

VARIANCE (ZBA) APPLICATION CHECKLIST:

Eight (8) sets of plans must be submitted. The sets are for the individual use of the Zoning Board members and for the Township's records. None will be returned to you. The Land Use Permit will not be released until three (3) final construction blueprints and three (3) copies of your site plan are submitted which have been prepared according to the variances granted and conditions imposed at the appeals meeting.

☐ **Zoning Board of Appeals Application Form**

☒ **Site (plot) Plan with the following information:**

- ☐ Location and width of road(s) and jurisdiction (public or private road).
- ☐ Location and dimensions of existing/proposed construction.
- ☐ Dimensions, designation, and heights of existing structures on property clearly marked.
- ☐ Dimensions of property (lot lines).
- ☐ Location and dimensions of required setbacks.
- ☐ Measurement from each side of existing and proposed structure to the property lines.
- ☐ All easements.
- ☐ Any bodies of water (lake, stream, river, or canal) with water body name.
- ☐ Distance proposed structure and existing structures are from any body of water.
- ☐ Septic tank and leachate field, sewer (grinder pump), and water well. (Distance of proposed structure or improvements to site need to be shown on the site plan. Applicants need to show how far the sanitary sewer grinder pump station and the sewer service lateral which connect the grinder pump can to the sewer main at the street and the home are in relation to the project.) For any questions: contact the Hamburg Twp Utilities Dept at 810-222-1193 or email Brittany Campbell at bcampbell@hamburg.mi.us.
- ☐ All areas requiring variances clearly marked with dimensions and amount of variance requested.
- ☐ Any outstanding topographic features that should be considered (hills, drop-offs, trees, boulders, etc.)
- ☐ Any other information which you may feel is pertinent to your appeal.
- ☐ If the variance is to a setback requirement a licensed professional stamp shall be on the site plan.

☐ **Preliminary sketch plans:**

a) Elevation plans:

- ☐ Existing and proposed grade
- ☐ Finished floor elevations
- ☐ Plate height
- ☐ Building height
- ☐ Roof pitch

b) Floor plans:

- ☐ Dimension of exterior walls
- ☐ Label rooms
- ☐ Clearly identify work to be done
- ☐ Location of floor above and floor below

c) All other plans you may need to depict the variance you're requesting (surveys, grading plans, drainage plans, elevation certificates, topographical surveys, etc.)

☐ **Proof of Ownership:** Include one of the following:

- a) Warranty Deed – showing title transaction bearing Livingston County Register of Deeds stamps, OR
- b) Notarized letter of authorization from seller of property giving the purchaser authorization to sign a Land Use Permit.

WARRANTY DEED

(Platted/Condominium)

Drafted By:

Brian D. Collins
847 Sumpter Rd., #456
Belleville, MI 48111

Return To:

Melinda Marie Mackey
9217 Riverside Dr
Brighton, MI 48116-8240

Send Tax Bills To:

Melinda Marie Mackey
9217 Riverside Dr
Brighton, MI 48116-8240

Recording Fee: \$35.00
File Number: 948776

State Transfer Tax: \$2,737.50
County Transfer Tax: \$401.50

Tax Parcel No.: 4715-24-102-125

Know All Persons by These Presents: That **Brian D. Collins, Trustee of the M. Lynne Collins Living Trust dated October 16, 2008 and Restatement dated June 25, 2013**

whose address is 847 Sumpter Rd., #456, Belleville, MI 48111

Convey(s) and Warrant(s) to **Melinda Marie Mackey and Steven DiGiuseppe, wife and husband**

whose address is 4898 Aberdeen Dr, Ann Arbor, MI 48103

the following described premises situated in the Township of **Hamburg**, County of **Livingston**, State of Michigan, to wit:

(SEE ATTACHED EXHIBIT A)

More commonly known as: **9217 Riverside Dr, Brighton, MI 48116-8240**

For the full consideration of: **three hundred sixty five thousand** Dollars (\$365,000.00)

Subject To:

Existing building and use restrictions, easements of record, and zoning ordinances, if any.



First American Title Insurance Company

RECEIVED

AUG 06 2025

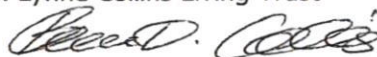
Hamburg Township
Planning and Zoning Department

(Attached to and becoming a part of Warranty Deed dated: December 17, 2021 between Brian D. Collins, Trustee of the M. Lynne Collins Living Trust dated October 16, 2008 and Restatement dated June 25, 2013, as Seller(s) and Melinda Marie Mackey and Steven DiGiuseppe, wife and husband, as Purchaser(s).)

Dated this December 17, 2021.

Seller(s):

M. Lynne Collins Living Trust

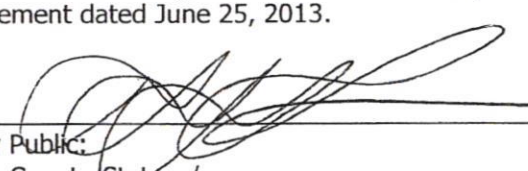


Brian D. Collins, Trustee

State of Michigan
County of Livingston

The foregoing instrument was acknowledged before me this December 17, 2021 by Brian D. Collins, Trustee of the M. Lynne Collins Living Trust dated October 16, 2008 and Restatement dated June 25, 2013.

MARK J. MARKER
NOTARY PUBLIC STATE OF MI
COUNTY OF LIVINGSTON
MY COMMISSION EXPIRES DEC. 26, 2026
ACTING IN COUNTY OF LIVINGSTON



Notary Public: _____
Notary County/State: /
County Acting In:
Commission Expires:

RECEIVED

AUG 06 2025

Hamburg Town
Planning and Zoning Department

(Attached to and becoming a part of Warranty Deed dated: December 17, 2021 between Brian D. Collins, Trustee of the M. Lynne Collins Living Trust dated October 16, 2008 and Restatement dated June 25, 2013, as Seller(s) and Melinda Marie Mackey and Steven Diguseppe, wife and husband, as Purchaser(s).)

EXHIBIT A

Land situated in the Township of Hamburg, County of Livingston, State of Michigan, described as follows:

Lot(s) 6 of ORE LAKE FARMS SUBDIVISION according to the plat thereof recorded in Liber 3 of Plats, Page 50 of Livingston County Records.

Tax Parcel Number: 4715-24-102-125

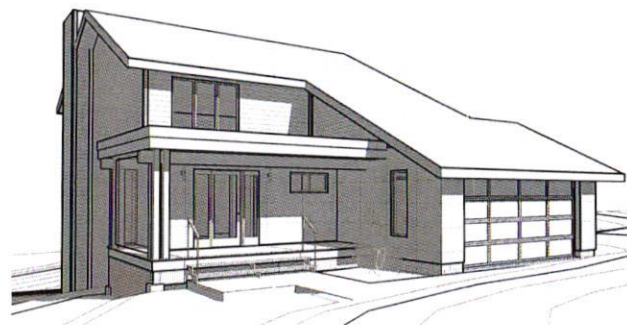
RECEIVED

AUG 06 2025

Hamburg Township
Planning and Zoning Department

GRAPHIC STANDARDS	
ROOM NAME 101	ROOM NUMBER
	ENLARGED DETAIL AS.1
	DETAIL TAG AS.1
	ELEVATION TAG AS.1
	WALL SECTION TAG AS.1
	BUILDING SECTION TAG AS.1
	STRUCTURAL GRID A
	INTERIOR ELEVATIONS A.1
	GLAZING NUMBER 101
	DOOR NUMBER 101
	PARTITION TYPE 101
	EQUIPMENT TAG 101
	CONCRETE
	UNSETTLED EARTH OR COMPACTED FILL
	POROUS FILL (GRAVEL)
	BRICK OR STONE MASONRY
	CONCRETE MASONRY
	GYP. BD.
	BATT INSULATION
	RIGID INSULATION
	METAL
	FINISH WOOD
	ROUGH WOOD
	PLYWOOD
	GLASS (in ELEVATION)

