDER FOR ACTIVE DIRECTION.

### WALL KEY

- NEW STUD WALL
- EXISTING 6" STUD WALL TO REMAIN

**NOTE:**  
PORCH C.G. FINISH PER BUILDER'S SPEC.

**NOTE:**  
S.D. = SCHEDULE D  
S.O.C. = SCHEDULE O.C.  
S.O.C. = SCHEDULE O.C.  
S.O.C. = SCHEDULE O.C.  
S.O.C. = SCHEDULE O.C.

**NOTE:**  
DOOR & WINDOW LOCATIONS

ALL DOORS & WINDOWS ARE ASSUMED TO BE EITHER IN THE CENTER OF THE WALL MASS OR MIN. 4" INCHES FROM PERPENDICULAR WALL FOR CEILING UNLESS NOTED OTHERWISE

### FIRE SEPARATION NOTE

THE SEPARATION (R202.3.1) BETWEEN THE GARAGE AND RESIDENCE SHALL BE FINISHED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT. ALL OTHER GARAGE SPACE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. DROP C.G. UNDER FLR. ABV. (ENCLOSE MECHANICAL AND STRUCTURAL ELEMENTS) CHECK W/ BLDG.

**NOTE:**  
PROVIDE MIN. 1/2" X 4" HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS UNLESS NOTED OTHERWISE.

**NOTE:**  
PROVIDE MIN. (1) JACK STUD (1) KING STUD AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE.

**NOTE:**  
PROVIDE MIN. (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS.

**NOTE:**  
GROUT ALL CONCRETE BLOCK CORES SOLID THAT SUPPORT POINT LOADS FROM ABOVE (TYPICAL).

**NOTE:**  
WOOD BEAM  
STEEL BEAM  
BRG. WALL  
BRG. WALL ABOVE  
BRG. WALL 4" BRG. WALL ABOVE

**NOTE:**  
PROVIDE MIN. 1/2" X 4" HEADER AT ALL INTERIOR & EXTERIOR DOORS & WINDOWS UNLESS NOTED OTHERWISE.

**NOTE:**  
PROVIDE MIN. (1) JACK STUD (1) KING STUD AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE.

**NOTE:**  
PROVIDE MIN. (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS.

### EXIST. BASEMENT

### EXIST. UNEXCAVATED

### EXIST. UNEXCAVATED

15 BAR DOUBLES @ 12" O.C. (MAX) VERTICALLY EMBEDDED 6" MIN. INTO EXISTING FOUNDATION (EPOXY) BUILT WITH HYBRID ADHESIVE OR EQUAL.

FIN EXISTING SLAB TO NEW SLAB

**UNEXCAVATED**  
4" CONC. SLAB ON 4" CONP. GRANULAR FILL (PTCH FLOOR 2" TO GARAGE DOORS)

4" CONC. BLOCK OR STEM WALL ON 12" P. CONC. TRENCH FIG. MIN. 4" BELOW FIN. GRADE BRG. ON UNDISTURBED SOIL.

**UNEXCAVATED**  
7" CONC. SLAB W/ 1" P. CONC. TRENCH FIG. MIN. 4" BELOW FIN. GRADE BRG. ON UNDISTURBED SOIL.

12" P. CONC. TRENCH FIG. MIN. 4" BELOW FIN. GRADE BRG. ON UNDISTURBED SOIL.

### FOUNDATION PLAN

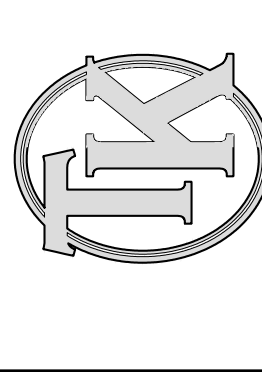
SCALE: 1/4" = 1'-0"

### FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

LOT INFORMATION:	
CITY / TOWNSHIP:	PINKNEY MIL / HANBING TOWNSHIP
ZONE:	R-SINGLE FAM, MEDIUM DENSITY RES.
MINIMUM SETBACKS:	
FRONT:	25'
REAR:	30'
SIDE / 10' L:	10' 7" D
MAX. ROOF HEIGHT:	35'
MEASURED:	MEDIAN OR TOP OF RIDGE
LOT COVERAGE:	33%
LOT SIZE:	16398.4 SQ. FT.
MAX. SF:	5946
HOUSE FOOTPRINT:	1795 SQ. FT.
FRONT PORCH:	40 SQ. FT.
REAR PATIO:	260 SQ. FT.
GARAGE:	121 SQ. FT.
TOTAL FOOTPRINT:	2028.9 SF. / LOT SIZE 16398.4 SF. = 12.3%

AREA SUMMARY:	
OVERALL ADDITION AREA:	500 SF.
GARAGE:	121 SQ. FT.
REAR PATIO:	260 SQ. FT.
TOTAL ADDITION AREA:	881 SF.



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CLIENT / PROJECT	
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JOB NO.	
22-278	

DRAWN:	
RFS	

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DM	

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DM	

REVIEW:	
2-1-23	

FINAL:	
2-23-23	

REVISION	

SCALE: PER PLAN

SHEET #

A-1

### ELEVATION NOTES

1. ALL ROOF SADDLES TO BE O.S.B. SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
2. PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL VALLEYS.
3. PREFACE FLUE TO BE DETERMINED PER MANUFACTURER'S SPECIFICATION.
4. METAL FLASHING AS REQUIRED BY CODE.
5. ROOF & SOFFIT VENTS AS REQUIRED BY CODE.
6. PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNPOUTS ARE TO BE LOCATED SO THAT DOWNSPOUTS DO NOT DRAIN INTO FLOOR. PROVIDE ANY PORCHES, WALKS OR DRIVES.
1. CARPENTER TO VERIFY THICKNESS OF MASONRY PRIOR TO BUILDING BRICK RACK.

