

**CITY OF GROSSE POINTE WOODS**  
**Building Department**  
20025 Mack Plaza, Grosse Pointe Woods, MI 48236  
(313) 343-2426

**SITE PLAN REVIEW**

**COMMERCIAL – Zoned As – Please Check One:**

- C – Commercial Business       RO-1 – Restricted Office       P-1 – Vehicular Parking  
 CF – Community Facilities       C-2 – High Intensity City Ctr

Property Owner Name: Eastside Dermatology Date: 01/26/2024

GPW Property Address: 20030 Mack Ave, Grosse Pointe Woods, MI 48236

Telephone #: Work (313) 884-3380 Home: \_\_\_\_\_

Contractor/Applicant Name: Stucky Vitale Architects

Telephone # 248-546-6700 Mobile Phone # \_\_\_\_\_ Fax # 248-546-8454

Contractor/Applicant Address: 27172 Woodward Ave. Royal Oak, MI. 48067

e-mail: jvitale@stuckyvitale.com

MI Builder's License #: \_\_\_\_\_ MI Driver's License #: \_\_\_\_\_

**Nature of Proposed Work:**

1-Story Addition & interior renovation to existing medical office building. Selective demolition of existing structure at connection to new addition. Demolition of existing garage structure. Parking lot reconfiguration & Improvements.

Value of Construction \$ \$90,000

Section 23a of State Construction Code Act of 1972, No. 230 of the Public Acts of 1972, being Section 125.1523a of the Michigan Compiled Laws, prohibits a person from conspiring to circumvent the licensing requirements of the State relating to persons who are to perform work on a residential building or a residential structure. Violations of Section 23a are subject to civil fines.

Applicant Signature: 

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and we agree to conform to all applicable laws of this jurisdiction.

#50-32(7)	Special Land Use PC Fee:	\$ 250
#50-42(a)	PC Site Plan Review Fee:	\$ 350
#50-42(b)(1)	Deposit – Est. Costs Incurred by the City:	\$ 400
<b>PC APPLICATION FEE DUE:</b>		<b>\$ 1,000</b>

Date Received: \_\_\_\_\_ Name: \_\_\_\_\_



# MCKENNA

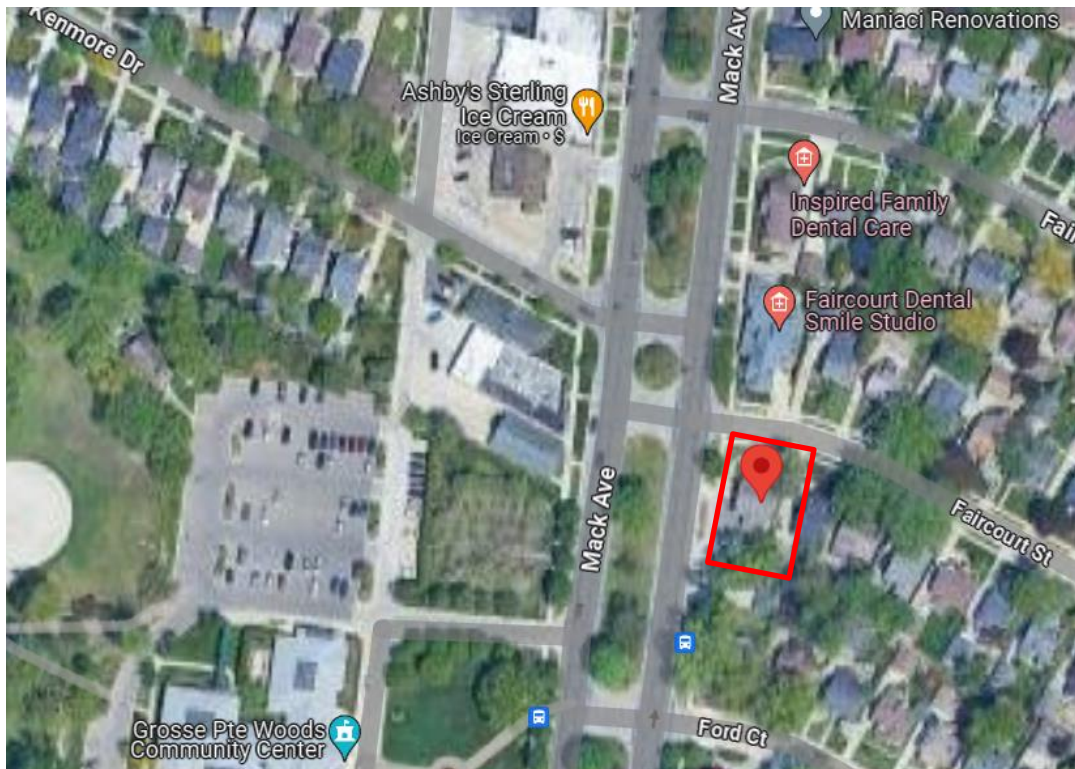
February 20, 2024

Planning Commission  
City of Grosse Pointe Woods  
20025 Mack Plaza Dr  
Grosse Pointe Woods, MI 48236

**Subject: 20030 Mack (Eastside Dermatology) Site Plan Review**  
Parcel ID: 012-04-0026-000  
Site Plan Review #1  
Zoning: RO-1 – Restricted Office

Dear Commissioners,

We have reviewed a site plan review application submitted by Stucky Vitale Architects on behalf of Eastside Dermatology (the “Applicant”). The site is located on the southeast corner of Mack Avenue and Faircourt and is within the city’s RO-1 (Restricted Office) Zoning District. The Applicant proposes to construct a one-story addition to an existing medical office building which would require selective demolition of the existing structure and total demolition of its accompanying garage. In addition, the Applicant has proposed reconfigurations and improvements to the existing parking lot and ingress/egress. Upon review of the proposed compared to the applicable ordinance standards, we offer the following comments for your review. Items that do not comply or require additional information are in **bold and underlined**.



**HEADQUARTERS**  
235 East Main Street  
Suite 105  
Northville, Michigan 48167

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## RECOMMENDATION

At the meeting, the applicant should provide colored renderings of the existing building and its proposed addition as well as offer substantial evidence that 6 off-street parking spaces can meet the parking demand.

Pending Planning Commission's findings that there is sufficient reason for an administrative parking waiver and that the building material and color on the exterior complement the existing building, we recommend approval with the following conditions or tabling the site plan until the listed items are addressed. Outstanding items for the applicant to address include:

1. Submit an updated site plan that clearly labels all setbacks, building height, and parking space dimensions;
2. Add the required traffic lane markings to the parking lot;
3. Provide lighting information (cut sheets, photometric plan, etc.) for administrative review to ensure proper shielding and positioning;
4. Provide additional landscaping as screening along parking areas and mechanical equipment;
5. Add a barrier between the parking-maneuvering lane and the sidewalk along Mack Ave to prevent cars from extending over or encroaching upon the public sidewalk;
6. Provide proposed signage details (dimensions, material, etc.)

Respectfully submitted,

**McKENNA**

Brigitte Smith Wolf, AICP  
Associate Planner

Ashley E. Amey  
Assistant Planner



*Rendering with the proposed changes, prepared by Stucky Vitale*



# Site Plan Review

## 1. ZONING AND MASTER PLAN DESIGNATIONS

The following chart provides information on existing land use, current zoning, and future land use.

Location	Existing Land Use	Zoning District	Future Land Use Designation
Subject Site	Dermatology Office	RO-1	Office
North	Dental Office	RO-1	Office
South	Single-Family Residential	R-1D	Office
East	Single-Family Residential	R-1D	Office
West	Dental Office & Dermatologist Office / Grosse Pointe Woods Community Center	C-F / RO-1	Institutional / Office

The 2006 Master Plan Future Land Use Map designates this site and the immediate surrounding areas to the north, south, east, and west *Office*, described in the text of the Master Plan as, “offices for professional and administrative uses, banks, medical and personal service establishments, etc. The district is the least intensive commercial district. It is also intended to provide a transitional area between residential and commercial zoning districts in areas that are lacking adequate separation” and equating to the City’s RO-1, Restricted Office zoning district which is the zoning category that currently applies to the site. The current use is a dermatology office, which the applicant intends to maintain. Complies.

## 2. DIMENSIONAL REQUIREMENTS

Standard	Requirement	Existing Conditions	Proposed Conditions	Proposed Compliance
Minimum Front Setback (West)	0'	~16 ft	<u>~16 ft</u>	Complies (Setbacks should be labeled on the site plan)
Minimum Side Setback (North / South)	<i>In RO-1 districts, side yards are not required along interior side lot lines if all walls abutting or facing such lot lines are of fire-proof construction and wholly without windows or other openings...  In RO-1 districts, no side yard is required on the street side of corner lots.</i>	~27 ft (North) / ~60 ft (South)	<u>~27 ft (North) / ~36 ft (South)</u>	Complies (Setbacks should be labeled on the site plan)
Minimum Rear Setback (East)	<i>In RO-1 districts, rear yards are not required along interior rear lot lines for buildings or parts of buildings not used as dwellings, if all walls abutting or facing such lot lines are of fire-proof construction and wholly without windows or other openings...</i>	5' 1/8"	5' 1/8"	Complies



	<i>shall be not less than five feet for one story.</i>			
<i>Maximum Building Height</i>	2 stories, 28 feet	1 story, <u>~24 ft</u>	1 story, <u>~20.5 ft</u>	Complies

**Findings: While it appears dimensional requirements may be met, the Applicant must clarify the setbacks and height of the building by clearly labeling it within the site plan. This should be updated in future site plan revisions and submissions.**

### **3. ARCHITECTURE AND BUILDING DESIGN (Sec. 50-5.18)**

*The purpose of these design standards is to promote a coordinated and complimentary use of design elements that result in a theme oriented, harmonious appearance and image for the commercial and high intensity residential areas of the city.*

The elevations provided by the Applicant illustrate that the building addition will be primarily composed of dark gray / black brick with a horizontal board siding as an accent. This will be paired with wall wash sconces, a black metal roof trim, and black standing seam roofing. The existing building is composed of white painted brick, which the Applicant intends to maintain.

