



STUCKY VITALE ARCHITECTS

TRANSMITTAL COVER SHEET

To: Building Department
Attn: Mollie Mackinnon

FROM: John Vitale

COMPANY: City of Grosse Pointe Woods
20025 Mack Plaza,
Grosse Pointe Woods, MI 48236
(313) 343-2440

DATE: 06.13.23
SVA PROJECT NO: 2023.034
PROJECT NAME: Ahee Jeweler Expansion

PURPOSE FOR:

APPROVAL USE REVIEW & COMMENT RECORD DISTRIBUTION

ENCLOSURES:

COPIES	DATE	ISSUED FOR	DESCRIPTION
1	06.13.23	SPA Fee	Check \$750.00 #27382
14	06.09.23	Site Plan Approval	Site Plan Approval Drawings 11x17
1	06.13.23	Application	Site Plan Review Application
1	06.09.23	Site Plan Approval	Digital copy of drawings issued via email 06.13.23

COMMENTS:

The city's fee schedule requires a \$350 site plan review fee and a \$400 deposit. A check for \$750 enclosed. Fourteen (14) physical copies and a digital copy have been distributed as part of this submittal.

TRANSMITTED VIA:

MESSENGER UPS GROUND UPS OVERNIGHT USPS ELECTRONICALLY PICK UP
 OTHER Drop Off

CC:

CITY OF GROSSE POINTE WOODS
Building Department
20025 Mack Plaza, Grosse Pointe Woods, MI 48236
(313) 343-2426

CITY OF GROSSE POINTE WOODS
BUILDING DEPARTMENT

JUN 13 2023

RECEIVED

SITE PLAN REVIEW

COMMERCIAL – Zoned As – Please Check One:

- C – Commercial Business RO-1 – Restricted Office P-1 – Vehicular Parking
 CF – Community Facilities C-2 – High Intensity City Ctr

Property Owner Name: Peter Ahee Date: 06.13.23

GPW Property Address: 20139 Mack Ave.

Telephone #: Work 313.886.4600 Home: _____

Contractor/Applicant Name: John Vitale

Telephone # 248.546.6700 Mobile Phone # 313.516.9810 Fax # 248.546.8454

Contractor/Applicant Address: 27172 Woodward Ave. Royal Oak, Mi 48067

e-mail: jvitale@stuckyvitale.com

MI Builder's License #: N/A MI Driver's License #: _____

Nature of Proposed Work:

1-Story addition to existing retail store with basement storage level. Demolition of neighboring commercial building for re-located parking lot.

Value of Construction \$ (TBD)

Section 23a of State Construction Code Act of 1972, No. 230 of the Public Acts of 1972, being Section 125.1523a of the Michigan Compiled Laws, prohibits a person from conspiring to circumvent the licensing requirements of the State relating to persons who are to perform work on a residential building or a residential structure. Violations of Section 23a are subject to civil fines.

Applicant Signature: _____

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and we agree to conform to all applicable laws of this jurisdiction.

#50-32(7)	Special Land Use PC Fee:	\$ 250
#50-42(a)	PC Site Plan Review Fee:	\$ 350
#50-42(b)(1)	Deposit – Est. Costs Incurred by the City:	\$ 400
PC APPLICATION FEE DUE:		\$ 1,000

Date Received: _____ Name: _____

AHEE JEWELERS RETAIL ADDITION

20139 MACK AVE, GROSSE POINTE WOODS, MI 48236

ARCHITECT

STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067
(248) 546-6700

PROJECT INFORMATION

PROJECT DESCRIPTION

1-STORY ADDITION TO EXISTING RETAIL STORE WITH BASEMENT STORAGE LEVEL.
DEMOLITION OF NEIGHBORING RETAIL BUILDING FOR RE-LOCATED PARKING LOT.

BUILDING CODE AUTHORITY

CITY OF GROSSE POINTE WOODS BUILDING DEPARTMENT

BUILDING OWNER

PETER AHEE
20139 MACK AVE.
GROSSE POINTE WOODS, MI. 48236
313.886.4800

APPLICABLE CODES

2015 MICHIGAN BUILDING CODE (MBC)
2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (MRC)
2015 MICHIGAN MECHANICAL CODE (MMC)
2018 MICHIGAN PLUMBING CODE (MPC)
2015 MICHIGAN ENERGY CODE (MEC)
2013 ANS/ASHRA/IES 90.1
2017 NATIONAL ELECTRICAL CODE (NEC)
2015 NFPA 101 LIFE SAFETY CODE

BARRIER FREE REQUIREMENTS:

2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (DOJ)
MBC-2015, CHAPTER 11
ICC / ANS/ 117.1 - 2009, EXCEPT SECTION 611 & 707

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION

MERCANTILE: M

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

ALLOWABLE AREA: 50,000 S.F.

ACTUAL AREA: 6,636 S.F.

EXISTING AREA = 6,636 S.F.