**NOTE:**  
OVERHANG DIMENSIONS (O.H.) ARE FROM SHEATHING I.N.C.

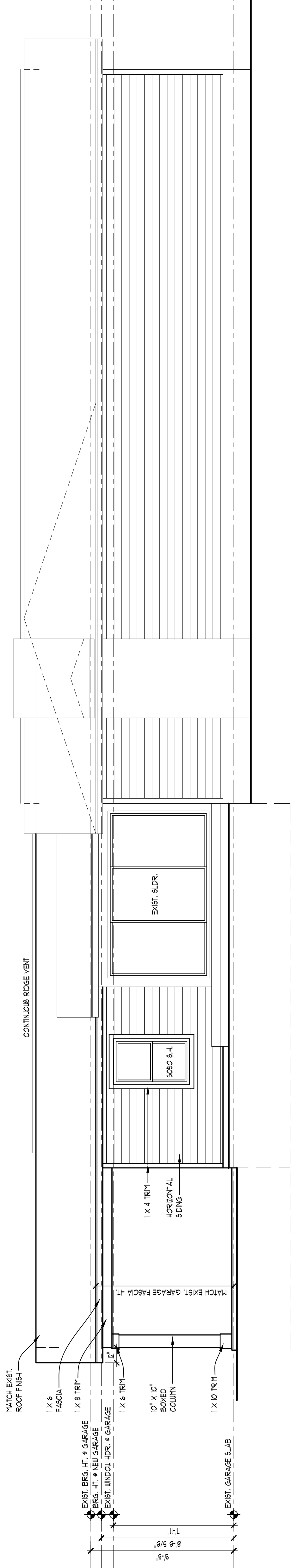
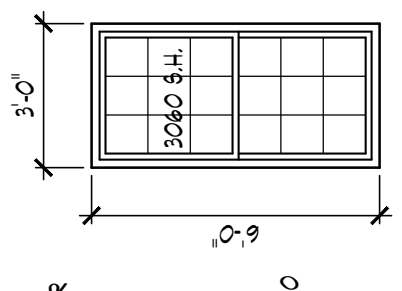
**NOTE:**  
ALL WINDOW SIZES OVER 2'-0" ABOVE EXTERIOR GRADE OR SURFACE SHALL BE MINIMUM 2" ABOVE FINISHED FLOOR OR HAVE BASH LIMITERS PER CODE REQUIREMENTS.

### TYPICAL WINDOW DESIGNATION

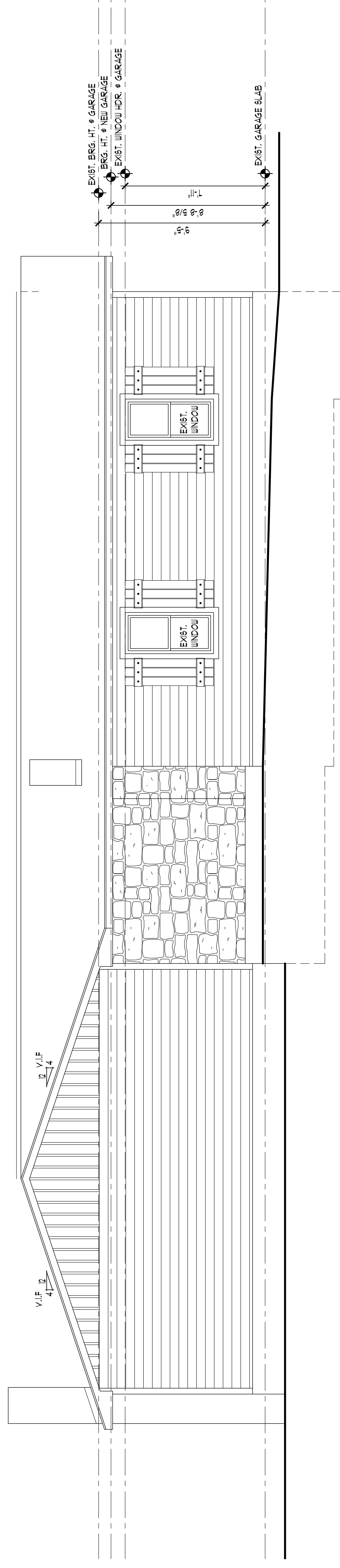
NOTE:  
GENERAL REFERENCE FOR ROUGH OPENING SIZES TO BE USED BY WINDOW MANUFACTURER FOR EXACT WINDOW SIZES & REQUIREMENTS.

NOTE:  
ALL GABLEMENT VENTING TO BE VERIFIED BY BUILDER/HOMEOWNER PRIOR TO ORDERING WINDOWS.

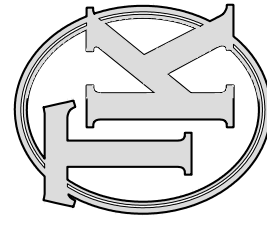
NOTE:  
WINDOW MANUFACTURER TO VERIFY ALL WINDOW GRID PATTERNS WITH HOMEOWNER.