Per Section 50-5.18 of the Zoning Ordinance, new construction, renovations, remodeling, or exterior building alterations in the RO-1 restricted office district shall be in conformance with approved design standards. While the architectural design and current colors of the existing building conform to these standards, it is currently unclear whether the proposed addition conforms in terms of color and architecture. **To provide the Planning Commission with a clear picture of the proposed addition and how it relates to the existing building, the applicant must provide colored renderings and elevations. In addition, per Section 50-6.1(G)(7) of the Zoning Ordinance, the applicant must bring samples of the material to be used on the building’s exterior to the Planning Commission meeting.**

### **4. PARKING AND LOADING**

The current site configuration includes 5 spaces off of Mack Avenue, which can be accessed via a one-way ingress, approximately 24 feet wide, and a one-way egress about 16 feet wide. The applicant intends to modify the existing parking layout so the site has 6 spaces. Four of these spaces will be situated along Mack Avenue, accessed via the existing ingress/egress. The two remaining spaces, including one barrier-free space, are to be located along Faircourt which will be accessed via a new curb cut that is approximately 28 feet wide.

Per Section 50-5.3(H), retail stores require one off-street parking space for each 200 square feet of gross floor area. With the addition of the new building, the total building area will be 1,815 gross square feet (existing building area of 1,370 square feet + new building area of 445 square feet), and therefore **7 parking spaces are required. Should there be substantial evidence to support that 6 spaces can meet the parking demand, an administrative parking waiver could be explored.** The parking spaces being proposed adhere to the required dimensions of 9 feet by 19 feet. A loading space is not required, as the total building area is less than 2,000 square feet.

Additionally, Section 50-5.3(U) states that parking lots shall be provided with traffic lane markings to indicate entrances and exits, and to provide for the safe and orderly movement of vehicles. **These required traffic lane markings are depicted on the plans, however, the Applicant must note that they will be painted onto the existing ingress/egress.**



Parking spaces are required to be a minimum of 9' by 19'. **The parking spaces south of the building should be labeled to ensure the spaces meet the minimum requirements.**

Given that the parking lot and maneuvering lane abuts the sidewalk, the design should meet the requirements of Section 50-5.3 (N). **A barrier should be added for the portion of the parking-maneuvering lane that abuts the public sidewalk to prevent cars from extending over or encroaching upon the public sidewalk. Such barrier shall be not in excess of eight inches in height, nor less than six inches in height and shall be firmly attached or anchored to such parking lot; and such barrier shall be of such type as to prevent vehicles using such parking lot from interfering with or jeopardizing pedestrian traffic on such public sidewalk.**

Additionally, the off-street parking areas is adjacent to a residential property as must comply with the requirements of Section 50-5.3(Q). There must be a setback of at least 10 feet between the parking areas and adjoining residentially zoned parcel. A 2-4 foot ornamental masonry wall or dense shrubbery screen is required. The proposal plans to preserve the dense shrubbery, which blocks the parking spaces with enough space to preserve the clear vision area for cars existing both parcels.

## 5. SIGNS

Currently, the Applicant has existing wall signage located on the building's western (front) elevation. The applicant proposes to remove the existing wall signage, which will be replaced by a new wall sign. Chapter 32 of the City's Code of Ordinance concerns signage. **To determine compliance with Ordinance standards, the applicant must provide additional information about the wall sign.** The following provisions are relevant to the proposed signage:

1. *Material.* Wall signs shall be constructed of noncombustible material, except that approved combustible materials or approved combustible plastics may be used as provided in this Code, and wood may be used for moldings and purely ornamental features.  
**The applicant must clarify the wall sign material.**
2. *Thickness.* No wall sign shall be more than eight inches thick.  
**The applicant must clarify the sign thickness.**
3. Wall signs upon building fronts containing up to 40 feet of building frontage shall not exceed three feet in height or a maximum of 30 square feet in size. Wall signs upon building fronts containing up to 40 feet of building frontage shall not exceed three feet in height or a maximum of 30 square feet in size. Wall signs upon building fronts containing 41 feet to 60 feet of frontage shall not exceed three feet in height or a maximum of 42 square feet in size.  
**The applicant must both clarify the length of the front façade of the building and the dimensions of the wall sign.**
4. *Lettering.* A list of approved and prohibited lettering styles will be maintained by the building official as approved by the planning commission resolution. Signs shall be comprised of not more than two styles of lettering. There shall be no more than three sizes of lettering per sign.  
**The applicant must clarify the sign font(s).**
5. *Colors.* A maximum of three complimentary, muted colors or shades of colors may be used for a sign. A list of approved colors will be maintained by the building official as approved by the planning commission resolution.  
**The applicant must clarify the sign color(s).**

## 6. LIGHTING

*Exterior lighting shall be designed so that it is shielded from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.*

The applicant has proposed two wall wash sconces on the south elevation of the new addition. **The applicant must provide additional lighting information such as cut sheets, wattage, existing lighting, and/or a photometric plan to determine compliance with Zoning Ordinance standards.**



## 6. LANDSCAPING

*The site design shall provide reasonable visual and sound privacy for dwelling units located within the project and adjacent to the project. Fences, walks, barriers and landscaping shall be used, as appropriate, for the protection and enhancement of property and the privacy of its occupants.*

With the introduction of additional parking spaces on site, the Applicant must ensure that nearby properties are not affected by potential nuisances such as headlight glare. **We recommend landscaping be introduced to the site wherever possible, especially along the west side of the parking spaces along Faircourt St that can be viewed from the public right of way. Appropriate landscaping options would include large evergreen shrubs or trees. In addition, all mechanical equipment (A/C units, transformers, generators, meters, etc.) must be screened by evergreen landscaping.**

# EASTSIDE DERMATOLOGY

20030 MACK AVE.  
GROSSE POINTE WOODS

## ARCHITECT

STUCKY VITALE ARCHITECTS  
27172 WOODWARD AVENUE  
ROYAL OAK, MICHIGAN 48067  
(248) 546-6700

## PROJECT INFORMATION

### PROJECT DESCRIPTION

SMALL 4 EXAM ROOM ADDITION AND INTERIOR RENOVATION OF EXISTING DERMATOLOGY OFFICE.

EXISTING BUILDING: 1,370 SF  
NEW ADDITION: 445 SF

EXISTING GARAGE TO BE DEMOLISHED TO ADD ADDITIONAL PARKING TO THE SITE. DRIVEWAY ENTRANCE/EXIT ONTO MACK AVE. TO REMAIN. NEW CURB CUT AND PARKING SPACES TO BE ADDED TO NORTH SIDE OF LOT. ONE SPACE TO BE ADA ACCESSIBLE PARKING SPACE. SITE WORK TO INCLUDE NEW PLANTERS AND LANDSCAPING.

### APPLICABLE CODES

2015 MICHIGAN BUILDING CODE (MBC)  
2015 MICHIGAN MECHANICAL CODE (MMC)  
2018 MICHIGAN PLUMBING CODE (MPC)  
2015 MICHIGAN ENERGY CODE (MEC)  
2013 ANSI/ASHRAE/IES 90.1  
2017 NATIONAL ELECTRICAL CODE (NEC)  
2015 NFPA 101 LIFE SAFETY CODE

### BARRIER FREE REQUIREMENTS:

2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (DOJ)  
MBC-2015, CHAPTER 11  
ICC / ANSI 117.1 - 2009, EXCEPT SECTION 611 & 707

### ZONING INFORMATION:

ZONED RO-1 (UNCHANGED)  
MAX LOT COVERAGE: 40% REQUIRED  
MAX HEIGHT: 28FT  
MAX STORIES: 2

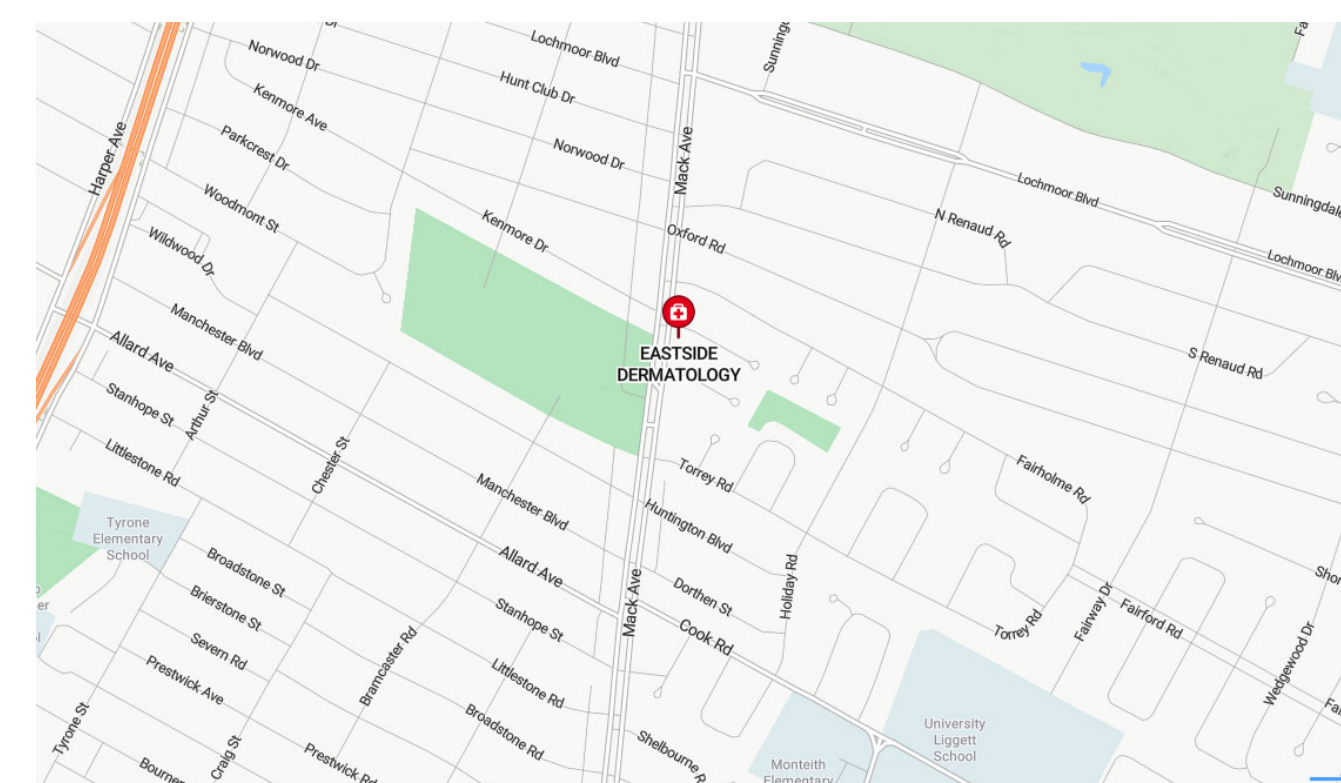
## SHEET DESIGNATION

DRAWINGS ARE NUMBERED ACCORDING TO THE FOLLOWING CONVENTIONS:

# A001

DRAWING SEQUENCE NUMBER	
DISCIPLINE DESIGNATOR	DRAWING TYPE DESIGNATOR
G GENERAL	0 GENERAL, LEGENDS
AD ARCHITECTURAL	1 PLANS
DEMOLITION	3 EXTERIOR ELEVATIONS
A ARCHITECTURAL	

## SITE LOCATION MAP



SHEET INDEX - GENERAL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
G001	COVER SHEET, GENERAL INFORMATION, DRAWING INDEX	SITE PLAN REVIEW	01.26.24
DRAWINGS: 1			

SHEET INDEX - ARCHITECTURAL DEMOLITION			
DWG #	DRAWING NAME	ISSUED FOR	DATE
AD100	DEMOLITION PLANS - SITE & FLOOR PLAN	SITE PLAN REVIEW	01.26.24
DRAWINGS: 1			

SHEET INDEX - ARCHITECTURAL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
A001	ARCHITECTURAL SITE PLAN	SITE PLAN REVIEW	01.26.24
A010	FLOOR PLANS	SITE PLAN REVIEW	01.26.24
A011	ROOF PLAN	SITE PLAN REVIEW	01.26.24
A301	EXTERIOR ELEVATIONS N/S	SITE PLAN REVIEW	01.26.24
A302	EXTERIOR ELEVATIONS E/W	SITE PLAN REVIEW	01.26.24
A311	EXTERIOR 3D VIEWS	SITE PLAN REVIEW	01.26.24
DRAWINGS: 6			

**NOTE:**  
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.



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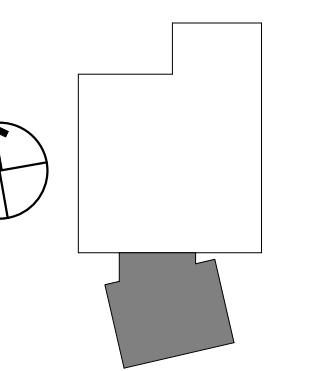


Project :

EASTSIDE DERMATOLOGY

20030 MACK AVE.  
GROSSE POINTE WOODS

Key Plan:



Issued for

SITE PLAN REVIEW 01.26.24

Drawn by :

DCM

Checked by :

JAV

Sheet Title :

COVER SHEET, GENERAL INFORMATION, DRAWING INDEX

Project No. :

2021.169

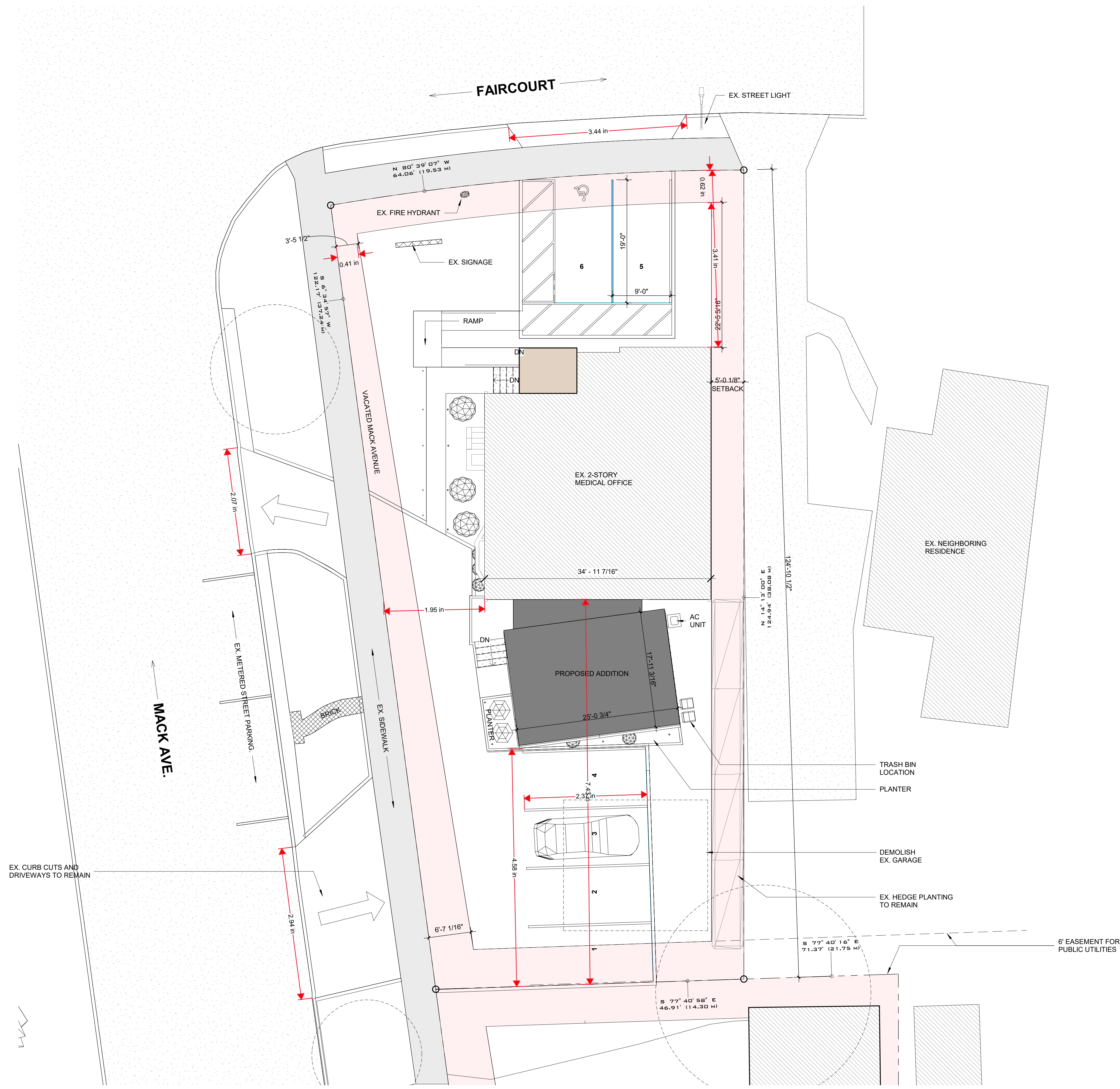
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G001



**GENERAL FLOOR PLAN NOTES: (TYPICAL THIS SHEET ONLY)**

- THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- WALL THICKNESS ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
- ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
- PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
- PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS.
- PAINT, PATCH AND REPAIR THE FOLLOWING TO MATCH EXISTING MATERIALS: FLOOR, WALL, AND CEILING SURFACES AS REQUIRED ADJACENT TO AREAS BEING DEMOLISHED. REFER TO DEMOLITION DRAWINGS FOR MORE INFORMATION.
- REINFORCE WALL AND PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL CABINETS AND COUNTERTOPS.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL WALL REINFORCING FOR INSTALLATION OF ACCESSORIES, COAT RACKS, CHART RACKS, CASEWORK, AND OTHER WALL MOUNTED ITEMS.
- CLEAN AND REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
- ALL EXPOSED PIPES, DUCTS, AND CONDUIT TO BE PAINTED TO MATCH EXISTING.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AT 30'-0" O.C. MAXIMUM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
- COORDINATE WITH OWNER'S EQUIPMENT SUPPLIER FOR INSTALLATION REQUIREMENTS / LOCATIONS OF FLOOR / WALL / CEILING MOUNTED ITEMS; IE. CAMERAS, TV'S, SPEAKERS, SENSORS, SECURITY WIRING, VAULTS, ATM'S.
- CONTRACTOR SHALL CONDUCT A ROUGH ELECTRICAL INSPECTION WITH OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, VOICE, SWITCH, THERMOSTAT, ETC.
- CONTRACTOR TO FILL ANY AND ALL EQUIPMENT PENETRATIONS OR DEPRESSIONS INTO OR THROUGH THE EXISTING SLAB THAT WILL NOT BE UTILIZED TO FEED NEW EQUIPMENT (I.E. ABANDONED FLOOR CORES, IMPRESSION FROM PREVIOUS EQUIPMENT FLOOR PLATE REMOVAL). PENETRATIONS SHALL BE FILLED WITH NON-SHRINK GROUT. THE SIDES OF ANY EXISTING OPENINGS SHALL BE MODIFIED/TAPERED SO THAT THEY ARE WIDER AT THE TOP THAN AT THE BOTTOM. FOR LARGE OPENINGS, PROVIDE ONE (1) #5 BAR 2" UP FROM BOTTOM OF HOLE.
- A TACTILE SIGN STATING 'EXIT' AND COMPLYING WITH ICC-A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN 'AREA OF REFUGE', AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE.
- PROVIDE PERMANENT MIN 3-INCH HIGH CONTRASTING COLOR MARKING AND IDENTIFICATION AT ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS WITHIN 15 FEET AT THE END OF EACH WALL, AND NOT EXCEEDING 30 FEET MAXIMUM HORIZONTAL INTERVALS, MINIMUM 2 LOCATIONS EACH WALL. TYPICAL FOR ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING, OR ATTIC SPACES PER CODE (MBC 703.7)



**SITEPLAN OVERVIEW - PROPOSED**  
 1  
 A001  
 1/8" = 1'-0"



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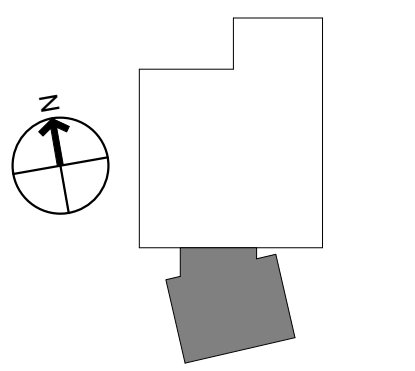
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Key Plan:



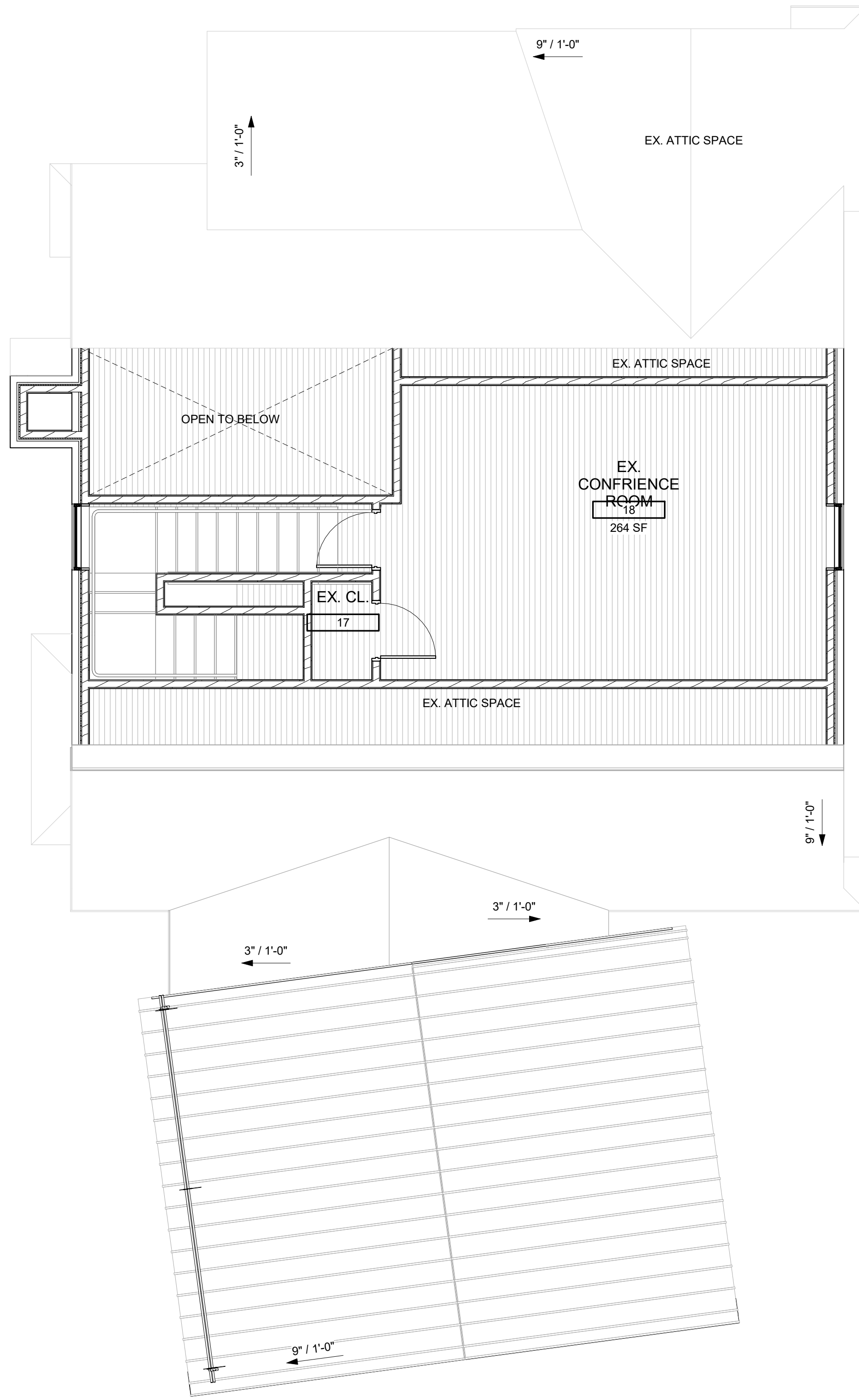
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Drawn by :  
 Author  
 Checked by :  
 Checker  
 Sheet Title :  
 ARCHITECTURAL SITE PLAN

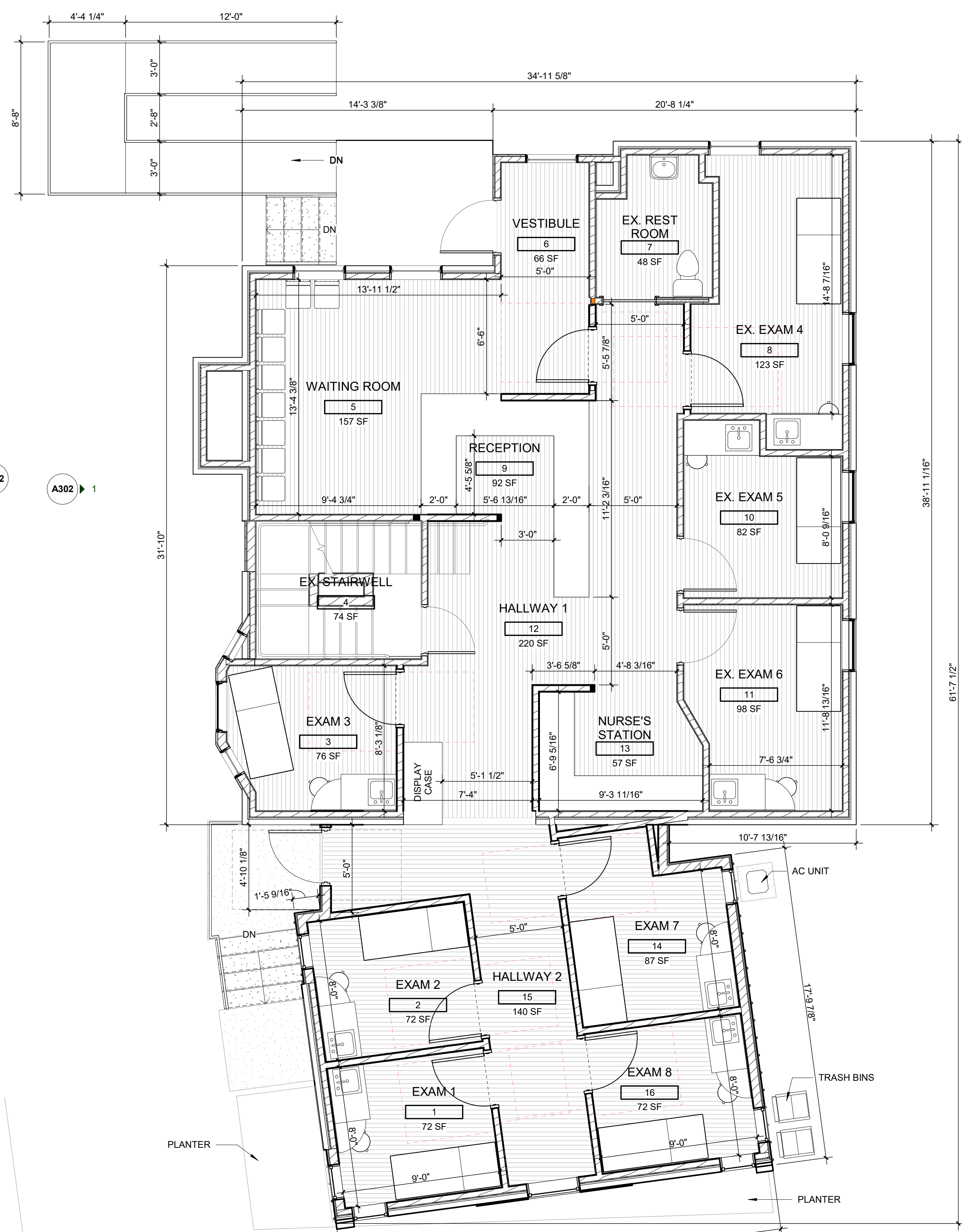
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Sheet No. :  
**A001**

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2 SECOND FLOOR  
1/4" = 1'-0"



1 FIRST FLOOR  
1/4" = 1'-0"

ROOM SCHEDULE			
Number	Name	Level	Area
1	EXAM 1	FIRST FLOOR	72 SF
2	EXAM 2	FIRST FLOOR	72 SF
3	EXAM 3	FIRST FLOOR	76 SF
4	EX. STAIRWELL	FIRST FLOOR	74 SF
5	WAITING ROOM	FIRST FLOOR	157 SF
6	VESTIBULE	FIRST FLOOR	66 SF
7	EX. REST ROOM	FIRST FLOOR	48 SF
8	EX. EXAM 4	FIRST FLOOR	123 SF
9	RECEPTION	FIRST FLOOR	92 SF
10	EX. EXAM 5	FIRST FLOOR	82 SF
11	EX. EXAM 6	FIRST FLOOR	98 SF
12	HALLWAY 1	FIRST FLOOR	220 SF
13	NURSE'S STATION	FIRST FLOOR	57 SF
14	EXAM 7	FIRST FLOOR	87 SF
15	HALLWAY 2	FIRST FLOOR	140 SF
16	EXAM 8	FIRST FLOOR	72 SF
17	EX. CL.	SECOND FLOOR	12 SF
18	EX. CONFRIENCE ROOM	SECOND FLOOR	264 SF
			1811 SF