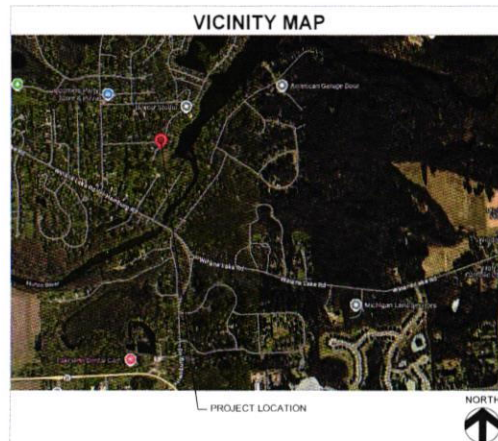
GENERAL NOTES	
1. Contractor shall be governed by the currently adopted edition of all codes and regulations having jurisdiction over aspects of this construction project.	11. Do not use selective containing products to work in place. Contractor shall not cut, drill, remove, or otherwise disturb any material, equipment, construction, etc., if it is thought to contain any hazardous material. If material, equipment, construction, etc., is encountered which appears to, or is likely to contain hazardous materials, notify Owner immediately.
2. Written dimensions and existing conditions shall be verified in the field by the Contractor and/or his Subcontractors. Do not scale drawings. If further clarification is required, contact Architectural Designer and provide him with field dimensions as required to assist him with his clarification.	12. Electrical equipment shall be certified as containing no PCB's.
3. Any discrepancy in dimensions and/or drawings and/or field measurements shall be brought to the attention of the Architectural Designer prior to the commencement of any work.	13. Typographical errors or errors of spelling shall be brought to the Architectural Designer's attention for clarification. Interpretation of the meaning of typed or misspelled words without clarification from the Architectural Designer will be done by the Contractor with acceptance of responsibility for that interpretation and all consequences arising therefrom.
4. These drawings and specifications are the property and copyright of the Architectural Designer and shall not be used on any other work except by agreement with the Architectural Designer.	14. Note: All dimensions to face of masonry, center line of structural steel or face of stud, typ. is in - All masonry dimensions indicated are nominal dimensions.
5. Duty of Cooperation: Release of these plans anticipates further cooperation among the Owner, Contractor, and Architectural Designer. Although the Architectural Designer and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Any ambiguity or discrepancy discovered shall be reported immediately to the Architectural Designer. Failure to cooperate by a timely notice to the Architectural Designer shall not release the Contractor from responsibility for all consequences. Changes made from the plans without the consent of the Architectural Designer are unauthorized, and shall release the Architectural Designer of responsibility for all consequences arising out of such changes.	15. The term "provide" as used herein shall mean that Contractor shall furnish and install and item, construction, equipment, materials, etc., for a complete, finished installation.
6. All products shall be installed per manufacturer's recommendations.	16. General Contractor shall be responsible for coordination of all trades using work and coordination with Owner and Contractor's subcontractors regarding installation and provision for all equipment, materials and construction indicated "by Owner" or "by others" on these documents.
7. All work to be in accordance with "General Conditions of the Contract for Construction - AIA, Document A201" and other Contract Documents.	17. All existing areas outside of contract limits are fully finished and beyond the jurisdiction of the owner. Contractor shall use all precautions necessary to protect these areas from damage, debris, and any other deleterious effects caused by the construction. Any areas affected by this construction shall be restored to original condition as required at completion of project.
8. Contract Documents also include the Project Manual and specifications, said documents are made part of these drawings in their entirety as if attached.	
9. The Contractor shall include any work required to make the end result building operative and safe to be occupied. If equipment, material and/or other is not detailed in drawings or specifications but is obviously required as industry standard for operative conditions, the work shall be included in item list. If the Owner does not accept the Contractor's selection, the additional cost (to the Contractor) of that equipment or materials chosen by the Owner or Architectural Designer will be offset by Change Order.	
10. Do not use cadmium or cadmium plated products or products containing cadmium for work in place.	



Entry Renovation DiGiuseppe Residence

9217 Riverside Drive
Hamburg Township
Brighton, Michigan

PERMIT SET
3-18-2025



SHEET INDEX	
SHEET	DESCRIPTION
ARCHITECTURAL	
A0.0	Cover Sheet
A1.0	Site Plan
A1.1	Wall / Roof / Floor Assemblies
A2.0	Existing / Demo Floor Plan
A2.1	New Floor Plans
A2.2	Main Level R.C.P.
A3.1	Exterior Elevations
A4.1	Building Sections
A4.2	Interior Elevations
A5.1	Details
A6.0	Outline Specifications
A6.1	Outline Specifications
STRUCTURAL	
S1.1	Foundation & Main Floor Framing Plan
S1.2	Lower Roof Framing Plan
S2.1	Structural Details

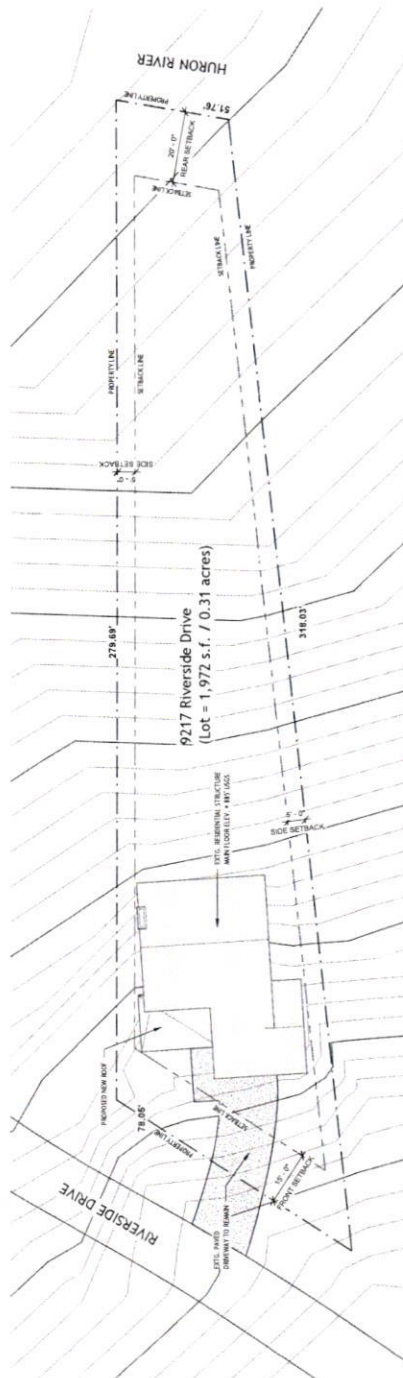
PROJECT INFORMATION											
PROJECT ADDRESS	9217 Riverside Drive Hamburg Township Brighton, MI 48116										
PROJECT DESCRIPTION	Main entry renovation and addition, including new covered porch, to existing single-family residence.										
BUILDING TYPE	R1 - Residential (Single-Family) Existing										
LEGAL DESCRIPTION	SEC 24 1/4 R5E - Twp 14 30N GNE 1/4 24 1/4 R5E - Twp 14 30N Livingston County, Michigan										
GROSS BUILDING AREA	<table> <tr> <td>of Total Gross Floor Area</td><td>+ 2,830 sq. ft. (2,840 sq. ft. - 10 sq. ft. change)</td></tr> <tr> <td>of - Upper Level Floor Area</td><td>+ 961 sq. ft. (961 sq. ft. - 0 sq. ft. change)</td></tr> <tr> <td>of - Main Level Floor Area</td><td>+ 876 sq. ft. (876 sq. ft. - 0 sq. ft. change)</td></tr> <tr> <td>of - Basement Level Floor Area</td><td>+ 893 sq. ft. (893 sq. ft. - 0 sq. ft. change)</td></tr> <tr> <td>of - Garage Gross Floor Area (net)</td><td>+ 446 sq. ft. (446 sq. ft. - 0 sq. ft. change)</td></tr> </table>	of Total Gross Floor Area	+ 2,830 sq. ft. (2,840 sq. ft. - 10 sq. ft. change)	of - Upper Level Floor Area	+ 961 sq. ft. (961 sq. ft. - 0 sq. ft. change)	of - Main Level Floor Area	+ 876 sq. ft. (876 sq. ft. - 0 sq. ft. change)	of - Basement Level Floor Area	+ 893 sq. ft. (893 sq. ft. - 0 sq. ft. change)	of - Garage Gross Floor Area (net)	+ 446 sq. ft. (446 sq. ft. - 0 sq. ft. change)
of Total Gross Floor Area	+ 2,830 sq. ft. (2,840 sq. ft. - 10 sq. ft. change)										
of - Upper Level Floor Area	+ 961 sq. ft. (961 sq. ft. - 0 sq. ft. change)										
of - Main Level Floor Area	+ 876 sq. ft. (876 sq. ft. - 0 sq. ft. change)										
of - Basement Level Floor Area	+ 893 sq. ft. (893 sq. ft. - 0 sq. ft. change)										
of - Garage Gross Floor Area (net)	+ 446 sq. ft. (446 sq. ft. - 0 sq. ft. change)										
PROJECT JURISDICTION	Livingston County Michigan										
ADOPTED BUILDING CODES	2015 Michigan Residential Code 2015 Michigan Energy Conservation Code 2015 International Fire Code 2015 International Plumbing Code 2015 International Mechanical Code 2020 National Electric Code 2017 COWI Regulations										
PROJECT ELEVATION	885 ft. Elevation (9/03/03)										