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



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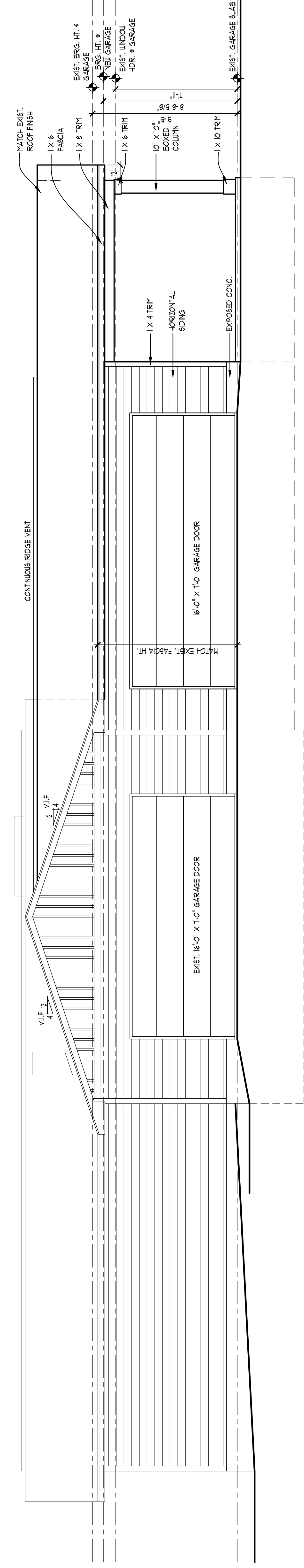
SCALE:  
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SHEET #

A-2

### ELEVATION NOTES

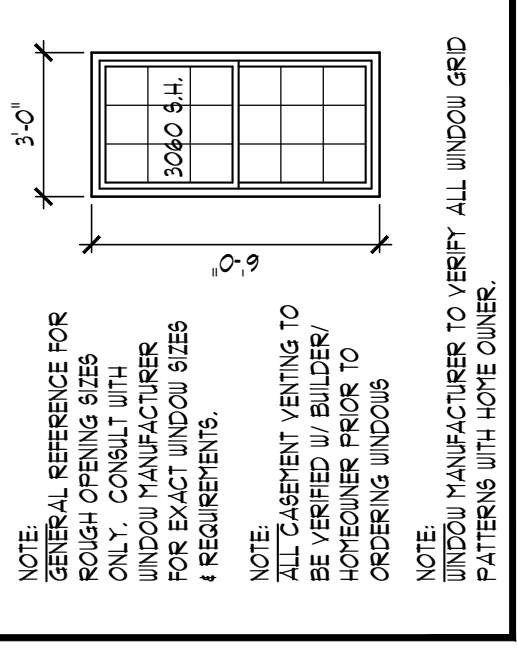
1. ALL ROOF SCALES TO BE O.A.B. SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
  2. PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL VALLEYS.
  3. PREFACE FLUE TO BE DETERMINED PER MANUFACTURER'S SPECIFICATION.
  4. METAL FLASHING AS REQUIRED BY CODE.
  5. ROOF & SOFFIT VENTS AS REQUIRED BY CODE.
  6. PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT WATER DOES NOT PENETRATE FLOOR ACROSS ANY PORCHES, WALKS OR DRIVES.
1. CARPENTER TO VERIFY THICKNESS OF MASONRY PRIOR TO BUILDING BRICK RACK.



**RIGHT ELEVATION**

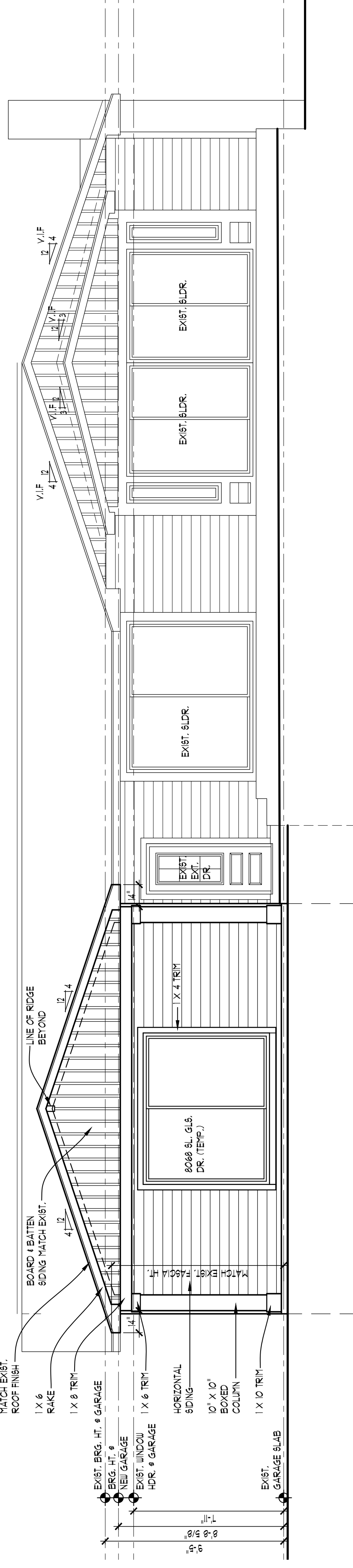
SCALE: 1/4" = 1'-0"

### TYPICAL WINDOW DESIGNATION



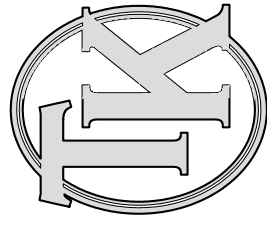
**NOTE:**  
OVERHANG DIMENSIONS (O.H.) ARE FROM SHEATHING I.N.C.

**NOTE:**  
ALL WINDOW SILLS OVER 2'-0" ABOVE EXTERIOR GRADE OR SURFACE SHALL BE MINIMUM 2" ABOVE FINISHED FLOOR OR HAVE BASH LIMITERS PER CODE REQUIREMENTS.



