

CONSTRUCTION PLANS

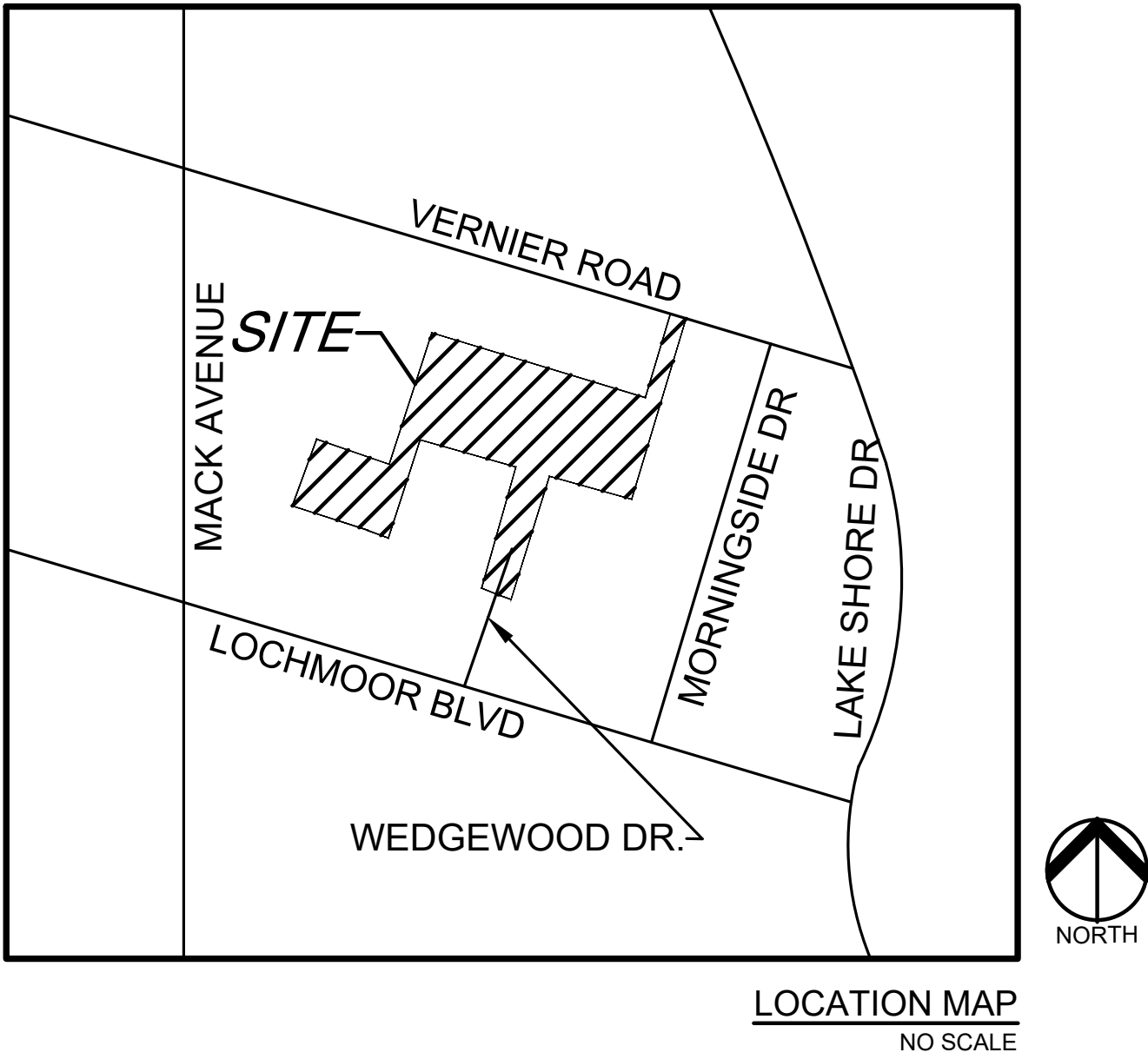
GROSSE POINTE NORTH HIGH SCHOOL PHASE 2

707 VERNIER ROAD

GROSSE POINTE WOODS, WAYNE COUNTY, MI



PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL



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C-6.1	NOTES AND DETAILS
C-6.2	NOTES AND DETAILS

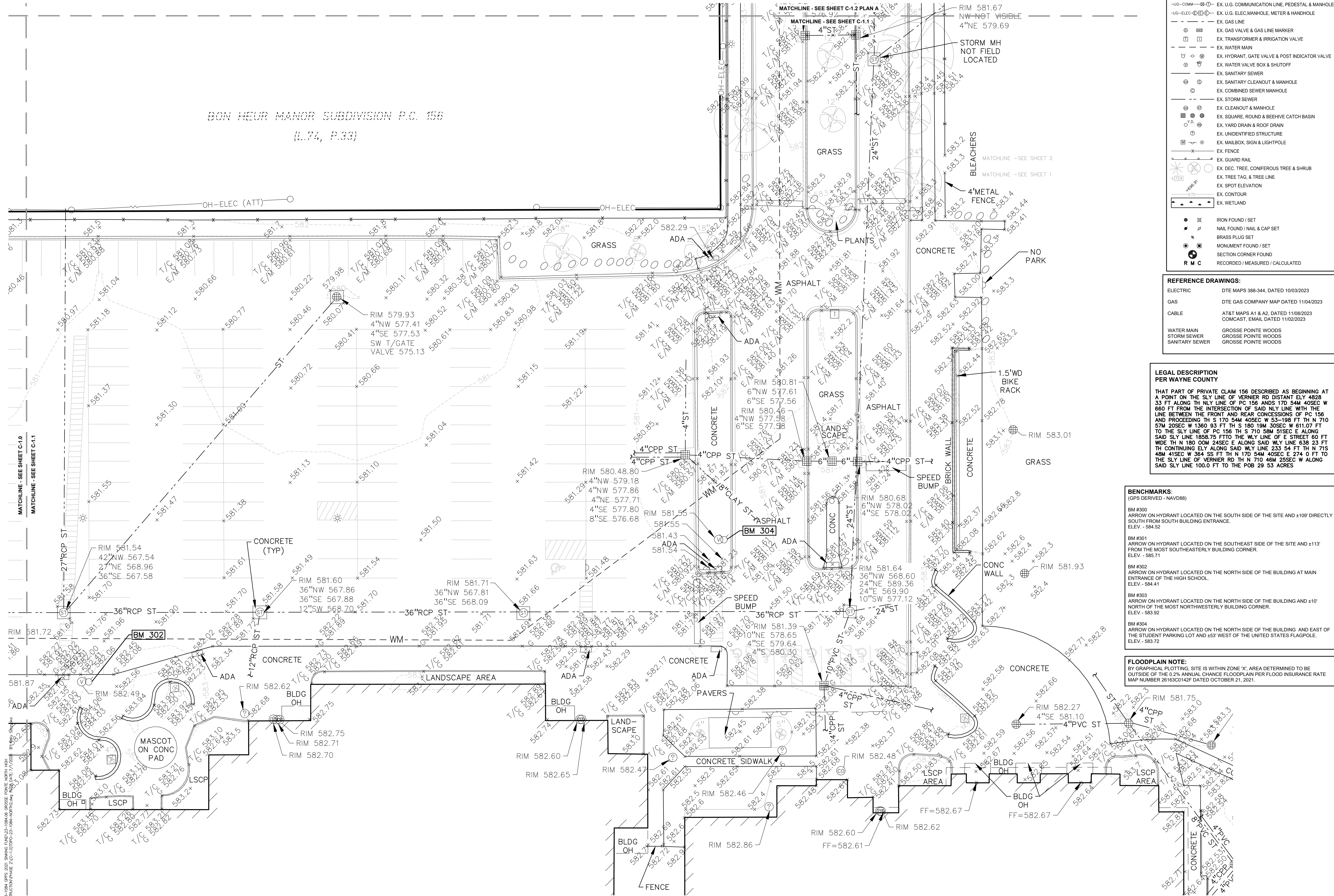
DESIGN TEAM

OWNER	OWNER'S REPRESENTATIVE	CIVIL ENGINEER
GROSSE POINTE PUBLIC SCHOOL SYSTEM 20601 MORNINGSIDE DR. GROSSE POINTE WOODS, MI 48236 CONTACT: BENJAMIN MATTESON PHONE: 313.432.3082 EMAIL: MATTESB@GPSCHOOLS.ORG	PLANTE MORAN REALPOINT 3000 TOWN CENTER, SUITE 100 SOUTHFIELD, MI 48075 CONTACT: GARY KENT PHONE: 248.223.3483 EMAIL: GARY.KENT@PLANTEMORAN.COM	PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: SCOTT A. PERUSKI, PE PHONE: 844.813.2949 EMAIL: SPERUSKI@PEAGROUP.COM



REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	10/20/2025
PERMITS	4/17/2026
CITY REVIEW	6/16/2026
CITY REVIEW	7/1/2026

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26163C0142F DATED OCTOBER 21, 2021.



LEGEND:

- OH-ELEC-W-O EX. OH. ELEC. POLE & GUY WIRE
- UG-CATV EX. U.G. CABLE TV & PEDESTAL
- UG-COMM EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC-EX EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
- EX. GAS LINE
- EX. GAS VALVE & GAS LINE MARKER
- EX. TRANSFORMER & IRRIGATION VALVE
- EX. WATER MAIN
- EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- EX. WATER VALVE BOX & SHUTOFF
- EX. SANITARY SEWER
- EX. SANITARY CLEANOUT & MANHOLE
- EX. COMBINED SEWER MANHOLE
- EX. STORM SEWER
- EX. CLEANOUT & MANHOLE
- EX. SQUARE, ROUND & BEEHIVE CATCH BASIN
- EX. YARD DRAIN & ROOF DRAIN
- EX. UNIDENTIFIED STRUCTURE
- EX. MAILBOX, SIGN & LIGHTPOLE
- EX. FENCE
- EX. GUARD RAIL
- EX. DEC. TREE, CONIFEROUS TREE & SHRUB
- EX. TREE TAG, & TREE LINE
- EX. SPOT ELEVATION
- EX. CONTOUR
- EX. WETLAND
- IRON FOUND / SET
- NAIL FOUND / NAIL & CAP SET
- BRASS PLUG SET
- MONUMENT FOUND / SET
- SECTION CORNER FOUND
- RECORDED / MEASURED / CALCULATED

REFERENCE DRAWINGS:

ELECTRIC	DTE MAPS 388-344, DATED 10/03/2023
GAS	DTE GAS COMPANY MAP DATED 11/04/2023
CABLE	AT&T MAPS A1 & A2, DATED 11/08/2023 COMCAST, EMAIL DATED 11/02/2023
WATER MAIN	GROSSE POINTE WOODS
STORM SEWER	GROSSE POINTE WOODS
SANITARY SEWER	GROSSE POINTE WOODS

LEGAL DESCRIPTION PER WAYNE COUNTY

THAT PART OF PRIVATE CLAIM 156 DESCRIBED AS BEGINNING AT A POINT ON THE SLY LINE OF VERNIER RD DISTANT ELY 4828 33 FT ALONG TH NLY LINE OF PC 156 ANDS 170 54M 40SEC W 660 FT FROM THE INTERSECTION OF SAID NLY LINE WITH THE LINE BETWEEN THE FRONT AND REAR CONCESSIONS OF PC 156 AND PROCEEDING TH S 170 54M 40SEC W 53-198 FT TH N 710 57M 20SEC W 1360 93 FT TH S 180 19M 30SEC W 611.07 FT TO THE SLY LINE OF PC 156 TH S 710 58M 51SEC E ALONG SAID SLY LINE 1688.75 FT TO THE WLY LINE OF E STREET 60 FT WIDE TH N 180 00M 24SEC E ALONG SAID WLY LINE 638 23 FT TH CONTINUING ELY ALONG SAID WLY LINE 233 54 FT TH N 71S 48M 41SEC W 364 55 FT TH N 170 54M 40SEC E 274 0 FT TO THE SLY LINE OF VERNIER RD TH N 710 46M 25SEC W ALONG SAID SLY LINE 100.0 FT TO THE POB 29 53 ACRES

BENCHMARKS:
(GPS DERIVED - NAVD88)

BM #300 ARROW ON HYDRANT LOCATED ON THE SOUTH SIDE OF THE SITE AND ±109' DIRECTLY SOUTH FROM SOUTH BUILDING ENTRANCE. ELEV. - 584.52	BM #301 ARROW ON HYDRANT LOCATED ON THE SOUTHEAST SIDE OF THE SITE AND ±113' FROM THE MOST SOUTHEASTERLY BUILDING CORNER. ELEV. - 585.71	BM #302 ARROW ON HYDRANT LOCATED ON THE NORTH SIDE OF THE BUILDING AT MAIN ENTRANCE OF THE HIGH SCHOOL. ELEV. - 584.41	BM #303 ARROW ON HYDRANT LOCATED ON THE NORTH SIDE OF THE BUILDING AND ±10' NORTH OF THE MOST NORTHWESTERLY BUILDING CORNER. ELEV. - 583.92	BM #304 ARROW ON HYDRANT LOCATED ON THE NORTH SIDE OF THE BUILDING AND EAST OF THE STUDENT PARKING LOT AND ±53' WEST OF THE UNITED STATES FLAGPOLE. ELEV. - 583.72
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PEA GROUP
t: 844.813.2949
www.peagroup.com

JOSEPH B. WYRWOT
ENGINEER
No. 6201046874

811 Know what's below. Call before you dig.

CAUTION!!
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REFER TO GEOTECHNICAL REPORT BY G2 CONSULTING GROUP (DATED 10-26-22) FOR EXISTING CONDITIONS INVESTIGATION, PAVEMENT CORE LOGS, AND PAVEMENT AND DRAINAGE DESIGN RECOMMENDATIONS.

CLIENT
PLANTE MORAN REALPOINT
3000 TOWN CENTER DR., SUITE 100
SOUTHFIELD, OKLAND COUNTY, MICHIGAN

PROJECT TITLE
GROSSE POINTE NORTH HIGH SCHOOL PHASE 2
707 VERNIER RD
GROSSE POINTE WOODS, WAYNE COUNTY, MI

REVISIONS

PERMITS	04/17/26
CITY REVIEW	08/16/26
CITY REVIEW	07/01/26

ORIGINAL ISSUE DATE:
SEPTEMBER 19, 2025

DRAWING TITLE
TOPOGRAPHIC SURVEY - AREA 1

PEA JOB NO.	23-1084.06
P.M.	TD
DN.	SP
DES.	LR

DRAWING NUMBER:
C-1.1

MATCHLINE - SEE SHEET C-1.2 PLAN B

MATCHLINE - SEE SHEET C-1.2 PLAN A

3' HIGH WOOD FENCE & CHAINLINK FENCE ON BRICK WALL

6' WOOD FENCE & CHAINLINK FENCE

RIM 581.89
4"SE 577.40

RIM 582.06
4"NE 579.76
4"SE 579.74
4"NW 577.28

NO PARK FIRE LANE

ASPHALT

CONCRETE

GRASS

5' CHAINLINK FENCE

24" RCP ST-->

RIM 583.05
24"NE 571.35
24"SW 571.55

6' WOOD FENCE & CHAINLINK FENCE

6' CHAINLINK FENCE

4" METAL FENCE

8" RCP ST-->

RIM 581.67
NW NOT VISIBLE
4"N 579.69

MATCHLINE - SEE SHEET C-1.2 PLAN A

MATCHLINE - SEE SHEET C-1.1

[illegible]

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GAS	DTE GAS COMPANY MAP DATED 11/04/2023
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WATER MAIN	GROSSE POINTE WOODS
STORM SEWER	GROSSE POINTE WOODS
SANITARY SEWER	GROSSE POINTE WOODS

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ARROW ON HYDRANT LOCATED ON THE SOUTH SIDE OF THE SITE AND $\pm 10'$ DIRECTLY SOUTH FROM SOUTH BUILDING ENTRANCE.
ELEV. - 584.52

BM #301
ARROW ON HYDRANT LOCATED ON THE SOUTHEAST SIDE OF THE SITE AND $\pm 113'$ FROM THE MOST SOUTHEASTERLY BUILDING CORNER.
ELEV. - 585.71

BM #302
ARROW ON HYDRANT LOCATED ON THE NORTH SIDE OF THE BUILDING AT MAIN ENTRANCE OF THE HIGH SCHOOL.
ELEV. - 584.41

BM #303
ARROW ON HYDRANT LOCATED ON THE NORTH SIDE OF THE BUILDING AND $\pm 10'$ NORTH OF THE MOST NORTHWESTERLY BUILDING CORNER.
ELEV. - 583.92

BM #304
ARROW ON HYDRANT LOCATED ON THE NORTH SIDE OF THE BUILDING AND EAST OF THE STUDENT PARKING LOT AND $\pm 53'$ WEST OF THE UNITED STATES FLAGPOLE.
ELEV. - 583.72



REFER TO PAVEMENT INVESTIGATION
REPORT BY SPALDING DEDECKER (DATED
11-18-22) FOR PAVEMENT CONDITION
ASSESSMENTS AND PAVEMENT REPAIR
RECOMMENDATIONS AND LOCATIONS.

CLIENT

**PLANTE MORAN
REALPOINT**

3000 TOWN CENTER DR., SUITE 100
SOUTHFIELD, OAKLAND COUNTY, MICHIGAN

PROJECT TITLE
**GROSSE POINTE
NORTH HIGH
SCHOOL PHASE 2**
707 VERNIER RD
GROSSE POINTE WOODS, WAYNE COUNTY, MI

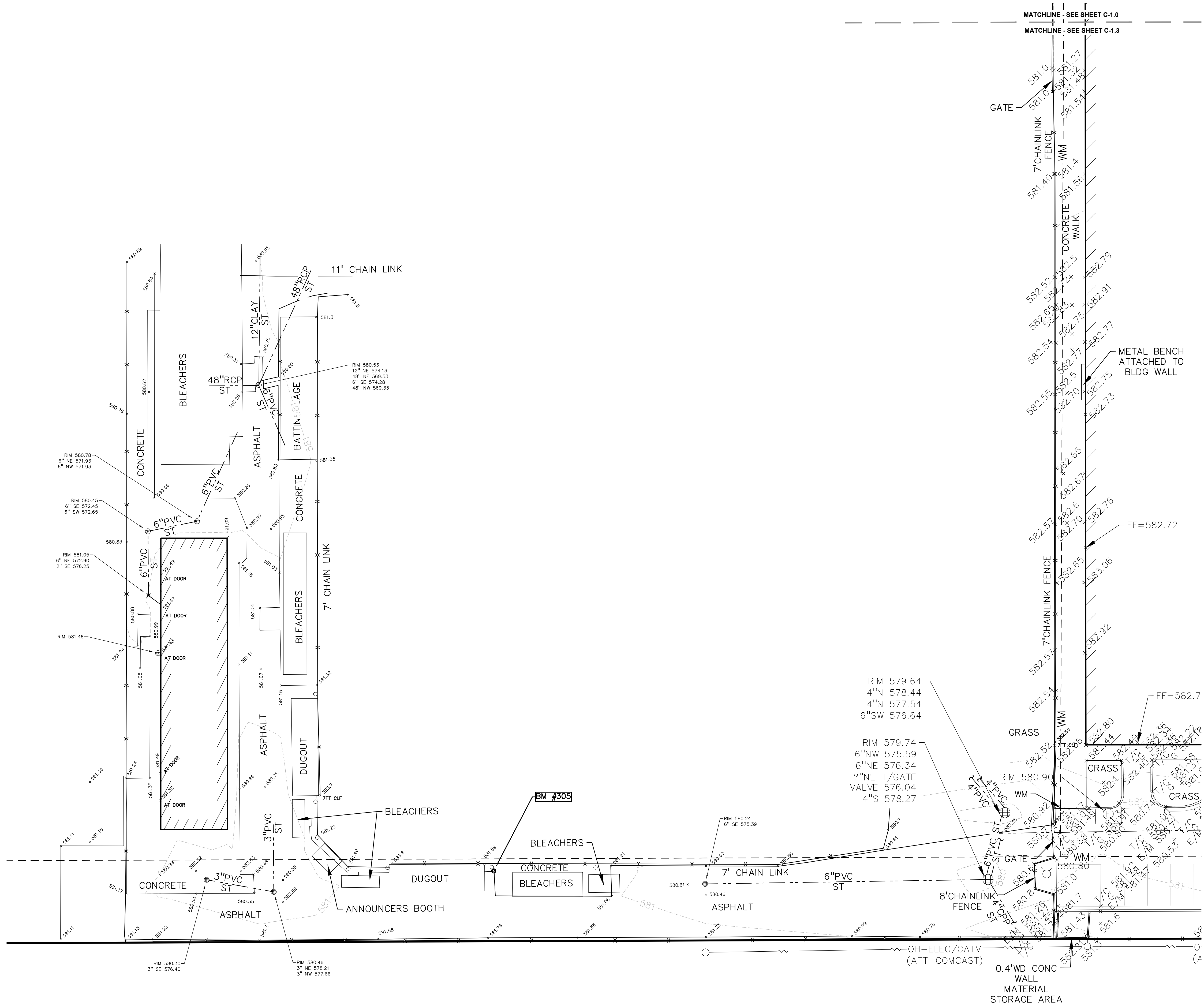
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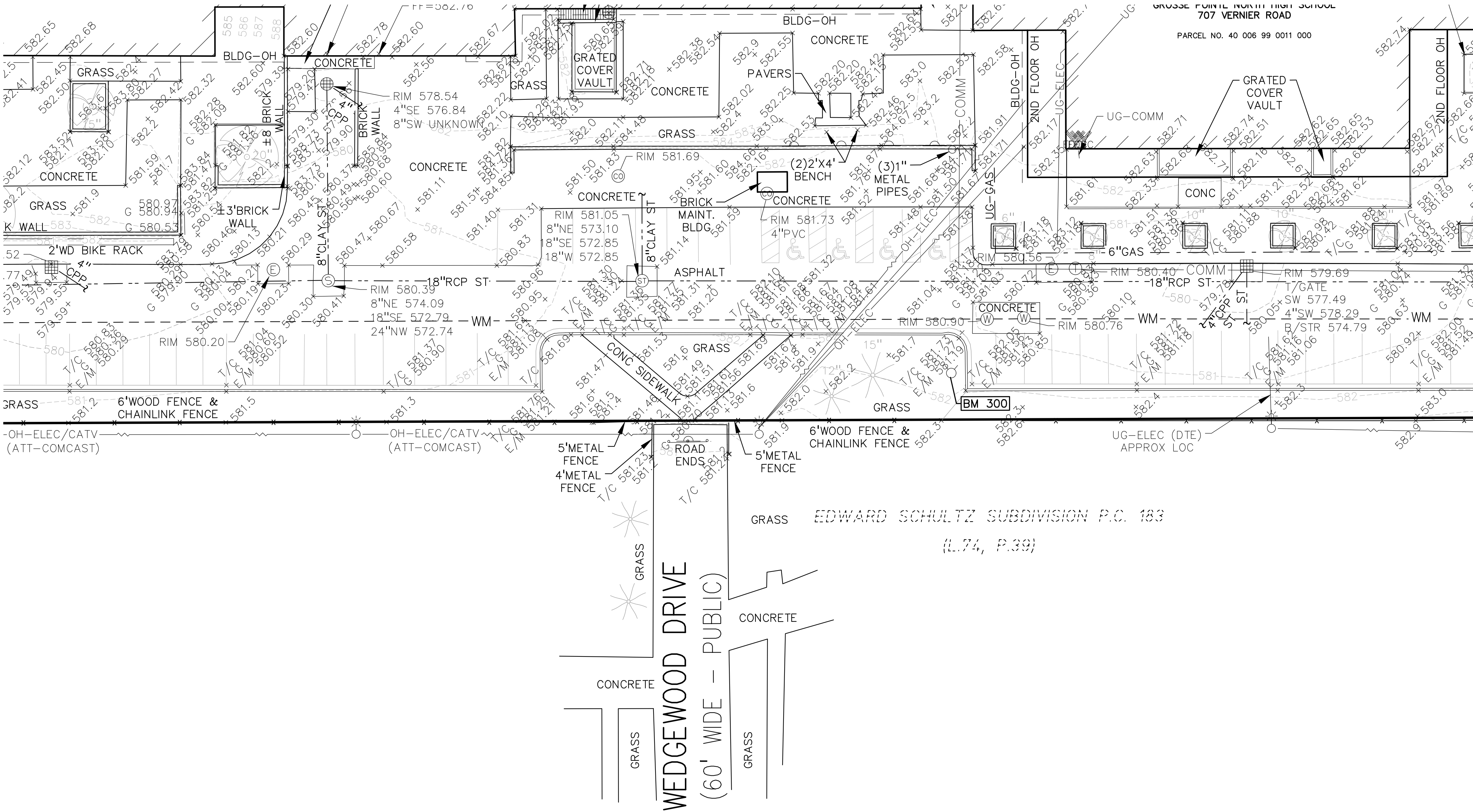
DRAWING TITLE

