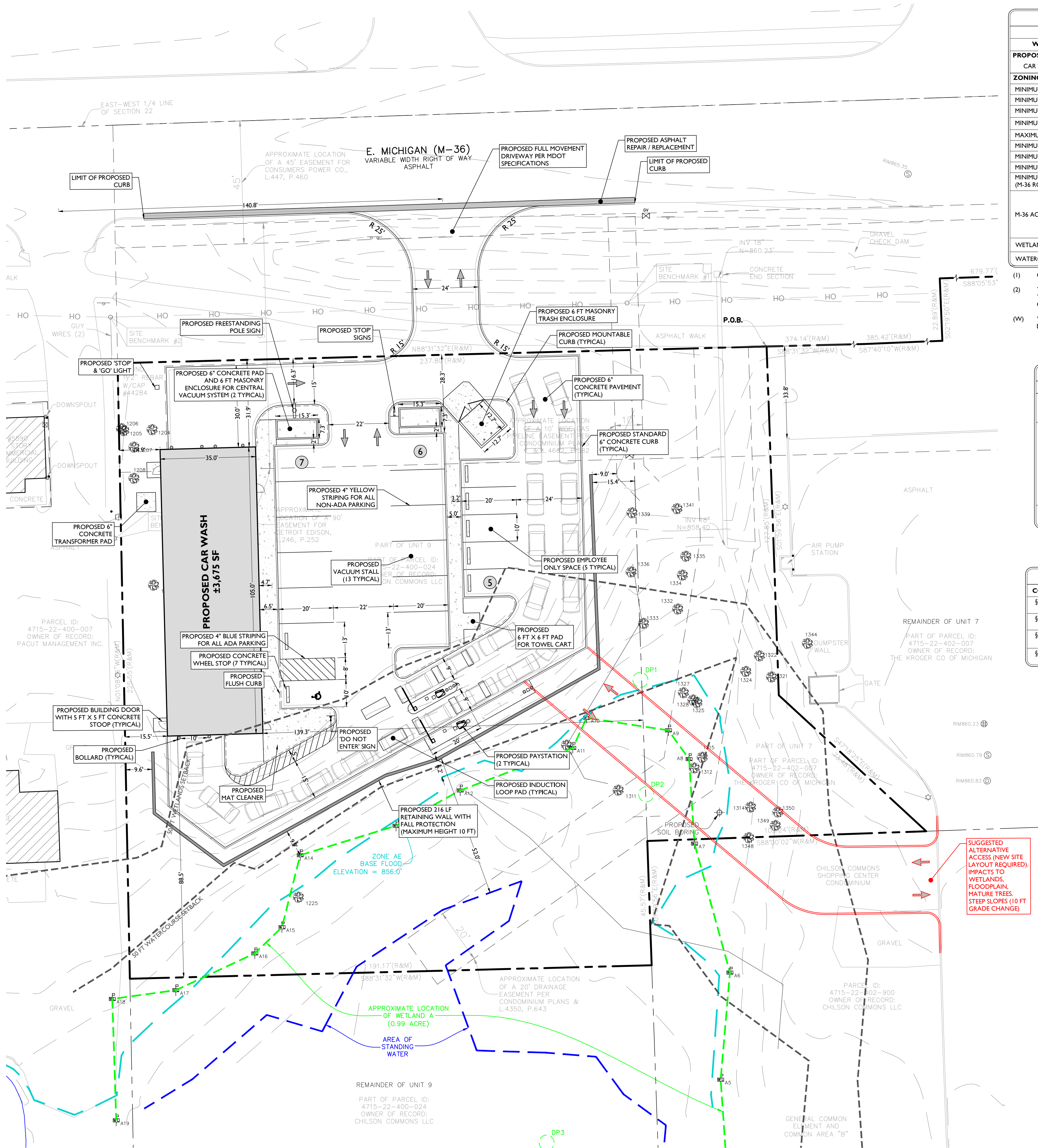


EXHIBIT D

NOT TO SCALE. THIS DRAWING IS THE PROPERTY OF STONEFIELD ENGINEERING & DESIGN, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF STONEFIELD ENGINEERING & DESIGN, LLC IS STRICTLY PROHIBITED.