PROPOSED ADDITION = 3,171 S.F.

TOTAL AREA = 9,807 S.F.

ALLOWABLE STORIES (HEIGHT): (3) STORIES (75'-0")

ACTUAL STORIES (HEIGHT): (1) STORY (17'-6")

CITY OF GROSSE POINTE WOODS ZONING ORDINANCE

SEC. 90.3.14 - ZONING 'C' COMMERCIAL

ALLOWABLE HEIGHT: 28'-0" MAX.

ACTUAL HEIGHT: 16'-0" MIN. (STOREFRONT)

ALLOWABLE STORES (HEIGHT): 17'-6" (ORDINANCE SATISFIED)

ACTUAL STORES (HEIGHT): (2) STORES MAX.

ACTUAL STORES (HEIGHT): (1) STORY W/ BASEMENT

CHAPTER 6 - TYPES OF CONSTRUCTION

TYPE: IIB (EXISTING UNCHANGED)

-STRUCTURAL FRAME: 0 HOUR

-BEARING WALLS: 0 HOUR

-EXTERIOR NON-BEARING WALLS: 0 HOUR

-INTERIOR NON-BEARING WALLS: 0 HOURS

-OPENING PROTECTIVES AT EXTERIOR WALL: 0 HOURS

-FLOOR CONSTRUCTION AND SECONDARY FRAMING: 0 HOUR

-ROOF CONSTRUCTION AND SECONDARY FRAMING: 0 HOUR

CHAPTER 9 - FIRE PROTECTION SYSTEMS

AUTOMATIC SPRINKLER SYSTEMS: NOT REQUIRED PER SEC. 903.2.7

NOTE: AUTOMATIC SPINKLER SYSTEM IS PROVIDED IN BUILDING.

FIRE ALARM AND DETECTION SYSTEMS: NOT REQUIRED PER SEC. 907.2.7

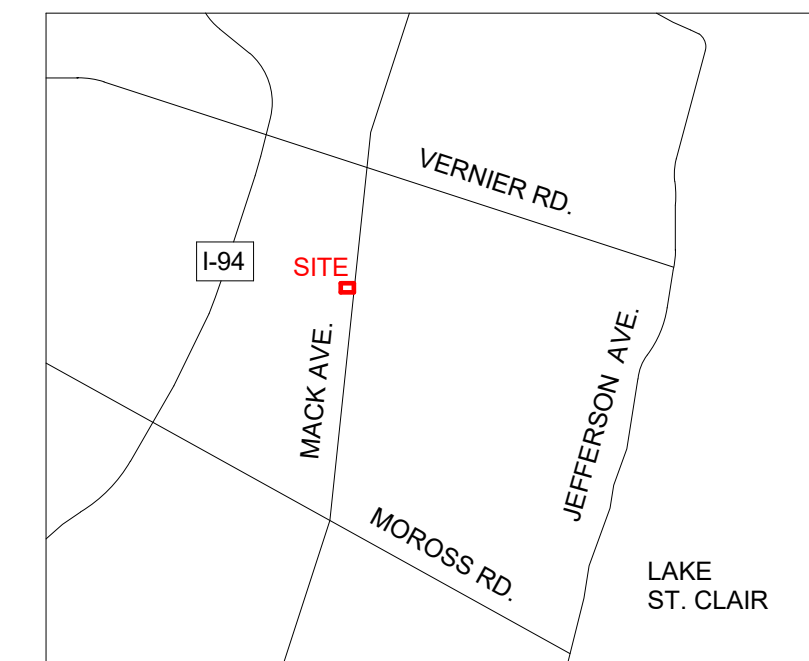
CHAPTER 10 - MEANS OF EGRESS

TABLE 1004.1.2:

MERCANTILE 5141 S.F. / 60 GROSS = 86 OCC.

STORAGE, STOCK, SHIPPING AREAS 4456 S.F. / 300 GROSS = 15 OCC.

TOTAL OCCUPANTS: 101 OCC.



VICINITY MAP

SCALE: N.T.S.

SHEET INDEX - GENERAL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
G001	COVER SHEET, GENERAL INFORMATION, DRAWING INDEX	SITE PLAN APPROVAL	06.09.23
G(1 OF 2)	EXISTING SURVEY	SITE PLAN APPROVAL	06.09.23
G(2 OF 2)	EXISTING SURVEY	SITE PLAN APPROVAL	06.09.23
DRAWINGS: 3			
SHEET INDEX - ARCHITECTURAL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
A001	SITE PLAN - DEMOLITION	SITE PLAN APPROVAL	06.09.23
A002	SITE PLAN - NEW WORK	SITE PLAN APPROVAL	06.09.23
A123	FIRST LEVEL FLOOR PLAN	SITE PLAN APPROVAL	06.09.23
A301	EXTERIOR ELEVATIONS	SITE PLAN APPROVAL	06.09.23
A311	EXTERIOR RENDERINGS	SITE PLAN APPROVAL	06.09.23
DRAWINGS: 5			