PEA JOB NO.	23-1084.06
P.M.	TD
DN.	SP
DES.	LR

DRAWING NUMBER:

C-1.2





LEGEND:	
—OH—ELEC—W—O—	EX. OH. ELEC. POLE & GUY WIRE
—UG—CATV—	EX. U.G. CABLE TV & PEDESTAL
—UG—COMM—	EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
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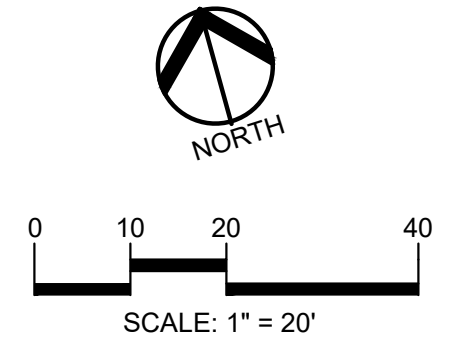
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CLIENT
PLANTE MORAN REALPOINT
3000 TOWN CENTER DR., SUITE 100
SOUTHFIELD, OAKLAND COUNTY, MICHIGAN

PROJECT TITLE
GROSSE POINTE NORTH HIGH SCHOOL PHASE 2
707 VERNIER RD
GROSSE POINTE WOODS, WAYNE COUNTY, MI

REVISIONS	
PERMITS	04/17/26
CITY REVIEW	06/16/26
CITY REVIEW	07/01/26

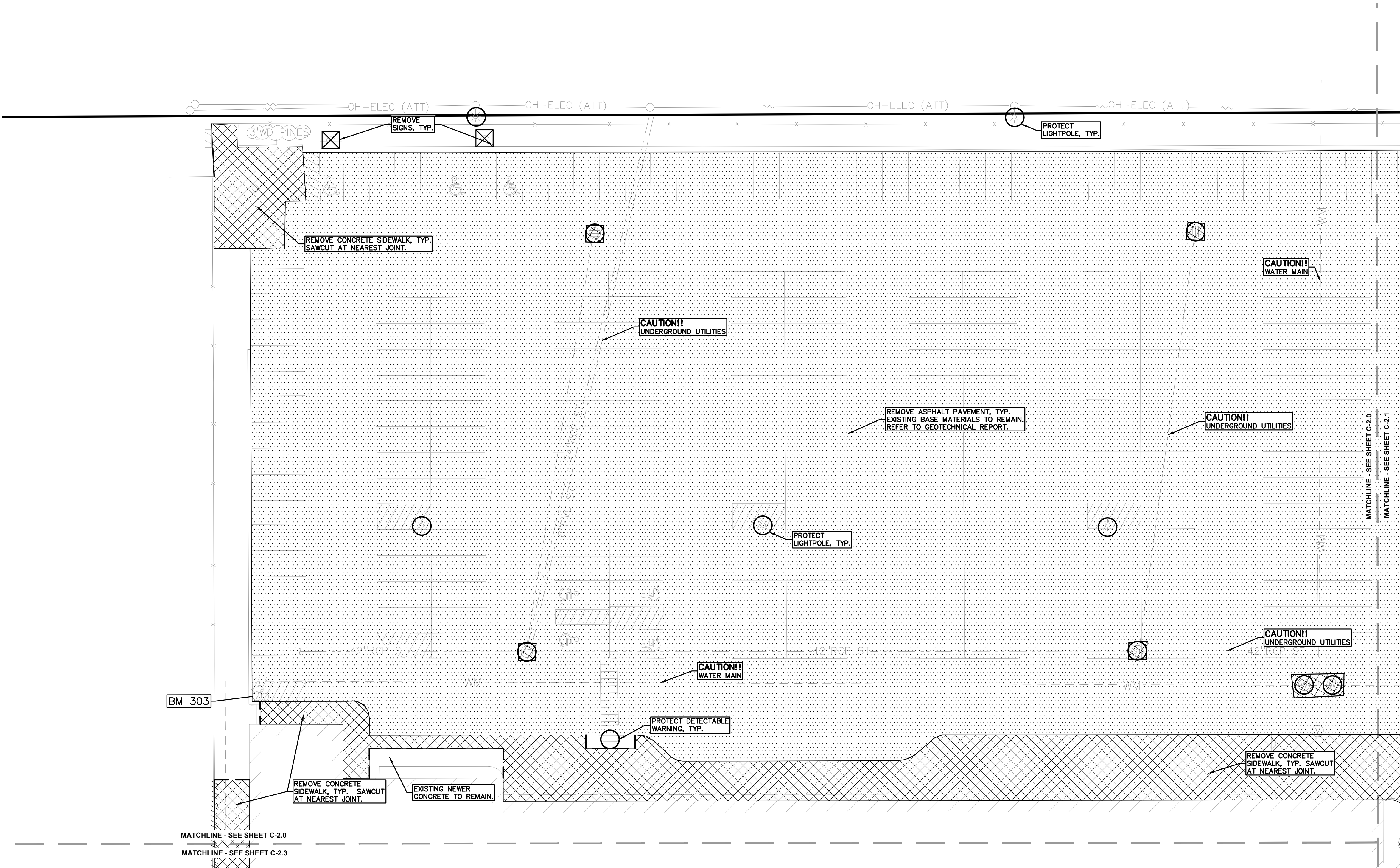
ORIGINAL ISSUE DATE:
SEPTEMBER 19, 2025

DRAWING TITLE
TOPOGRAPHIC SURVEY - AREA 3

PEA JOB NO.	23-1084.06
P.M.	TD
DN.	SP
DES.	LR

DRAWING NUMBER:

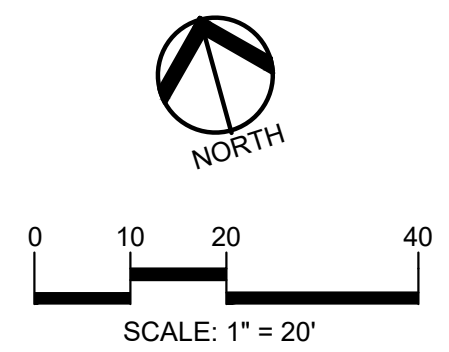
C-1.4



DEMOLITION LEGEND:	
ITEM TO BE PROTECTED	
ITEM TO BE REMOVED	
CURB/FENCE REMOVAL	
CONCRETE PAVEMENT AND SIDEWALK REMOVAL	
AREA OR ITEMS TO BE REMOVED	
UTILITY REMOVAL	
ABANDON UTILITY	
ASPHALT REMOVAL	
TREE REMOVAL	
SAWCUT LINE	

- GENERAL DEMOLITION NOTES:**
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:
- ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
 - ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
 - STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND THE CONTRACTOR PRIOR TO CONSTRUCTION.
 - SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.
 - REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, FLOOR SLABS, UNDERGROUND UTILITIES, CONCRETE, ASPHALT, TREES, ETC.
 - THE CONTRACTOR SHALL, AS A MINIMUM, PROVIDE TREE PROTECTION FENCING AROUND EXISTING TREES TO BE SAVED THAT ARE WITHIN 15 FEET OF CONSTRUCTION ACTIVITIES AND AS INDICATED IN THE PLANS OR PER LOCAL AGENCY REQUIREMENTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
 - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 - THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT OF SERVICE PRIOR TO DEMOLITION.
 - ALL BUILDING GAS LEADS, METERS AND ASSOCIATED EQUIPMENT SHALL BE REMOVED AS SHOWN ON THE PLANS. COORDINATE ALL ASSOCIATED WORK WITH THE APPROPRIATE UTILITY COMPANY.
 - REMOVE ALL OVERHEAD AND UNDERGROUND ELECTRICAL LINES WITHIN THE AREA OF CONSTRUCTION AS SHOWN ON THE PLANS. COORDINATE SHUTDOWNS AND REMOVALS WITH ELECTRICAL SERVICE PROVIDER OR THE APPROPRIATE UTILITY COMPANY. (NOTE: PHONE AND CABLE T.V. SERVICES MAY ALSO BE LOCATED ON OVERHEAD LINES.)
 - THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE 811/ONE CALL UTILITY LOCATING CENTER, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

DEMOLITION QUANTITIES:	
REMOVE ASPHALT PAVEMENT ONLY	179,000 SF
REMOVE CONCRETE SIDEWALK	24,900 SF
REMOVE CURB AND GUTTER	60 LF
REMOVE CONCRETE COLLAR	20 EA



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CLIENT
PLANTE MORAN REALPOINT
3000 TOWN CENTER DR., SUITE 100
SOUTHFIELD, OAKLAND COUNTY, MICHIGAN

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GROSSE POINTE NORTH HIGH SCHOOL PHASE 2
707 VERNIER RD
GROSSE POINTE WOODS, WAYNE COUNTY, MI

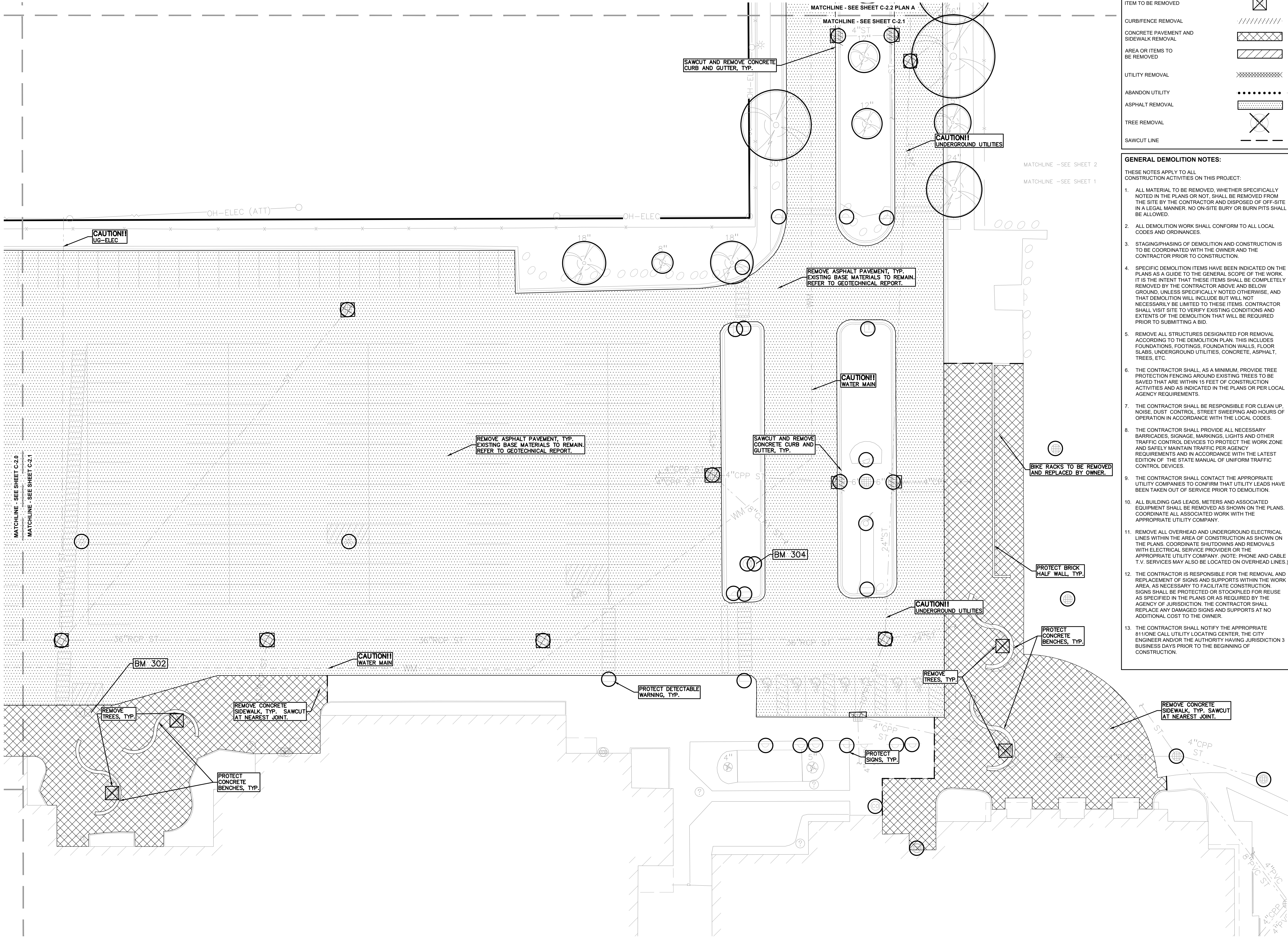
REVISIONS	
PERMITS	04/17/26
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ORIGINAL ISSUE DATE:
SEPTEMBER 19, 2025

DRAWING TITLE
DEMOLITION PLAN - AREA 1

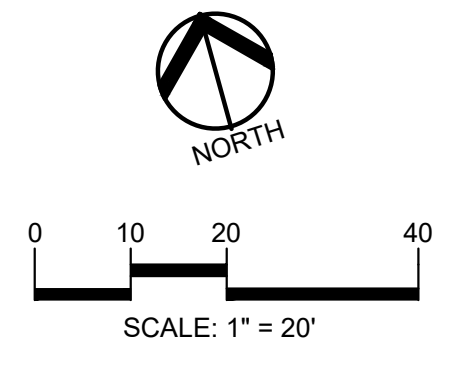
PEA JOB NO.	23-1084.06
P.M.	TD
DN.	SP
DES.	LR

DRAWING NUMBER:
C-2.0



DEMOLITION LEGEND:	
ITEM TO BE PROTECTED	
ITEM TO BE REMOVED	
CURB/FENCE REMOVAL	
CONCRETE PAVEMENT AND SIDEWALK REMOVAL	
AREA OR ITEMS TO BE REMOVED	
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 - SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.
 - REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, FLOOR SLABS, UNDERGROUND UTILITIES, CONCRETE, ASPHALT, TREES, ETC.
 - THE CONTRACTOR SHALL, AS A MINIMUM, PROVIDE TREE PROTECTION FENCING AROUND EXISTING TREES TO BE SAVED THAT ARE WITHIN 15 FEET OF CONSTRUCTION ACTIVITIES AND AS INDICATED IN THE PLANS OR PER LOCAL AGENCY REQUIREMENTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
 - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 - THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT OF SERVICE PRIOR TO DEMOLITION.
 - ALL BUILDING GAS LEADS, METERS AND ASSOCIATED EQUIPMENT SHALL BE REMOVED AS SHOWN ON THE PLANS. COORDINATE ALL ASSOCIATED WORK WITH THE APPROPRIATE UTILITY COMPANY. (NOTE: PHONE AND CABLE T.V. SERVICES MAY ALSO BE LOCATED ON OVERHEAD LINES.)
 - REMOVE ALL OVERHEAD AND UNDERGROUND ELECTRICAL LINES WITHIN THE AREA OF CONSTRUCTION AS SHOWN ON THE PLANS. COORDINATE SHUTDOWNS AND REMOVALS WITH ELECTRICAL SERVICE PROVIDER OR THE APPROPRIATE UTILITY COMPANY. (NOTE: PHONE AND CABLE T.V. SERVICES MAY ALSO BE LOCATED ON OVERHEAD LINES.)
 - THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE 811/ONE CALL UTILITY LOCATING CENTER, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.



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REFER TO PAVEMENT INVESTIGATION REPORT BY SPALDING DEDECKER (DATED 11-18-22) FOR PAVEMENT CONDITION ASSESSMENTS AND PAVEMENT REPAIR RECOMMENDATIONS AND LOCATIONS.

REFER TO GEOTECHNICAL REPORT BY G2 CONSULTING GROUP (DATED 10-26-22) FOR EXISTING CONDITIONS INVESTIGATION, PAVEMENT CORE LOGS, AND PAVEMENT AND DRAINAGE DESIGN RECOMMENDATIONS.

