

Richardson Remodel/Addition

9995 Riverview Pinckney, MI 48169



DRAWINGS PROVIDED BY:
Sawtooth, LLC
734.660.9746

Brian & Lesa Richardson
9995 Riverview
Pinckney, MI 48169

DEMOLITION PLAN

PERMIT SET (REV-1)

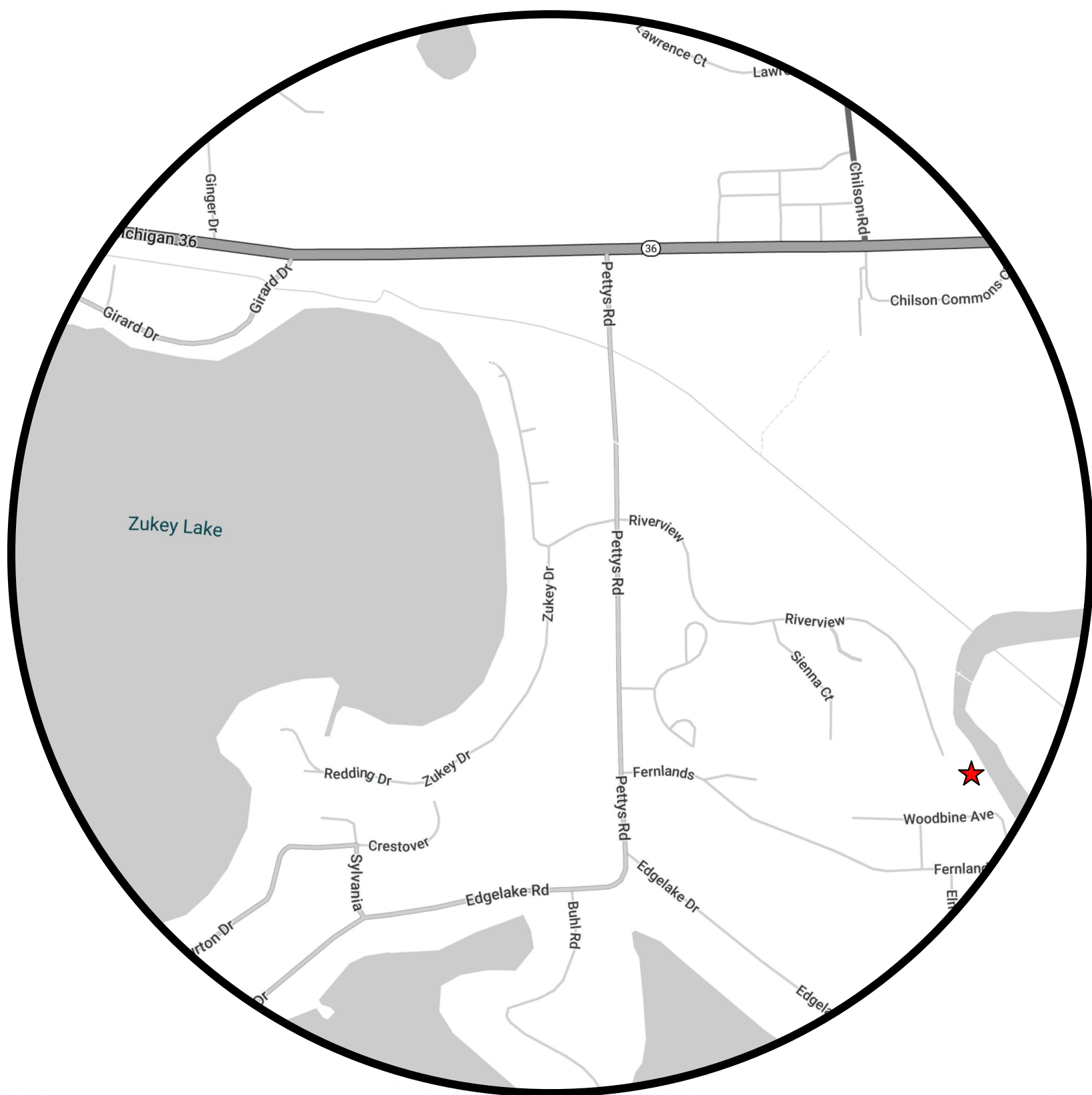
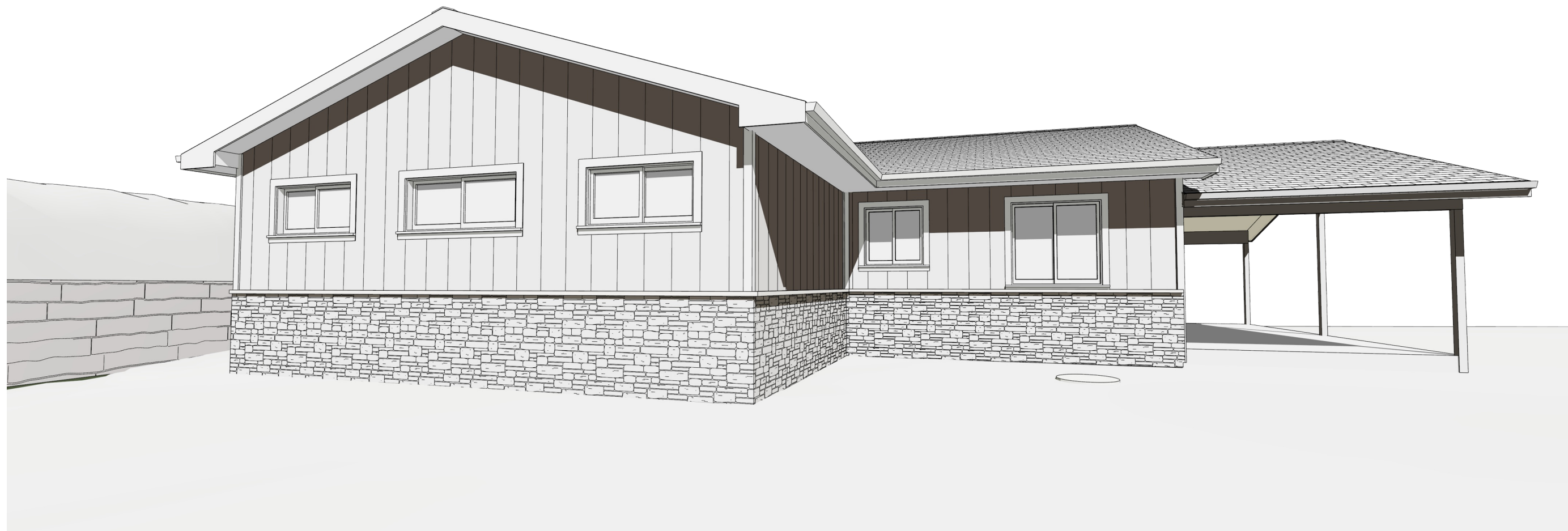
DATE:

03/26/2025

SCALE:

SHEET:

A-1



NOTES:

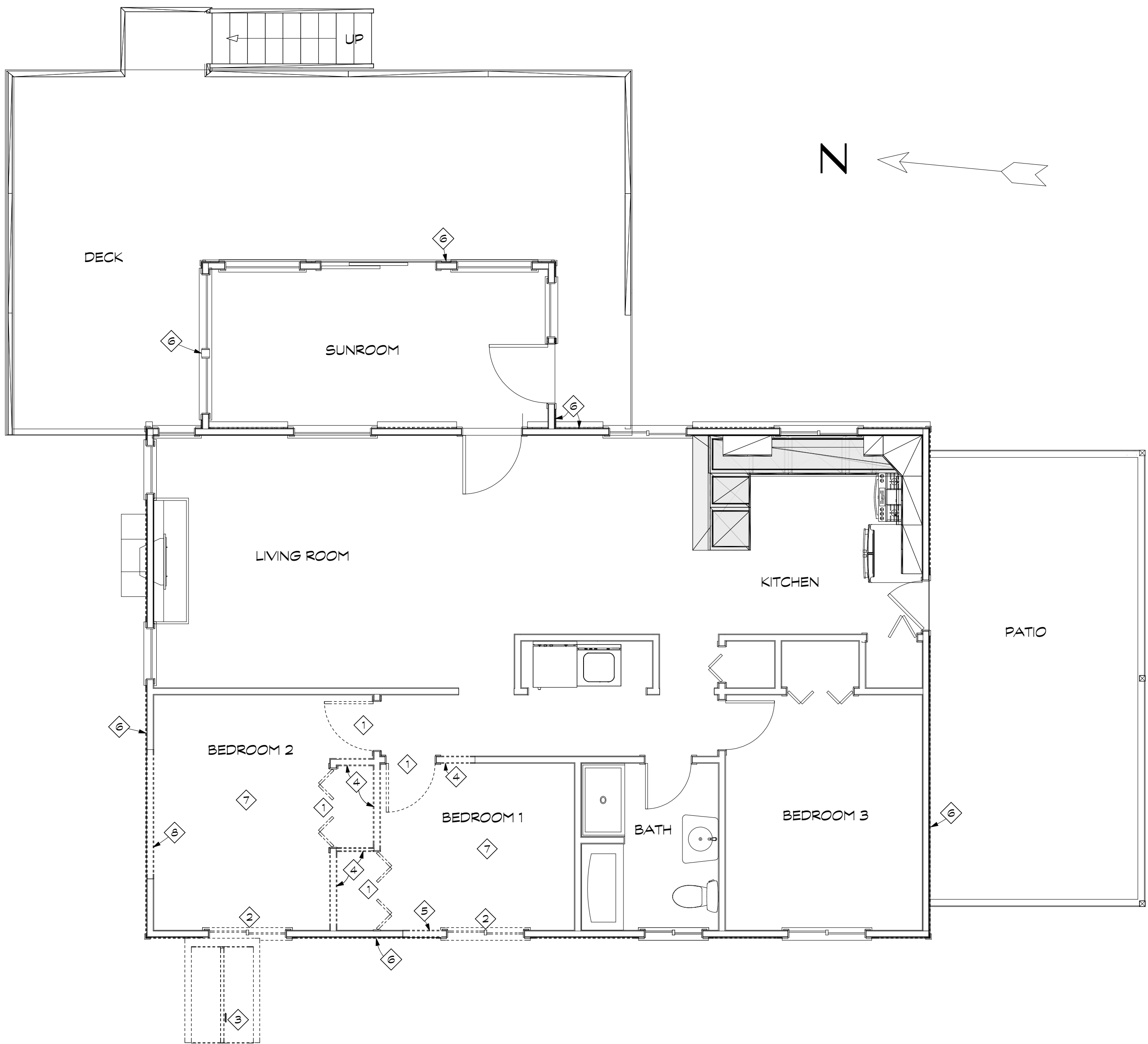
- General:
- This office shall not be responsible for construction means and methods, acts or omissions of the contractor or subcontractor, or failure of any of them to carry out work in accordance with the construction documents. Any defect discovered in the construction documents shall be brought to the attention of this office by written notice before proceeding with work. Reasonable time not allowed this office to correct the defect shall place the burden of cost and liability from such defect upon the contractor.
 - General Notes apply to all drawings.
 - All work will be performed in a workmanlike manner.
 - All work will conform to the 2015 Michigan Residential Code. The contractor shall assume full responsibility for any work knowingly performed contrary to such laws, ordinances, or regulations.
 - Do not scale drawings. Any dimensional information required which is not indicated on drawing dimension strings shall be obtained from this office.
 - Dimensions shown are from surfaces, unless noted otherwise.
 - Contractor shall verify all existing dimensions and conditions (i.e. existing materials, framing member sizes and locations, methods of construction). If discrepancies are found, notify this office before proceeding with work.
 - Contractor shall pay all permit fees.
 - Contractor shall maintain the immediate construction site in a secure, clean and safe manner.
 - Protection: Contractors shall be solely responsible for taking all steps necessary to protect the public from injury and adjacent property damages during construction as required by local codes.
 - The general contractor is responsible for the design and proper function of plumbing, HVAC and electrical systems. The general contractor shall notify this office with any plan changes required for design and function of plumbing, HVAC and electrical systems.
 - All dimensions are approximate and should be field verified.
 - Add blocking between subfloor and foundation at all point loads.
 - ALL ENGINEERED WOOD PRODUCT AND STEEL BEAM SIZES TO BE VERIFIED BY SUPPLIER OR STRUCTURAL ENGINEER. ALL SPECS FOR BRACING, HANGERS AND OTHER INSTALLATION REQUIREMENTS TO BE PROVIDED BY SUPPLIER OR STRUCTURAL ENGINEER. SIZES PROVIDED IN THIS DOCUMENT ARE FOR BUDGETING PURPOSES ONLY.
 - These drawings show a generic trench footing. It is solely the responsibility of the General Contractor to assess the soil conditions and determine if the footings as drawn are adequate and appropriate. no testing of soil conditions has been done.

Structural Design:
1 Design live load is 40 psf for the floors and 20 psf for the roof.
2 Design dead load is 20 psf for floors
3 Ground snow load is 25 psf
4 Wind design speed 115 mph, exposure C.

Concrete:
1 Concrete is $f_c=4000$ psi
2 Reinforcing steel is $f_y=60$ ksi
3 All concrete exposed to weather should be air entrained with 6% air.

Wood:
1 All dimension lumber is SPF #2 or better
2 All wood exposed to earth, concrete or weather should be pressure treated to resist rot.
3 Trusses are designed by the manufacturer and require stamped documents by a Michigan PE
4 LVL Specs $F_b=3100$, $E=2.1$
5 The LVL will come in pieces each 1.75' thick.
a For a two piece LVL (3.5' thick) fasten them together with Simpson SDS 1/4" x 3.5" screws in two rows at 16" on center.
b For a 3 piece LVL (5.25' thick) fasten them together with Simpson SDS 1/4" x 3.5" screws in two rows at 16" on center on each side
6 Glu-lam beams are 28F-2.1E
7 All connectors on pressure treated lumber should be either galvanized or stainless steel. Do not mix them. Use one kind or the other.

SHEET INDEX	
Label	Title
A-1	DEMOLITION PLAN
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A-7	COLOR RENDERINGS



- REMOVE & DISPOSE OF/DONATE DOOR & FRAME
- REMOVE & DISPOSE OF/DONATE WINDOW
- REMOVE & DISPOSE OF BILCO® DOOR. RETAIN CONCRETE WALLS
- REMOVE & DISPOSE OF WALL
- REMOVE & DISPOSE OF LOAD BEARING WALL SECTION (SHORE ROOF/CEILING LOAD BEFORE REMOVING)
- REMOVE & DISPOSE OF SIDING & SIDING TRIM (ENTIRE HOUSE)
- REMOVE & DISPOSE OF FLOORING
- OPEN WALL TO ALLOW FOR FRAMING MODIFICATIONS

DEMOLITION PLAN

SCALE: 1/4" = 1'

SITE MAP



LEGAL DESCRIPTION:

PER WARRANTY DEED 2017R-025038
Lots 2 and 3 and the South 24 feet of Lot 8, all of Lot 9 and the South 38 feet of Lots 10 and 11 of "Supervisor's Plat of Riverside", according to the plat thereof recorded in Liber 3, Page 32 of Plats, Livingston County Records.

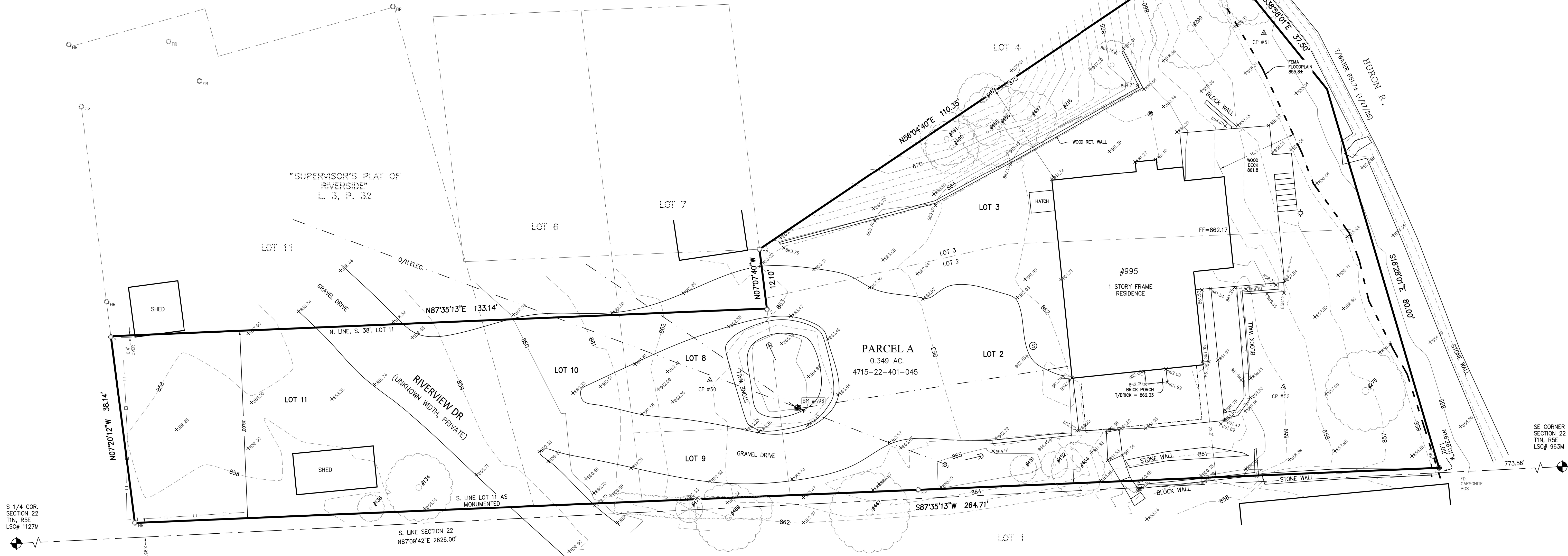
TREE TABLE		
TREE#	SIZE (IN.)	SPECIES
134	15	OAK
136	9	ELM
216	11	ELM
275	19	WALNUT
288	22	WILLOW
289	15	WILLOW
290	23	WALNUT
447	21	BEECH
451	8	ELM
452	8	LOCUST
454	13	LOCUST
469	21	ELM
471	7	PINE
485	12	ELM
486	18	ELM
487	14	ELM
489	12	OAK
490	10	LOCUST
491	10	ELM

STRUCTURE LEGEND:

- STORM MARKING
- YARD DRAIN
- BEEHIVE CATCH BASIN
- ROUND CATCH BASIN
- SQUARE CATCH BASIN
- STORM MANHOLE
- CULVERT/END SECTION
- DOWN SPOUT
- STORM CLEAN-OUT
- OUTLET CONTROL STRUCTURE
- SANITARY MANHOLE
- SANITARY CLEAN-OUT
- SANITARY MARK

WATER MANHOLEFIRE HYDRANTGATE VALVE & BOXWATER SHUT OFF VALVEWELLPOST INDICATOR VALVESPIGOT / HOSE BIBSPRINKLER HEADWATER MARKERMONITORING WELLTUNNEL MARKERGAS MANHOLEGAS RISERGAS METERGAS VALVEGAS BLOW OFFGAS STOP BOXGAS MARKINGTELEPHONE POLECOMMUNICATION MARKINGCOMMUNICATION HAND HOLECOMMUNICATION MANHOLETELEPHONE POLETELEPHONE RISERPOLICE/EMERGENCY CALLBOLLARDANTENNASTATUE / SCULPTUREAC UNITPARKING METERSIGNMAILBOXFLAG POLEROCK/BOULDERBASKETBALL POSTBIKE HOOPBENCHELECTRIC METERELECTRIC MANHOLEGROUND LIGHTLIGHT POLEGUY POLEPOWER POLEUTILITY POLEGUY POLEGUY ANCHORELECTRIC RISERTRANSFORMERELECTRIC HAND HOLEELECTRIC MARKINGTRAFFIC SIGNAL POST

S 1/4 COR.
SECTION 22
T1N, R5E
LSC# 1127M



BENCHMARK:

BM #498 - SET SPIKE IN POWER POLE
ELEV. = 866.42' NAVD88



CLIENT: LESA RICHARDSON
TOPOGRAPHIC SURVEY
9995 RIVERVIEW
IN THE SE 1/4 OF SECTION 22
T1N, R5E, HAMBURG TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN

- ELECTRIC LINE
- GAS MAIN
- WATER MAIN
- STORM LINE
- SANITARY LINE
- PHONE LINE
- WOOD FENCE
- BARBED WIRE FENCE

WATER MANHOLEFIRE HYDRANTGATE VALVEBEEHIVE CATCH BASINROUND CATCH BASINSTORM MANHOLECULVERT/END SECTIONSANITARY MANHOLELIGHT POLEUTILITY POLEGAS MAIN RISERSECTION CORNERFOUND IRON PIPEFOUND IRON RODSET IRON PIPESET MAC NAILFOUND MAC NAILSET WOOD LATHCONTROL POINTMEASURED DIMENSIONRECORDED DIMENSIONSURFACE FLOW

UTILITY NOTE:
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR HAS NO GUARANTEE AS TO THE LOCATION OR DEPTH OF ANY UTILITIES SHOWN EITHER IN SERVICE OR ABANDONED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UTILITIES SHOWN. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UTILITIES SHOWN. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UTILITIES SHOWN.



6653 Schneider Rd. • Manchester, MI • 48158
(734) 669-2960 • arborlandinc.com

JOB No. 01125
SHEET 1 OF 1
SCALE 1 INCH = 10 FEET

DATE: 2-3-2025
REVISION: 1

PROJECT INFORMATION

ADDRESS: 9995 Riverview
Pinckney, MI 48169

PARCEL ID #: 4715-22-401-045
ZONING: NR Natural River Residential
LOT SIZE: .349 AC. or 15,159 sq. ft.+/-
MUNICIPALITY: Hamburg Twp

EXISTING LOT COVERAGE

One Story Residence	1200 sq. ft.
Covered Patio	259 sq. ft.
Shed	136 sq. ft.
Total	1595 sq. ft.

PROPOSED LOT COVERAGE

Existing (from above)	1,595 sq. ft.
Addition	+ 315 sq. ft.
Total	1,910 sq. ft.

Total existing building coverage	1,595 sq. ft.	10.52 %
Total proposed building coverage	1,910 sq. ft.	12.60 %
Total allowable building coverage	5,306 sq. ft.	35.00 %

EXISTING IMPERVIOUS SURFACES

House roof	1,425 sq. ft.
Patio roof	329 sq. ft.
Deck	414 sq. ft.
Shed	136 sq. ft.
Gravel driveway/private road	3,727 sq. ft.
Total	6,031 sq. ft.

PROPOSED IMPERVIOUS SURFACES

Existing (from above)	6,031 sq. ft.
Additional roof	+ 345 sq. ft.
Total	6,346 sq. ft.

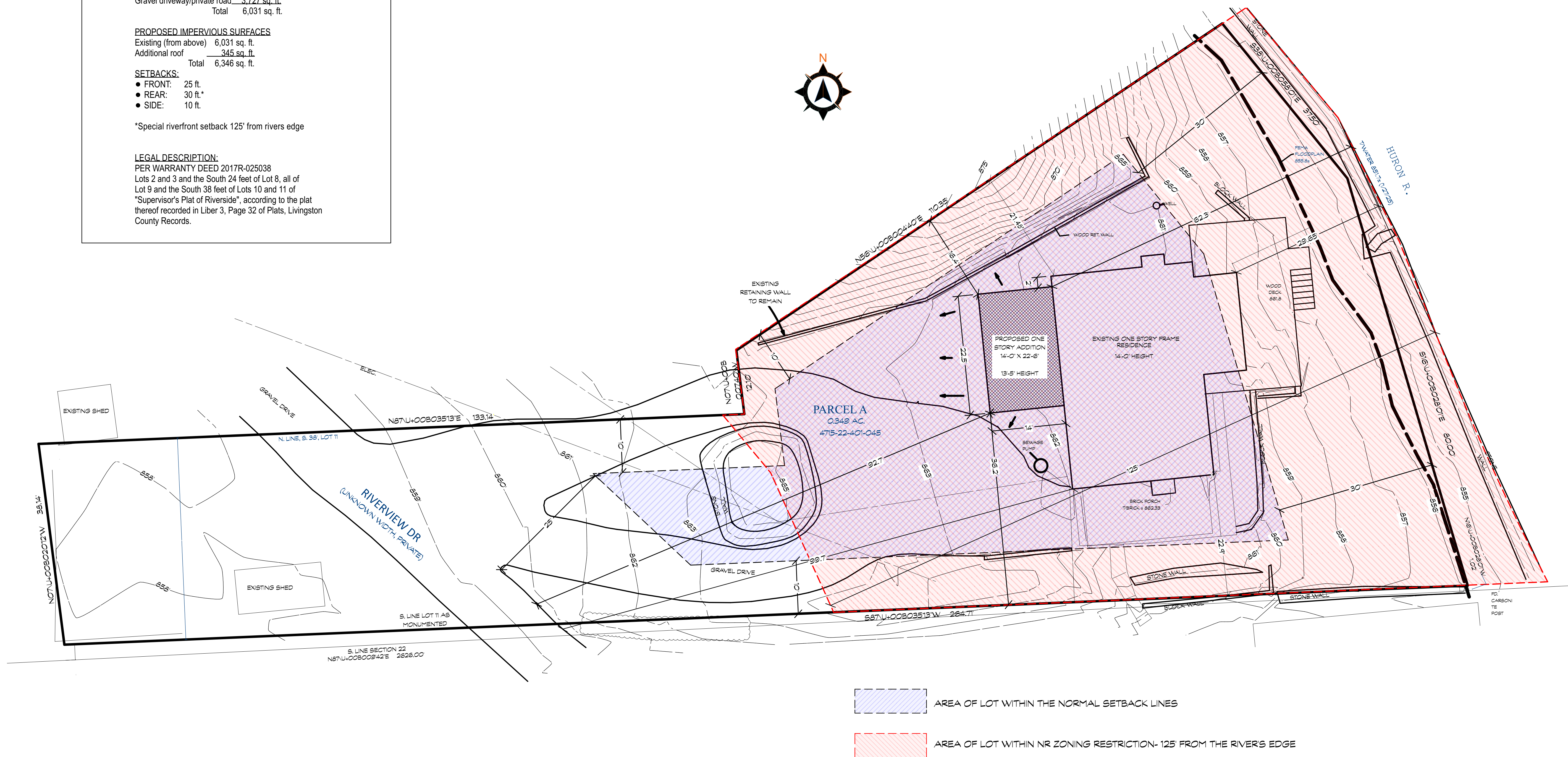
SETBACKS:

- FRONT: 25 ft.
- REAR: 30 ft.*
- SIDE: 10 ft.

*Special riverfront setback 125' from rivers edge

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Lot 9 and the South 38 feet of Lots 10 and 11 of
"Supervisor's Plat of Riverside", according to the plat
thereof recorded in Liber 3, Page 32 of Plats, Livingston
County Records.

NOTE:
ALL STORM WATER RUNOFF WILL BE MAINTAINED ON SUBJECT SITE.