NOTE:
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

SHEET DESIGNATION

DRAWINGS ARE NUMBERED ACCORDING TO THE FOLLOWING CONVENTIONS:

A	001	A001	DRAWING SEQUENCE NUMBER
G	0	GENERAL	GENERAL, LEGENDS
LS	1	LIFE SAFETY	PLANS
C	2	CIVIL	REFLECTED CEILING PLANS
L	3	LANDSCAPE	EXTERIOR ELEVATIONS
S	4	STRUCTURAL	SECTIONS
AD	5	ARCHITECTURAL	VERTICAL CIRCULATION (PLANS & SECTIONS)
A	6	ARCHITECTURAL	ENLARGED PLANS AND INTERIOR ELEVATIONS
F	7	FINISH INFORMATION	INTERIOR AND MILLWORK DETAILS
AE	8	EQUIPMENT INFORMATION	FREE SECTION
FP	9	FIRE PROTECTION	DOOR AND WINDOW SCHEDULES AND DETAILS
P		PLUMBING	
M		MECHANICAL	
E		ELECTRICAL	
FA		FIRE ALARM	



CONCEPTUAL RENDERING

PERSPECTIVE VIEW

SYMBOL LEGEND

ENLARGED CALLOUT TAG	INTERIOR ELEVATION TAG	EXTERIOR ELEVATION TAG	DETAIL NUMBER	VIEW TITLE	VIEW SCALE	SHEET NUMBER	ROOM NAME	ROOM TAG	FLOOR NAME	LEVEL REFERENCE	DATUM WORKPOINT	COLUMN GRIDS	NUMBERS DESIGNATE VERTICAL COLUMN LINES	LETTERS DESIGNATE HORIZONTAL COLUMN LINES	SQUARE DESIGNATE EXISTING COLUMN GRID	DOOR TAGS	NEW DOOR TAG DESIGNATION	EXISTING DOOR TAG DESIGNATION (ONLY IF EXISTING DOOR TO BE MODIFIED)	PARTITION TAG	KEYNOTE TAG	EQUIPMENT TAG	SHEET REF FOR DRAWING CONTINUATION	MATCH LINE
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ABBREVIATION LEGEND

& L @	AND ANGLE AT	€ or € Ø ±	CENTERLINE DIAMETER PLUS OR MIN	N NIC NOM NTS O/C OFC OPNG OPP OVFD PL PLAM PLAS PNT PLYWD PREFAB PFN PROJ PT R RCP R.C. RD REIN REQ'D RESIL RFG RM R.S. SAN SC SCHED SHT SIM SPEC SQ ST STL STN STOR STRUCT SUSP SYM T T&B TERR. T.O.C. T&G THK THRES. T.O.P. TA TV T.O.W. T.O.S. TYP. U/C U.N.O. U.S.K. V.B. VCT VERT. VEST VF V.I.F. W W WB W.C. WC WD WO WR WSCT. WT. W.W.F.	NORTH NOT IN CONTRACT NOMINAL NOT TO SCALE ON CENTER OFFICE OPENING OPPOSITE OVERFLOW DRAIN PLATE PLASTIC LAMINATE PLASTER PAINT PLYWOOD PREFABRICATED PREFINISH or PREFINISHED PROJECTION POINT RISER REFLECTED CEILING PLAN ROOF CONDUCTOR ROOF DRAIN REINFORCING REQUIRED RESILIENT ROOFING ROOM ROOF SUMP SANITARY SOLID CORE SCHEDULE SHEET SIMILAR SPECIFICATIONS SQUARE STAINLESS STEEL SOLID SURFACE STONE STANDARD STEEL STAIN STORAGE STRUCTURAL or STRUCTURE SUSPENDED SYMMETRICAL TREAD TOP AND BOTTOM