CLIENT
PLANTE MORAN REALPOINT
3000 TOWN CENTER DR., SUITE 100
SOUTHFIELD, OAKLAND COUNTY, MICHIGAN

PROJECT TITLE
GROSSE POINTE NORTH HIGH SCHOOL PHASE 2
707 VERNIER RD
GROSSE POINTE WOODS, WAYNE COUNTY, MI

REVISIONS	
PERMITS	04/17/26
CITY REVIEW	06/16/26
CITY REVIEW	07/01/26

ORIGINAL ISSUE DATE:
SEPTEMBER 19, 2025

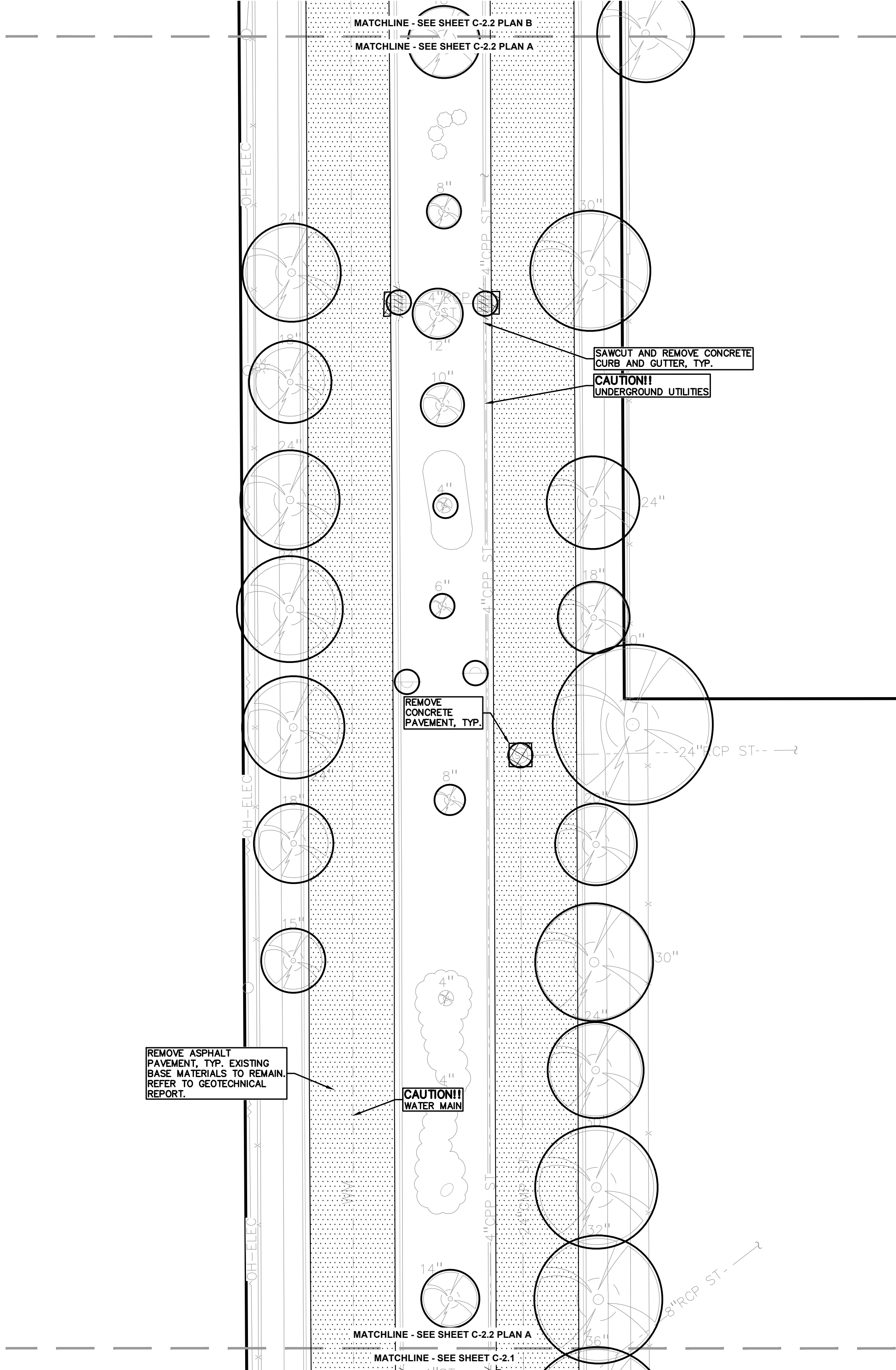
DRAWING TITLE
DEMOLITION PLAN - AREA 1

PEA JOB NO.	23-1084.06
P.M.	TD
DN.	SP
DES.	LR

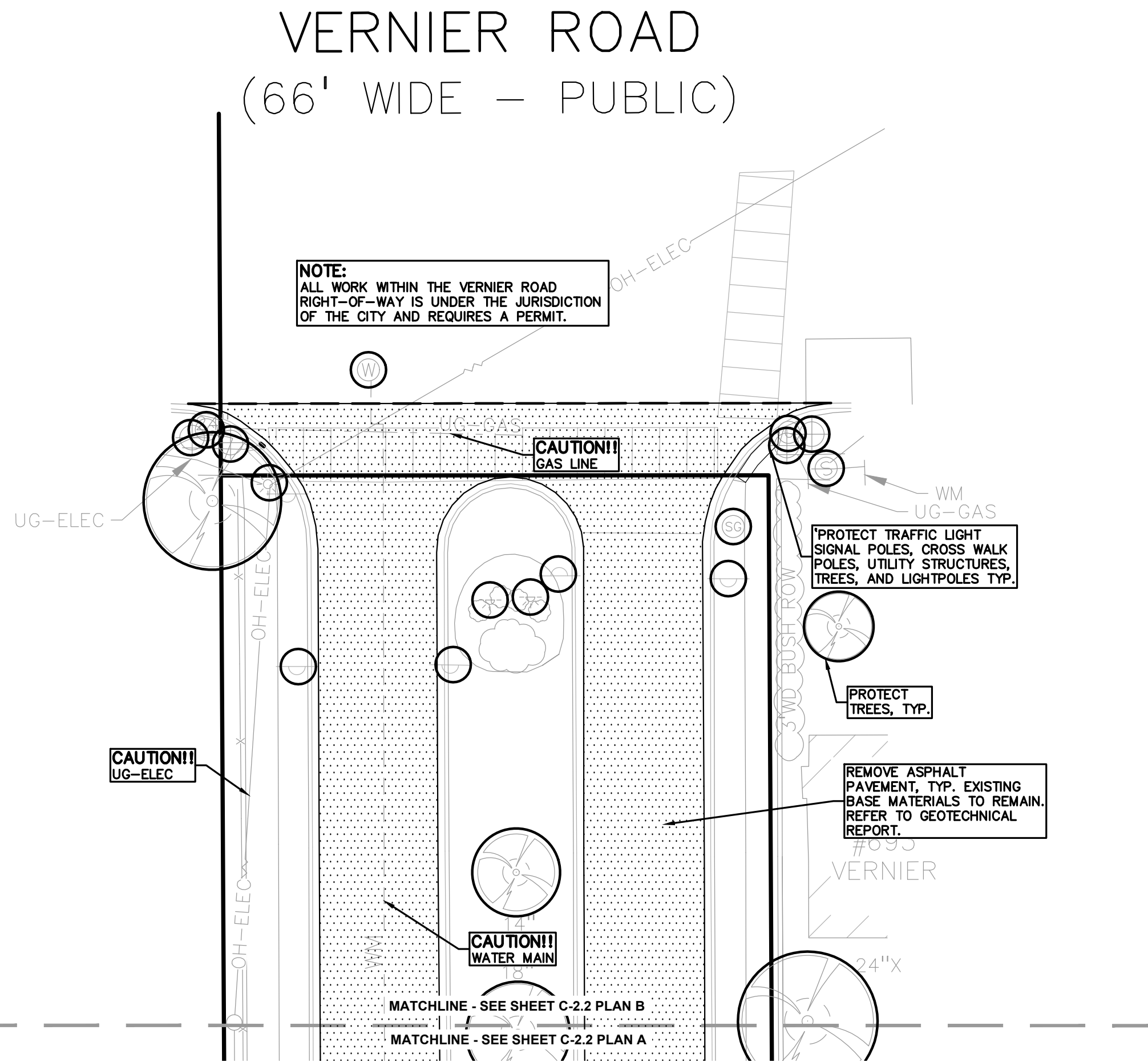
DRAWING NUMBER:

C-2.1

PLAN A



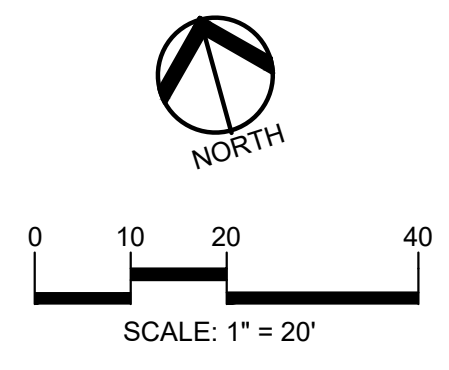
PLAN B



DEMOLITION LEGEND:	
ITEM TO BE PROTECTED	
ITEM TO BE REMOVED	
CURB/FENCE REMOVAL	
CONCRETE PAVEMENT AND SIDEWALK REMOVAL	
AREA OR ITEMS TO BE REMOVED	
UTILITY REMOVAL	
ABANDON UTILITY	
ASPHALT REMOVAL	
TREE REMOVAL	
SAWCUT LINE	

- GENERAL DEMOLITION NOTES:**
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:
- ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
 - ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
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PEA GROUP
t: 844.813.2949
www.peagroup.com



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CLIENT
PLANTE MORAN REALPOINT
3000 TOWN CENTER DR., SUITE 100
SOUTHFIELD, OAKLAND COUNTY, MICHIGAN

PROJECT TITLE
GROSSE POINTE NORTH HIGH SCHOOL PHASE 2
707 VERNIER RD
GROSSE POINTE WOODS, WAYNE COUNTY, MI

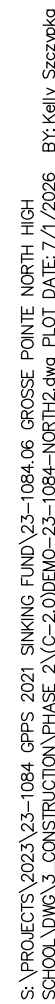
REVISIONS	
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ORIGINAL ISSUE DATE:
SEPTEMBER 19, 2025

DEMOLITION PLAN - AREA 1

PEA JOB NO.	23-1084.06
P.M.	TD
DN.	SP
DES.	LR

DRAWING NUMBER:
C-2.2

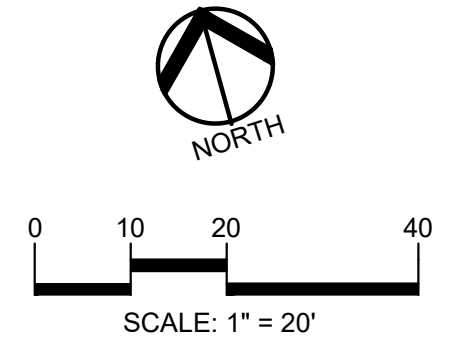


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6. THE CONTRACTOR SHALL, AS A MINIMUM, PROVIDE TREE PROTECTION FENCING AROUND EXISTING TREES TO BE SAVED THAT ARE WITHIN 15 FEET OF CONSTRUCTION ACTIVITIES AND AS INDICATED IN THE PLANS OR PER LOCAL AGENCY REQUIREMENTS.
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11. REMOVE ALL OVERHEAD AND UNDERGROUND ELECTRICAL LINES WITHIN THE AREA OF CONSTRUCTION AS SHOWN ON THE PLANS. COORDINATE WITH UTILITIES AND REMOVALS WITH ELECTRICAL SERVICE PROVIDER OR THE APPROPRIATE UTILITY COMPANY. (NOTE: PHONE AND CABLE T.V. SERVICES MAY ALSO BE LOCATED ON OVERHEAD LINES).
12. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK ZONE. AS NECESSARY TO FACILITATE CONSTRUCTION, SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REMOVE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.
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REPORT BY SPALDING DEDECKER (DATED
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CLIENT

**PLANTE MORAN
REALPOINT**

3000 TOWN CENTER DR., SUITE 100
SOUTHFIELD, OAKLAND COUNTY, MICHIGAN

PROJECT TITLE
**GROSSE POINTE
NORTH HIGH
SCHOOL PHASE 2**
707 VERNIER RD
GROSSE POINTE WOODS, WAYNE COUNTY, MI

REVISIONS	
PERMITS	04/17/26
CITY REVIEW	06/16/26
CITY REVIEW	07/01/26

ORIGINAL ISSUE DATE:
SEPTEMBER 19, 2025

DRAWING TITLE

**DEMOLITION
PLAN
- AREA 2**

PEA JOB NO.	23-1084.06
P.M.	TD
DN.	SP
DES.	LR

DRAWING NUMBER:

C-2.3



REFER TO PAVEMENT INVESTIGATION
REPORT BY SPALDING DEDECKER (DATE
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ASSESSMENTS AND PAVEMENT REPAIR
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REFER TO GEOTECHNICAL REPORT BY
CONSULTING GROUP (DATED 10-26-22)
EXISTING CONDITIONS INVESTIGATION,
PAVEMENT CORE LOGS, AND PAVEMENT
DRAINAGE DESIGN RECOMMENDATIONS

CLIENT
**PLANTE MORAN
REALPOINT**
3000 TOWN CENTER DR., SUITE 100
SOUTHFIELD, OAKLAND COUNTY, MICHIGAN

PROJECT TITLE
**GROSSE POINTE
NORTH HIGH
SCHOOL PHASE**
707 VERNIER RD
GROSSE POINTE WOODS, WAYNE COUNTY, MI

REVISIONS	
PERMITS	04/
CITY REVIEW	06/
CITY REVIEW	07/

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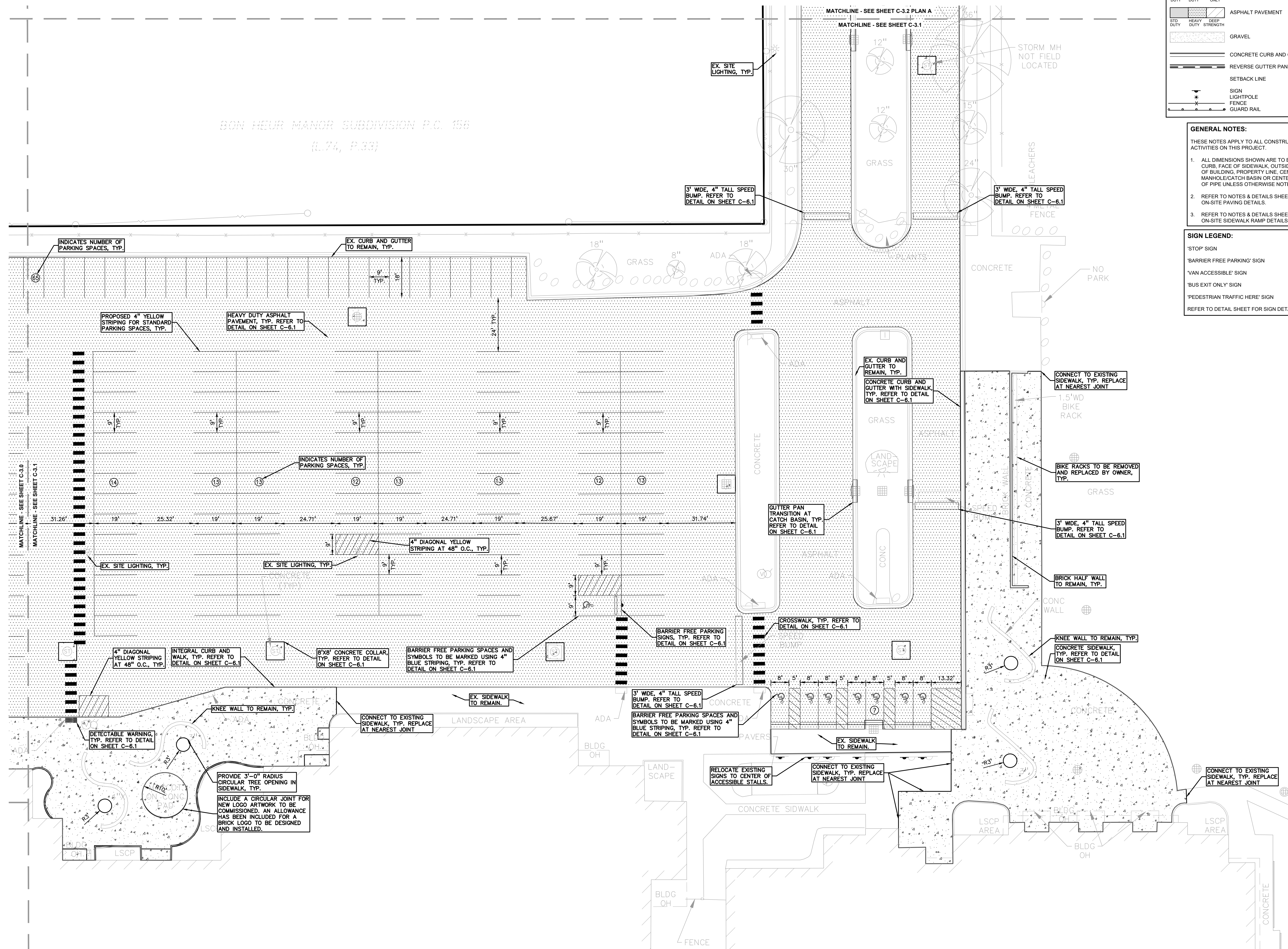
DRAWING TITLE

DIMENSION AND PAVING PLAN - AREA 1

PEA JOB NO.	23-1084
P.M.	
DN.	
DES.	

DRAWING NUMBER:

C-3.



3: \PROJECTS\2023\23-1084 GPPS 2021 SINKING FUND\23-1084.06 GROSSE POINTE NORTH HIGH SCHOOL.DWG;3 CONSTRUCTION\PHASE 2\CS-3.0\DIM-23-1084-NORTH2.dwg PLOT DATE: 7/1/2028 BY: Kelly Szczepko

MATCHLINE - SEE SHEET C-3.2 PLAN B

MATCHLINE - SEE SHEET C-3.2 PLAN A

3' HIGH WOOD FENCE & CHAINLINK FENCE ON BRICK WALL

6' WOOD FENCE & CHAINLINK FENCE

GUTTER PAN TRANSITION AT CATCH BASIN, TYP. REFER TO DETAIL ON SHEET C-6.1

EX. SITE LIGHTING, TYP.

24"

18"

24"

24"

18"

24"

18"

15"

4"

4"

14"

6"

PARK FIRE LANE

CONCRETE

8"

GRASS

4"

4"

14"

30"

24"

30"

32"

36"

5' CHAINLINK FENCE

8'X8' CONCRETE COLLAR, TYP. REFER TO DETAIL ON SHEET C-6.1

EX. CURB AND GUTTER TO REMAIN, TYP.

HEAVY DUTY ASPHALT PAVEMENT, TYP. REFER TO DETAIL ON SHEET C-6.1

4" METAL FENCE

6' WOOD FENCE & 6' CHAINLINK FENCE

GRASS

MATCHLINE - SEE SHEET C-3.2 PLAN A

MATCHLINE - SEE SHEET C-3.1

SIGN LEGEND:	
'STOP' SIGN	1
'BARRIER FREE PARKING' SIGN	2
'VAN ACCESSIBLE' SIGN	3
'BUS EXIT ONLY' SIGN	4
'PEDESTRIAN TRAFFIC HERE' SIGN	5
REFER TO DETAIL SHEET FOR SIGN DETAILS	



0 10 20 40

SCALE: 1" = 20'

811 Know what's below.
Call before you dig.

REFER TO GEOTECHNICAL REPORT BY G2 CONSULTING GROUP (DATED 10-26-22) FOR EXISTING CONDITIONS INVESTIGATION, PAVEMENT CORE LOGS, AND PAVEMENT AND DRAINAGE DESIGN RECOMMENDATIONS.

PROJECT TITLE
**GROSSE POINTE
NORTH HIGH
SCHOOL PHASE 2**
707 VERNIER RD
GROSSE POINTE WOODS, WAYNE COUNTY, MI

DRAWING TITLE

**DIMENSION AND
PAVING PLAN
- AREA 1**

DRAWING NUMBER:

C-3.2

1. PAVEMENT PREPARATION SHALL FOLLOW THE PROCESS SUMMARIZED BELOW:

- [illegible]

 CONCRETE PAVEMENT
 ASPHALT PAVEMENT
 GRAVEL
 CONCRETE CURB AND
 REVERSE GUTTER PANEL
 SETBACK LINE
 SIGN
 LIGHTPOLE
 FENCE
 GUARD RAIL

'STOP' SIGN	[1]
'BARRIER FREE PARKING' SIGN	[2]
'VAN ACCESSIBLE' SIGN	[3]
'BUS EXIT ONLY' SIGN	[4]
'PEDESTRIAN TRAFFIC HERE' SIGN	[5]

REFER TO DETAIL SHEET FOR SIGN DETAILS.

THESE NOTES APPLY TO ALL CONSTRUCT
ACTIVITIES ON THIS PROJECT.

- | PAVING QUANTITIES: | |
|---------------------------------------|-------|
| HEAVY DUTY ASPHALT PAVEMENT ONLY | 8,60 |
| HEAVY DUTY ASPHALT PAVEMENT WITH BASE | 4,50 |
| BUTT JOINT | 2 |
| CONCRETE SIDEWALK | 13,10 |
| CONCRETE CURB AND GUTTER | 33 |
| CONCRETE STRAIGHT CURB | 11 |
| 6' TALL GREEN VINYL COATED FENCE | 55 |
| 6' TALL GREEN VINYL COATED SWING GATE | |
| CONCRETE COLLAR | 2 |
| BOLLARDS | 2 |
| RADIAL UNDERDRAIN | 2 |
| PAVEMENT STRIPING | 1 |
| PAVEMENT SIGNAGE | |

SUBGRADE UNDERCUT (30% EST.)	10
SUBGRADE UNDERCUT DRAIN TILE (EST.)	20
IMPORT 21AA CRUSHED LIMESTONE (PRICE ONLY)	100

1. CONTRACTOR TO VERIFY ALL QUANTITIES SHOWN ON THE PLANS. ANY DEVIATIONS TO THE PLANNED QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE SCHOOL DISTRICT AND PEABODY GROUP, IN WRITING PER THE BID PACKAGE, FOR VERIFICATION PRIOR TO BIDDING.

2. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB FACE OF SIDEWALK, CENTER OF MANHOLE/CATCH BASIN UNLESS OTHERWISE NOTED.
3. DOWEL INTO EXISTING CURB AND GUTTER 9" W/ EPOXY COATED #4 BAR CONTINUOUS BETWEEN EXISTING AND PROPOSED CURBING.
4. CONTRACTOR TO FIELD VERIFY ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION INCLUDING BUT NOT LIMITED TO SITE LIGHTING, FIBER LINES, ETC.
5. REFER TO NOTES AND DETAIL SHEETS FOR ON SITE PAVING DETAILS.
6. CONTRACTOR TO REMOVE AND REPLACE SIGNAGE AND POSTS PER DETAILS ON SHEET C-6.0. ALL SIGNAGE ANY IN GOOD CONDITION SHALL BE RETURNED TO THE OWNER. ALL POSTED DAMAGED OR IN OTHERWISE POOR CONDITION, SHALL BE DISPOSED OF AT NO ADDITIONAL COST TO THE OWNER.

7. FOR THE CATCH BASINS IN THE WORK AREA; BIDDERS ARE TO INCLUDE RECONSTRUCTION OF THESE STRUCTURES (GREATER THAN 12-INCH DEPTH FROM THE RIM ELEVATION REPAIR WORK) IF THE REPAIR IS SUCCESSFUL. BIDDERS WILL BE PAID FOR REPAIRING EACH STRUCTURE BASED ON THE ACTUAL DEPTH OF REPAIR WITH EITHER STRUCTURAL ADJUSTMENT (WITHIN TOP 12-INCHES OF RIM ELEVATION) OR STRUCTURAL RECONSTRUCTION (DEPTHS GREATER THAN 12-INCHES DEPTH) AT THE UNIT PRICES PROVIDED IN THE BID PACKAGE AND THE SCOPE OF WORK DETERMINED AND APPROVED PRIOR TO THE WORK COMMENCING. REPLASTERING OF THE ENTIRE STRUCTURE SHALL BE PAID AT THE UNIT PRICE FOR BOTH STRUCTURAL ADJUSTMENT AND STRUCTURAL RECONSTRUCTION.