PROJECT DIRECTORY	
OWNERS	Mindy Mackay and Steve DiGiuseppe 9217 Riverside Drive Brighton, MI 48116 (734) 277-7475 Contact: Steve DiGiuseppe email: steve@tandemtile.com
ARCHITECTURAL DESIGNER	McAllister Innovative Concepts, Inc. 620 Grandview Meadows Drive A-102 Longmont, CO 80503 (303) 666-6334 Contact: Cody McAllister email: MIC_Design@protonmail.com
STRUCTURAL ENGINEER	Gebau Structural Engineers 168 Centennial Pkwy., # 180 Louisville, CO 80027 (303) 444-8545 Contact: Joel Ambrosio email: jwel@gebau.com
CONTRACTOR	Owner / TBD

RECEIVED

AUG 06 2025

Hamburg Township
Planning and Zoning Department



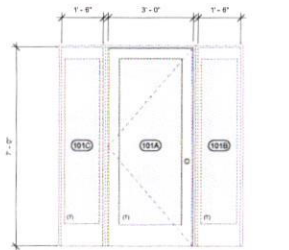
1 SITE PLAN
N.T.S. / 1" = 100'



DOOR SCHEDULE						
Mark	Width	Height	Thickness	Type Mark	Door Cladding Material	Type Comments
101A	3'-0"	7'-0"	0" - 1 3/8"	A		
101B	1'-6"	7'-0"	0" - 1 3/8"	B		SIDE LIGHT
101C	1'-6"	7'-0"	0" - 1 3/8"	B		SIDE LIGHT
102	3'-0"	7'-0"	0" - 2"	C		EXTG. - FLIP SWING & DIRECTION AS REQ'D
EXTG	2'-6"	7'-0"	0" - 1 3/8"			
EXTG-G	17'-0"	8'-0"	0" - 1 3/4"			EXTG OVERHEAD DOOR TO REMAIN

HARDWARE NOTES:

- All hardware referenced is to be Schlage or approved equal unless noted otherwise.
- Unless noted otherwise, all doors with head height 8'-0" and below to have 1-1/2" per hinge - w/ matching 626 finish.
- G.C. to furnish lock sets, levers, strike plates, bumpers and all other items to provide a complete and functioning hardware package all of matching 626 finish.
- Refer to Owner representative for latching requirements.
- Package is subject to additional electronic / security devices - G.C. to coordinate.
- Provide glass as required.
- Provide weather-stripping at all exterior doors.
- Provide safety glazing as required by code.



TYPE-B
SINGLE FULL-GLAZED
EXTRA WOOD SIDE UNIT

TYPE-A
SINGLE FULL-GLAZED
EXTRA WOOD DOOR

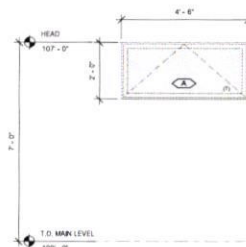
TYPE-B
SINGLE FULL-GLAZED
EXTRA WOOD SIDE UNIT

DOOR TYPES

A1.1 1/2" = 1'-0"

WINDOW NOTES:

- SEE PLANS & ELEVATIONS FOR WINDOW & DOOR LOCATIONS, MALLED WINDOW UNIT LOCATIONS, AND EGRESS WINDOW LOCATIONS.
- SEE WINDOW SCHEDULE FOR UNIT FRAME DIMENSIONS.
- WINDOW SETS ARE BASED ON MAXIMUM ALUMINUM CLAD WOOD WINDOWS. ASSUME MAXIMUM ESSENTIAL WHERE FIRE-RATED WINDOWS ARE SPECIFIED.
- FIXED WINDOWS ARE SASH-SET. TYP.
- WINDOW DIMENSIONS ON PLANS ARE TYPICALLY TO CENTERLINE OF UNIT. PLEASE FIND NOTES DESCRIBING WINDOW ALIGNMENT AND PLACEMENT RELATIVE TO OTHER BUILDING ELEMENTS WHERE DIMENSIONS ARE NOT PROVIDED. CONTRACTOR TO VERIFY AND COORDINATE ROUGH OPENING AND WINDOW UNIT SIZES WITH THE DESIGN INTENT IMPLIED BY SUCH ALIGNMENTS. CONTACT ARCHITECT WITH QUESTIONS OR CONFLICTS.
- MALLED WINDOW UNITS TO BE FACTORY-MALLED.
- WINDOWS TO BE MAX. U-27 AND SHGC 0.20 UNCL. PER ERI REPORT.
- U-FACTORS OF FENESTRATION PRODUCTS SUCH AS WINDOWS, DOORS AND SKYLIGHTS SHALL BE LABELED AND CERTIFIED BY THE MANUFACTURER, DETERMINED BY AN ACCREDITED, INDEPENDENT LABORATORY IN ACCORDANCE WITH NFRC 100.
- ALL WINDOWS TO HAVE MIN. VISIBLE TRANSMITTANCE (VT) OF 54 FOR GLAZING.
- SEE EXTERIOR ELEVATIONS FOR OPERATION OF WINDOWS AND DOORS (HINGE LOCATIONS).
- 1" T-TEMPERED OR SAFETY GLASS. CONTRACTOR TO VERIFY AND PROVIDE SAFETY GLASS AS REQUIRED BY CODES.
- ALL OPERABLE WINDOW UNITS TO BE PROVIDED WITH SCREENS & FOLDING OPERATING HARDWARE.
- WINDOW DIMENSIONS & ROUGH OPENINGS MUST BE VERIFIED BY CONTRACTOR & ARCHITECTURAL DESIGNER PRIOR TO WINDOW ORDER.
- FINAL WINDOW ORDER MUST BE APPROVED BY ARCHITECTURAL DESIGNER & OWNER PRIOR TO FRAMING.
- GAPS BETWEEN WINDOW, DOOR, & SKYLIGHT ROUGH OPENINGS SHALL BE FOAMED & SEALED.