TERRAZZO TOP OF CURB TONGUE AND GROOVE THICK THRESHOLD TOP OF PARAPET TOILET ACCESSORY TELEVISION TOP OF WALL TOP OF STEEL TYPICAL UNDERCUT UNLESS NOTED OTHERWISE UTILITY SINK VAPOR BARRIER VINYL COMPOSITION TILE VERTICAL VESTIBULE VINYL FLOORING VERIFY IN FIELD WIDTH WITH WALL BASE WATER CLOSET WALLCOVERING WOOD WITHOUT WATER RESISTANT WAINSCOT WEIGHT WELDED WIRE FABRIC
ACCESS. ACOUS. ACT A.D. ADJ A.F.F. AL ANOD. ARCH. ASPH. BD. BF BLDG. BLK.G. BOT. BR CAB. CEM. C.J. CLG C.F.M.F. C.O. CLOS. CLR. COL. CONC. C.G. CONST. CONT. COR. CORR. CPT C.T. CTSK. CW D.F. DET. DIAM. DIM. DN. D.O. DR. D.S. DWG. DWR. EA E.J. EL ELEC. ELEV. E.O.S./EOS E.O.D./EOD EP EPX EQ. EQPM E.W. EXIST./ EX EXP. EXT. FA FD FON FIRE FEC FHC FIN FL F.O. F.O.S. FRF FR FRP FRF F.S. FT. FTG. FUR GA. GALV. G.B. GFRC. GL. GYP. H.B. H.C. HDWD HDWE HM HORIZ. HR HGT INSUL IMP IMWP INT J.C. JT. KIT. LAV LG L.L.V. LT LVT MAX MECH MTL MFR. MIN. MISC. M.O.	ACCESSIBILITY ACOUSTICAL ACOUSTICAL CEILING TILE AREA DRAIN ADJUSTABLE ABOVE FINISH FLOOR ALUMINUM ANODIZED ARCHITECTURAL or ARCHITECT ASPHALT BOARD BARRIER FREE BUILDING BLOCKING BOTTOM BRICK CABINET CEMENT CONTROL JOINT CEILING COLD FORMED METAL FRAMING CLEAN OUT CLOSSET CLEAR COLUMN CONCRETE CORNER GUARD CONST. CONTINUOUS CORRIDOR CORRUGATED CARPET CERAMIC TILE COUNTER SUNK CURTAIN WALL DRINKING FOUNTAIN DETAIL DIAMETER DIMENSION DOWN DOOR OPENING DOOR DOWN SPOUT DRAWING DRAWER EACH EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EDGE OF SLAB EDGE OF DECK ELECTRICAL PANEL EPOXY EQUAL EQUIPMENT EACH WAY EXISTING EXPOSED EXTERIOR FIRE ALARM FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE HOSE CABINET FINISH FLOOR FACE OF FACE OF STUD FIREPROOF FRAME FIBERGLASS REINFORCED PANEL FIRE RETARDANT TREATED FULL SIZE FOOT or FEET FOOTING FURRING GAUGE GALVANIZED GRAB BAR GLASS FIBER REINFORCED CONCRETE GLASS GYPSUM HOSE BIBB HOLLOW CORE HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HOUR HEIGHT INSULATION INSULATED METAL PANEL INSULATED METAL WALL PANEL INTERIOR JANITOR'S CLOSET JOINT KITCHEN LAVATORY LENGTH LONG LEG VERTICAL LIGHT LUXURY VINYL TILE MAXIMUM MECHANICAL METAL MANUFACTURER MINIMUM MISCELLANEOUS MASONRY OPENING				

