

# RETAIL DEVELOPMENT

20160 Mack Ave, Grosse Pointe Woods, MI 48236

## DEVELOPER

BUCCELLATO DEVELOPMENT  
20259 MACK AVE, SUITE 2  
GROSSE POINTE WOODS, MI 48236  
(313) 300-7280

## ARCHITECT

STUCKY VITALE ARCHITECTS  
27172 WOODWARD AVENUE  
ROYAL OAK, MICHIGAN 48067  
(248) 546-6700

## PROJECT INFORMATION

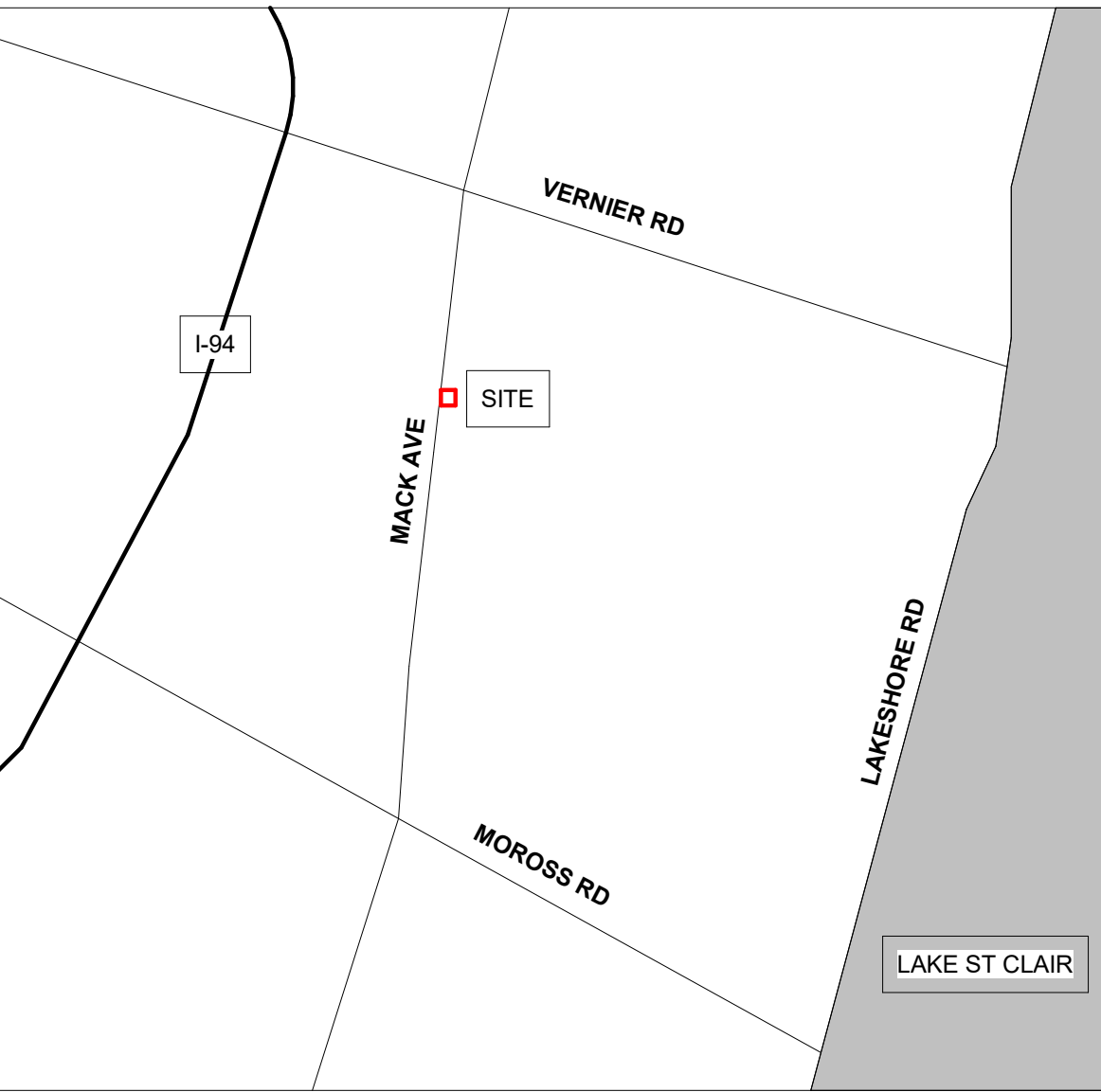
**PROJECT DESCRIPTION**  
RE-DEVELOPMENT OF EXISTING SITE FOR COMMERCIAL USE.

DEMOLITION OF EXISTING STRUCTURE & CONSTRUCTION OF NEW RETAIL DEVELOPMENT.

IMPROVEMENTS TO EXISTING SITE AND PARKING LOT.

SHEET INDEX - GENERAL				
DWG #	DRAWING NAME	ISSUED FOR	DATE	
G001	COVER SHEET, GENERAL INFORMATION, DRAWING INDEX	CITY SUBMITTAL UPDATE	05.14.25	
DRAWINGS: 1				
SHEET INDEX - ARCHITECTURAL				
DWG #	DRAWING NAME	ISSUED FOR	DATE	
A1	SITE PLAN + LANDSCAPE PLAN + DETAILS	CITY SUBMITTAL UPDATE	05.14.25	
A2	EXTERIOR ELEVATIONS + RENDERING	CITY SUBMITTAL UPDATE	05.14.25	
A3	FLOOR PLAN	CITY SUBMITTAL UPDATE	05.14.25	
DRAWINGS: 3				
SHEET INDEX - REFERENCE				
DWG #	DRAWING NAME	ISSUED FOR	DATE	
1 OF 1	PHOTOMETRIC PLAN	CITY SUBMITTAL UPDATE	05.14.25	
1 OF 1	ALTAINSPS LAND TITLE SURVEY	CITY SUBMITTAL UPDATE	05.14.25	
DRAWINGS: 2				

**NOTE:**  
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY. CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.



N  
VICINITY MAP  
SCALE: N.T.S



CONCEPTUAL RENDERING

## SYMBOL LEGEND

	ENLARGED CALLOUT TAG
	INTERIOR ELEVATION TAG
	EXTERIOR ELEVATION TAG
	DETAIL NUMBER
	VIEW TITLE
	VIEW SCALE
	SHEET NUMBER
	ROOM TAG
	LEVEL REFERENCE
	DATUM WORKPOINT
	COLUMN GRIDS
	NUMBERS DESIGNATE VERTICAL COLUMN LINES
	LETTERS DESIGNATE HORIZONTAL COLUMN LINES
	SQUARE DESIGNATE EXISTING COLUMN GRID
	DOOR TAGS
	NEW DOOR TAG DESIGNATION
	EXISTING DOOR TAG DESIGNATION (ONLY IF EXISTING DOOR TO BE MODIFIED)
	PARTITION TAG
	KEYNOTE TAG
	EQUIPMENT TAG
	SHEET REF FOR DRAWING CONTINUATION
	MATCH LINE

ROOM NAME  
ROOM TAG  
101

FLOOR NAME  
ELEV. 100'-0"

