



MCKENNA

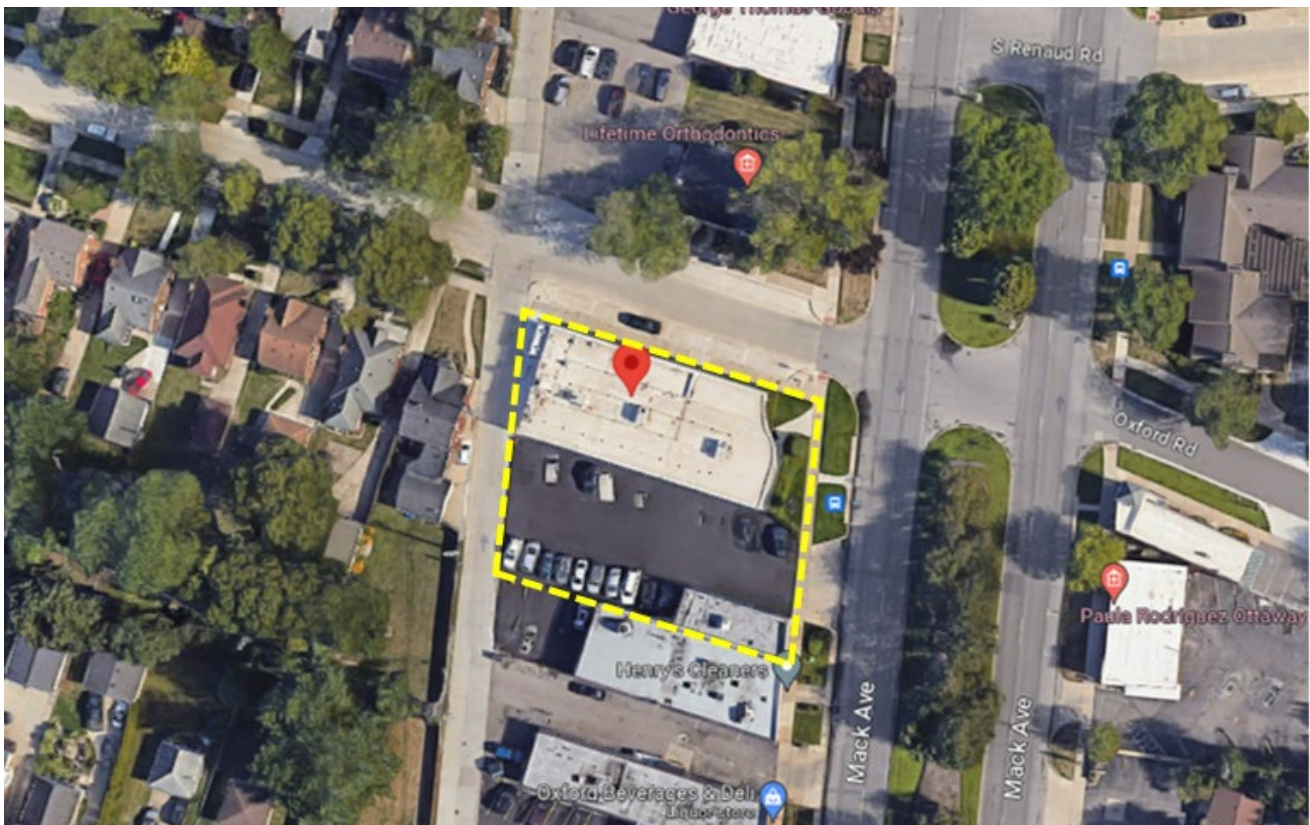
July 13, 2023

Planning Commission
City of Grosse Pointe Woods
20025 Mack Plaza Dr
Grosse Pointe Woods, MI 48236

Subject: 20139 Mack Avenue (Ahee Jewelers) Site Plan Review
Parcel ID: 999-20-20139-00
Site Plan Review #1
Zoning: C - Commercial Business

Dear Commissioners:

We have reviewed information submitted by architect John Vitale of Stucky Vitale Architects on behalf of Peter Ahee of Ahee Jewelers (the "Applicant"), who requests to construct a one-story 3,171 square foot addition to the 6,636 sq.ft. existing retail store at 20139 Mack Avenue, demolish an adjacent retail building, and relocate a parking lot. The site is within the City's C (Commercial Business) Zoning District. Upon review of the proposed plan compared to the applicable ordinance standards, we offer the following comments for your review. Items that do not comply or require additional information are in **bold and underlined>**.



HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

☎ 248.596.0920
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RECOMMENDATION

Pending Planning Commission's decision to grant the front yard setback of 20'6" allowable to continue and finding a variance granted by City Council acceptable for the parking requirement to be reduced from 49 off-street parking spaces to 17 spaces granted; we recommend the Planning Commission approve the site plan application with the conditions of the following revisions to be approved administratively:

1. Reduce the building length in the rear yard of the proposed building addition by at least six (6) feet to accommodate three (3) additional parking spaces between the building addition and the Alley;
2. Slant off-street parking spaces to 54 to 74 degrees with one way traffic from Mack to the Alley;
3. Reduce the curb cut along Mack Avenue to 18 feet at the right-of-way line that tapers out to the street;
4. Add the required traffic lane markings to the new parking lot;
5. Add a barrier, such as a planter, deciduous hedges, or green space, at the property line between the parking lot and the public sidewalk to prevent cars from encroaching upon the public sidewalk and threatening pedestrian safety; and
6. Reduce the size of the new proposed wall sign to comply with Ordinance.

Respectfully submitted,

McKENNA

Andrew Littman, Senior Planner

Brigitte Smith, AICP



CONCEPTUAL RENDERING MACK AVE. - ISOMETRIC VIEW



Site Plan Review

1. ZONING AND MASTER PLAN DESIGNATIONS

The following chart provides information on existing land use, current zoning, and future land use.

Location	Existing Land Use	Zoning District	Future Land Use Designation
Subject Site	General Commercial	C	General Business/Mixed Use
North	General commercial	C	General Business/Mixed Use
South	General commercial	C	General Business/Mixed Use
East (across Mack Ave)	Dental Office / Single-family residential	R-O1	City Center/Mixed Use
West	Single-family residential	R-1E	Single Family Medium Density

The 2006 Master Plan Future Land Use Map designates this site and the immediate surrounding area to the north and South as *General Mixed Use/Business*, described in the text of the Master Plan as, “retail, restaurant, and office establishments which are designed for the day-to-day needs of nearby residents”, and equating to “the City’s C Commercial Business zoning district...”, which is the zoning category that currently applies to the site. Complies.

2. DIMENSIONAL REQUIREMENTS

Standard	Requirement	Existing Conditions	Proposed Conditions of Addition	Proposed Compliance
<i>Minimum Front Setback</i>	0', no front yard permitted.	20'6"	20'6"	No
<i>Minimum Side Setback</i>	<i>No side yards are required along interior lot lines if walls abutting are fireproof and without windows/openings. Otherwise a side yard or outer court of no less than 5 feet per story must be provided. No side yard on street side of corner lots.</i>	0'	0' (North) 40' (South)	Yes
<i>Minimum Rear Setback (West)</i>	<i>No rear yard is required if walls are fireproof and without windows or openings. With windows and openings, except for emergency uses, a rear yard or outer court of no less than 5 feet for a one story building is required; measured to the centerline of the public alley.</i>	13'-21' from alley centerline	13'-21' from alley centerline	Yes
<i>Maximum Building Height</i>	Minimum front elevation 16', Maximum 28'	17'	17'-6"	Yes
<i>Lot Size</i>	None			
<i>Lot Coverage</i>	None			



Findings: The proposed addition complies with all dimensional requirements, except for the front yard setback from Mack Avenue. **Planning Commission should consider allowing the existing 20'6" front yard setback to continue as is for the new addition; Planning Commission may grant permission for this noncompliance.**

3. ARCHITECTURE AND BUILDING DESIGN (Sec. 50-373)

The purpose of these design standards is to promote a coordinated and complimentary use of design elements that result in a theme oriented, harmonious appearance and image for the commercial and high intensity residential areas of the city.

The elevations provided by the applicant show the new building will be composed of brick that will match that of the existing building. The front elevation illustrates a stone parapet, pre-finished metal coping stone near the top of the façade, limestone panels, a metal frame fabric awning, and a new champagne colored storefront window frame (to match the existing storefront window frame). Moreover, the side and rear elevations show shielded LED wall pack lighting. This architecture and building design is consistent with the ordinance and the City's design standards.

Per Section 50-6.1(G)(7) of the Zoning Ordinance, the applicant must bring samples of the material to be used on the building's exterior to the Planning Commission meeting.

4. PARKING AND LOADING

Per Section 50-5.3(H), retail stores require one off-street parking space for each 200 square feet of gross floor area. With the addition of the new building, the total building area will be 9,756 gross square feet (existing building area of 6,636 square feet + new building area of 3,171 square feet), and therefore 49 parking spaces are required. Provided on the site plan are 14 off-street parking spaces and 8 on-street parking spaces on Mack Avenue and Oxford Road that abut the property. **Since the proposed site plan only shows 14 parking spaces (one of which is handicapped accessible), it is deficient by 35 parking spaces. A variance from the City Council to reduce the required parking will be needed. However, modifications can be made to accommodate more off-street parking on site. One such modification is to reduce the building length in the rear yard of the proposed building addition by at least sixteen (16) feet to accommodate three (3) additional 9' by 19' parking spaces between the building addition and the alley to provide a total of 17 off-street parking spaces.**

Additionally, the off-street parking layout dimensional requirements in Table 50-5.3.U.1 of the Zoning Ordinance maintain that the maneuvering lane wide for parking spaces at a 90 degree angle must be at least 25 feet. However, **the applicant's proposed site plan shows parking spaces at a 90-degree angle and a maneuvering lane that is only 21 feet wide, which does not comply. Given that the distance between the proposed addition to Ahee and the adjacent existing building to the south is 40 feet, the applicant must slant the spaces at least 54 to 74 degrees with one-way traffic flow into the alley, which then only requires an 18-foot maneuvering lane. The combined parking and maneuvering space will then comply. Additionally, with the one-way traffic, the curb cut for vehicles to enter the parking lot from Mack Avenue can be reduced to 18 feet in width at the right-of-way line and then tapers out to the street.**

Additionally, Section 50-5.3(U) states that parking lots shall be provided with traffic lane markings to indicate entrances and exits, and to provide for the safe and orderly movement of vehicles. **These required traffic lane markings are not found on the applicant's proposed site plan and must be added, including the markings for one-way traffic.**

Additionally, a barrier at the property line in the parking lot and the public sidewalk must be added to prevent cars parked in the parking lot from encroaching upon the public sidewalk and contribute to pedestrian safety. (Section 50-5.3 N)

There is a sufficient loading/unloading area in the back alley.



