



MCKENNA

November 13, 2025

Planning Commission
City of Grosse Pointe Woods
20025 Mack Plaza
Grosse Pointe Woods, MI 48236

Subject: 20160 Mack Avenue: Conditional Rezoning (Map Amendment), Review #2
Parcel ID: 009-01-0001-000
Current Zoning: RO-1, Restricted Office District
Proposed Rezoning: C, Commercial Business District (Conditionally)

Dear Commissioners,

We have reviewed a Conditional Rezoning application submitted by Stucky Vitale Architects on behalf of Buccellato Development, LLC. The applicant proposes to conditionally rezone 20160 Mack from the RO-1, Restricted Office District to the C, Commercial Business District. The updated conditions proposed by the applicant are provided in their *Statement of Voluntary Conditions*.

The subject site is located on Mack Avenue between Oxford and S. Renaud. The existing building will be demolished and replaced with a two-story, mixed-use building. The first floor is approximately 8,800 sq. ft. for tenants across office, retail, or personal service establishments, and the second floor will have up to seven residential units.



HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

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Conditional Rezoning Review

#1: MASTER PLAN AND FUTURE LAND USE CLASSIFICATIONS

Will the proposed amendment further the comprehensive planning goals and policies of the City and is the proposed amendment consistent with the Future Land Use Map of the Master Plan?

Findings: Alignment and harmony with the recently adopted Master Plan is achieved with this rezoning.

First, this rezoning is consistent with numerous goals from the 2024 Master Plan, as follows:

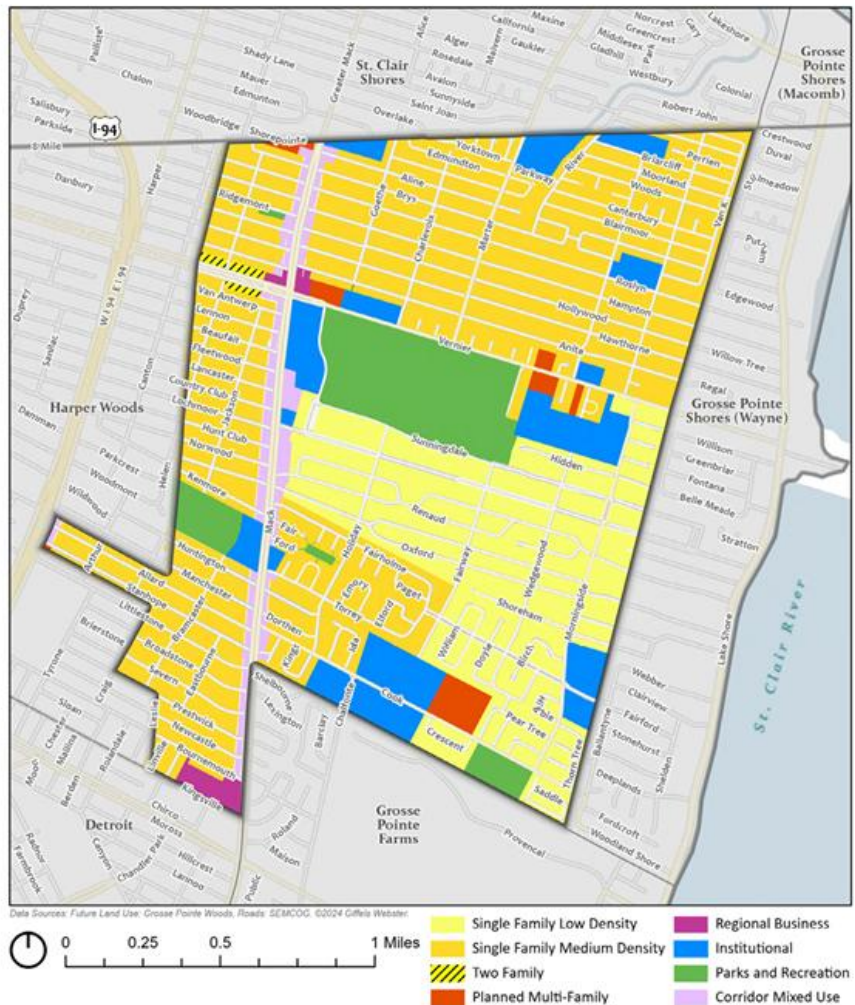
- **Goal #1 - Housing: Provide a range of housing choices for all ages, abilities, and incomes.** The applicant proposes a two-story, mixed-use building with multi-family residential units on the top floor. This proposed use brings housing diversity to the heart of Grosse Pointe Woods' downtown, within walking distance to daily amenities. Offering high-quality housing options can bring young professionals and growing families to the City, who might not be ready to purchase a traditional, detached home.
- **Goal #2 – Economic Development: Elevate Mack Avenue as a thriving, vibrant commercial corridor that meets the daily needs of residents and is a destination for visitors.** The applicant proposes a high-quality, aesthetically rich development that will attract both new businesses and foot traffic to Mack Avenue. The 2024 Master Plan specifically calls out the potential for mixed-use developments for revitalizing Mack Avenue and in promoting housing readiness. In particular, the Master Plan notes that “Mixed use developments often include greater density housing types with neighborhood scale commercial goods and services to serve the residents therein and could be an appropriate option along Mack Avenue. Mixed use developments are particularly amenable to the needs of seniors and children who often do not drive, by providing increased accessibility and opportunities for walkability that are not present in other areas of the City, further away from Mack Avenue.” (pg. 28).
- **Goal # 3 – Community Character: Strengthen sense of place, identity, and character throughout the City and its neighborhoods.** The applicant proposes to use brick and other high-quality building materials that complement existing structures on the Mack Avenue corridor and in the surrounding neighborhoods, which aligns with Goal #3's stated objective to “Maintain quality building materials and design throughout the City.”

Second, this rezoning is consistent with the 2024 Master Plan's Future Land Use Map, which designates this area as *Corridor Mixed Use*.

This is described in the text of the Master Plan as, “*This land use designation includes retail, restaurant, personal service, and office establishments which are designed for the day-to-day needs of nearby residents and are found along the Mack Avenue corridor and along its easternmost boundary of Harper Avenue that extends one-and-a-half blocks between Stanhope Street and just north of Allard Avenue. These facilities are intended to be located in close proximity to residential neighborhoods but with adequate buffering. These land uses equate to the City's C Commercial zoning district, P Parking district and some areas zoned RO-1 Restricted Office*”.



MAP 2. Future Land Use Map



giffels
webster

FUTURE LAND USE GROSSE POINTE WOODS

2024 GROSSE POINTE WOODS MASTER PLAN | 65

The 2024 Master Plan's Future Land Use Map (Pg 65 of Master Plan).



#2: INTENT AND USES OF THE ZONING ORDINANCE

Is the request in accordance with the basic intent and purpose of the Zoning Ordinance?

The basic intent and purpose of the Zoning Ordinance is to provide regulations on the uses of land and structures to promote and protect the public health, safety, and general welfare of the Grosse Pointe Woods community.

The chart below details the existing land use, current zoning, and the 2024 Master Plan Future Land Use designations:

Location	Existing Land Use	Zoning Districts	Future Land Use Designation (2024 Master Plan)
Subject Site	Neurology Office	RO-1, Restricted Office	Corridor Mixed Use
North	Bank Office	RO-1, Restricted Office	Corridor Mixed Use
South	Dentist	RO-1, Restricted Office	Corridor Mixed Use
East	Single-Family Residential	R1-D / R1-B, One-Family Residential	Single Family Low Density
West	Orthodontics Office / Fitness Facility / Jewelers	C, Commercial Business	Corridor Mixed Use

Findings: Intent Statements. The Zoning Ordinance is intended to ensure harmonious, thoughtfully planned development – and this requires an understanding of the *purpose statements* and *permitted uses* in the two applicable districts, as detailed below. To summarize, the C, Commercial District is intended to promote economic development in condense ways that serve neighboring communities with services as well as residential employment opportunities, and to reduce strip business development as well as any hazards of nuisances from any business operations.

Purpose Statement: Section 50-3.1.L: RO-1, Restricted Office	Purpose Statement: Section 50-3.1.J: C, Commercial Business
<i>“The RO-1 restricted office district is intended to permit those office and restricted business uses which will provide opportunities for local employment close to residential areas, thus reducing travel to and from work; which will provide clean, modern office buildings in landscaped settings; which will provide, adjacent to residential areas, appropriate districts for uses which do not generate large volumes of traffic, traffic congestion and parking problems; and which will promote the most desirable use of land in accordance with the city’s land use plan.”</i>	<i>“The C commercial business district is intended to be that permitting retail business and service uses which are needed to serve the nearby residential areas. In order to promote such business development insofar as it is possible and appropriate in each area, uses are prohibited which would create hazards, offensive and loud noises, vibration, smoke, glare, heavy truck traffic or late hours of operation. The intent of this district is also to encourage the concentration of local business areas to the mutual advantage of both the consumers and merchants and thereby promote the best use of land at certain strategic locations and avoid the continuance of encouraging marginal strip business development along major streets.”</i>



Findings: Allowable Uses. The uses permitted in the C, Commercial Business District include a mix of retail, office, restaurant, and residential uses, which are generally compatible with the commercial nature of Mack Avenue surrounding this property. While the property abuts two residential properties, the applicant has noted that buffering will be provided, per the requirements of the Grosse Pointe Woods City Ordinance. The associated site plan applications details that this proposed screening includes three new trees along the east side of the site, as well as a 5-foot stepped masonry screening wall with a decorative stone cap.

Further, the applicant has offered the voluntary condition of only one ground-floor “quick service” restaurant or food service use, which will operate approximately between the hours of 6:00am and 11:00pm, and will not include any liquor sales or service. These voluntarily offered conditions are intended to mitigate any potential adverse impact from noise and other nuisances.

#3: SPECIFIC ZONING ORDINANCE CRITERION

Could all requirements in the proposed zoning classification be complied with on the subject parcel?

Findings: Dimensional Requirements.

The project’s compliance with dimensional standards will be further explored during the site plan review stage. However, the table below demonstrates that the proposed use can feasibly comply with the basic dimensional standards of the C, Commercial Business District. The table below demonstrates the requirements under the proposed C, Commercial Business District, and the dimensions proposed by the applicant in their corresponding Site Plan application.

Zoning Ordinance Standard	C, District Requirement Details	Required	Proposed	Notes
Max. Lot Area	None	None	0.758 acres	Complies
Max Lot Width	None	None	Mack Avenue: Approximately 134.63ft	Complies
Max Lot Coverage	None	None	Approximately 33,007 sq. ft.	Complies
Min. Front Setback (West)	No front yard is permitted where the property use is for the purposes specified in section 50-4.9 retail businesses and business offices.	0 ft.	0 ft.	Complies
Min. Side Setback (North / South)	In the Commercial Business District, no side yard is required on the street side of corner lots.	0 ft.	0 ft.	Complies



Zoning Ordinance Standard	C, District Requirement Details	Required	Proposed	Notes
Min. Rear Setback (East)	Rear yards are not required along interior rear lot lines for buildings or parts of buildings not used as dwellings, if all walls abutting or facing such lot lines are of fireproof construction and wholly without windows or other openings; provided that in all cases where the rear wall is not of fireproof construction a rear yard shall be provided, and provided further that, in all cases where the rear wall is of fireproof construction and contains windows or other openings (other than emergency exits or vents), either a rear yard or an outer court as specified in subsection I shall be provided.	8 ft.	140 ft.	Complies
Max. Building Height	2 stories, 28 ft.	2 stories, 28 ft.	2 stories, 28 ft.	Complies

The site meets all requirements of the C, Commercial Business District. Such a rezoning allows for a buildable lot and does not create a new non-conformity.

Findings: Parking and Circulation.

Currently the Site Plan indicates a total of 7 residential units on the second floor, as well as 4 ground floor commercial tenant spaces. At this time, one-bedroom dwelling unit parking requirements apply; however, if the residential units change in size/type, the appropriate parking requirements would apply. The specific uses of the proposed commercial tenants have not yet been identified, and the parking requirements for those specific uses will apply once specific tenants seek to lease the space. At this time, general retail parking requirements are applied.

Use Type	Number of Off-Street Parking Spaces Required		Number of Off-Street Parking Spaces Provided	Number of Parking Spaces within 500 ft.	Total Parking Spaces Available (on- and off-site) within 500 ft.
Multi-family Residential	Two for each efficiency or one-bedroom dwelling unit = 14 spaces	Total: 58 spaces required	45 spaces in lot	18 parking spaces on the East side of Mack Ave.	63 parking spaces (excluding S. Renaud)
Retail	One for each 200 square feet of gross floor area = 44 spaces			+ 14 parking spaces on S. Renaud	77 parking spaces total (including S. Renaud)

The site, and the surrounding 500-foot parking radius, offer flexibility in the variety of uses that could ultimately be proposed on this site. Each end user will be evaluated during the site plan phase, should this conditional rezoning be approved.



As detailed on the site plan, the proposed parking spaces comply with the minimum required dimensions of 9 ft. by 19 ft., and a 12 ft. by 50 ft. loading zone is proposed (in compliance).

Lastly, Section 50-5.3(U) requires that parking lots provide traffic lane markings to indicate entrances and exits, and to provide for the safe and orderly movement of vehicles. These required traffic lane markings are depicted on the plans. This includes markings on the ingress/egress from S. Renaud Road and on Oxford Road, as well as within the parking lot itself, as well as the inclusion of signage to bar turns onto the adjoining residential streets.

The applicant also submitted a Traffic Study, as is required for Conditional Rezoning Applications. A trip generation comparison was performed, indicating that the proposed development is comparable to the current use (medical office building) of the project site. Note that while the current medical office building is vacant, a fully operational medical office building would generate traffic comparable to estimates provided in the applicant's trip generation comparison.

The Traffic Study also sought to explore questions of pedestrian safety in the context of the new development. Sidewalks are currently provided along both sides of Mack Avenue, S. Renaud Road, and Oxford Road, and are proposed internal to the site. The Study explains that *"the proposed development includes the removal of one (1) of the existing driveways on Oxford Road, which will reduce the number of conflict points between motorized vehicles and pedestrian / bicycle traffic, thereby improving non-motorized safety"*.

Findings: Architecture and Building Design:

The proposed building will be primarily composed of high-quality brick with dark grey aluminum accents, with additional glass windows on the top and bottom floor facade. The design of the building follows traditional, high quality architectural design which is encouraged by the Zoning Ordinance.

The architectural design features and requirements will be further reviewed during the Site Plan Review process. At this time, the proposed architectural elements are in line with the traditional, timeless design style of the Mack Avenue corridor and of surrounding residential neighborhoods.



For landscaping, the applicant proposes ornamental grasses and grass lawns adjacent to the proposed building, as well as four new planted trees. A screening wall is proposed along the eastern side of the property, where the site abuts two residential properties. Currently, the screening wall proposed at the east side of the site exceeds maximum height restrictions. To reach compliance with the screening wall requirements, the applicant would need to reduce the masonry wall height to 4 feet or submit for and receive a variance for a taller masonry wall. The screening of the subject site will be determined during the site plan review process.



Conclusions

PROCESS

Following consideration of public comments received during the Public Hearing, the Planning Commission has the following available motions when considering a map amendment (rezoning):

- *Recommendation to the City Council for approval of the rezoning; or*
- *Recommendation to the City Council for denial of the rezoning.*
- *Table the application.*

In the case of approval or denial, the Commission must specify the findings of fact which the decision is based upon.

RECOMMENDATION

It is recommended that the conditional rezoning (map amendment) to the C, Commercial Business District at 20160 Mack Avenue be recommended for approval to the City Council, based on the following findings of fact:

- This rezoning and proposed development is consistent with numerous goals from the 2024 Master Plan, including Goal #1 - Housing: Provide a range of housing choices for all ages, abilities, and incomes; Goal #2 – Economic Development: Elevate Mack Avenue as a thriving, vibrant commercial corridor that meets the daily needs of residents and is a destination for visitors; and Goal # 3 – Community Character: Strengthen sense of place, identity, and character throughout the City and its neighborhoods.*
- This rezoning brings the site closer to the intentions of the 2024 Master Plan's Future Land Use Plan, which designates the site as "Corridor Mixed Use".*
- The uses permitted in the C, Commercial Business District, including a mix of retail, office, restaurant, and residential uses, are generally compatible with the commercial nature of Mack Avenue surrounding this property. The applicant must provide appropriate buffering between adjacent properties of dissimilar zoning, per the requirements of the Ordinance, during the site plan review process.*
- While the Voluntary Conditions offered by the applicant place an additional limitation on the type of future occupancy, i.e.: "The property shall be limited to one potential "quick services restaurant" with no drive-through and shall not exceed 3,200 square feet", restaurants are subject to the City's Special Land Use process. Should a restaurant be proposed in the future, an additional public hearing and review of the specific use (including maximum occupancy, square footage, available parking, loading, etc.) will be evaluated for compliance with the Zoning Ordinance.*
- The site meets all Zoning Ordinance dimensional requirements of the C, Commercial Business District. The rezoning allows for a buildable lot and does not create a non-conformity.*
- The rezoning is not anticipated to significantly alter traffic generation in the area. The proposed uses are anticipated to generate comparable amounts of traffic to that of an operating medical office, and*



pedestrian and non-motorized transportation safety is expected to be improved through sidewalk connectivity and the reduction of a driveway.

- g. The design of the building follows traditional, high quality architectural design which is encouraged by the Zoning Ordinance and is largely compatible with the Mack Avenue Corridor and surrounding neighborhoods.

If you have further questions, please do not hesitate to contact us.

Respectfully submitted,

McKENNA

Ashley Jankowski, AICP
Associate Planner



09/30/2025

Building Department
City of Grosse Pointe Woods
20025 Mack Plaza,
Grosse Pointe Woods, MI 48236

Re: 20160 Mack Ave.
Architects' Project No.: 2025.018

To Whom it May Concern,

Please find below a detailed written statement fully explaining the request to rezone the property at 20160 Mack Ave.

The existing zoning of the parcel at 20160 Mack Ave. is RO-1 and its current use is for a medical office. The request to rezone this parcel to C Commercial is to permit re-development of the site as a mixed use two-story building. The existing building and parking lot on site are currently in poor condition. The intent of the development group is to demolish the existing building and parking lot and construct a new building approximately 8,800 square feet and parking lot suitable for the proposed commercial and residential uses. The location and layout of ingress and egress on the southern property boundary will be modified to accommodate the new parking layout. There are no proposed changes to the existing property boundaries. All necessary steps will be taken to provide appropriate buffering between adjacent properties of dissimilar zoning per Grosse Pointe Woods City Ordinance. Additional details may be found in the drawings enclosed.

Sincerely,

John A. Vitale, AIA, NCARB

Enclosure: City Submittal Update Drawings

REZONING APPLICATION

- Page 1 of 2

Attach a detailed written statement fully explaining your request.

8. Present Use of Property: EXISTING MEDICAL OFFICE

9. Attach an Accurate Drawing of the Site Showing:

- a) Property boundaries
- b) Existing buildings
- c) Unusual physical features of the site or building
- d) Abutting streets
- e) Existing zoning on adjacent properties
- f) Location of buildings on adjacent properties

10. Names and Addresses of all other Persons, Firms or Corporations having a Legal or Equitable Interest in the Property:

N/A

Applicant must provide lease, purchase agreement or written authorization from Owner.

DECLARATION:

I, the applicant, do hereby declare that I am the owner, or the authorized agent of the owner, of the above, legally described property on which the request is proposed, and that the answers given herein are true to the best of my knowledge. I understand that if the request is granted, I am in no way relieved from all other applicable requirements of the City of Grosse Pointe Woods Zoning Ordinance.

By virtue of my application, I do hereby declare that the appropriate appointed officials and City staff responsible for the review of my application are given permission to visit and inspect the property regarding my petition in order to determine the suitability of the request.

Applicant Signature:  Date: 09/30/2025

Filing Fee: \$750.00 + Public Hearing Fee \$375



Date: 9/30/2025

City Council of Grosse Pointe Woods
20025 Mack Plaza Drive
Grosse Pointe Woods, MI 48236

Subject: Conditional Rezoning Request — Proposed Conditions

To Whom it May Concern,

On behalf of Buccellato Development and Mack & Oxford, LLC, we are submitting the following conditions in support of our request for conditional rezoning of the property located at 20160 Mack Ave. Grosse Pointe Woods, MI 48236.

1. Limitation on type of occupancy — The property shall be limited to one potential "quick service restaurant" with no drive through and shall not exceed 3,200 square feet.
2. Residential Use — We are committed to a second-story residential use consisting of up to seven (7) apartment units.
3. Hours of Operation — The restaurant shall operate approximately between the hours of 6:00 a.m. and 10:00 p.m. Hard liquor sales or service shall not be permitted.
4. Setbacks — Setbacks shall be as shown on Site Plan A-1.
5. Provide Dust Mitigation Plan at time of construction.
6. Construction Hours per city of GPW City Ordinances.

These conditions are proposed to ensure that the development remains compatible with the surrounding area and consistent with the intent of the GPW zoning ordinance.

Thank you for your review and consideration of this request.