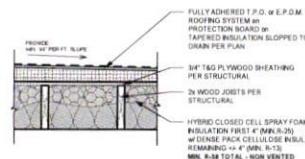


WINDOW ELEVATIONS

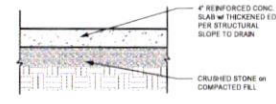
A1.1 1/2" = 1'-0"

TABLE R402.1.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT^{2a}

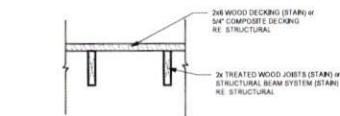
CLIMATE ZONE	FENESTRATION U-FACTOR ³	SKYLIGHT ⁵ U-FACTOR	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ⁴	FLOOR R-VALUE	BASEMENT ⁶ WALL R-VALUE	SLAB ⁴ R-VALUE & DEPTH	CRAMA ⁷ SPACE ⁸ WALL R-VALUE
5A	0.32	0.65	36	20 or 15 + 5"	13/17	30 ⁹	10/15	10, 2 ft	15/19



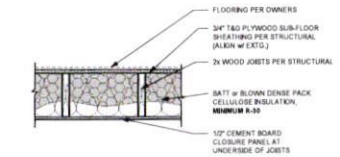
TYPICAL FLAT WOOD FRAMED ROOF w/ SLOPPED E.P.D.M. SYSTEM



TYPICAL CONCRETE PATIO / WALK ON GRADE



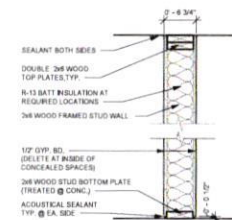
TYPICAL EXTERIOR WOOD FRAMED DECK



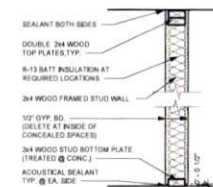
TYPICAL WOOD FRAMED FLOOR

FLOOR / CEILING ASSEMBLIES

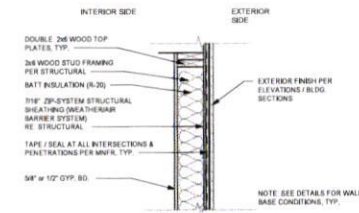
A1.1 1" = 1'-0"



2x6 WOOD STUD INTERIOR PARTITION



2x4 WOOD STUD INTERIOR PARTITION



EXTERIOR 2x6 WOOD STUD w/ ZIP-6S SHEATHING

WALL ASSEMBLIES

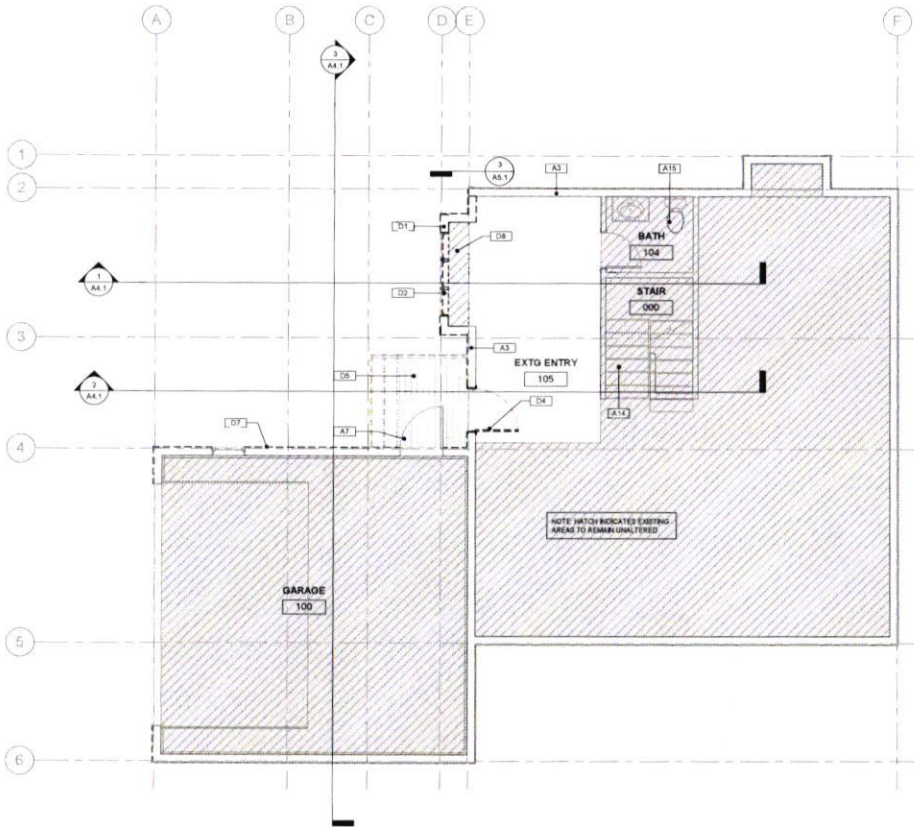
A1.1 1" = 1'-0"

RECEIVED

AUG 06 2025

Hamburg Township
Planning and Zoning Department

KEYNOTES	
A3	EXISTING WALL STRUCTURE TO REMAIN
A7	REVISE EXISTING DOOR AND FRAME TO SWING AS INDICATED
A14	EXISTING STAIRS TO REMAIN UNALTERED
A15	EXISTING HALF BATH TO REMAIN UNALTERED
D1	DEMOLISH EXISTING EXTERIOR WALL
D2	DEMOLISH EXISTING WINDOW
D4	DEMOLISH EXISTING DOOR, CASING AND FRAME
D5	DEMOLISH EXISTING PORCH AND STEPS
D7	REMOVE / STRIP EXISTING EXTERIOR SIDING, PREP AS REQ'D FOR NEW WALL FINISH SYSTEM
D8	DEMOLISH EXISTING CANTILEVERED FLOOR STRUCTURE (16 s.f.)