5. SIGNS

Chapter 32 of the City's Code of Ordinance concerns signage. Four different provisions in that Chapter are particularly relevant to the signage the applicant is proposing. First, section 32.11(d) maintains that wall signs may not be more than eight inches thick and shall be constructed of a noncombustible material. Second, section 32-13(c) states that "wall signs upon building fronts containing up to 40 feet of building frontage shall not exceed three feet in height or a maximum of 30 square feet in size. Third, per section 32-29, signs must be comprised of no more than two styles of lettering, and there cannot be more than three sizes of lettering per sign. Moreover, a maximum of three complimentary, muted colors or shades of colors may be used for a sign. Fourth, under section 32-10, logos may not cover more than one-third of the surface area of a sign face.

The applicant proposes a wall sign on the front façade of the new building addition that reads "Patek Philippe Geneve" and includes a logo above the lettering. This proposed signage satisfies most of the above Ordinance requirements. The sign is only one inch thick and is constructed of a noncombustible material (bronze). The sign is comprised of only one style, and two sizes, of lettering. Also, the sign is only composed of two colors and the logo covers less than one-third of the surface area of the sign face. However, the size of the sign is an issue. Since the building addition is planned to have 26 feet of frontage along Mack Avenue, the sign cannot exceed three feet in height or a maximum of 30 square feet in size. **The applicant's proposed plan illustrates the new sign as 3 feet, 10 inches in height and 31.1 square feet in area, which does not comply. The sign should be reduced slightly to comply with the height and maximum square feet requirements.**

6. LIGHTING

Outside security lighting means any electrically operated light, except incandescent lights without a reflecting surface and not exceeding 150 watts, mounted or installed on the exterior of any building or on or upon any exterior object located upon a property or parcel of real estate within any residential district of the city.

Findings: All proposed lighting (consisting of individual fixtures above the front and rear doors, as well as 5 fixtures on the side of the building) are LED and shielded. **Specific information about the wattages of the fixtures should be provided to ensure it complies.** Can comply.

CITY OF GROSSE POINTE WOODS

Building Department

BUILDING OFFICIAL RECOMMENDATION MEMORANDUM

DATE: July 25, 2023
TO: Planning Commission
FROM: Bruce Eck, Building Official
SUBJECT: Ahee Jewelers Addition

It is my recommendation that Ahee Jewelers is deficient in parking by 14 spaces, therefore the new addition at the rear should be reduced by 10 feet. Slanted parallel parking would allow 3 additional spaces along with parking along Mack Avenue and Oxford Rd would therefore give the applicant sufficient parking.

The Building Department has no issues with the Building Codes regarding this addition.

Thank you,
Bruce Eck
Building Official



CITY OF GROSSE POINTE WOODS

20025 Mack Plaza Drive
Grosse Pointe Woods, Michigan 48236-2397

To: Planning Commission
From: James Kowalski
Date: 7-17-2023
Subject: Ahee Jewelers Retail Addition

The Department of Public Services have reviewed the plans for the proposed addition located at 20139 Mack Ave. The plans do not interfere with any critical infrastructure valves, manholes or entryways to the water and sewer utilities, therefore it is my recommendation to proceed as planned.

Thank You,

James Kowalski
Director of Public Services
City of Grosse Pointe Woods
(313) 343-2463



STUCKY VITALE ARCHITECTS

TRANSMITTAL COVER SHEET

To: Building Department
Attn: Mollie Mackinnon

FROM: John Vitale

COMPANY: City of Grosse Pointe Woods
20025 Mack Plaza,
Grosse Pointe Woods, MI 48236
(313) 343-2440

DATE: 06.13.23
SVA PROJECT NO: 2023.034
PROJECT NAME: Ahee Jeweler Expansion

PURPOSE FOR:

APPROVAL USE REVIEW & COMMENT RECORD DISTRIBUTION

ENCLOSURES:

COPIES	DATE	ISSUED FOR	DESCRIPTION
1	06.13.23	SPA Fee	Check \$750.00 #27382
14	06.09.23	Site Plan Approval	Site Plan Approval Drawings 11x17
1	06.13.23	Application	Site Plan Review Application
1	06.09.23	Site Plan Approval	Digital copy of drawings issued via email 06.13.23

COMMENTS:

The city's fee schedule requires a \$350 site plan review fee and a \$400 deposit. A check for \$750 enclosed. Fourteen (14) physical copies and a digital copy have been distributed as part of this submittal.

TRANSMITTED VIA:

MESSENGER UPS GROUND UPS OVERNIGHT USPS ELECTRONICALLY PICK UP
 OTHER Drop Off

CC:

CITY OF GROSSE POINTE WOODS
Building Department
20025 Mack Plaza, Grosse Pointe Woods, MI 48236
(313) 343-2426

CITY OF GROSSE POINTE WOODS
BUILDING DEPARTMENT

JUN 13 2023

RECEIVED

SITE PLAN REVIEW

COMMERCIAL – Zoned As – Please Check One:

- C – Commercial Business RO-1 – Restricted Office P-1 – Vehicular Parking
 CF – Community Facilities C-2 – High Intensity City Ctr

Property Owner Name: Peter Ahee Date: 06.13.23

GPW Property Address: 20139 Mack Ave.

Telephone #: Work 313.886.4600 Home: _____

Contractor/Applicant Name: John Vitale

Telephone # 248.546.6700 Mobile Phone # 313.516.9810 Fax # 248.546.8454

Contractor/Applicant Address: 27172 Woodward Ave. Royal Oak, Mi 48067

e-mail: jvitale@stuckyvitale.com

MI Builder's License #: N/A MI Driver's License #: _____

Nature of Proposed Work:

1-Story addition to existing retail store with basement storage level. Demolition of neighboring commercial building for re-located parking lot.

Value of Construction \$ (TBD)

Section 23a of State Construction Code Act of 1972, No. 230 of the Public Acts of 1972, being Section 125.1523a of the Michigan Compiled Laws, prohibits a person from conspiring to circumvent the licensing requirements of the State relating to persons who are to perform work on a residential building or a residential structure. Violations of Section 23a are subject to civil fines.

Applicant Signature: _____

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and we agree to conform to all applicable laws of this jurisdiction.

#50-32(7)	Special Land Use PC Fee:	\$ 250
#50-42(a)	PC Site Plan Review Fee:	\$ 350
#50-42(b)(1)	Deposit – Est. Costs Incurred by the City:	\$ 400
PC APPLICATION FEE DUE:		\$ 1,000

Date Received: _____ Name: _____

AHEE JEWELERS RETAIL ADDITION

20139 MACK AVE, GROSSE POINTE WOODS, MI 48236

ARCHITECT

STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067
(248) 546-6700

PROJECT INFORMATION

PROJECT DESCRIPTION

1-STORY ADDITION TO EXISTING RETAIL STORE WITH BASEMENT STORAGE LEVEL.
DEMOLITION OF NEIGHBORING RETAIL BUILDING FOR RE-LOCATED PARKING LOT.

BUILDING CODE AUTHORITY

CITY OF GROSSE POINTE WOODS BUILDING DEPARTMENT

BUILDING OWNER

PETER AHEE
20139 MACK AVE.
GROSSE POINTE WOODS, MI. 48236
313.886.4800

APPLICABLE CODES

2015 MICHIGAN BUILDING CODE (MBC)
2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (MRC)
2015 MICHIGAN MECHANICAL CODE (MMC)
2018 MICHIGAN PLUMBING CODE (MPC)
2015 MICHIGAN ENERGY CODE (MEC)
2013 ANSIA/SHPRA/IES 90.1
2017 NATIONAL ELECTRICAL CODE (NEC)
2015 NFPA 101 LIFE SAFETY CODE

BARRIER FREE REQUIREMENTS:

2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (DOJ)
MBC-2015, CHAPTER 11
ICC / ANSI 117.1 - 2009, EXCEPT SECTION 611 & 707

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION

MERCANTILE: M

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

ALLOWABLE AREA: 50,000 S.F.
ACTUAL AREA:
EXISTING AREA = 6,636 S.F.
PROPOSED ADDITION = 3,171 S.F.
TOTAL AREA = 9,807 S.F.
ALLOWABLE STORIES (HEIGHT): (3) STORIES (75'-0")
ACTUAL STORIES (HEIGHT): (1) STORY (17'-6")

CITY OF GROSSE POINTE WOODS ZONING ORDINANCE

SEC. 50.3.14 - ZONING 'C' COMMERCIAL

ALLOWABLE HEIGHT: 28'-0" MAX.
16'-0" MIN. (STOREFRONT)
ACTUAL HEIGHT: 17'-6" (ORDINANCE SATISFIED)
ALLOWABLE STORES (HEIGHT): (2) STORIES MAX.
ACTUAL STORES (HEIGHT): (1) STORY W/ BASEMENT

CHAPTER 6 - TYPES OF CONSTRUCTION

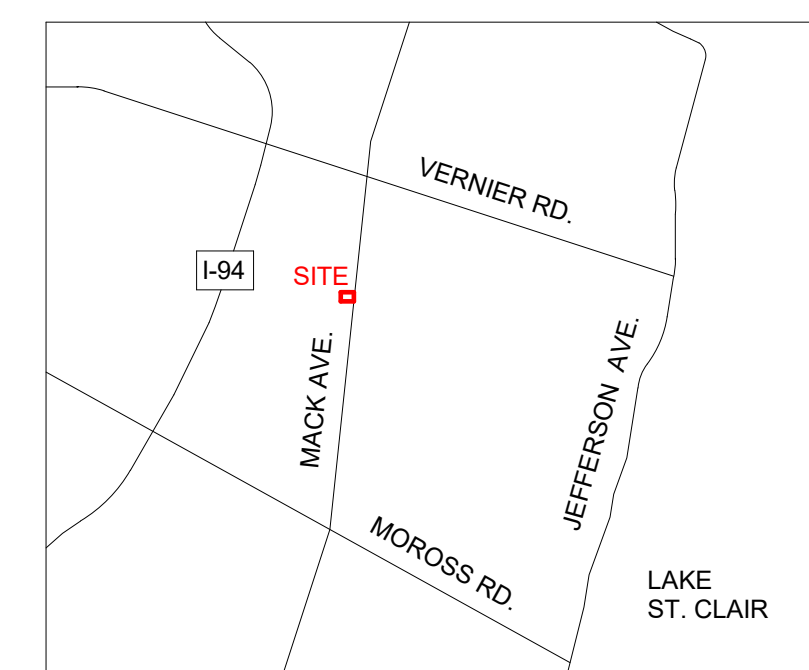
TYPE: IIB (EXISTING UNCHANGED)
-STRUCTURAL FRAME: 0 HOUR
-BEARING WALLS: 0 HOUR
-EXTERIOR NON-BEARING WALLS: 0 HOUR
-INTERIOR NON-BEARING WALLS: 0 HOURS
-OPENING PROTECTIVES AT EXTERIOR WALL: 0 HOURS
-FLOOR CONSTRUCTION AND SECONDARY FRAMING: 0 HOUR
-ROOF CONSTRUCTION AND SECONDARY FRAMING: 0 HOUR

CHAPTER 9 - FIRE PROTECTION SYSTEMS

AUTOMATIC SPRINKLER SYSTEMS: NOT REQUIRED PER SEC. 903.2.7
NOTE: AUTOMATIC SPINKLER SYSTEM IS PROVIDED IN BUILDING.
FIRE ALARM AND DETECTION SYSTEMS: NOT REQUIRED PER SEC. 907.2.7

CHAPTER 10 - MEANS OF EGRESS

TABLE 1004.1.2:
MERCANTILE 5141 S.F. / 60 GROSS = 86 OCC.
STORAGE, STOCK, SHIPPING AREAS 4456 S.F. / 300 GROSS = 15 OCC.
TOTAL OCCUPANTS: 101 OCC.