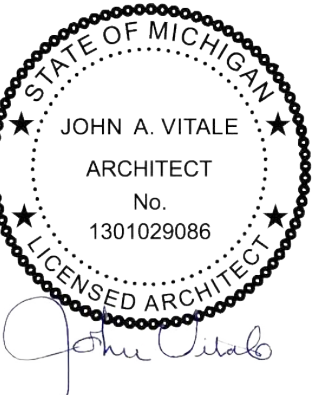


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ROYAL OAK, MI 48067-0925
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WWW.STUCKYVITALE.COM

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Consultants

Seal:



Project:

AHEE JEWELERS
RETAIL ADDITION

20139 MACK AVE,
GROSSE POINTE
WOODS, MI 48236

Issued for

SITE PLAN APPROVAL 06.09.23

Drawn by:

JPM

Checked by:

JAV

Sheet Title:

COVER SHEET, GENERAL INFORMATION, DRAWING INDEX

Project No.:

2023.034

Sheet No.:

G001

DO NOT SCALE DRAWINGS © 2022 Stucky Vitale Architects

13205 Charlevoix Avenue
DETROIT, MICHIGAN
STATE WIDE

VALLEY
2-1040



REGISTERED
CIVIL ENGINEERS
LAND SURVEYORS

Certificate of Survey

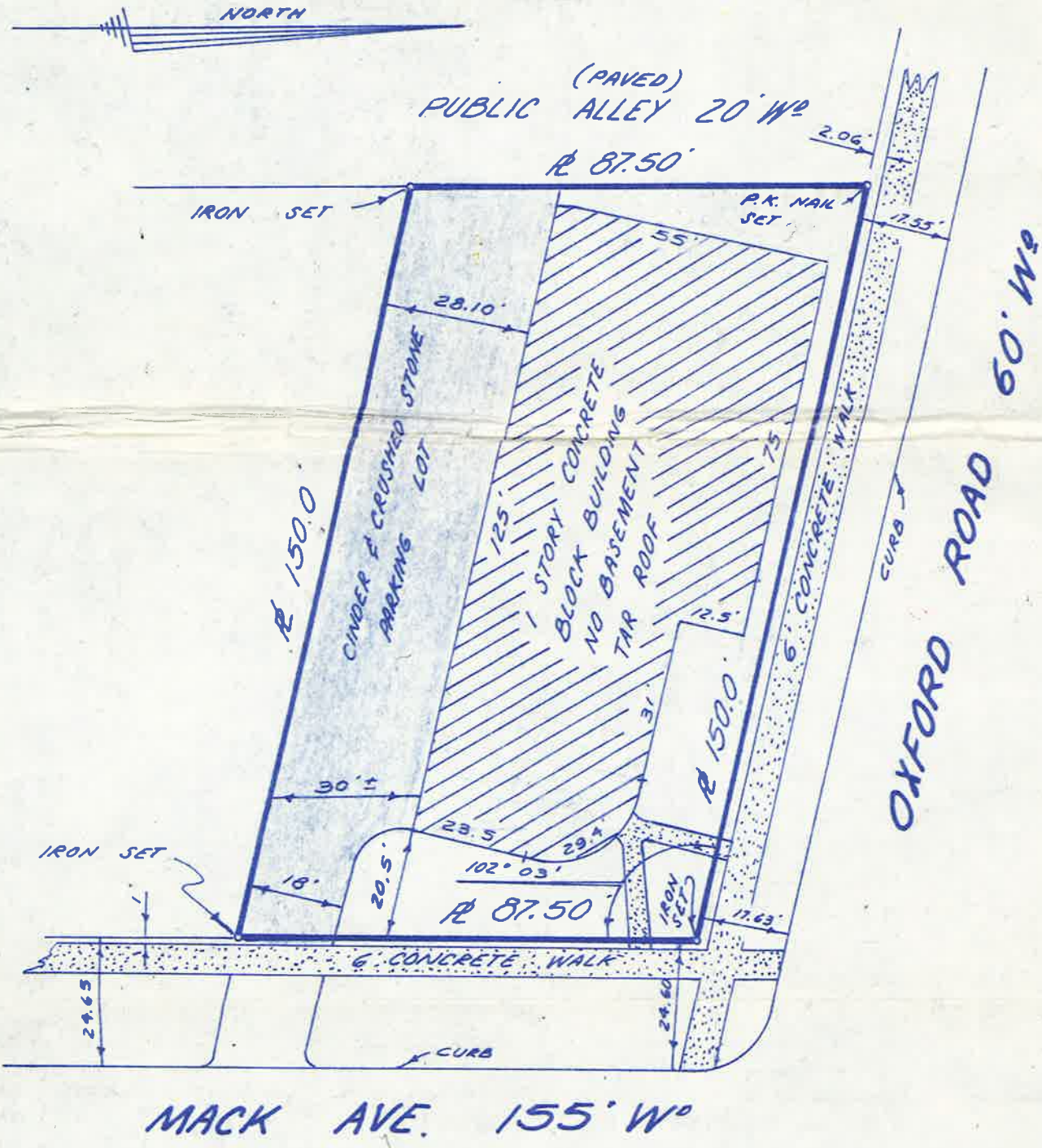
McMAHON ENGINEERING CO.

13205 CHARLEVOIX AVE.
DETROIT 18. MICH.

VA-2-1040



Lots 1603, 1604 and 1605 (as one) of
Arthur J. Scully's Eastern Super
Highway #1 Subdivision of parts of
P.C.'s. 393, 240 and 611, Grosse
Pointe Twp., Wayne County, Michigan.
As recorded in Liber 56, Page 77
of Wayne County Plats.



This is to Certify THAT WE HAVE
SURVEYED THE PROPERTY AS SHOWN
ON SKETCH ABOVE AND HAVE STAKED
THE CORNERS THEREOF.

NAME Shaheen, Gribbs & Shaheen
ADDRESS 3300 Guardian Bldg.
Detroit, Michigan 48226
DATE SURVEYED 2-1-68
SCALE Not to scale

JOB NO. 30154-68

John J. McMahon
REGISTERED CIVIL ENGINEER OR SURVEYOR

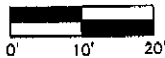
PROPERTY DESCRIPTION:

CERTIFIED SURVEY

LOTS 1606 AND 1607 OF ARTHUR J. SCULLY'S EASTERN SUPER-HIGHWAYS SUBDIVISION NO. 1 OF PARTS OF P.C. 393, P.C. 240 AND P.C. 611, GROSSE-POINTE TOWNSHIP (NOW CITY OF GROSSE POINTE WOODS), WAYNE COUNTY, MICHIGAN. AS RECORDED IN LIBER 56 OF PLATS, PAGE 77, WAYNE COUNTY RECORDS.