0, 0  
DATUM WORKPOINT

1  
C COLUMN GRIDS  
NUMBERS DESIGNATE VERTICAL COLUMN LINES

A  
LETTERS DESIGNATE HORIZONTAL COLUMN LINES

A  
SQUARE DESIGNATE EXISTING COLUMN GRID

101  
DOOR TAGS

101  
NEW DOOR TAG DESIGNATION

101  
EXISTING DOOR TAG DESIGNATION (ONLY IF EXISTING DOOR TO BE MODIFIED)

203-Ys  
PARTITION TAG

XX  
KEYNOTE TAG

XX  
EQUIPMENT TAG

X / A-XXX  
SHEET REF FOR DRAWING CONTINUATION

X / A-XXX  
MATCH LINE

## ABBREVIATION LEGEND

& L @	AND ANGLE AT	± or 0	CENTERLINE DIAMETER PLUS OR MIN
ACCESS.	ACCESSIBILITY	N	NORTH
ACOUS.	ACOUSTICAL	NIC	NOT IN CONTRACT
ACT	ACOUSTICAL CEILING TILE	NOM	NOMINAL
A.D.	AREA DRAIN	NTS	NOT TO SCALE
ADJ	ADJUSTABLE	O/C	ON CENTER
A.F.F.	ABOVE FINISH FLOOR	OFC	OFFICE
AL	ALUMINUM	OPNG	OPENING
ANOD.	ANODIZED	OPP	OPPOSITE
ARCH.	ARCHITECTURAL or ARCHITECT	OVFD	OVERFLOW DRAIN
ASPH.	ASPHALT	PL	PLATE
BD.	BOARD	PLAM	PLASTIC LAMINATE
BF	BARRIER FREE	PLAS	PLASTER
BLDG.	BUILDING	PNT	PAINT
BL'G.	BLOCKING	PLYWD	PLYWOOD
BOT.	BOTTOM	PREFAB	PREFABRICATED
BR	BRICK	PFN	PREFINISH or PREFINISHED
CAB.	CABINET	PROJ	PROJECTION
CEM.	CEMENT	PT	POINT
C.J.	CONTROL JOINT	R.	RISER
CLG	CEILING	RCP	REFLECTED CEILING PLAN
C.F.M.F.	COLD FORMED METAL FRAMING	R.C.	ROOF CONDUCTOR
C.O.	CLEAN OUT	RD	ROOF DRAIN
CLO.	CLOSET	REINF	REINFORCING
CLR	CLEAR	REQ'D	REQUIRED
COL	COLUMN	RESIL	RESILIENT
CONC.	CONCRETE	RFG	ROOFING
C.G.	CORNER GUARD	RM	ROOM
CONST.	CONSTRUCTION	R.S.	ROOF SUMP
CONT.	CONTINUOUS	SAN	SANITARY
COR.	CORRIDOR	SC	SOLID CORE
CORR.	CORRUGATED	SCHED	SCHEDULE
CPT	CARPET	SHT	SHEET
C.T.	CERAMIC TILE	SIM	SINK
CTSK.	COUNTER SUNK	SPEC	SPECIFICATIONS
CW	CURTAIN WALL	SQ	SQUARE
D.F.	DRINKING FOUNTAIN	ST-STL.	STAINLESS STEEL
DET.	DETAIL	SS	SOLID SURFACE
DIA.	DIAMETER	ST	STONE
DIM.	DIMENSION	STD	STANDARD
DN.	DOWN	STL	STEEL
D.O.	DOOR OPENING	STN	STAIN
DR.	DOOR	STOR	STORAGE
D.S.	DOWN SPOUT	STRUCT	STRUCTURAL or STRUCTURE
DWG.	DRAWING	SUSP	SUSPENDED
DWR.	DRAWER	SYM	SYMMETRICAL
EA	EACH	T.	TREAD
E.J.	EXPANSION JOINT	T&B	TOP AND BOTTOM
ELEV.	ELEVATION	TERR.	TERRAZZO
ELEC.	ELECTRICAL	T.O.C.	TOP OF CURB
ELEV.	ELEVATOR	T&G	TONGUE AND GROOVE
E.O.S./EOS	EDGE OF SLAB	THK	THICK
E.O.D./EOD	EDGE OF DECK	THRES.	THRESHOLD
EP	ELECTRICAL PANEL	T.O.P.	TOP OF PARAPET
EPX	EPOXY	TA	TOILET ACCESSORY
EQ.	EQUAL	TV	TELEVISION
EQPM	EQUIPMENT	T.O.W.	TOP OF WALL
E.W.	EACH WAY	TOS / T.O.S.	TOP OF STEEL
EXIST. / EX	EXISTING	TYP.	TYPICAL
EXP.	EXPOSED	U/C	UNDERCUT
EXT.	EXTERIOR	U.N.O.	UNLESS NOTED OTHERWISE
FA	FIRE ALARM	U.S.K.	UTILITY SINK
FD	FLOOR DRAIN	V.B.	VAPOR BARRIER
FON	FOUNDATION	VCT	VINYL COMPOSITION TILE
FIRE EXTINGUISHER	FIRE EXTINGUISHER	VERT.	VERTICAL
FEC	FIRE EXTINGUISHER CABINET	VEST	VESTIBULE
FHC	FIRE HOSE CABINET	VF	VINYL FLOORING
FIN	FINISH	V.I.F.	VERIFY IN FIELD
FLOOR	FLOOR	W	WIDTH
F.O.	FACE OF	W/	WITH
F.O.S.	FACE OF STUD	WB	WALL BASE
FPRF	FIREPROOF	W.C.	WATER CLOSET
FR	FRAME	WC	WALLCOVERING
FRP	FIBERGLASS REINFORCED PANEL	WD	WOOD
FRT	FIRE RETARDANT TREATED	WO	WITHOUT
F.S.	FULL SIZE	WR	WATER RESISTANT
FT.	FOOT or FEET	WSCOT	WAINSCOT
FTG.	FOOTING	WT.	WEIGHT
FUR	FURRING	W.W.F.	WELDED WIRE FABRIC
GA.	GAUGE		
GALV.	GALVANIZED		
G.B.	GRAB BAR		
GFRC.	GLASS FIBER REINFORCED CONCRETE		
GL.	GLASS		
GYP.	GYPSUM		
H.B.	HOSE BIBB		
H.C.	HOLLOW CORE		
HDWD	HARDWOOD		
HDWE	HARDWARE		
HM	HOLLOW METAL		
HORIZ.	HORIZONTAL		
HR	HOUR		
HGT	HEIGHT		
INSUL	INSULATION		
IMP	INSULATED METAL PANEL		
IMWP	INSULATED METAL WALL PANEL		
INT	INTERIOR		
J.C.	JANITOR'S CLOSET		
JOINT	JOINT		
JT.	KITCHEN		
KIT.	LAVATORY		
LAV	LENGTH		
LG	LONG LEG VERTICAL		
L.L.V.	LIGHT		
LT	LUXURY VINYL TILE		
LVT	MAXIMUM		
MAX	MECHANICAL		
MECH	METAL		
MTL	MANUFACTURER		
MFR.	MINIMUM		
MIN.	MISCELLANEOUS		
MISC.	MASONRY OPENING		
M.O.			



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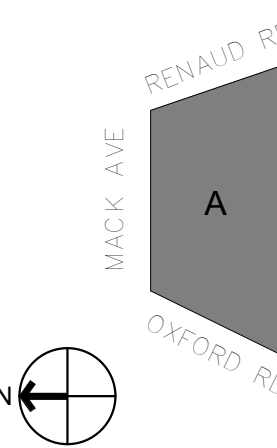
Seal:

Project :

RETAIL DEVELOPMENT

20160 Mack Ave, Grosse  
Pointe Woods, MI 48236

Key Plan:



Issued for

CITY SUBMITTAL 03.14.25  
CITY SUBMITTAL 05.14.25  
UPDATE

Drawn by :

JPM

Checked by :

JAV

Sheet Title :

COVER SHEET, GENERAL  
INFORMATION, DRAWING INDEX

Project No. :

2025.018

Sheet No. :

G001

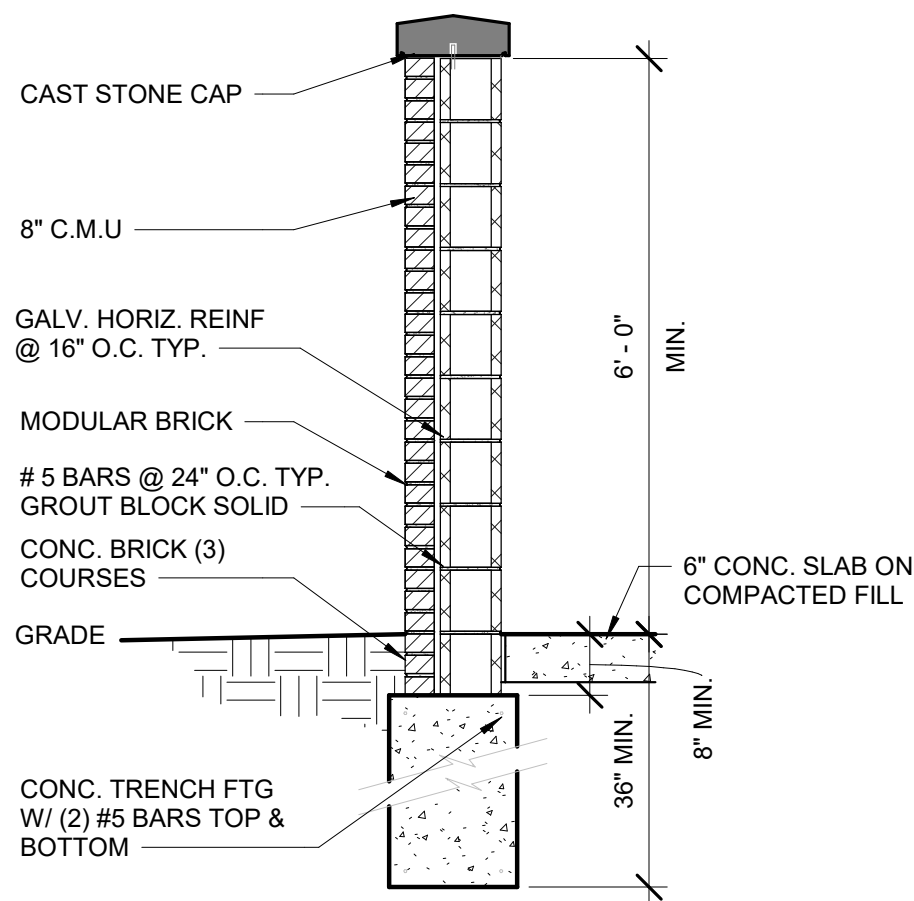


PROPOSED BUILDING FLOOR AREA AND PARKING			
FLOOR AREA	BUILDING USASE	PARKING PER USABLE AREA	PROPOSED REQUIRED PARKING
10,700 SF	RETAIL	200 SF	54