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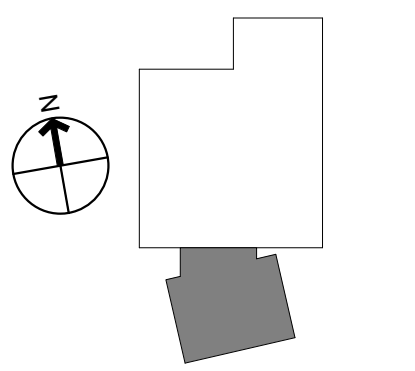
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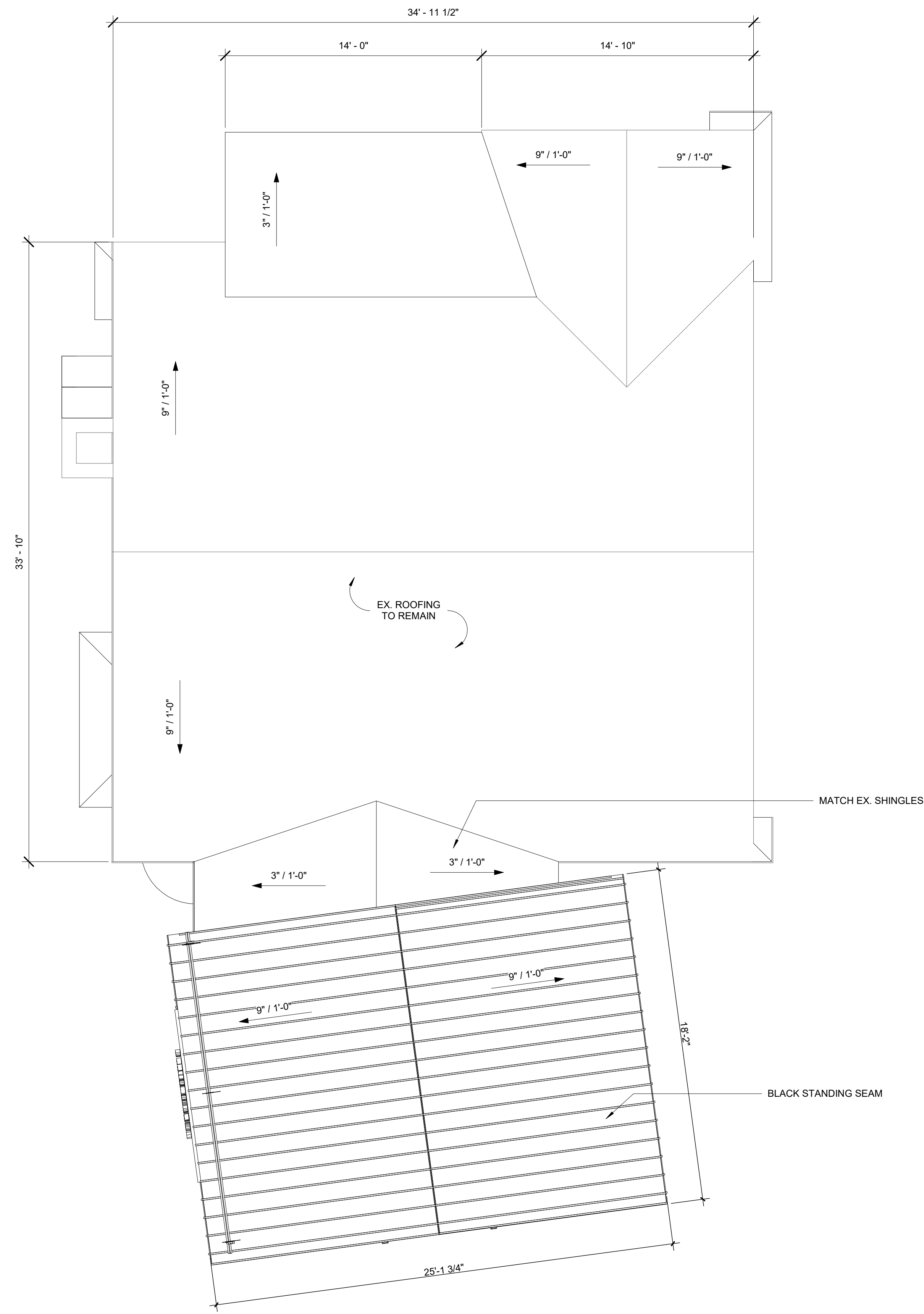
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DCM  
Checked by:  
JV  
Sheet Title:  
FLOOR PLANS

Project No.:  
2021.169

Sheet No.:  
A010

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1 ROOF PLAN  
A011 1/4" = 1'-0"



**STUCKY VITALE ARCHITECTS**  
 27172 WOODWARD AVENUE  
 ROYAL OAK, MI 48067-0925  
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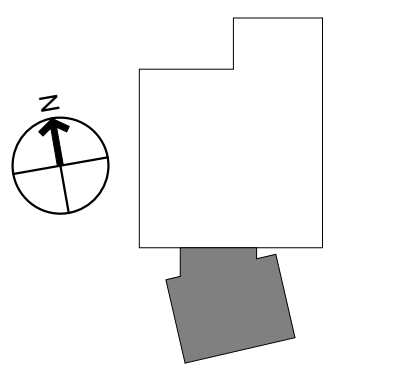
Seal:



Project :  
 EASTSIDE DERMATOLOGY

20030 MACK AVE.  
 GROSSE POINTE WOODS

Key Plan:



Issued for  
 SITE PLAN REVIEW 01.26.24

Drawn by :  
 DCM  
 Checked by :  
 JV  
 Sheet Title :  
 ROOF PLAN

Project No. :  
 2021.169

Sheet No. :  
**A011**

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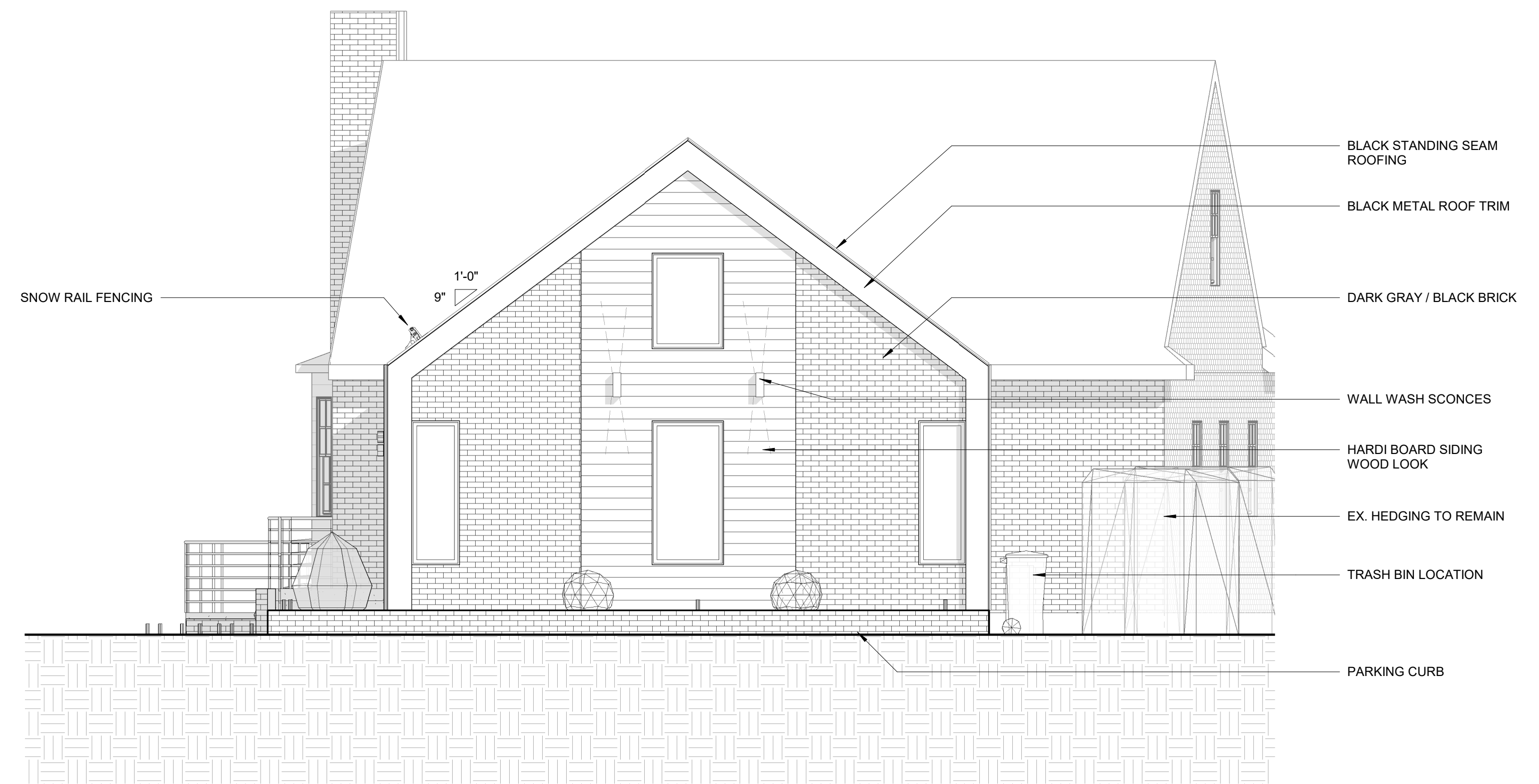
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1 NORTH ELEVATION  
 A301 1/4" = 1'-0"



2 SOUTH ELEVATION  
 A301 1/4" = 1'-0"

Seal:

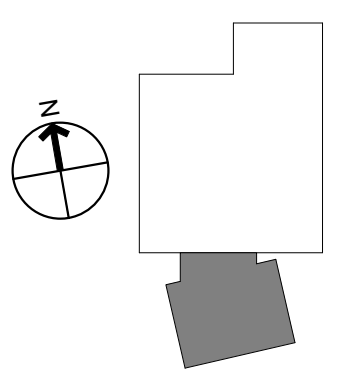


Project :

EASTSIDE  
 DERMATOLOGY

20030 MACK AVE.  
 GROSSE POINTE  
 WOODS

Key Plan:



Issued for

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Author

Checked by :

Checker

Sheet Title :

EXTERIOR ELEVATIONS N/S

Project No. :

2021.169

Sheet No. :