VICINITY MAP

SCALE: N.T.S.

SHEET INDEX - GENERAL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
G001	COVER SHEET, GENERAL INFORMATION, DRAWING INDEX	SITE PLAN APPROVAL	06.09.23
G(1 OF 2)	EXISTING SURVEY	SITE PLAN APPROVAL	06.09.23
G(2 OF 2)	EXISTING SURVEY	SITE PLAN APPROVAL	06.09.23
DRAWINGS: 3			
SHEET INDEX - ARCHITECTURAL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
A001	SITE PLAN - DEMOLITION	SITE PLAN APPROVAL	06.09.23
A002	SITE PLAN - NEW WORK	SITE PLAN APPROVAL	06.09.23
A123	FIRST LEVEL FLOOR PLAN	SITE PLAN APPROVAL	06.09.23
A301	EXTERIOR ELEVATIONS	SITE PLAN APPROVAL	06.09.23
A311	EXTERIOR RENDEREINGS	SITE PLAN APPROVAL	06.09.23
DRAWINGS: 5			

NOTE:
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES. ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

SHEET DESIGNATION

DRAWINGS ARE NUMBERED ACCORDING TO THE FOLLOWING CONVENTIONS:

<h1>A001</h1>	
DRAWING SEQUENCE NUMBER	DRAWING TYPE DESIGNATOR
DISCIPLINE DESIGNATOR	0 GENERAL, LEGENDS
G GENERAL	1 PLANS
LS LIFE SAFETY	2 REFLECTED CEILING PLANS
C CIVIL	3 EXTERIOR ELEVATIONS
L LANDSCAPE	4 SECTIONS
S STRUCTURAL	5 VERTICAL CIRCULATION (PLANS & SECTIONS)
AD ARCHITECTURAL	6 ENLARGED PLANS AND INTERIOR ELEVATIONS
A ARCHITECTURAL	7 INTERIOR AND MILLWORK DETAILS
F FINISH INFORMATION	8 FREE SECTION
AE EQUIPMENT INFORMATION	9 DOOR AND WINDOW SCHEDULES AND DETAILS
FP FIRE PROTECTION	
P PLUMBING	
M MECHANICAL	
E ELECTRICAL	
FA FIRE ALARM	



CONCEPTUAL RENDERING

PERSPECTIVE VIEW

SYMBOL LEGEND

ENLARGED CALLOUT TAG	DETAIL NUMBER	VIEW TITLE	VIEW SCALE	SHEET NUMBER
INTERIOR ELEVATION TAG	ROOM NAME	ROOM TAG	FLOOR NAME	LEVEL REFERENCE
EXTERIOR ELEVATION TAG	101	ELEV. 100'-0"	0, 0	DATUM WORKPOINT
	1	COLUMN GRIDS	A	NUMBERS DESIGNATE VERTICAL COLUMN LINES
	A	LETTERS DESIGNATE HORIZONTAL COLUMN LINES	A	SQUARE DESIGNATE EXISTING COLUMN GRID
	101	DOOR TAGS	NEW DOOR TAG DESIGNATION	EXISTING DOOR TAG DESIGNATION (ONLY IF EXISTING DOOR TO BE MODIFIED)
	2C3-Y5	PARTITION TAG	XX	KEYNOTE TAG
	XX	EQUIPMENT TAG	X / A-XXX	SHEET REF FOR DRAWING CONTINUATION
	ZONE B	MATCH LINE	ZONE A	

ABBREVIATION LEGEND

& L @	AND ANGLE AT	€ or € ±	CENTERLINE DIAMETER PLUS OR MIN
ACCESS.	ACCESSIBILITY	N	NORTH
ACOUS.	ACOUSTICAL	NIC	NOT IN CONTRACT
ACT	ACOUSTICAL CEILING TILE	NOM	NOMINAL
A.D.	AREA DRAIN	NTS	NOT TO SCALE
ADJ	ADJUSTABLE	O/C	ON CENTER
A.F.F.	ABOVE FINISH FLOOR	OFC	OFFICE
AL	ALUMINUM	OPNG	OPENING
ANOD.	ANODIZED	OPP	OPPOSITE
ARCH.	ARCHITECTURAL or ARCHITECT	OVFD	OVERFLOW DRAIN
ASPH.	ASPHALT	PL	PLATE
BD.	BOARD	PLAM	PLASTIC LAMINATE
BF	BARRIER FREE	PLAS	PLASTER
BLDG.	BUILDING	PNT	PAINT
BLKG.	BLOCKING	PLYWD	PLYWOOD
BOT.	BOTTOM	PREFAB	PREFABRICATED
BR	BRICK	PFN	PREFINISH or PREFINISHED
CAB.	CABINET	PROJ	PROJECTION
CEM.	CEMENT	PT	POINT
C.J.	CONTROL JOINT	R.	RISER
CLG	CEILING	RCP	REFLECTED CEILING PLAN
C.F.M.F.	COLD FORMED METAL FRAMING	R.C.	ROOF CONDUCTOR
C.O.	CLEAN OUT	RD	ROOF DRAIN
CLOSET	CLOSET	REINF	REINFORCING
CLR.	CLEAR	REQ'D	REQUIRED
COL.	COLUMN	RESIL	RESILIENT
CONC.	CONCRETE	RFG	ROOFING
C.G.	CORNER GUARD	RM	ROOM
CONST.	CONSTRUCTION	R.S.	ROOF SUMP
CONT.	CONTINUOUS	SAN	SANITARY
COR.	CORRIDOR	SC	SOLID CORE
CORR.	CORRUGATED	SCHED	SCHEDULE
CPT	CARPET	SHT	SHEET
C.T.	CERAMIC TILE	SIM	SIMILAR
CTSK.	COUNTER SUNK	SPEC	SPECIFICATIONS
CW	CURTAIN WALL	SO	SQUARE
D.F.	DRINKING FOUNTAIN	ST.STL.	STAINLESS STEEL
DET.	DETAIL	SS	SOLID SURFACE
DIAM.	DIAMETER	ST	STONE
DN.	DOWN	STD	STANDARD
D.O.	DOOR OPENING	STL	STEEL
DR.	DOOR	STN	STAIN
D.S.	DOWN SPOUT	STOR	STORAGE
DWG.	DRAWING	STRUCT	STRUCTURAL or STRUCTURE
DWR.	DRAWER	SUSP	SUSPENDED
EA	EACH	SYM	SYMMETRICAL
E.J.	EXPANSION JOINT	T.	TREAD
EL	ELEVATION	T&B	TOP AND BOTTOM
ELEC.	ELECTRICAL	TERR.	TERRAZZO
ELEV.	ELEVATOR	T.O.C.	TOP OF CURB
E.O.S./EOS	EDGE OF SLAB	T&G	TONGUE AND GROOVE
E.O.D./EOD	EDGE OF DECK	THK	THICK
EP	ELECTRICAL PANEL	THRES.	THRESHOLD
EPX	EPOXY	T.O.P.	TOP OF PARAPET
EQ.	EQUAL	TA	TOILET ACCESSORY
EQPM	EQUIPMENT	TV	TELEVISION
E.W.	EACH WAY	T.O.W.	TOP OF WALL
EXIST./ EX	EXISTING	TOS / T.O.S.	TOP OF STEEL
EXP.	EXPOSED	TYP.	TYPICAL
EXT.	EXTERIOR	U/C	UNDERCUT
FA	FIRE ALARM	U.N.O.	UNLESS NOTED OTHERWISE
FD	FLOOR DRAIN	U.S.K.	UTILITY SINK
FON	FOUNDATION	V.B.	VAPOR BARRIER
FE	FIRE EXTINGUISHER	VCT	VINYL COMPOSITION TILE
FEC	FIRE EXTINGUISHER CABINET	VERT.	VERTICAL
FHC	FIRE HOSE CABINET	VEST	VESTIBULE
FIN	FINISH	VF	VINYL FLOORING
FL	FLOOR	V.I.F.	VERIFY IN FIELD
F.O.	FACE OF	W	WIDTH
F.O.S.	FACE OF STUD	WB	WALL BASE
FR	FIREPROOF	WC	WATER CLOSET
FRP	FRAME	WC	WALLCOVERING
FRP	FIBERGLASS REINFORCED PANEL	WD	WOOD
FRT	FIRE RETARDANT TREATED	WO	WITHOUT
F.S.	FULL SIZE	WR	WATER RESISTANT
FT.	FOOT or FEET	WSCT.	WAINSCOT
FTG.	FOOTING	WT.	WEIGHT
FUR	FURRING	W.W.F.	WELDED WIRE FABRIC
GA.	GAUGE		
GALV.	GALVANIZED		
G.B.	GRAB BAR		
GFRC.	GLASS FIBER REINFORCED CONCRETE		
GL.	GLASS		
GYP.	GYPSUM		
H.B.	HOSE BIBB		
H.C.	HOLLOW CORE		
HDWD	HARDWOOD		
HDWE	HARDWARE		
HM	HOLLOW METAL		
HORIZ.	HORIZONTAL		
HR	HOUR		
HGT	HEIGHT		
INSUL	INSULATION		
IMP	INSULATED METAL PANEL		
IMWP	INSULATED METAL WALL PANEL		
INT	INTERIOR		
J.C.	JANITOR'S CLOSET		
JT.	JOINT		
KT.	KITCHEN		
LAV	LAVATORY		
LG	LENGTH		
L.L.V.	LONG LEG VERTICAL		
LT	LIGHT		
LVT	LUXURY VINYL TILE		
MAX	MAXIMUM		
MECH	MECHANICAL		
MTL	METAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
M.O.	MASONRY OPENING		

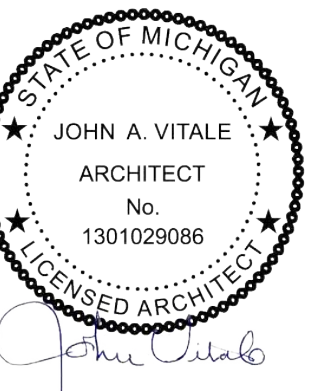


STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
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F. 248.546.8454
WWW.STUCKYVITALE.COM

STATEMENT OF INTELLECTUAL PROPERTY:
THE IDEAS, CONCEPTS, DRAWINGS AND THOUGHTS CONVEYED HEREIN ARE THE INTELLECTUAL PROPERTY OF STUCKY VITALE ARCHITECTS. THIS SET OF DRAWINGS, IN WHOLE OR IN PART, HAS NOT BE REPRODUCED, WITHOUT THE WRITTEN CONSENT OF STUCKY VITALE ARCHITECTS. THIS INFORMATION IS PROTECTED UNDER U.S. COPYRIGHT LAW. ALL RIGHTS RESERVED.