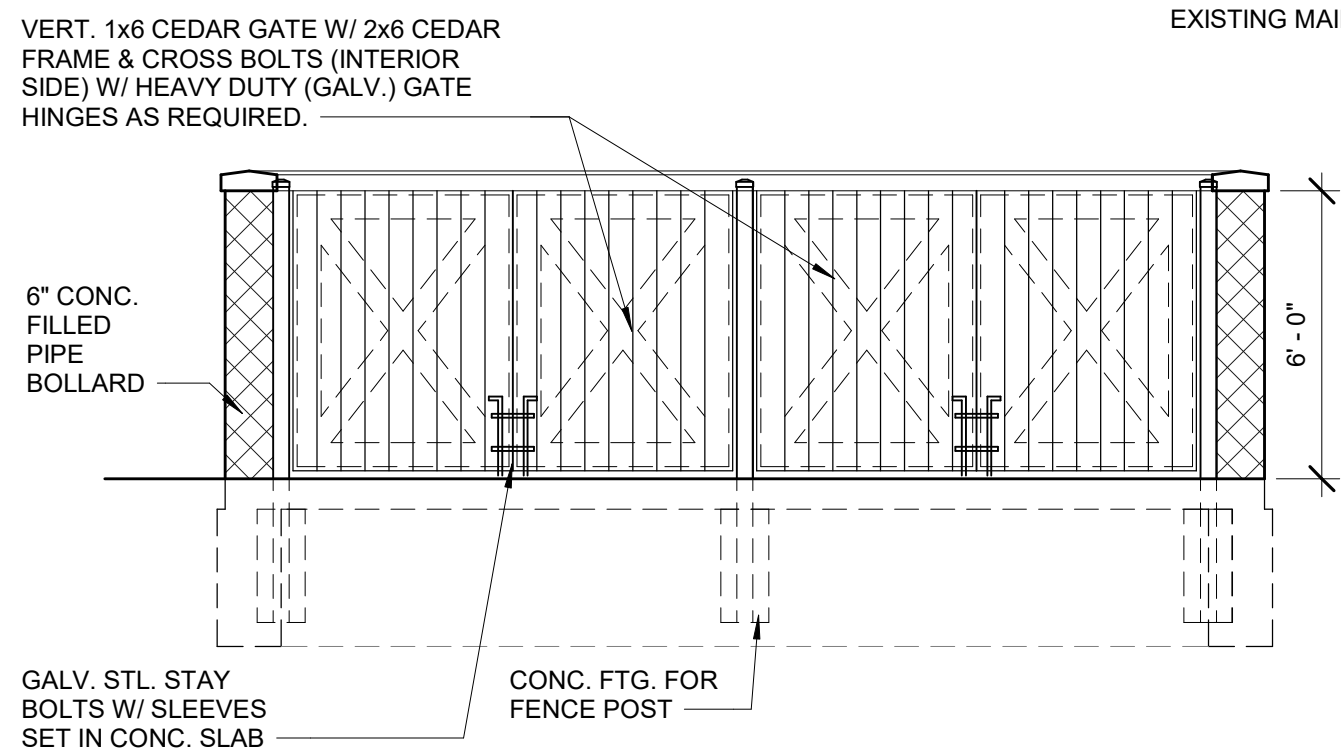
NOTE:  
ORIGINAL PARKING COUNT = 34 SPACES.  
ADDED 11 OFF-STREET PARKING SPACES

Parking Schedule		* Calculations resulting in fractional space. When units or measurements determining the number of required parking spaces result in a requirement of a fractional space, any fraction up to and including one-half shall be disregarded and fractions over one-half shall require one parking space
Count		

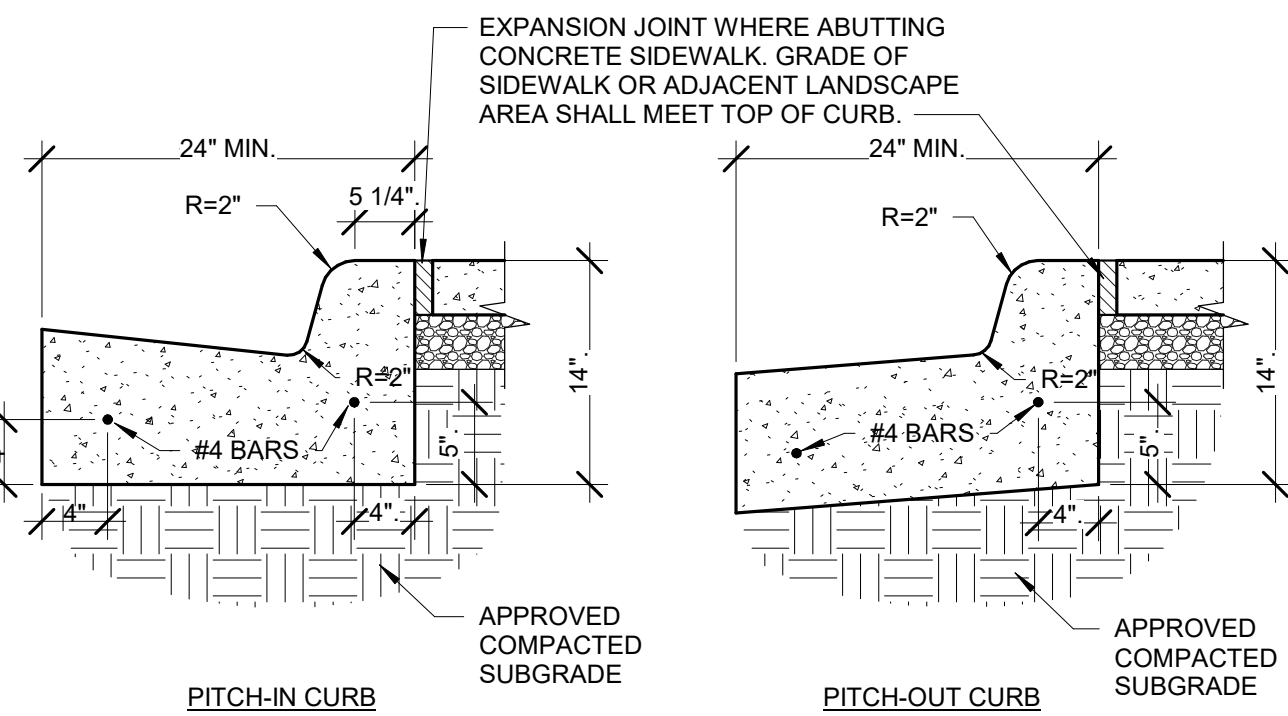
45	OFF-STREET	+ 4 METERED PARKING SPACES MACK AVE.
58	TOTAL	+ 9 PARKING SPACES - S RENAUD RD.