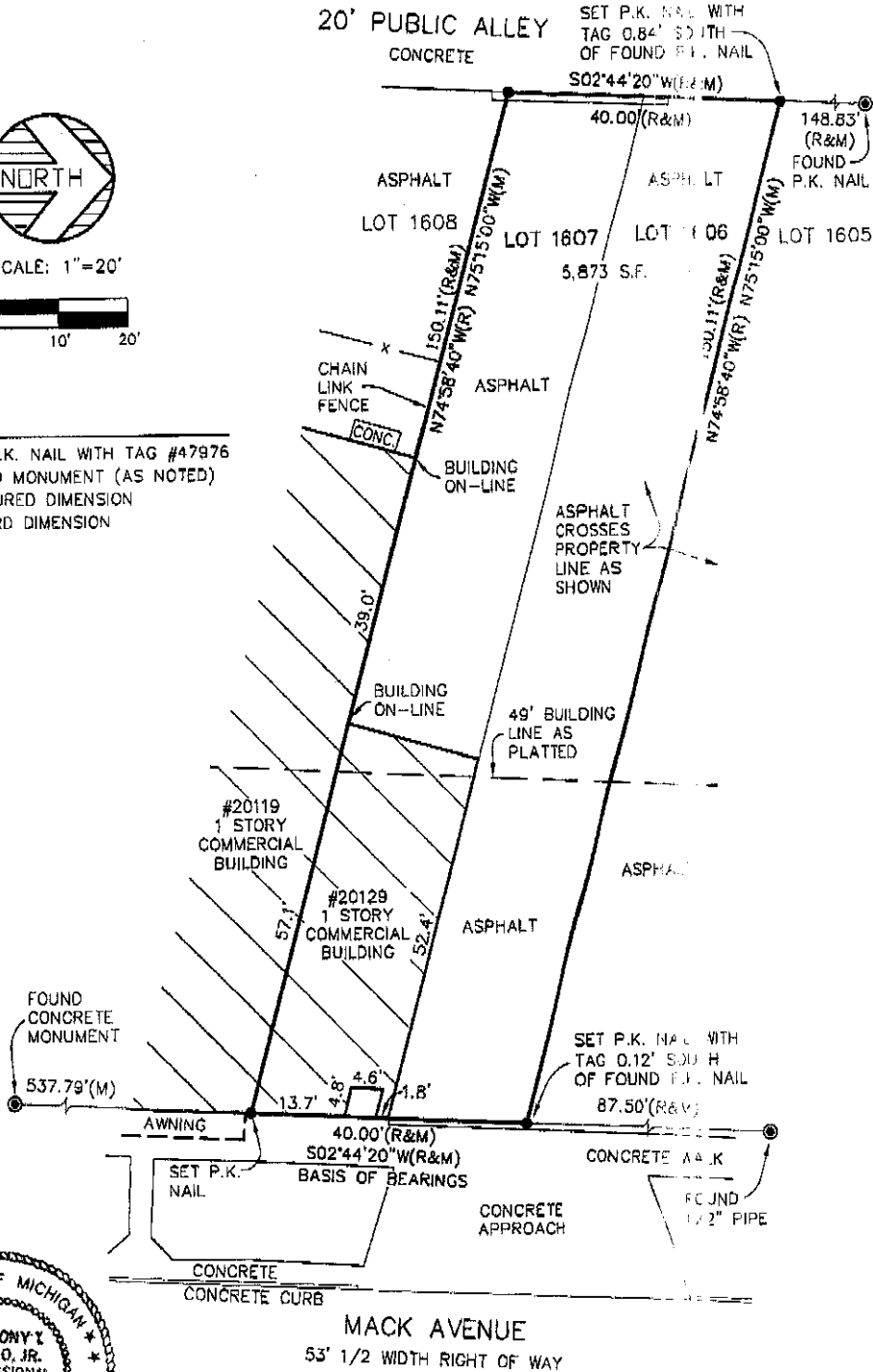


SCALE: 1"=20'