SITE PLAN

SCALE: 1" = 10'



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SITE PLAN

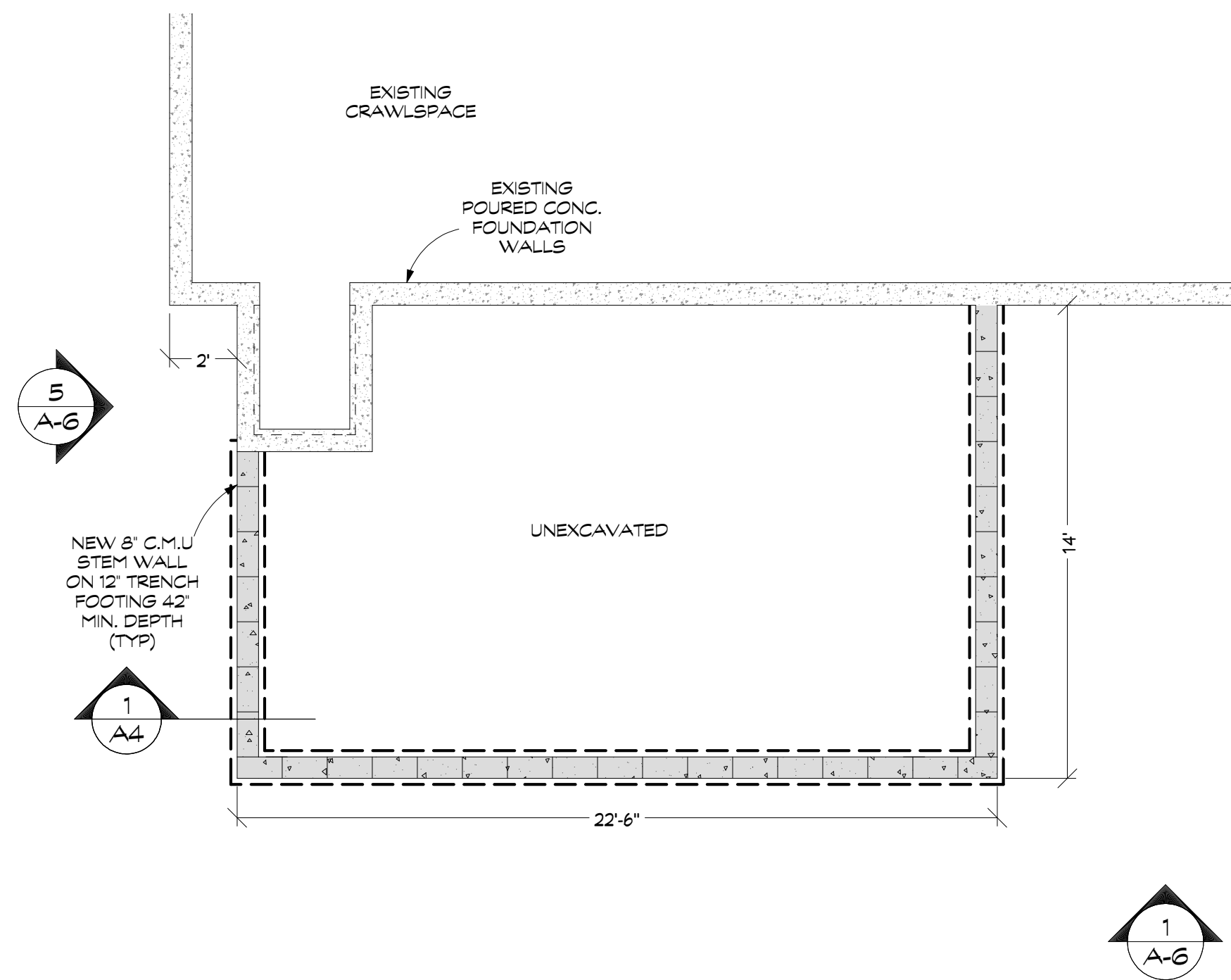
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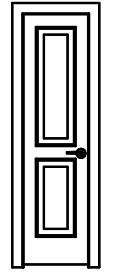
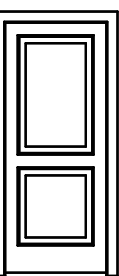
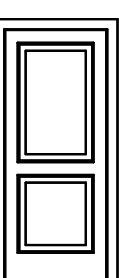
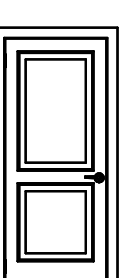

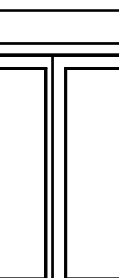
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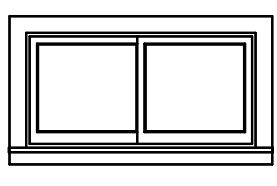
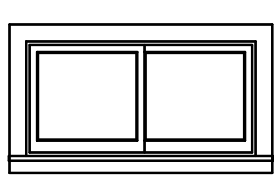
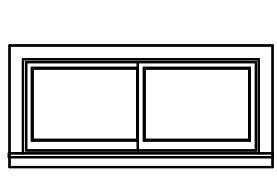
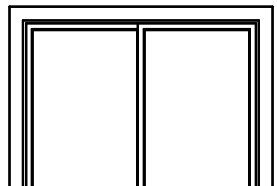
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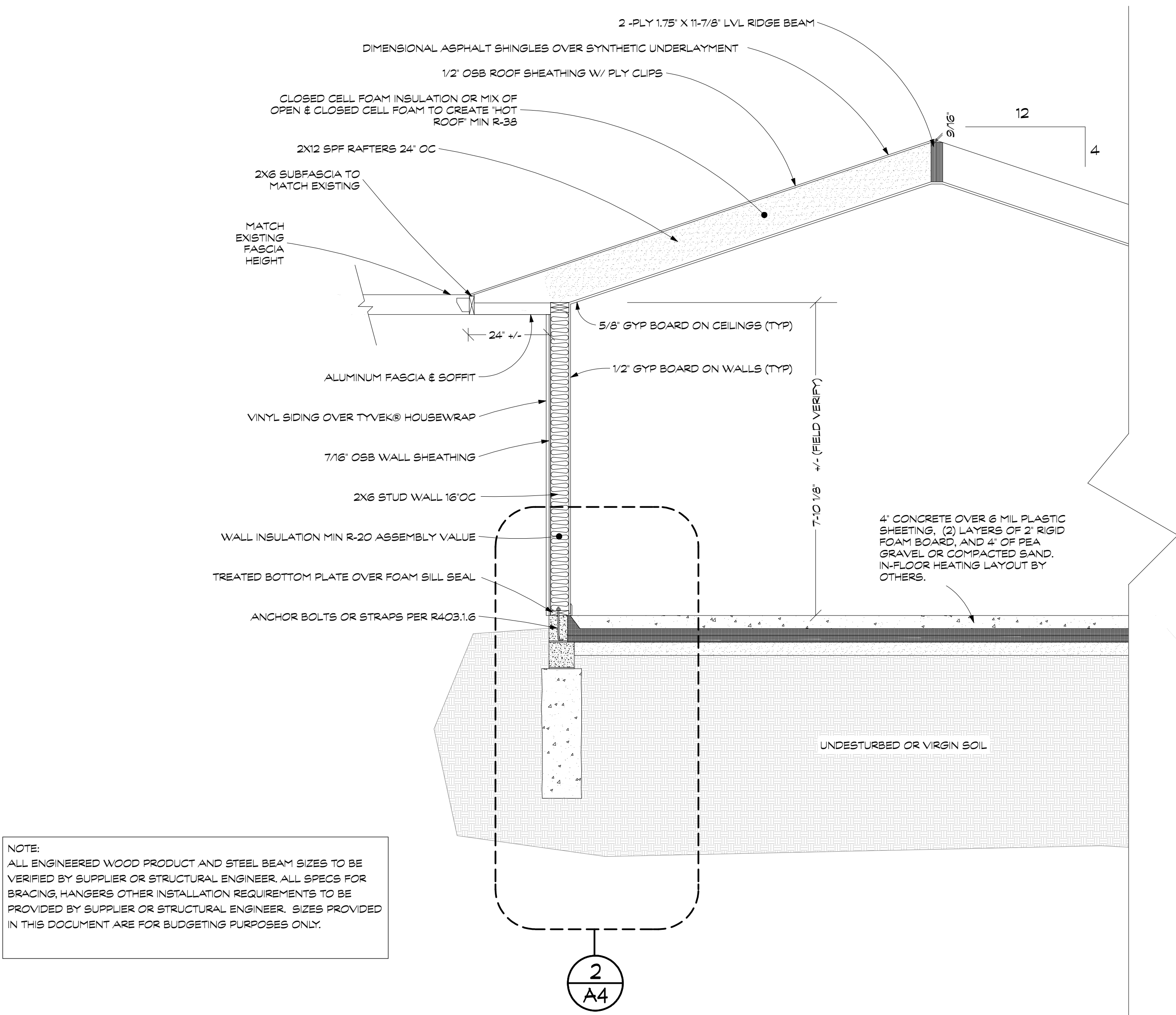
FOUNDATION PLAN SCALE: 1/4" = 1'

DOOR SCHEDULE					
3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY	FLOOR	SIZE
	DO1	1968	1	1	1968 L IN
	DO2	2868	1	1	2868 L
	DO3	2868	1	1	2868 R
	DO4	2868	3	1	2868 R IN
	DO5	4068	1	1	4068 L IN
	DO6	5068	1	1	5068 L EX