A301

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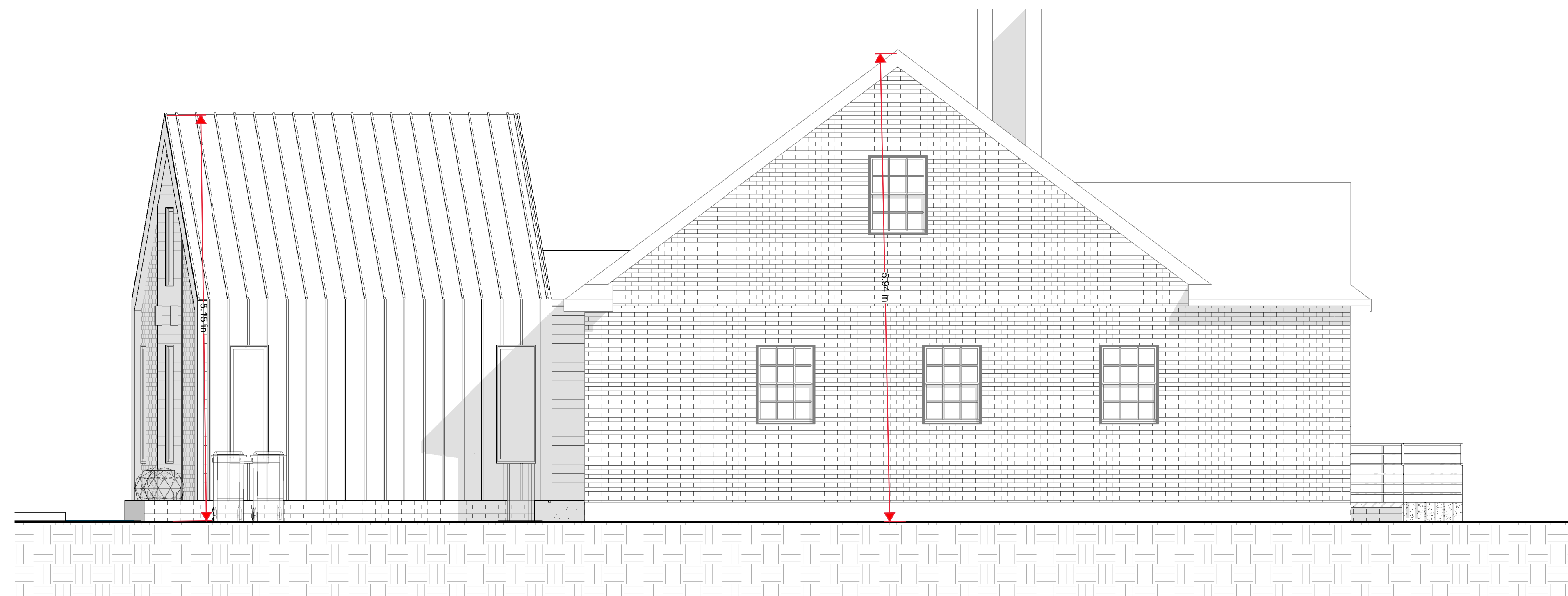
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1 WEST ELEVATION  
 A302 1/4" = 1'-0"



2 EAST ELEVATION  
 A302 1/4" = 1'-0"

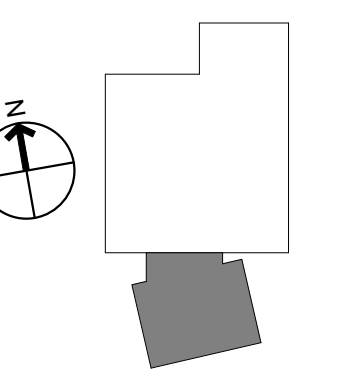
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Project :  
 EASTSIDE  
 DERMATOLOGY

20030 MACK AVE.  
 GROSSE POINTE  
 WOODS

Key Plan:

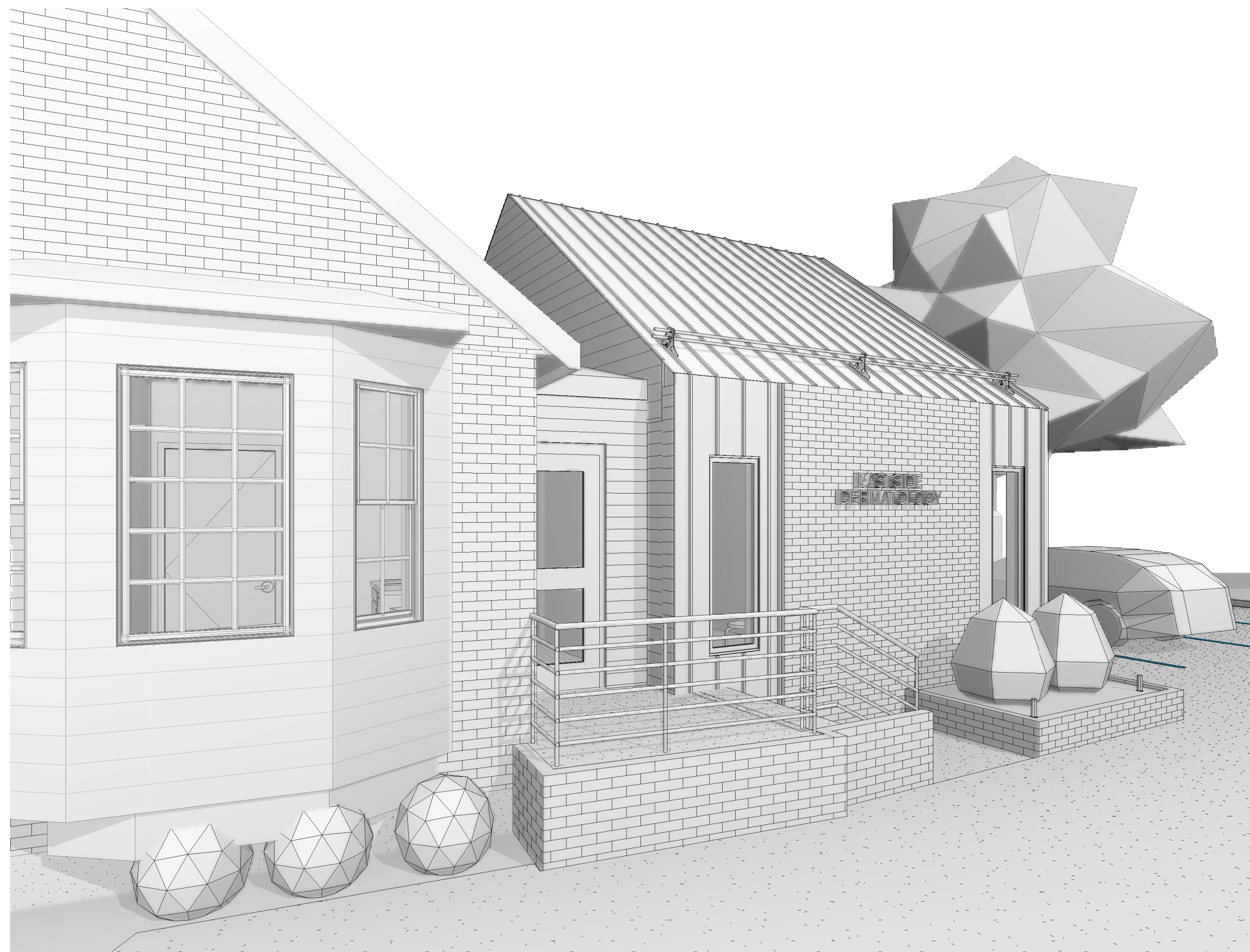


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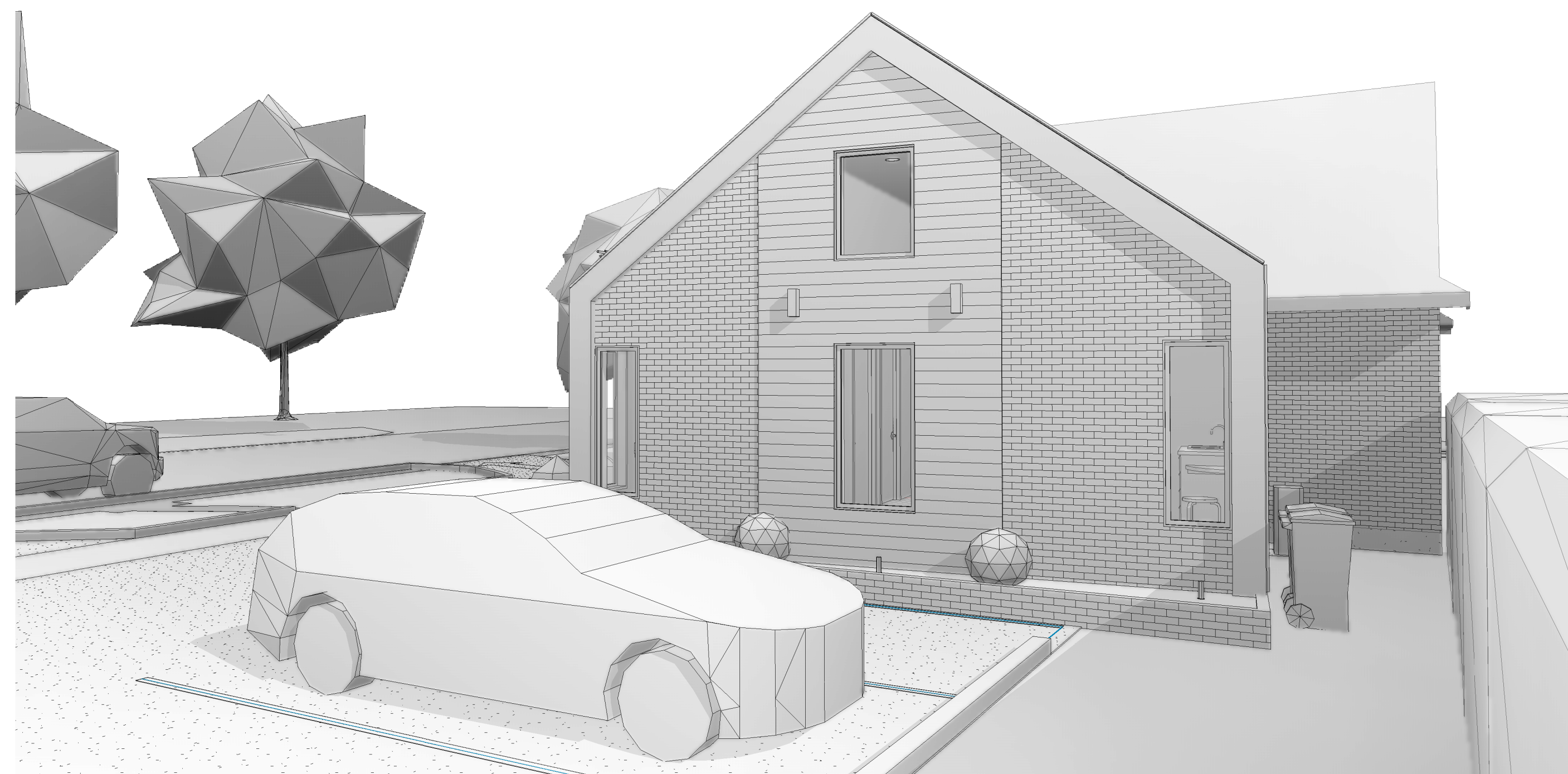
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 JV  
 Sheet Title :  
 EXTERIOR ELEVATIONS E/W