**REAR ELEVATION**

SCALE: 1/4" = 1'-0"



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CONTRACTOR'S DESIGN AND ADDRESS:  
CONTRACTOR'S NAME AND ADDRESS:  
CONTRACTOR'S PHONE AND FAX:  
CONTRACTOR'S E-MAIL ADDRESS:  
CONTRACTOR'S WEBSITE ADDRESS:  
CONTRACTOR'S LICENSE NUMBER:

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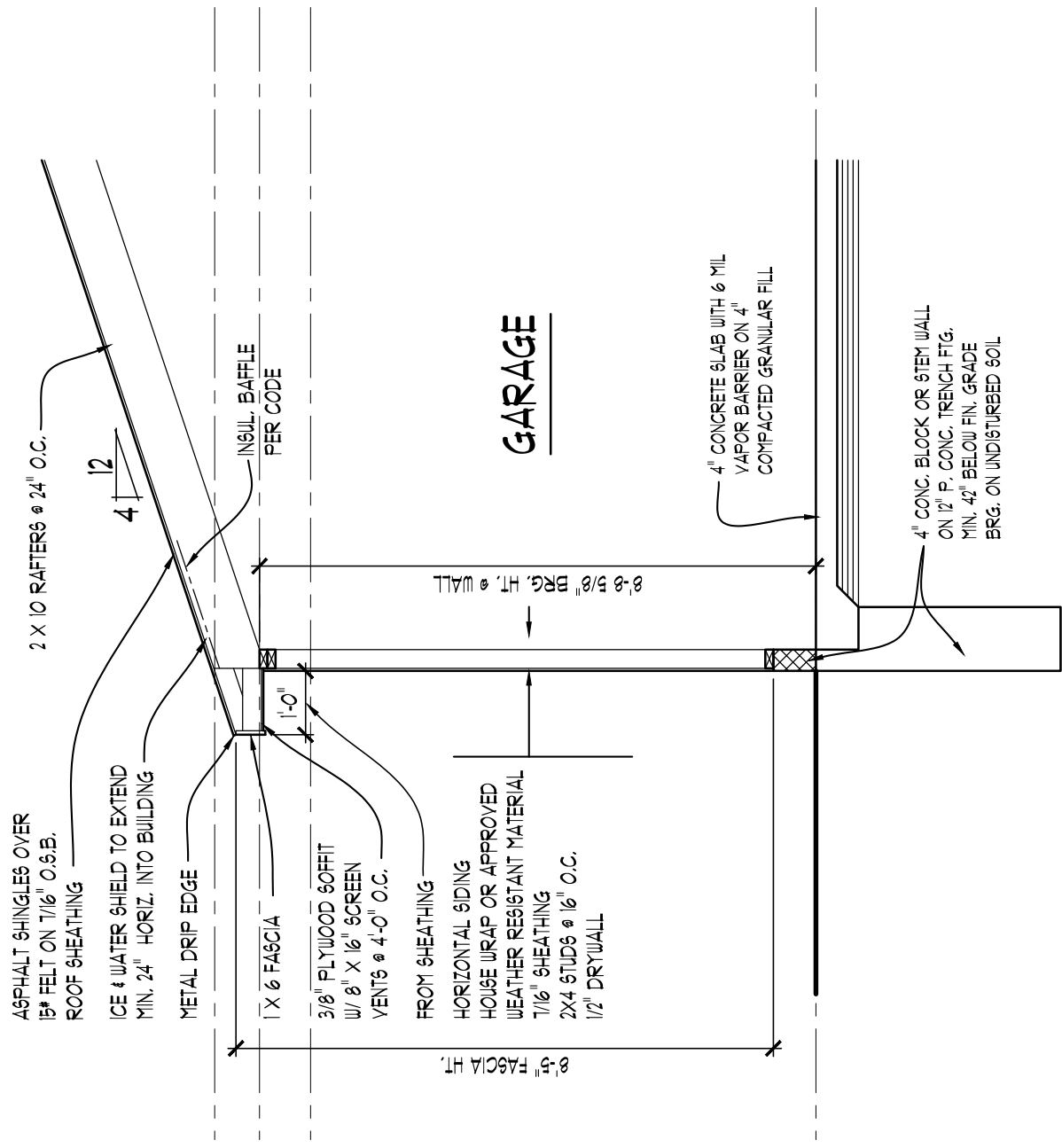
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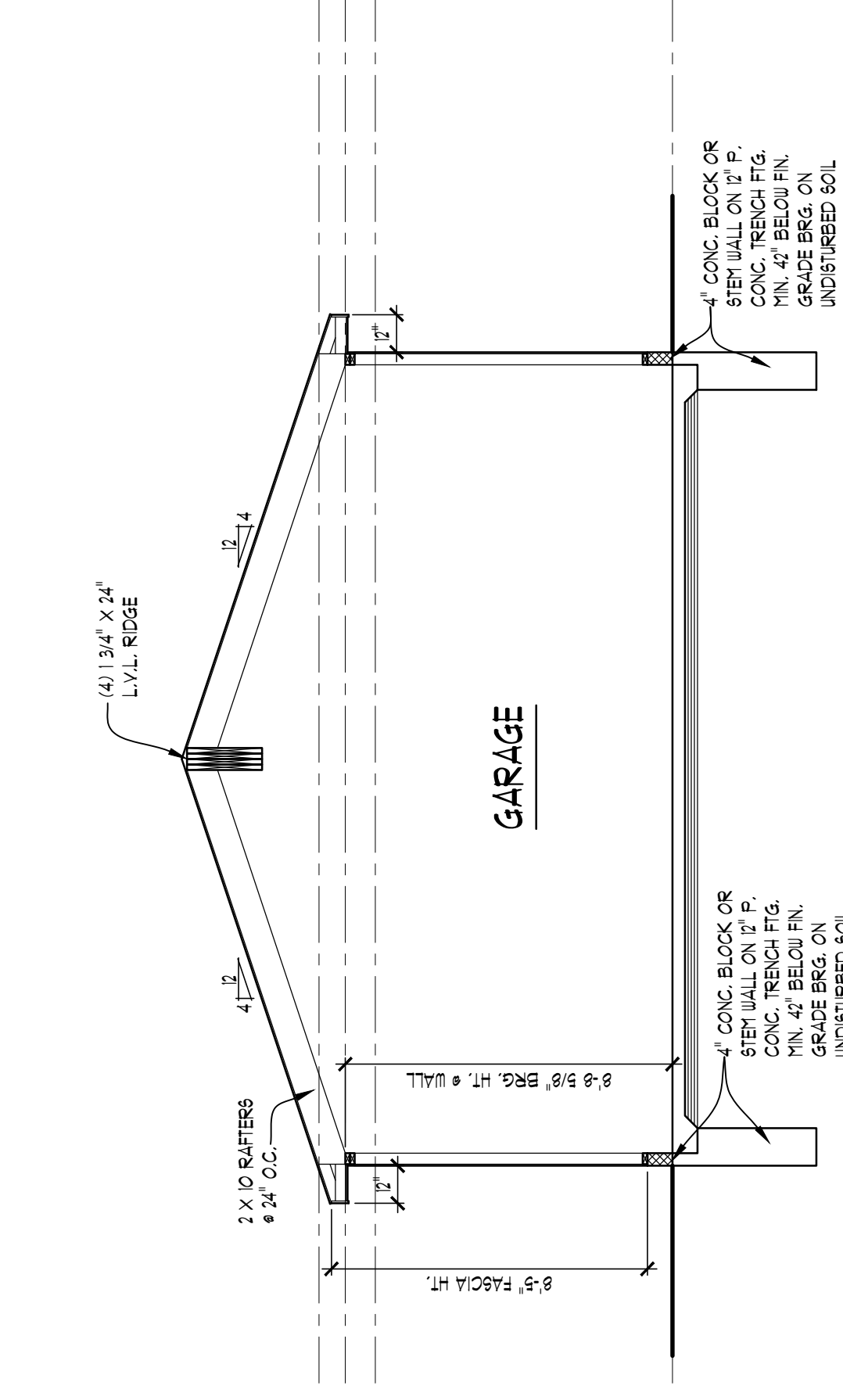
SHEET #