Consultants

Seal:



Project:

AHEE JEWELERS
RETAIL ADDITION

20139 MACK AVE,
GROSSE POINTE
WOODS, MI 48236

Issued for

SITE PLAN APPROVAL 06.09.23

Drawn by:

JPM

Checked by:

JAV

Sheet Title:

COVER SHEET, GENERAL INFORMATION, DRAWING INDEX

Project No.:

2023.034

Sheet No.:

G001

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13205 Charlevoix Avenue
DETROIT, MICHIGAN
STATE WIDE

VALLEY
2-1040



REGISTERED
CIVIL ENGINEERS
LAND SURVEYORS

Certificate of Survey

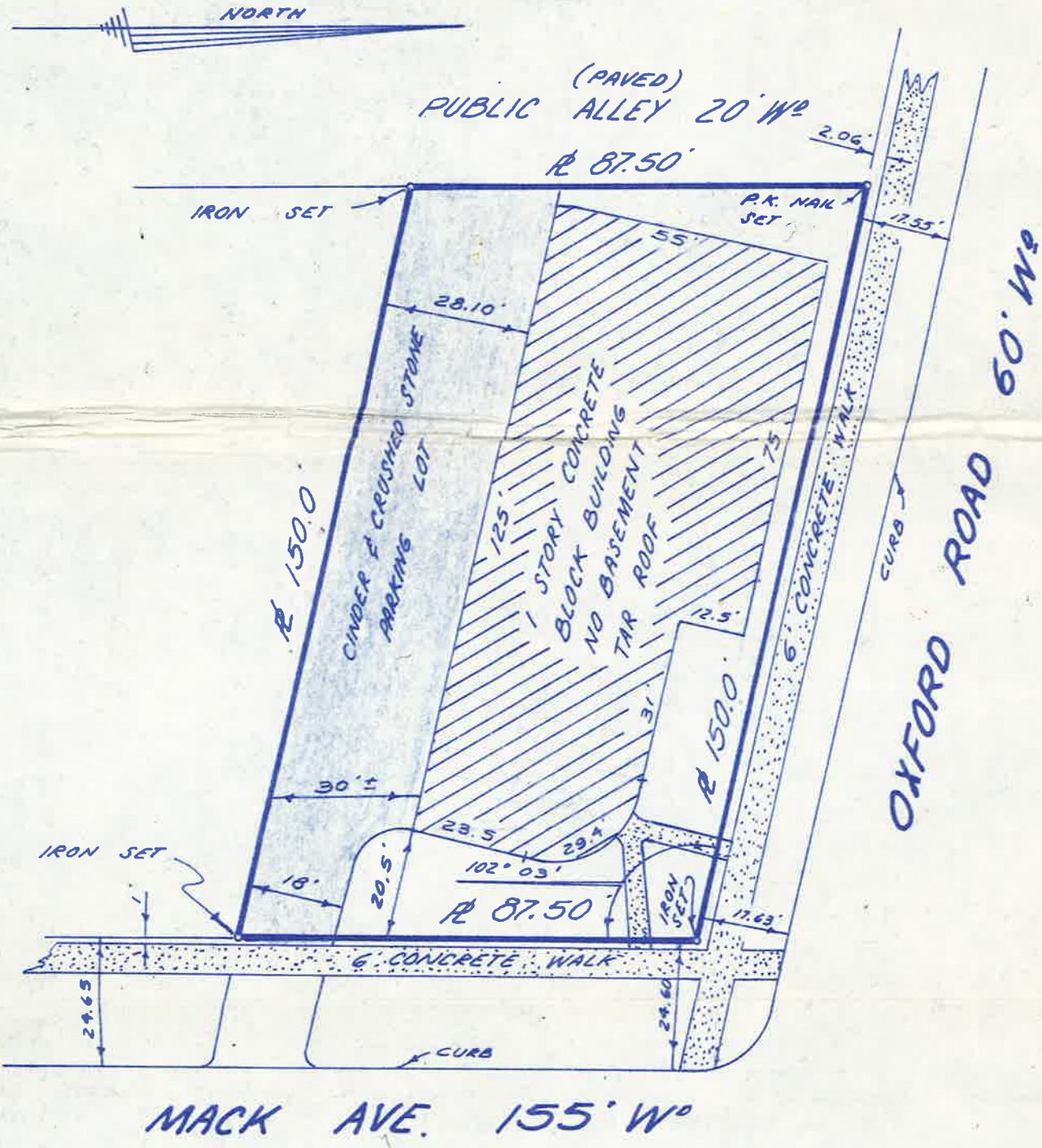
McMAHON ENGINEERING CO.

13205 CHARLEVOIX AVE.
DETROIT 18. MICH.

VA-2-1040



Lots 1603, 1604 and 1605 (as one) of
Arthur J. Scully's Eastern Super
Highway #1 Subdivision of parts of
P.C.'s. 393, 240 and 611, Grosse
Pointe Twp., Wayne County, Michigan.
As recorded in Liber 56, Page 77
of Wayne County Plats.



This is to Certify THAT WE HAVE
SURVEYED THE PROPERTY AS SHOWN
ON SKETCH ABOVE AND HAVE STAKED
THE CORNERS THEREOF.

NAME Shaheen, Gribbs & Shaheen
ADDRESS 3300 Guardian Bldg.
Detroit, Michigan 48226
DATE SURVEYED 2-1-68
SCALE Not to scale

JOB NO. 30154-68

John J. McMahon
REGISTERED CIVIL ENGINEER OR SURVEYOR

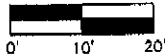
PROPERTY DESCRIPTION:

CERTIFIED SURVEY

LOTS 1606 AND 1607 OF ARTHUR J. SCULLY'S EASTERN SUPER-HIGHWAYS SUBDIVISION NO. 1 OF PARTS OF P.C. 393, P.C. 240 AND P.C. 611, GROSSE-POINTE TOWNSHIP (NOW CITY OF GROSSE POINTE WOODS), WAYNE COUNTY, MICHIGAN. AS RECORDED IN LIBER 56 OF PLATS, PAGE 77, WAYNE COUNTY RECORDS.

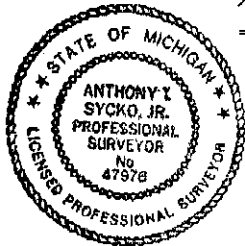
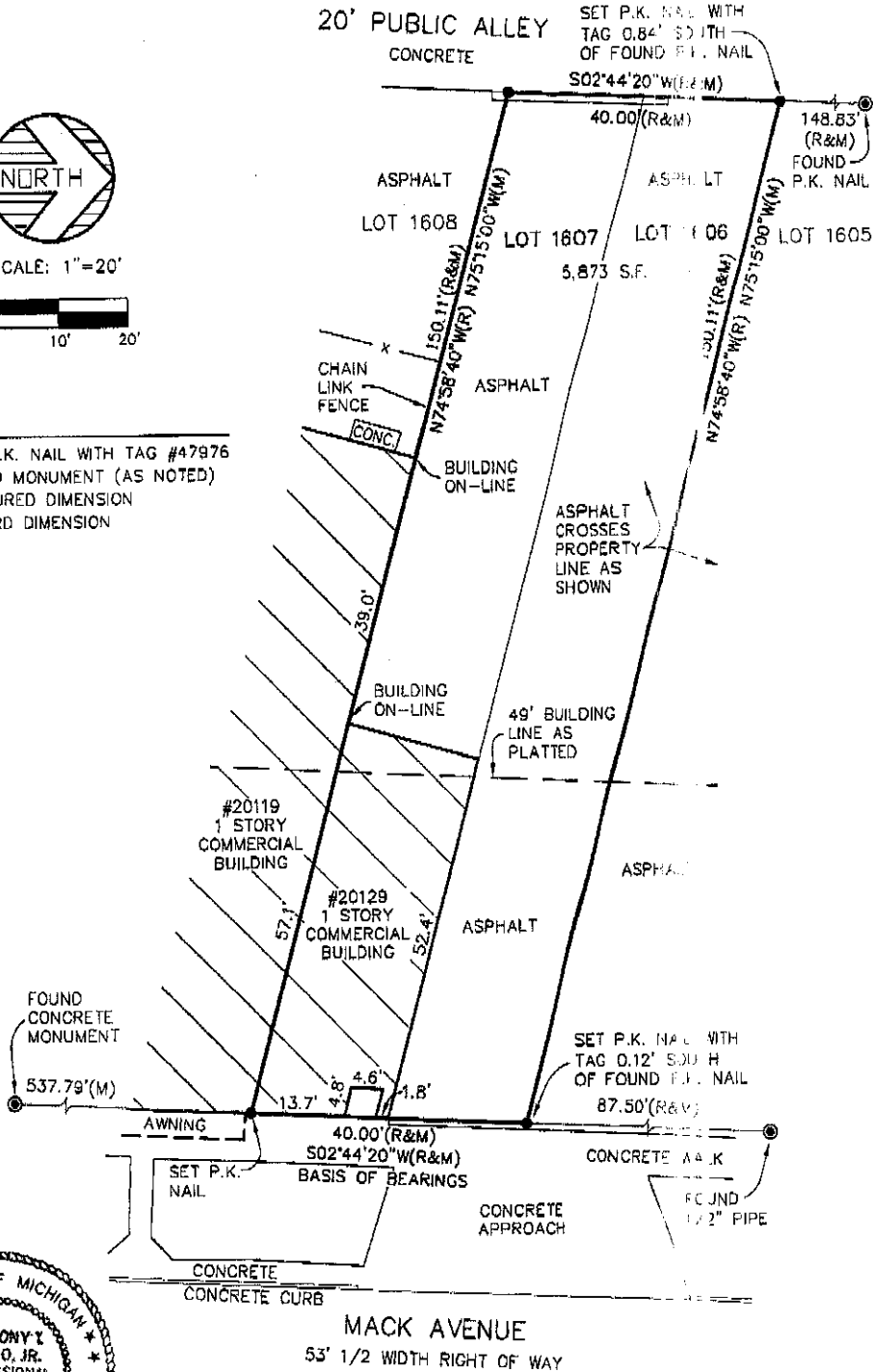


SCALE: 1"=20'