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 2021.169

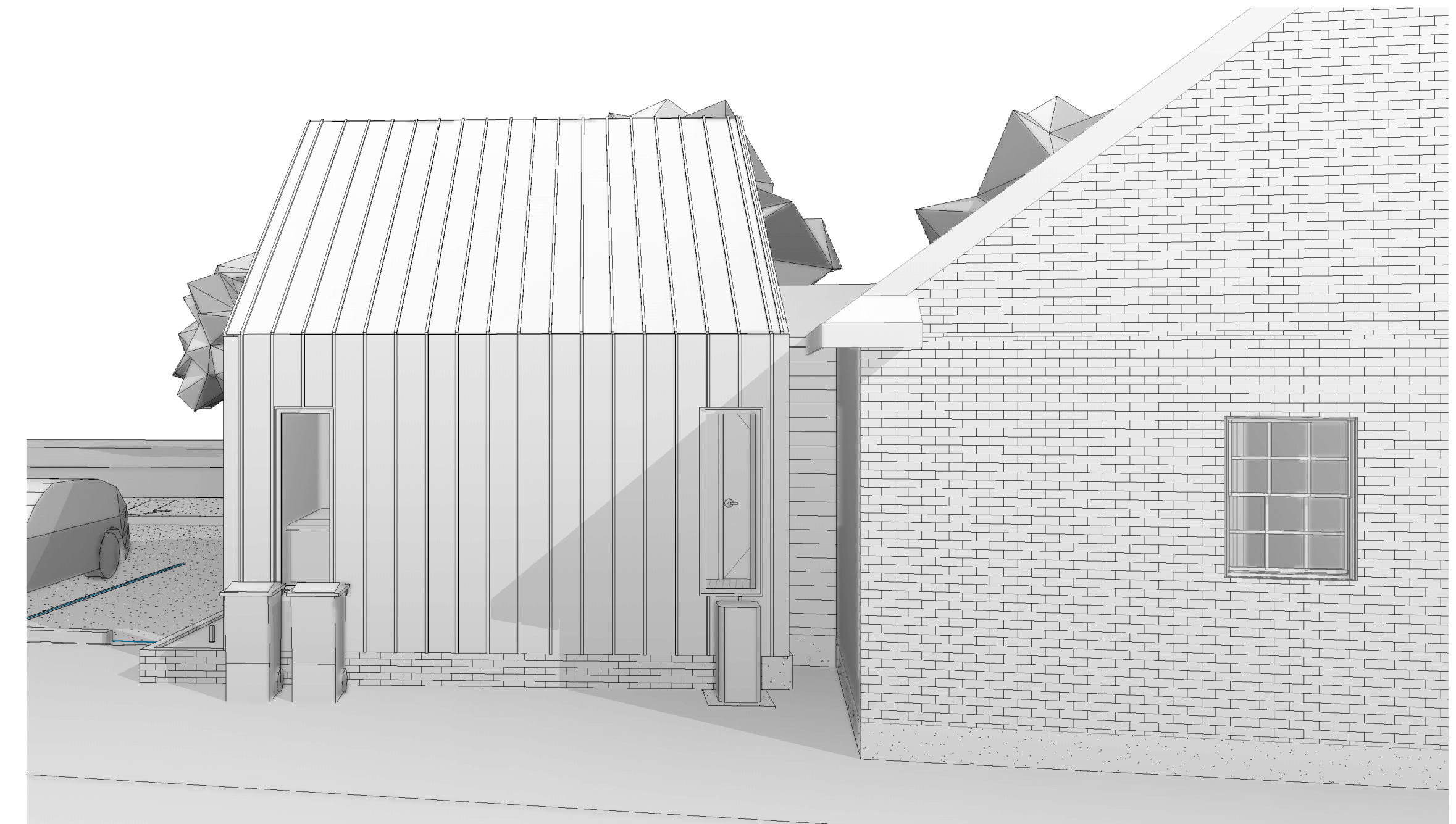
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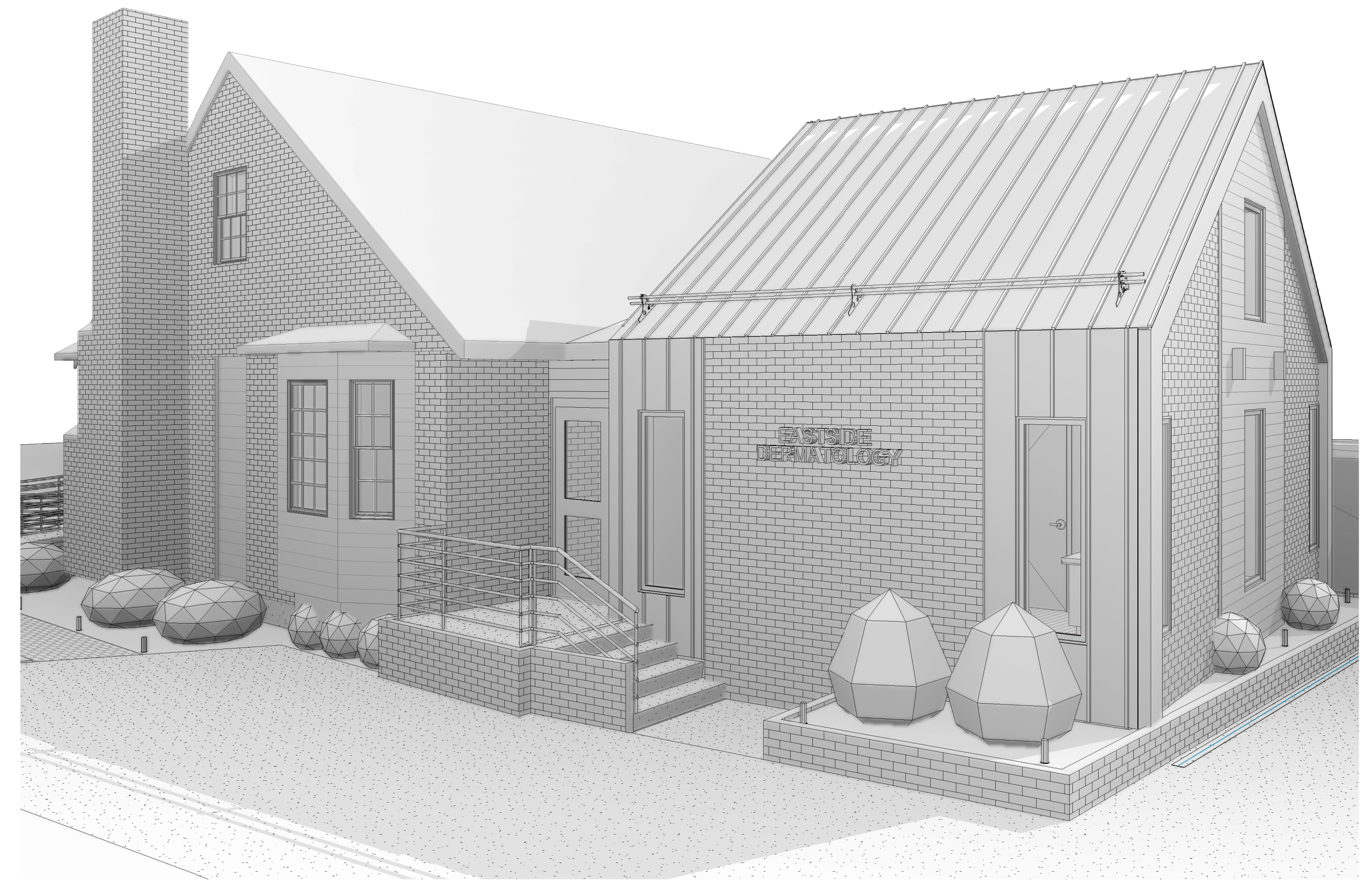
4  
A311 3D View 4



3  
A311 3D View 3



2  
A311 3D View 2



1  
A311 3D View 1



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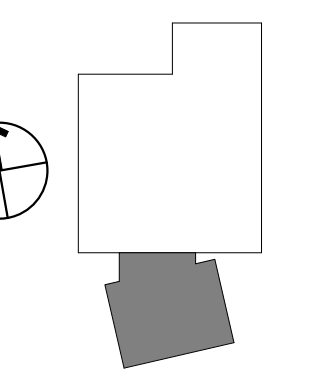


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20030 MACK AVE.  
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Key Plan:



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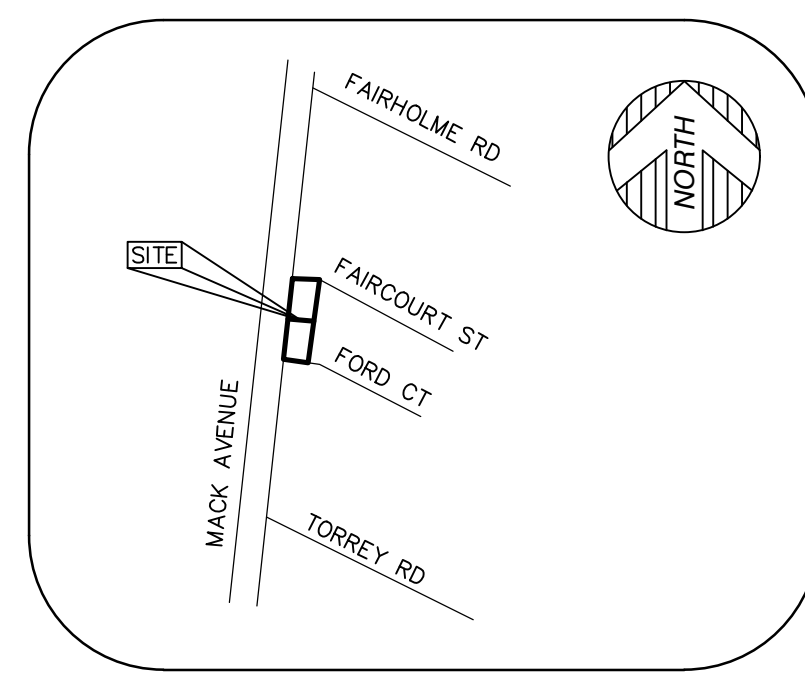
EXTERIOR 3D VIEWS