A-3

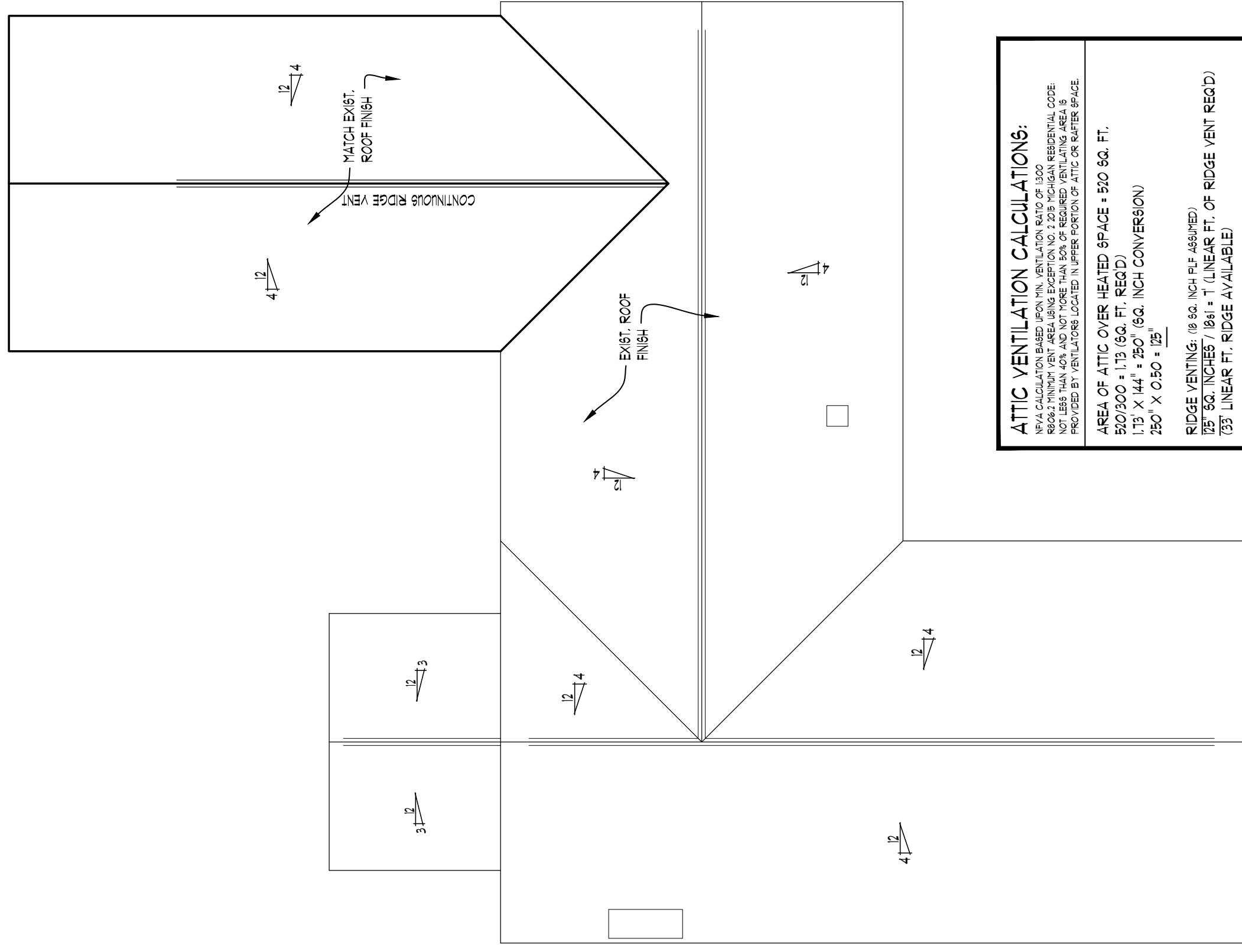




**WALL SECTION**  
SCALE: 3/8" = 1'-0"  
A  
A1-A3



**BUILDING SECTION**  
SCALE: 1/4" = 1'-0"  
B  
A1-A3



**ROOF PLAN**  
SCALE: 1/8" = 1'-0"

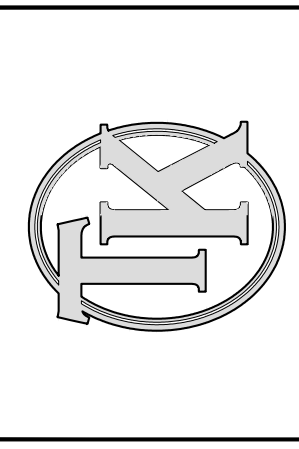
ATTIC VENTILATION CALCULATIONS:	
AREA OF ATTIC UNOCCUPIED SPACE = 510 SQ. FT.	
13' X 14' = 182 SQ. FT. (REQ.)	