1 MAIN LEVEL EXTG
A2.0 1/4" = 1'-0"



DIGIUSEPPE RESIDENCE RENOVATION
9217 Riverside Drive
Brighton, Michigan

PROJECT NO. 2024011
ISSUE NO. 3-18-2025
REVISED
SHEET TITLE
EXISTING / DEMO PLAN
A2.0

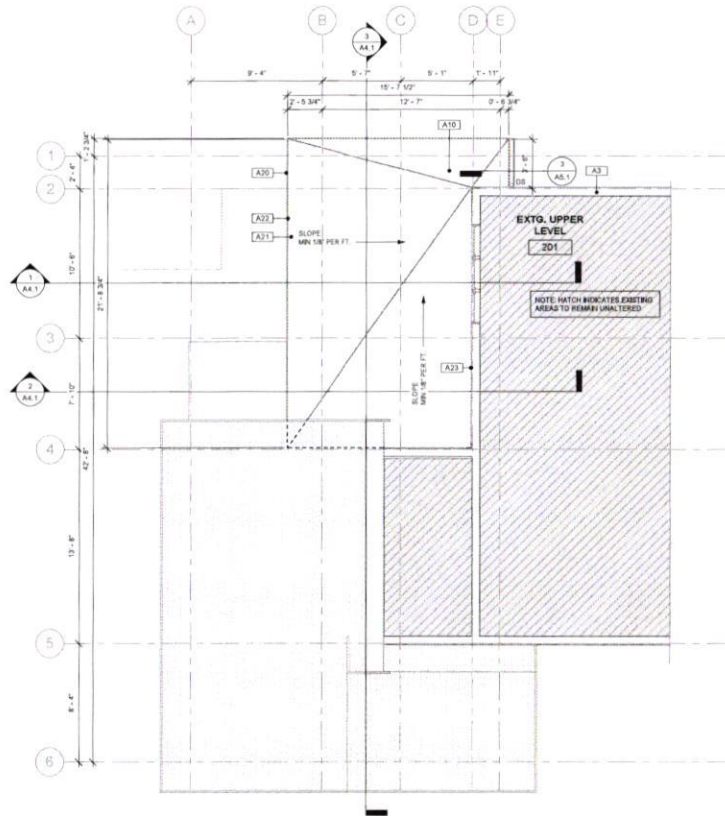
RECEIVED

AUG 06 2025

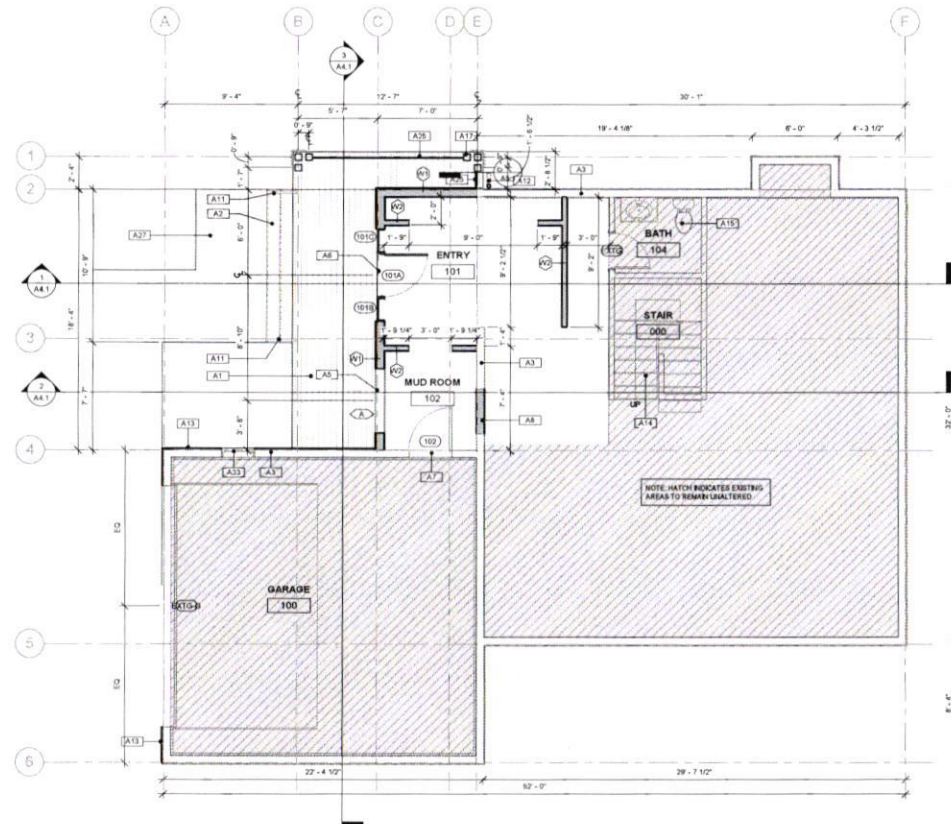
Hamburg Township
Planning and Zoning Department

KEYNOTES	
A1	NEW WOOD DECKING ON TREATED FRAMING PER STRUCTURAL
A2	NEW WOOD STEPS
A3	EXISTING WALL STRUCTURE TO REMAIN
A5	NEW WINDOW UNIT PER SCHEDULE
A6	NEW DOOR AND SIDE LITES PER SCHEDULE, COORDINATE FINAL SELECTION WORKERS
A7	REVISE EXISTING DOOR AND FRAME TO SWING AS INDICATED
A8	NEW INFILL WALL, MATCH FRAMING FINISH w/EXTG ADJACENT
A10	LOW-SLOPE MEMBRANE ROOFING SYSTEM on TAPERED INSULATION SLOPED TO DRAIN MIN. 1/4" PER FT.
A11	NEW STEEL HAND RAIL AT 34" ABOVE NOSING
A12	HEAVY DUTY PRE-FINISHED METAL GUTTER & DOWNSPOUT, PROVIDE HEAT TRACE, TYP.
A13	NEW COMPOSITE FIBER CEMENT BOARD PANEL FINISH w/ 1/2" REVEALS, COORDINATE FINAL SELECTION WORKERS

KEYNOTES	
A14	EXISTING STAIRS TO REMAIN UNALTERED
A15	EXISTING HALF BATH TO REMAIN UNALTERED
A17	3-6x8 TIMBER COLUMNS OR EQUIVALENT EXTERIOR GRADE GLU-LAM PER STRUCTURAL
A20	3/4" COMPOSITE BOARD FASCIA
A21	BUILT UP ROOF CURB, RUN ROOF MEMB. UP AND OVER CURB
A22	PRE-FIN METAL CAP FLASHING w/ DRIP
A23	PROVIDE METAL BASE FLASHING AT SIDING BASE, RUN ROOF MEMB. UP WALL MIN. 8"
A25	METAL GRILL / VERTICAL TRELLIS 'LIVING' SCREEN WALL T.B.D. - COORDINATE WORKERS
A27	NEW CONCRETE ENTRY WALK - COORDINATE FINAL EXTENTS WORKERS
A33	EXISTING WINDOW TO REMAIN



2 UPPER LEVEL PARTIAL FLOOR PLAN
A2.1 1/4" = 1'-0"



1 MAIN LEVEL FLOOR PLAN
A2.1 1/4" = 1'-0"



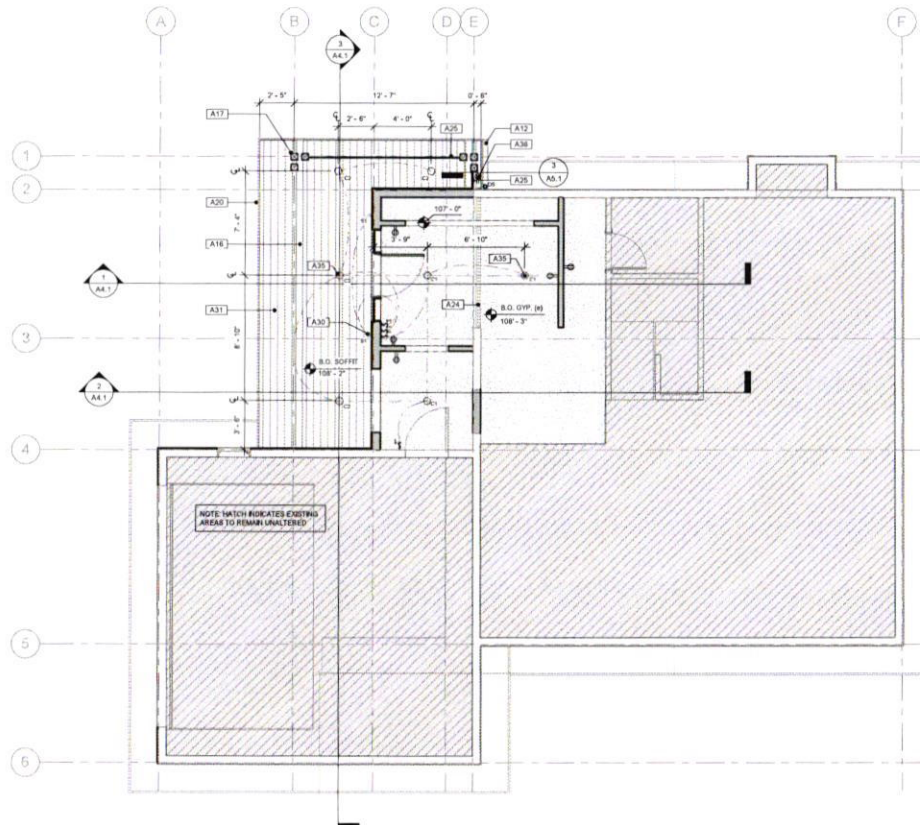
AUG 06 2025

2 MAIN LEVEL FRAMING PLAN
A2.2 1/4" = 1'-0"

1. MFC HAS NOT PROVIDED ELECTRICAL ENGINEERING FOR THIS PROJECT. THESE TRADES ARE TO BE DESIGNED.
2. LIGHTING DESIGN IS CONCEPTUAL. THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR ENGINEERING & INSTALLING THE SYSTEM TO MEET CODES, ORDINANCES, & OTHER REQUIREMENTS & FOR COORDINATION WITH OTHER TRADES.
3. NOT ALL OUTLETS ARE SHOWN. INSTALL OUTLETS AT 12" AFF (TO CENTER) UNO.
4. SWITCH LOCATIONS ARE NOT EXACT. ALL SWITCH & PLATE LOCATIONS MUST BE VERIFIED BY ARCHITECTURAL, DESIGNER & OWNERS DURING REGULAR ELEC. PHASE. INSTALL SWITCHES AT 48" AFF (TO CENTER) UNO.
5. ALL SWITCHES, PLATES & TRIMS TO BE SELECTED BY ARCHITECTURAL, DESIGNER & OWNER.
6. ALL BALLS TO BE 2700K COLOR TEMP. UNO.