LEGEND

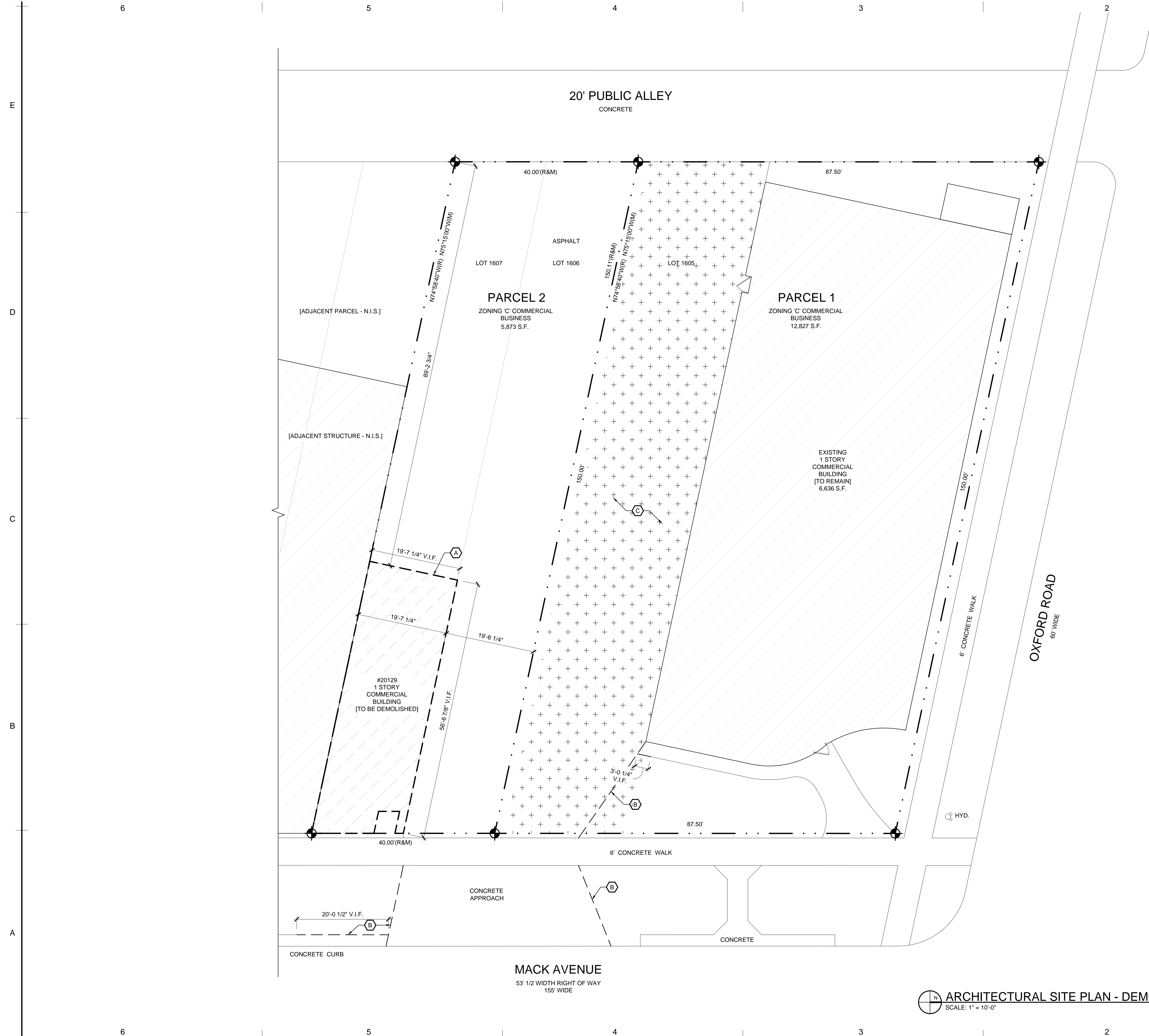
- SET P.K. NAIL WITH TAG #47976
- ⊙ FOUND MONUMENT (AS NOTED)
- (M) MEASURED DIMENSION
- (R) RECORD DIMENSION



I HEREBY CERTIFY THAT I HAVE SURVEYED THE LAND HEREIN PLATTED AND DESCRIBED AND THAT THE RATIO OF CLOSURE MEETS THE REQUIREMENTS OF PUBLIC ACT 132 OF 1970.

ANTHONY T. SYCKO JR., P.S. NO. 47976

 KEM-TEC & ASSOCIATES 22556 GRATIOT AVE. GROSSE-POINTE, MI 48021 (586)772-2222 FAX (586)772-4048	
CERTIFIED TO: FRANKLIN BANK AND FRED T. AHEE JEWELERS	
FIELD SURVEY: KB RE	DATE: MARCH 25, 2004
DRAWN BY: TS	SHEET: 1 OF 1
SCALE: 1" = 20'	JOB NO. 04-06903A



GENERAL SITE PLAN NOTES:

1. PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:
2. CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
3. ASPHALT: BASE COURSE - MDT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.
4. PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
5. ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
6. ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.
7. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
8. ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.
9. ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
10. CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.
11. FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.
12. EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.
13. EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.
14. SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.
15. ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.
16. FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.
17. ALL LANDSCAPED AREAS TO BE PROVIDED W/ SPRINKLER SYSTEMS FOR 100% COVERAGE.

SITE PLAN KEY NOTES:

(TYPICAL THIS SHEET ONLY)

- (A) DEMOLISH EXISTING BUILDING.
- (B) RE-WORK EXISTING CURB CUT AND APPROACH. COORDINATE WITH NEW WORK APPROACH.
- (C) DEMOLISH EXISTING PARKING LOT PAVING. PREP SITE FOR NEW PROPOSED ADDITION. COORDINATE WITH NEW WORK PLANS.

PROPERTY DESCRIPTION:

PARCEL 1 - LOTS 1603, 1604 AND 1605 (AS ONE) OF ARTHUR J. SCULLY'S EASTERN SUPER-HIGHWAY #1 SUBDIVISION OF PARTS OF P.C. 'S 393, 240 AND 611, GROSSE-POINTE TWP. (NOW CITY OF GROSSE POINTE WOODS), WAYNE COUNTY, MICHIGAN. AS RECORDED IN LIBER 56 OF PLATS, PAGE 77, WAYNE COUNTY RECORDS.

PARCEL 2 - LOTS 1606 AND 1607 OF ARTHUR J. SCULLY'S EASTERN SUPER-HIGHWAYS SUBDIVISION NO. 1 OF PARTS OF P.C. 393, P.C. 240 AND P.C. 611, GROSSE-POINTE TOWNSHIP (NOW CITY OF GROSSE POINTE WOODS), WAYNE COUNTY, MICHIGAN. AS RECORDED IN LIBER 56 OF PLATS, PAGE 77, WAYNE COUNTY RECORDS.

ZONING INFORMATION:	
ZONING 'C' COMMERCIAL BUSINESS	
SETBACKS:	
FRONT YARD	(0)
SIDE YARD	(0)
REAR YARD	(0)
EASEMENTS:	
NONE RECORDED	
EXISTING LOADING/UNLOADING AT REAR ALLEY (UNCHANGED)	

GENERAL NOTE:
PROPERTY INFORMATION BASED ON SURVEY CONDUCTED BY MCMAHON ENGINEERING CO. DATED 2-1-68.

BUILDING FOOTPRINT INFORMATION BASED ON SURVEY (IBID) AS WELL AS CONSTRUCTION DOCUMENTS FOR 2018 BUILDING EXPANSION.

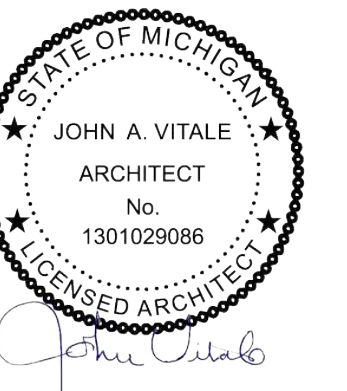
NEIGHBORING PROPERTY INFORMATION BASED ON SURVEY CONDUCTED BY KEM-TEC & ASSOCIATES DATED MARCH 25, 2004.



STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MI 48067-0925
P. 248.546.6700
F. 248.546.8454
WWW.STUCKYVITALE.COM

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Consultants:



Project:
AHEE JEWELERS
RETAIL ADDITION
20139 MACK AVE.
GROSSE POINTE WOODS,
MI. 48236

Issued for:
OWNER REVIEW 04.20.23
SITE PLAN 06.09.23
APPROVAL

Drawn by : JPM
Checked by : JAV
Sheet Title : SITE PLAN - DEMOLITION

Project No. : 2023.034

Sheet No. : A001

ARCHITECTURAL SITE PLAN - DEMOLITION
SCALE: 1" = 10'-0"

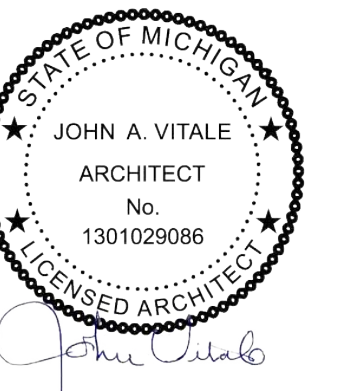
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Consultants:



Project:
**AHEE JEWELERS
 RETAIL ADDITION**
 20139 MACK AVE.
 GROSSE POINTE WOODS,
 MI. 48236

Issued for:
OWNER REVIEW 04.20.23
SITE PLAN 06.09.23
APPROVAL

Drawn by:
 JPM
 Checked by:
 JAV
 Sheet Title:
**SITE PLAN - NEW
 WORK**

Project No.:
2023.034

Sheet No.:
A002

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SITE PLAN KEY NOTES:
 (TYPICAL THIS SHEET ONLY)

- EXISTING BUILDING ENTRANCE
- RE-SURFACE PARKING LOT & APPLY NEW PARKING STRIPING AS SHOWN.
- RE-WORK EXISTING CURB CUT & APPROACH