13' X 14' = 182 SQ. FT. (REQ.)	
20' X 0.50' = 10'	
15' SQUARE VENT (3 PIECES OF VENT)	

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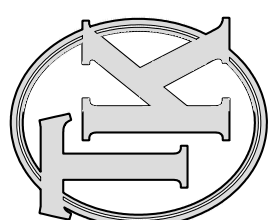
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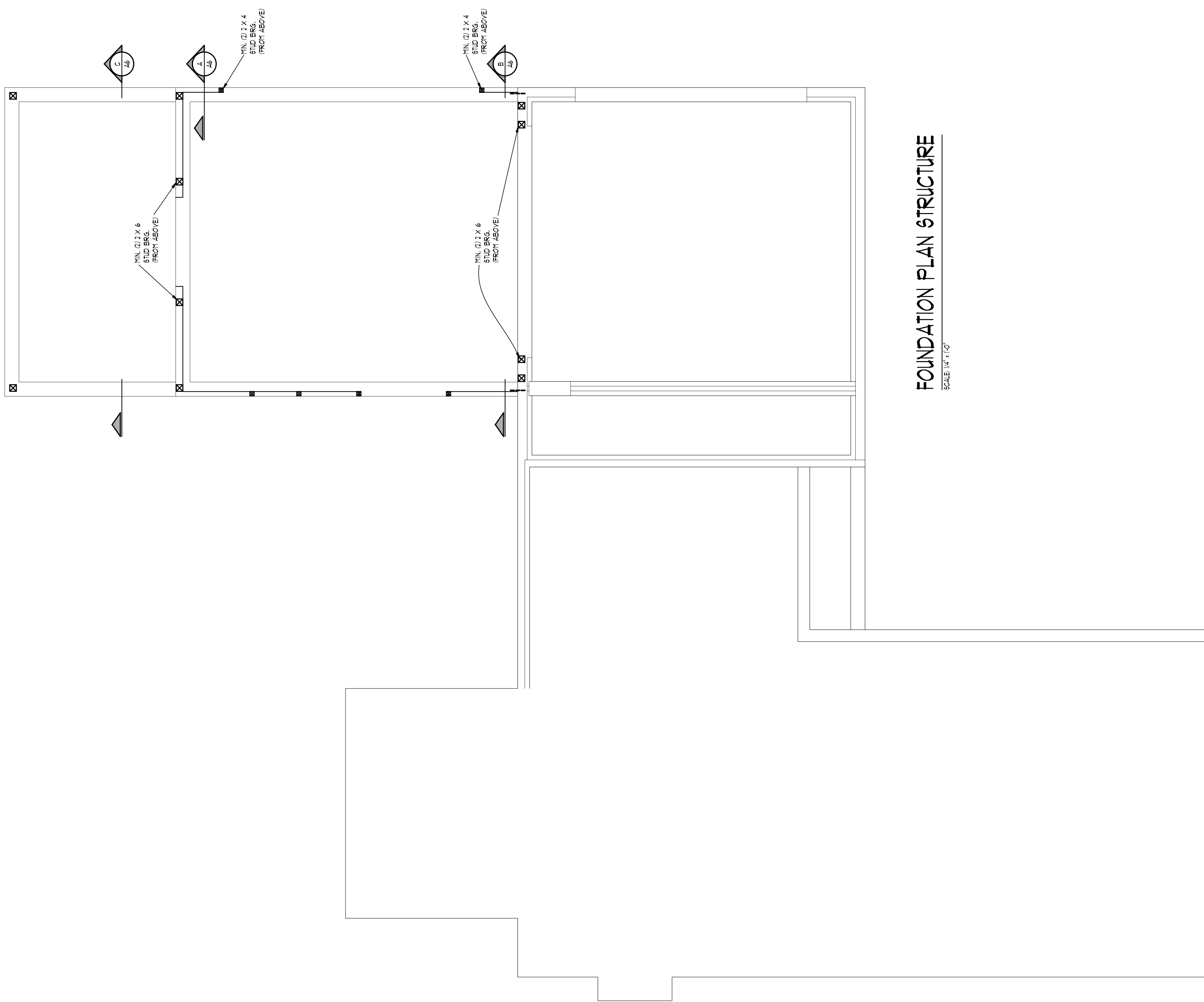
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S1