LEGEND

- SET P.K. NAIL WITH TAG #47976
- ⊙ FOUND MONUMENT (AS NOTED)
- (M) MEASURED DIMENSION
- (R) RECORD DIMENSION

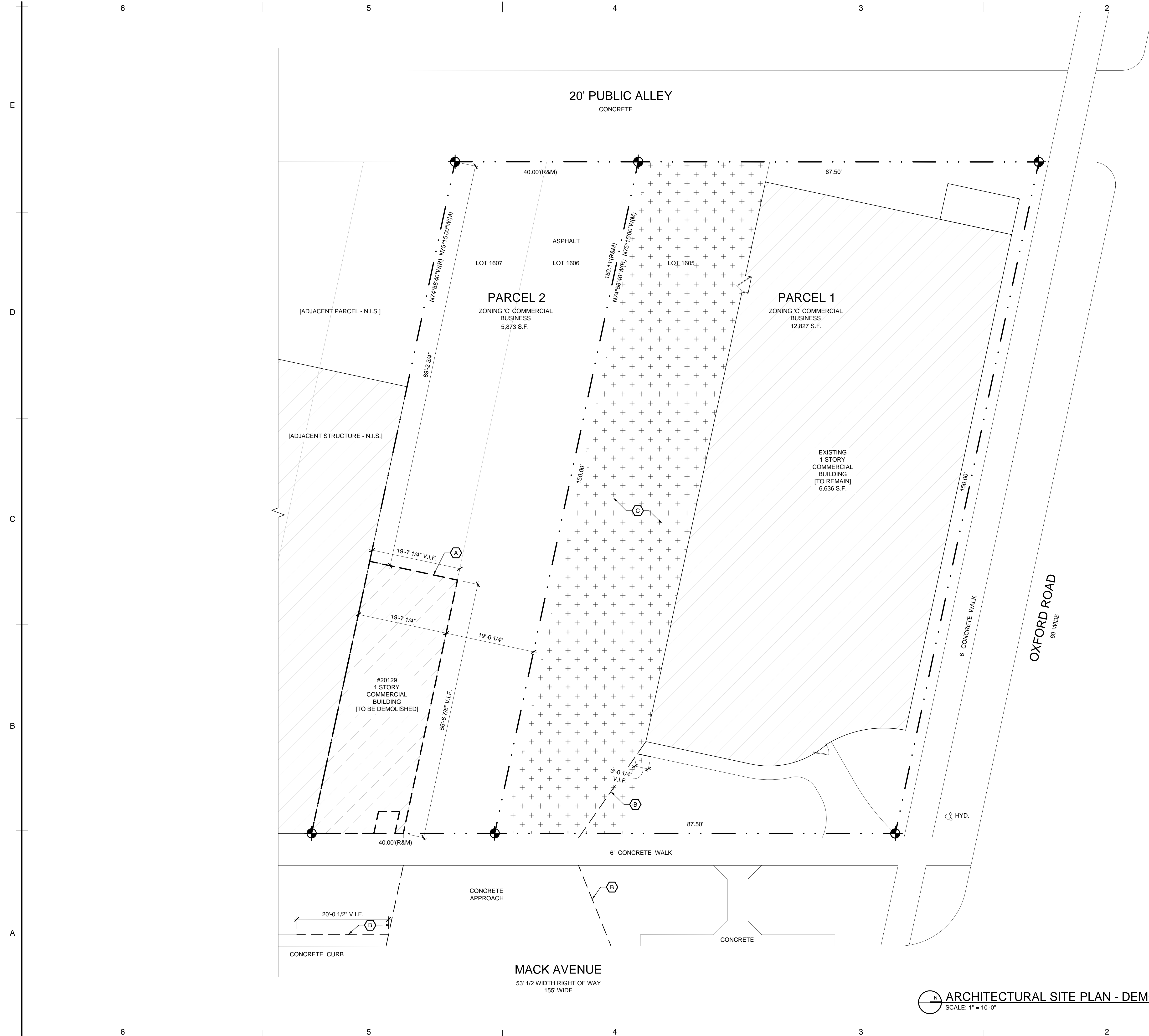


I HEREBY CERTIFY THAT I HAVE SURVEYED THE LAND HEREIN PLATTED AND DESCRIBED AND THAT THE RATIO OF CLOSURE MEETS THE REQUIREMENTS OF PUBLIC ACT 132 OF 1970.

Anthony T. Sycko, Jr.

ANTHONY T. SYCKO JR., P.S. NO. 47976

KEM-TEC & ASSOCIATES 22556 GRATIOT AVE., ST. POINTE, MI 48021 (586) 772-2222 FAX (586) 772-4048	
CERTIFIED TO: FRANKLIN BANK AND FOUND T. AHEE JEWELERS	
FIELD SURVEY: KB RE	DATE: MARCH 25, 2004
DRAWN BY: TS	SHEET: 1 OF 1
SCALE: 1" = 20'	JOB NO. 04-06903A



GENERAL SITE PLAN NOTES:

1. PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:
2. CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
3. ASPHALT: BASE COURSE - MDT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.
4. PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
5. ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
6. ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.
7. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
8. ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.
9. ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
10. CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.
11. FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.
12. EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.
13. EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.
14. SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.
15. ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.
16. FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.
17. ALL LANDSCAPED AREAS TO BE PROVIDED W/ SPRINKLER SYSTEMS FOR 100% COVERAGE.

SITE PLAN KEY NOTES:

(TYPICAL THIS SHEET ONLY)

- (A) DEMOLISH EXISTING BUILDING.
- (B) RE-WORK EXISTING CURB CUT AND APPROACH. COORDINATE WITH NEW WORK APPROACH.
- (C) DEMOLISH EXISTING PARKING LOT PAVING. PREP SITE FOR NEW PROPOSED ADDITION. COORDINATE WITH NEW WORK PLANS.

PROPERTY DESCRIPTION:

PARCEL 1 - LOTS 1603, 1604 AND 1605 (AS ONE) OF ARTHUR J. SCULLY'S EASTERN SUPER-HIGHWAY #1 SUBDIVISION OF PARTS OF P.C. 'S 393, 240 AND 611, GROSSE-POINTE TWP. (NOW CITY OF GROSSE POINTE WOODS), WAYNE COUNTY, MICHIGAN. AS RECORDED IN LIBER 56 OF PLATS, PAGE 77, WAYNE COUNTY RECORDS.