Sincerely,
Justin A. Buccellato
Buccellato Development

MIXED-USE DEVELOPMENT

20160 Mack Ave, Grosse Pointe Woods, MI 48236

DEVELOPER

BUCCELLATO DEVELOPMENT
20259 MACK AVE, SUITE 2
GROSSE POINTE WOODS, MI 48236
(313) 300-7280

ARCHITECT

STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067
(248) 546-6700

PROJECT INFORMATION

PROJECT DESCRIPTION

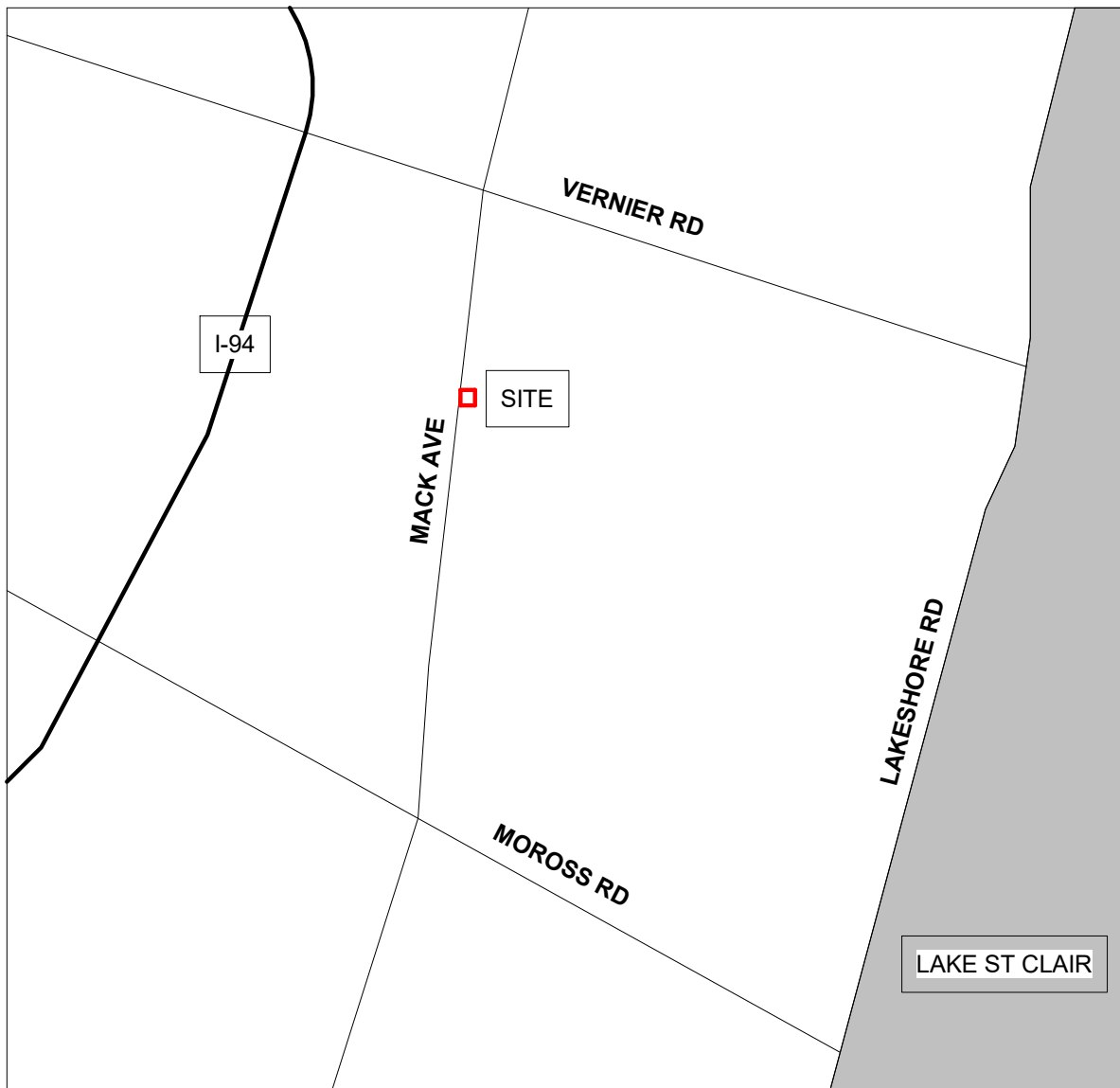
RE-DEVELOPMENT OF EXISTING SITE FOR MIXED USE, TWO-STORY.

DEMOLITION OF EXISTING STRUCTURE & CONSTRUCTION OF NEW MIXED USE DEVELOPMENT.

IMPROVEMENTS TO EXISTING SITE AND PARKING LOT.

SHEET INDEX - GENERAL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
G1	COVER SHEET, GENERAL INFORMATION, DRAWING INDEX	CITY SUBMITTAL	09.30.25
DRAWINGS: 1			
SHEET INDEX - ARCHITECTURAL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
A1	SITE PLAN + LANDSCAPE PLAN + DETAILS	CITY SUBMITTAL	09.30.25
A2	EXTERIOR ELEVATIONS + RENDERING	CITY SUBMITTAL	09.30.25
A3	FLOOR PLAN - GROUND LEVEL	CITY SUBMITTAL	09.30.25
A4	FLOOR PLAN - UPPER LEVEL	CITY SUBMITTAL	09.30.25
DRAWINGS: 4			
SHEET INDEX - REFERENCE			
DWG #	DRAWING NAME	ISSUED FOR	DATE
1 OF 1	PHOTOMETRIC PLAN	CITY SUBMITTAL	09.30.25
1 OF 1	ALTAINSPS LAND TITLE SURVEY	CITY SUBMITTAL	09.30.25
DRAWINGS: 2			

NOTE:
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY. CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.



N
VICINITY MAP
SCALE: N.T.S



CONCEPTUAL RENDERING

SYMBOL LEGEND

	ENLARGED CALLOUT TAG
	INTERIOR ELEVATION TAG
	EXTERIOR ELEVATION TAG
	DETAIL NUMBER
	VIEW TITLE
	VIEW SCALE
	SHEET NUMBER

ROOM NAME

ROOM NAME	ROOM TAG
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101	
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FLOOR NAME	LEVEL REFERENCE
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ELEV. 100'-0"	
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	DATUM WORKPOINT
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0, 0	
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	COLUMN GRIDS
1	NUMBERS DESIGNATE VERTICAL COLUMN LINES
A	LETTERS DESIGNATE HORIZONTAL COLUMN LINES

	SQUARE DESIGNATE EXISTING COLUMN GRID
A	

DOOR TAGS

	NEW DOOR TAG DESIGNATION
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101	
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	EXISTING DOOR TAG DESIGNATION (ONLY IF EXISTING DOOR TO BE MODIFIED)
101	

	PARTITION TAG
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203-Ys	
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	KEYNOTE TAG
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XX	
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	EQUIPMENT TAG
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XX	
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	SHEET REF FOR DRAWING CONTINUATION
X / A-XXX	

ZONE B	
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ZONE A	
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	MATCH LINE
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ABBREVIATION LEGEND

& L @	AND ANGLE AT	± or 0 ±	CENTERLINE DIAMETER PLUS OR MIN
ACCESS.	ACCESSIBILITY	N	NORTH
ACOUS.	ACOUSTICAL	NIC	NOT IN CONTRACT
ACT	ACOUSTICAL CEILING TILE	NOM	NOMINAL
A.D.	AREA DRAIN	NTS	NOT TO SCALE
ADJ	ADJUSTABLE	O/C	ON CENTER
A.F.F.	ABOVE FINISH FLOOR	OFC	OFFICE
AL	ALUMINUM	OPNG	OPENING
ANOD.	ANODIZED	OPP	OPPOSITE
ARCH.	ARCHITECTURAL or ARCHITECT	OVFD	OVERFLOW DRAIN
ASPH.	ASPHALT	PL	PLATE
BD.	BOARD	PLAM	PLASTIC LAMINATE
BF	BARRIER FREE	PLAS	PLASTER
BLDG.	BUILDING	PNT	PAINT
BL'G.	BLOCKING	PLYWD	PLYWOOD
BOT.	BOTTOM	PREFAB	PREFABRICATED
BR	BRICK	PFN	PREFINISH or PREFINISHED
CAB.	CABINET	PROJ	PROJECTION
CEM.	CEMENT	PT	POINT
C.J.	CONTROL JOINT	R.	RISER
CLG	CEILING	RCP	REFLECTED CEILING PLAN
C.F.M.F.	COLD FORMED METAL FRAMING	R.C.	ROOF CONDUCTOR
C.O.	CLEAN OUT	RD	ROOF DRAIN
CLO.	CLOSET	REINF	REINFORCING
CLR	CLEAR	REQ'D	REQUIRED
COL	COLUMN	RESIL	RESILIENT
CONC.	CONCRETE	RFG	ROOFING
C.G.	CORNER GUARD	RM	ROOM
CONST.	CONSTRUCTION	R.S.	ROOF SUMP
CONT.	CONTINUOUS	SAN	SANITARY
COR.	CORRIDOR	SC	SOLID CORE
CORR.	CORRUGATED	SCHED	SCHEDULE
CPT	CARPET	SHT	SHEET
C.T.	CERAMIC TILE	SIM	SIMILAR
CTSK.	COUNTER SUNK	SPEC	SPECIFICATIONS
CW	CURTAIN WALL	SO	SQUARE
D.F.	DRINKING FOUNTAIN	ST-STL.	STAINLESS STEEL
DET.	DETAIL	SS	SOLID SURFACE
DIA.	DIAMETER	ST	STONE
DIM.	DIMENSION	STD	STANDARD
DN.	DOWN	STL	STEEL
D.O.	DOOR OPENING	STN	STAIN
DR.	DOOR	STOR	STORAGE
D.S.	DOWN SPOUT	STRUCT	STRUCTURAL or STRUCTURE
DWG.	DRAWING	SUSP	SUSPENDED
DWR.	DRAWER	SYM	SYMMETRICAL
EA	EACH	T.	TREAD
E.J.	EXPANSION JOINT	T&B	TOP AND BOTTOM
EL.	ELEVATION	TERR.	TERRAZZO
ELEC.	ELECTRICAL	T.O.C.	TOP OF CURB
ELEV.	ELEVATOR	T&G	TONGUE AND GROOVE
E.O.S./EOS	EDGE OF SLAB	THK	THICK
E.O.D./EOD	EDGE OF DECK	THRES.	THRESHOLD
EP	ELECTRICAL PANEL	T.O.P.	TOP OF PARAPET
EPX	EPOXY	TA	TOILET ACCESSORY
EQ.	EQUAL	TV	TELEVISION
EQPM	EQUIPMENT	T.O.W.	TOP OF WALL
E.W.	EACH WAY	TOS / T.O.S.	TOP OF STEEL
EXIST. / EX	EXISTING	TYP.	TYPICAL
EXP.	EXPOSED	U/C	UNDERCUT
EXT.	EXTERIOR	U.N.O.	UNLESS NOTED OTHERWISE
FA	FIRE ALARM	U.S.K.	UTILITY SINK
FD	FLOOR DRAIN	V.B.	VAPOR BARRIER
FON	FOUNDATION	VCT	VINYL COMPOSITION TILE
FIRE	FIRE EXTINGUISHER	VERT.	VERTICAL
FEC	FIRE EXTINGUISHER CABINET	VEST	VESTIBULE
FHC	FIRE HOSE CABINET	VF	VINYL FLOORING
FIN	FINISH	V.I.F.	VERIFY IN FIELD
FL	FLOOR	W	WIDTH
F.O.	FACE OF	W/	WITH
F.O.S.	FACE OF STUD	WB	WALL BASE
FPRF	FIREPROOF	W.C.	WATER CLOSET
FR	FRAME	WC	WALLCOVERING
FRP	FIBERGLASS REINFORCED PANEL	WD	WOOD
FRT	FIRE RETARDANT TREATED	WO	WITHOUT
F.S.	FULL SIZE	WR	WATER RESISTANT
FT.	FOOT or FEET	WSCOT	WAINSCOT
FTG.	FOOTING	WT.	WEIGHT
FUR	FURRING	W.W.F.	WELDED WIRE FABRIC
GA.	GAUGE		
GALV.	GALVANIZED		
G.B.	GRAB BAR		
GFRC.	GLASS FIBER REINFORCED CONCRETE		
GL.	GLASS		
GYP.	GYP-SUM		
H.B.	HOSE BIBB		
H.C.	HOLLOW CORE		
HDWD	HARDWOOD		
HDWE	HARDWARE		
HM	HOLLOW METAL		
HORIZ.	HORIZONTAL		
HR	HOUR		
HGT	HEIGHT		
INSUL	INSULATION		
IMP	INSULATED METAL PANEL		
IMWP	INSULATED METAL WALL PANEL		
INT	INTERIOR		
J.C.	JANITOR'S CLOSET		
JOINT	JOINT		
KT.	KITCHEN		
LAV	LAVATORY		
LG	LENGTH		
L.L.V.	LONG LEG VERTICAL		
LT	LIGHT		
LVT	LUXURY VINYL TILE		
MAX	MAXIMUM		
MECH	MECHANICAL		
MTL	METAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
M.O.	MASONRY OPENING		

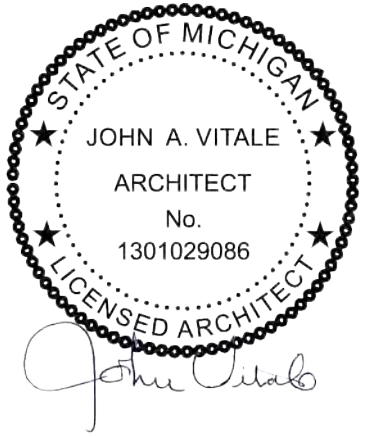


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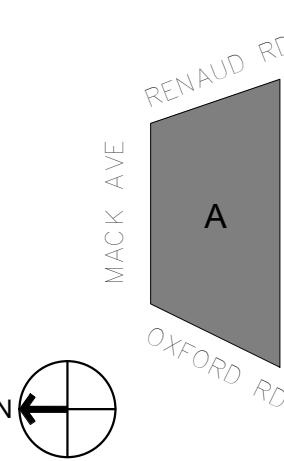


Project :

MIXED-USE
DEVELOPMENT

20160 Mack Ave, Grosse
Pointe Woods, MI 48236

Key Plan:



Issued for

CITY SUBMITTAL 09.30.25

Drawn by :

JPM

Checked by :

JAV

Sheet Title :

COVER SHEET, GENERAL
INFORMATION, DRAWING INDEX

Project No. :

2025.018

Sheet No. :

G1

PROPOSED BUILDING FLOOR AREA AND PARKING			
FLOOR AREA	BUILDING USASE	PARKING PER USABLE AREA	PROPOSED REQUIRED PARKING
8,800 SF	RETAIL	200 SF	44
	MULTI-FAMILY RESIDENTIAL	7 UNITS (1BR/EFFICIENCY) 2 SP. EA.	14
NOTE: ORIGINAL PARKING COUNT = 34 SPACES. ADDED 11 OFF-STREET PARKING SPACES			58 TOTAL REQUIRED

Parking Schedule		
Count		
45	OFF-STREET	+ 4 METERED PARKING SPACES MACK AVE. + 9 PARKING SPACES - S RENAUD RD.
		58 TOTAL PROVIDED

* Calculations resulting in fractional space. When units or measurements determining the number of required parking spaces result in a requirement of a fractional space, any fraction up to and including one-half shall be disregarded and fractions over one-half shall require one parking space

SITE AREA:
EXISTING SITE AREA: 33,007 SF (0.758 ACRES)
PARKING LOT AREA: 18,536 SF
LOT SIZE: (EXISTING UNCHANGED)

SETBACKS:
C-COMMERCIAL BUSINESS
FRONT YARD SETBACK: 0
SIDE YARD SETBACK: 0
CORNER LOT
MAXIMUM BUILDING HEIGHT: (2) STORIES 28 FEET
PROPOSED HEIGHT: 18 FEET

DEMOLITION SCOPE:

- ALL DEMOLITION WORK REQUIRED IS NOT NECESSARILY LIMITED TO WHAT IS DESCRIBED IN THE DEMOLITION SCOPE. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ITEMS AS REQUIRED TO FACILITATE NEW CONSTRUCTION.
- EXISTING STRUCTURE AND BASEMENT TO BE DEMOLISHED COMPLETELY. DISCONNECT AND CAP EXISTING UTILITIES AS REQUIRED PRIOR TO DEMOLITION.
- GENERAL PRECAUTIONS SHALL BE TAKEN AS NECESSARY TO HOLD ALL DISRUPTION, DUST, DIRT, NOISE, AND DEBRIS TO A MINIMUM. G.C. TO OBTAIN DEMOLITION PERMIT AND PROVIDE ALL NECESSARY BARRIERS AND SAFETY MEASURES IN COMPLIANCE WITH REQUIREMENTS BY AHJ.
- REMOVE ALL DEBRIS FROM THE SITE AND LEGALLY DISPOSE OF THESE MATERIALS.
- REPAIR DAMAGED AREAS IN EXISTING PARKING LOT. PREPARE FOR NEW ASPHALT CAP

GENERAL SITE PLAN NOTES

- PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:
- CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
- ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.
- PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
- ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
- ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
- ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.
- ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
- CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.
- FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.
- EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.
- EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.
- SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.
- ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.
- FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.
- ALL LANDSCAPED AREAS TO BE PROVIDED W/ SPRINKLER SYSTEMS FOR 100% COVERAGE.
- MAINTAIN EXISTING DRAINAGE PATTERNS ON SITE IN COMPLIANCE WITH REQUIREMENTS OF AHJ.
- EXISTING UTILITIES ON SITE TO REMAIN - TYP. U.N.O.
- MAINTAIN EXISTING SITE TOPOGRAPHY - TYP. U.N.O.

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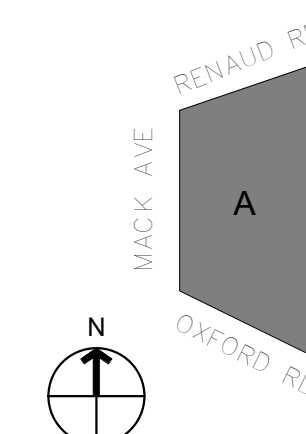
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Key Plan:



Issued for

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JGB, JPM

Checked by :

JPM, JAV

Sheet Title :

SITE PLAN + LANDSCAPE PLAN +
DETAILS

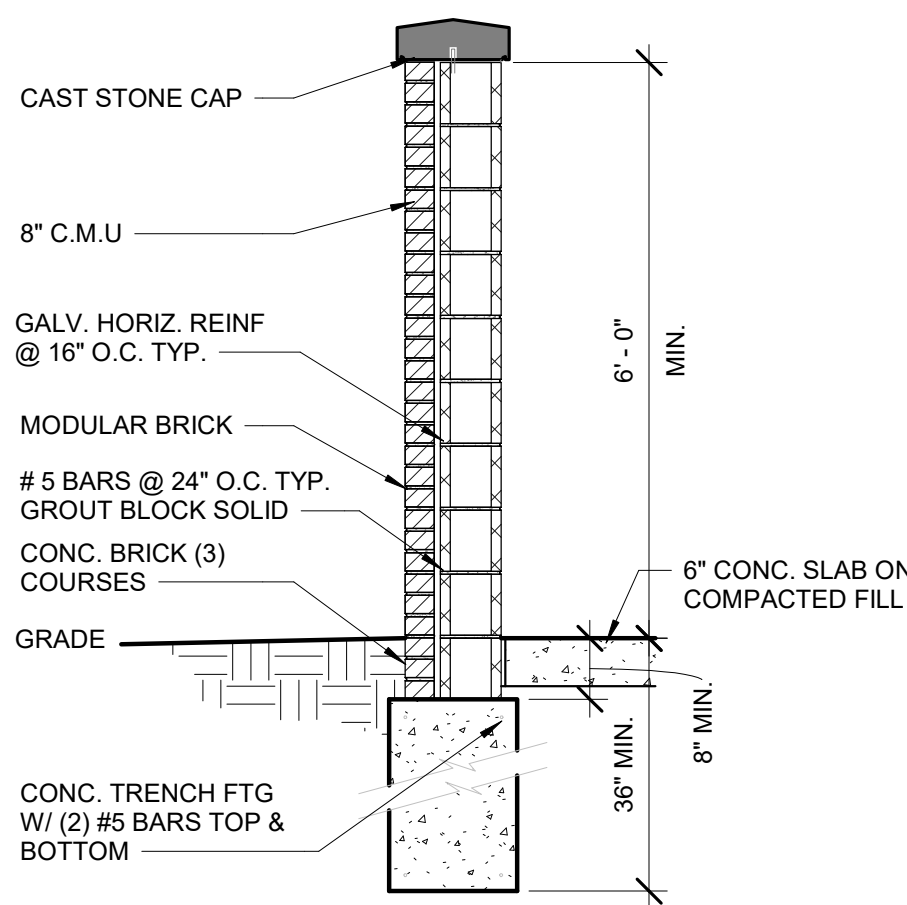
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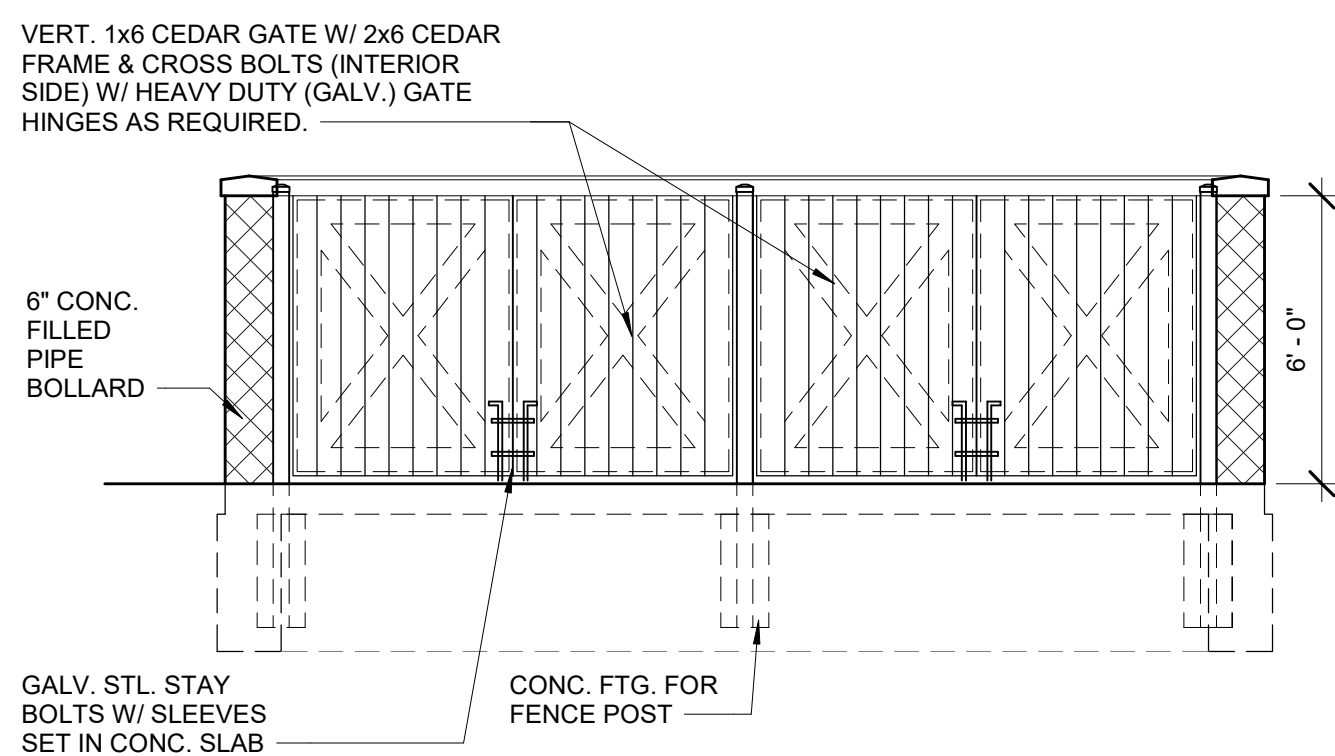
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A1