	DUPLEX OUTLET
	DUPLEX OUTLET - GFI
	SINGLE POLE SWITCH
	3-WAY SWITCH
	3-WAY SWITCH
	THERMOSTAT
	SMOKE DETECTOR
	BATHROOM FAN
	TELEPHONE / DATA

A2	NEW WOOD STEPS
A12	HEAVY DUTY PRE-FINISHED METAL GUTTER & DOWNSPOUT. PROVIDE HEAT TRACE, TYP.
A16	6x14 TIMBER BEAM OR EQUIVALENT EXTERIOR GRADE GLU-LAM PER STRUCTURAL (STAIN & SEAL)
A17	3-6x6 TIMBER COLUMNS OR EQUIVALENT EXTERIOR GRADE GLU-LAM PER STRUCTURAL
A19	FLUSH BEAM PER STRUCTURAL
A20	3"x4" COMPOSITE BOARD FASCIA
A24	PROVIDE VERTICAL BEAM AT EXGT. UPPER LEVEL FLOOR CANTILEVER, RE STRUCTURAL
A25	METAL GRILL / VERTICAL TRELLIS LIVING SCREEN WALL T.B.D. - COORDINATE W/OWNERS
A26	NEW CONCRETE PIER PER STRUCTURAL
A27	NEW CONCRETE ENTRY WALK - COORDINATE FINAL EXTENTS W/OWNERS
A30	NEW EXTERIOR LIGHT FIXTURE T.B.D. - COORDINATE W/OWNERS
A31	1x6 T&G EXTERIOR SOFFIT BOARD @ BEAD BOARD SOFFIT PANELING @ COORDINATE W/OWNERS
A35	NEW CAN LIGHT FIXTURE - COORDINATE W/ OWNERS
A36	PROVIDE EXTERIOR DUPLEX OUTLET AT UNDERSIDE OF ROOF SOFFIT FOR HEAT TRACE / SEASONAL LIGHTS POWER



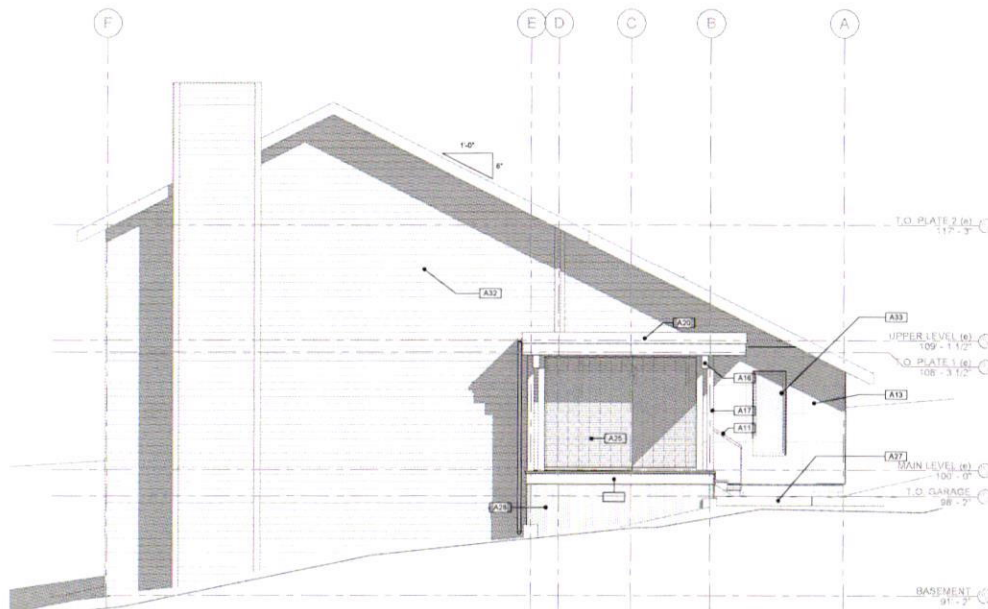
1 MAIN LEVEL REFLECTED CEILING PLAN
A2.2 1/4" = 1'-0"

RECEIVED

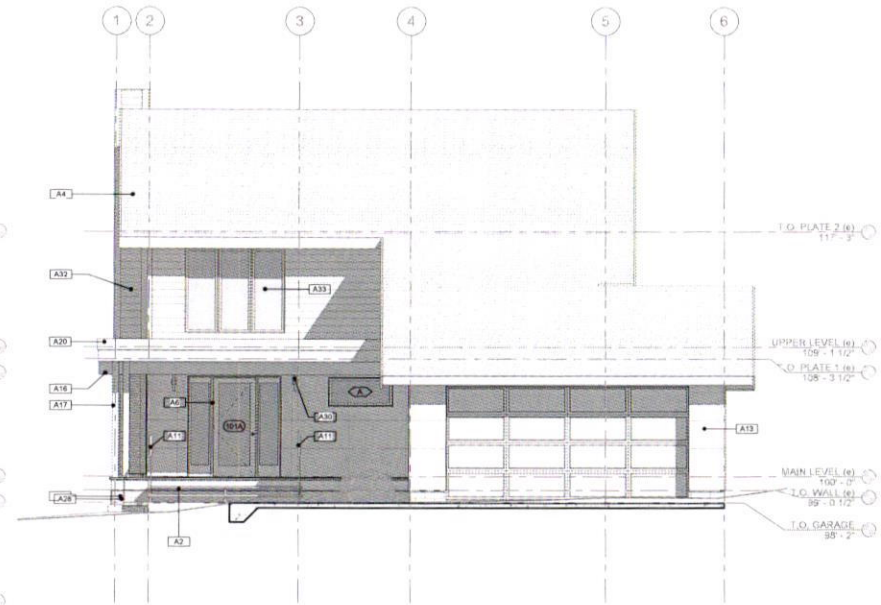
AUG 06 2025

Hamburg Township
Planning and Zoning Department

KEYNOTES	
A2	NEW WOOD STEPS
A4	EXISTING FLOOR / ROOF STRUCTURE TO REMAIN
A6	NEW DOOR AND SIDE LITES PER SCHEDULE, COORDINATE FINAL SELECTION w/OWNERS
A11	NEW STEEL HAND RAIL AT 34" ABOVE NOSING
A13	NEW COMPOSITE FIBER CEMENT BOARD PANEL FINISH w/ 1/2" REVEALS, COORDINATE FINAL SELECTION w/OWNERS
A16	6x14 TIMBER BEAM OR EQUIVALENT EXTERIOR GRADE GLU-LAM PER STRUCTURAL (STAIN & SEAL)
A17	3-6x6 TIMBER COLUMNS OR EQUIVALENT EXTERIOR GRADE GLU-LAM PER STRUCTURAL
A20	3/4" COMPOSITE BOARD FASCIA
A25	METAL GRILL / VERTICAL TRELLIS 'LIVING' SCREEN WALL T.B.D. - COORDINATE w/OWNERS
A27	NEW CONCRETE ENTRY WALK - COORDINATE FINAL EXTENTS w/OWNERS
A28	CORRUGATED METAL SKIRTING T.B.D. - COORDINATE w/OWNERS
A30	NEW EXTERIOR LIGHT FIXTURE T.B.D. - COORDINATE w/OWNERS
A32	RE-FINISH EXT.G. CEDAR SIDING (STAIN & SEAL)
A33	EXISTING WINDOW TO REMAIN