NOTE:
DOOR STYLES TBD

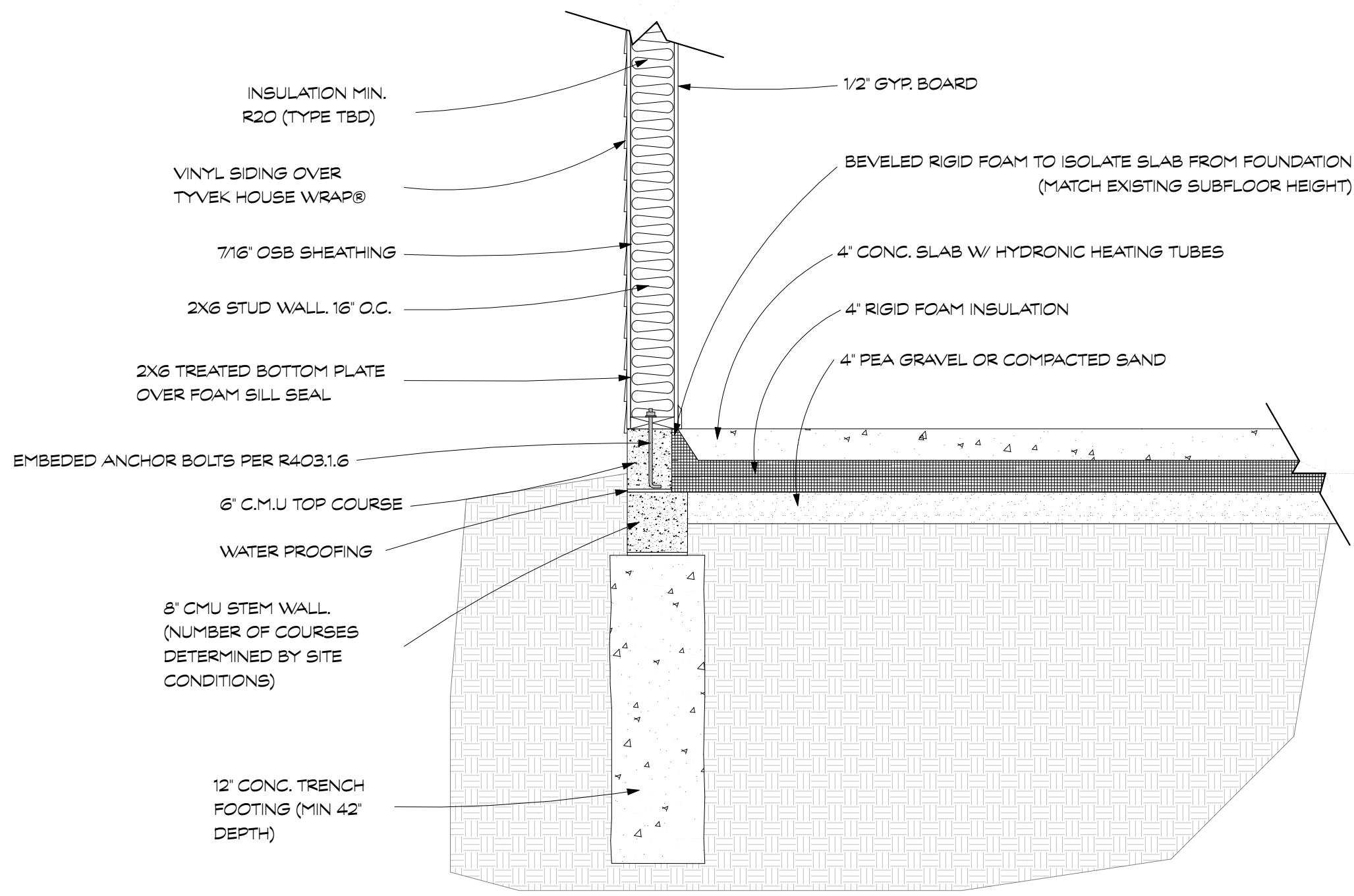
WINDOW SCHEDULE					
3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY	FLOOR	SIZE
	WO2	4020LS	1	1	4020LS
	WO3	4020RS	1	1	4020RS
	WO4	5020LS	1	1	5020LS
	WO5	5040LS	1	1	5040LS

WINDOW & DOOR SCHEDULES



NOTE:
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BUILDING SECTION SCALE: 1/2" = 1'



NOTE:
THESE DRAWINGS SHOW A GENERIC TRENCH FOOTING. IT IS SOLELY THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ASSESS THE SOIL CONDITIONS AND DETERMINE IF THE FOOTINGS AS DRAWN ARE ADEQUATE AND APPROPRIATE. NO TESTING OF SOIL CONDITIONS HAS BEEN DONE.

FOOTING DETAIL SCALE: 3/4" = 1'



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FOUNDATION PLAN, SCHEDULES
& BUILDING SECTION

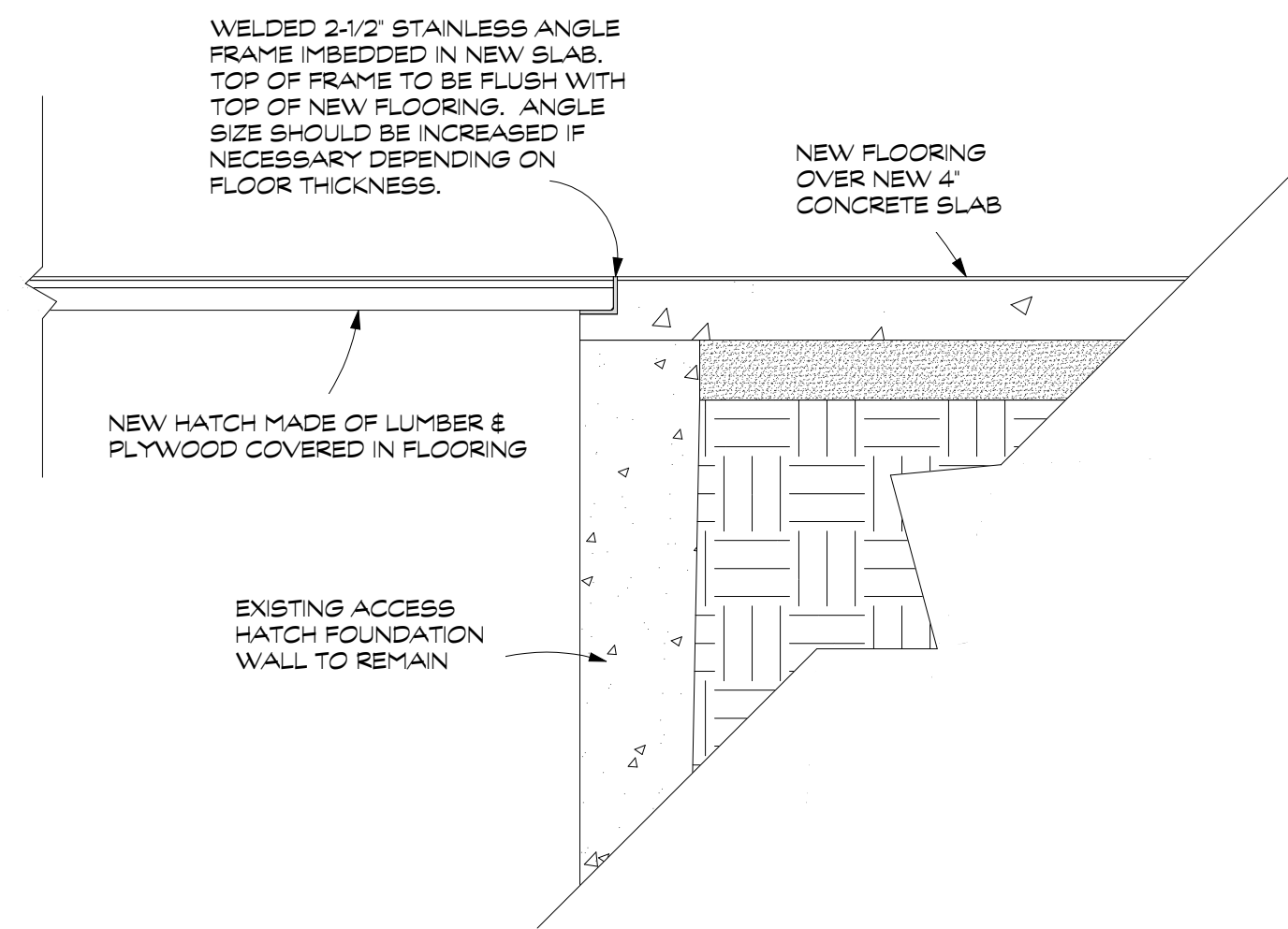
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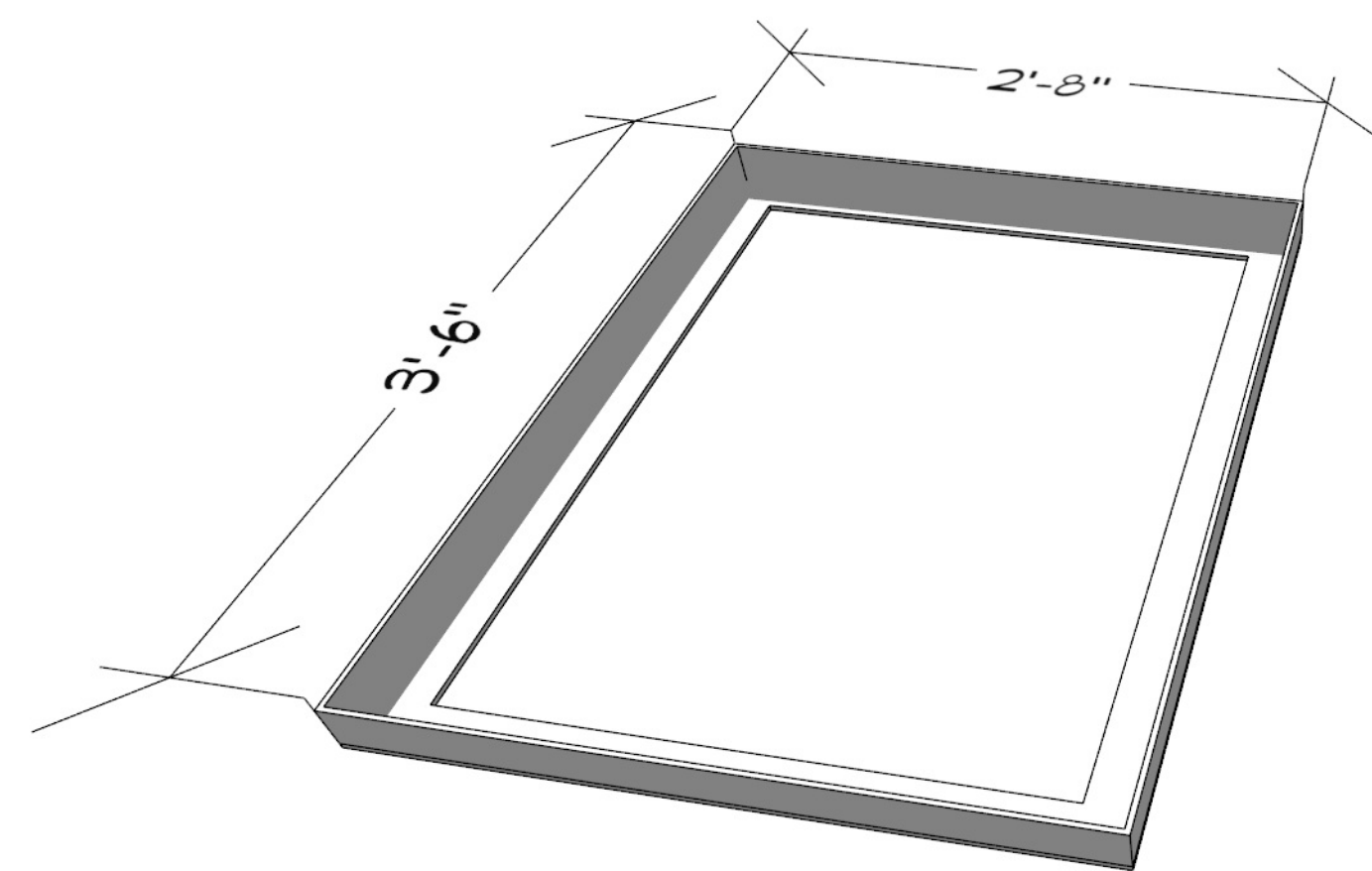
SCALE:

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A-4

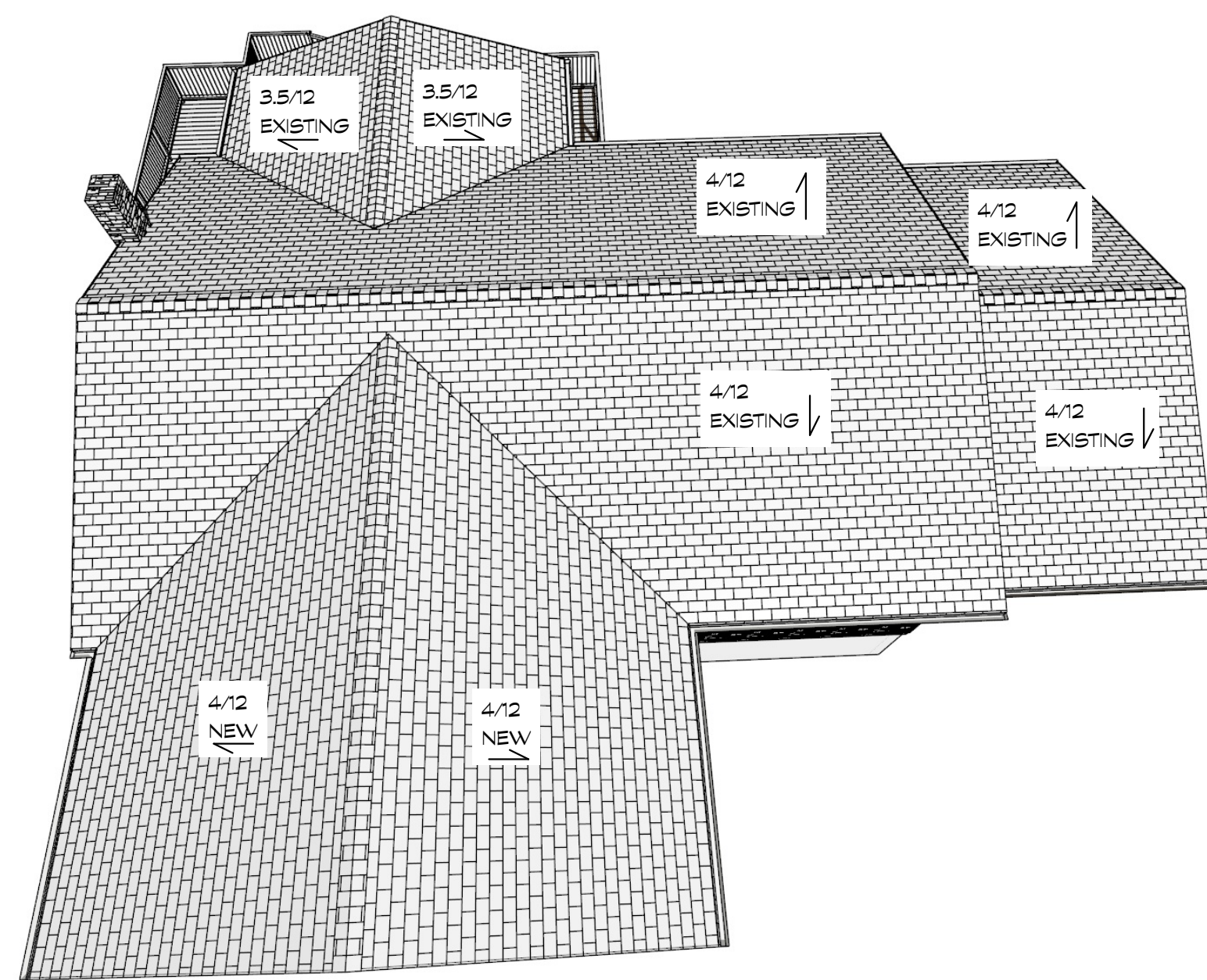


1
A5 FLOOR HATCH SECTION SCALE: 1" = 1'

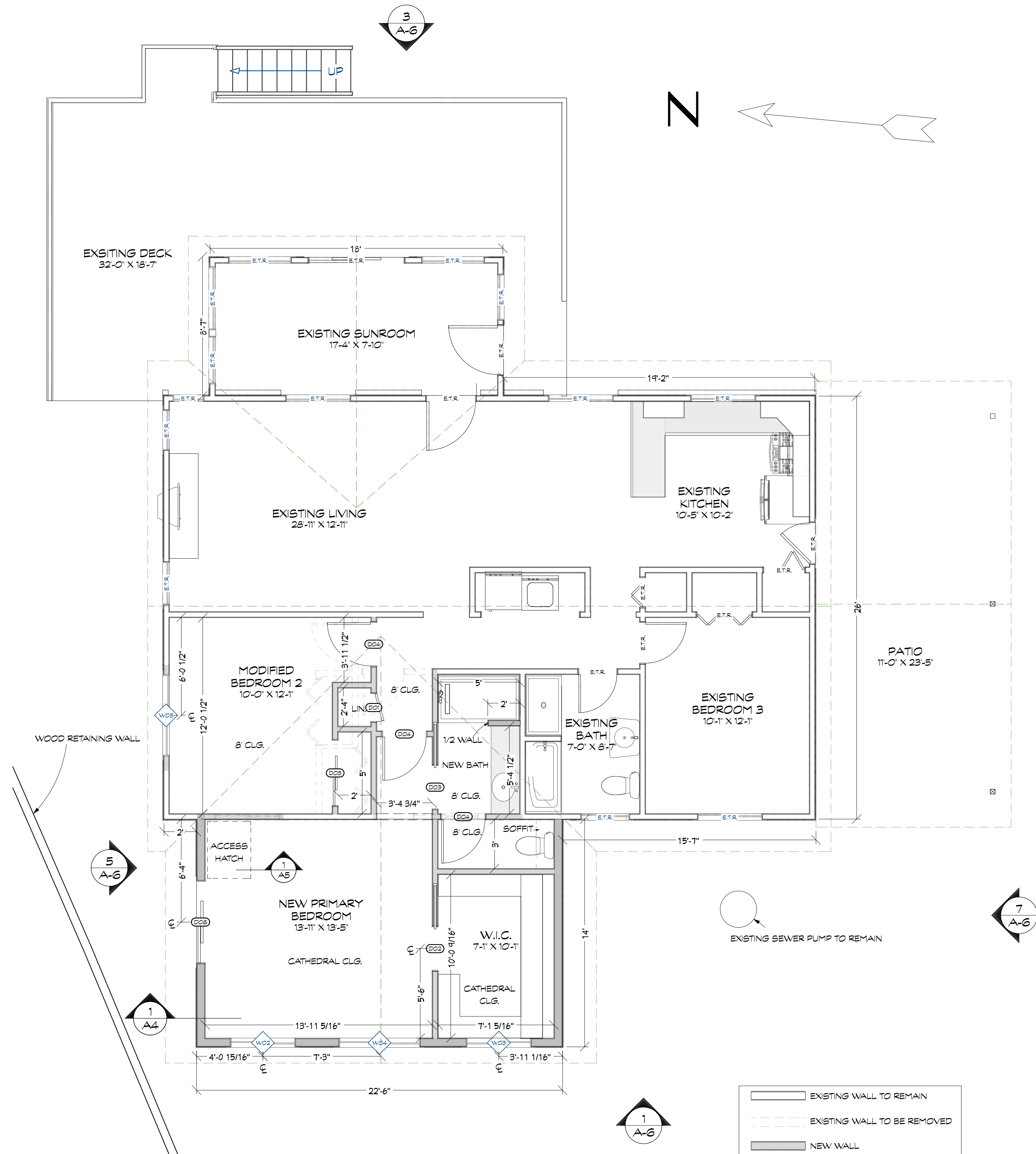


WELDED 2-1/2" STAINLESS STEEL FRAME EMBEDDED IN CONCRETE SLAB TO RECEIVE HATCH. DIMENSIONS ARE APPROXIMATE. FIELD VERIFY. ANGLE SIZE CAN BE CHANGED TO ACCOMMODATE VARIOUS FLOORING THICKNESSES.