2 Section At Dumpster Screen  
A1 1/2" = 1'-0"



3 Dumpster Screening Detail  
A1 1/4" = 1'-0"



- NOTES:
- CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
  - TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM SURFACE.
  - HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
  - 14" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

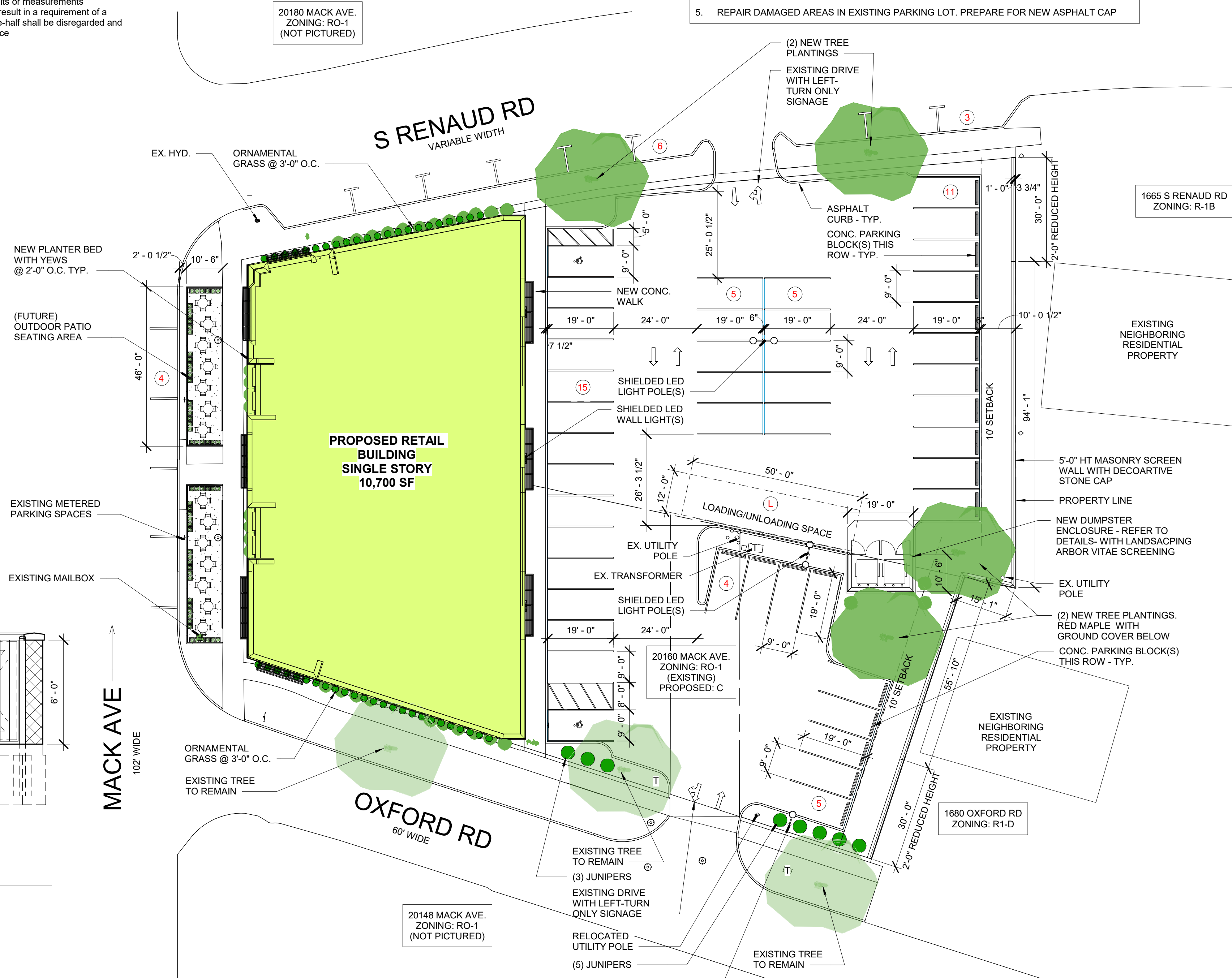
4 CONCRETE CURB AND GUTTER DETAIL  
A1 1" = 1'-0"

**SITE AREA:**  
EXISTING SITE AREA: 33,007 SF (0.758 ACRES)  
PARKING LOT AREA: 18,746 SF  
LOT SIZE: (EXISTING UNCHANGED)

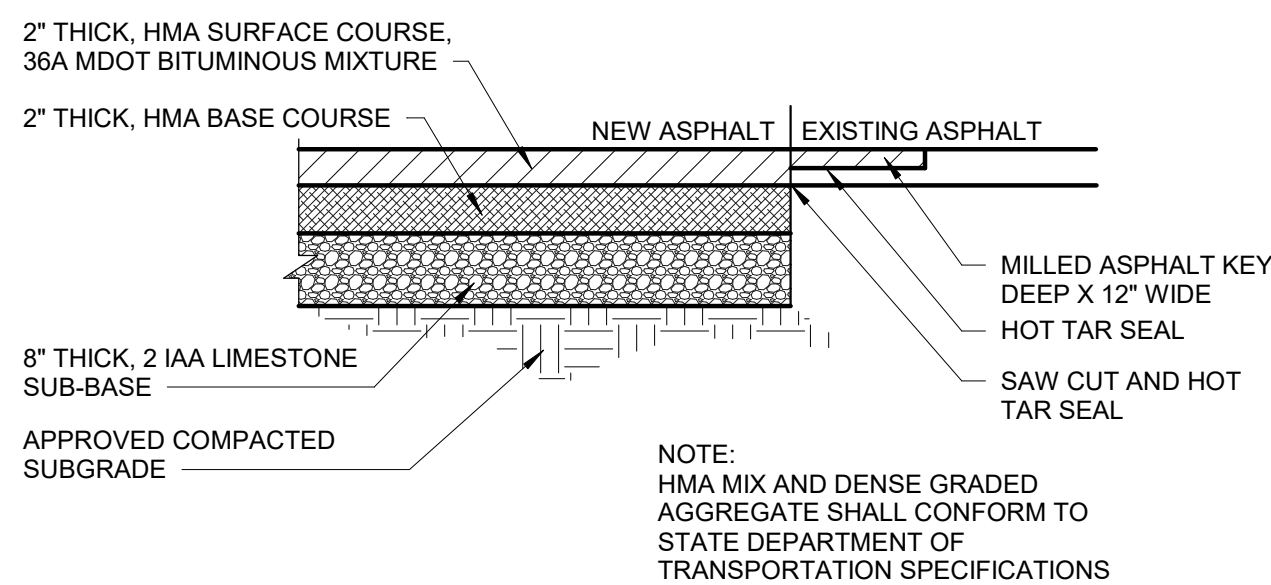
**SETBACKS:**  
C-COMMERCIAL BUSINESS  
FRONT YARD SETBACK: 0  
SIDE YARD SETBACK: 0  
CORNER LOT  
MAXIMUM BUILDING HEIGHT:  
(2) STORIES  
28 FEET  
PROPOSED HEIGHT: 18 FEET

**DEMOLITION SCOPE:**

- ALL DEMOLITION WORK REQUIRED IS NOT NECESSARILY LIMITED TO WHAT IS DESCRIBED IN THE DEMOLITION SCOPE. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ITEMS AS REQUIRED TO FACILITATE NEW CONSTRUCTION.
- EXISTING STRUCTURE AND BASEMENT TO BE DEMOLISHED COMPLETELY. DISCONNECT AND CAP EXISTING UTILITIES AS REQUIRED PRIOR TO DEMOLITION.
- GENERAL PRECAUTIONS SHALL BE TAKEN AS NECESSARY TO HOLD ALL DISRUPTION, DUST, DIRT, NOISE, AND DEBRIS TO A MINIMUM. G.C. TO OBTAIN DEMOLITION PERMIT AND PROVIDE ALL NECESSARY BARRIERS AND SAFETY MEASURES IN COMPLIANCE WITH REQUIREMENTS BY AHJ.
- REMOVE ALL DEBRIS FROM THE SITE AND LEGALLY DISPOSE OF THESE MATERIALS.
- REPAIR DAMAGED AREAS IN EXISTING PARKING LOT. PREPARE FOR NEW ASPHALT CAP