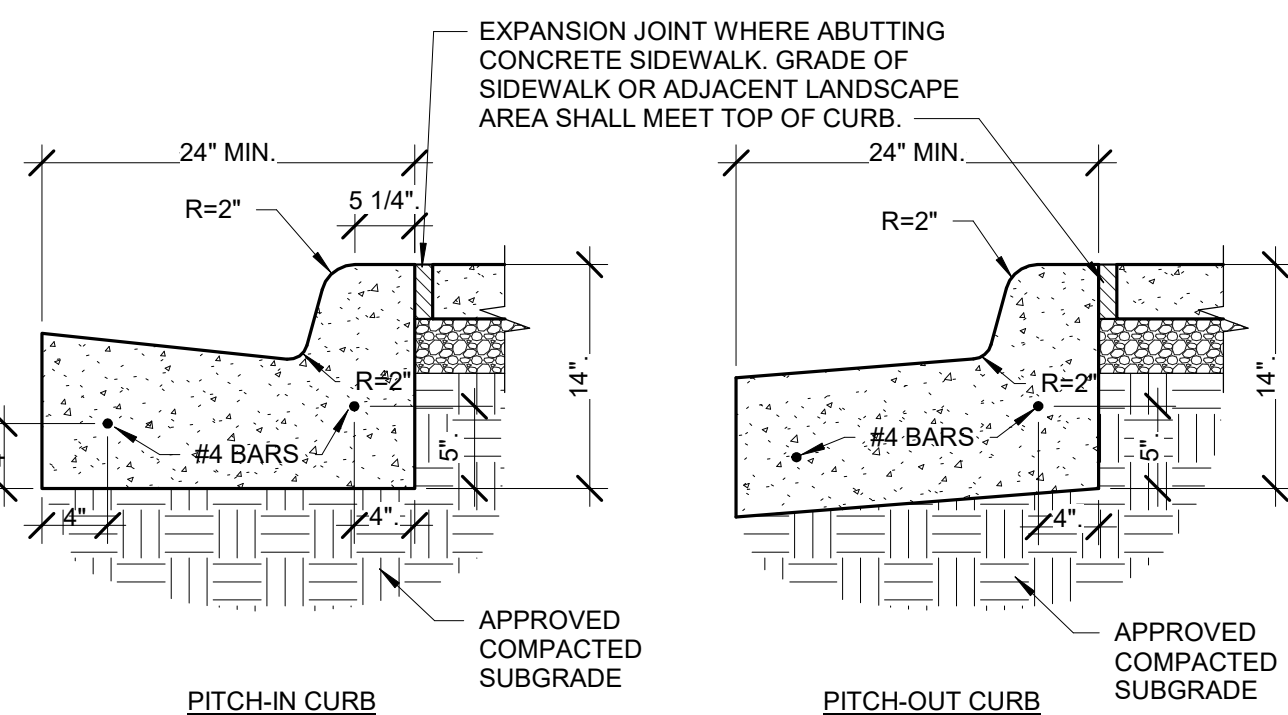
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2 Section At Dumpster Screen
A1 1/2" = 1'-0"

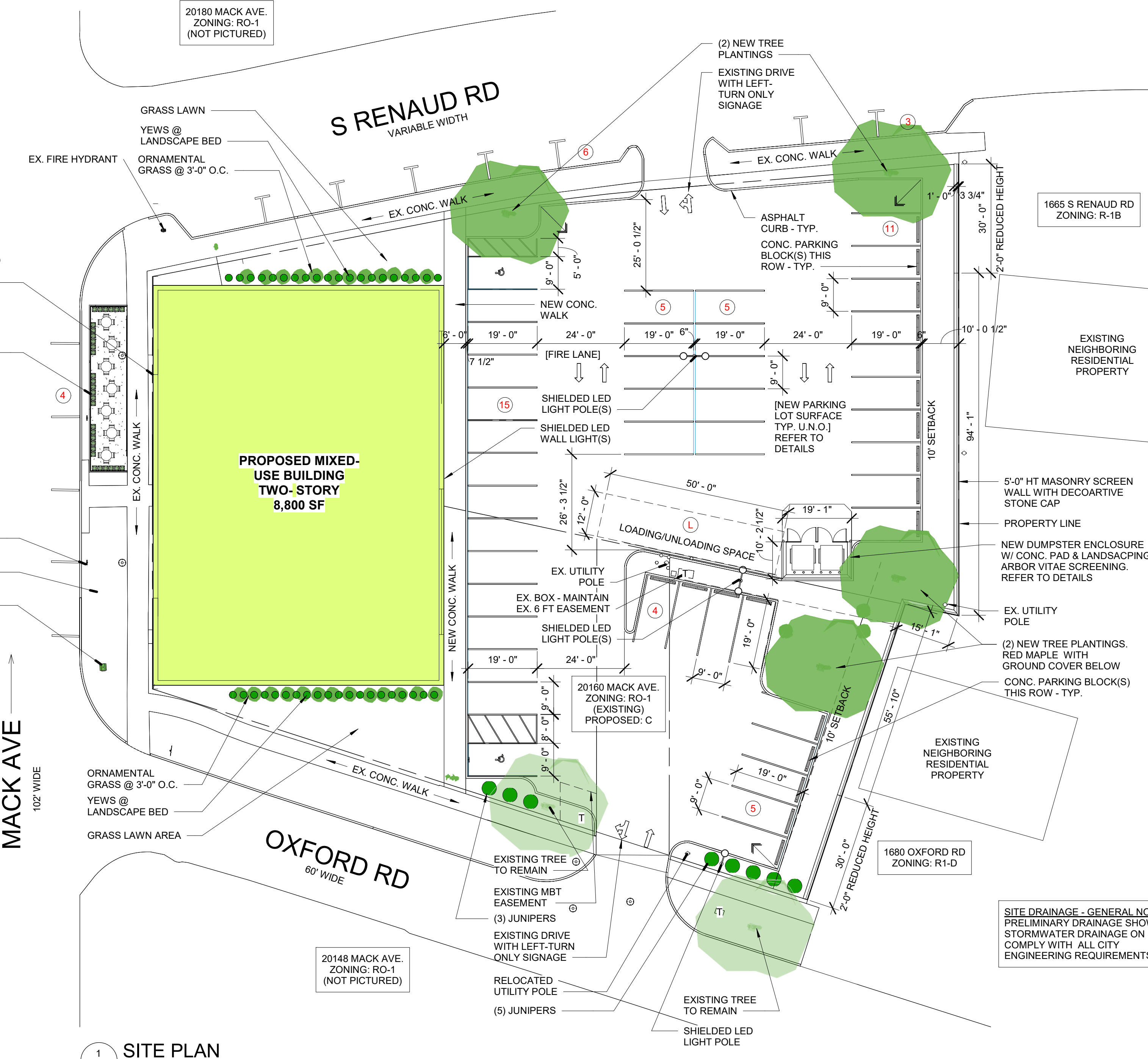


3 Dumpster Screening Detail
A1 1/4" = 1'-0"

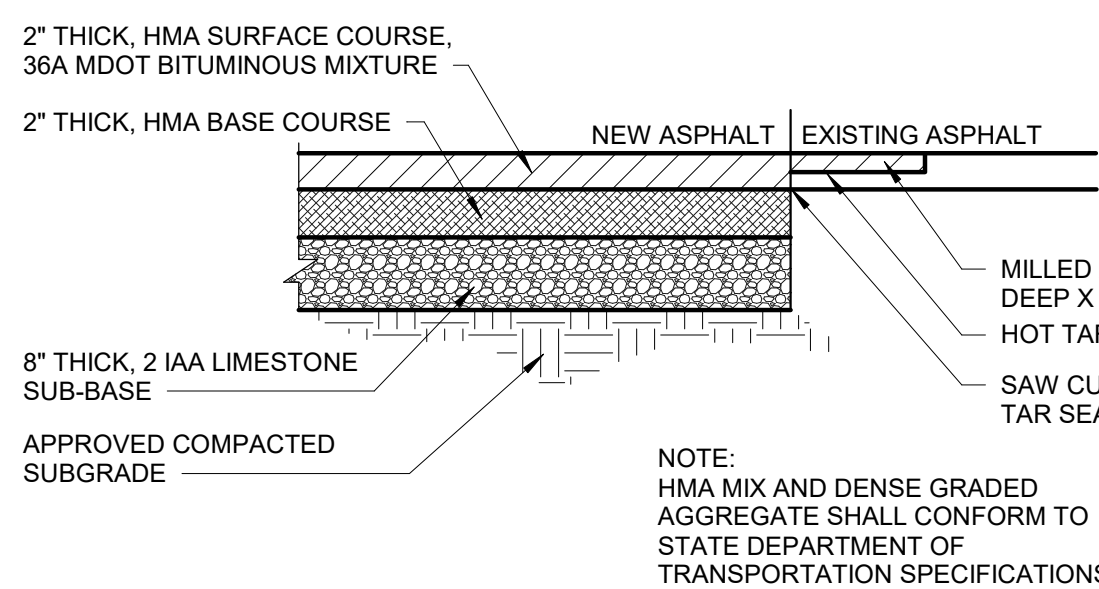


- NOTES:
- CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
 - TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM SURFACE.
 - HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
 - 14" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

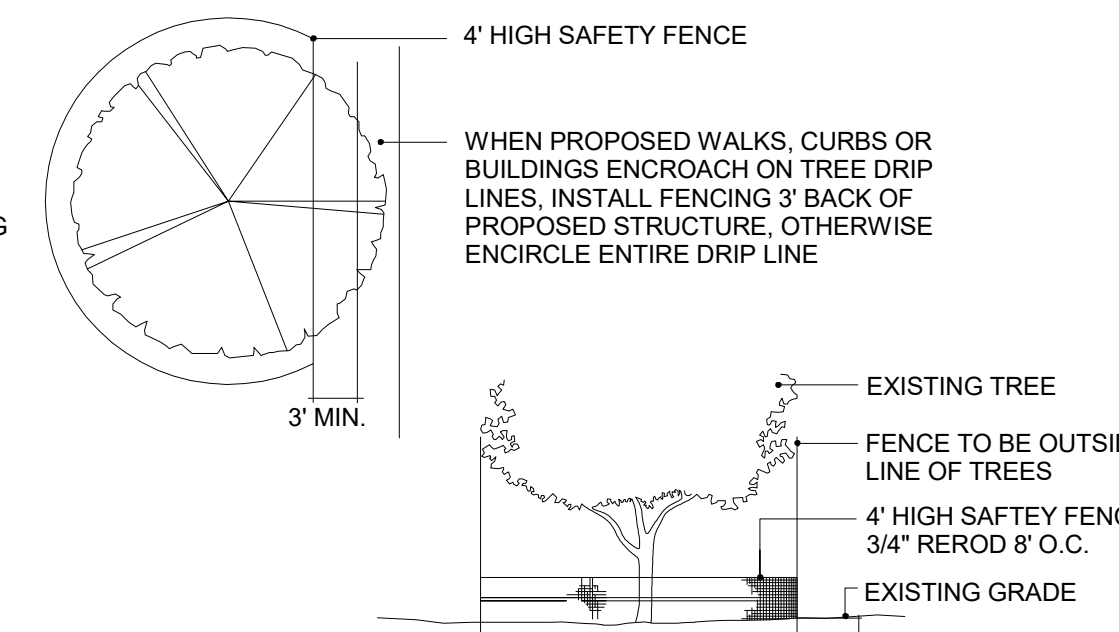
4 CONCRETE CURB AND GUTTER DETAIL
A1 1" = 1'-0"



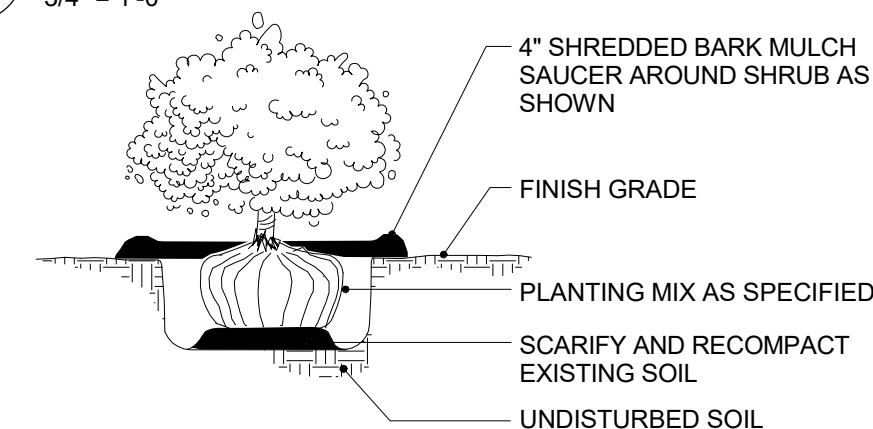
1 SITE PLAN
A1 1" = 20'-0"



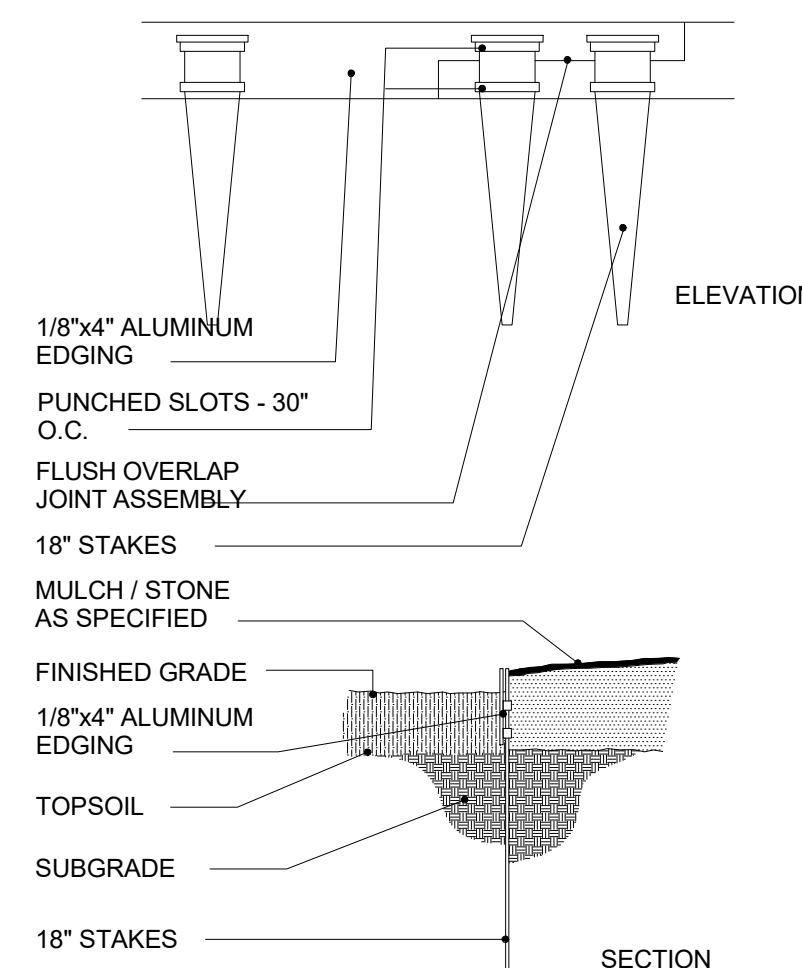
5 ON-SITE FULL DEPTH ASPHALT PAVEMENT DETAIL
A1 1" = 1'-0"



8 TREE PROTECTION DETAIL
A1 3/4" = 1'-0"



7 SHRUB PLANTING DETAIL
A1 3/4" = 1'-0"



6 ALUMINUM EDGING DETAIL
A1 3/4" = 1'-0"

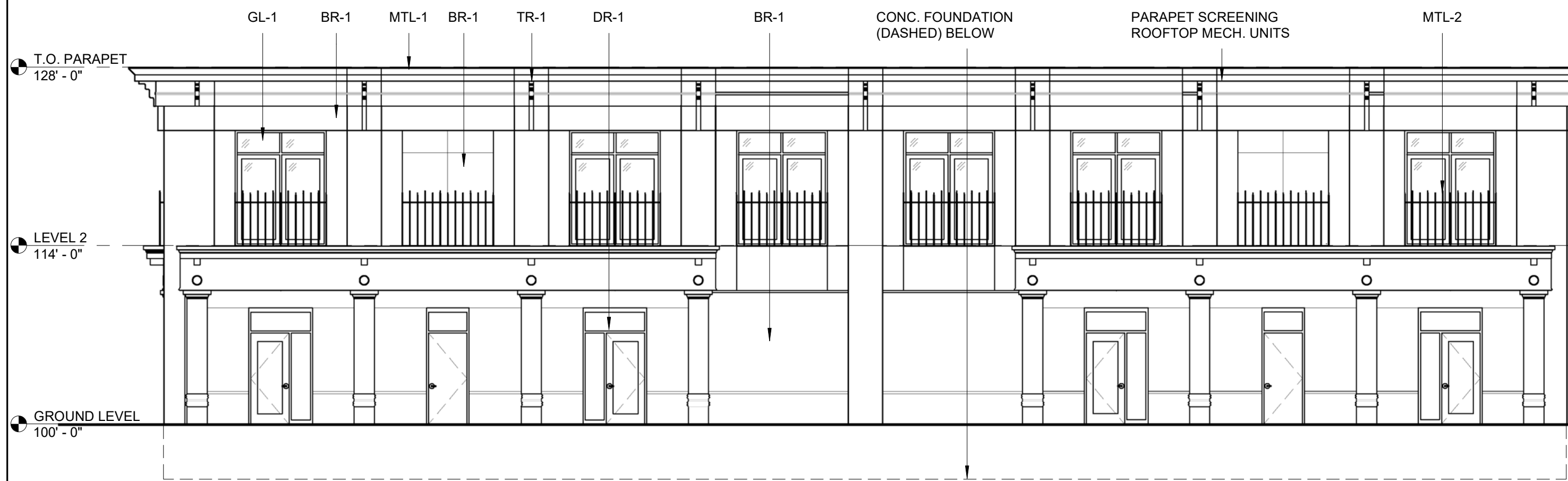
LEGAL DESCRIPTION
LAND SITUATED IN THE CITY OF GROSSE POINTE WOODS, COUNTY OF WAYNE, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:
ALL OF LOT 1 AND LOT 2, EXCEPTING THEREFROM THE EAST 15.31 FEET IN ARTHUR J. SCULLY'S EASTMORELAND PARK, BEING A SUBDIVISION OF PART OF PRIVATE CLAIM 240, VILLAGE OF LOCHMOOR, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 63, PAGE 42 OF PLATS. ALSO ALL THAT PART OF P.C. 611, VILLAGE OF GROSSE POINTE WOODS, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT AT THE INTERSECTION OF THE EAST LINE OF MACK AVENUE AND THE SOUTH LINE OF SAID P.C. 611, SAID POINT BEING SOUTH 71 DEGREES EAST A DISTANCE OF 104.43 FEET FROM THE MIDDLE LINE OF MACK AVENUE; THENCE ALONG SAID SOUTH LINE OF P.C. 611, SOUTH 71 DEGREES EAST A DISTANCE OF 227.28 FEET TO THE SOUTHWEST CORNER OF RENMOOR PARK SUBDIVISION; THENCE ALONG THE WEST LINE OF SAID SUBDIVISION NORTH 6 DEGREES, 37 MINUTES, 22 SECONDS EAST A DISTANCE OF 124.37 FEET TO THE SOUTH LINE OF RENAUD ROAD, THENCE ALONG RENAUD ROAD NORTH 88 DEGREES, 22 MINUTES WEST A DISTANCE OF 87.05 FEET; THENCE TURNING TO THE LEFT ON A CURVE HAVING A RADIUS OF 459.14 FEET WESTERLY, 49.95 FEET (CHORD BEARS SOUTH 88 DEGREES, 31 MINUTES WEST A DISTANCE OF 49.93 FEET); THENCE SOUTH 85 DEGREES, 24 MINUTES WEST A DISTANCE OF 87.48 FEET TO THE EAST SIDE OF MACK AVENUE; THENCE ALONG MACK AVENUE SOUTH 6 DEGREES, 37 MINUTES, 22 SECONDS WEST 2 DISTANCE OF 44.00 FEET TO THE PLACE OF BEGINNING.

EXTERIOR FINISH SCHEDULE		
MASONRY	BR-1	BRICK MFG: BELDEN BRICK OR APPROVED EQUAL COLOR: BELCREST 730 - OR SIMILAR SIZE: MODULAR
WIND.	SF-1	STOREFRONT MFG: KAWNEER OR SIMILAR COLOR: NIGHT HAWK GRAY FINISH: POWDER COATED (OR EQUAL) SIZE: (VARIES)
DOORS	DR-1	ALUMINUM ENTRANCE DOOR SYSTEM MFG: KAWNEER OR APPROVED EQUAL STYLE: 2" X 6" COLOR: TO MATCH WINDOW FRAME WITH CLEAR GLASS
GLASS	GL-1	ALL GLASS TO BE: 1", LOW-E, INSULATED GLASS MFR: VIRACON OR APPROVED EQUAL COLOR/STYLE: CLEAR
MISC.	TR-1	TRIM: FIBER CEMENT BOARD - HARDIE OR APPROVED EQUAL COLOR: DARK GRAY TO MATCH STOREFRONT
	MTL-1	COPING: PREFINISHED ALUMINUM COLOR: MATCH ADJACENT MATERIALS
	MTL-2	RAILING: PREFINISHED ALUMINUM COLOR: MATCH ADJACENT MATERIALS

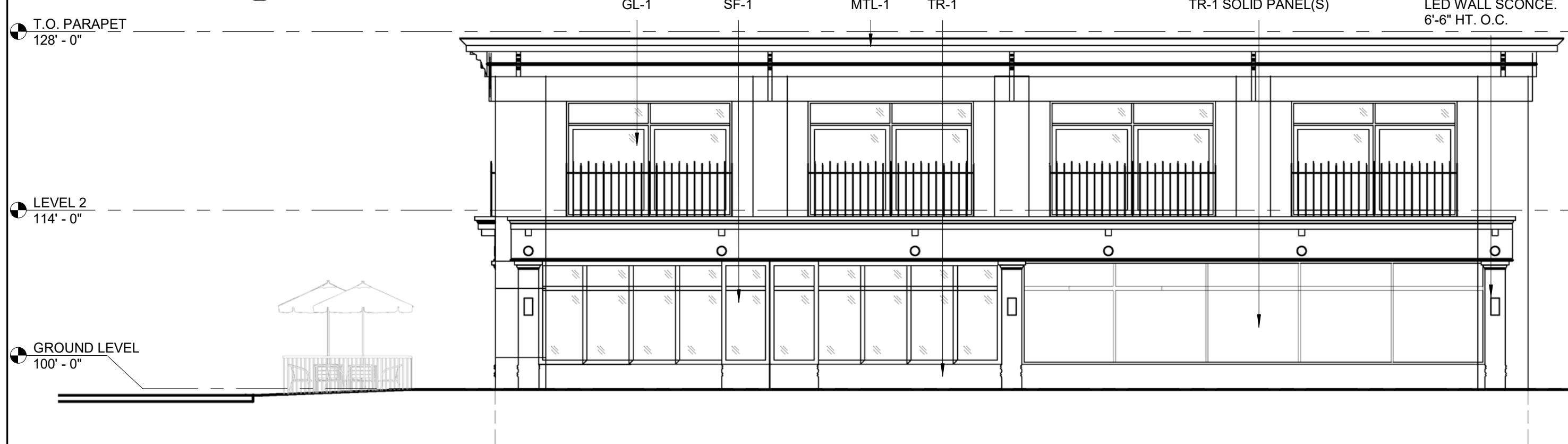
SIGNAGE - GENERAL NOTE:
SIGNAGE AREAS TO COMPLY WITH CITY OF GROSSE
POINTE WOODS ZONING ORDINANCE. ALL TENANT
SIGNAGE TO BE PERMITTED SEPARATELY.