8. A THICKENED EDGE OF ASPHALT PER THE DET ON SHEET C-6.0 OF THE PLANS SHALL BE LOCATED WHERE CALLED FOR IN THE PLAN. BIDDERS SHALL INCREASE THE QUANTITIES FOR THIS ITEM ACCORDINGLY IN THE BASE BID.
9. ALL PROPOSED ADA RAMPS SHALL HAVE TRUNCATED DOWNS. YELLOW PLASTIC OR METAL STYLE DOWNS ARE BOTH ACCEPTABLE.
10. CONTRACTOR SHALL REFER TO THE "GEOTECHNICAL PAVEMENT INVESTIGATION" PREPARED BY G2 DATED OCTOBER 26, 2022.

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CITY REVIEW	06/16
CITY REVIEW	07/07

ORIGINAL ISSUE DATE:
SEPTEMBER 19, 2025

DRAWING TITLE

DRAWING TITLE

DRAWING TITLE

DIMENSION AND

DRAWING PLAN

PAVING PLAN - AREA 2

PEA JOB NO 23-1084

P.M.

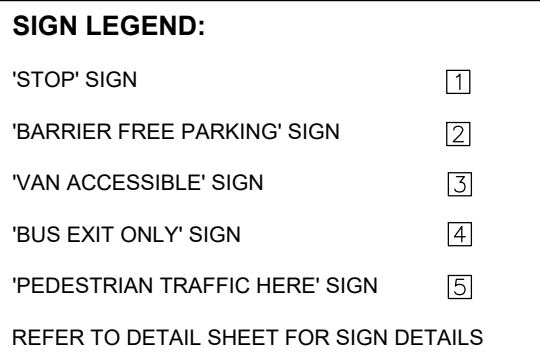
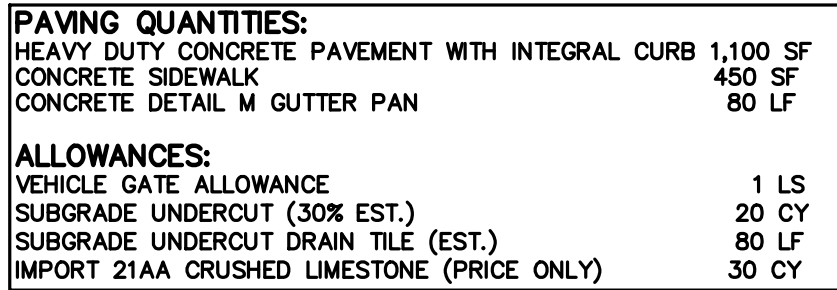
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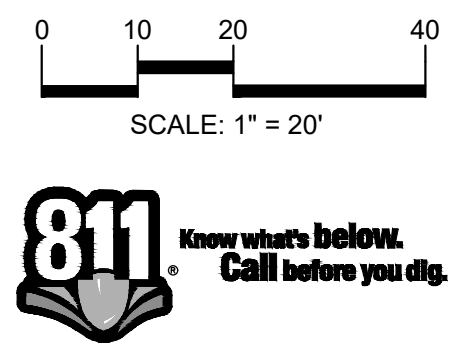
1. PAVEMENT PREPARATION SHALL FOLLOW THE PROCESS SUMMARIZED BELOW:
 - 1.1. AS PART OF THE PAVEMENT REMOVAL, REMOVE THE EXISTING PAVEMENT AND ANY AGGREGATE BASE REQUIRED FOR THE PROPOSED THICKNESS OF ASPHALT/CONCRETE PAVEMENT TO BE PLACED. ANY EXISTING MATERIAL SHALL BE REMOVED TO ACHIEVE THIS ELEVATION WILL BE PART OF THE EARTHWORKS FOR THE PAVING OPERATION, WILL NOT BE PAID FOR SEPARATELY AND/OR CONSIDERED PART OF THE BIDDING PROCESS. UNDERCUTTING PAY ITEM AND WILL BE INCLUDED IN THE BASE BID OF THE WORK.
 - 1.2. REMOVE THE EXISTING ASPHALT/CONCRETE BASE REMOVED TO ACHIEVE THE THICKNESS OF THE PROPOSED PAVEMENT, AS DESCRIBED IN ITEM 1.1, AND RE-USE ACCEPTABLE BY A QUALIFIED ENGINEERING TECHNICIAN SHALL BE STOCKPILED FOR DE-USE IN THE PAVEMENT OPERATION. PROOF ROLL EXISTING BASE AND SUBGRADE PER PLANS, SPECIFICATIONS AND GEOTECHNICAL REPORT.
 - 1.3. DETERMINE AREAS THAT FAIL THE PROOF ROLL. SUBGRADE UNDERCUTS SHALL BE EVALUATED BY A QUALIFIED ENGINEERING TECHNICIAN TO DETERMINE IF SUBGRADE STABILIZATION IS NECESSARY. DRAIN TIE SHALL BE PLACED WITHIN THE UNDERCUT AREAS AND CONVALED TO THE CLOSEST CATCH BASIN TO PREVENT GROUNDWATER FROM POOLING WITHIN THE GRANULAR SOILS IN UNDERCUTS AND CREATING "BATHTUBS" IN THE COHESIVE SOILS TO MINIMIZE SUBGRADE INSTABILITY AND UNDERCUTS, THE SUBGRADE SHALL NOT BE LEFT EXPOSED TO PRECIPITATION. ALL STABILIZATION OPERATIONS AND SHOULD BE PERFORMED DURING THE SUMMER MONTHS TO ENSURE DRY, WARM, WEATHER. ADDITIONALLY, THE SUBGRADE MAY BE UNSTABLE TO SUPPORT THE LOADING OF CONSTRUCTION TRAFFIC; THEREFORE, CONSTRUCTION EQUIPMENT SHOULD BE LIMITED ON THE SUBGRADE.
 - 1.5. BACKFILL THE INITIAL PORTION OF THE UNDERCUT WITH THE SALVAGED AGGREGATE BASE AND THEN COMPLETE THE BACKFILL PROCESS WITH IMPORTED MDDOT 21A4 CRUSHED LESTONITE PER THE PLANS, SPECS AND GEOTECHNICAL REPORT.
2. SUBGRADE UNDERCUT SHALL BE EVALUATED BY A QUALIFIED ENGINEERING TECHNICIAN TO DETERMINE IF SUBGRADE STABILIZATION IS NECESSARY. UNDERCUT (ASPHALT/CONCRETE) AREAS WITHIN MDDOT 21A4 DENSE GRADED AGGREGATE PLACED IN AN ENGINEERED MANNER. LIFT THICKNESS SHALL NOT EXCEED 9 INCHES. THE USE OF TRI-AXIAL GEGRID MAY BE REQUIRED TO STABILIZE THE SUBGRADE, AS APPROVED BY THE DISTRICT AND PER THE BID PRICE PROVIDED WITH THE CONTRACTORS BID.
3. ALL ENGINEERED FILL SHALL BE COMPACTED TO A DENSITY OF AT LEAST 95 PERCENT OF THE MAXIMUM DENSITY DETERMINED BY THE MODIFIED PROCTOR (ASTM D1557) METHOD. THE REMAINING ENGINEERED FILL MATERIAL SHALL BE PLACED AND COMPACTED AT APPROXIMATELY THE OPTIMUM MOISTURE CONTENT. THE REMAINING SUBGRADE SHALL BE STABILIZED AND SHOULD BE PLACED ON A FROZEN SUBGRADE.
4. THE QUANTITY FOR SUBGRADE UNDERCUT FOR EACH SITE SHALL BE INCLUDED IN THE BASE BID. THIS ITEM IS CONSIDERED AN ALLOWANCE AND FINAL PAYMENT WILL BE BASED ON THE ACTUAL VOLUME OF MATERIAL REQUIRED IN PLACE. THE UNIT PRICE PROVIDED IN THE BID PAKAGE.
5. SUBGRADE UNDERCUT DRAIN TIE SHALL BE EVALUATED BY A QUALIFIED ENGINEERING TECHNICIAN TO DETERMINE IF SUBGRADE STABILIZATION IS NECESSARY. DRAIN TIE SHALL BE PLACED WITHIN THE UNDERCUT AREAS AND CONVALED TO THE CLOSEST CATCH BASIN TO PREVENT GROUNDWATER FROM POOLING WITHIN THE GRANULAR SOILS IN UNDERCUTS AND CREATING "BATHTUBS" IN THE COHESIVE SOILS.
6. THE QUANTITY FOR SUBGRADE UNDERCUT DRAIN TIE (4" OR 6" DIA) SHALL BE INCLUDED IN THE BASE BID. THIS ITEM IS CONSIDERED AN ALLOWANCE AND FINAL PAYMENT WILL BE BASED ON THE ACTUAL FOOTAGE OF COMPACTED IN PLACE STONE PER THE UNIT PRICE PROVIDED IN THE BID PAKAGE.
7. THE IMPORTING, ADDING, FINE GRADING AND COMPACTING ADDITIONAL PAVEMENT AGGREGATE BASE MATERIAL (MDDOT 21A4 CRUSHED LESTONITE) REQUIRED TO ACHIEVE THE PROPOSED TOP OF BASE ELEVATIONS AND PRIOR TO PLACING THE ASPHALT PAVEMENT WILL BE INCLUDED IN THE BIDDING PROCESS COMPLETED BY THE CONTRACTOR DURING THE BIDDING PROCESS. AS PART OF THE EARTHWORK CALCULATIONS, THE CONTRACTOR SHALL ASSUME THAT THE VOLUME OF 2" OF MATERIAL ACROSS THE ENTIRE AREA WILL BE REMOVED WITH THE PAVEMENT AND/OR CONSIDERED UN-USABLE BY THE QUALIFIED ENGINEERING TECHNICIAN. THE BIDDING PROCESS WILL BE BASED ON THE ACTUAL VOLUME OF MATERIAL REQUIRED WITH IMPORTED MDDOT 21A4 CRUSHED LESTONITE.
8. THE QUANTITY FOR IMPORTING, ADDING, FINE GRADING, AND COMPACTING ADDITIONAL PAVEMENT AGGREGATE BASE MATERIAL (MDDOT 21A4 CRUSHED LESTONITE) REQUIRED TO ACHIEVE THE PROPOSED TOP OF BASE ELEVATIONS AND PRIOR TO PLACING THE ASPHALT PAVEMENT FOR EACH SITE SHALL BE INCLUDED IN THE BASE BID. THIS ITEM IS CONSIDERED AN ALLOWANCE COMPLETED BY THE CONTRACTOR DURING THE BIDDING PROCESS. AS PART OF THE EARTHWORK CALCULATIONS, THE CONTRACTOR SHALL ASSUME THAT THE VOLUME OF 2" OF MATERIAL ACROSS THE ENTIRE AREA WILL BE REMOVED WITH THE PAVEMENT AND/OR CONSIDERED UN-USABLE BY THE QUALIFIED ENGINEERING TECHNICIAN. THE BIDDING PROCESS WILL BE BASED ON THE ACTUAL VOLUME OF MATERIAL REQUIRED WITH IMPORTED MDDOT 21A4 CRUSHED LESTONITE.



NOTES:

1. CONTRACTOR TO VERIFY ALL QUANTITIES SHOWN ON THE PLANS. ANY DEVIATIONS TO THE PLAN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE SCHOOL DISTRICT AND PEAK GROUP BY WRITING TO THE PACKAGE, FOR VERIFICATION PRIOR TO BIDDING.
2. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF DOWEL JOINTS OF MANHOLE/CATCH-BASIN UNLESS OTHERWISE NOTED.
3. DOWEL INTO EXISTING CURB AND GUTTER 9" WITH EPDM DOWEL JOINT GASKET. NO REMOVAL OF EXISTING AND PROPOSED CURBING.
4. CONTRACTOR TO FIELD VERIFY ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION INCLUDING BUT NOT LIMITED TO: SITE LIGHTING, FIBER LINES, ETC.
5. REFER TO NOTES AND DETAIL SHEETS FOR ON SITE PAVING DETAILS.
6. CONTRACTOR TO REMOVE AND REPLACE SIGNS AND POSTS PER DETAILS ON SHEET C-6.0. ALL SIGNS AND ANY POSTS IN GOOD CONDITION SHALL BE RETURNED TO THE OWNER. ALL POSTED DANGER OR NO PARKING SIGNS IN POOR CONDITION, SHALL BE DISPOSED OF AT NO ADDITIONAL COST TO THE OWNER.
7. FOR THE CATCH BASINS IN THE WORK AREA; BIDDERS ARE TO INCLUDE RECONSTRUCTION OF THESE STRUCTURES (GREATER THAN 12-INCHES IN DEPTH) FROM THE EXISTING CURB (WITHIN PAIR WORK) IN THE BASE BID. THE SUCCESSFUL BIDDER WILL BE PAID FOR REPAIRING EACH STRUCTURE BASED ON THE ACTUAL DEPTH OF REPAIR WITH EITHER STRUCTURE OR CURB (WHATEVER IS DEEPER THAN 12-INCHES OF RIM ELEVATION) OR STRUCTURAL RECONSTRUCTION (GREATER THAN 12-INCHES IN DEPTH) PER THE UNIT PRICES PROVIDED IN THE BID PACKAGE AND THE SCOPE OF WORK DETERMINED AND APPROVED PRIOR TO THE WORK COMMENCING. REPLASTERING OF THE ENTIRE STRUCTURE SHALL BE INCLUDED IN THE UNIT PRICE FOR BOTH STRUCTURAL ADJUSTMENT AND STRUCTURAL RECONSTRUCTION.
8. A THICKENED EDGE OF ASPHALT PER THE DETAIL ON SHEET C-6.0 OF THE PLANS SHALL BE LOCATED WHERE CALLED FOR IN THE PLAN. BIDDERS SHALL INCREASE THE QUANTITIES FOR THIS ITEM ACCORDINGLY IN THE BASE BID.
9. ALL PROPOSED ADA RAMPS SHALL HAVE TRIPLES DOWNS, YELLOW PLASTIC OR METAL STYLE DOWNS ARE BOTH ACCEPTABLE.
10. CONTRACTOR SHALL REFER TO THE "GEOTECHNICAL PAVEMENT INVESTIGATION" PREPARED BY G2 DATED OCTOBER 26, 2022.

STATE OF MICHIGAN
 JOSEPH B. WYWROT
 ENGINEER
 No.
 6201045674



CLIENT

**PLANTE MORAN
REALPOINT**

3000 TOWN CENTER DR., SUITE 100
SOUTHFIELD, OAKLAND COUNTY, MICHIGAN

PROJECT TITLE
**GROSSE POINTE
NORTH HIGH
SCHOOL PHASE 2**
707 VERNIER RD
GROSSE POINTE WOODS, WAYNE COUNTY, MI

REVISIONS	
PERMITS	04/17/26
CITY REVIEW	06/16/26
CITY REVIEW	07/01/26

ORIGINAL ISSUE DATE:
SEPTEMBER 19, 2025

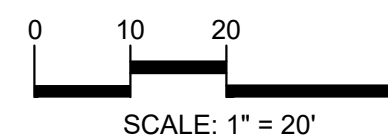
DRAWING TITLE

DIMENSION AND PAVING PLAN - AREA 3

PEA JOB NO.	23-1084.06
P.M.	TD
DN.	SP
DES.	LR

DRAWING NUMBER:

C-3.4



REFER TO PAVEMENT INVESTIGATION
REPORT BY SPALDING DEDECKER (DATE
11-18-22) FOR PAVEMENT CONDITION
ASSESSMENTS AND PAVEMENT REPAIR
RECOMMENDATIONS AND LOCATIONS.

REFER TO GEOTECHNICAL REPORT BY
CONSULTING GROUP (DATED 10-26-22)
EXISTING CONDITIONS INVESTIGATION,
PAVEMENT CORE LOGS, AND PAVEMENT
DRAINAGE DESIGN RECOMMENDATIONS

CLIENT
**PLANTE MORAN
REALPOINT**
3000 TOWN CENTER DR., SUITE 100
SOUTHFIELD, OAKLAND COUNTY, MICHIGAN

PROJECT TITLE
**GROSSE POINTE
NORTH HIGH
SCHOOL PHASE**
707 VERNIER RD
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REVISIONS	
PERMITS	04/
CITY REVIEW	06/
CITY REVIEW	07/

ORIGINAL ISSUE DATE:
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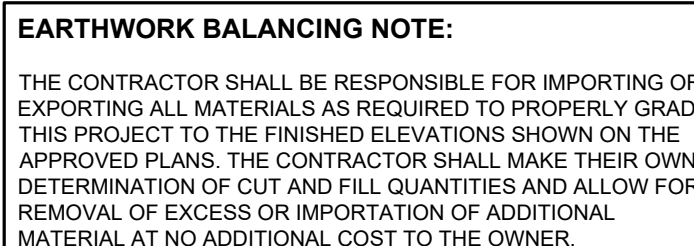
DRAWING TITLE

GRADING PLAN - AREA 1

PEA JOB NO.	23-1084
P.M.	
DN.	
DES.	

DRAWING NUMBER:

C-4.0



BENCHMARKS:
(GPS DERIVED - NAVD88)

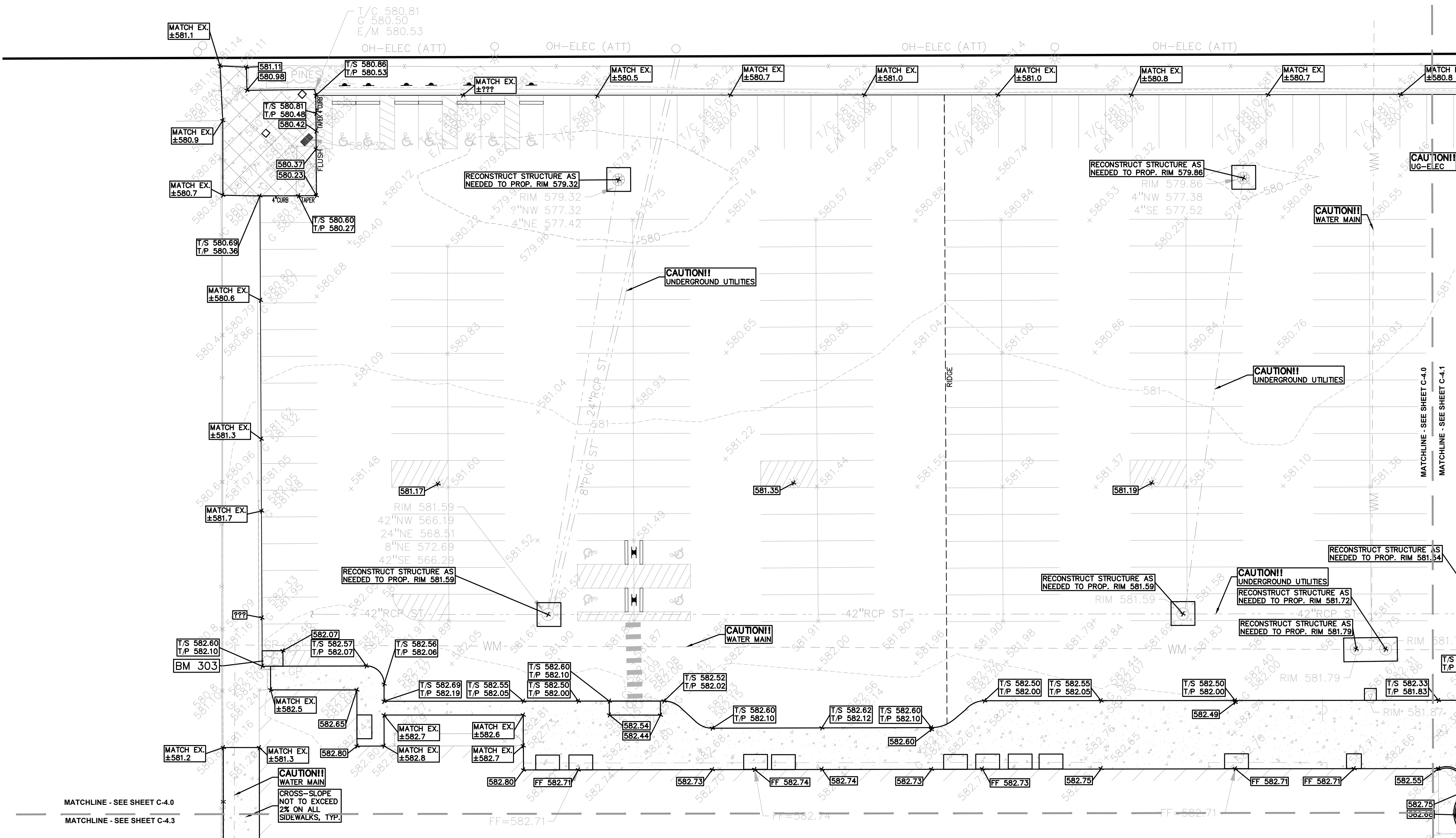
BM #300
ARROW ON HYDRANT LOCATED ON THE SOUTH SIDE OF THE SITE AND $\pm 109'$ DIRECTLY SOUTH FROM SOUTH BUILDING ENTRANCE.
ELEV. - 584.52

BM #301
ARROW ON HYDRANT LOCATED ON THE SOUTHEAST SIDE OF THE SITE AND $\pm 13'$ FROM THE MOST SOUTHEASTERLY BUILDING CORNER.
ELEV. - 585.71