**FOUNDATION PLAN STRUCTURE**  
SCALE 1/4" = 1'-0"

**NOTE:**  
PROVIDE MIN. 0.12 X 4 HEADERS AT ALL INTERIOR EXTERIOR DOOR / WINDOW OPENINGS (UNLESS NOTED OTHERWISE).

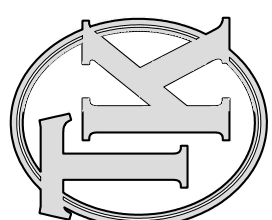
**NOTE:**  
PROVIDE MIN. 0.12 X 6 STUD (0.12) KNUX SIDES AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE).

**NOTE:**  
PROVIDE MIN. 0.12 X 6 STUDS UNDER ALL INTERIOR FLOOR PARALLEL PARTITIONS

**NOTE:**  
GROUT ALL CONCRETE BLOCK CORERS SOLD THAT SUPPORT POINT LOADS FROM ABOVE (TYPICAL)

**NOTE:**  
  
 — WOOD BEAM  
 - - - STEEL BEAM  
 ZZZZZ BRG WALL ABOVE  
 ZZZZZ BRG WALL ABOVE  
 ■ POINT LOAD FROM ABOVE

- STRUCTURAL SHEATHING NOTES:  
 1. DESIGNED FOR SEISMIC ZONE 4-C AND WIND SPEEDS OF 115 M.P.H. OR LESS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10.6 OF THE IRC.  
 2. BRACING REQUIREMENTS SHALL BE PER TABLE R602.10.1.3  
 3. EXTERIOR BRACED WALL PANELS (BWP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH CE-UBP METHOD AS PRESCRIBED IN SECTION R602.10.4 (UNCL.)  
 4. ALL SHEATHABLE SURFACES OF EXTERIOR WALLS (INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS) SHALL BE CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANEL (WSP) SHEATHING WITH A MINIMUM THICKNESS OF 3/8". SHEATHING SHALL BE SECURED WITH MINIMUM 60 COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND SPACED AT 12" O.C. AT INTERMEDIATE SUPPORTS  
 5. LENGTH REQUIREMENTS FOR BRACED WALL PANELS WITH CE-UBP METHOD SHALL BE IN ACCORDANCE WITH TABLE R602.10.5  
 6. PROVIDE 60 COMMON NAILS AT 6" O.C. SPACING AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS  
 7. R602.16 WALLS AT TOTAL LENGTH OR SHORTER CONNECTING OFFSET WALLS SHALL BE BRACED WITH A MINIMUM OF ONE ANCHOR BOLT LOCATED IN THE CENTER THIRD OF THE PLATE SECTION AND SHALL BE ATTACHED TO ADJACENT BRACED WALL PANELS AT CORNERS AS SHOWN IN ITEM 9 OF TABLE R602.3(1)  
 8. SEE CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION DETAIL (CS-FF) SHEET 047 FOR HEADER / CORNER FRAMING INFORMATION. HEADER PROVIDE THAT BE MINIMUM 3" X 11/4" SOLID SAUN OR LAMINATED VENEER LUMBER (LVL)



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PHONE: (248) 446-1960  
FAX: (248) 446-1961