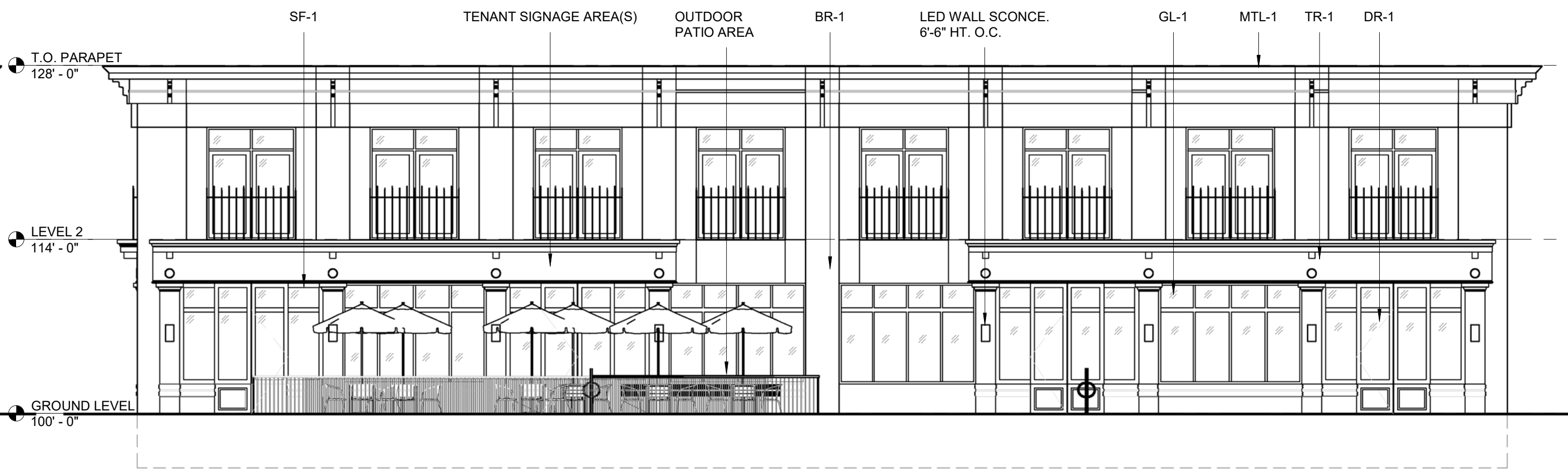
CONCEPTUAL RENDERING - EXTERIOR



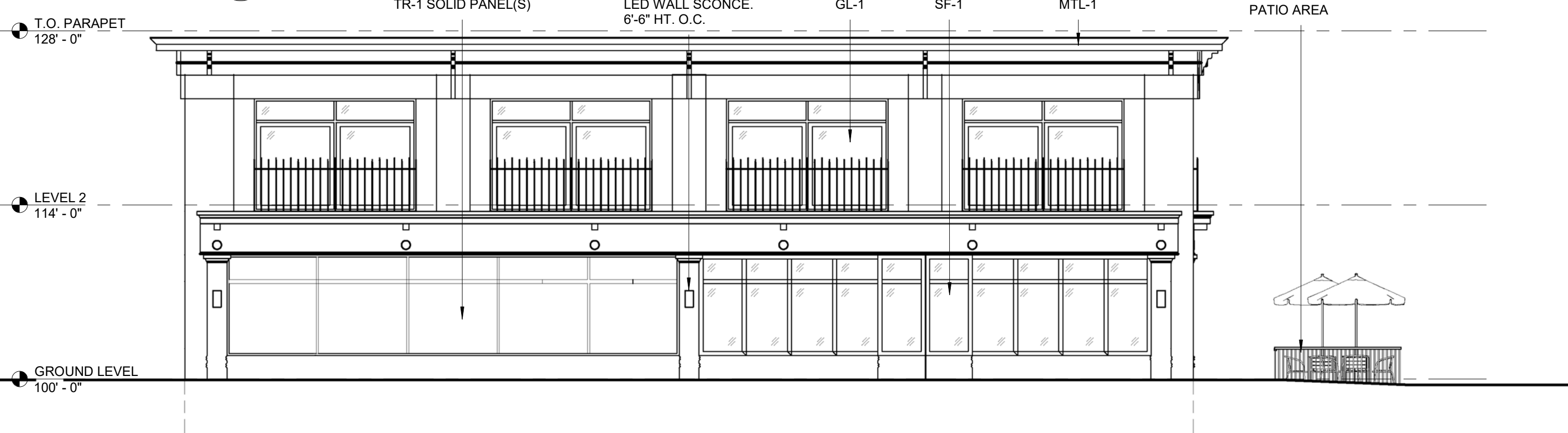
4 EAST ELEVATION - PARKING LOT
1/8" = 1'-0"



3 SOUTH ELEVATION - OXFORD
1/8" = 1'-0"



1 WEST ELEVATION - MACK AVE.
1/8" = 1'-0"



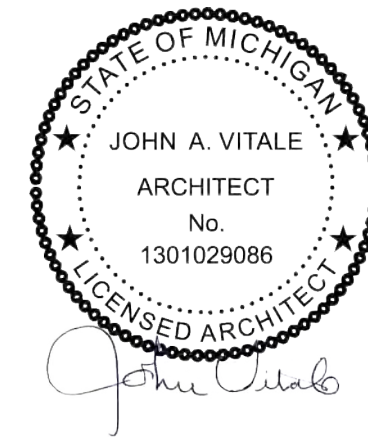
2 NORTH ELEVATION - RENAUD
1/8" = 1'-0"



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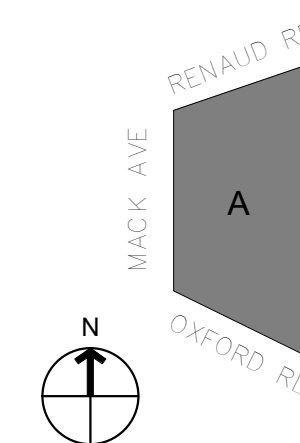
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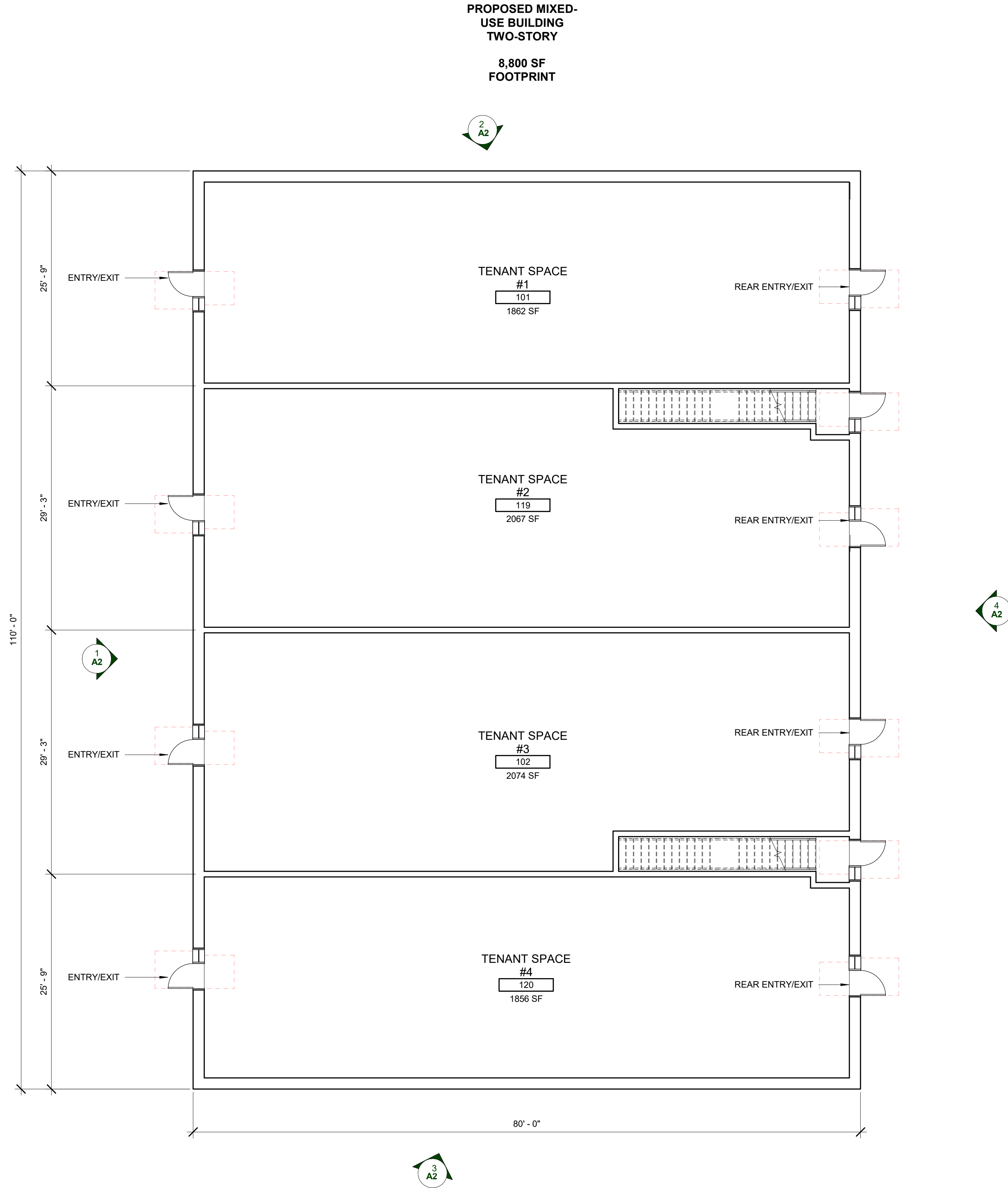
Drawn by :
JGB, JPM
Checked by :
JPM, JAV
Sheet Title :
EXTERIOR ELEVATIONS +
RENDERING

Project No. :
2025.018

Sheet No. :

A2

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FLOOR PLAN - GROUND LEVEL

1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES

- THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK. COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- WALL THICKNESS ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
- ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A. AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
- PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
- PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AT 30'-0" O.C. MAXIMUM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL CONDUCT A ROUGH ELECTRICAL INSPECTION WITH OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, VOICE, SWITCH, THERMOSTAT, ETC.
- A TACTILE SIGN STATING 'EXIT' AND COMPLYING WITH ICC-A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN 'AREA OF REFUGE', AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE.
- PROVIDE PERMANENT MIN 3-INCH HIGH CONTRASTING COLOR MARKING AND IDENTIFICATION AT ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS WITHIN 15 FEET AT THE END OF EACH WALL, AND NOT EXCEEDING 30 FEET MAXIMUM HORIZONTAL INTERVALS. MINIMUM 2 LOCATIONS EACH WALL. TYPICAL FOR ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING, OR ATTIC SPACES PER CODE (MBC 703.7)

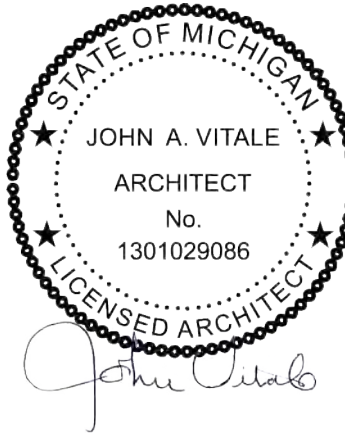


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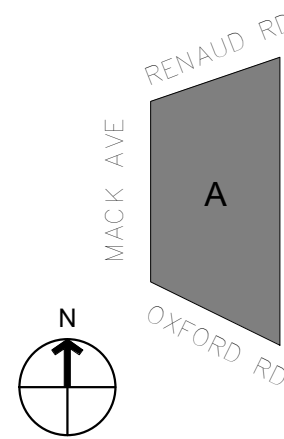


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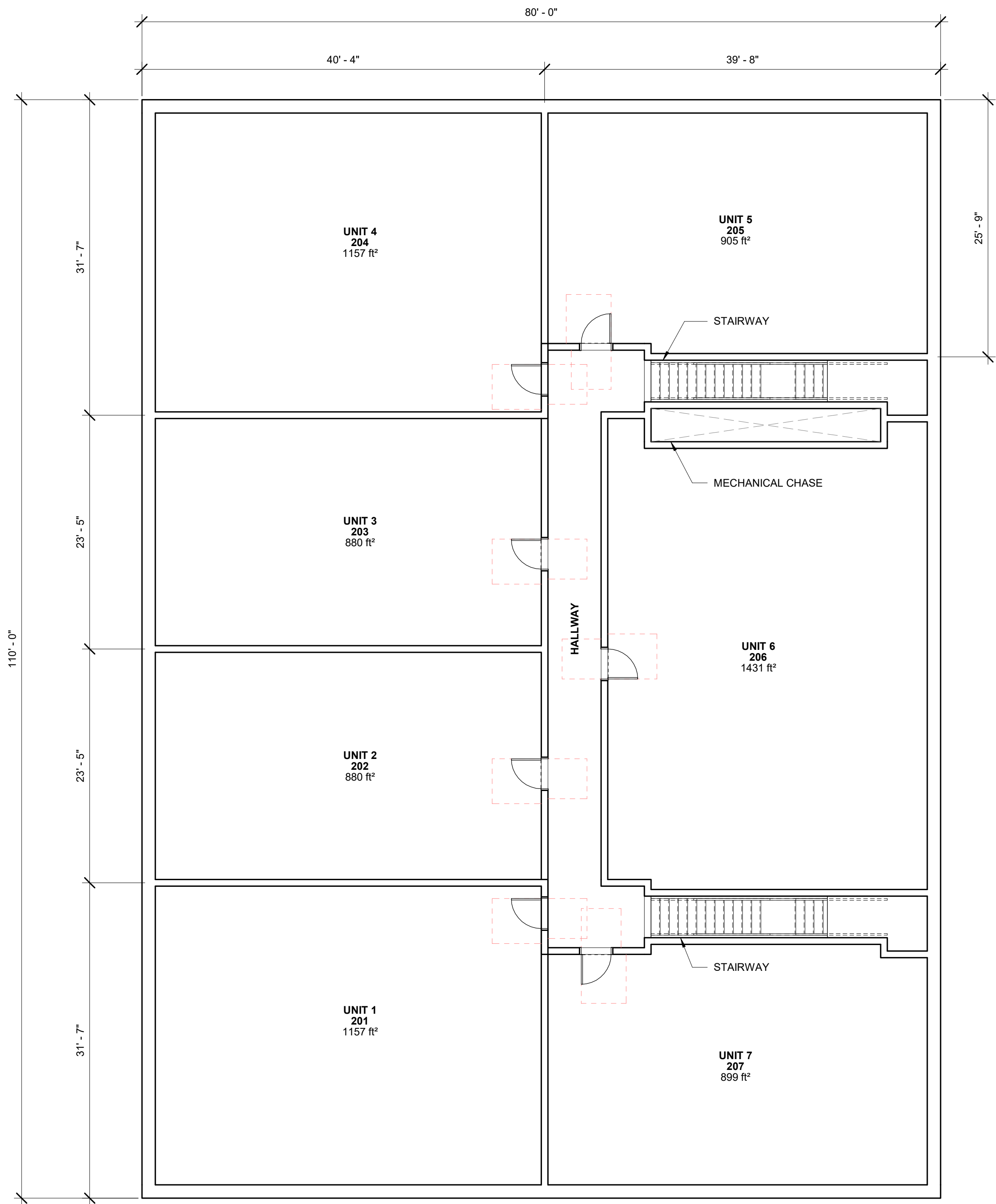
FLOOR PLAN - GROUND LEVEL

Project No. :

2025.018

Sheet No. :

A3



 **FLOOR PLAN - UPPER LEVEL**
1/8" = 1'-0"

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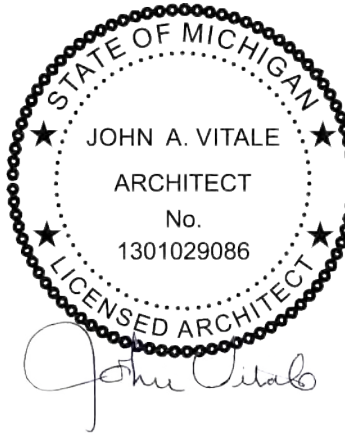


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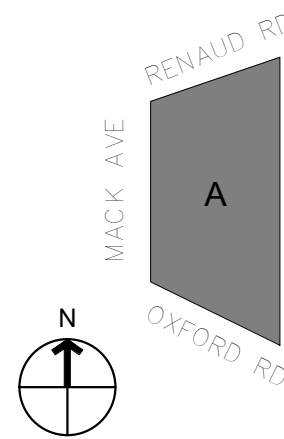


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FLOOR PLAN - UPPER LEVEL

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Sheet No. :

A4

Schedule								
Symbol	Label	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power
	W1	3	Lumenpulse	LIAM-120_277-CSL-S60-40K-CRI 80-4 BLS	Lumenicon Medium	2671	0.9	55
	P1	1	Lithonia Lighting	[...]	[...]	[...]	0.9	66.42
			Lithonia Lighting	DSX0 LED P1 40K 80CRI T4LG EGS	D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 4 Low G Rating External Glare Shield	3836	0.9	33.21
			Lithonia Lighting	DSX0 LED P1 40K 80CRI TFTM EGS	D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Forward Throw External Glare Shield	3963	0.9	33.21
	P2	1	Lithonia Lighting	DSX0 LED P1 40K 80CRI RCCO EGS	D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Right Corner Cutoff Extreme Backlight Control External Glare Shield	3199	0.9	33.21
	P3	1	Lithonia Lighting	[...]	[...]	3963	0.9	66.42
			Lithonia Lighting	DSX0 LED P1 40K 80CRI TFTM EGS	D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Forward Throw External Glare Shield	3963	0.9	33.21
			Lithonia Lighting	DSX0 LED P1 40K 80CRI TFTM EGS	D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Forward Throw External Glare Shield	3963	0.9	33.21
	S1	14	Spectrum Lighting	C0816ADJXT-10L-MD-GL-10L-MD-xxK-EX-TSG-S0 (Up/Down)	8" Diam. x 16" H, Direct/Indirect Cylinder, Wall Mounted	804	0.9	18.2

General Note
1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: GRADE

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

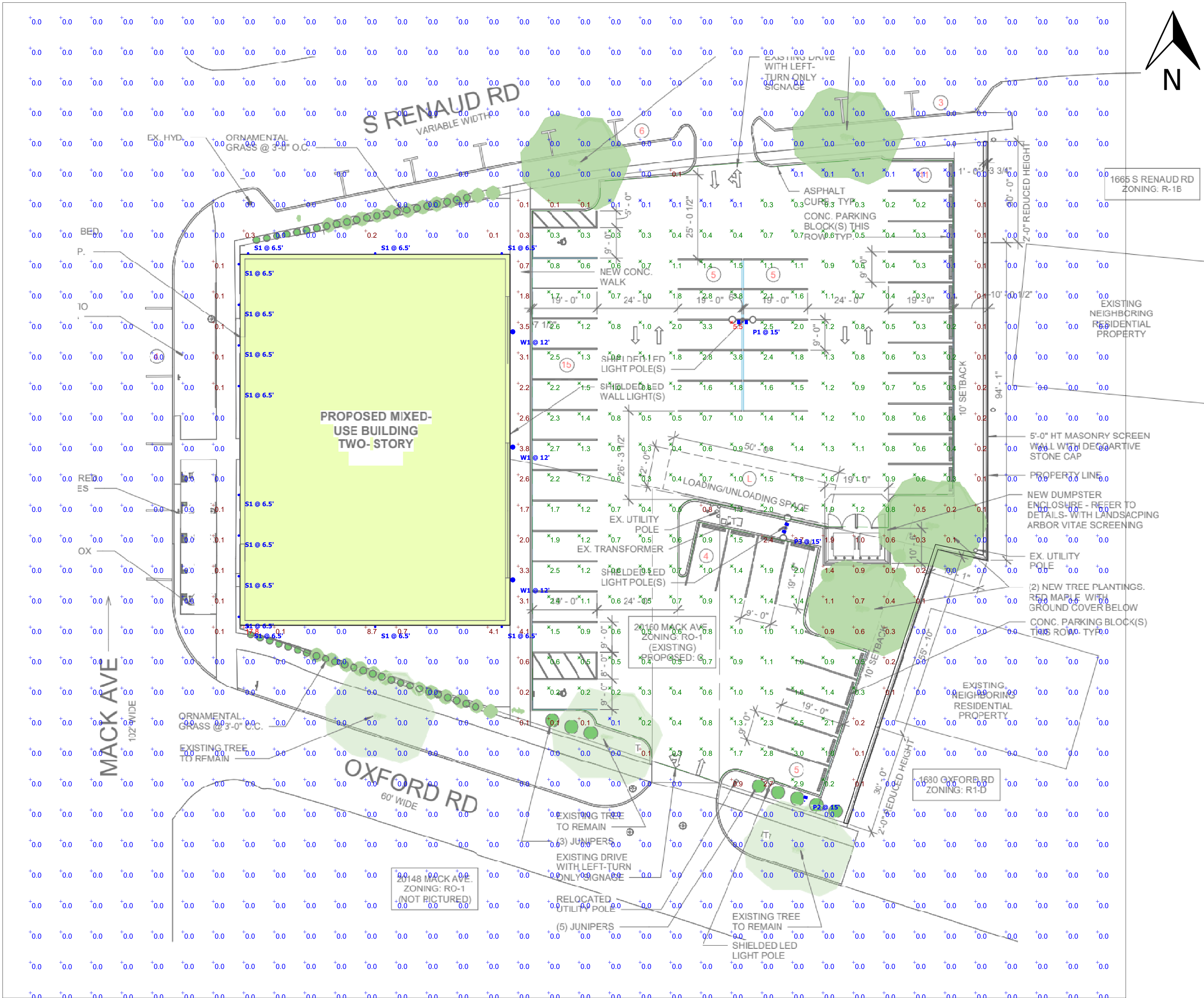
UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2019. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT CONTROLS@GASSERBUSH.COM OR 734-266-6705.