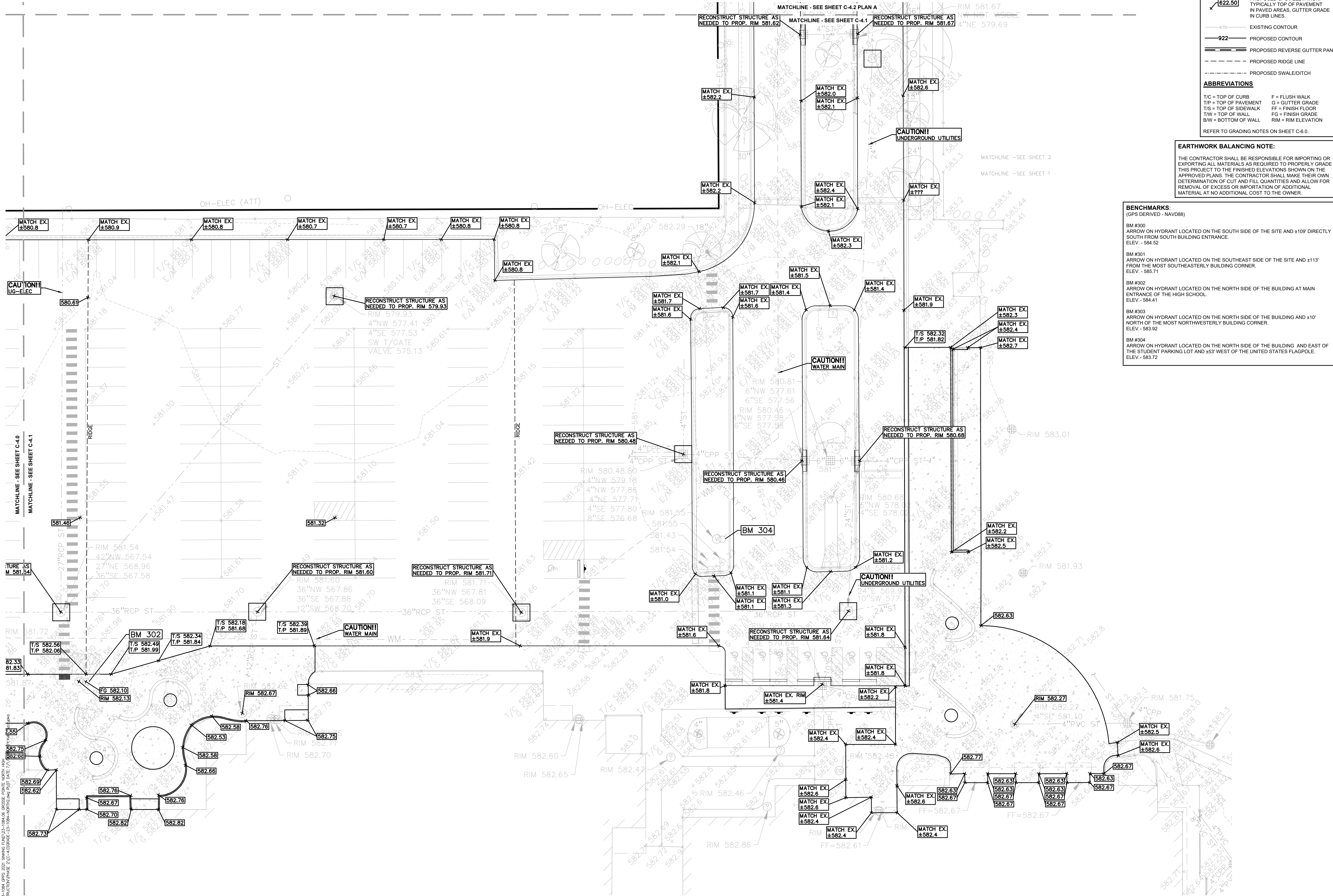
BM #302
ARROW ON HYDRANT LOCATED ON THE NORTH SIDE OF THE BUILDING AT MAIN ENTRANCE OF THE HIGH SCHOOL.
ELEV. - 584.41

BM #303
ARROW ON HYDRANT LOCATED ON THE NORTH SIDE OF THE BUILDING AND $\pm 10'$ NORTH OF THE MOST NORTHWESTERLY BUILDING CORNER.
ELEV. - 583.92

BM #304
ARROW ON HYDRANT LOCATED ON THE NORTH SIDE OF THE BUILDING AND EAST OF THE STUDENT PARKING LOT AND $\pm 53'$ WEST OF THE UNITED STATES FLAGPOLE.
ELEV. - 583.72



R:\PROJECTS\2023\23-1084 GPPS 2021 SINKING FUND\23-1084.06 GROSSE POINTE NORTH HIGH SCHOOL\DWG\3 CONSTRUCTION\PHASE 2\1-C-01GRADE-23-1084-NORTH2.dwg PLOT DATE: 7/1/2026 BY: Kelly Szczepko



GRADING LEGEND:

EXISTING SPOT ELEVATION
PROPOSED SPOT ELEVATION:
TYPICALLY TOP OF PAVEMENT
IN PAVED AREAS, GUTTER GRADE
IN CURB LINES.

EXISTING CONTOUR
PROPOSED CONTOUR
PROPOSED REVERSE GUTTER PAN
PROPOSED RIDGE LINE
PROPOSED SWALE/DITCH

ABBREVIATIONS

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F = FLUSH WALK
G = GUTTER GRADE
FF = FINISH FLOOR
FG = FINISH GRADE
RIM = RIM ELEVATION

REFER TO GRADING NOTES ON SHEET C-6.0.

EARTHWORK BALANCING NOTE:

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ELEV. - 583.72

PEA GROUP
t: 844.813.2949
www.peagroup.com

JOSEPH B. WYBROT
ENGINEER
No. 6201046874

NORTH

0 10 20 40

SCALE: 1" = 20'

811 Know what's below. Call before you dig.

CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE AS TO ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

REFER TO PAVEMENT INVESTIGATION REPORT BY SPALDING DECKEYER (DATED 11-18-22) FOR PAVEMENT CONDITION ASSESSMENTS AND PAVEMENT REPAIR RECOMMENDATIONS AND LOCATIONS.

REFER TO GEOTECHNICAL REPORT BY G2 CONSULTING GROUP (DATED 10-26-22) FOR EXISTING CONDITIONS INVESTIGATION, PAVEMENT CORE LOGS, AND PAVEMENT AND DRAINAGE DESIGN RECOMMENDATIONS.

CLIENT

PLANTE MORAN REALPOINT
3000 TOWN CENTER DR., SUITE 100
SOUTHFIELD, OKLAND COUNTY, MICHIGAN

PROJECT TITLE

GROSSE POINTE NORTH HIGH SCHOOL PHASE 2
707 VERNIER RD
GROSSE POINTE WOODS, WAYNE COUNTY, MI

REVISIONS	
PERMITS	04/17/26
CITY REVIEW	06/16/26
CITY REVIEW	07/01/26

ORIGINAL ISSUE DATE:
SEPTEMBER 19, 2025

DRAWING TITLE

GRADING PLAN - AREA 1

PEA JOB NO.	23-1084.06
P.M.	TD
DN.	SP
DES.	LR

DRAWING NUMBER:

C-4.1

MATCHLINE - SEE SHEET C-4.2 PLAN B

MATCH EX. ±582.7

MATCH EX. ±582.7

MATCH EX. ±582.4

MATCH EX. ±582.9

RIM 581.89
4"SE 577.40

RECONSTRUCT STRUCTURE AS NEEDED TO PROP. RIM 581.89

RECONSTRUCT STRUCTURE AS NEEDED TO PROP. RIM 582.06

MATCH EX. ±582.6

MATCH EX. ±582.7

MATCH EX. ±582.5

MATCH EX. ±582.9

MATCH EX. ±583.0

MATCH EX. ±582.8

MATCH EX. ±582.6

MATCH EX. ±583.3

MATCH EX. ±582.9

MATCH EX. ±582.6

MATCH EX. ±582.5

MATCH EX. ±583.2

MATCH EX. ±582.5

MATCH EX. ±582.3

MATCH EX. ±582.9

MATCH EX. ±582.7

MATCHLINE - SEE SHEET C-4.2 PLAN A

RECONSTRUCT STRUCTURE AS NEEDED TO PROP. RIM 581.62

MATCHLINE - SEE SHEET C-4.1

RECONSTRUCT STRUCTURE AS NEEDED TO PROP. RIM 581.67

VERNIER ROAD
(66' WIDE - PUBLIC)

Diagram showing the plan view of Vernier Road (66' wide - public) with utility layout. The road is shown as a horizontal line at the top. The utility layout includes a central water main (WM) and gas main (UG-GAS) running parallel to the road. Various utility lines (T/C, G, E/M) are shown with elevations. Matchlines are indicated at the top and bottom of the diagram. Caution areas are marked for gas and water mains. The diagram also shows a 24" X 24" X 24" structure, likely a manhole or vault, and a 3" W.D. BUSHING. The utility layout is shown in a plan view, with the road and utility lines running horizontally. The matchlines are at the top and bottom of the diagram. The caution areas are marked with 'CAUTION!!' and 'GAS LINE' or 'WATER MAIN'. The utility lines are labeled with 'T/C', 'G', 'E/M', 'WM', and 'UG-GAS'. Elevations are provided for various points along the utility lines. The diagram is a technical drawing of a utility layout for Vernier Road.

Matchlines and Elevation Data:

- Top Left: MATCH EX. ±583.3
- Top Center: MATCH EX. ±583.6
- Top Right: MATCH EX. ±583.9
- Bottom Left: MATCH EX. ±582.9
- Bottom Center: MATCH EX. ±582.7, MATCH EX. ±583.0
- Bottom Right: MATCH EX. ±583.1

Caution Areas:

- CAUTION!! GAS LINE
- CAUTION!! UG-ELEC
- CAUTION!! WATER MAIN

Utility Lines and Elevation Data:

- T/C 583.24, G 583.21, E/M 583.26
- T/C 583.50, G 583.24, E/M 583.24
- T/C 584.14, G 583.80, E/M 583.86
- T/C 584.16, G 583.90, E/M 583.92
- RIM 584.34
- WM UG-GAS
- T/WALL 585.78, B/WALL 584.10
- 3" W.D. BUSHING
- 24" X 24" X 24"

Matchlines:

- MATCHLINE - SEE SHEET C-4.2 PLAN B
- MATCHLINE - SEE SHEET C-4.2 PLAN A

EARTHWORK BALANCING NOTE:

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SCALE: 1" = 20'

**Know what's below.
Call before you dig.**

PROJECT TITLE
**GROSSE POINTE
NORTH HIGH
SCHOOL PHASE 2**
707 VERNIER RD
GROSSE POINTE WOODS, WAYNE COUNTY, MI

REVISIONS	
PERMITS	04/17/26
CITY REVIEW	06/16/26
CITY REVIEW	07/01/26

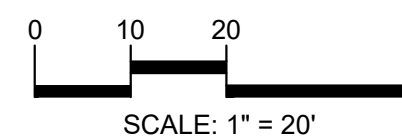
ORIGINAL ISSUE DATE:
SEPTEMBER 19, 2025

GRADING PLAN - AREA 1

PEA JOB NO.	23-1084.06
P.M.	TD
DN.	SP
DES.	LR

DRAWING NUMBER:

C-4.2



REFER TO PAVEMENT INVESTIGATION
REPORT BY SPALDING DEDECKER (DATE
11-18-22) FOR PAVEMENT CONDITION
ASSESSMENTS AND PAVEMENT REPAIR
RECOMMENDATIONS AND LOCATIONS.

REFER TO GEOTECHNICAL REPORT BY G
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EXISTING CONDITIONS INVESTIGATION,
PAVEMENT CORE LOGS, AND PAVEMENT
DRAINAGE DESIGN RECOMMENDATIONS.

CLIENT

**PLANTE MORAN
REALPOINT**

3000 TOWN CENTER DR., SUITE 100
SOUTHFIELD, OAKLAND COUNTY, MICHIGAN

PROJECT TITLE
**GROSSE POINTE
NORTH HIGH
SCHOOL PHASE 2**
707 VERNIER RD
GROSSE POINTE WOODS, WAYNE COUNTY, MI

REVISIONS	
PERMITS	04/1
CITY REVIEW	06/1
CITY REVIEW	07/0

ORIGINAL ISSUE DATE:
SEPTEMBER 19, 2025

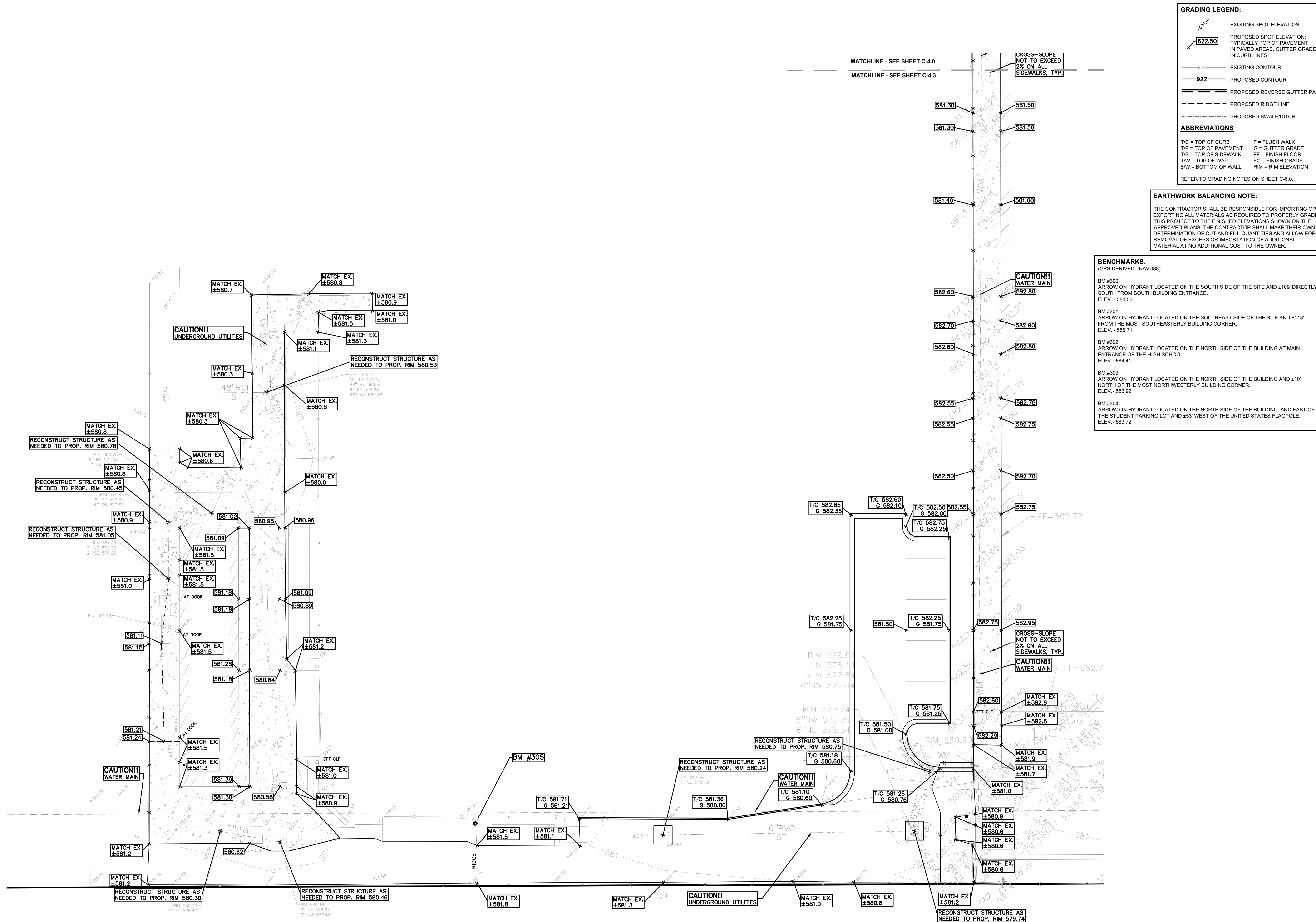
DRAWING TITLE

GRADING PLAN - AREA 2

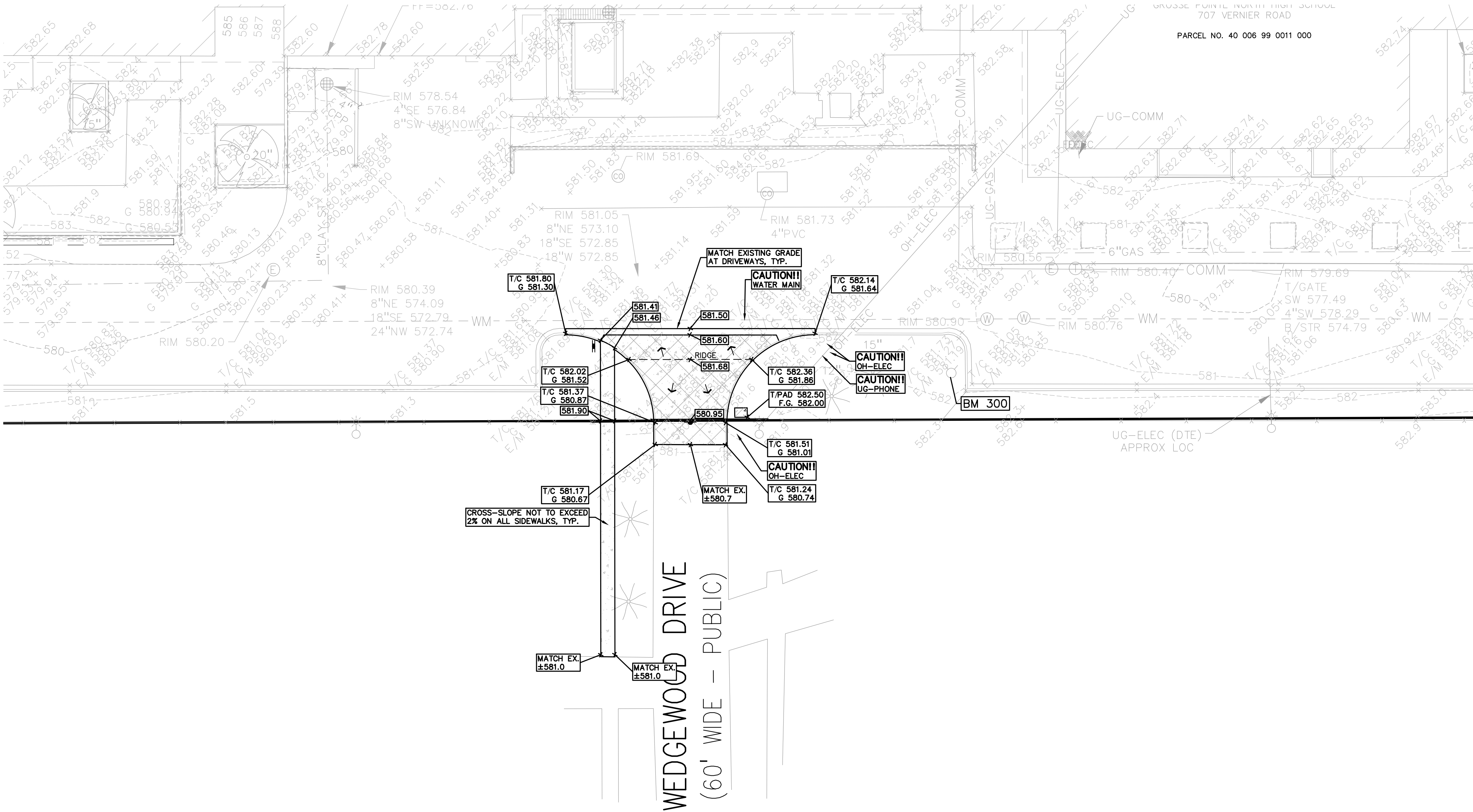
PEA JOB NO.	23-1084
P.M.	
DN.	
DES.	

DRAWING NUMBER:

C-4.3



S:\PROJECTS\2023\23-1084\PPPS\2021\DRAWING\23-1084-06 GROSSE POINTE NORTH HIGH SCHOOL PHASE 2 - C-4.06 GRADING PLAN - AREA 3.dwg DATE: 11/7/2026 BY: KMS, SCS/440



GRADING LEGEND:

EXISTING SPOT ELEVATION
PROPOSED SPOT ELEVATION:
TYPICALLY TOP OF PAVEMENT
IN PAVED AREAS, GUTTER GRADE
IN CURB LINES.