Project No. :

2021.169

Sheet No. :

**A311**



VICINITY MAP  
(NOT TO SCALE)

**PARKING**

STANDARD PARKING = 6 STALLS

**PARCEL AREA**

PARCEL A:  
6,938± SQUARE FEET = 0.16± ACRES  
PARCEL B:  
7,656± SQUARE FEET = 0.18± ACRES

**BASIS OF BEARING**

NORTH 02°58'05" EAST, BEING THE EASTERLY LINE OF MACK AVENUE, AS PLATTED

**BENCHMARK**

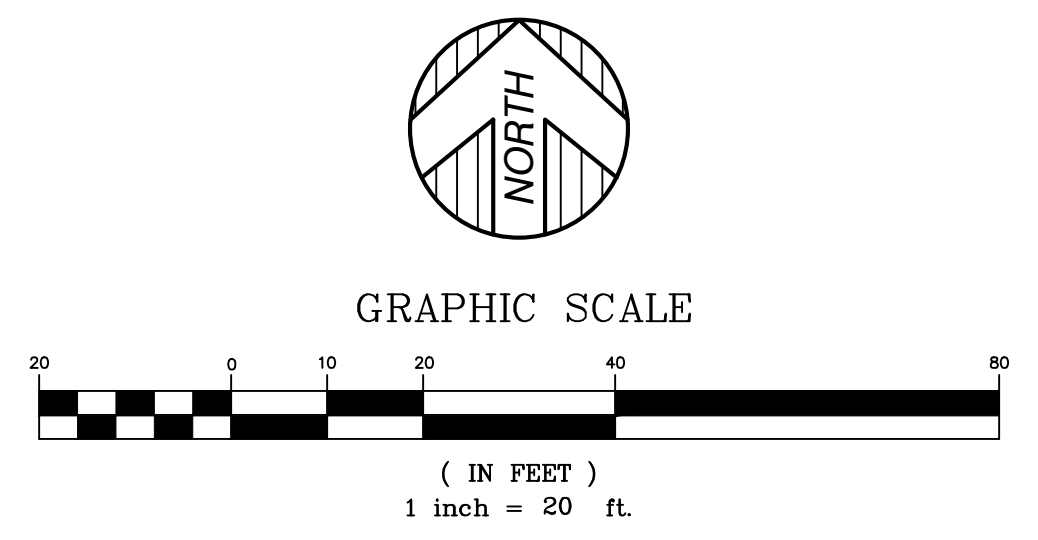
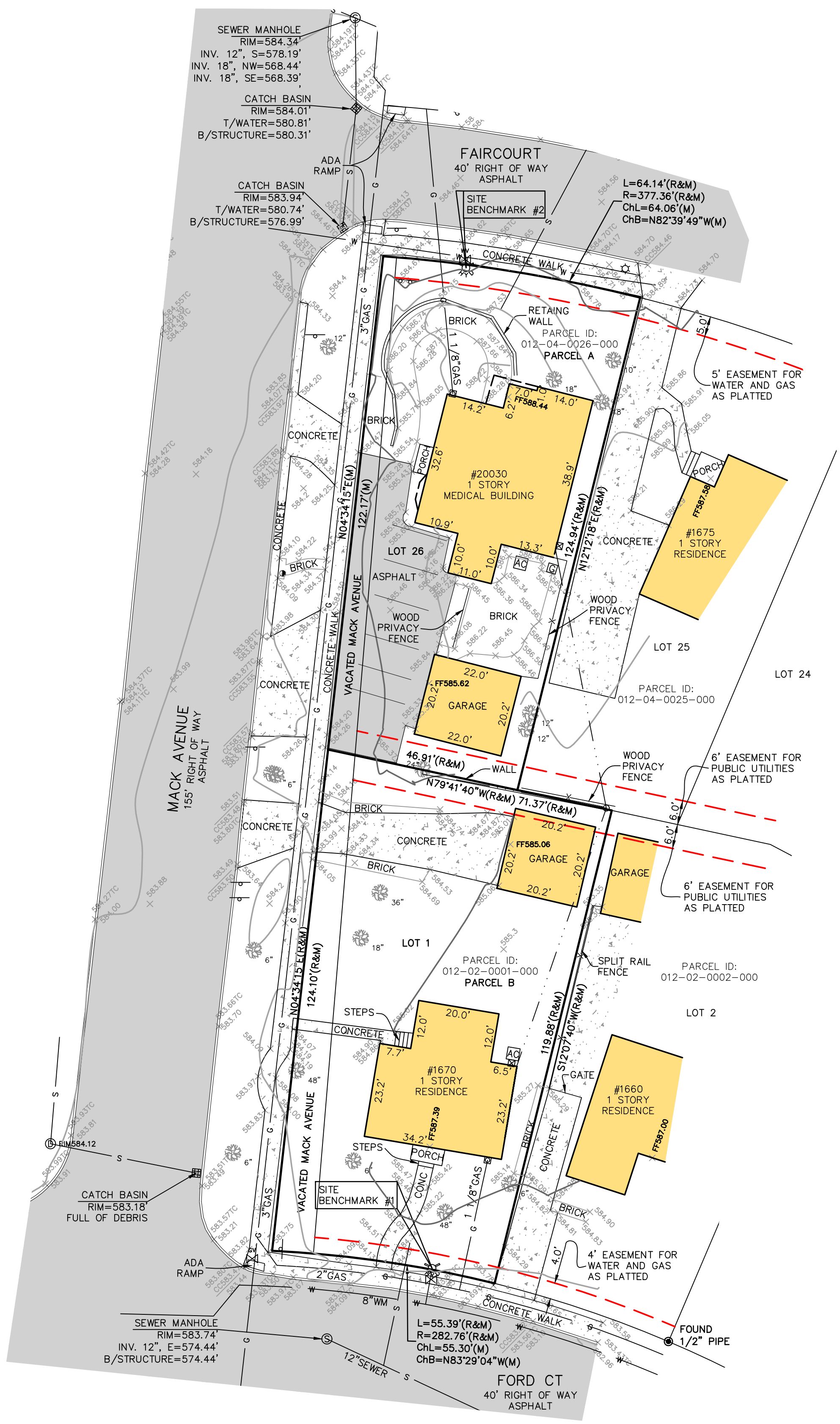
SITE BENCHMARK #1  
ARROW ON HYDRANT SOUTH OF HOUSE #1670.  
ELEVATION = 586.77' (NAVD 88)  
SITE BENCHMARK #2  
ARROW ON HYDRANT NORTH OF BLDG #20030.  
ELEVATION = 587.55' (NAVD 88)

**SURVEYOR'S NOTE**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

**LEGEND**

●	SET 1/2" REBAR WITH CAP P.S. 47976
(R&M)	RECORD AND MEASURED DIMENSION
(R)	RECORD DIMENSION
(M)	MEASURED DIMENSION
0.00	GROUND ELEVATION
⊗	ELECTRIC METER
⊕	TRANSFORMER
⊖	GENERATOR
○	UTILITY POLE
⊗	GAS METER
⊖	GAS VALVE
⊗	SEWER MANHOLE
⊕	SQUARE CATCH BASIN
⊗	FIRE HYDRANT
⊕	WATER GATE MANHOLE
⊖	WATER VALVE
⊗	LIGHTPOST/LAMP POST
●	PARKING METER
⊖	SINGLE POST SIGN
⊖	DOUBLE POST SIGN
○	DECIDUOUS TREE (AS NOTED)
---	PARCEL BOUNDARY LINE
---	PLATTED LOT LINE
- - -	EASEMENT (AS NOTED)
▭	BUILDING
- - -	BUILDING OVERHANG
---	CONCRETE CURB
---	PARKING
---	EDGE OF CONCRETE (CONC.)
---	EDGE OF ASPHALT (ASPH.)
---	EDGE OF BRICK
---	FENCE (AS NOTED)
---	WALL (AS NOTED)
---	OVERHEAD UTILITY LINE
o	GAS LINE
s	SEWER LINE
w	WATER LINE
---	MINOR CONTOUR LINE
---	MAJOR CONTOUR LINE
▭	BUILDING AREA
▭	ASPHALT
▭	CONCRETE



**PROPERTY DESCRIPTION**

THE LAND SITUATED IN THE CITY OF GROSSE POINTE WOODS, COUNTY OF WAYNE, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:  
PARCEL A:  
WDRR26 LOT 26 ALSO THE ADJ VAC STRIP OF MACK AVE SAID STRIP MEASURES 3.30 FEET ALONG THE NORTHERLY LINE AS EXT AND 6.74 FEET ALONG THE SOUTHERLY LINE AS EXT FAIRHOLME PRIVATE CLAIMS 393 LIBER 68 PAGE 9 WAYNE COUNTY RECORDS  
PARCEL B:  
WDK11 LOT 1 ALSO THE ADJ VAC STRIP OF MACK AVE SAID STRIP MEASURES 6.74 FEET ALONG THE NORTHERLY LINE AS EXT AND 10.19 FEET ALONG THE SOUTHERLY LINE OF SAID LOT AS EXT TORREY WOODS SUB PRIVATE CLAIMS 393 621 LIBER 67 PAGE 39 WAYNE COUNTY RECORDS

**TITLE REPORT NOTE**

A CURRENT TITLE POLICY HAS NOT BEEN FURNISHED AT TIME OF SURVEY, THEREFORE EASEMENTS AND/OR ENCUMBRANCES AFFECTING SUBJECT PARCEL MAY NOT BE SHOWN.

**SURVEYOR'S CERTIFICATION**

TO STUCKY-VITALE ARCHITECTS:  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 4, 7A, 8, AND 9 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 05/08/23.  
DATE OF PLAT OR MAP: 05/16/23

DRAFT

ANTHONY T. SYCKO, JR., P.S.  
PROFESSIONAL SURVEYOR  
MICHIGAN LICENSE NO. 47976  
22556 GRATIOT AVE., EASTPOINTE, MI 48021  
TSycko@kemtec-survey.com

ALTA / NSPS LAND TITLE SURVEY  
PREPARED FOR: STUCKY-VITALE ARCHITECTS  
20030 MACK AVE. & 1670 FORD CT.,  
GROSSE POINTE WOODS, MICHIGAN.

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NO.	REVISION	DATE	BY	DESCRIPTION