2
A5 FLOOR HATCH FRAME NO SCALE



3
A5 ROOFING PLAN NO SCALE



FLOOR PLAN SCALE: 1/4" = 1'



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**FIRST FLOOR PLAN, HATCH
DETAILS, ROOFING PLAN**

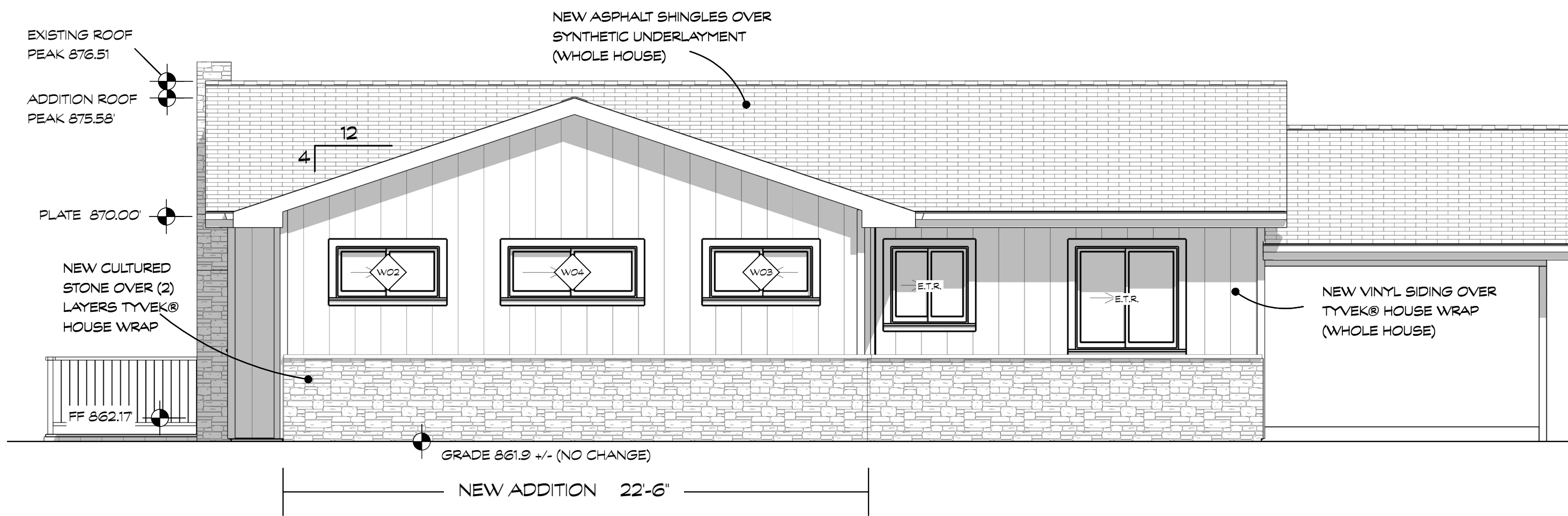
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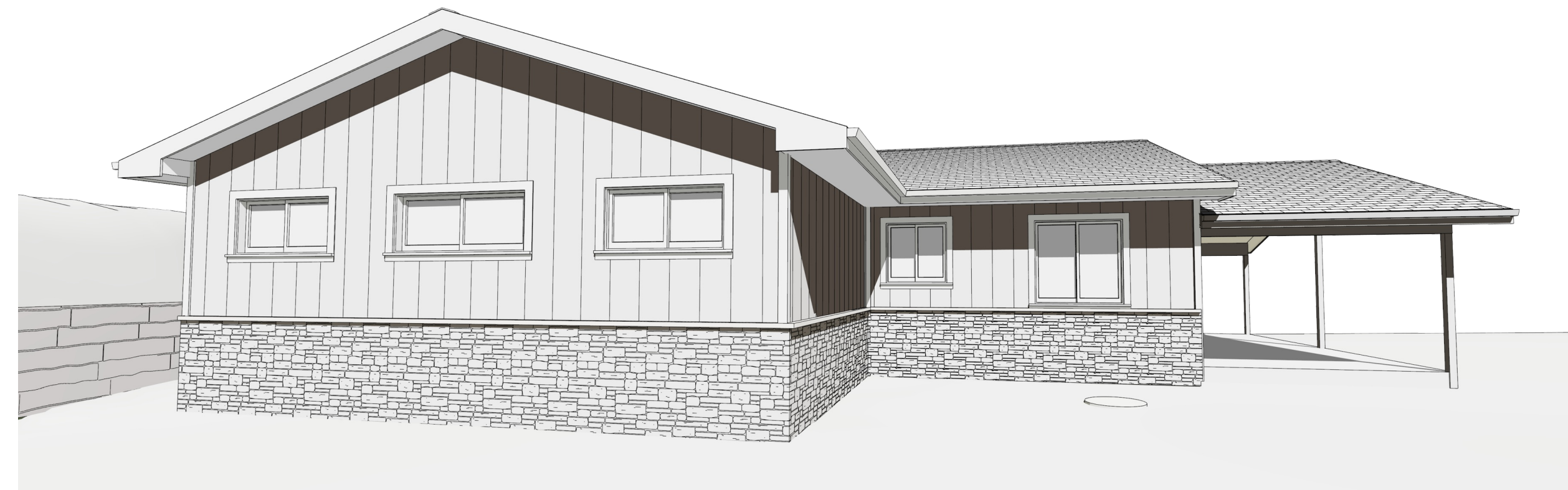
SCALE:
1/4" = 1'

SHEET:

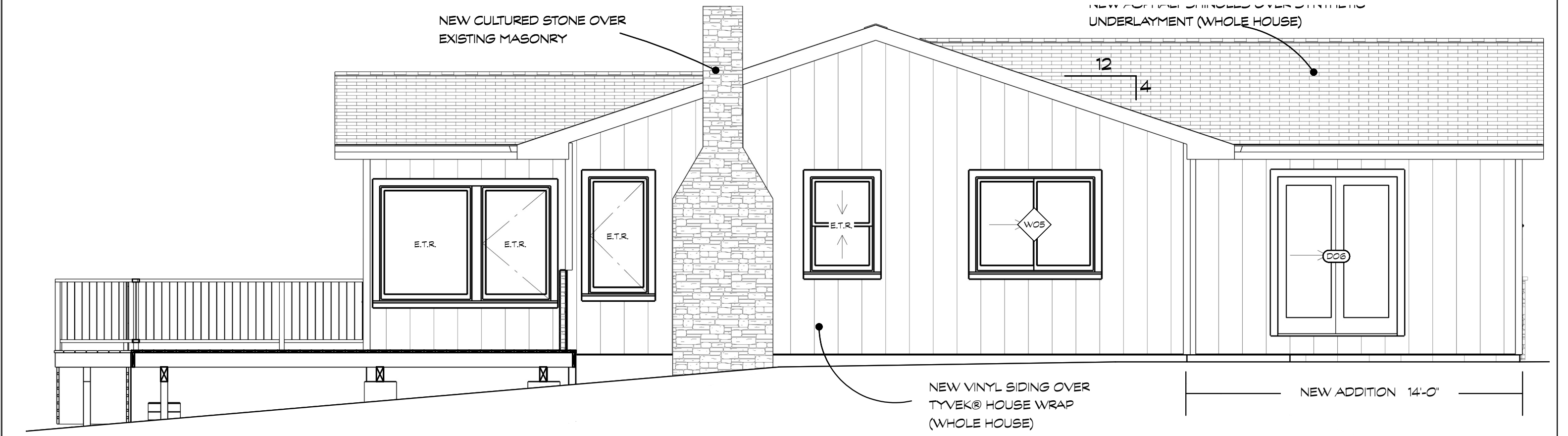
A-5



1 A6 FRONT ELEVATION SCALE: 1/4" = 1'



2 A6 FRONT RENDERING NO SCALE



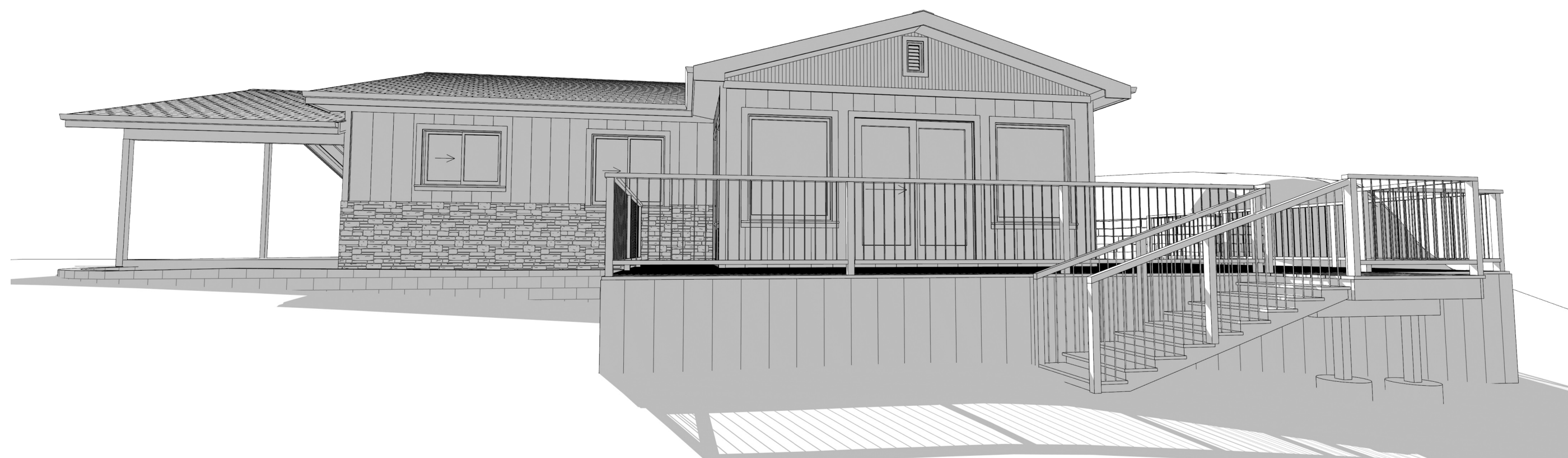
5 A6 NORTH SIDE ELEVATION SCALE: 1/4" = 1'



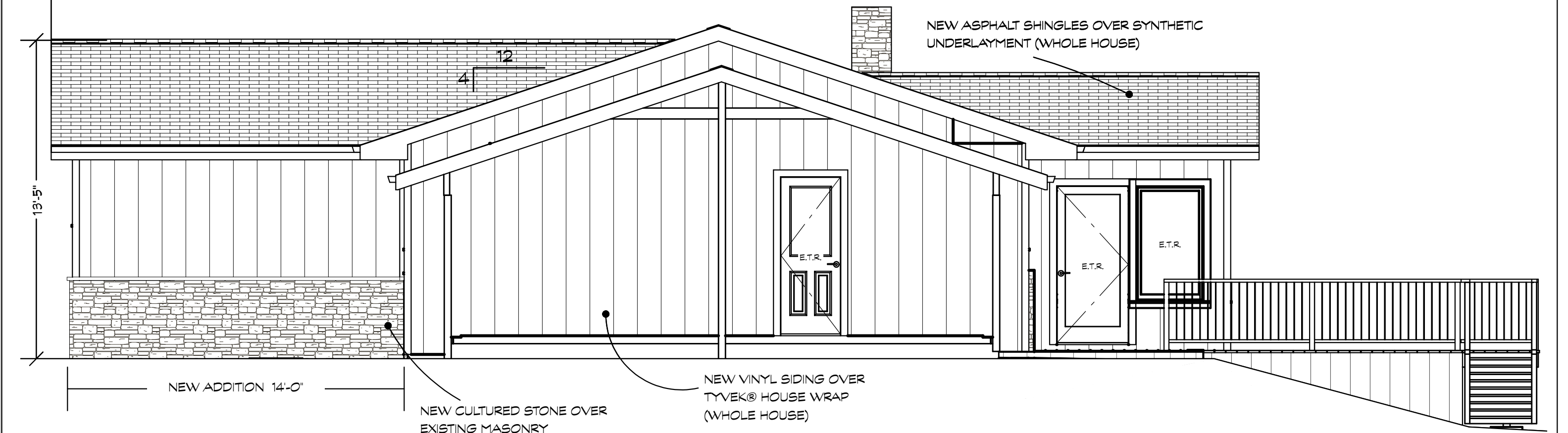
6 A6 NORTH SIDE RENDERING NO SCALE



3 A6 REAR ELEVATION SCALE: 1/4" = 1'



4 A6 REAR RENDERING NO SCALE



7 A6 SOUTH SIDE ELEVATION SCALE: 1/4" = 1'



8 A6 SOUTH SIDE RENDERING NO SCALE



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EXTERIOR ELEVATIONS /
RENDERINGS

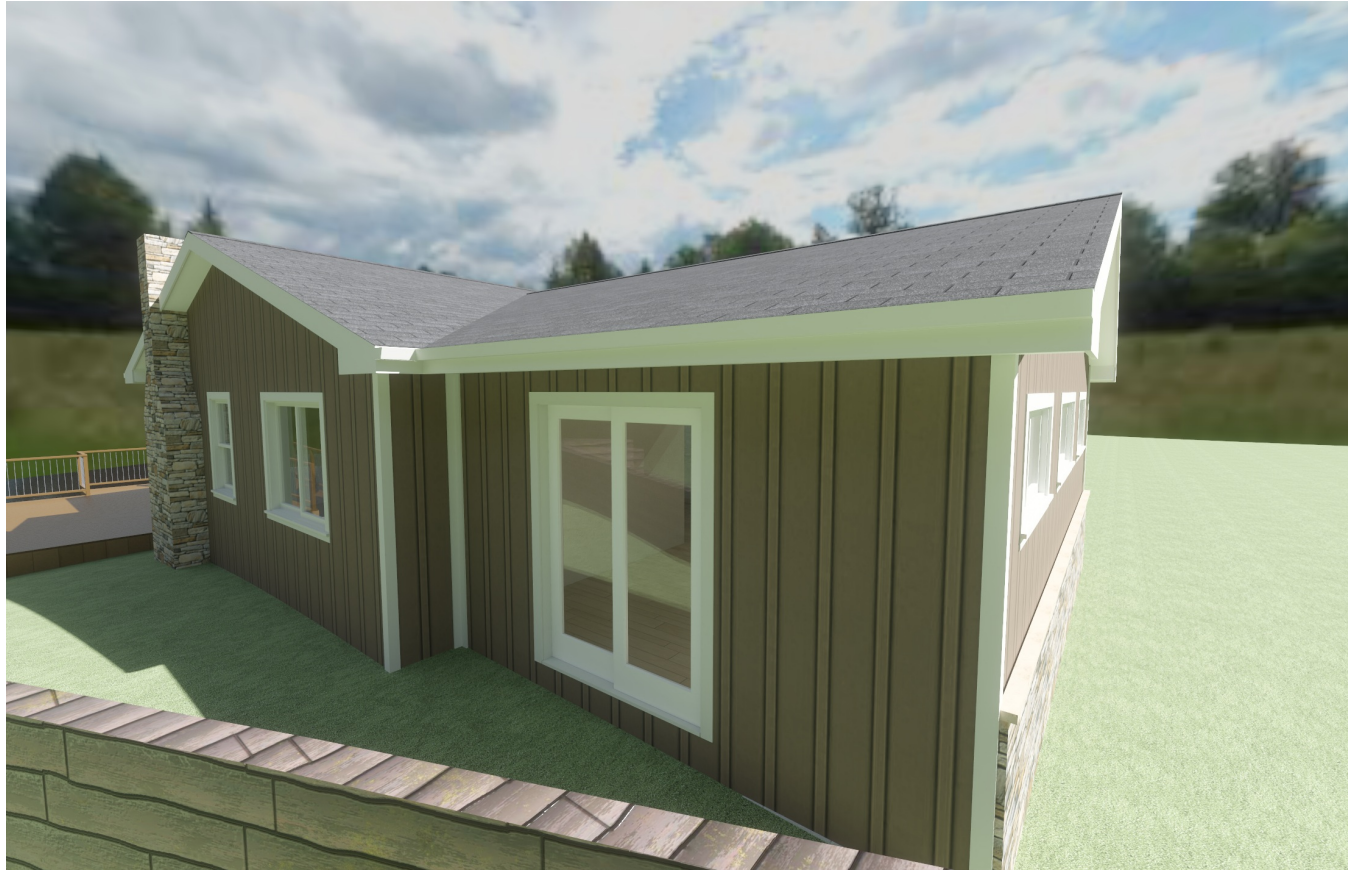
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SCALE:

SHEET:

A-6



COLOR RENDERINGS

NO SCALE

VIEW FROM RIVER

NO SCALE



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COLOR RENDERINGS

PERMIT SET (REV-1)

DATE:
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SCALE:

SHEET:

A-7