EXISTING CONTOUR
PROPOSED CONTOUR
PROPOSED REVERSE GUTTER PAN
PROPOSED RIDGE LINE
PROPOSED SWALE/DITCH

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BENCHMARKS:
(GPS DERIVED - NAVD88)

BM #300
ARROW ON HYDRANT LOCATED ON THE SOUTH SIDE OF THE SITE AND ±109' DIRECTLY SOUTH FROM SOUTH BUILDING ENTRANCE.
ELEV. - 584.52

BM #301
ARROW ON HYDRANT LOCATED ON THE SOUTHEAST SIDE OF THE SITE AND ±113' FROM THE MOST SOUTHEASTERLY BUILDING CORNER.
ELEV. - 585.71

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ELEV. - 584.41

BM #303
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ELEV. - 583.92

BM #304
ARROW ON HYDRANT LOCATED ON THE NORTH SIDE OF THE BUILDING AND EAST OF THE STUDENT PARKING LOT AND ±53' WEST OF THE UNITED STATES FLAGPOLE.
ELEV. - 583.72

PEA GROUP
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www.peagroup.com

JOSEPH B. WYWROT
ENGINEER
No. 6201046874

4-7-2024

811 Know what's below. Call before you dig.

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CLIENT
PLANTE MORAN REALPOINT
3000 TOWN CENTER DR., SUITE 100
SOUTHFIELD, OAKLAND COUNTY, MICHIGAN

PROJECT TITLE
GROSSE POINTE NORTH HIGH SCHOOL PHASE 2
707 VERNIER RD
GROSSE POINTE WOODS, WAYNE COUNTY, MI

REVISIONS	
PERMITS	04/17/26
CITY REVIEW	06/16/26
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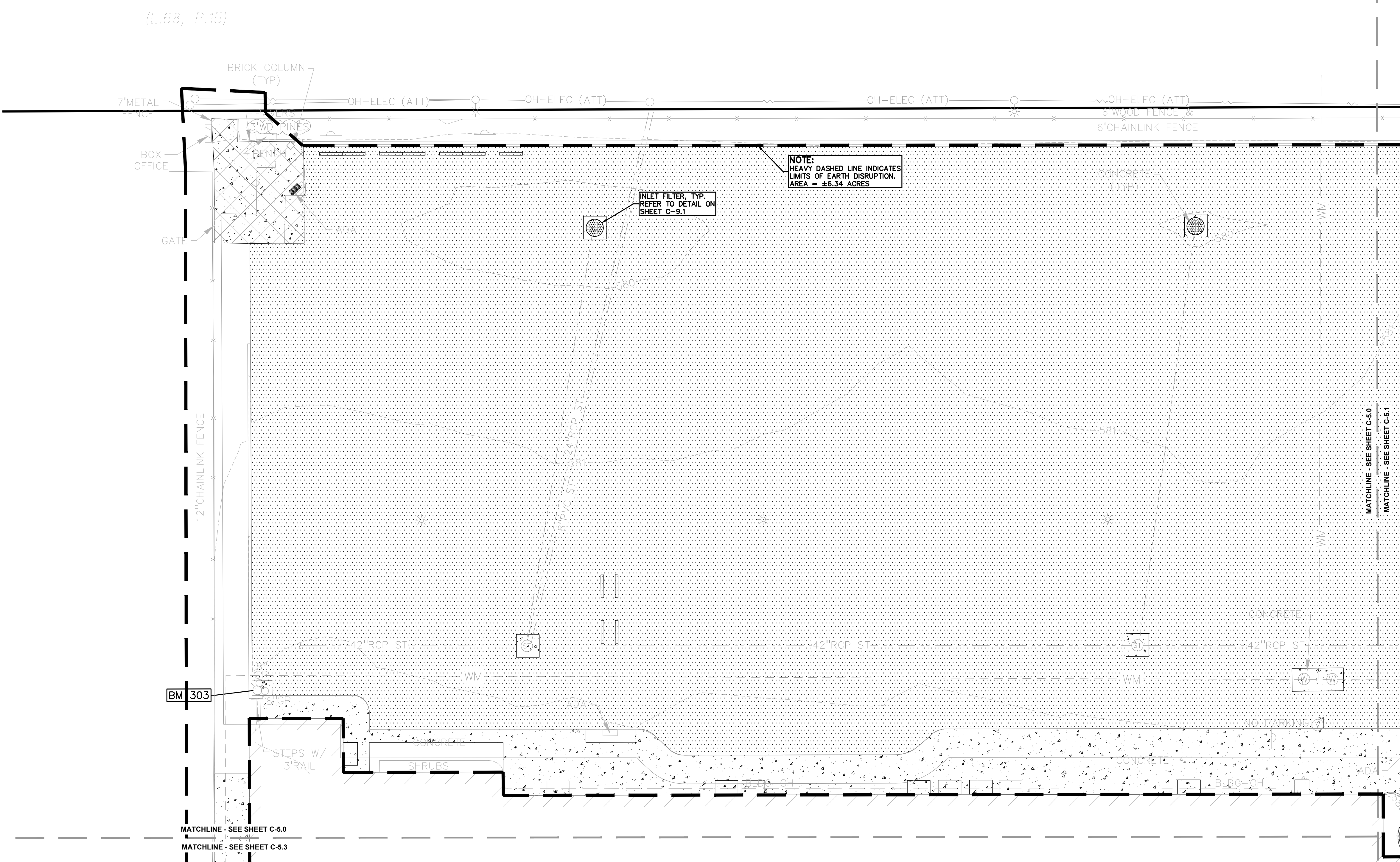
ORIGINAL ISSUE DATE:
SEPTEMBER 19, 2025

DRAWING TITLE
GRADING PLAN - AREA 3

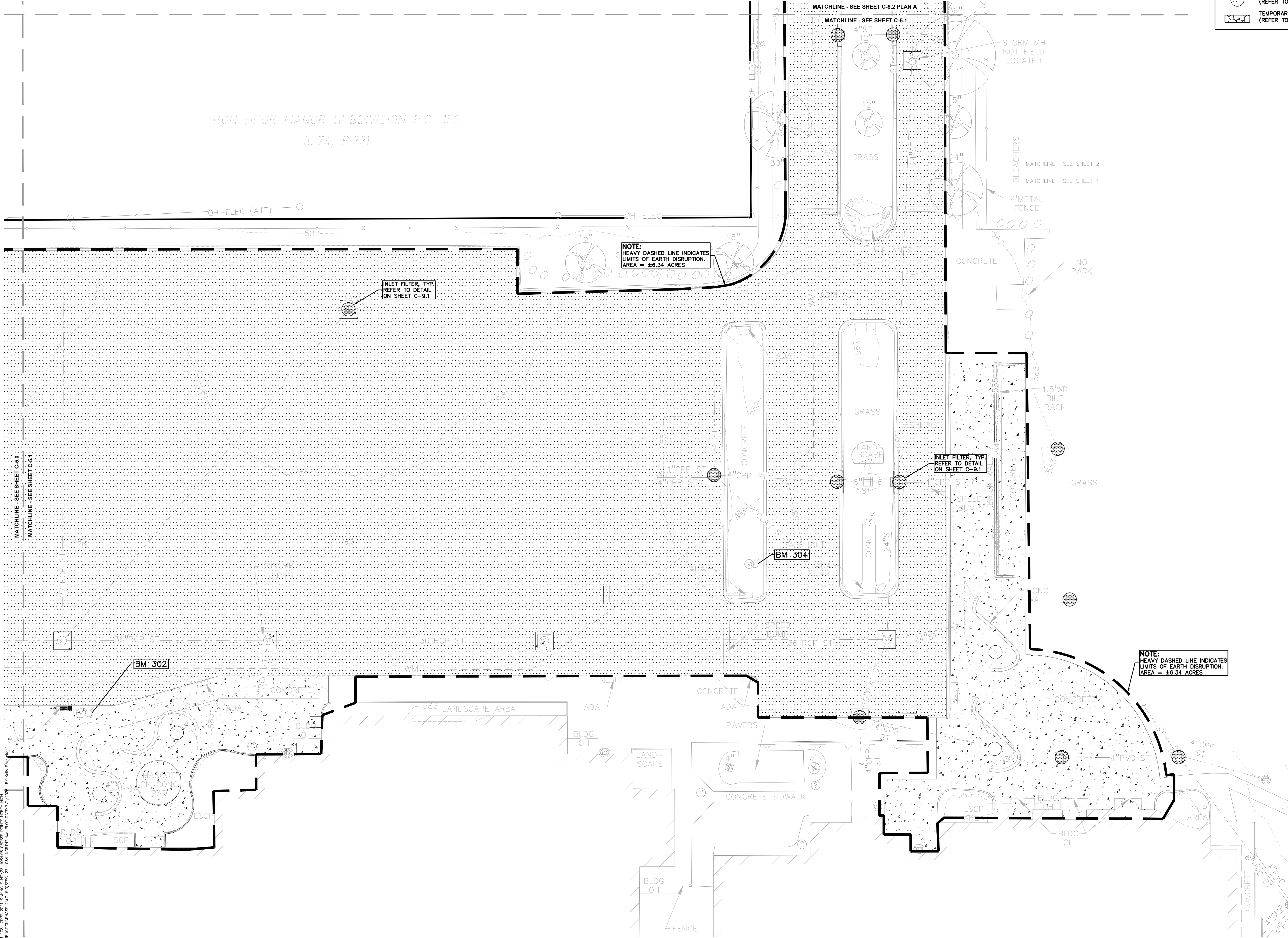
PEA JOB NO.	23-1084.06
P.M.	TD
DN.	SP
DES.	LR

DRAWING NUMBER:
C-4.4

START DAY	END DAY	
1	80	INSTALL TEMPORARY CONSTRUCTION ACCESS DRIVE AT SITE ROAD APPROACH.
1	90	INSTALL TEMPORARY SOIL EROSION CONTROL MEASURES, SILT FENCES, INLET PROTECTION, ETC. AS NECESSARY.
1	15	REMOVE ALL VEGETATION, TREES AND BRUSH FROM THE PROPOSED CONSTRUCTION AREA UNLESS MARKED TO REMAIN. STRIP AND STOCKPILE TOPSOIL AS REQUIRED. ALL STOCKPILES MUST BE GRADED AND SEEDED.
5	14	REMOVE ALL PAVEMENT, CURB, UTILITIES, AS REQUIRED TO INSTALL THE PROPOSED WORK AS SHOWN ON THE TOPOGRAPHIC SURVEY AND DEMOLITION PLAN.
5	14	DISPOSE OF ALL EXCESS/UNSUITABLE MATERIALS OFF SITE IN A LEGAL MANNER. NO ON-SITE BURN OR BURY PITS ALLOWED.
14	28	ROUGH GRADE SITE. REPAIR AND/OR RE-INSTALL ANY TEMPORARY SOIL EROSION CONTROL MEASURES THAT WERE DAMAGED DURING GRADING OPERATIONS.
28	60	TEMPORARY SEEDING MUST BE PROVIDED IN AREAS NOT TO BE WORKED ON FOR 15 DAYS OR LONGER.
70	80	FINE GRADE SITE AND PREPARE FOR SITE PAVING OPERATIONS.
80	110	INSTALL ALL PAVEMENT, SIDEWALKS, CURBS AS PROPOSED. IF PERMANENT LANDSCAPING IS NOT TO BE INSTALLED SOON AFTER PAVING IS COMPLETE, ALL PAVING SURFACES MUST BE SEEDING. ALL EXPOSED SOIL MUST BE TEMPORARILY SEEDED. REPAIR INLET PROTECTION, SILT FENCE AND ANY OTHER DAMAGED SOIL EROSION CONTROL MEASURES AS NECESSARY.
90	190	FINAL GRADE, REDISTRIBUTE STOCKPILED TOPSOIL, ESTABLISH VEGETATION AND INSTALL ALL PERMANENT LANDSCAPING IN ALL DISTURBED AREAS NOT BUILT.
120	120	CLEAN PAVEMENT AND REMOVE ALL TEMPORARY SOIL EROSION CONTROL MEASURES. RE-ESTABLISH VEGETATION AS REQUIRED.
120	120	REMOVE SEDIMENTATION CONTROLS ONCE ENTIRE SITE HAS BEEN PERMANENTLY STABILIZED.



SS: \PROJECTS\2023\23-1084 GPS 2021 SINKING FUND\23-1084.06 GROSSE POINTE NORTH HIGH SCHOOL \DWG\3_CONSTRUCTION\PHASE_2\C-5-0\SESC-23-1084-NORTH2.dwg PLOT DATE: 7/1/2026 BY: Kelly Szczypka



SYMBOLS: EROSION CONTROL

- ■ — SILT FENCE (REFER TO DETAIL ON SHEET C-6.1)
- STORM SEWER INLET FILTER (REFER TO DETAIL ON SHEET C-6.1)
- ▢ TEMPORARY CONSTRUCTION ACCESS DRIVE (REFER TO DETAIL ON SHEET C-6.1)

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JOSEPH B. WYWROT
ENGINEER
No. 6201046874
PROFESSIONAL ENGINEER

0 10 20 40
SCALE: 1" = 20'

811 Know what's below. Call before you dig.

CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

REFER TO PAVEMENT INVESTIGATION REPORT BY SPALDING DEDECKER (DATED 11-18-22) FOR PAVEMENT CONDITION ASSESSMENTS AND PAVEMENT REPAIR RECOMMENDATIONS AND LOCATIONS.

REFER TO GEOTECHNICAL REPORT BY G2 CONSULTING GROUP (DATED 10-26-22) FOR EXISTING CONDITIONS INVESTIGATION, PAVEMENT CORE LOGS, AND PAVEMENT AND DRAINAGE DESIGN RECOMMENDATIONS.

CLIENT
PLANTE MORAN REALPOINT
3000 TOWN CENTER DR., SUITE 100
SOUTHFIELD, OAKLAND COUNTY, MICHIGAN

PROJECT TITLE
GROSSE POINTE NORTH HIGH SCHOOL PHASE 2
707 VERNIER RD
GROSSE POINTE WOODS, WAYNE COUNTY, MI

REVISIONS	
PERMITS	04/17/26
CITY REVIEW	06/16/26
CITY REVIEW	07/01/26

ORIGINAL ISSUE DATE:
SEPTEMBER 19, 2025

DRAWING TITLE
SESC PLAN - AREA 1

PEA JOB NO.	23-1084.06
P.M.	TD
DN.	SP
DES.	LR

DRAWING NUMBER:
C-5.1

S:\PROJECTS\2023\23-1084\PPS 2021 SHAWING PARK 02-1084.06 GROSSE POINTE NORTH HIGH SCHOOL PHASE 2\CD\050825-25-1084-MICHIGAN\PLT DWT 11/19/25.dwg

MATCHLINE - SEE SHEET C-5.2 PLAN B

MATCHLINE - SEE SHEET C-5.2 PLAN A

3' HIGH WOOD FENCE & CHAINLINK FENCE ON BRICK WALL

6' WOOD FENCE & CHAINLINK FENCE

INLET FILTER, TYP. REFER TO DETAIL ON SHEET C-9.1

NOTE:
HEAVY DASHED LINE INDICATES LIMITS OF EARTH DISRUPTION.
AREA = ±6.34 ACRES

PARK FIRE LANE

CONCRETE

GRASS

5' CHAINLINK FENCE

24" RCP ST.

4" METAL FENCE

5" RCP ST.

MATCHLINE - SEE SHEET C-5.2 PLAN A

MATCHLINE - SEE SHEET C-8.1

VERNIER ROAD
(66' WIDE – PUBLIC)

PROPOSED 12'X50'
TEMPORARY STONE ACCESS
DRIVE.

CROSS WALK
SIGNAL POLE

TRAFFIC LIGHT
SIGNAL POLE

CONCRETE

UG-ELEC

OH-ELEC

ADA

WM

UG-GAS

3'WOOD PICKETT FENCE

4'WOOD FENCE

6'WOOD FENCE & CHAINLINK FENCE

GRASS

NOTE:
HEAVY DASHED LINE INDICATES
LIMITS OF EARTH DISRUPTION.
AREA = ±8.34 ACRES

#693
VERNIER

24"x

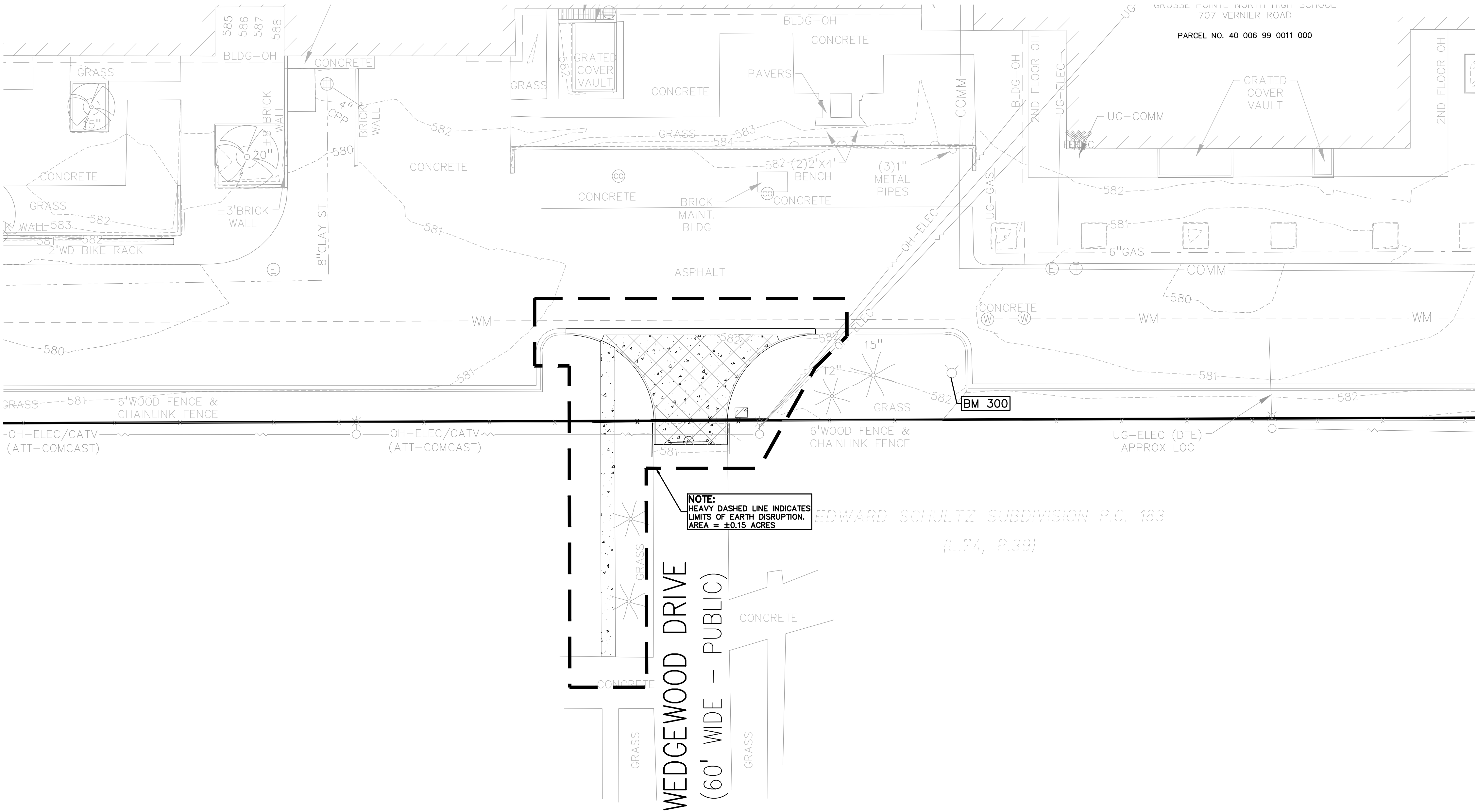
MATCHLINE - SEE SHEET C-5.2 PLAN B

MATCHLINE - SEE SHEET C-5.2 PLAN A

C-5.2

S:\PROJECTS\2023\23-1084 GPPS 2021 SWIMING FUND\23-1084.06 GROSSE POINTE NORTH HIGH SCHOOL\DWG\3_CONSTRUCTION\PHASE 2\C-5.0\SESC-23-1084-NORTH2.dwg PLOT DATE: 7/1/2028 BY: Kelly Szczepko

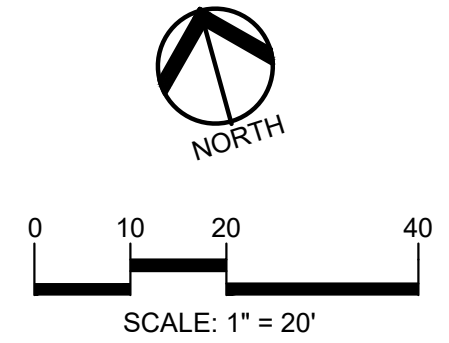
S:\PROJECTS\2023\23-1084\PPS 2021 SHAWING FUND\23-1084.06 GROSSE POINTE NORTH HIGH SCHOOL WPA CONSTRUCTION PHASE 2 UG-050825-25-1084-MICHIGAN T-01 DATED 7/7/2026 BY:VJW SCS4440



SYMBOLS: EROSION CONTROL	
	SILT FENCE (REFER TO DETAIL ON SHEET C-6.1)
	STORM SEWER INLET FILTER (REFER TO DETAIL ON SHEET C-6.1)
	TEMPORARY CONSTRUCTION ACCESS DRIVE (REFER TO DETAIL ON SHEET C-6.1)
EROSION CONTROL QUANTITIES:	
LAWN RESTORATION	1 LS

PEA GROUP

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REFER TO PAVEMENT INVESTIGATION REPORT BY SPALDING DEDECKER (DATED 11-18-22) FOR PAVEMENT CONDITION ASSESSMENTS AND PAVEMENT REPAIR RECOMMENDATIONS AND LOCATIONS.

REFER TO GEOTECHNICAL REPORT BY G2 CONSULTING GROUP (DATED 10-26-22) FOR EXISTING CONDITIONS INVESTIGATION, PAVEMENT CORE LOGS, AND PAVEMENT AND DRAINAGE DESIGN RECOMMENDATIONS.