1 SITE PLAN  
A1 1" = 20'-0"

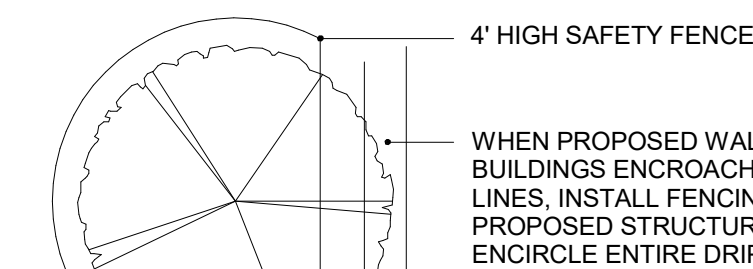


5 ON-SITE FULL DEPTH ASPHALT PAVEMENT DETAIL  
A1 1" = 1'-0"

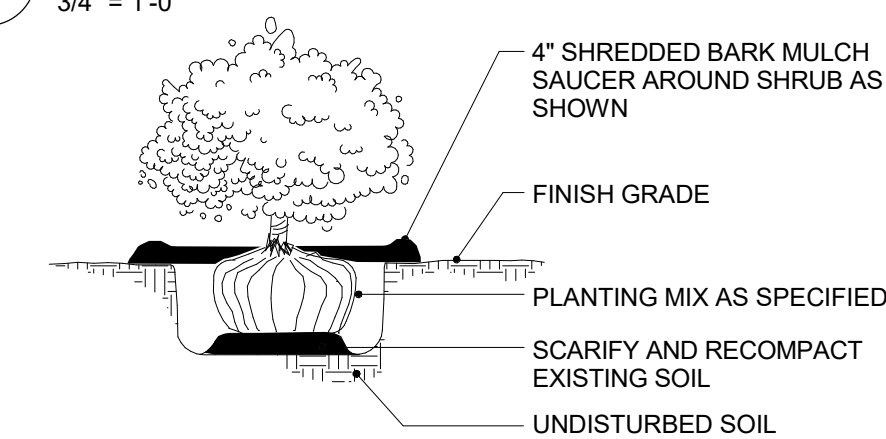
**LEGAL DESCRIPTION**  
LAND SITUATED IN THE CITY OF GROSSE POINTE WOODS, COUNTY OF WAYNE, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:  
ALL OF LOT 1 AND LOT 2, EXCEPTING THEREFROM THE EAST 15.31 FEET IN ARTHUR J. SCULLY'S EASTMORELAND PARK, BEING A SUBDIVISION OF PART OF PRIVATE CLAIM 240, VILLAGE OF LOCHMOOR, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 63, PAGE 42 OF PLATS. ALSO ALL THAT PART OF P.C. 611, VILLAGE OF GROSSE POINTE WOODS, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT AT THE INTERSECTION OF THE EAST LINE OF MACK AVENUE, AS WIDENED, AND THE SOUTH LINE OF SAID P.C. 611, SAID POINT BEING SOUTH 71 DEGREES EAST A DISTANCE OF 104.43 FEET FROM THE MIDDLE LINE OF MACK AVENUE; THENCE ALONG SAID SOUTH LINE OF P.C. 611, SOUTH 71 DEGREES EAST A DISTANCE OF 227.28 FEET TO THE SOUTHWEST CORNER OF RENMOOR PARK SUBDIVISION; THENCE ALONG THE WEST LINE OF SAID SUBDIVISION NORTH 6 DEGREES, 37 MINUTES, 22 SECONDS EAST A DISTANCE OF 124.37 FEET TO THE SOUTH LINE OF RENAUD ROAD; THENCE ALONG RENAUD ROAD NORTH 88 DEGREES, 22 MINUTES WEST A DISTANCE OF 87.05 FEET; THENCE TURNING TO THE LEFT ON A CURVE HAVING A RADIUS OF 459.14 FEET WESTERLY, 49.95 FEET (CHORD BEARS SOUTH 88 DEGREES, 31 MINUTES WEST A DISTANCE OF 49.93 FEET); THENCE SOUTH 85 DEGREES, 24 MINUTES WEST A DISTANCE OF 87.48 FEET TO THE EAST SIDE OF MACK AVENUE; THENCE ALONG MACK AVENUE SOUTH 6 DEGREES, 37 MINUTES, 22 SECONDS WEST A DISTANCE OF 44.00 FEET TO THE PLACE OF BEGINNING.

## GENERAL SITE PLAN NOTES

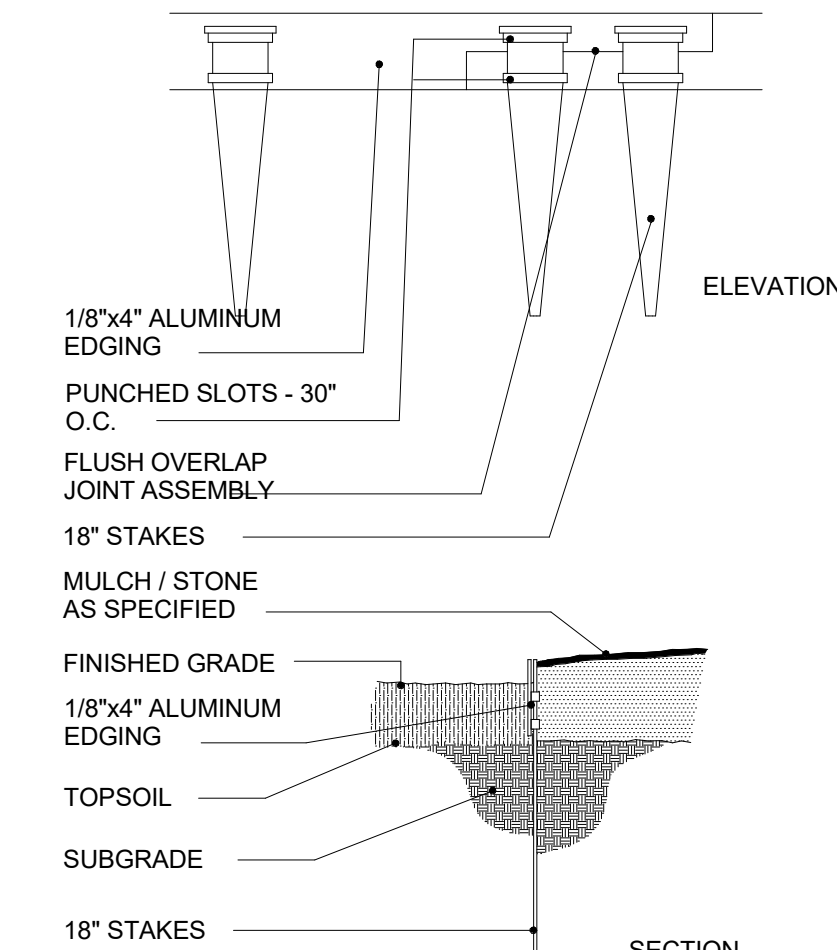
- PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:
- CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
- ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.
- PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
- ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
- ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
- ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.
- ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
- CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.
- FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKewise ARRANGE FOR ALL INSPECTION.
- EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.
- EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.
- SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.
- ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.
- FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.
- ALL LANDSCAPED AREAS TO BE PROVIDED W/ SPRINKLER SYSTEMS FOR 100% COVERAGE.
- MAINTAIN EXISTING DRAINAGE PATTERNS ON SITE IN COMPLIANCE WITH REQUIREMENTS OF AHJ.
- EXISTING UTILITIES ON SITE TO REMAIN - TYP. U.N.O.
- MAINTAIN EXISTING SITE TOPOGRAPHY - TYP. U.N.O.



8 TREE PROTECTION DETAIL  
A1 3/4" = 1'-0"



7 SHRUB PLANTING DETAIL  
A1 3/4" = 1'-0"



6 ALUMINUM EDGING DETAIL  
A1 3/4" = 1'-0"



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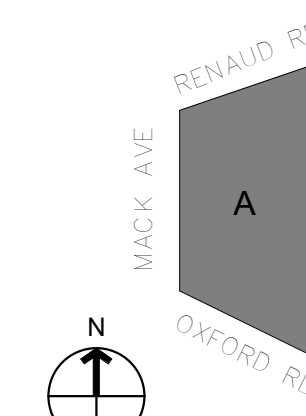
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RETAIL DEVELOPMENT

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Key Plan:



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CITY SUBMITTAL	03.14.25
CITY SUBMITTAL	04.17.25
UPDATE	
CITY SUBMITTAL	05.14.25
UPDATE	

Drawn by :

JGB, JPM

Checked by :

JPM, JAV

Sheet Title :

Site Plan + LANDSCAPE PLAN + DETAILS

Project No. :

2025.018

Sheet No. :