Alternates Note
THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Drawing Note
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Ordering Note
FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Mounting Height Note
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



Plan View
Scale - 1" = 16ft

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall/Grade	+	0.3 fc	17.8 fc	0.0 fc	N/A	N/A
Parking & Drive Lanes	X	1.0 fc	5.5 fc	0.1 fc	55.0:1	10.0:1



MACK AVE.
EXTERIOR PHOTOMETRIC PLAN
GASSER BUSH ASSOCIATES
WWW.GASSERBUSH.COM

Designer
BK
Date
09/23/2025
Scale
Not to Scale
Drawing No.
#V4



IMPACT STATEMENT

**PROPOSED RETAIL DEVELOPMENT
PARCEL ID: 40009010001000
20160 MACK AVE
GROSSE POINTE WOODS
WAYNE COUNTY, MICHIGAN**

PREPARED BY:

**STONEFIELD ENGINEERING & DESIGN, LLC
NIK BAUER
SED DET-250182**

SIGNED

DEVELOPER / APPLICANT:

**BUCCALLETO DEVELOPMENT
20259 MACK AVENUE, SUITE 2
GROSSE POINTE WOODS, MI 48236
(313) 300-7280**

REPORT CONTENTS

I.1	PROPERTY DESCRIPTION	3
I.2	EXISTING CONDITIONS.....	3
I.3	PROPOSED CONDITIONS	3
I.4	CURRENT ZONING	3
I.5	UTILITY & RIGHT-OF-WAY IMPACTS.....	4
I.6	ENVIRONMENTAL IMPACTS	4

APPENDICIES

FLOODPLAIN MAPS	A
FEMA FIRM MAP	B
NRCS SOIL SURVEY MAP	C
EGLERIDE MAPPER	D

1.1 PROPERTY DESCRIPTION

Legal Description

Land situated in the City of Grosse Pointe Woods, County of Wayne, State of Michigan, described as follows:

All of lot 1 and lot 2, excepting therefrom the east 15.31 feet in Arthur J. Scully's Eastmoreland Park, being a subdivision of part of private claim 240, Village of Lochmoor, according to the plat thereof recorded in liber 63, page 42 of plats. also all that part of P.C. 611, village of Grosse Pointe Woods, bounded and described as follows: beginning at a point at the intersection of the east line of Mack Avenue, as widened, and the south line of said P.C. 611, said point being south 71 degrees east a distance of 104.43 feet from the middle line of Mack Avenue; thence along said south line of P.C. 611, south 71 degrees east a distance of 227.28 feet to the southwest corner of Renmoor Park Subdivision; thence along the west line of said subdivision north 6 degrees, 37 minutes, 22 seconds east a distance of 124.37 feet to the south line of Renaud Road; thence along Renaud road north 88 degrees, 22 minutes west a distance of 87.05 feet; thence turning to the left on a curve having a radius of 459.14 feet westerly, 49.95 feet (chord bears south 88 degrees, 31 minutes west a distance of 49.93 feet); thence south 85 degrees, 24 minutes west a distance of 87.48 feet to the east side of Mack Avenue; thence along Mack Avenue south 6 degrees, 37 minutes, 22 seconds west 2 distance of 44.00 feet to the place of beginning.

1.2 EXISTING CONDITIONS

The project site is a 0.76 acres commercial lot, home of the 'Pointe Neuroscience Center'. The area of improvements is limited to the building & its accessory asphalt parking area. No environmental hazards have been identified on the site per EGLE's Ride Mapper system, and the site falls outside of any local wellhead protection areas. Access to the site is provided by driveways to the S Renaud Road & Oxford Road systems.

1.3 PROPOSED CONDITIONS

The scope of the proposed improvements includes demolition of the existing building and parking lot, and construction of a 2-story 8,900 SF Mixed Use Building and accessory parking lot containing 56 vehicle parking spaces.

1.4 CURRENT ZONING

The Current Zoning is (RO-1) Restricted Office with a proposed rezone to (C) Commercial Business, and the master plan's Future Land Use identifies the site as 'Corridor Mixed Use', which fits the characteristics of the proposed development. Refer to the current Grosse Pointe Woods Zoning Map & Master Plan for more information.

1.5 UTILITY & RIGHT-OF-WAY IMPACTS

No negative impacts to public utilities such as stormwater, sanitary waste, domestic water, natural gas, or electrical services are anticipated. Though the proposed Commercial & Residential uses will have a slightly greater demand on public utilities than the existing medical office use, the existing city infrastructure has adequate capacity for the proposed development. No impacts to fire or police services are anticipated.

Landscaping improvements are proposed along the right-of-way frontages, as well as an outdoor seating area along Mack Avenue. The existing right-of-way sidewalks will remain and be repaired as necessary. The existing on-street parking spaces abutting the subject property will remain.

1.6 ENVIRONMENTAL IMPACTS

No environmental impacts are anticipated. The amount of green space on-site shall remain relatively unchanged with enhanced landscaping proposed along the right-of-way frontages and the rear lot line. The existing landscaping (trees, plantings, etc.) shall remain to the greatest extent possible.

The subject property is not located within a mapped floodplain (Zone 'X', area of minimum flood hazard) nor mapped wetlands. Refer to the FEMA map (Number 26163C0141F eff. 10/21/2021) USFWS National Wetlands Inventory Map, and EGLE Wetlands Map.

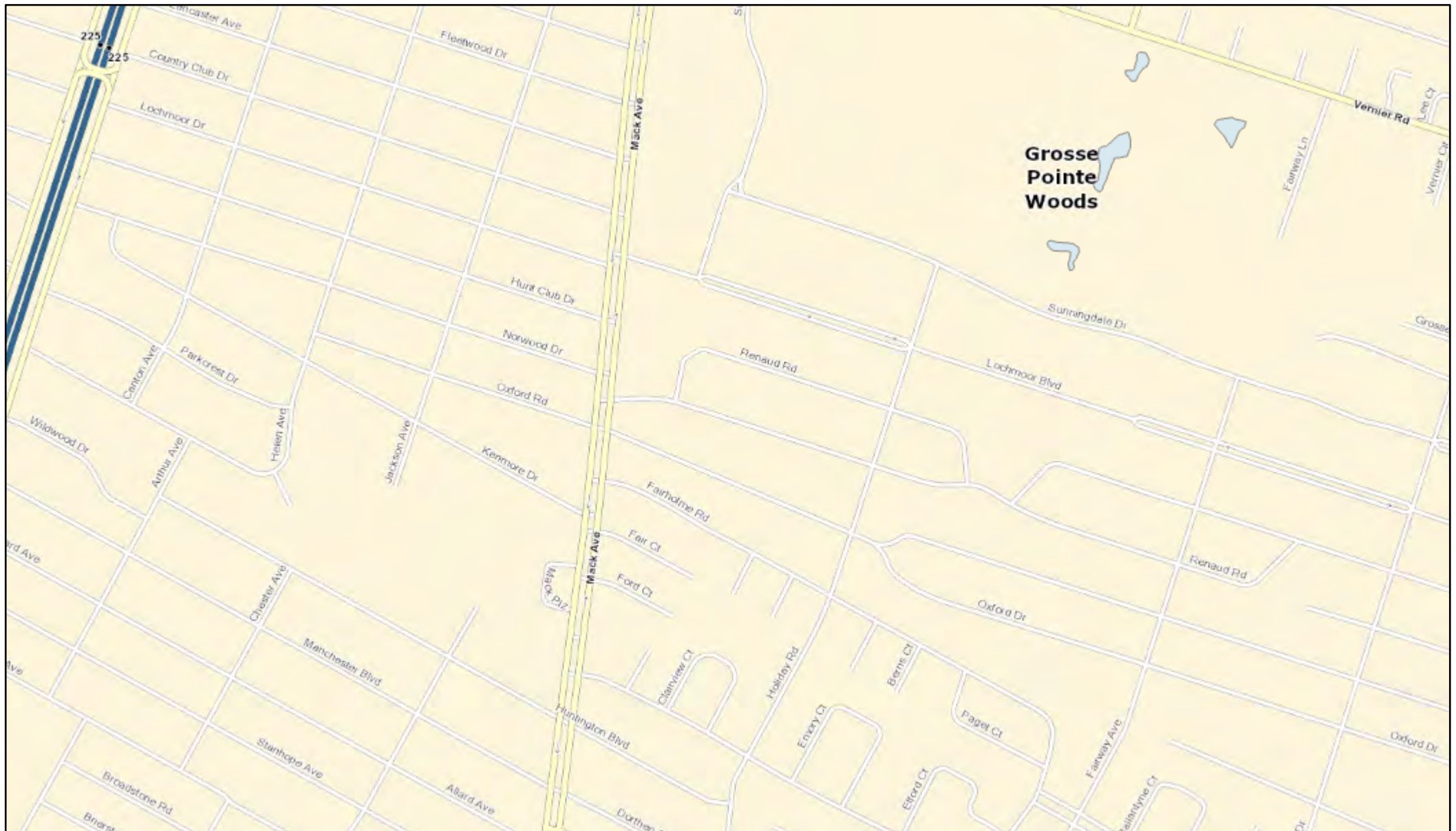
The subject site's soils are comprised of mainly 'Urban Land-Fortress Family Complex' (UrbapB per NRCS Soil Survey maps, refer to Appendix C) which carries a low permeability (HSG 'D'). Groundwater depth is not expected to be a conflict.



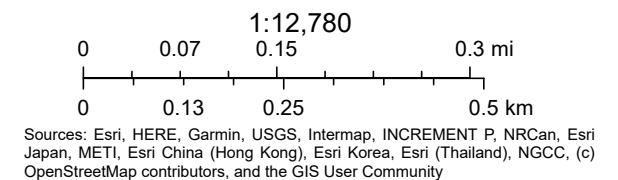
APPENDIX A

WETLAND MAPS

Wetlands Map Viewer



September 19, 2025



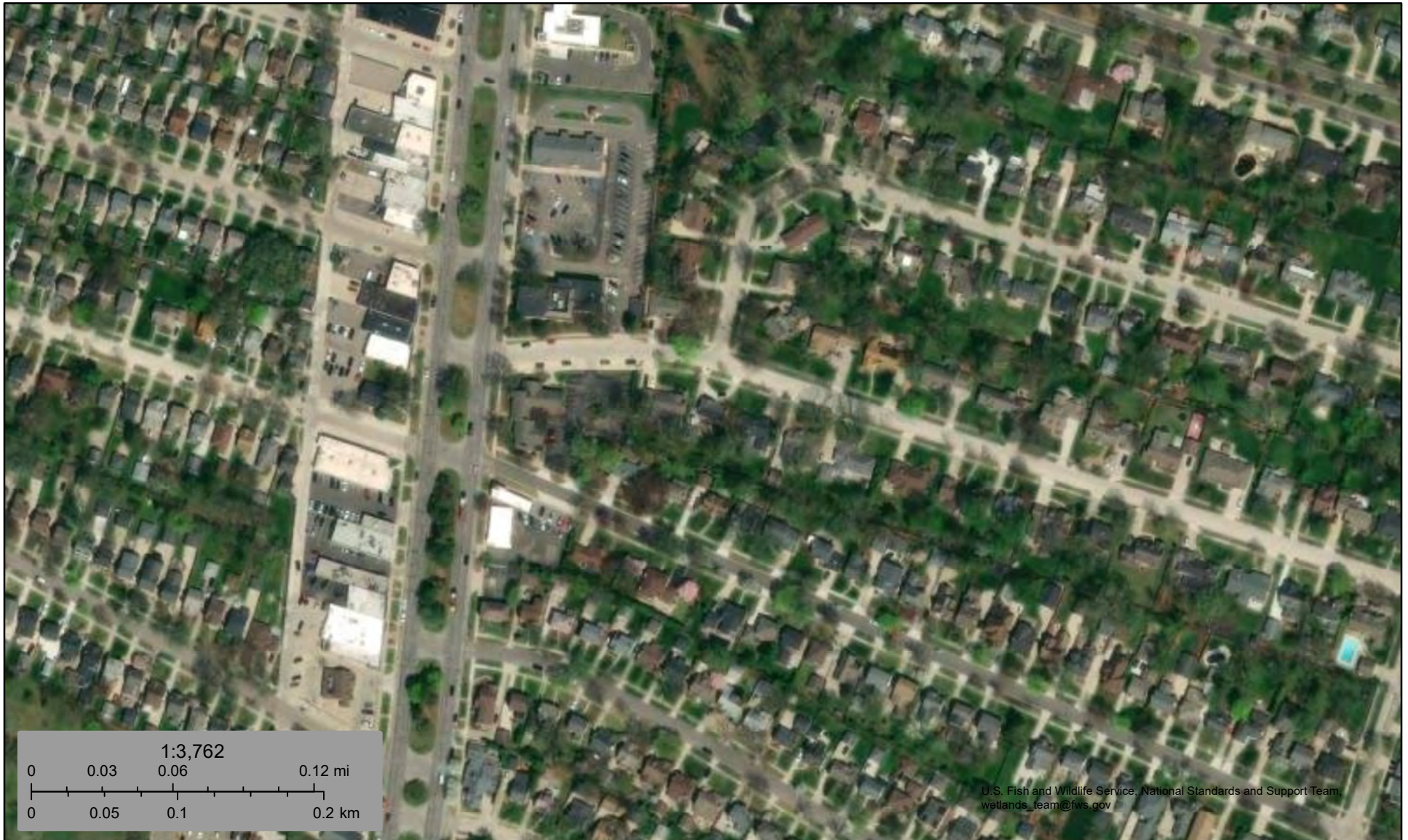
Disclaimer: This map is not intended to be used to determine the specific



U.S. Fish and Wildlife Service

National Wetlands Inventory

20160 Mack Ave Wetlands



U.S. Fish and Wildlife Service, National Standards and Support Team,
wetlands_team@fws.gov

September 19, 2025

Wetlands

	Estuarine and Marine Deepwater		Freshwater Emergent Wetland		Lake
	Estuarine and Marine Wetland		Freshwater Forested/Shrub Wetland		Other
			Freshwater Pond		Riverine

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.



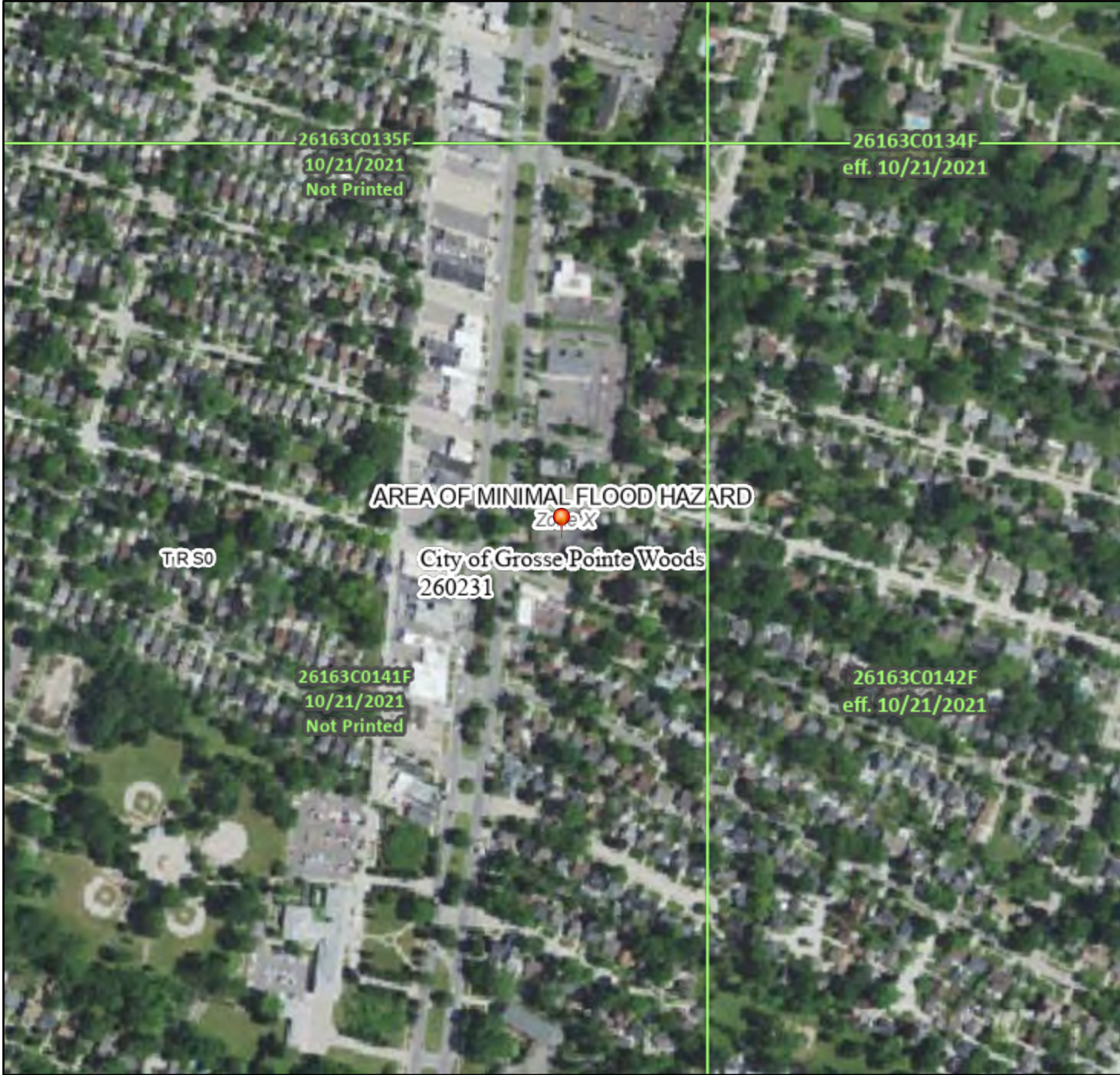
APPENDIX B

FEMA FIRM MAP

National Flood Hazard Layer FIRMMette



82°54'46"W 42°26'19"N



1:6,000

82°54'9"W 42°25'52"N

Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 9/19/2025 at 1:29 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

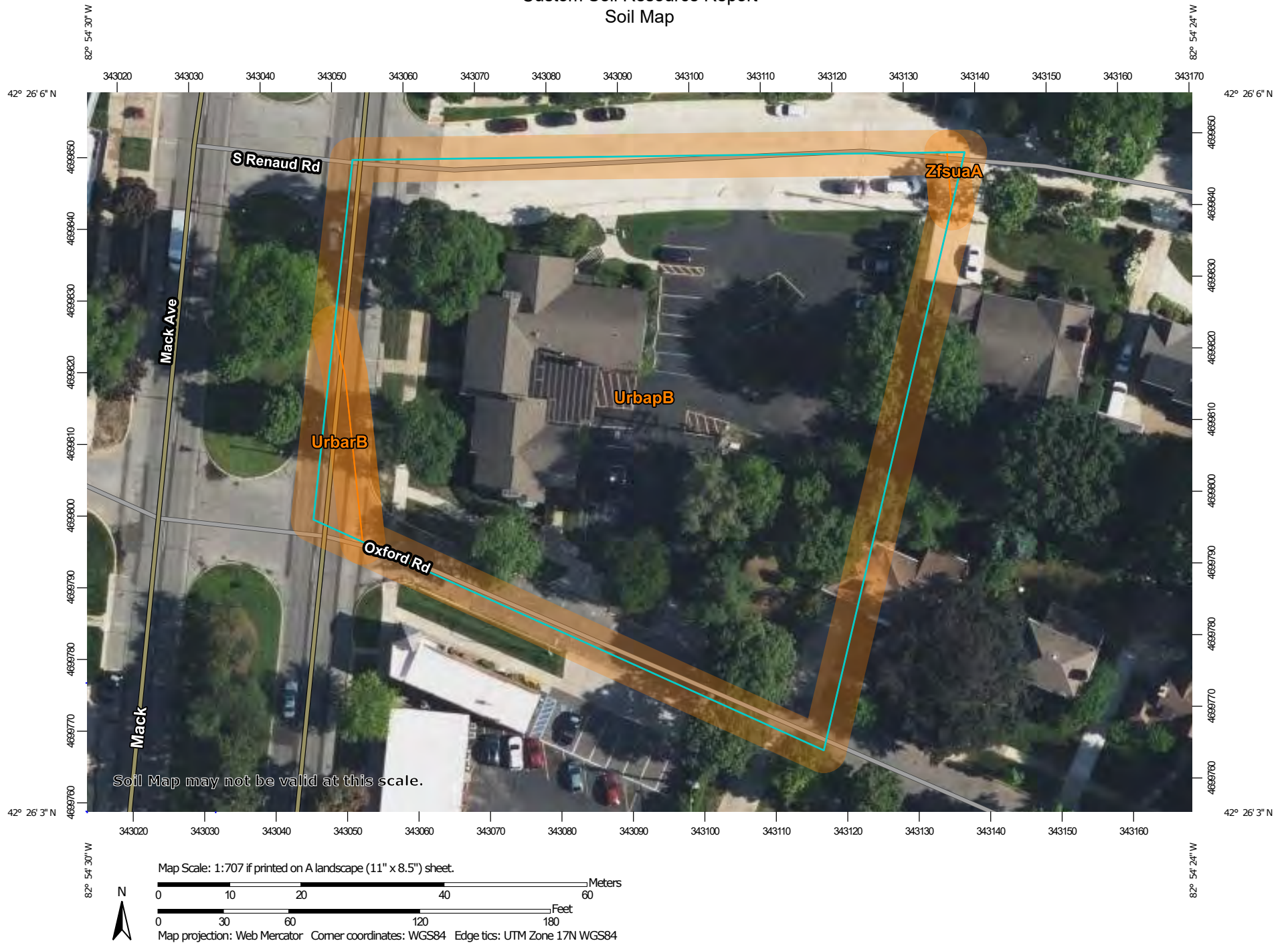
This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