2 NORTH ELEVATION
A3.1 1/4" = 1'-0"



1 WEST ELEVATION
A3.1 1/4" = 1'-0"

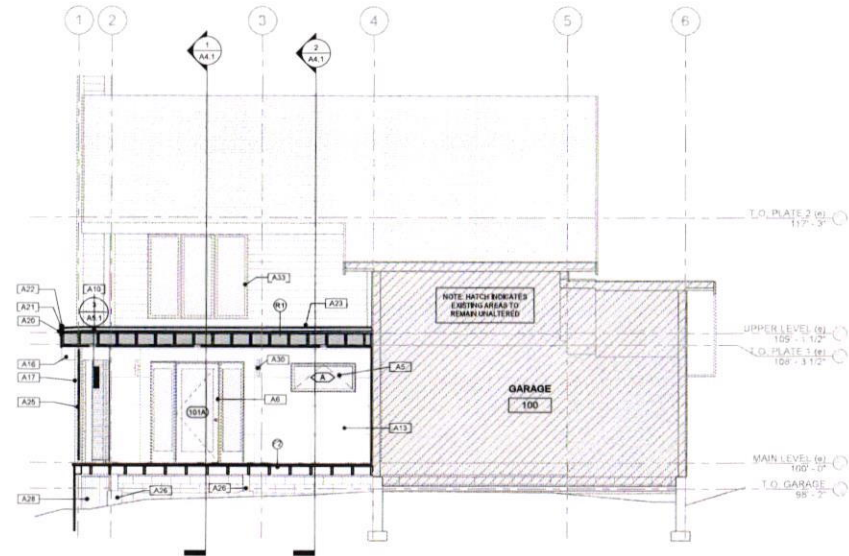


RECEIVED

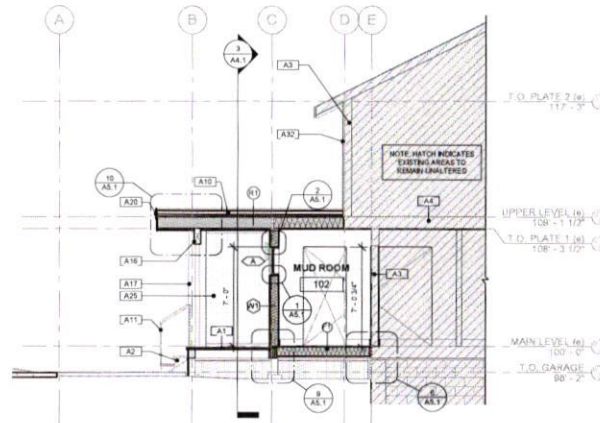
AUG 06 2025

Hamburg Township
Planning and Zoning Department

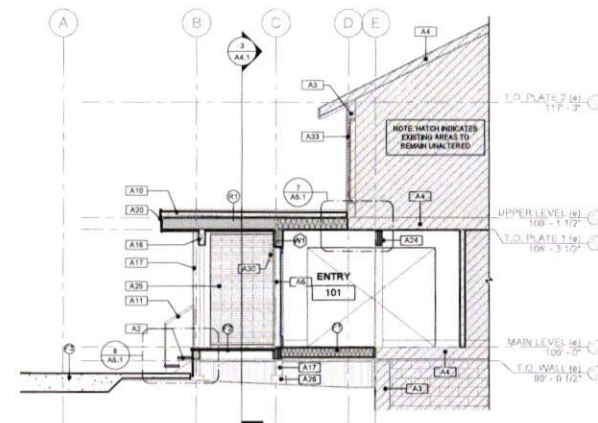
KEYNOTES	
A2	NEW WOOD STEPS
A3	EXISTING WALL STRUCTURE TO REMAIN
A4	EXISTING FLOOR / ROOF STRUCTURE TO REMAIN
A5	NEW WINDOW UNIT PER SCHEDULE
A6	NEW DOOR AND SIDE LITES PER SCHEDULE, COORDINATE FINAL SELECTION w/OWNERS
A10	LOW-SLOPE MEMBRANE ROOFING SYSTEM on TAPERED INSULATION SLOPED TO DRAIN MIN. 1/8" PER FT.
A11	NEW STEEL HAND RAIL AT 34" ABOVE NOSING
A13	NEW COMPOSITE FIBER CEMENT BOARD PANEL FINISH w/ 1/2" REVEALS, COORDINATE FINAL SELECTION w/OWNERS
A16	6x14 TIMBER BEAM OR EQUIVALENT EXTERIOR GRADE GLU-LAM PER STRUCTURAL (STAIN & SEAL)
A17	3-6x6 TIMBER COLUMNS OR EQUIVALENT EXTERIOR GRADE GLU-LAM PER STRUCTURAL
A20	3/4" COMPOSITE BOARD FASCIA
A21	BUILT UP ROOF CURB, RUN ROOF MEMB. UP AND OVER CURB
A22	PRE-FIN METAL CAP FLASHING w/ DRIP
A23	PROVIDE METAL BASE FLASHING AT SIDING BASE, RUN ROOF MEMB. UP WALL MIN. 8"
A24	PROVIDE / VERIFY BEAM AT EXTG. UPPER LEVEL FLOOR CANTILEVER, RE. STRUCTURAL
A25	METAL GRILL / VERTICAL TRELLIS / LIVING SCREEN WALL T.B.D. - COORDINATE w/OWNERS
A26	NEW CONCRETE PIER PER STRUCTURAL
A28	CORRUGATED METAL SKIRTING T.B.D. - COORDINATE w/OWNERS
A30	NEW EXTERIOR LIGHT FIXTURE T.B.D. - COORDINATE w/OWNERS
A32	RE-FINISH EXTG. CEDAR SIDING (STAIN & SEAL)
A33	EXISTING WINDOW TO REMAIN



3 BLDG SECTION 3
A4.1 1/4" = 1'-0"



2 BLDG SECTION 2
A4.1 1/4" = 1'-0"

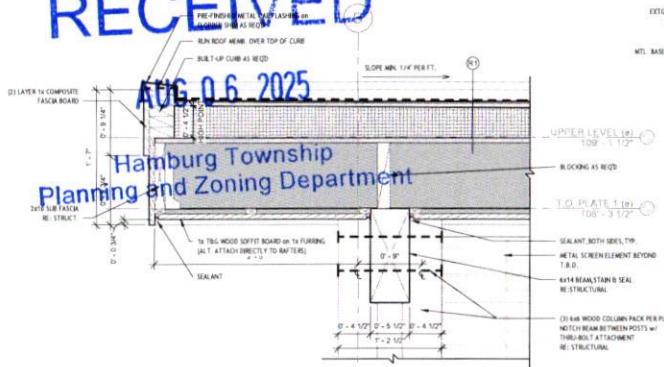


1 BLDG SECTION 1
A4.1 1/4" = 1'-0"

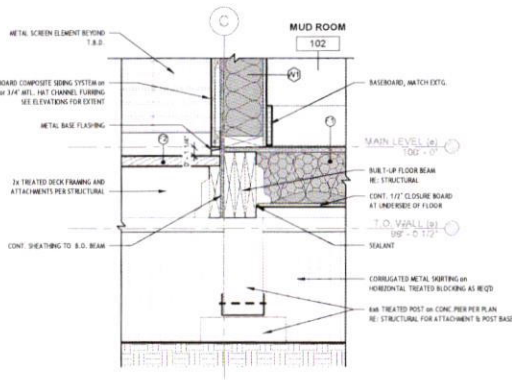
RECEIVED

AUG 06 2025

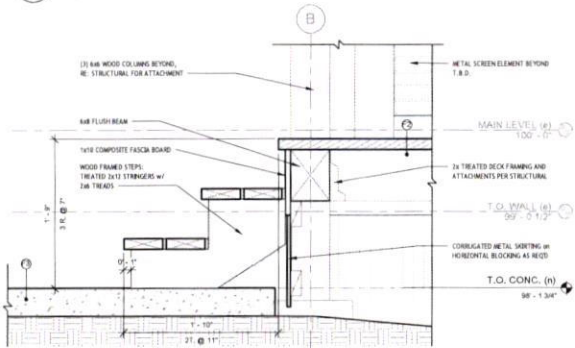
Hamburg Township
Planning and Zoning Department



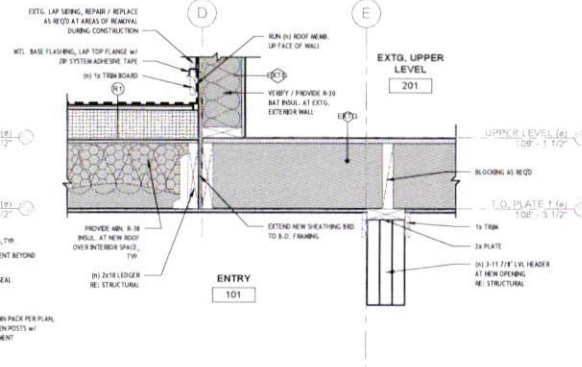
10 DTL - ROOF EDGE
AS.1 1 1/2" x 1'-0"



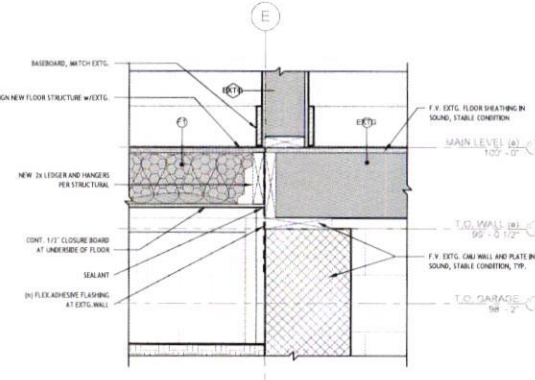
9 DTL - FLOOR BEAM
AS.1 1 1/2" x 1'-0"