A1



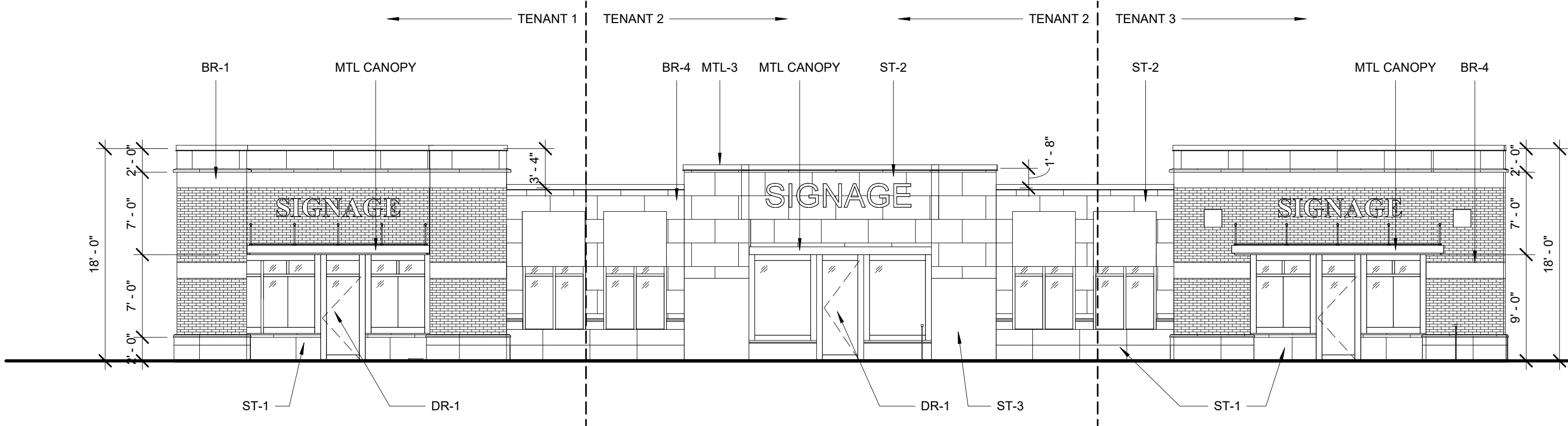
EXTERIOR FINISH SCHEDULE	
MASONRY	BR-1 BRICK MFG: BELDEN BRICK OR APPROVED EQUAL COLOR: 503-505 Smooth Red SIZE: MODULAR
	BR-4 BRICK MFG: BELDEN BRICK OR APPROVED EQUAL COLOR: 503-505 SMOOTH RED SIZE: SOLDIER
	BR-5 BRICK MFG: BELDEN BRICK OR APPROVED EQUAL COLOR: Buff (or similar) SIZE: Queen (or similar)
	ST-1 LIMESTONE PANEL VENEER MFG: ROYAL STONE OR APPROVED EQUAL COLOR: STANDARD BUFF OR SIMILAR SIZE: (D) 3 5/8" X (H) 15 5/8" X (L) 23 5/8"
WIND.	SF-1 STOREFRONT MFG: KAWNEER OR SIMILAR COLOR: DARK BRONZE SIZE: (VARIES)
DOORS	DR-1 ALUMINUM ENTRANCE DOOR SYSTEM MFG: KAWNEER OR APPROVED EQUAL STYLE: 2" X 6" COLOR: TO MATCH WINDOW FRAME WITH CLEAR GLASS
GLASS	GL-1 ALL GLASS TO BE: 1" LOW-E, INSULATED GLASS MFR: VIRACON OR APPROVED EQUAL COLOR/STYLE: CLEAR
MISC.	TR-1 TRIM & COPING: PREFINISHED ALUMINUM COLOR: MATCH ADJACENT MATERIALS
	MTL-2 COMPOSITE METAL CANOPY MFG: MAPES CANTILEVER CANOPY OR APPROVED EQUAL COLOR: DARK BRONZE
	MTL-3 METAL PARAPET MFG: ALUCOBOND OR APPROVED EQUAL COLOR: TBD OR SIMILAR



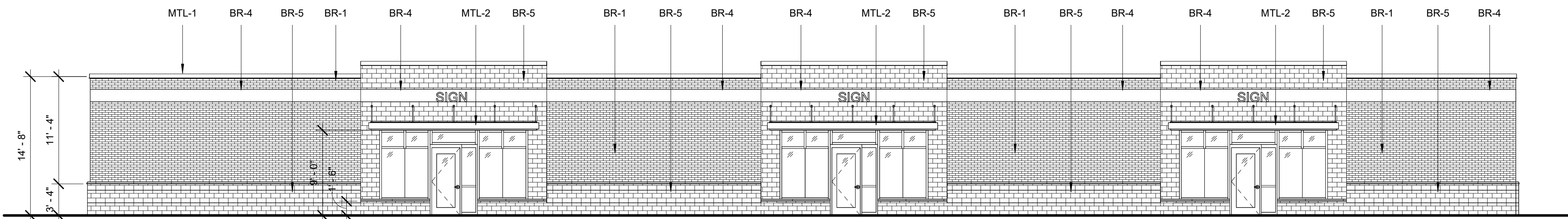
EXTERIOR RENDERING #2



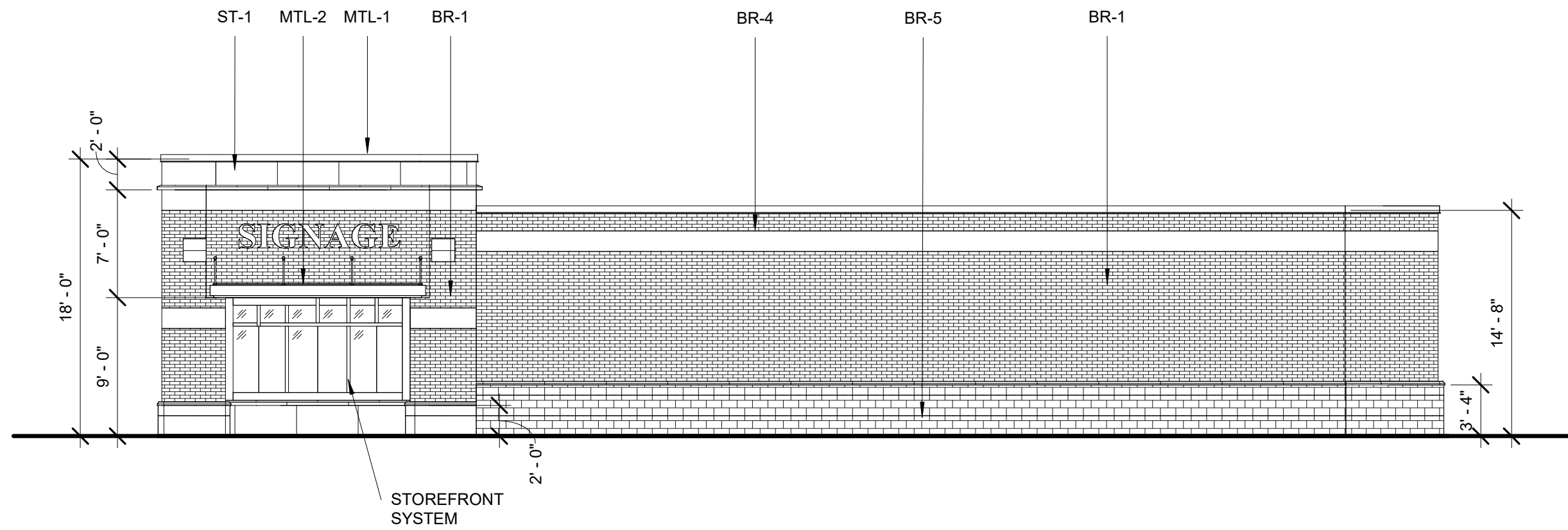
EXTERIOR RENDERING #1



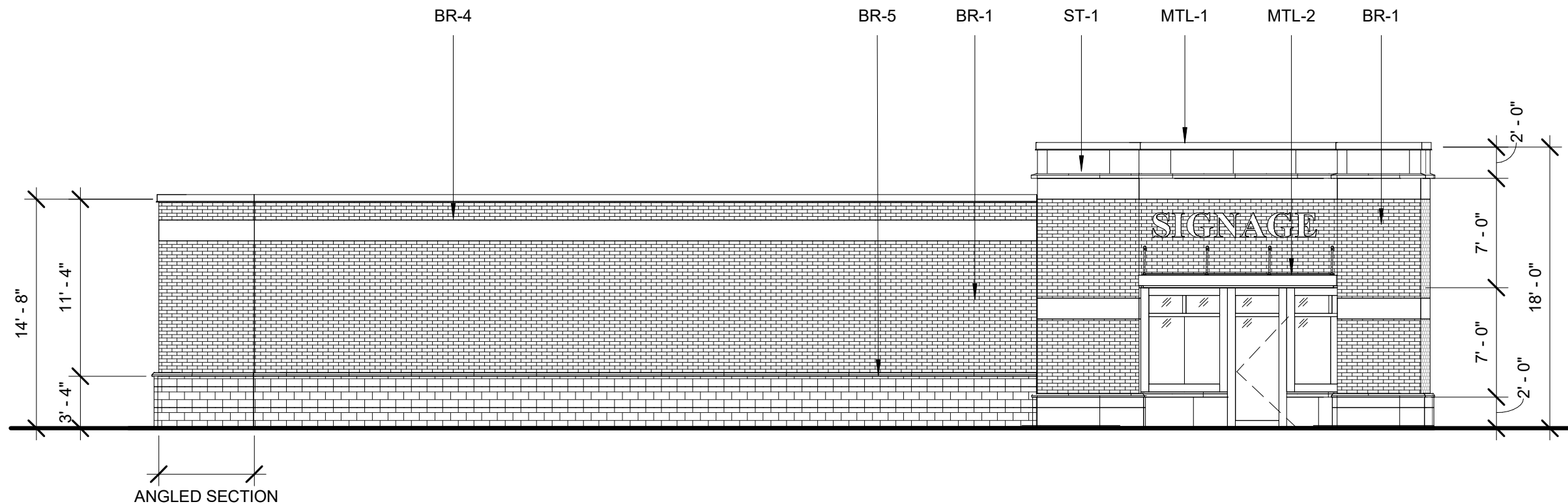
1  
A2  
WEST ELEVATION - MACK AVE.  
1/8" = 1'-0"