APPENDIX C

NRCS SOIL SURVEY MAPS

Custom Soil Resource Report Soil Map



Wayne County, Michigan

UrbapB—Urban land-Fortress family complex, dense substratum, 0 to 4 percent slopes

Map Unit Setting

National map unit symbol: 2whsw
Elevation: 570 to 670 feet
Mean annual precipitation: 28 to 38 inches
Mean annual air temperature: 45 to 52 degrees F
Frost-free period: 135 to 210 days
Farmland classification: Not prime farmland

Map Unit Composition

Urban land: 80 percent
Fortress family, dense substratum, and similar soils: 19 percent
Minor components: 1 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Urban Land

Properties and qualities

Slope: 0 to 1 percent
Depth to restrictive feature: 0 inches to manufactured layer
Runoff class: High
Capacity of the most limiting layer to transmit water (Ksat): Very low (0.00 to 0.00 in/hr)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 8
Hydrologic Soil Group: D
Hydric soil rating: No

Description of Fortress Family, Dense Substratum

Setting

Landform: Water-lain moraines, wave-worked till plains
Down-slope shape: Linear
Across-slope shape: Convex, linear, concave
Parent material: Sandy human-transported material over clayey lodgment till

Typical profile

^Au - 0 to 9 inches: loamy sand
^Cu - 9 to 68 inches: gravelly-artifactual sand
2Cd - 68 to 80 inches: clay

Properties and qualities

Slope: 0 to 4 percent
Depth to restrictive feature: 54 to 78 inches to densic material
Drainage class: Moderately well drained
Runoff class: Very low
Capacity of the most limiting layer to transmit water (Ksat): Very low (0.00 to 0.00 in/hr)
Depth to water table: About 30 to 54 inches
Frequency of flooding: None

Custom Soil Resource Report

Frequency of ponding: None
Calcium carbonate, maximum content: 28 percent
Gypsum, maximum content: 1 percent
Maximum salinity: Nonsaline (0.1 to 1.5 mmhos/cm)
Available water supply, 0 to 60 inches: Low (about 3.3 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 8
Hydrologic Soil Group: A
Ecological site: F099XY003MI - Warm Moist Sandy Depression
Hydric soil rating: No

Minor Components

Riverfront, dense substratum, steep

Percent of map unit: 1 percent
Landform: Deltas, water-lain moraines, wave-worked till plains
Down-slope shape: Linear
Across-slope shape: Convex, linear
Ecological site: F099XY007MI - Lake Plain Flats
Hydric soil rating: No

UrbanB—Urban land-Riverfront complex, dense substratum, 0 to 4 percent slopes

Map Unit Setting

National map unit symbol: 2whsx
Elevation: 560 to 720 feet
Mean annual precipitation: 28 to 38 inches
Mean annual air temperature: 45 to 52 degrees F
Frost-free period: 135 to 210 days
Farmland classification: Not prime farmland

Map Unit Composition

Urban land: 80 percent
Riverfront, dense substratum, and similar soils: 19 percent
Minor components: 1 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Urban Land

Properties and qualities

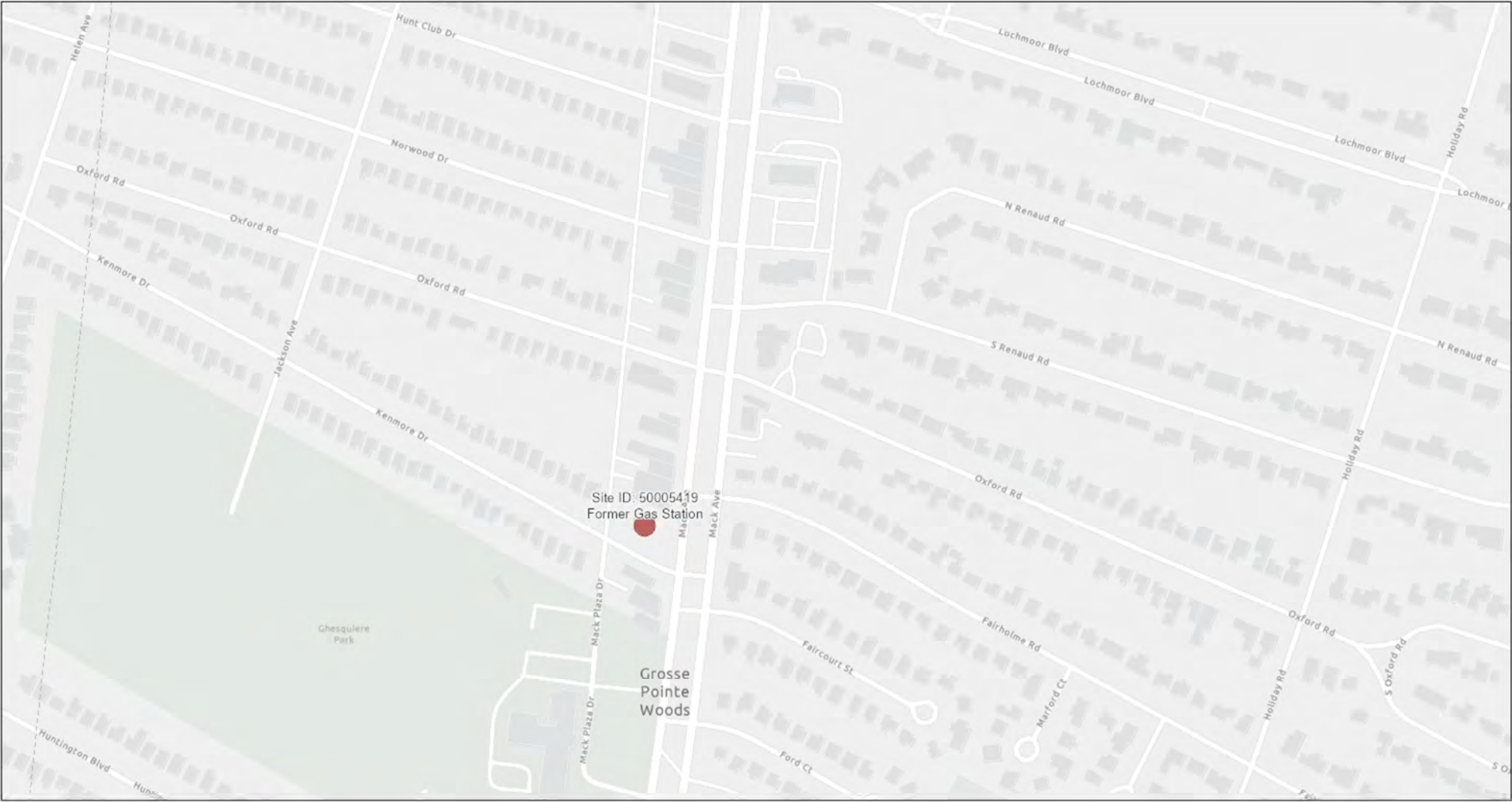
Slope: 0 to 1 percent
Depth to restrictive feature: 0 inches to manufactured layer
Runoff class: High
Capacity of the most limiting layer to transmit water (Ksat): Very low (0.00 to 0.00 in/hr)



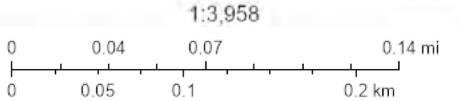
APPENDIX D

EGLERIDE MAPPER

ArcGIS Web Map



9/19/2025, 9:40:10 AM



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

MEMO

VIA EMAIL: buccellato@buccdevelopment.com

To: Justin Buccellato

From: Julie Kroll, PE, PTOE
Massara Khalid
Fleis & VandenBrink

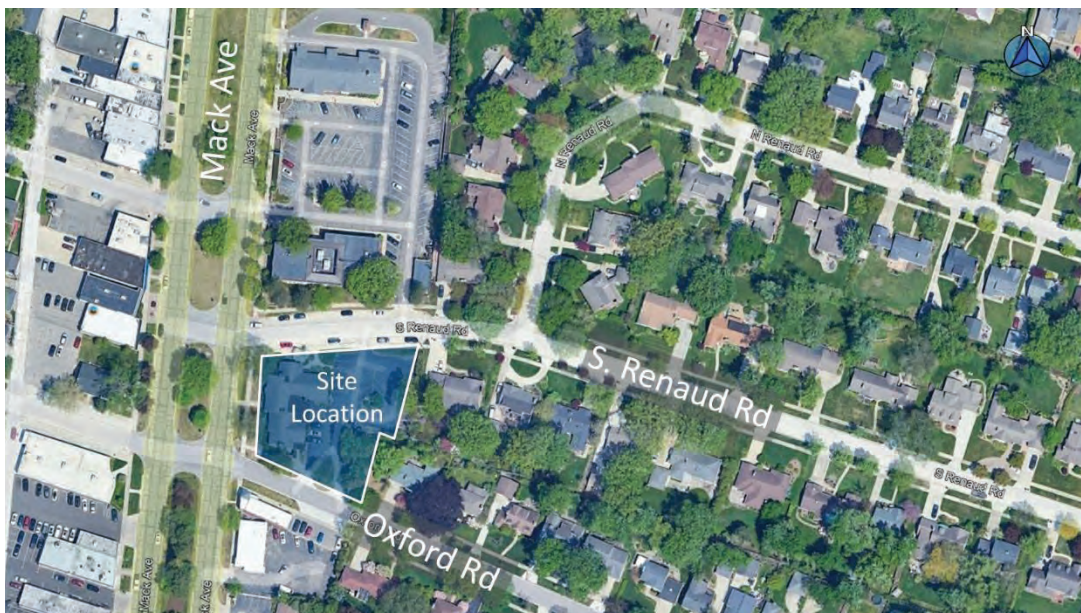
Date: August 11, 2025
Revised September 11, 2025

Re: 20160 Mack Avenue – Retail Development
Grosse Pointe Woods, Michigan
Trip Generation Analysis

1 INTRODUCTION

This memorandum presents the results of the Trip Generation Analysis (TGA) for the proposed mixed-use development in Grosse Pointe Woods, Michigan. The project site is located at 20160 Mack Avenue, between Oxford Road and S. Renaud Road, as shown in **Exhibit 1**. The proposed development includes the construction of a mixed-use development that includes multi-family residential and retail land uses, on property that was previously occupied by a medical office. The project site will close one (1) of the existing driveways on Oxford Road; the proposed access to the project site will maintain one (1) driveway on Oxford Road and one (1) driveway on S. Renaud Road, both of which are under the jurisdiction of the City. A TGA has been required for this project, as part of the site plan approval process.

EXHIBIT 1: SITE LOCATION MAP



The scope of work for this study was prepared based upon Fleis & VandenBrink's (F&V) knowledge of the study area, understanding of the development program, accepted traffic engineering practice, professional experience, and the methodologies published by the Institute of Transportation Engineers (ITE). Sources of data for this study include the Michigan Department of Transportation (MDOT), the Michigan Traffic Crash Facts (MTCF) database, and ITE.

27725 Stansbury Boulevard, Suite 195
Farmington Hills, MI 48334
P: 248.536.0080
F: 248.536.0079
www.fveng.com

2 SITE TRIP GENERATION

2.1 SITE TRIP GENERATION

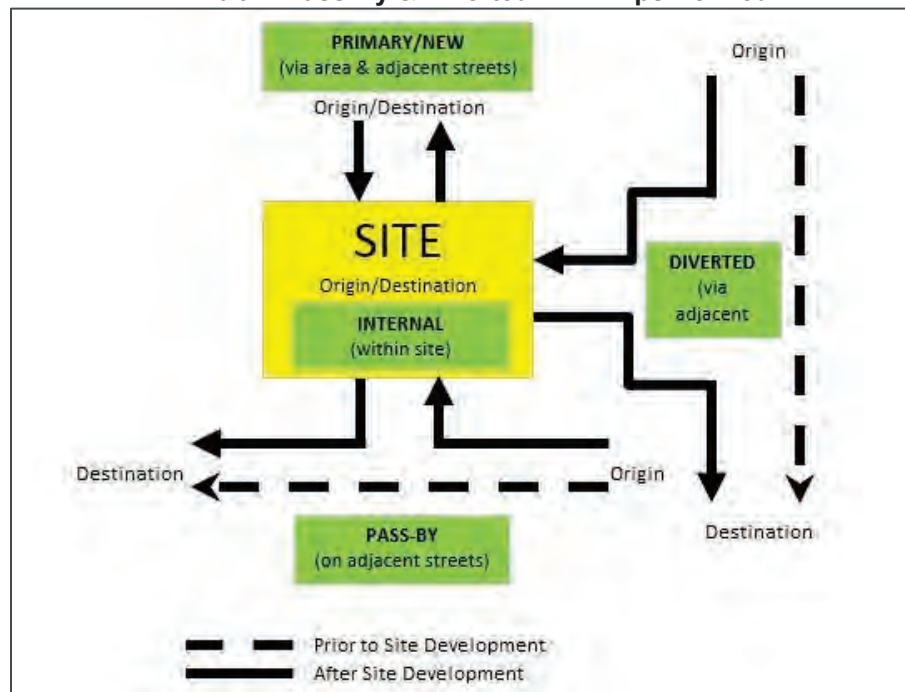
The number of weekday peak hour (AM and PM) and daily vehicle trips that would be generated by the development were calculated based on information published by the Institute of Transportation Engineers (ITE) in the *Trip Generation Manual, 12th Edition*. The proposed development includes the construction of a mixed-use development that includes multi-family residential and retail land uses. The vehicular trips generated by the proposed development are summarized in **Table 1**.

Table 1: Vehicular Trip Generation Summary

Land Use	ITE Code	Amount	Units	Average Daily Traffic (vpd)	AM Peak Hour (vph)			PM Peak Hour (vph)		
					In	Out	Total	In	Out	Total
Multi-Family Housing (Low-Rise)	220	8	DU	50	1	2	3	2	2	4
Strip Retail Plaza (<40k SF)	822	8,900	SF	605	19	16	35	36	35	71
<i>Pass-By (0% AM, 40% PM)</i>				121	0	0	0	14	14	28
New Trips				484	19	16	35	22	21	43
Total Trips				655	20	18	38	38	37	75
Total Pass-By				121	0	0	0	14	14	28
Total New Trips				534	20	18	38	24	23	47

As is typical of commercial developments, a portion of the trips generated are from vehicles that are already on the adjacent roadways and will pass the site on their way from an origin to their ultimate destination. Therefore, not all traffic at the site driveways is necessarily new traffic added to the street system. This percentage of the trips generated by the development are considered either “pass-by” or “diverted link” trips, which are already present within the adjacent street system. These trips are therefore reduced from the total external trips generated by a study site. The pass-by and diverted link trips impact on the study intersections are shown in Exhibit 1. The percentage of pass-by trips used in this analysis was determined based on the rates published by ITE in the *Trip Generation Manual, 12th Edition*.

Exhibit 1: Pass-By & Diverted Link Trips Defined



2.2 TRIP GENERATION COMPARISON

The existing building on the project site is currently being utilized as a medical office. The number of weekday peak (AM and PM) and daily vehicle trips that are generated by the existing use of the project site were calculated based on the data published by ITE in the *Trip Generation Manual, 12th Edition*. The trip generation forecast for the existing use was compared to the proposed development, as shown in **Table 2**.

Table 2: Trip Generation Comparison

Scenario	Land Use	ITE Code	Amount	Units	Average Daily Traffic (vpd)	AM Peak Hour (vph)			PM Peak Hour (vph)		
						In	Out	Total	In	Out	Total
Existing Site	Medical-Dental Office Building	720	11,826	SF	405	28	7	35	11	27	38
Proposed Use	Multi-Family Housing (Low-Rise)	220	8	DU	50	1	2	3	2	2	4
	Strip Retail Plaza (<40k SF)	822	8,900	SF	605	19	16	35	36	35	71
	Total				655	19	16	35	36	35	71
Difference					250	-9	9	0	25	8	33

The results of the trip generation comparison indicate that the proposed development is comparable to the existing use of the project site.

3 SITE TRIP DISTRIBUTION

The vehicular trips that would be generated by the proposed development were assigned to the study roadway network based on existing peak hour traffic patterns in the adjacent roadway network, the proposed site access points, and the methodologies published by ITE. Current traffic volume along Mack Avenue was obtained from the MDOT Traffic Count Database System (TCDS) website, for use in determining the project site distribution.

Additionally, traffic volume data was not available along Oxford Road and S. Renaud Road. It is expected that some residents of the adjacent neighborhoods on Oxford Road and S. Renaud Road will access the proposed retail development to/from the east of the site. However, it is expected that the majority of traffic generated by the proposed development will be to/from Mack Ave.

The ITE trip distribution methodology assumes that vehicle trips will enter the network and access the development, then leave the development, and return to their direction of origin. However, in order to provide a conservative analysis, the pass-by trips were not considered for the purpose of this TGA. The site trip distributions utilized in this analysis are summarized in **Table 3**.

Table 3: Site Trip Distribution

To/From	Via	Residential		Commercial	
		AM	PM	AM	PM
North	Mack Ave	43%	38%	47%	38%
South	Mack Ave	47%	52%	43%	52%
East	S Renaud Road	5%	5%	5%	5%
East	Oxford Road	5%	5%	5%	5%
Total		100%	100%	100%	100%

The site-generated vehicular traffic volumes shown in **Table 1** were distributed to the study roadway network according to the site trip distribution shown in **Table 3**. The project site trip distribution volumes are shown in the attached **Figure 1**.

4 SAFETY REVIEW

4.1 CRASH ANALYSIS

A crash analysis was conducted at the intersections of Mack Avenue & S. Renauld Road and Mack Avenue & Oxford Road. The crash data used in the analysis was obtained from the Michigan Traffic Crash Facts (MTCF) website, for the most recent **five years** (January 1, 2020, to December 31, 2024) of available data.

The results of the crash analysis indicate that a total of 17 crashes occurred within the study area, based on the five years of available crash data. There 13 crashes reported at the Mack Avenue & Oxford Road intersection and four (4) crashes reported at the Mack Avenue & S. Renauld Road intersection.

- The majority (94%) of the crashes were due to failure to yield to traffic on Mack Ave. within the bi-directional crossovers.
- Three (3) crashes resulted in “Type-B” injuries and three (3) crashes resulted in “Type-C” injuries.

4.2 MULTI-MODAL REVIEW

The existing non-motorized facilities and the interconnectivity to the project site are shown in the attached **Figure 2**, indicating possible points of conflict between motorized traffic and pedestrian / bicycle traffic on the adjacent study roadways. Below is a summary of the existing non-motorized facilities:

- Sidewalk is currently provided along both sides of Mack Avenue, S. Renauld Road, and Oxford Road, within proximity of the project site.
- There are two (2) bus stops located within close proximity to the project site, including one (1) bus stop adjacent to the property frontage on Mack Avenue.
- Bike lanes are not provided along any of the study roadways, within close proximity of the project site.

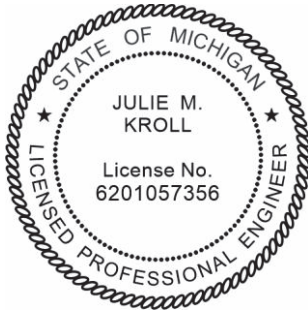
The proposed development includes the removal of one (1) of the existing driveways on Oxford Road, which will reduce the number of conflict points between motorized vehicles and pedestrian / bicycle traffic, thereby improving non-motorized safety. Additionally, existing sidewalks are provided along all of the adjacent study roadways and is proposed internal to the site; therefore, pedestrian connectivity will be provided in all directions between the project site and the adjacent roadway network.

5 CONCLUSIONS

The conclusions of this TGA are as follows:

- The trips generated by the proposed development will access the property via driveways on S. Renauld Road and Oxford Road. The majority of traffic is expected to travel to/from Mack Avenue.
- A trip generation comparison was performed, indicating that the proposed development is comparable to the previous use (medical office building) of the project site.
- A crash analysis was conducted at the adjacent intersections of Mack Avenue & S. Renauld Road and Mack Avenue & Oxford, based on the most recent five (5) years of available data in the MTCF database. Detailed review of the crash reports (UD-10s) indicates that the majority (94%) of the crashes at the study intersections involved vehicles within the bi-directional crossovers.
- The proposed development plan includes the removal of one (1) of the existing site driveways on Oxford Road, which will reduce the number of conflict points between motorized vehicles and pedestrian / bicycle traffic, thereby improving non-motorized safety.
- Sidewalk is provided along all the adjacent study roadways and is proposed internal to the site; therefore, pedestrian connectivity will be provided in all directions between the project site and the adjacent roadway network.

Any questions related to this memorandum, study, analysis, and results should be addressed to Fleis & VandenBrink.



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Michigan.

A handwritten signature in blue ink that reads "Julie M. Kroll".