CLIENT
PLANTE MORAN REALPOINT
3000 TOWN CENTER DR., SUITE 100
SOUTHFIELD, OAKLAND COUNTY, MICHIGAN

PROJECT TITLE
GROSSE POINTE NORTH HIGH SCHOOL PHASE 2
707 VERNIER RD
GROSSE POINTE WOODS, WAYNE COUNTY, MI

REVISIONS	
PERMITS	04/17/26
CITY REVIEW	06/16/26
CITY REVIEW	07/01/26

ORIGINAL ISSUE DATE:
SEPTEMBER 19, 2025

DRAWING TITLE
SESC PLAN - AREA 3

PEA JOB NO.	23-1084.06
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DRAWING NUMBER:
C-5.4

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

- PAVING NOTES:**

1. IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
2. REFER TO ARCHITECTURAL PLANS FOR DETAILS OF FROST SLAB AT EXTERIOR BUILDING DOORS.
3. CONSTRUCTION TRAFFIC SHOULD BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE INITIAL LIFT THICKNESS COULD BE INCREASED AND PLACEMENT OF THE FINAL LIFT COULD BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURE, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM.
4. ALL EXPANSION JOINTS AND CONCRETE PAVEMENT JOINTS TO BE SEALED.
5. CONCRETE PAVEMENT JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION:
 - 5.1. WHERE PROPOSED CONCRETE ABUTS A STRUCTURE, PROVIDE A MINIMUM 1/2" EXPANSION JOINT. THE JOINT FILLER BOARD MUST BE AT LEAST THE FULL DEPTH OF THE CONCRETE AND HELD DOWN A 1/2" TO ALLOW FOR SEALING.
 - 5.2. WHERE PROPOSED CONCRETE ABUTS EXISTING CONCRETE OR IN BETWEEN POURS OF PROPOSED CONCRETE (CONSTRUCTION JOINT), PROVIDE 5/8" DOWELS EVERY 30' CENTER TO CENTER TO MAINTAIN THE THICKNESS OF THE PROPOSED PAVEMENT. ALTERNATE DOWELS SIZES AND SPACING MUST BE APPROVED THE ENGINEER PRIOR TO COMMENCING WORK AND VIA THE SUBMITTAL PROCESS.
 - 5.3. WHERE PROPOSED CONCRETE ABUTS EXISTING OR PROPOSED SIDEWALK OR CURBING, PROVIDE A MINIMUM 1/2" EXPANSION JOINT.
 - 5.4. CONTROL, LONGITUDINAL AND/OR TRANSVERSE JOINTS SHALL BE PLACED TO PROVIDE PANELS WITHIN THE PAVEMENT AS SQUARE AS POSSIBLE WITH THE FOLLOWING MAXIMUM SPACING PARAMETERS:
 - 5.4.1. 6-INCH THICK CONCRETE PAVEMENT: 12' X 12'
 - 5.4.2. 8-INCH THICK CONCRETE PAVEMENT: 15' X 15'
 - 5.5. IRREGULAR-SHAPED PANELS MAY REQUIRE THE USE OF REINFORCING MESH OR FIBER MESH AS DETERMINED BY THE ENGINEER. THE USE OF MESH MUST BE APPROVED THE ENGINEER PRIOR TO COMMENCING WORK AND VIA THE SUBMITTAL PROCESS.
 - 5.6. IF A JOINT PLAN IS NOT PROVIDED IN THE PLANS, THE CONTRACTOR SHALL SUBMIT ONE TO THE ENGINEER FOR REVIEW PRIOR TO COMMENCING WORK AND VIA THE SUBMITTAL PROCESS.
6. CONCRETE CURBING JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION
 - 6.1. JOINTS WHEN ADJACENT TO ASPHALT PAVEMENT
 - 6.1.1. PLACE CONSTRUCTION JOINTS AT 10' INTERVALS
 - 6.1.2. PLACE 1/2" EXPANSION JOINT AT CATCH BASINS, EXISTING AND PROPOSED SIDEWALK OR EXISTING CURBING.
 - 6.1.3. PLACE 1" EXPANSION JOINT:
 - 6.1.3.1. AT SPRING POINTS OF INTERSECTIONS OR ONE OF THE END OF RADIUS LOCATIONS IN A CURVE
 - 6.1.3.2. AT 400' MAXIMUM INTERVALS ON STRAIGHT RUNS
 - 6.1.3.3. AT THE END OF RADIUS AT OPPOSITE ENDS IN A CURBED LANDSCAPE ISLAND
 - 6.2. JOINTS WHEN TIED TO CONCRETE PAVEMENT
 - 6.2.1. PLACE CONSTRUCTION JOINTS OPPOSITE ALL TRANSVERSE CONSTRUCTION JOINTS IN PAVEMENT
 - 6.2.2. PLACE 1/2" EXPANSION JOINTS EXISTING AND PROPOSED SIDEWALK OR EXISTING CURBING.
 - 6.2.3. PLACE 1" EXPANSION JOINT OPPOSITE ALL TRANSVERSE EXPANSION JOINTS IN PAVEMENT
 - 6.2.4. CURB AND GUTTER AND CONCRETE SHALL BE TIED TOGETHER SIMILAR TO A LONGITUDINAL LANE JOINT (MDOT B1 JOINT)
- 6.3. IN BETWEEN POURS OF PROPOSED CONCRETE CURBING (CONSTRUCTION JOINT):
 - 6.3.1. CARRY THE REBAR CONTINUOUSLY BETWEEN POURS
 - 6.3.2. IF THE REBAR IS NOT LONG ENOUGH TO CARRY CONTINUOUSLY, THEN THE TWO PIECES OF REBAR PER THE LATEST MDOT SPECIFICATIONS
7. CONCRETE SIDEWALK JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION
 - 7.1. PLACE 1/2" EXPANSION CONSTRUCTION JOINTS EQUAL TO THE WIDTH OF THE WALK WHEN WIDTH IS LESS THAN 8'
 - 7.2. PLACE TRANSVERSE AND LONGITUDINAL CONSTRUCTION JOINTS EQUAL TO 1/2 THE WIDTH OF THE WALK WHEN WIDTH IS EQUAL TO OR GREATER THAN 8'
 - 7.3. PLACE 1" EXPANSION JOINT WHEN ABUTTING SIDEWALK RAMP AND/OR RADIUS IN INTERSECTION
 - 7.4. PLACE TRANSVERSE 1/2" EXPANSION JOINT AT MAXIMUM OF 100' SPACING
 - 7.5. PLACE 1/2" EXPANSION JOINTS WHEN ABUTTING A FIXED STRUCTURE, OTHER PAVEMENT (CONCRETE PAVEMENT AND DRIVE APPROACHES), UTILITY STRUCTURES, LIGHT POLE BASES AND COLUMNS

UNLESS REQUIRED OTHERWISE IN THE PROJECT SPECIFICATIONS, THE CONTRACTOR SHALL ONLY SUBMIT THE FOLLOWING CONSTRUCTION MATERIAL SUBMITTALS, AS APPLICABLE TO THE PLANS, FOR REVIEW BY THE ENGINEER. UNLESS APPROVED IN ADVANCE AND IN WRITING BY THE ENGINEER, ANY MATERIAL SUBMITTALS PROVIDED TO THE ENGINEER FOR REVIEW IN ADDITION TO THIS LIST SHALL BE RETURNED TO THE CONTRACTOR WITHOUT A REVIEW BEING PERFORMED.

- GENERAL GRADING AND EARTHWORK NOTES:**

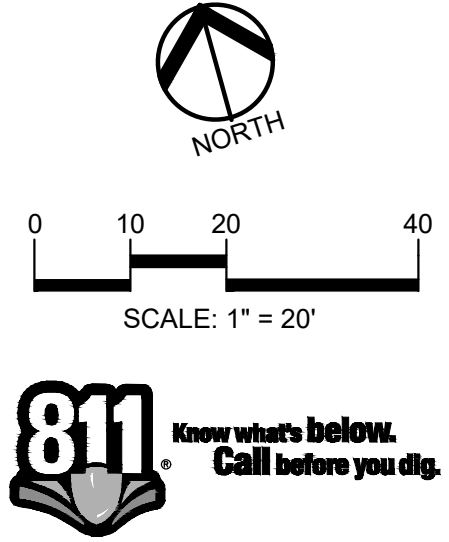
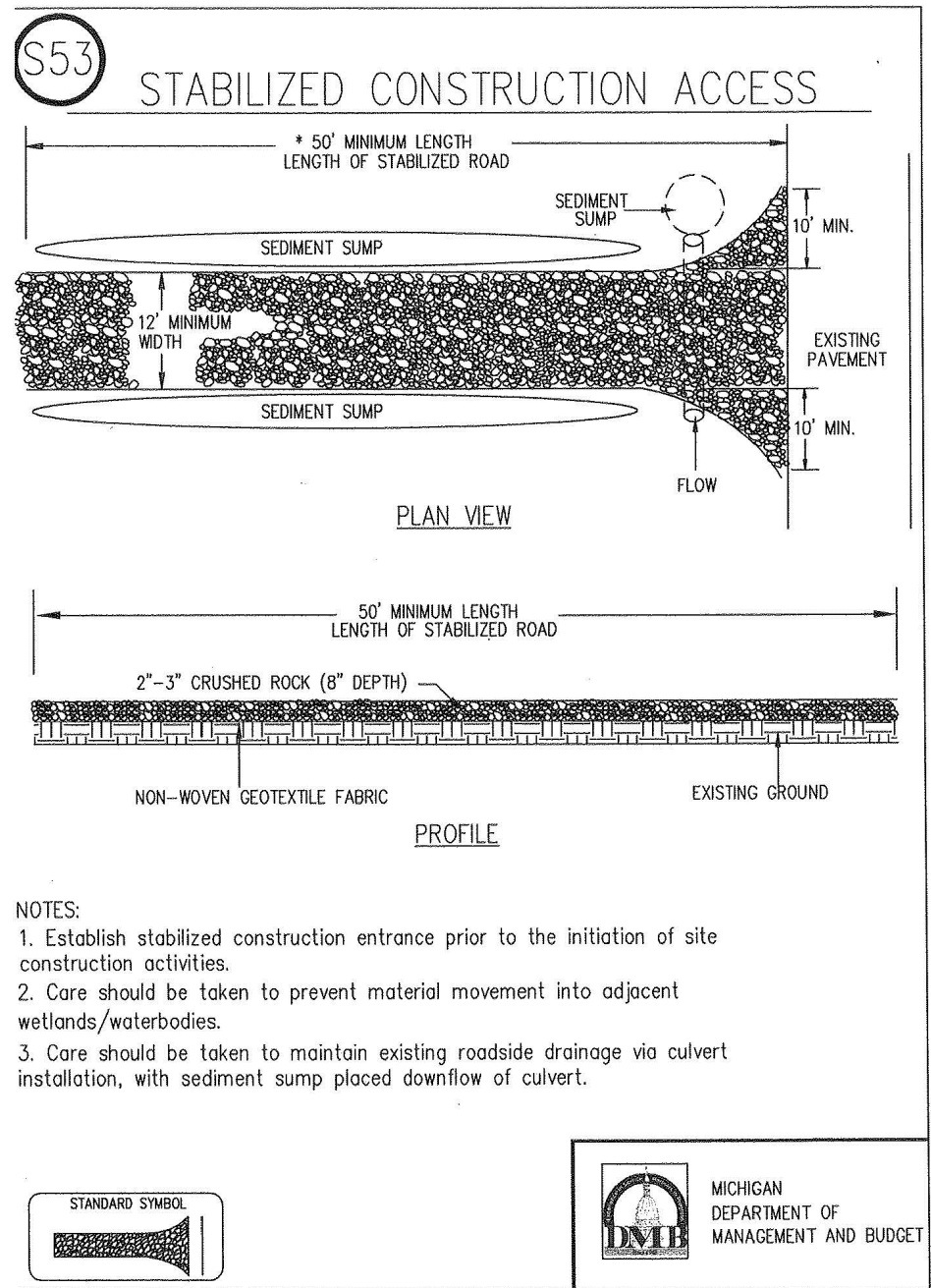
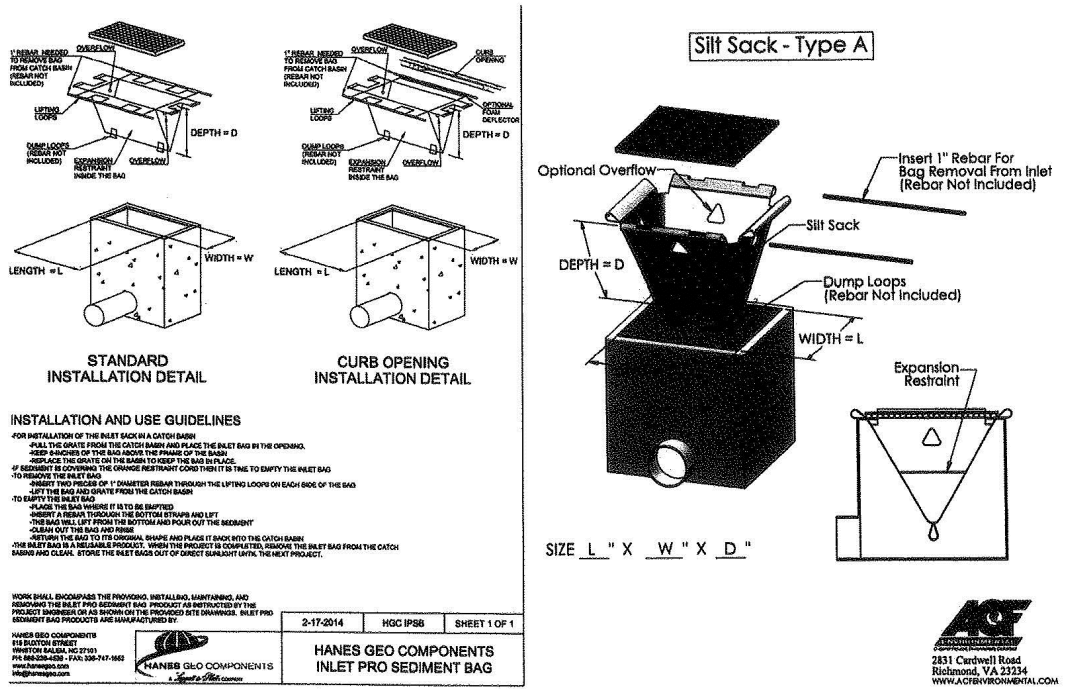
THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING TREES AND BRUSH AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE.
2. ALL GRADES ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
3. THE STAGING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR.
4. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE AUTHORIZED PUBLIC AGENCY OF JURISDICTION. AN EROSION CONTROL PERMIT MUST BE SECURED FROM THE COUNTY PRIOR TO CONSTRUCTION.
5. ALL EARTHWORK AND GRADING OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS INVESTIGATION AND REPORT.
6. REFER TO SOIL EROSION CONTROL PLAN FOR ADDITIONAL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND NOTES.
7. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED OR SODDED IN ACCORDANCE WITH THE LANDSCAPE PLANS. PROVIDE A MINIMUM OF 3" OF TOPSOIL IN THESE AREAS UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE. BACKFILL FOR EXISTING UTILITY TRENCHES SHALL BE EXAMINED CRITICALLY. ANY TRENCHES FOUND TO HAVE SOFT, UNSTABLE OR UNSUITABLE BACKFILL MATERIAL, IN THE OPINION OF THE THIRD PARTY TESTING COMPANY, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED BUILDINGS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.
9. ON-SITE FILL CAN BE USED IF THE SPECIFIED COMPACTION REQUIREMENTS CAN BE ACHIEVED. IF ON-SITE SOIL IS USED, IT SHOULD BE CLEAN AND FREE OF FROZEN SOIL, ORGANICS, OR OTHER DELETERIOUS MATERIALS.
10. THE FINAL SUBGRADE/EXISTING AGGREGATE BASE SHOULD BE THOROUGHLY PROOFOOLED USING A FULLY LOADED TANDEM AXLE TRUCK OR FRONT END LOADER UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REINFORCED USING GEORIGIDS OR REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
11. SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL AREAS OR BELOW SUBGRADE IN CUT AREAS WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.
12. SUBGRADE UNDERCUTTING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED AS RECOMMENDED IN THE GEOTECHNICAL ENGINEERING REPORT FOR THE PROJECT.
13. ANY SUB-GRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB.

1. SURFACE TEXTURE OF THE RAMP SHALL BE THAT OBTAINED BY A COURSE BROOMING, TRANSVERSE TO THE RUNNING SLOPE.
2. SIDEWALK SHALL BE RAMPED WHERE THE DRIVEWAY CURB IS EXTENDED ACROSS THE WALK.
3. CARE SHALL BE TAKEN TO ASSURE A UNIFORM GRADE ON THE RAMP. WHERE CONDITIONS PERMIT, IT IS DESIRABLE THAT THE SLOPE OF THE RAMP BE IN ONLY ONE DIRECTION, PARALLEL TO THE DIRECTION OF TRAVEL.
4. RAMP WIDTH MUST BE INCREASED, IF NECESSARY, TO ACCOMMODATE SNOW REMOVAL EQUIPMENT NORMALLY USED BY THE MUNICIPALITY.
5. WHEN 5' MINIMUM WIDTHS ARE NOT PRACTICABLE, RAMP WIDTH MAY BE REDUCED TO NOT LESS THAN 4' AND LANDINGS TO NOT LESS THAN 4' X 4'.
6. CURB RAMPs WITH A RUNNING SLOPE LESS THAN 5% DO NOT REQUIRE A STOP LANDING. HOWEVER, ANY CONTINUOUS SIDEWALK OR PEDESTRIAN ROUTE CROSSING THROUGH OR INTERSECTING THE CURB RAMP MUST INDEPENDENTLY MAINTAIN A CROSS SLOPE NOT GREATER THAN 2% PERPENDICULAR TO ITS OWN DIRECTION(S) OF TRAVEL.
7. DETECTABLE WARNING SURFACE COVERAGE IS 24" MINIMUM IN THE DIRECTION OF RAMP/PATH TRAVEL AND THE FULL WIDTH OF THE RAMP/PATH OPENING EXCLUDING CURBED OR FLARED CURB TRANSITION AND BORDER. DETECTABLE WARNING SHALL BE PLACED ALONG BOTH EDGES OF THE DETECTABLE WARNING IS ALLOWABLE. FOR RADIAL CURB THE OFFSET IS MEASURED FROM THE ENDS OF THE RADIUS.
8. FOR NEW ROADWAY CONSTRUCTION, THE RAMP CROSS SLOPE MAY NOT EXCEED 2.0% FOR ALTERATIONS TO EXISTING ROADWAYS, THE CROSS SLOPE MAY BE TRANSITIONED TO MEET AN EXISTING ROADWAY GRADE. THE CROSS SLOPE TRANSITION SHALL BE APPLIED UNIFORMLY OVER THE FULL LENGTH OF THE RAMP.
9. DRAINAGE STRUCTURES SHOULD NOT BE PLACED IN LINE WITH RAMPS. THE LOCATION OF THE RAMP SHOULD TAKE PRECEDENCE OVER THE LOCATION OF THE DRAINAGE STRUCTURE. WHERE EXISTING DRAINAGE STRUCTURES ARE LOCATED IN THE RAMP PATH OF TRAVEL, USE A CURB STRUCTURE'S ADA COMPLIANT DESIGN. THE OPENING SHALL BE GREATER THAN 1/2" LONG. ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.
10. THE TOP OF THE JOINT FILLER FOR ALL RAMP TYPES SHALL BE FLUSH WITH THE ADJACENT CONCRETE.
11. CROSSWALK AND STOP LINE MARKINGS, IF USED, SHALL BE SO LOCATED AS TO STOP TRAFFIC SHORT OF RAMP CROSSINGS. SPECIFIC DETAILS FOR MARKING APPLICATIONS ARE GIVEN IN THE "MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
12. FLARED SIDES WITH A SLOPE OF 10% MAXIMUM, MEASURED ALONG THE ROADSIDE CURB LINE, SHALL BE PROVIDED WHERE AN UNOBSTRUCTED CIRCULATION PATH LATERALLY CROSSES THE CURB RAMP. FLARED SIDES ARE NOT REQUIRED WHERE THE RAMP IS BORDERED BY LANDSCAPING, UNPAVED SURFACE OR PERMANENT FIXED OBJECTS. WHERE THEY ARE NOT REQUIRED, FLARED SIDES SHALL BE CONSIDERED IN ORDER TO AVOID SHARP CURVE RETURNS AT RAMP OPENINGS.
13. DETECTABLE WARNING PLATES MUST BE INSTALLED USING FABRICATED OR FIELD CUT PLATES AND/OR ANCHORED IN THE PAVEMENT TO RESIST SHIFTING OR HEAVING.

THE FOLLOWING NOTES PROVIDE AN OUTLINE OF SOME OF THE REQUIREMENTS CONTAINED WITHIN THE "STANDARDS FOR ACCESSIBLE DESIGN - AMERICANS WITH DISABILITIES ACT 2010", AND "ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES", ICC/ANSI A117.1-2009. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE REQUIREMENTS PRESENTED WITHIN THESE DOCUMENTS, WHICH ARE AVAILABLE IN FULL UPON REQUEST.