LAND USE AND ZONING			
PARCEL ID: 4715-22-400-024 (UNIT 9)			
WATERFRONT RESIDENTIAL (WFR) & HARDSHIP PLANNED UNIT DEVELOPMENT (HPUD)			
PROPOSED USE		SPECIAL LAND USE	
CAR WASH			
ZONING REQUIREMENT	REQUIRED (WFR)	REQUIRED (HPUD)	PROPOSED
MINIMUM LOT AREA	43,560 SF	N/A	53,075 SF
MINIMUM LOT WIDTH AT STREET	125 FT	N/A	237.8 FT
MINIMUM LOT COVERAGE (BUILDING)	35% (18,576 SF)	N/A	6.2% (3,286 SF)
MINIMUM LOT COVERAGE (PARKING)	40% (21,230 SF)	N/A	35% (18,607 SF)
MAXIMUM BUILDING HEIGHT	2.5 STORIES / 35 FT	N/A	1 STORY / 22 FT
MINIMUM FRONT YARD SETBACK	25 FT	N/A	31.9 FT
MINIMUM SIDE YARD SETBACK	10 FT	N/A	14.9 FT
MINIMUM REAR YARD SETBACK	30 FT	N/A	88.5 FT
MINIMUM PARKING SETBACK (M-36 ROW)	N/A	50 FT (1)	28.3 FT (W)
M-36 ACCESS	N/A	NO NEW CURB CUTS ON M-36, SHARE WITH CHILSON COMMONS	AMENDMENT TO HPUD REQUESTED
WETLANDS SETBACK	50 FT	50 FT	9.9 FT (W)(2)
WATERCOURSE SETBACK	50 FT	50 FT	52.0 FT

- (1) OR MUST BE LOCATED SOUTH OF PROPOSED BUILDING
- (2) THE ZONING ADMINISTRATOR OR BODY UNDERTAKING PLAN REVIEW MAY REDUCE OR ELIMINATE THE FOLLOWING SETBACKS UPON REVIEW OF A REQUEST WHICH DETAILS THE FUTURE PROTECTION OF THE NATURAL FEATURE AND OR MITIGATION OF THE NATURAL FEATURE.
- (W) WAIVER / MODIFICATION TO BE REQUESTED AS PERMITTED BY THE HARDSHIP PLANNED UNIT DEVELOPMENT

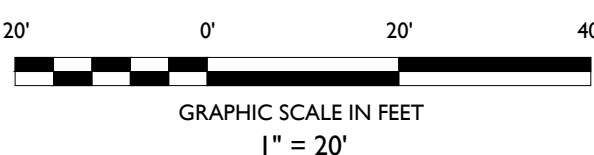
OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
\$36-330.c	MINIMUM VEHICLE PARKING SPACE: 200 SF	200 SF
\$36-334.23	GASOLINE FILLING AND SERVICE STATIONS: 1 SPACE PER SERVICE STALL 1 WASH LANE = 1 SPACE PLUS 1 SPACE PER EMPLOYEE 5 EMP. = 5 SPACES TOTAL: 1 + 5 = 6 SPACES	13 VACUUMS +5 EMPLOYEE 18 TOTAL SPACES
\$36-339.a.i.	DRIVEWAY SPACING (45 MPH): 300 FT	130.1 FT (W)

(W) WAIVER / MODIFICATION TO BE REQUESTED AS PERMITTED BY THE HARDSHIP PLANNED UNIT DEVELOPMENT

SIGNAGE REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
\$36.472.f.	ROW SETBACK: 10 FT	16.3 FT
\$36.472.q.2.	POLE SIGN MAX HEIGHT: 15 FT	15 FT
\$36.477.1.a.	POLE SIGN MAX AREA (COMMERCIAL): 25 SF	25 SF
\$36.474.2.	PARKING LOT SIGNS MAX AREA: 1.5 SF	1.5 SF

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



SYMBOL DESCRIPTION

- PROPERTY LINE
- SETBACK LINE
- SAWCUT LINE
- PROPOSED CURB
- == PROPOSED FLUSH CURB
- PROPOSED MOUNTABLE CURB
- PROPOSED SIGNS / BOLLARDS
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED AREA LIGHT
- PROPOSED RETAINING WALL
- PROPOSED GUIDERAIL
- PROPOSED BUILDING DOORS
- WETLANDS BOUNDARY
- FLOODPLAIN BOUNDARY
- STANDING WATER

SITE DEVELOPMENT PLANS

EROP LLC

PROPOSED CAR WASH

PARCEL ID: 4715-22-400-024
HAMBURG TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN



SCALE: 1" = 20' PROJECT ID: DET-220416

TITLE: PRELIMINARY SITE PLAN

DRAWING: C-3

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