Julie M. Kroll

2025.09.11

14:46:47 -04'00'

Attachments: Figures 1 – 2
Site Plan
Traffic Volume Data

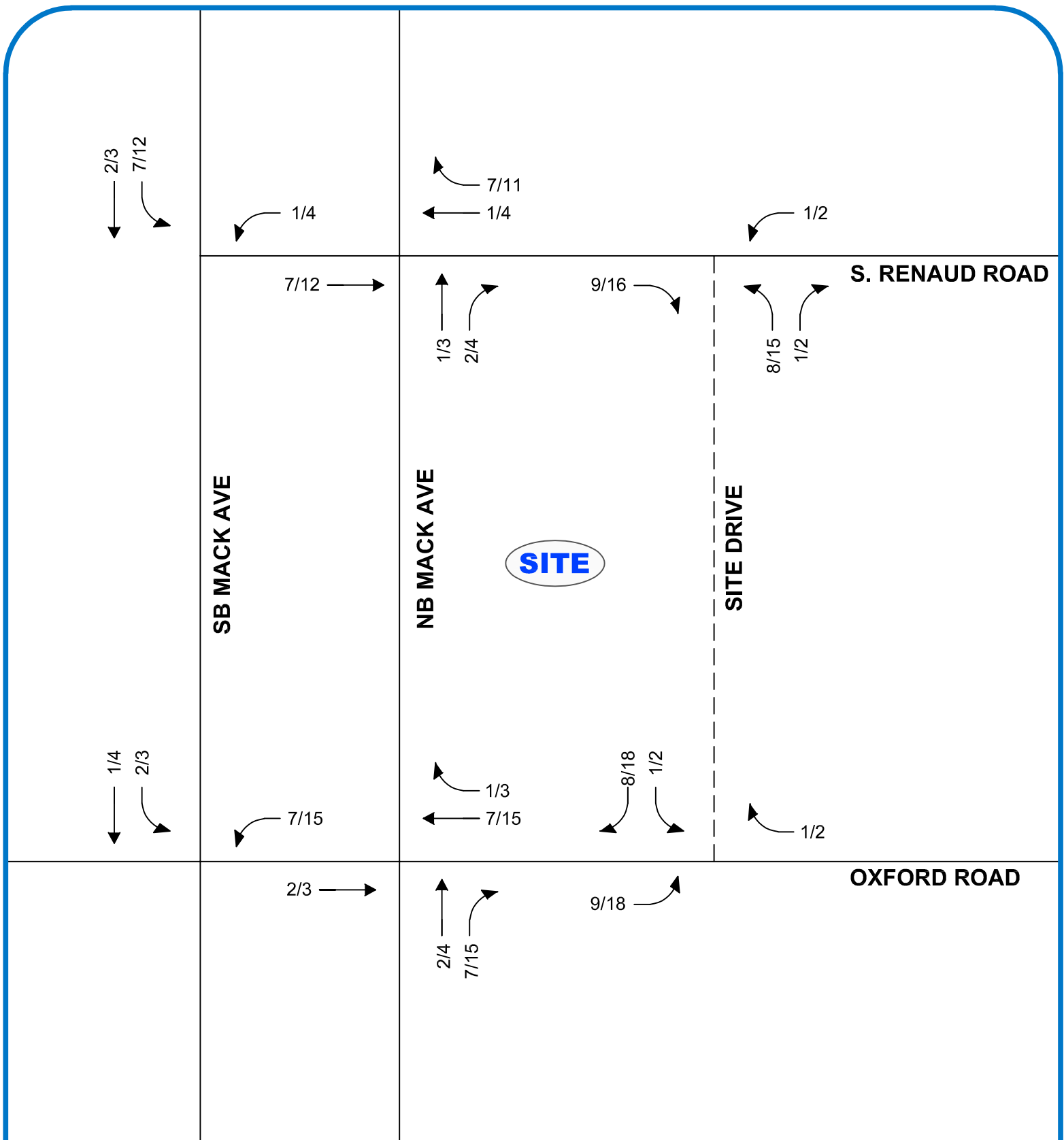


FIGURE 1 SITE-GENERATED TRAFFIC VOLUMES

BUCCELLATO RETAIL TGA - GROSSE POINTE WOODS, MI

LEGEND

- ROADS
- TRAFFIC VOLUMES (AM/PM)



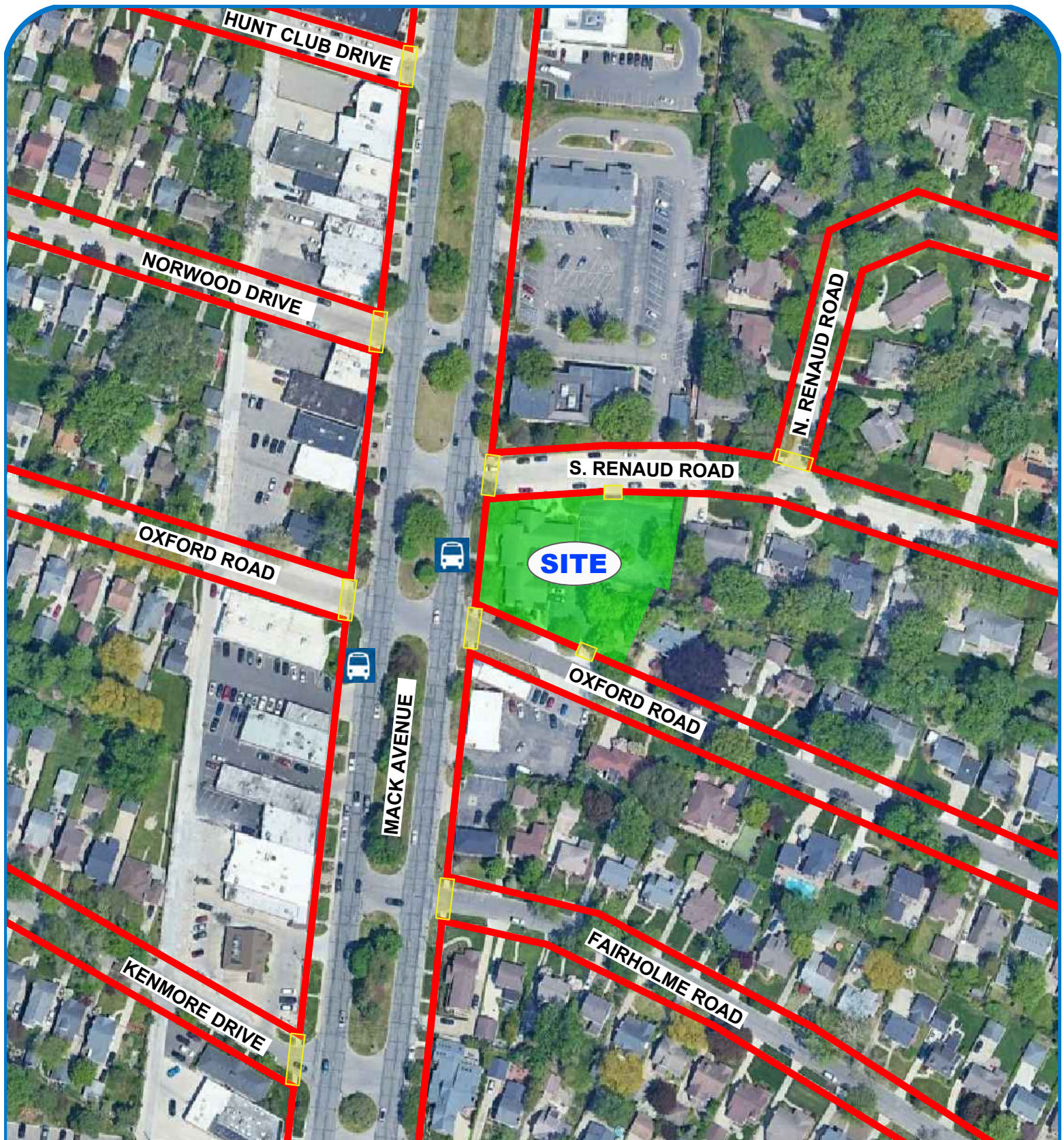







FIGURE 2 MULTI-MODAL CIRCULATION PLAN

BUCCELLATO RETAIL TGA - GROSSE POINTE WOODS, MI

LEGEND

-  SITE LOCATION
-  BIKE LANE
-  EXISTING SIDEWALK
-  EXISTING CROSSWALK / CONFLICT POINT
-  BUS STOP

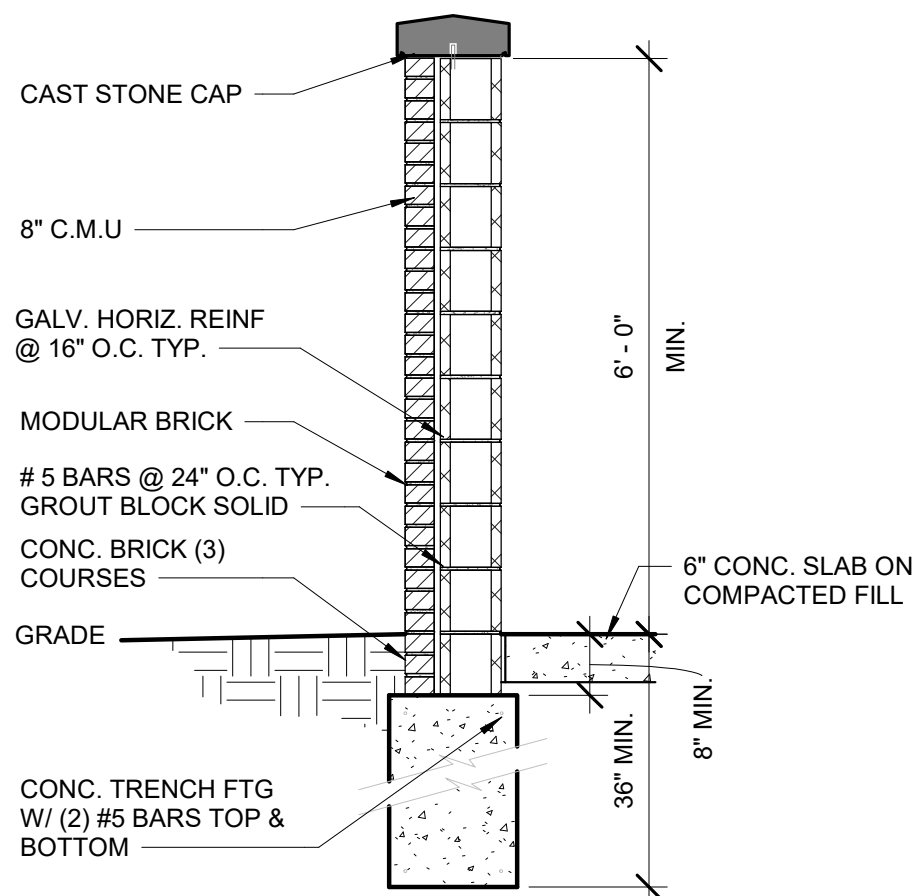


NORTH
SCALE: NOT TO SCALE

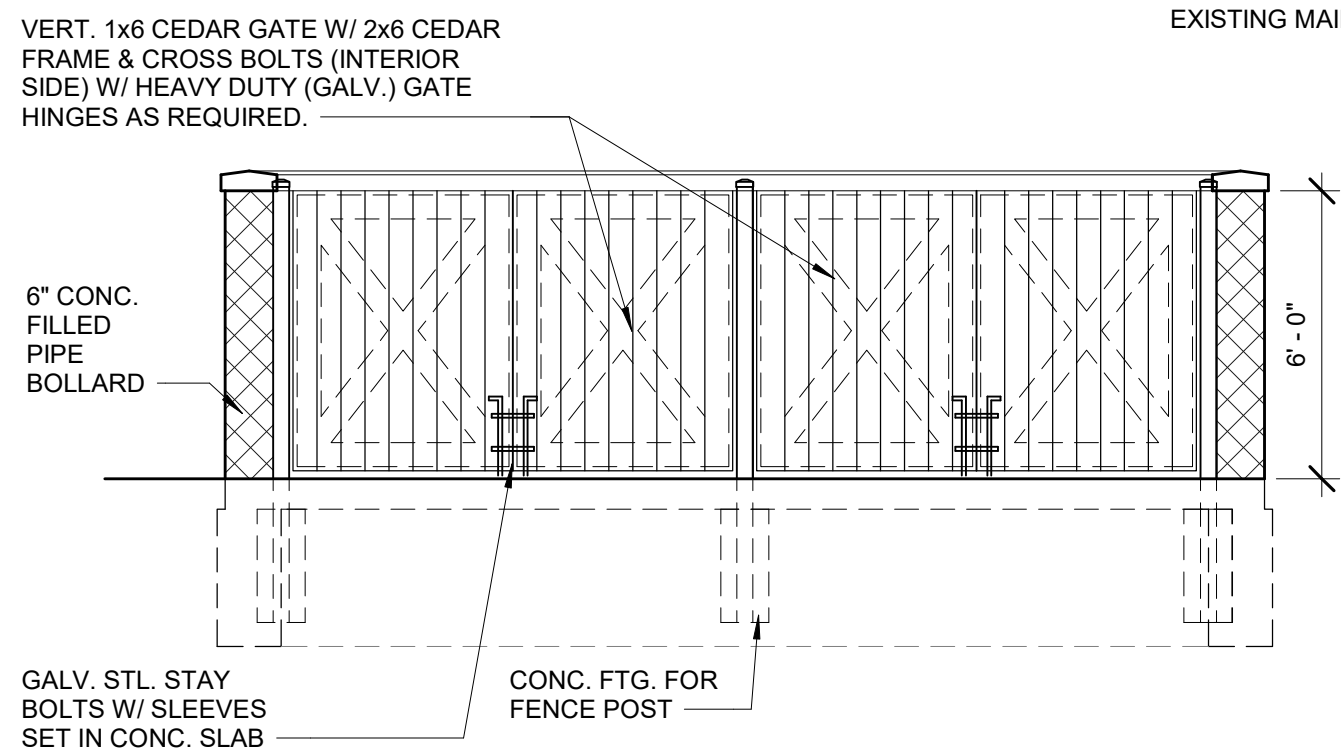
PROPOSED BUILDING FLOOR AREA AND PARKING			
FLOOR AREA	BUILDING USASE	PARKING PER USABLE AREA	PROPOSED REQUIRED PARKING
8,800 SF	RETAIL	200 SF	44
	MULTI-FAMILY RESIDENTIAL	6 UNITS (1BR/EFFICIENCY) 2 SP. EA.	12
NOTE: ORIGINAL PARKING COUNT = 34 SPACES. ADDED 11 OFF-STREET PARKING SPACES			56 TOTAL REQUIRED

Parking Schedule		* Calculations resulting in fractional space. When units or measurements determining the number of required parking spaces result in a requirement of a fractional space, any fraction up to and including one-half shall be disregarded and fractions over one-half shall require one parking space
Count		

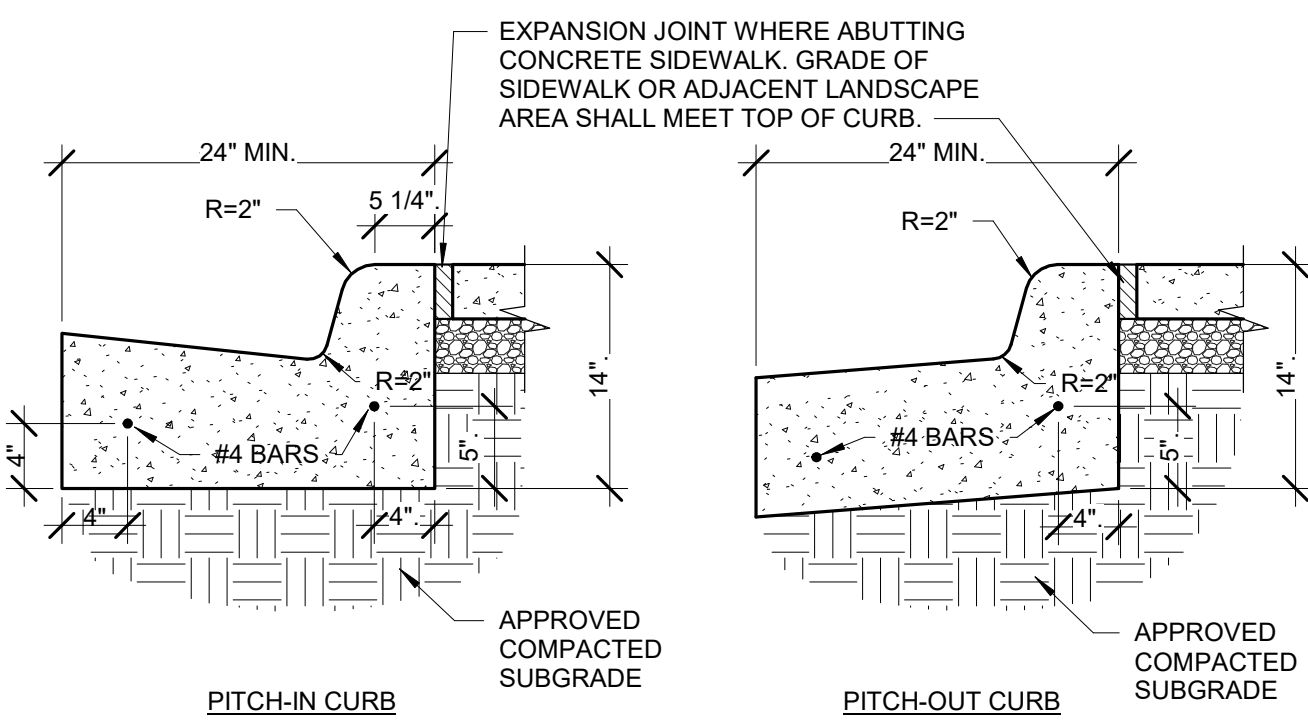
45	OFF-STREET	+ 4 METERED PARKING SPACES MACK AVE.
58	TOTAL	+ 9 PARKING SPACES - S RENAUD RD.



2 Section At Dumpster Screen
A1 1/2" = 1'-0"



3 Dumpster Screening Detail
A1 1/4" = 1'-0"



- NOTES:
- CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
 - TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM SURFACE.
 - HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
 - 14" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

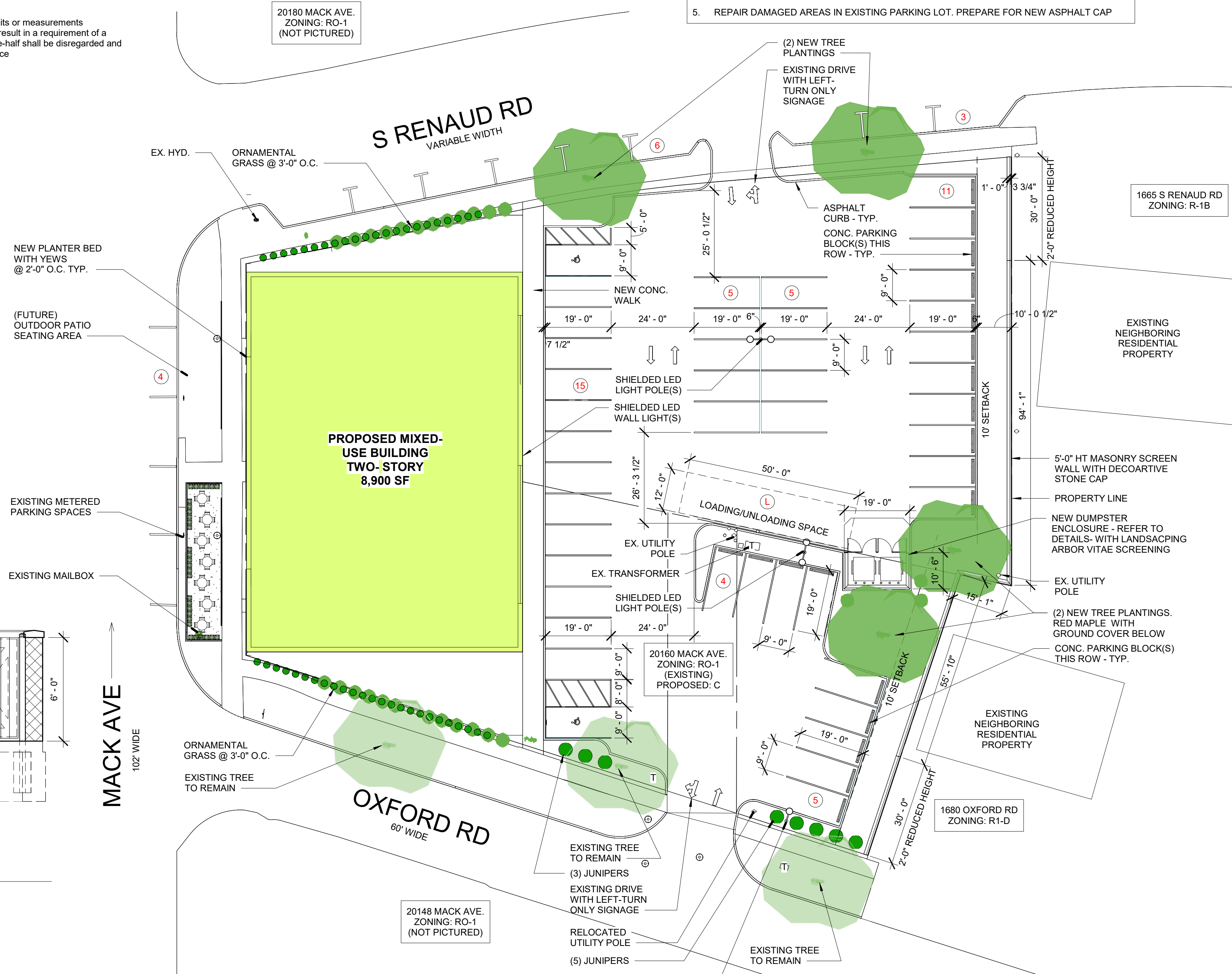
4 CONCRETE CURB AND GUTTER DETAIL
A1 1" = 1'-0"

SITE AREA:
EXISTING SITE AREA: 33,007 SF (0.758 ACRES)
PARKING LOT AREA: 18,746 SF
LOT SIZE: (EXISTING UNCHANGED)

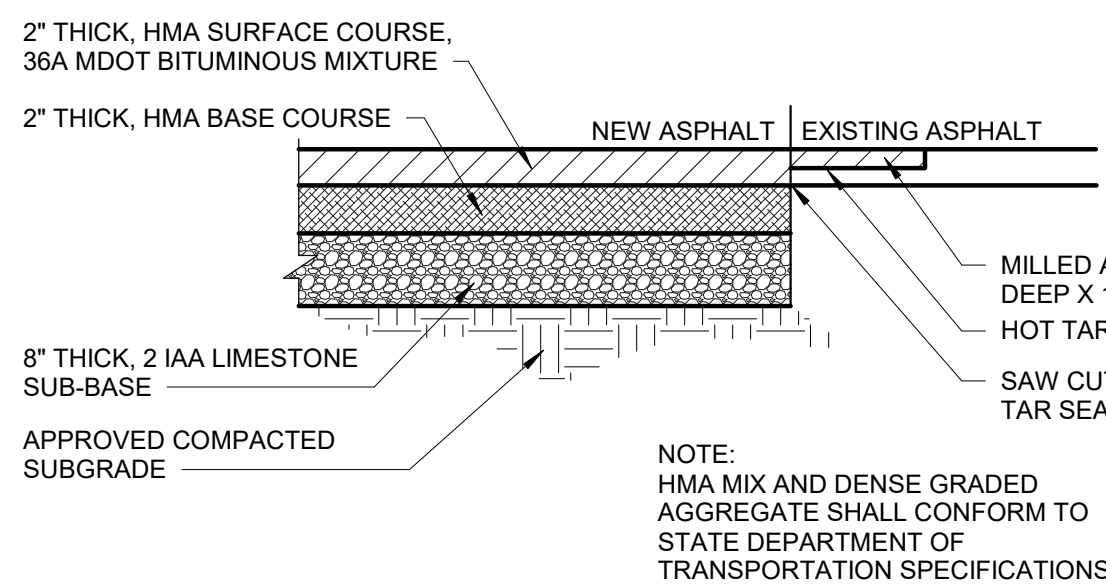
SETBACKS:
C-COMMERCIAL BUSINESS
FRONT YARD SETBACK: 0
SIDE YARD SETBACK: 0
CORNER LOT
MAXIMUM BUILDING HEIGHT:
(2) STORIES
28 FEET
PROPOSED HEIGHT: 18 FEET