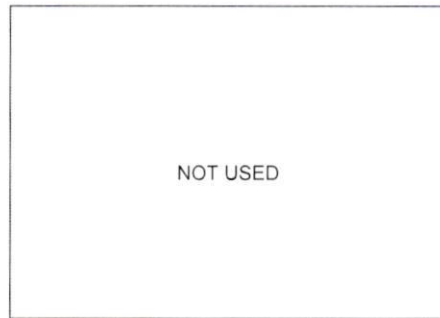
8 DTL - DECK EDGE
AS.1 1 1/2" x 1'-0"



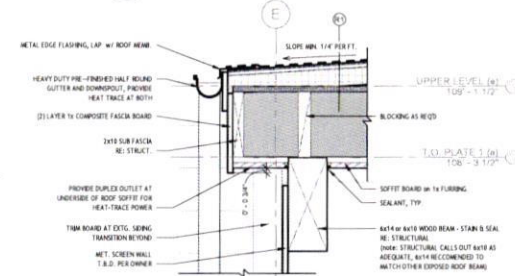
7 DTL - ROOF TRANSITION
AS.1 1 1/2" x 1'-0"



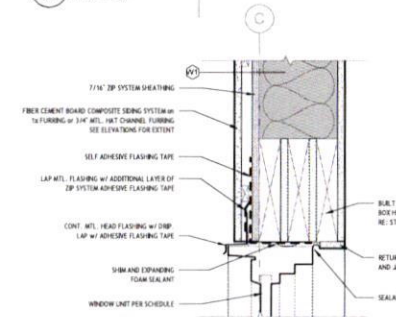
6 DTL - FLR. TRANSITION
AS.1 1 1/2" x 1'-0"



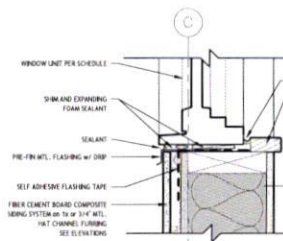
4 WRAP AT WINDOWS
AS.1 1 1/2" x 1'-0"



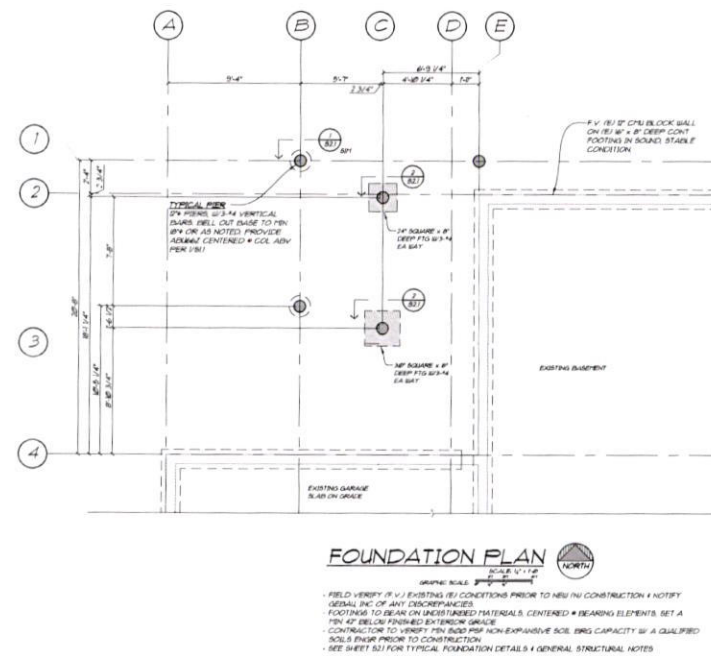
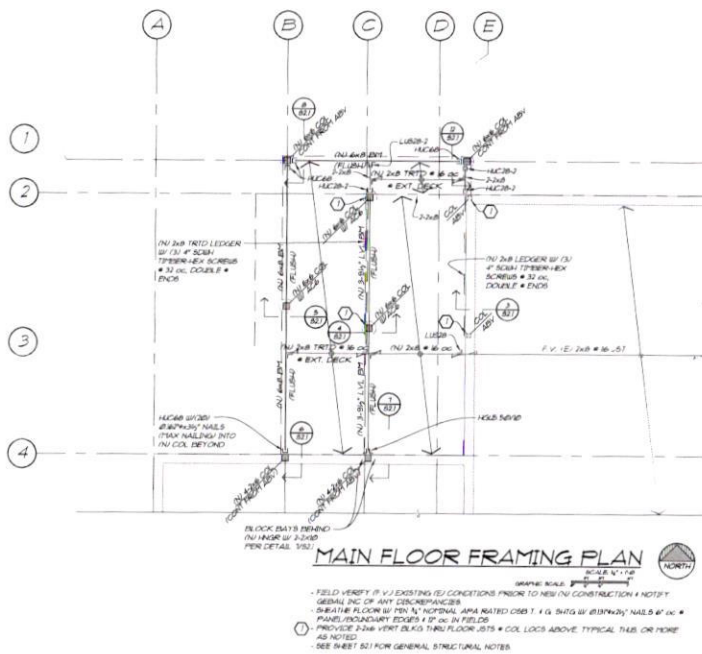
3 DTL - ROOF GUTTER
AS.1 1 1/2" x 1'-0"



2 DTL - WINDOW HEAD
AS.1 3" x 1'-0"



1 DTL - WINDOW SILL
AS.1 3" x 1'-0"



RECEIVED

AUG 06 2025

Hamburg Township
Planning and Zoning Department

GEBAU INC.
CONSULTING STRUCTURAL ENGINEERS
180 CENTENNIAL PARKWAY, STE. 180
LOUISVILLE, COLORADO 80027
(303) 444-8840 FAX (303) 444-2140

9217 RIVERSIDE DR
ADDITION
BRIGHTON, MI

DATE: 01/09/20
JOB # 24250
DRAWN BY: RR
CHECKED BY: JA
REVISED:



S1.1

COPYRIGHT 1994, GEMCO, INC.
ALL RIGHTS RESERVED

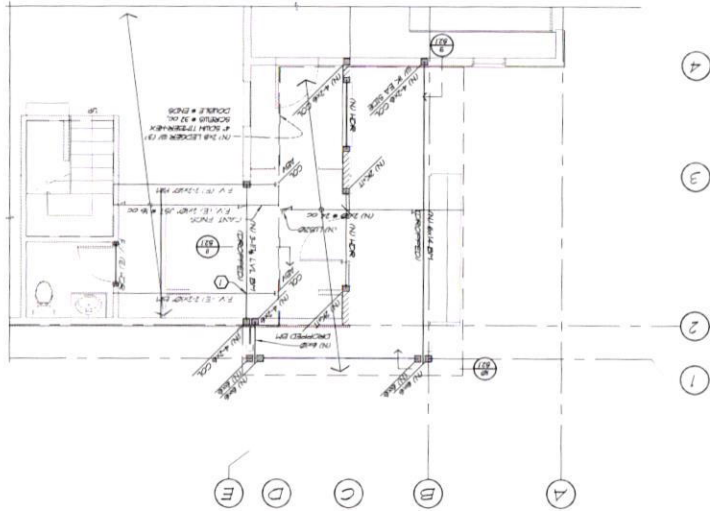
RECEIVED

AUG 06 2025

Hamburg Township
Planning and Zoning Department

FILED: 08/06/25 11:11 AM
HAMBURG TOWNSHIP PLANNING & ZONING DEPARTMENT
10000 W. 10TH AVE. SUITE 100
HAMBURG, MI 48061
RECEIVED
DATE: 01/09/25
JOB # 24050
DRAWN BY: JES
CHECKED BY: JA
REVIEWED:

LOWER ROOF FRAMING PLAN



S1.2



DATE: 01/09/25
JOB # 24050
DRAWN BY: JES
CHECKED BY: JA
REVIEWED:

9217 RIVERSIDE DR
ADDITION
BRIGHTON, MI



GEBAU
CONSULTING STRUCTURAL ENGINEERS
1400 GREENWOOD AVENUE, SUITE 100
BRIGHTON, MI 48061
508-444-1111
www.gebau.com