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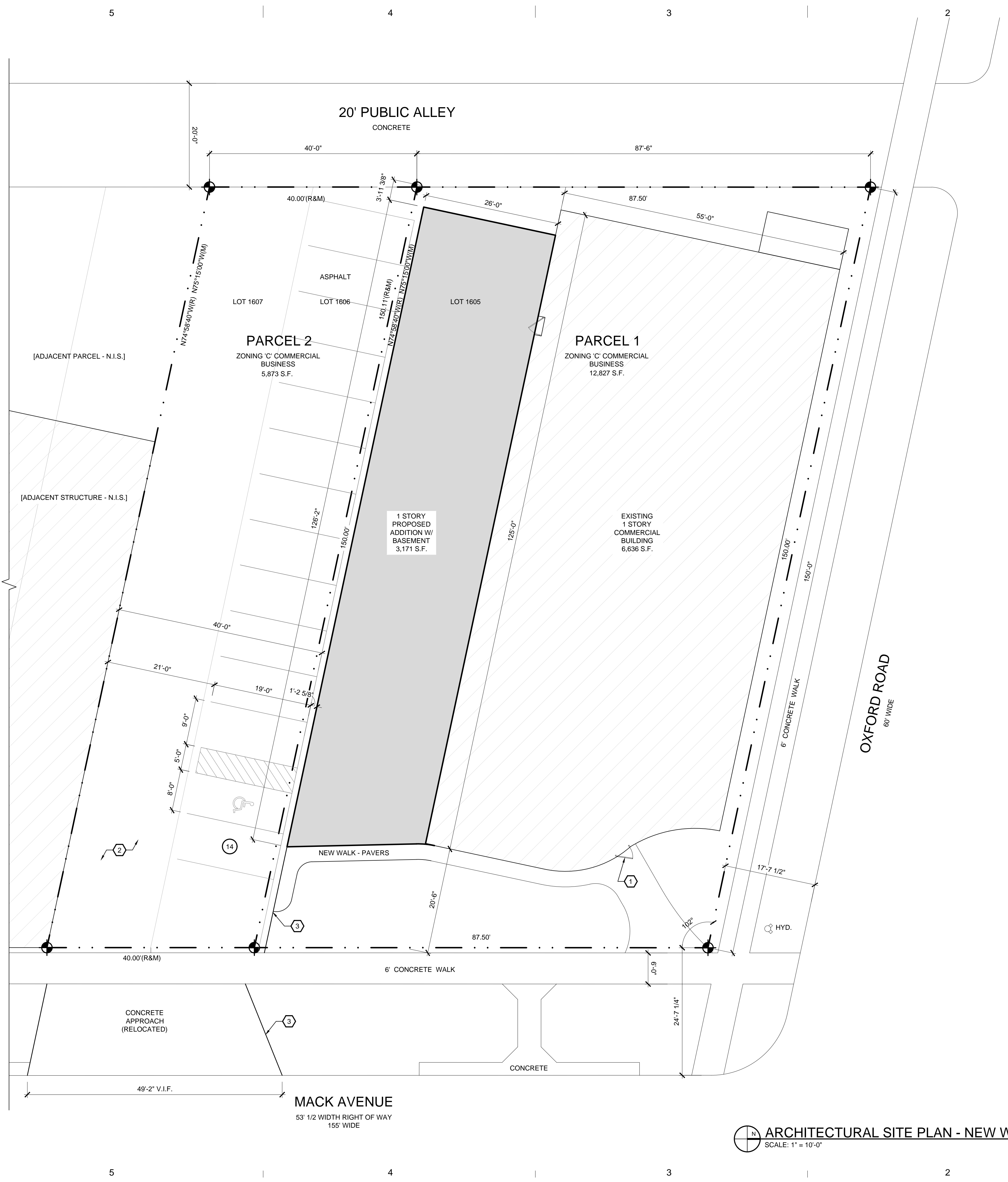
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PARKING CALCULATION DATA:	
EXISTING BUILDING AREA	= 6,636 SF
NEW WORK BUILDING AREA	= 3,171 SF
TOTAL BUILDING AREA	= 9,756 GSF
1 SPACE FOR 200 GSF OF FLOOR AREA	
TOTAL FLOOR AREA	= 9,807 GSF
	= 49 SPACES REQ'D
PROVIDED 14 SPACES.	
INCLUDES 1 BF SPACE	

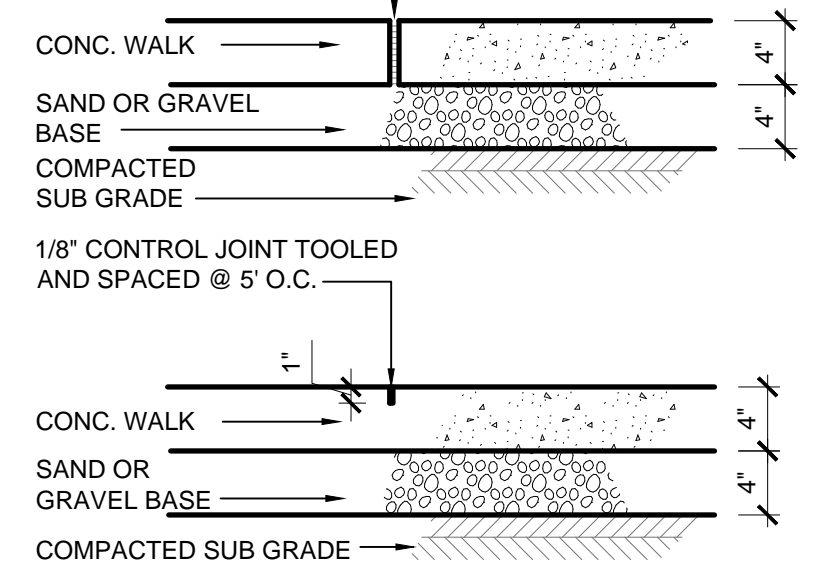
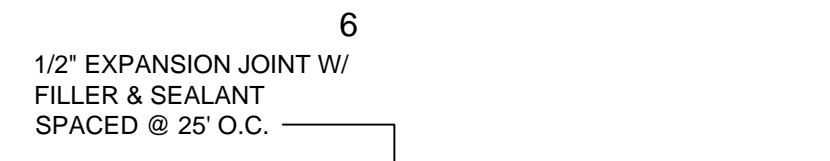
GENERAL NOTE:
 PROPERTY INFORMATION BASED ON SURVEY CONDUCTED BY MCMAHON ENGINEERING CO. DATED 2-1-68.

BUILDING FOOTPRINT INFORMATION BASED ON SURVEY (IBID) AS WELL AS CONSTRUCTION DOCUMENTS FOR 2018 BUILDING EXPANSION.

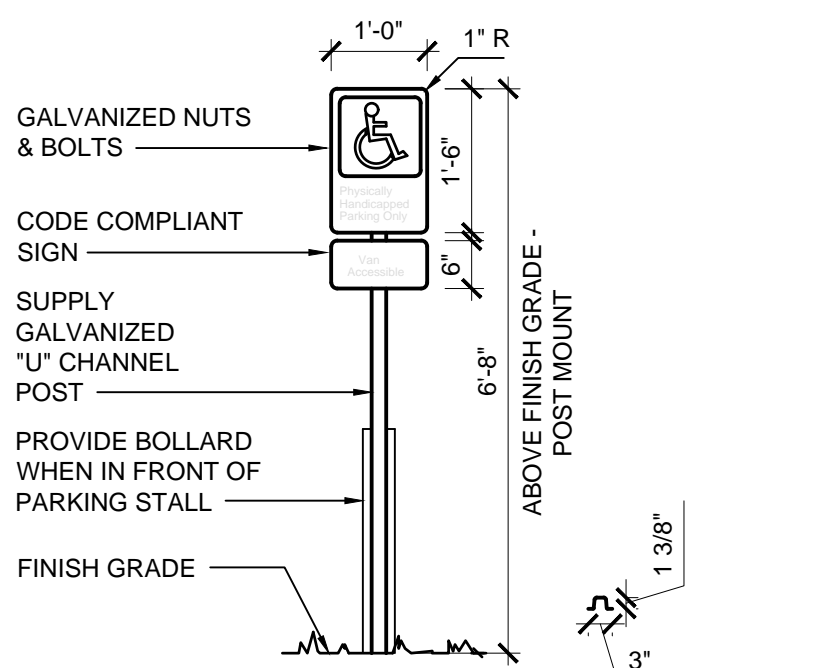
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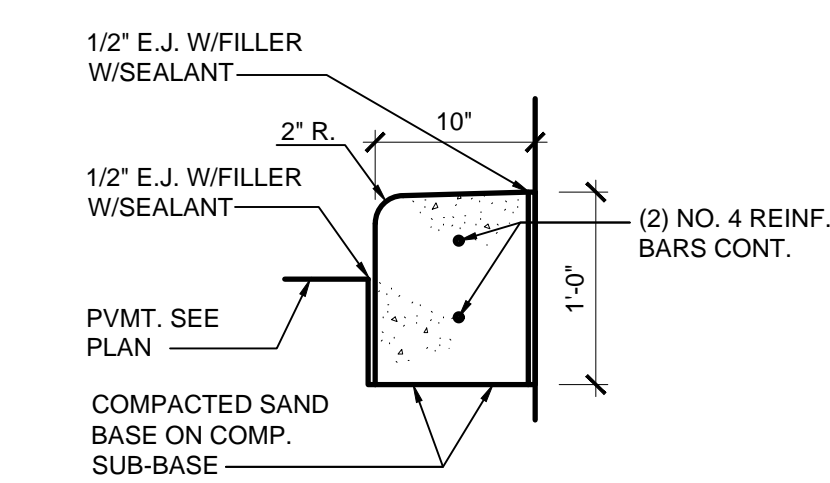
ARCHITECTURAL SITE PLAN - NEW WORK
 SCALE: 1" = 10'-0"



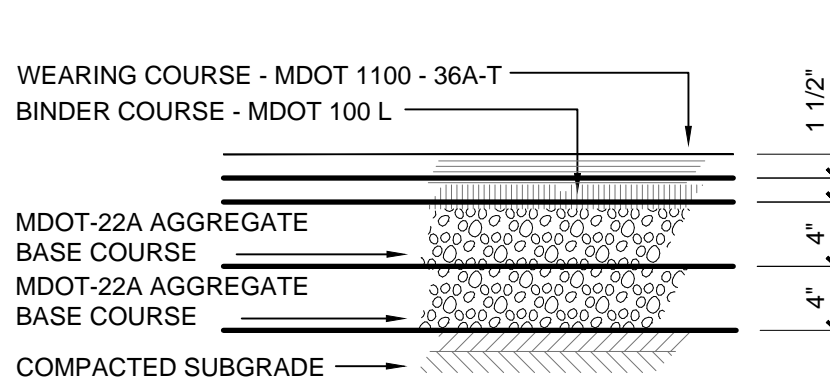
7 WALK JOINTING
 SCALE: 1" = 1'-0"



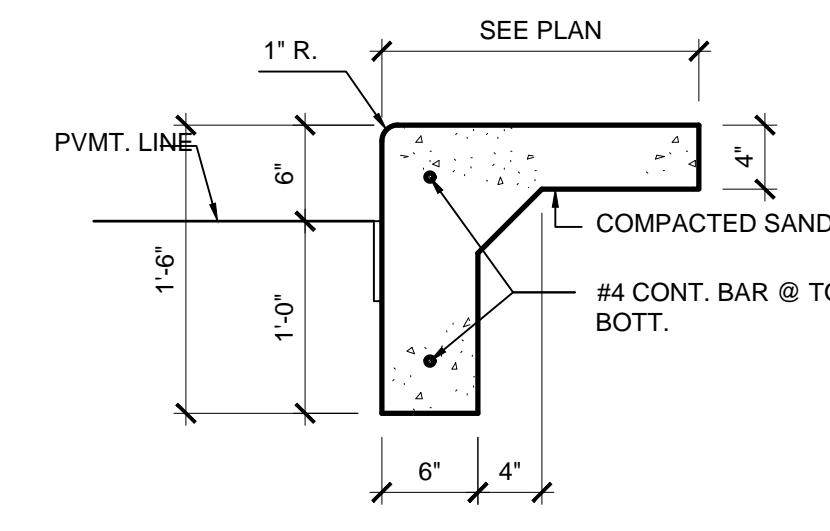
6 SIGNAGE DETAIL
 SCALE: 1/2" = 1'-0"