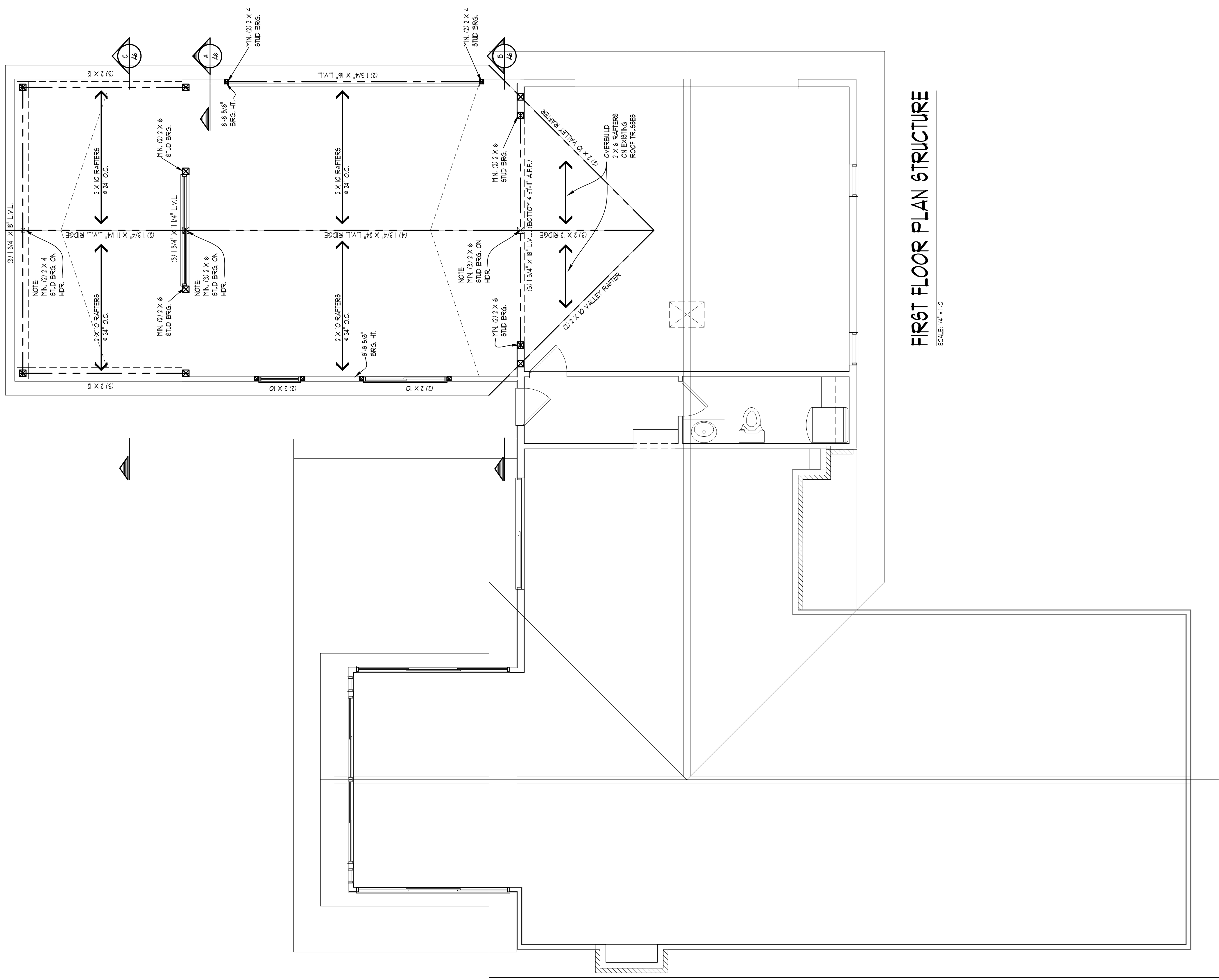
CONTRACTOR'S DESIGN AND ASSOCIATES  
10000 WOODLAND DRIVE, SUITE 100  
ANN ARBOR, MI 48106  
PHONE: (734) 769-1100  
FAX: (734) 769-1101

CLIENT / PROJECT  
BUREAN / GRIFFIN  
ADDDN  
4363 OLD MILL RD.  
PNNCKNEY, MI. 48169

JOB NO.: 22-278  
DRAWN: RFS  
CHECKED: DM  
FRAMED: DM  
REVIEW: 2-1-23  
FINAL: 2-23-23  
REVISION: -

SCALE:  
PER PLAN

SHEET #  
**S2**



**FIRST FLOOR PLAN STRUCTURE**

SCALE: 1/4" = 1'-0"

**NOTE:**  
PROVIDE MIN. (1) 2X4 HEADERS AT ALL INTERIOR EXTERIOR DOOR / WINDOW OPENINGS UNLESS NOTED OTHERWISE.

**NOTE:**  
PROVIDE MIN. (1) 2X4 STD. (1) KING SILL AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE.

**NOTE:**  
PROVIDE MIN. (1) 2X6 LAGERS FRAMING UNDER UPPER FLOOR PARALLEL PARTITIONS

**NOTE:**  
GROUT ALL CONCRETE BLOCK CORES SOLID THAT SUPPORT POINT LOADS FROM ABOVE (TYPICAL)

**NOTE:**  
WOOD BEAM  
STEEL BEAM  
BRG. WALL  
BRG. WALL ABOVE  
BRG. WALL (BRG. WALL ABOVE)  
POINT LOAD FROM ABOVE  
POINT LOAD FROM BELOW

1. STRUCTURAL SHEATHING NOTES:  
DESIGNED FOR SEISMIC ZONE 4-C AND WIND SPEEDS OF 115 M.P.H. OR LESS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10.5 OF THE IBC.
2. BRACING REQUIREMENTS SHALL BE PER TABLE R602.10.1.3
3. EXTERIOR BRACED WALL PANELS (BWP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH CS-WBP METHOD AS PRESCRIBED IN SECTION R602.10.4 (UNCL.)
4. ALL SHEATHABLE SURFACES OF EXTERIOR WALLS (INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS) SHALL BE CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANEL (WSP) SHEATHING WITH A MINIMUM THICKNESS OF 3/8". SHEATHING SHALL BE SECURED WITH MINIMUM 6d COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND SPACED AT 12" O.C. AT INTERMEDIATE SUPPORTS
5. LENGTH REQUIREMENTS FOR BRACED WALL PANELS WITH CS-WBP METHOD SHALL BE IN ACCORDANCE WITH TABLE R602.10.5
6. PROVIDE 6d COMMON NAILS AT 6" O.C. SPACING AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS
7. R602.16 WALLS AT TOTAL LENGTH OR SHORTER CONNECTING OFFSET WALLS SHALL BE BRACED WITH AN ANCHOR BOLT LOCATED IN THE CENTER THIRD OF THE PLATE SECTION AND SHALL BE ATTACHED TO ADJACENT BRACED WALL PANELS AT CORNERS AS SHOWN IN ITEM 9 OF TABLE R602.3(1)
8. SEE CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION DETAIL (CS-PF) SHEET 047 FOR HEADER / CORNER FRAMING INFORMATION. HEADER PROVIDED MUST BE MINIMUM 3" X 11/4" SOLID SAUN OR LAMINATED VENEER LUMBER (L.V.L.)