1. AN ACCESSIBLE ROUTE CONSISTS OF WALK SURFACES, CURB RAMPS AND RAMPS, AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES TO ALL BUILDING ENTRANCES, INCLUDING SIDEWALKS AND SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE BUILDING OR FACILITY ENTRANCE SERVICE.
2. THE RUNNING SLOPE OF ALL WALKING SURFACES SHALL NOT EXCEED 5% (1:20) AND THE CROSS-SLOPE SHALL NOT EXCEED 2% (1:48).
3. WALKING SURFACES MUST BE LEVEL WITH PERMITTED VERTICAL CHANGES IN LEVEL NOT TO EXCEED 1/4", OR BEVELED CHANGES IN LEVEL NOT TO EXCEED 1/2". REFER TO DETAIL DET-B THIS SHEET. ANY CHANGE IN LEVEL GREATER THAN 1/2" MUST BE RAMPED.
4. TURNING SPACES ALONG ACCESSIBLE ROUTES MUST BE AT LEAST 5 FEET WIDE IN ALL DIRECTIONS AND NOT EXCEED 2% SLOPE (1:48) IN ANY DIRECTION.
5. ACCESSIBLE ROUTES MUST BE DESIGNED TO BE A MINIMUM OF 5 FEET WIDE. THE MINIMUM TURNING SPACE WITHIN ACCESSIBLE ROUTES SHALL BE 5 FEET WIDE.
6. RAMPS ALONG ACCESSIBLE ROUTES WILL HAVE A RUNNING SLOPE GREATER THAN 5% (1:20) AND LESS THAN 8.3% (1:12).
7. CROSS-SLOPE OF RAMP RISES SHALL NOT EXCEED 2% (1:48).
8. THE MINIMUM CLEAR WIDTH OF ANY RAMP IS 36 INCHES.
9. THE MAXIMUM RISE FOR ANY RAMP (NOT INCLUDING CURB RAMPS) SHALL NOT EXCEED 30 INCHES. LANDINGS ARE REQUIRED AT THE TOP AND BOTTOM OF EACH RAMP.
10. HANDRAILS ARE REQUIRED FOR ALL RAMP EXCEEDING 2% (1:48). SHALL BE 5 FEET LONG AND AT LEAST AS WIDE AS THE RAMP CLEAR WIDTH. IF THERE IS A CHANGE OF DIRECTION AT A LANDING, THEN THE LANDING MUST BE AT LEAST 5 FEET WIDE AND 5 FEET LONG.
11. HANDRAILS ARE REQUIRED FOR ANY RAMP (NOT INCLUDING CURB RAMPS) WITH A RISE GREATER THAN 6 INCHES. ALL HANDRAILS ARE REQUIRED TO HAVE EDGE PROTECTION UNLESS PROVIDING ANOTHER ACCESS POINT OR IF THE VERTICAL DROP-OFF AT THE EDGE OF THE RAMP IS LESS THAN 6 INCHES. EDGE PROTECTION CAN BE SUBSTITUTED BY MEANS OF A 4" MIN. CURB OR BARRIER.
12. CURB RAMPS ALONG ACCESSIBLE ROUTES SHALL NOT BE STEEPER THAN 8.3% (1:12). APPROACHING SLOPES TO THE RAMP CANNOT EXCEED 5%, WHICH INCLUDES SIDEWALKS.
13. IF CURB RAMP SIDES ARE FLARED, THE FLARES SHALL NOT BE STEEPER THAN 10% (1:10).
14. LANDINGS ARE REQUIRED AT THE TOP OF ALL CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE A MINIMUM OF 36" AND WILL BE AS WIDE AS THE CURB RAMP.
15. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
16. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS.
17. WHERE DETECTABLE WARNING IS REQUIRED AT CURB RAMPS, THE DETECTABLE WARNING SHALL BE 24" MINIMUM IN DEPTH AND SHALL EXTEND THE FULL WIDTH OF THE RAMP. THE DETECTABLE WARNING SHALL BE LOCATED SO THE EDGE NEAREST THE CURB IS 6 INCHES FROM THE RAMP.
18. ACCESSIBLE PARKING SPACES ON SITE SHALL BE PROVIDED AS REQUIRED IN SECTION 5.02 OF THE ADA IF THE SITE HAS MORE THAN ONE PARKING FACILITY. EACH FACILITY SHALL BE REQUIRED TO PROVIDE A MINIMUM OF ONE ACCESSIBLE PARKING SPACE. THE NUMBER OF PARKING SPACES SHALL BE BASED ON THE TOTAL NUMBER OF PARKING SPACES IN EACH PARKING FACILITY ON SITE.
19. THE MINIMUM DIMENSION OF SIX ACCESSIBLE PARKING SPACES, ONE VAN ACCESSIBLE SPACE SHALL BE PROVIDED.
20. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE FROM PARKING TO A BUILDING ENTRANCE, IF THERE IS MORE THAN ONE ACCESSIBLE ROUTE FROM PARKING TO A BUILDING ENTRANCE, THE SHORTEST ACCESSIBLE ROUTE TO THE ACCESSIBLE ENTRANCES.
21. ADA ACCESSIBLE CAR PARKING SPACES SHALL BE A MINIMUM OF 8 FEET WIDE WITH AN ACCESSIBLE PARKING SPACE SHALL BE A MINIMUM OF 9 FEET WIDE. ACCESSIBLE SPACES SHALL BE AT LEAST 11 FEET WIDE WITH A 5' WIDE ACCESS AISLE. VAN ACCESSIBLE SPACES ARE ALSO ACCESSIBLE WITH AN 8 FOOT WIDTH AND 8 FOOT WIDE ACCESS AISLE, THE ACCESS AISLE IN CASES IN WHICH THE ACCESS AISLE LENGTH IS GREATER THAN THE PARKING SPACE SLOPE, WITHIN THE PARKING SPACES AND AISLES SHALL NOT EXCEED 2% (1:48).
22. ACCESSIBLE AREAS INCLUDING PARKING SPACES, AISLES AND PATHWAYS, REQUIRE A MINIMUM OF 5% (1:20) CROSS-SLOPE.
23. ACCESSIBLE PARKING SPACES ARE REQUIRED TO BE IDENTIFIED BY SIGNS. THE SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. VAN PARKING SPACES ARE REQUIRED TO BE DESIGNATED AS "VAN ACCESSIBILITY". REFER TO DETAILS ON THIS SHEET.
24. ACCESSIBLE STAIRS SHALL HAVE A UNIFORM RISE HEIGHT AND UNIFORM TREAD DEPTH. RISERS SHALL BE 4 INCHES MINIMUM AND 7 INCHES MAXIMUM. TREADS SHALL BE AT LEAST 11 INCHES MINIMUM AND 18 INCHES MAXIMUM. STAIRS SHALL BE OPEN TO THE PUBLIC.
25. REFER TO SHEET C-9.0 REGARDING TREAD SURFACE, NOSING AND HANDRAILS.



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

REFER TO PAVEMENT INVESTIGATION
REPORT BY SPALDING DEDECKER (DATED
11-18-22) FOR PAVEMENT CONDITION
ASSESSMENTS AND PAVEMENT REPAIR
RECOMMENDATIONS AND LOCATIONS.

REFER TO GEOTECHNICAL REPORT BY G2 CONSULTING GROUP (DATED 10-26-22) FOR EXISTING CONDITIONS INVESTIGATION, PAVEMENT CORE LOGS, AND PAVEMENT AND DRAINAGE DESIGN RECOMMENDATIONS.

CLIENT

**PLANTE MORAN
REALPOINT**
3000 TOWN CENTER DR., SUITE 100
SOUTHFIELD, OAKLAND COUNTY, MICHIGAN

PROJECT TITLE

**GROSSE POINTE
NORTH HIGH
SCHOOL PHASE 2**
707 VERNIER RD
GROSSE POINTE WOODS, WAYNE COUNTY, MI

REVISIONS	
PERMITS	04/17/26
CITY REVIEW	06/16/26
CITY REVIEW	07/01/26

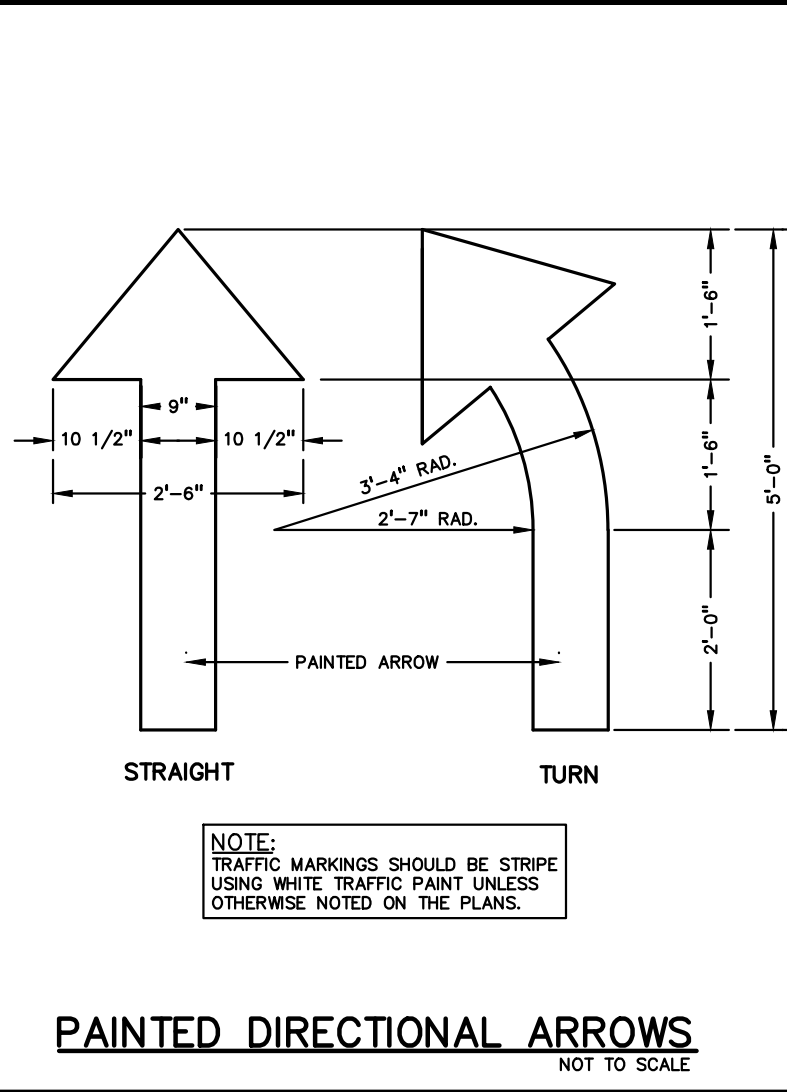
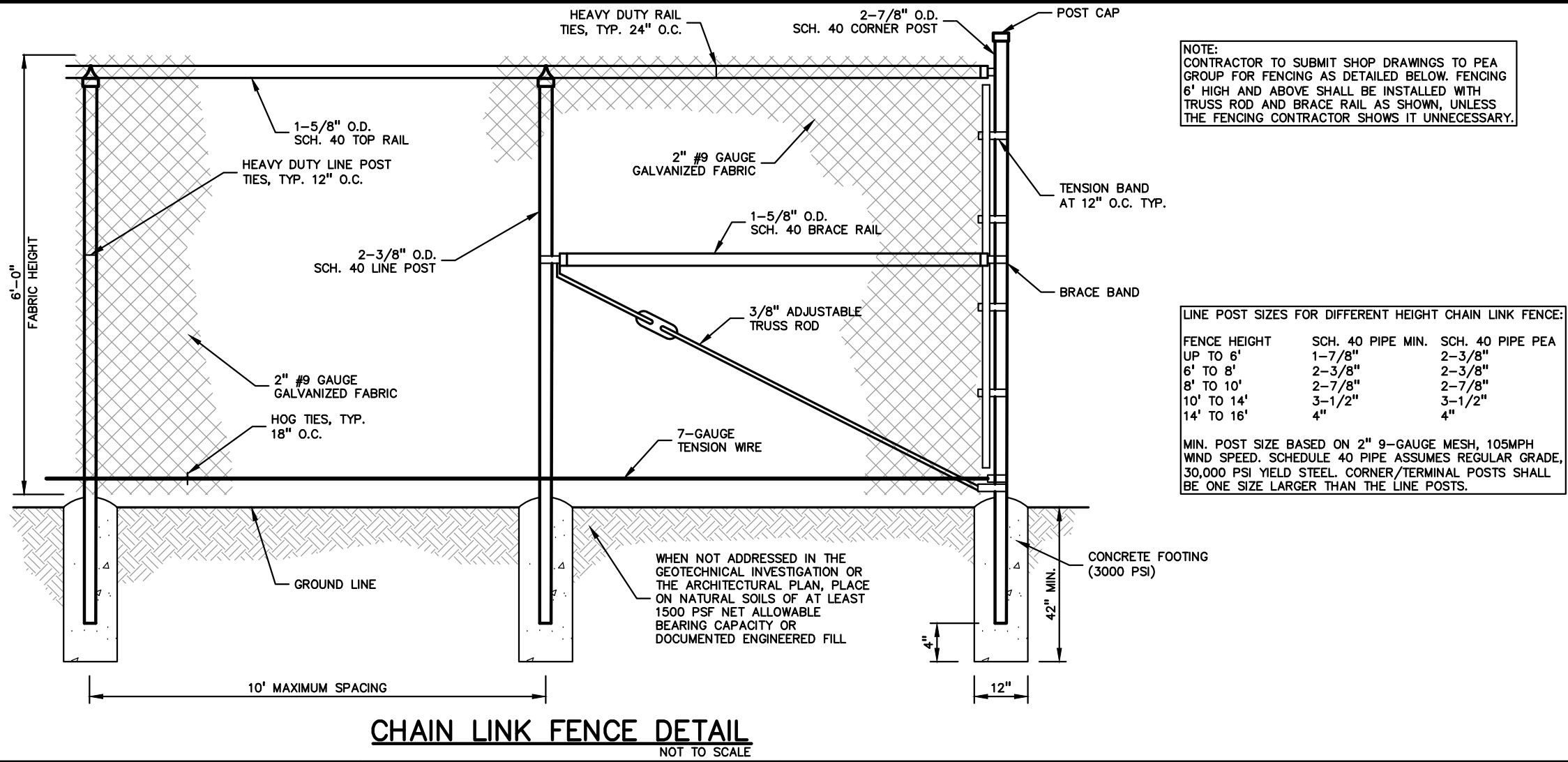
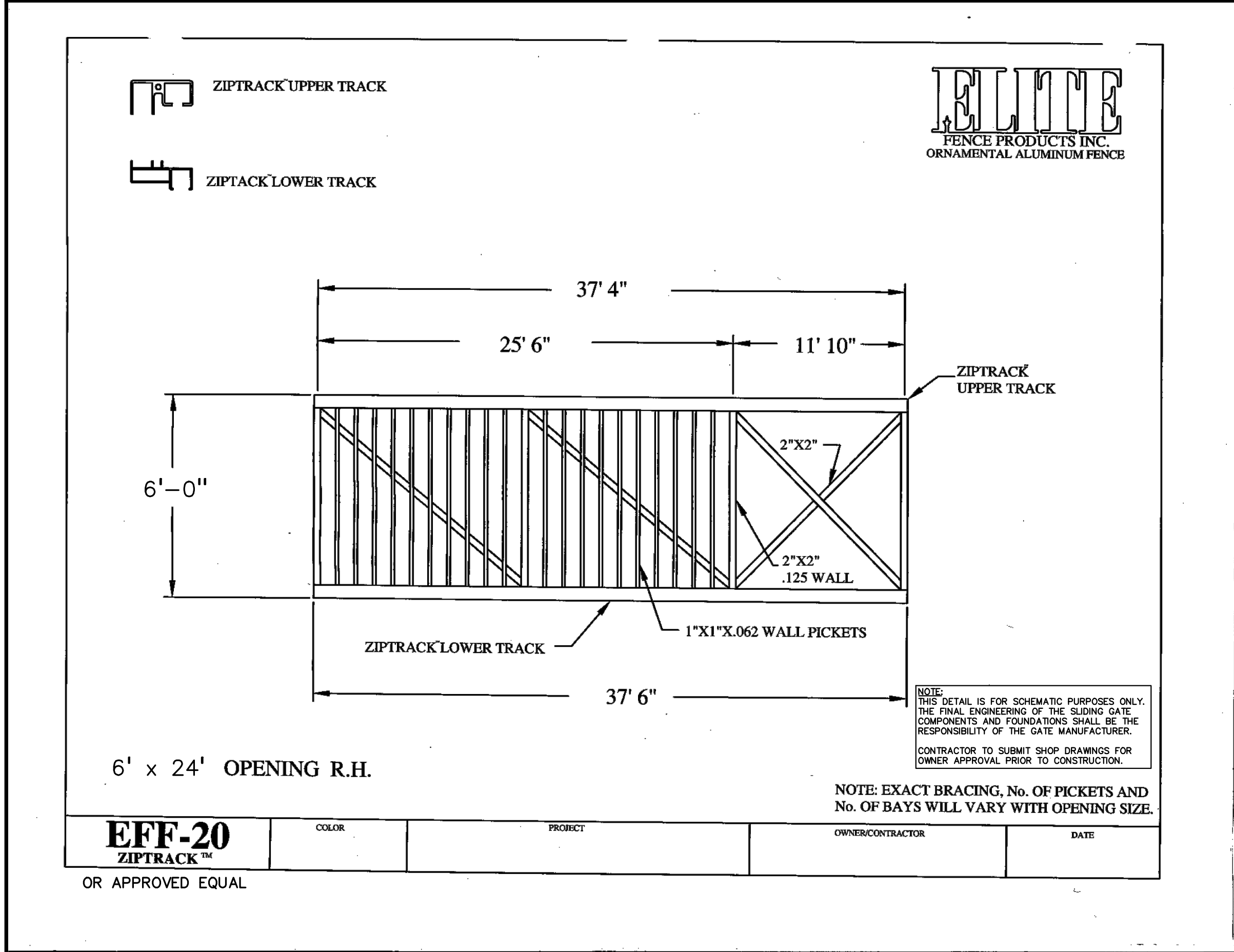
ORIGINAL ISSUE DATE:
SEPTEMBER 19, 2025

NOTES AND DETAILS

PEA JOB NO.	23-1084.06
P.M.	TD
DN.	SP
DES.	LR

DRAWING NUMBER:

C-6.0



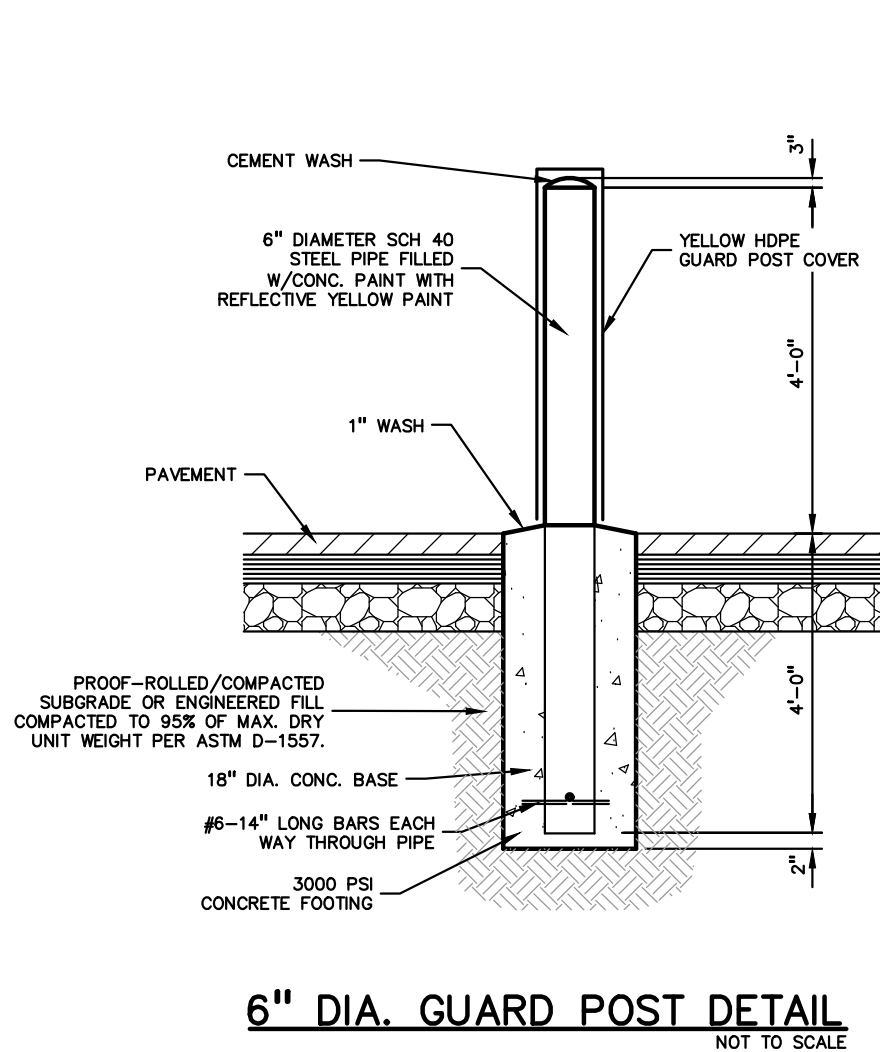
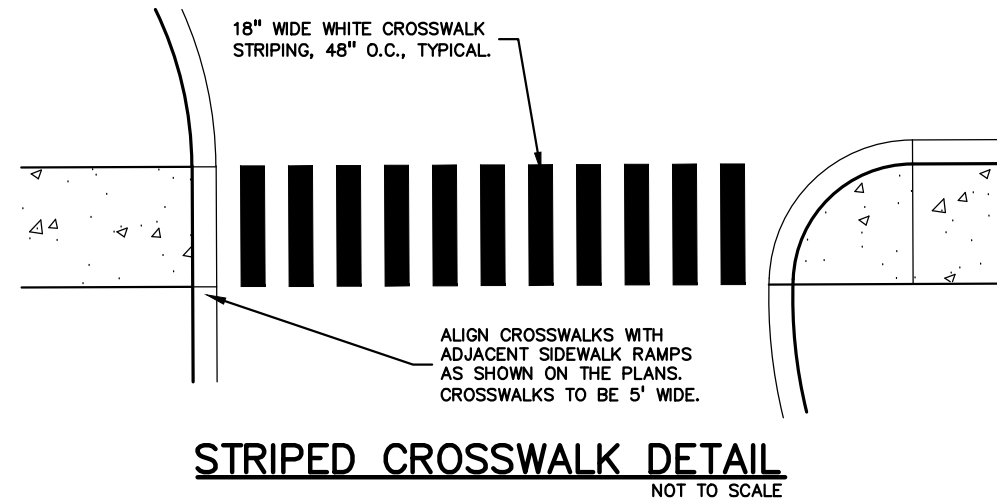
PEDESTRIAN TRAFFIC SIGN DETAIL

NOT TO SCALE



BUS EXIT ONLY SIGN DETAIL

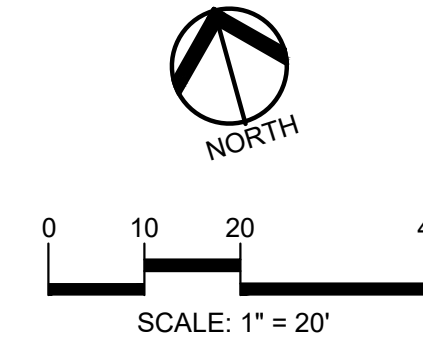
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DRAWING TITLE

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