4  
A2  
EAST ELEVATION - PARKING LOT  
1/8" = 1'-0"



3  
A2  
SOUTH ELEVATION - OXFORD  
1/8" = 1'-0"



2  
A2  
NORTH ELEVATION - RENAUD  
1/8" = 1'-0"



STUCKY VITALE ARCHITECTS  
27172 WOODWARD AVENUE  
ROYAL OAK, MI 48067-0925  
P. 248.546.6700  
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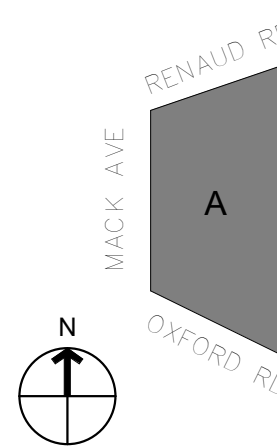
Consultants

Seal:

Project :  
RETAIL DEVELOPMENT

20160 Mack Ave, Grosse  
Pointe Woods, MI 48236

Key Plan:



Issued for

CITY SUBMITTAL 03.14.25  
CITY SUBMITTAL 05.14.25  
UPDATE

Drawn by :

JGB, JPM

Checked by :

JPM, JAV

Sheet Title :

EXTERIOR ELEVATIONS +  
RENDERING

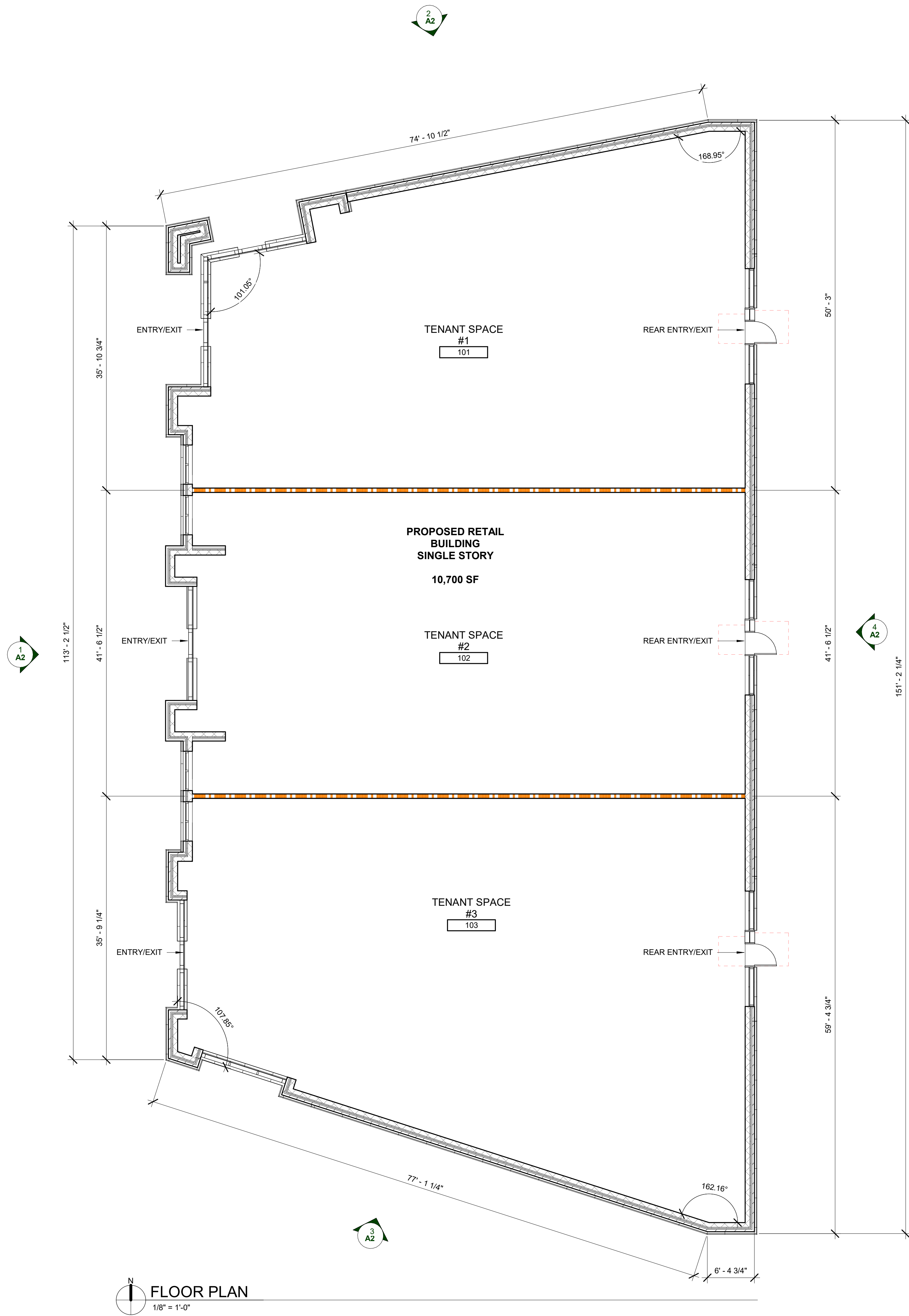
Project No. :

2025.018

Sheet No. :

A2





GENERAL FLOOR PLAN NOTES

- THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK. COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
- ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
- PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
- PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AT 30'-0" O.C. MAXIMUM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL CONDUCT A ROUGH ELECTRICAL INSPECTION WITH OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, VOICE, SWITCH, THERMOSTAT, ETC.
- A TACTILE SIGN STATING 'EXIT' AND COMPLYING WITH ICC-A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN 'AREA OF REFUGE', AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE.
- PROVIDE PERMANENT MIN 3-INCH HIGH CONTRASTING COLOR MARKING AND IDENTIFICATION AT ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS WITHIN 15 FEET AT THE END OF EACH WALL, AND NOT EXCEEDING 30 FEET MAXIMUM HORIZONTAL INTERVALS, MINIMUM 2 LOCATIONS EACH WALL. TYPICAL FOR ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING, OR ATTIC SPACES PER CODE (MBC 703.7)



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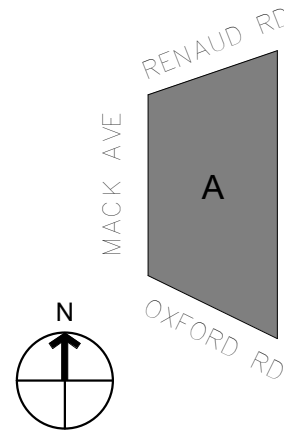
Seal:



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Drawn by :

JPM

Checked by :

JAV

Sheet Title :

FLOOR PLAN




Project No. :

2025.018

Sheet No. :

A3



Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lumens Per Lamp	Light Loss Factor	Wattage
	A	1	Lumenpulse	LIAM-120_277-CSL-M150-40K-CRI 80-4 BLS	Lumenicon Medium	6519	0.9	132
	B	2	Lumenpulse	LIAM-120_277-CSL-M150-40K-CRI 80-5S	Lumenicon Medium	13565	0.9	264
	C	3	Lumenpulse	LIAM-120_277-CSL-M150-40K-CRI 80-4 BLS	Lumenicon Medium	6519	0.9	132

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Grade	+	1.7 fc	6.6 fc	0.0 fc	N/A	N/A	0.3:1
Parking Lot	✕	2.7 fc	6.6 fc	0.4 fc	16.5:1	6.8:1	0.4:1

- General Note**
- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
  - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"
  - LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

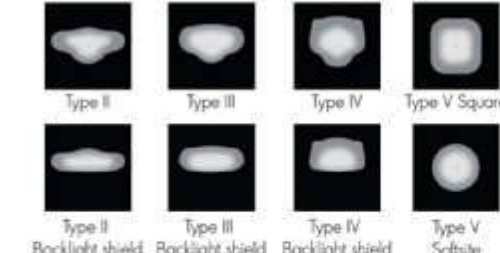
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

#### Specification Sheet

Project Name \_\_\_\_\_ Qty \_\_\_\_\_  
Type \_\_\_\_\_ Catalog / Part Number \_\_\_\_\_



#### Distributions



#### Colors and Color Temperatures



#### Control

ON/OFF 0-10V

#### Rating

IP66 (optical chamber)

#### Certifications



#### Description

The Lumenicon Area Medium creates a consistent aesthetic while illuminating city streets, local roads, residential streets, parking lots and laneways. An innovative, toolless opening system makes the plug-and-play components easy to access. IP66 rated with phenomenal heat dissipation, the Lumenicon Area Medium is ready to take it to the streets (or parking lots, or building sides, or ramps, or...).