DEMOLITION SCOPE:

- ALL DEMOLITION WORK REQUIRED IS NOT NECESSARILY LIMITED TO WHAT IS DESCRIBED IN THE DEMOLITION SCOPE. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ITEMS AS REQUIRED TO FACILITATE NEW CONSTRUCTION.
- EXISTING STRUCTURE AND BASEMENT TO BE DEMOLISHED COMPLETELY. DISCONNECT AND CAP EXISTING UTILITIES AS REQUIRED PRIOR TO DEMOLITION.
- GENERAL PRECAUTIONS SHALL BE TAKEN AS NECESSARY TO HOLD ALL DISRUPTION, DUST, DIRT, NOISE, AND DEBRIS TO A MINIMUM. G.C. TO OBTAIN DEMOLITION PERMIT AND PROVIDE ALL NECESSARY BARRIERS AND SAFETY MEASURES IN COMPLIANCE WITH REQUIREMENTS BY AHJ.
- REMOVE ALL DEBRIS FROM THE SITE AND LEGALLY DISPOSE OF THESE MATERIALS.
- REPAIR DAMAGED AREAS IN EXISTING PARKING LOT. PREPARE FOR NEW ASPHALT CAP



1 SITE PLAN
A1 1" = 20'-0"

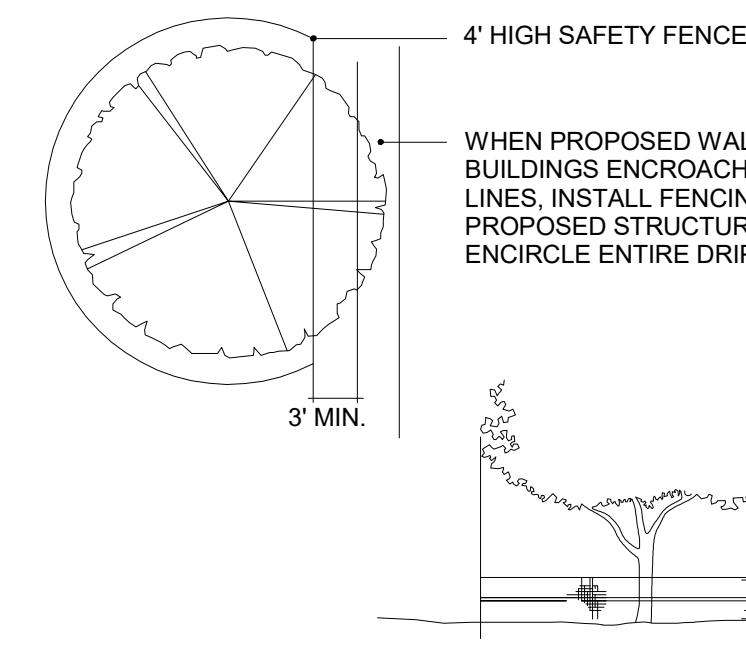


5 ON-SITE FULL DEPTH ASPHALT PAVEMENT DETAIL
A1 1" = 1'-0"

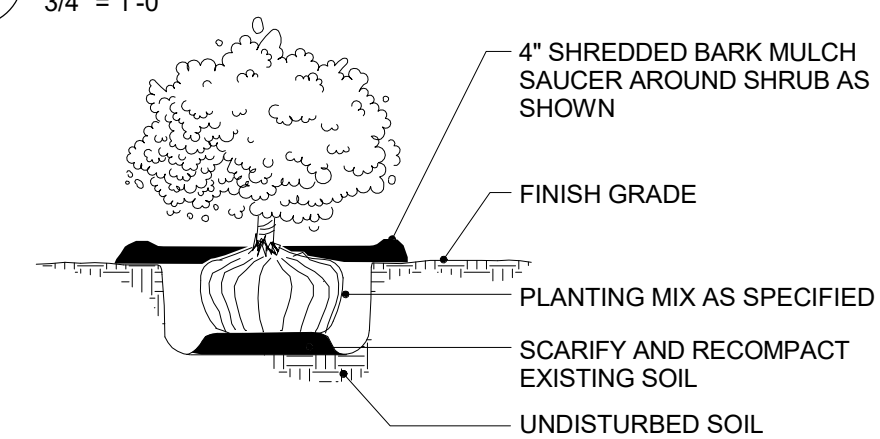
LEGAL DESCRIPTION
LAND SITUATED IN THE CITY OF GROSSE POINTE WOODS, COUNTY OF WAYNE, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:
ALL OF LOT 1 AND LOT 2, EXCEPTING THEREFROM THE EAST 15.31 FEET IN ARTHUR J. SCULLY'S EASTMORELAND PARK, BEING A SUBDIVISION OF PART OF PRIVATE CLAIM 240, VILLAGE OF LOCHMOOR, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 63, PAGE 42 OF PLATS. ALSO ALL THAT PART OF P.C. 611, VILLAGE OF GROSSE POINTE WOODS, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT AT THE INTERSECTION OF THE EAST LINE OF MACK AVENUE, AS WIDENED, AND THE SOUTH LINE OF SAID P.C. 611, SAID POINT BEING SOUTH 71 DEGREES EAST A DISTANCE OF 104.43 FEET FROM THE MIDDLE LINE OF MACK AVENUE; THENCE ALONG SAID SOUTH LINE OF P.C. 611, SOUTH 71 DEGREES EAST A DISTANCE OF 227.28 FEET TO THE SOUTHWEST CORNER OF RENMOOR PARK SUBDIVISION; THENCE ALONG THE WEST LINE OF SAID SUBDIVISION NORTH 88 DEGREES, 37 MINUTES, 22 SECONDS EAST A DISTANCE OF 124.37 FEET TO THE SOUTH LINE OF RENAUD ROAD; THENCE ALONG RENAUD ROAD NORTH 88 DEGREES, 22 MINUTES WEST A DISTANCE OF 87.05 FEET; THENCE TURNING TO THE LEFT ON A CURVE HAVING A RADIUS OF 459.14 FEET WESTERLY, 49.95 FEET (CHORD BEARS SOUTH 88 DEGREES, 31 MINUTES WEST A DISTANCE OF 49.93 FEET); THENCE SOUTH 85 DEGREES, 24 MINUTES WEST A DISTANCE OF 87.48 FEET TO THE EAST SIDE OF MACK AVENUE; THENCE ALONG MACK AVENUE SOUTH 6 DEGREES, 37 MINUTES, 22 SECONDS WEST A DISTANCE OF 44.00 FEET TO THE PLACE OF BEGINNING.

GENERAL SITE PLAN NOTES

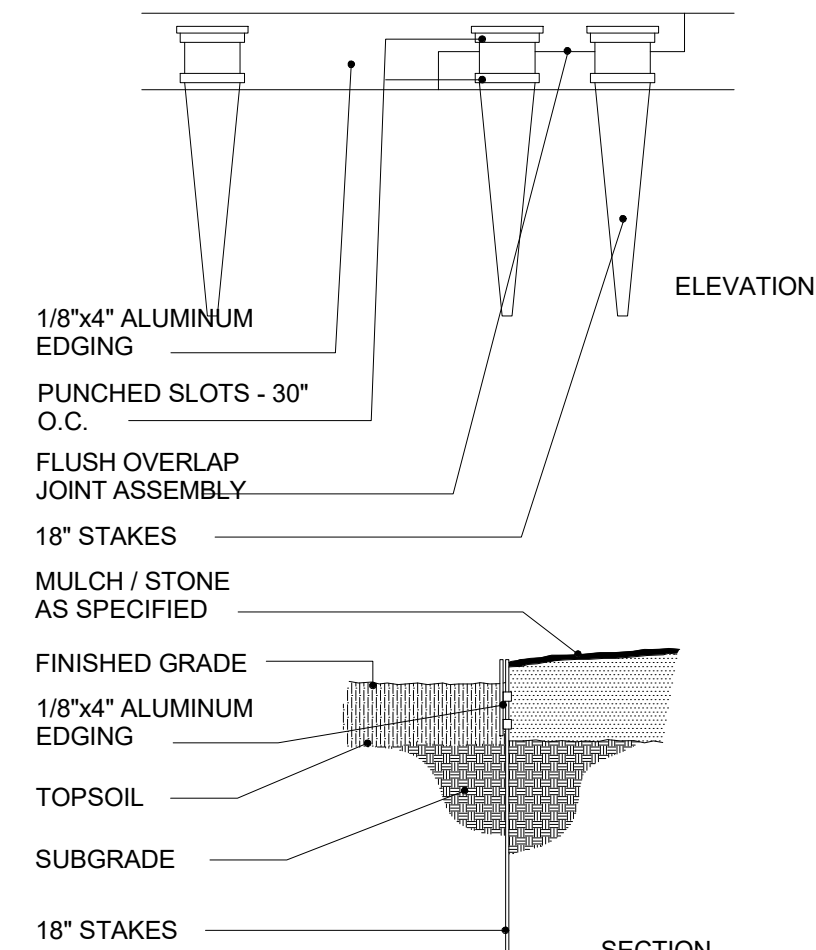
- PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:
- CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
- ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.
- PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
- ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
- ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
- ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.
- ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
- CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.
- FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.
- EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.
- EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.
- SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.
- ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.
- FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.
- ALL LANDSCAPED AREAS TO BE PROVIDED W/ SPRINKLER SYSTEMS FOR 100% COVERAGE.
- MAINTAIN EXISTING DRAINAGE PATTERNS ON SITE IN COMPLIANCE WITH REQUIREMENTS OF AHJ.
- EXISTING UTILITIES ON SITE TO REMAIN - TYP. U.N.O.
- MAINTAIN EXISTING SITE TOPOGRAPHY - TYP. U.N.O.



8 TREE PROTECTION DETAIL
A1 3/4" = 1'-0"



7 SHRUB PLANTING DETAIL
A1 3/4" = 1'-0"



6 ALUMINUM EDGING DETAIL
A1 3/4" = 1'-0"



STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MI 48067-0925
P. 248.546.6700
F. 248.546.8454
WWW.STUCKYVITALE.COM

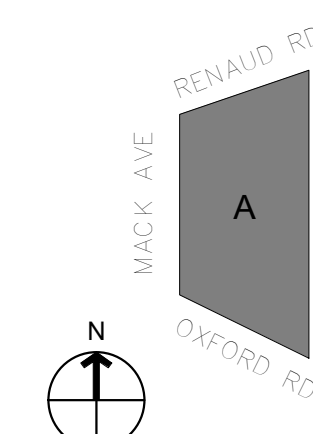
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Consultants

Seal:

Project :
RETAIL DEVELOPMENT

20160 Mack Ave, Grosse
Pointe Woods, MI 48236

Key Plan:



Issued for

CITY SUBMITTAL	03.14.25
CITY SUBMITTAL	04.17.25
UPDATE	
CITY SUBMITTAL	05.14.25
UPDATE	

Drawn by :
JGB, JPM
Checked by :
JPM, JAV

Sheet Title :
SITE PLAN + LANDSCAPE PLAN +
DETAILS

Project No. :
2025.018

Sheet No. :

A1



Volume Count Report

LOCATION INFO	
Location ID	50-5362
Type	SPOT
Funct'l Class	4
Located On	Greater Mack Ave
BETWEEN	Avalon St AND Maxine St
Direction	2-WAY
County	Macomb
Community	St Clair Shores
MPO ID	51633
HPMS ID	
Agency	MDOT



COUNT DATA INFO	
Count Status	Accepted
Holiday	No
Start Date	Wed 7/9/2025
End Date	Thu 7/10/2025
Start Time	12:00:00 AM
End Time	12:00:00 AM
Direction	2-WAY
Station	
Study	
Speed Limit	
Description	
Sensor Type	Video (Length-based)
Source	CombineVolumeCountsIncremental
Latitude,Longitude	

INTERVAL:15-MIN					
Time	15-min Interval				Hourly Count
	1st	2nd	3rd	4th	
0:00-1:00	17	13	7	11	48
1:00-2:00	6	7	2	3	18
2:00-3:00	6	2	2	2	12
3:00-4:00	0	3	2	3	8
4:00-5:00	4	9	14	18	45
5:00-6:00	14	26	44	36	120
6:00-7:00	48	57	90	114	309
7:00-8:00	118	101	197	189	605
8:00-9:00	191	198	210	249	848
9:00-10:00	206	213	227	241	887
10:00-11:00	237	265	251	273	1,026
11:00-12:00	296	314	319	316	1,245
12:00-13:00	330	315	359	368	1,372
13:00-14:00	334	344	318	346	1,342
14:00-15:00	302	302	262	333	1,199
15:00-16:00	365	322	332	299	1,318
16:00-17:00	360	367	370	345	1,442
17:00-18:00	362	348	386	364	1,460
18:00-19:00	306	329	331	289	1,255
19:00-20:00	247	222	221	208	898
20:00-21:00	197	157	161	119	634
21:00-22:00	126	129	106	96	457
22:00-23:00	60	52	43	42	197
23:00-24:00	36	26	28	14	104
Total					16,849
AADT					16,849
AM Peak	11:45-12:45				1,320
PM Peak	17:00-18:00				1,460

NOTES/FILES			
	Note	Date	

Volume Count Report

LOCATION INFO	
Location ID	50-5362_NE
Type	SPOT
Funct'l Class	4
Located On	Greater Mack Ave
Loc On Alias	
BETWEEN	Avalon St AND Maxine St
Direction	NE
County	Macomb
Community	St Clair Shores
MPO ID	51633
HPMS ID	
Agency	MDOT

INTERVAL:15-MIN					
Time	15-min Interval				Hourly Count
	1st	2nd	3rd	4th	
 0:00-1:00	10	5	4	7	26
1:00-2:00	4	3	1	3	11
2:00-3:00	3	2	0	1	6
3:00-4:00	0	1	0	1	2
4:00-5:00	2	5	5	5	17
5:00-6:00	6	9	14	10	39
6:00-7:00	20	24	28	38	110
7:00-8:00	55	48	97	81	281
8:00-9:00	81	105	94	126	406
9:00-10:00	115	121	114	122	472
10:00-11:00	125	121	128	141	515
11:00-12:00	156	187	174	160	677
12:00-13:00	189	169	211	178	747
13:00-14:00	168	185	155	172	680
14:00-15:00	153	142	135	178	608
15:00-16:00	216	179	189	166	750
16:00-17:00	192	199	198	197	786
17:00-18:00	206	210	216	205	837
18:00-19:00	176	172	196	143	687
19:00-20:00	115	109	112	100	436
20:00-21:00	100	72	85	53	310
21:00-22:00	66	69	44	44	223
22:00-23:00	24	30	18	23	95
23:00-24:00 	14	13	16	7	50
Total					8,771
AM Peak	11:45-12:45 729				
PM Peak	17:00-18:00 837				

NOTES/FILES			
	Note	Date	



Volume Count Report

LOCATION INFO	
Location ID	50-5362_SW
Type	SPOT
Funct'l Class	4
Located On	Greater Mack Ave
Loc On Alias	
BETWEEN	Avalon St AND Maxine St
Direction	SW
County	Macomb
Community	St Clair Shores
MPO ID	51633
HPMS ID	
Agency	MDOT

INTERVAL:15-MIN					
Time	15-min Interval				Hourly Count
	1st	2nd	3rd	4th	
0:00-1:00	7	8	3	4	22
1:00-2:00	2	4	1	0	7
2:00-3:00	3	0	2	1	6
3:00-4:00	0	2	2	2	6
4:00-5:00	2	4	9	13	28
5:00-6:00	8	17	30	26	81
6:00-7:00	28	33	62	76	199
7:00-8:00	63	53	100	108	324
8:00-9:00	110	93	116	123	442
9:00-10:00	91	92	113	119	415
10:00-11:00	112	144	123	132	511
11:00-12:00	140	127	145	156	568
12:00-13:00	141	146	148	190	625
13:00-14:00	166	159	163	174	662
14:00-15:00	149	160	127	155	591
15:00-16:00	149	143	143	133	568
16:00-17:00	168	168	172	148	656
17:00-18:00	156	138	170	159	623
18:00-19:00	130	157	135	146	568
19:00-20:00	132	113	109	108	462
20:00-21:00	97	85	76	66	324
21:00-22:00	60	60	62	52	234
22:00-23:00	36	22	25	19	102
23:00-24:00	22	13	12	7	54
Total					8,078
AM Peak	11:45-12:45				591
PM Peak	12:45-13:45				678

COUNT DATA INFO			
Count Status	Accepted		
Holiday	No		
Start Date	Wed 7/9/2025		
End Date	Thu 7/10/2025		
Start Time	12:00:00 AM		
End Time	12:00:00 AM		
Direction			
Station			
Study			
Speed Limit			
Description			
Sensor Type	Video (Length-based)		
Source			
Latitude,Longitude			

NOTES/FILES			
	Note	Date	

November 18, 2025

City of Grosse Pointe Woods Planning Commission

Dear Planning Commission members,

For the past seven months, residents in the community surrounding 20160 Mack Avenue (and all over Grosse Pointe Woods) have been voicing concerns regarding the rezoning of the parcel and proposed new development. I thank you for taking some of the issues into consideration; however, I feel it is important to re-address many concerns, as the scope of the project has drastically changed.

The initial structure (April 2025 Planning Commission Public Hearing) comprised a one-story building with three individual retail units (11,000 total SF), with no planned uses or business-types provided by the developer. Residents voiced many concerns regarding traffic and pedestrian safety, lack of onsite parking, noise and light pollution, storm water drainage, lack of green space and more.

We are now presented with a new development consisting of two stories, 17,600 SF (almost double), with four planned retail units on the first floor and seven residential apartments on the second. The issues raised by residents over the past seven months are still extremely valid, given the expanded scope and include the following:

1. Parking - While McKenna is currently noting that the proposed development offers a variety of uses and flexibility, they also state that each end user will be evaluated during the site plan phase – AFTER conditional zoning approval has occurred. I hope that the planning commission is seriously weighing all of the possible scenarios that could occur. The apartments were described in the last commission meeting as ‘high-end’ by the architect, so what if there are multiple qualified tenants who would require more than one parking space per unit? Other considerations: Will these residential spaces be off limits to the customers of the retail establishments?; What about visitor and delivery parking for the residential units?; How can the correct allotment of manager and employee parking be guaranteed for the retail units when the businesses are unknown?; Will DoorDash, Uber Eats etc. drivers double-park on the residential streets to run in if the lot is full?; to name just a few. Currently, there is one medical office with an adjoining parking lot. We are faced with a rather large jump to a 4 retail/7 residential unit building. This most definitely guarantees that parking will overflow onto the adjoining streets.
2. Use of space - Once again, no retail tenants have been named. Every other item that has come before the Planning Commission has the intended occupant stated. What if these retail establishments fail to command any new business once built? Will they sit empty awaiting potential lessees? The developer is also adding the condition that *“The property shall be limited to one potential “quick services restaurant” with no drive-through and shall not exceed 3,200 square feet”*. The surrounding neighborhoods have stated time and again that they don’t support food establishments of any kind, due to several adverse factors that will affect the community. A second condition states that the restaurant shall operate between the

hours of 6:00 a.m. and 10:00 p.m. and hard liquor sales shall not be permitted. This brings the following questions to mind: When do the residents get to enjoy their homes in peace?; No hard liquor is allowed, but what about beer and wine, which can lead to disorderly patrons?; Who is going to rent expensive apartments on top of retail and restaurant establishments and when do they get any peace in their homes?; and, Has anyone considered ADA accessibility standards for 2nd floor apartments?

3. Traffic and safety - A Trip Generation Analysis (TGA) was performed by Fleis & Vandenbrink, based on their *“knowledge of the study area, understanding of the development program, accepted traffic engineering practice, professional experience, and the methodologies published by the Institute of Transportation Engineers (ITE).”*. But what about the daily experience that residents have, navigating the area roads and this intersection in particular? Their concerns dealing with the heavily traversed Mack Avenue, blind spots turning from residential streets, and the ability to carefully navigate with other traffic and pedestrians has been brought to the attention of the commission and city council several times. Is the Planning Commission aware that there was a bad traffic accident that occurred recently on September 17th? A truck and an SUV ended up on the front lawn of the medical office, after taking out the postal dropbox and nearby signs. What if there had been an outdoor patio with customers in this space? These are real-life experiences, based on fact rather than assumption and theoretical calculations. Also, the MDOT traffic count presented in the agenda was located on Greater Mack Avenue between Avalon and Maxine streets – in St. Clair Shores, not Grosse Pointe Woods.
4. Advertising - Lastly, is the commission aware that this piece of property had been advertised nationally as ‘commercial’ (now ‘mixed-use’) since early 2025? <https://landmarkcres.com/properties/grosse-pointe-woods-new-development/>. The State of Michigan requires real estate brokers to operate within legal boundaries and maintain professional standards. The Michigan Consumer Protection Act prohibits brokers from presenting false or misleading representations regarding property conditions, legal status, market value, etc. Rezoning has not officially occurred on this property, yet there is a new development brochure online, as well as a brokerage sign in front of 20160 Mack Ave., implying zoning other than RO-1.

Residents still have faith and expect that the Planning Commission will think critically and debate this proposal with careful consideration. Our homes are our refuge and sanctuary, and this development is sure to create a significant deal of change in a short period of time. Please think of the long-term effects this will have on the community, as well as the reason people are drawn to this city in the first place (peace and safety), and vote ‘no’ on rezoning this property to commercial. Thank you for your time and consideration.

Respectfully,

C. McIver
1653 S. Renaud Rd