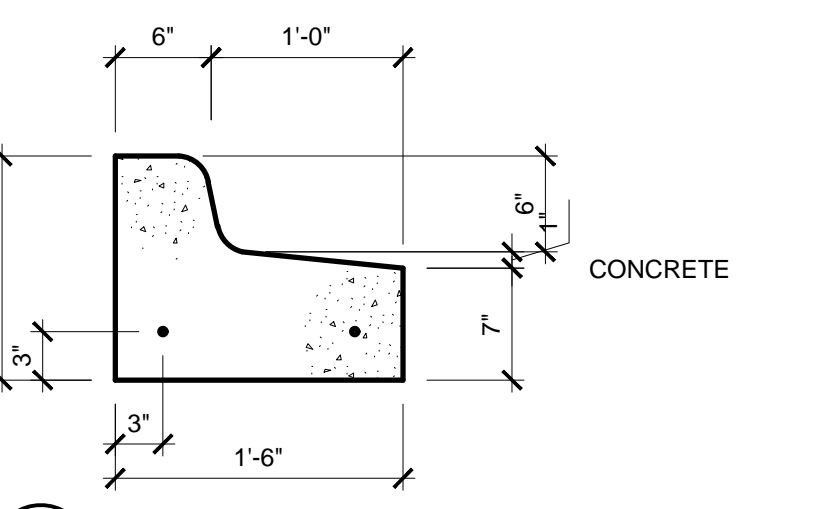
5 CURB DRIVE-UP
 SCALE: 1" = 1'-0"



4 ASPHALT PAVEMENT
 SCALE: 1" = 1'-0"

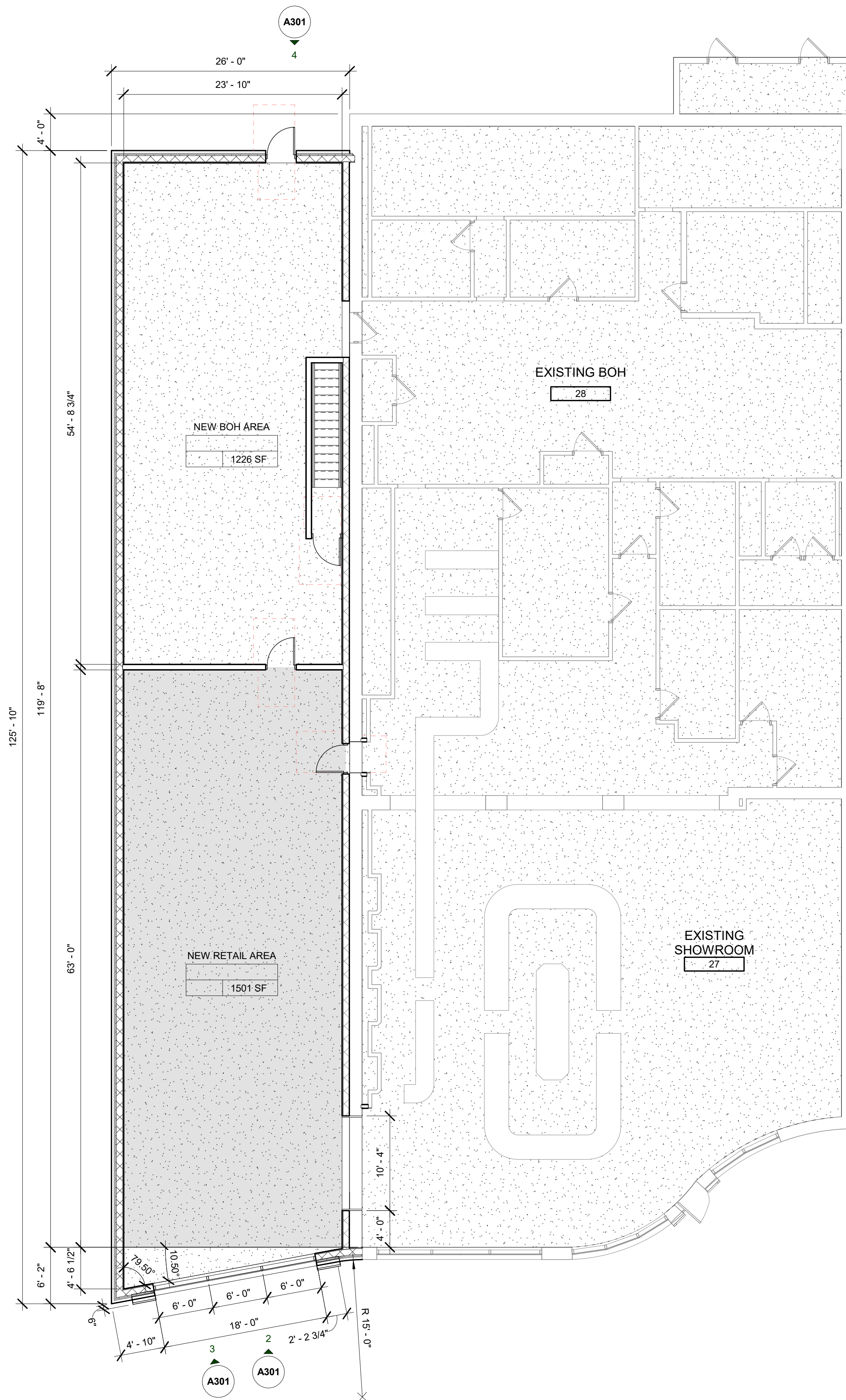


3 CURB & WALK DETAIL
 SCALE: 1" = 1'-0"



2 SPILL CURB
 SCALE: 1" = 1'-0"

DO NOT SCALE DRAWINGS
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1 FIRST LEVEL FLOOR PLAN
A123 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES

1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
3. WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
4. ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
6. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
7. PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS.
8. PAINT, PATCH AND REPAIR THE FOLLOWING TO MATCH EXISTING MATERIALS: FLOOR, WALL, AND CEILING SURFACES AS REQUIRED ADJACENT TO AREAS BEING DEMOLISHED. REFER TO DEMOLITION DRAWINGS FOR MORE INFORMATION.
9. REINFORCE WALL AND PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL CABINETS AND COUNTERTOPS.
10. THE CONTRACTOR SHALL PROVIDE AND INSTALL WALL REINFORCING FOR INSTALLATION OF ACCESSORIES, COAT RACKS, CASEWORK, AND OTHER WALL MOUNTED ITEMS.
11. CLEAN AND REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
12. ALL EXPOSED PIPES, DUCTS, AND CONDUIT TO BE PAINTED TO MATCH EXISTING.
13. PROVIDE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AT 30'-0" O.C. MAXIMUM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
14. COORDINATE WITH OWNER'S EQUIPMENT SUPPLIER FOR INSTALLATION REQUIREMENTS / LOCATIONS OF FLOOR / WALL / CEILING MOUNTED ITEMS: IE. CAMERAS, TV'S, SPEAKERS, SENSORS, SECURITY WIRING, VAULTS, ETC.
15. CONTRACTOR SHALL CONDUCT A ROUGH ELECTRICAL INSPECTION WITH OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, VOICE, SWITCH, THERMOSTAT, ETC.
16. A TACTILE SIGN STATING 'EXIT' AND COMPLYING WITH ICC-A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN 'AREA OF REFUGE', AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE.

KEYNOTE - NEW CONSTRUCTION LEGEND

KEYNOTE	KEYNOTE DESCRIPTION
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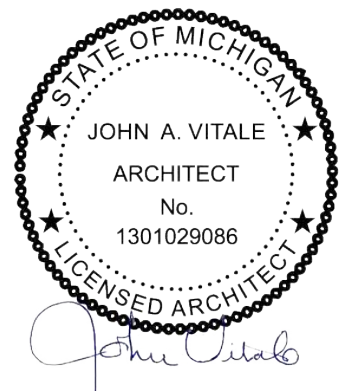


STUCKY VITALE ARCHITECTS
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ROYAL OAK, MI 48067-0925
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Consultants

Seal:



Project :
AHEE JEWELERS
RETAIL ADDITION

20139 MACK AVE,
GROSSE POINTE
WOODS, MI 48236

Issued for

DESIGN UPDATE	06.06.23
SITE PLAN	06.09.23
APPROVAL	

Drawn by :
JPM
Checked by :
JAV
Sheet Title :
FIRST LEVEL FLOOR PLAN

Project No. :
2023.034

Sheet No. :
A123

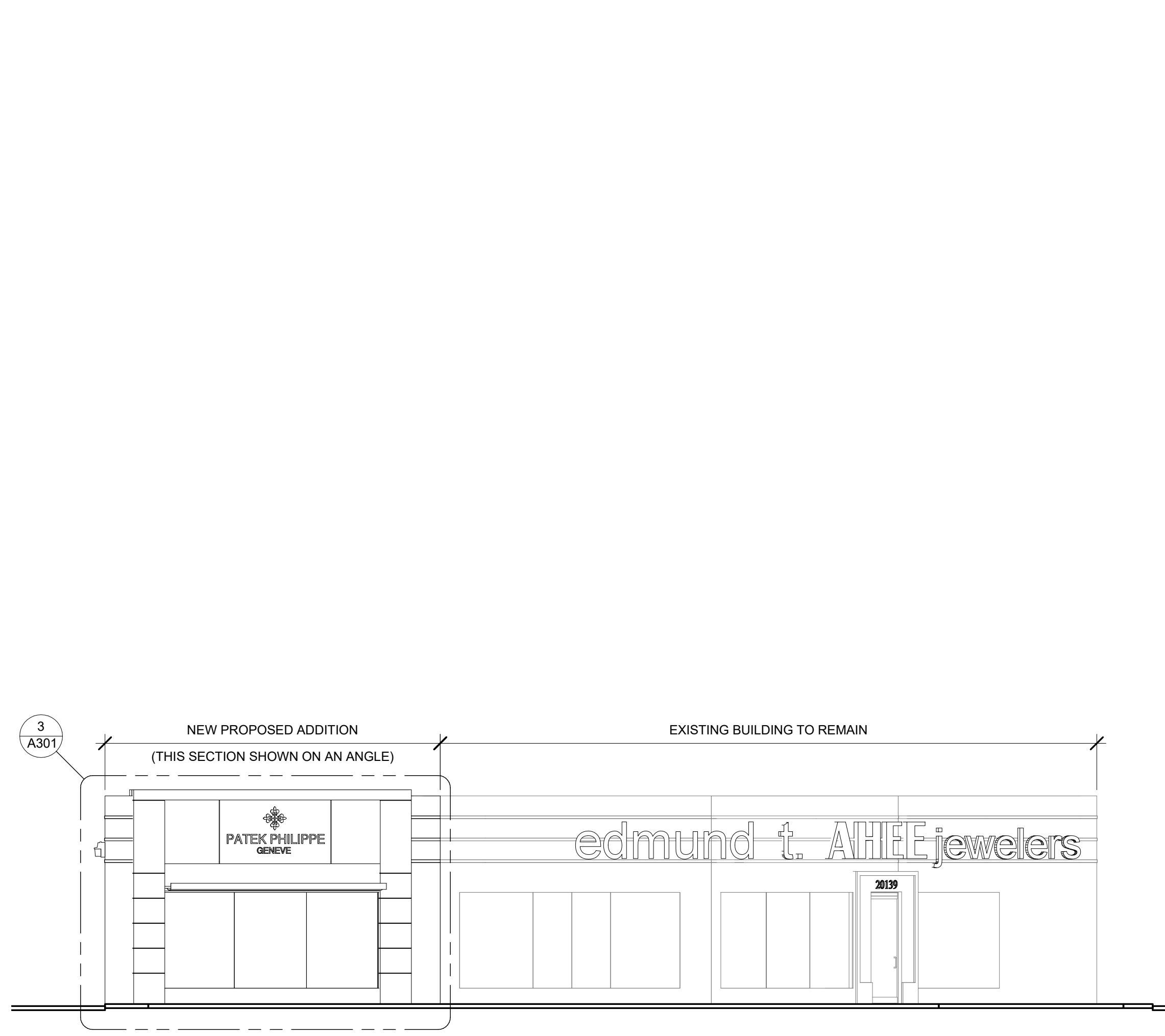
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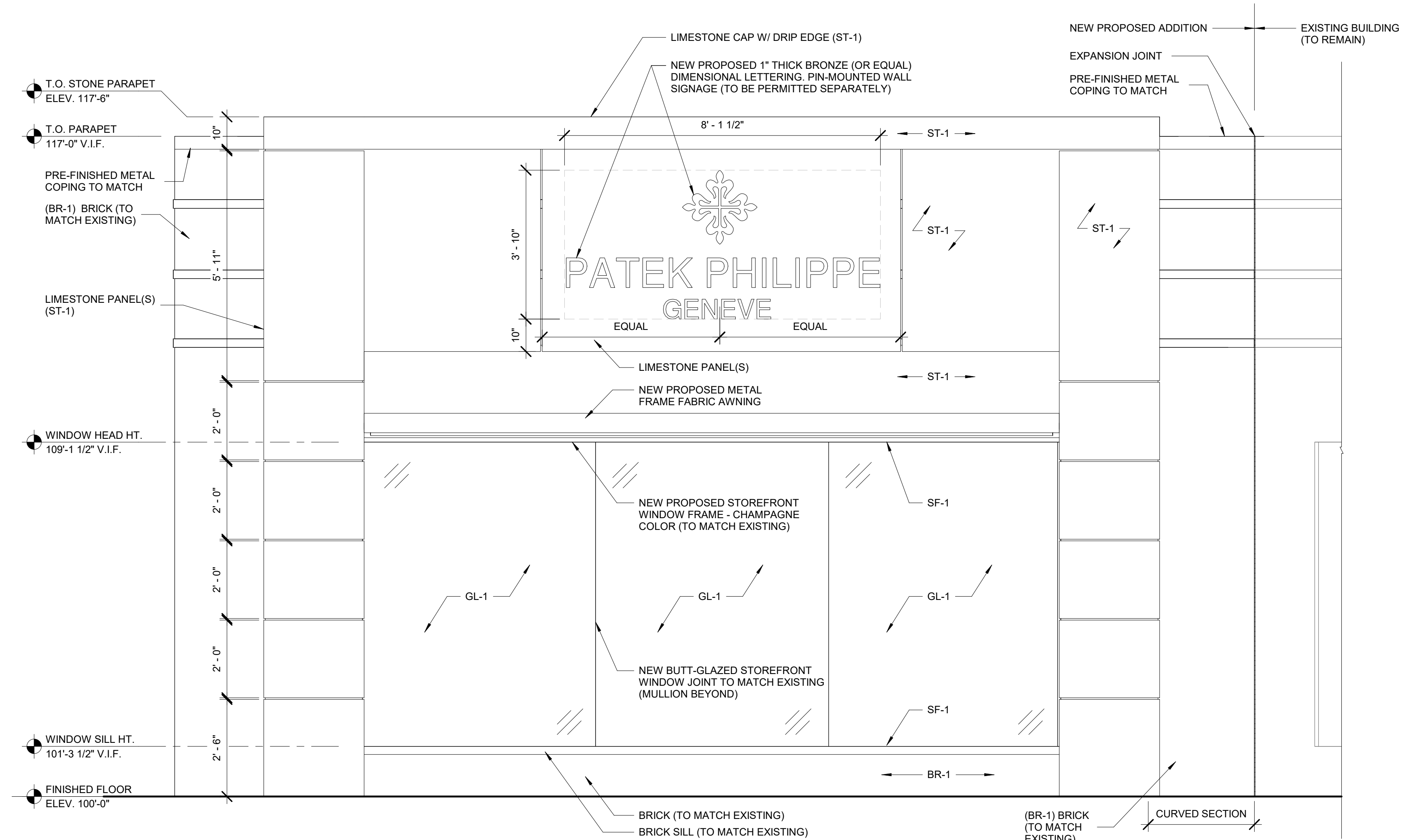
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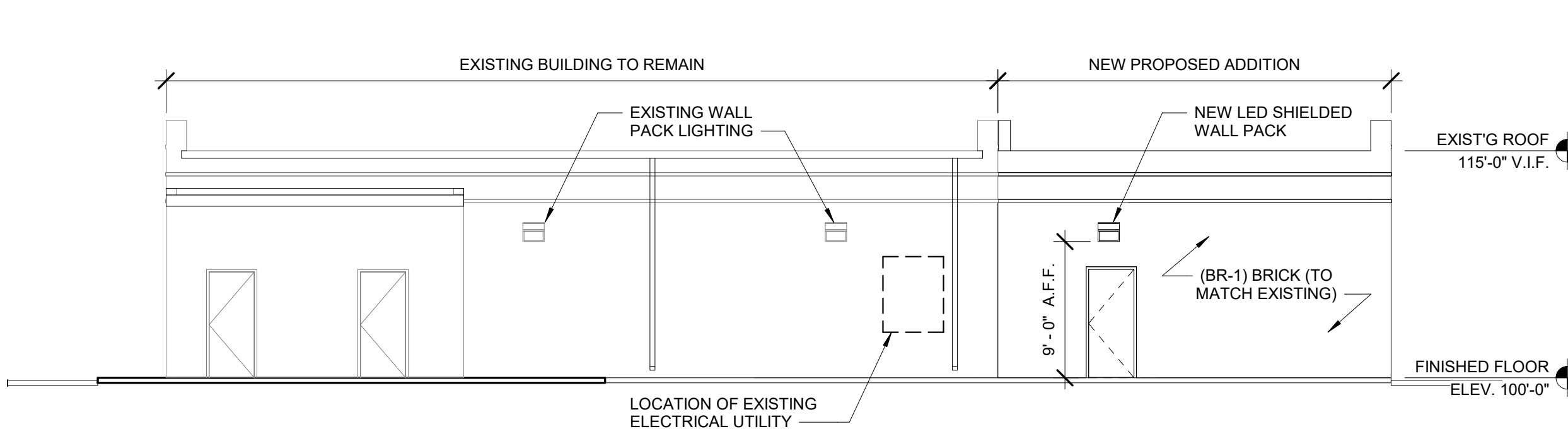
Consultants



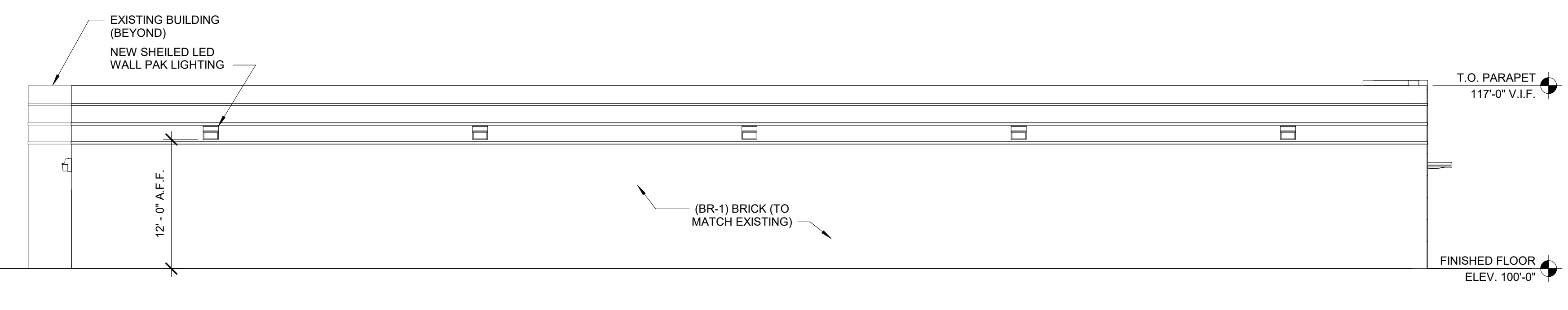
2 FRONT ELEVATION
 A301 1/8" = 1'-0"



3 ENLARGED FRONT ELEVATION
 A301 1/2" = 1'-0"

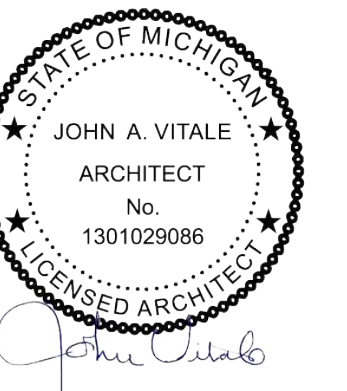


4 REAR ELEVATION
 A301 1/8" = 1'-0"



1 SIDE ELEVATION
 A301 1/8" = 1'-0"

Seal:



Project :
 AHÉE JEWELERS
 RETAIL ADDITION

20139 MACK AVE,
 GROSSE POINTE
 WOODS, MI 48236

Issued for
 SITE PLAN APPROVAL 06.09.23

Drawn by :
 JPM
 Checked by :
 JAV
 Sheet Title :
 EXTERIOR ELEVATIONS

Project No. :
 2023.034
 Sheet No. :
A301

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CONCEPTUAL RENDERING MACK AVE. - PERSPECTIVE VIEW



CONCEPTUAL RENDERING MACK AVE. - PERSPECTIVE VIEW



CONCEPTUAL RENDERING MACK AVE. - ELEVATION VIEW



CONCEPTUAL RENDERING MACK AVE. - ISOMETRIC VIEW

GENERAL NOTE:
CONCEPTUAL RENDERINGS FOR REFERENCE ONLY.
REFER TO SHEET A301 EXTERIOR ELEVATIONS FOR
BALANCE OF INFORMATION.

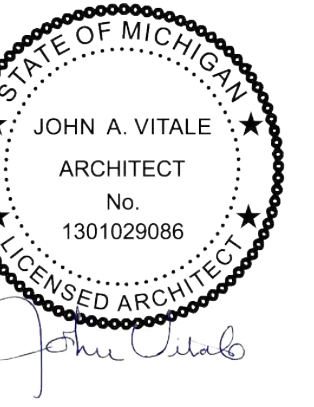


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Sheet No. :

A311

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