#### Features

**Color and Color Temperature** 2200K, 2700K, 3000K, 3500K, 4000K, 5700K

**Distributions** Type II, Type III or Type IV (with or without backlight shield), Type V square and type V Softsite

**3G Vibration Rated** Meets 3G ANSI C136.31-2010 vibration standard for bridge applications

**Options** Corrosion-resistant Coating for Hostile Environments, Surge Protector, 5 Pin Receptacle with or without shoring cap, 7 Pin Receptacle with or without shoring cap

**Mounting Options** Side Overlap (2 3/8 in Tenon)

**Warranty** 5-year limited warranty

#### Performance

**Output (Nominal Lumens)** Minimum 3000lm / Maximum 20000lm

**Color Rendering** 3 SDCM for CRI 70+ and 2 SDCM for CRI 80+

**Lumen Maintenance** TM-21 L70 527,000 hrs (projected, Ta 77 °F), 36,000 hrs (reported, Ta 77 °F)

**DarkSky** DarkSky compliant (2200K, 2700K and 3000K color temperatures; BUG rating of 0)

#### Physical

**Housing Material** Die cast low copper 360 aluminum alloy

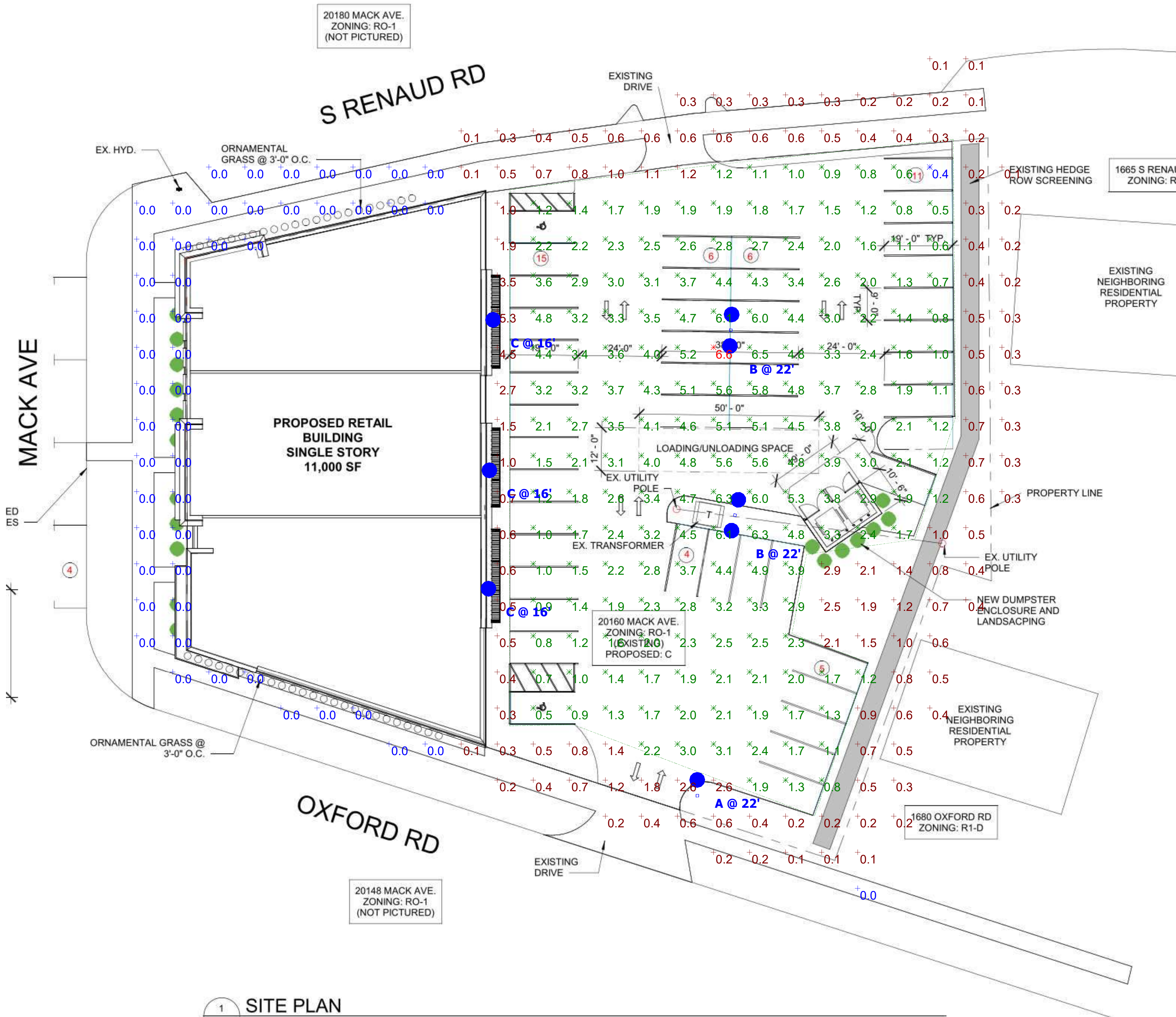
**lumenpulse**

1220 Marie-Victoria Blvd., Langueville, QC, J4G 2H9, CAN | T 514.937.3003 | info@lumenpulse.com  
www.lumenpulse.com | www.lumenpulse.com/products/4076

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M5 - R6

1 / 10

isregared and



1 SITE PLAN

Plan View  
Scale - 1" = 16ft



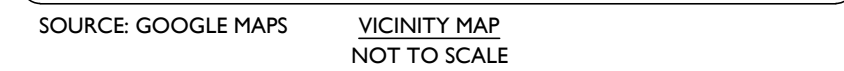
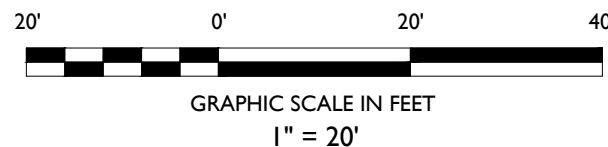
MAC AVE  
PHOTOMETRIC SITE PLAN  
GASSER BUSH ASSOCIATES  
WWW.GASSERBUSH.COM

**Designer**  
DB  
**Date**  
04/17/2025  
**Scale**  
Not to Scale  
**Drawing No.**  
QUICK CALC V1  
**1 of 1**



.....

17. EASEMENT IN FAVOR OF MICHIGAN BELL TELEPHONE COMPANY, AND THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, RECORDED IN LIBER 22079, PAGE 915. **(SHOWN)**



<i>TYP.</i>	<i>TYPICAL</i>
<i>ELEV</i>	<i>ELEVATION</i>
<i>CONC</i>	<i>CONCRETE</i>
<i>GR.T.</i>	<i>GRATE</i>
<i>UNK</i>	<i>UNKNOWN</i>
<i>BLD</i>	<i>BUILDING</i>
<i>LS</i>	<i>LANDSCAPING</i>
<i>MH</i>	<i>MANHOLE</i>
<i>P.O.B.</i>	<i>POINT OF BEGINNING</i>
<i>(M)</i>	<i>MEASURED</i>
<i>(D)</i>	<i>DEED</i>

THE FIELDWORK WAS COMPLETED ON APRIL 22, 2025

**SCALE:** 1"=20'      **PROJECT ID:** DET-250182      **SHEET:** 1 OF 1