PARCEL 2 - LOTS 1606 AND 1607 OF ARTHUR J. SCULLY'S EASTERN SUPER-HIGHWAYS SUBDIVISION NO. 1 OF PARTS OF P.C. 393, P.C. 240 AND P.C. 611, GROSSE-POINTE TOWNSHIP (NOW CITY OF GROSSE POINTE WOODS), WAYNE COUNTY, MICHIGAN. AS RECORDED IN LIBER 56 OF PLATS, PAGE 77, WAYNE COUNTY RECORDS.

ZONING INFORMATION:

ZONING 'C' COMMERCIAL BUSINESS

SETBACKS:
 FRONT YARD (0)
 SIDE YARD (0)
 REAR YARD (0)

EASEMENTS:
 NONE RECORDED

EXISTING LOADING/UNLOADING AT REAR ALLEY (UNCHANGED)

GENERAL NOTE:

PROPERTY INFORMATION BASED ON SURVEY CONDUCTED BY MCMAHON ENGINEERING CO. DATED 2-1-68.

BUILDING FOOTPRINT INFORMATION BASED ON SURVEY (IBID) AS WELL AS CONSTRUCTION DOCUMENTS FOR 2018 BUILDING EXPANSION.

NEIGHBORING PROPERTY INFORMATION BASED ON SURVEY CONDUCTED BY KEM-TEC & ASSOCIATES DATED MARCH 25, 2004.

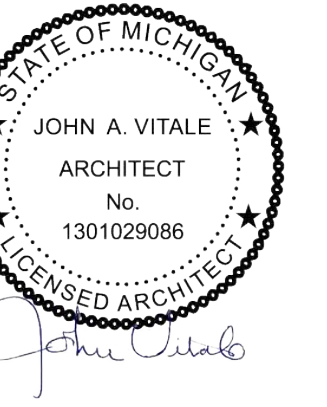
ARCHITECTURAL SITE PLAN - DEMOLITION
 SCALE: 1" = 10'-0"



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 27172 WOODWARD AVENUE
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 P. 248.546.6700
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 WWW.STUCKYVITALE.COM

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Consultants:



Project:

AHEE JEWELERS
 RETAIL ADDITION
 20139 MACK AVE.
 GROSSE POINTE WOODS,
 MI. 48236

Issued for:

OWNER REVIEW 04.20.23
 SITE PLAN 06.09.23
 APPROVAL

Drawn by:
 JPM

Checked by:
 JAV

Sheet Title:
 SITE PLAN -
 DEMOLITION

Project No.:
 2023.034

Sheet No.:
 A001

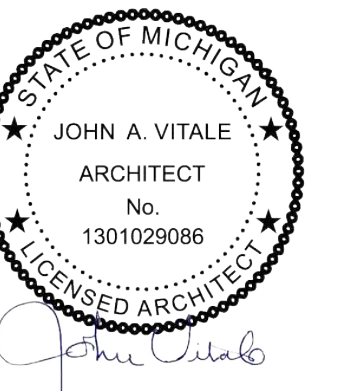
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 F. 248.546.8454
 WWW.STUCKYVITALE.COM

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Consultants:



Project:
**AHEE JEWELERS
 RETAIL ADDITION**
 20139 MACK AVE.
 GROSSE POINTE WOODS,
 MI. 48236

Issued for:
OWNER REVIEW 04.20.23
SITE PLAN 06.09.23
APPROVAL

Drawn by:
 JPM
 Checked by:
 JAV
 Sheet Title:
**SITE PLAN - NEW
 WORK**

Project No.:
2023.034

Sheet No.:
A002

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GENERAL SITE PLAN NOTES:

- PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:
- CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
- ASPHALT: BASE COURSE - MDT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.
- PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
- ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
- ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
- ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.
- ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
- CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.
- FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.
- EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.
- EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.
- SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.
- ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.
- FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.
- ALL LANDSCAPED AREAS TO BE PROVIDED W/ SPRINKLER SYSTEMS FOR 100% COVERAGE.

SITE PLAN KEY NOTES:
 (TYPICAL THIS SHEET ONLY)

- EXISTING BUILDING ENTRANCE
- RE-SURFACE PARKING LOT & APPLY NEW PARKING STRIPING AS SHOWN.
- RE-WORK EXISTING CURB CUT & APPROACH

PROPERTY DESCRIPTION:

PARCEL 1 - LOTS 1603, 1604 AND 1605 (AS ONE) OF ARTHUR J. SCULLY'S EASTERN SUPER-HIGHWAY #1 SUBDIVISION OF PARTS OF P.C. 'S 393, 240 AND 611, GROSSE-POINTE TWP. (NOW CITY OF GROSSE POINTE WOODS), WAYNE COUNTY, MICHIGAN. AS RECORDED IN LIBER 56 OF PLATS, PAGE 77, WAYNE COUNTY RECORDS.

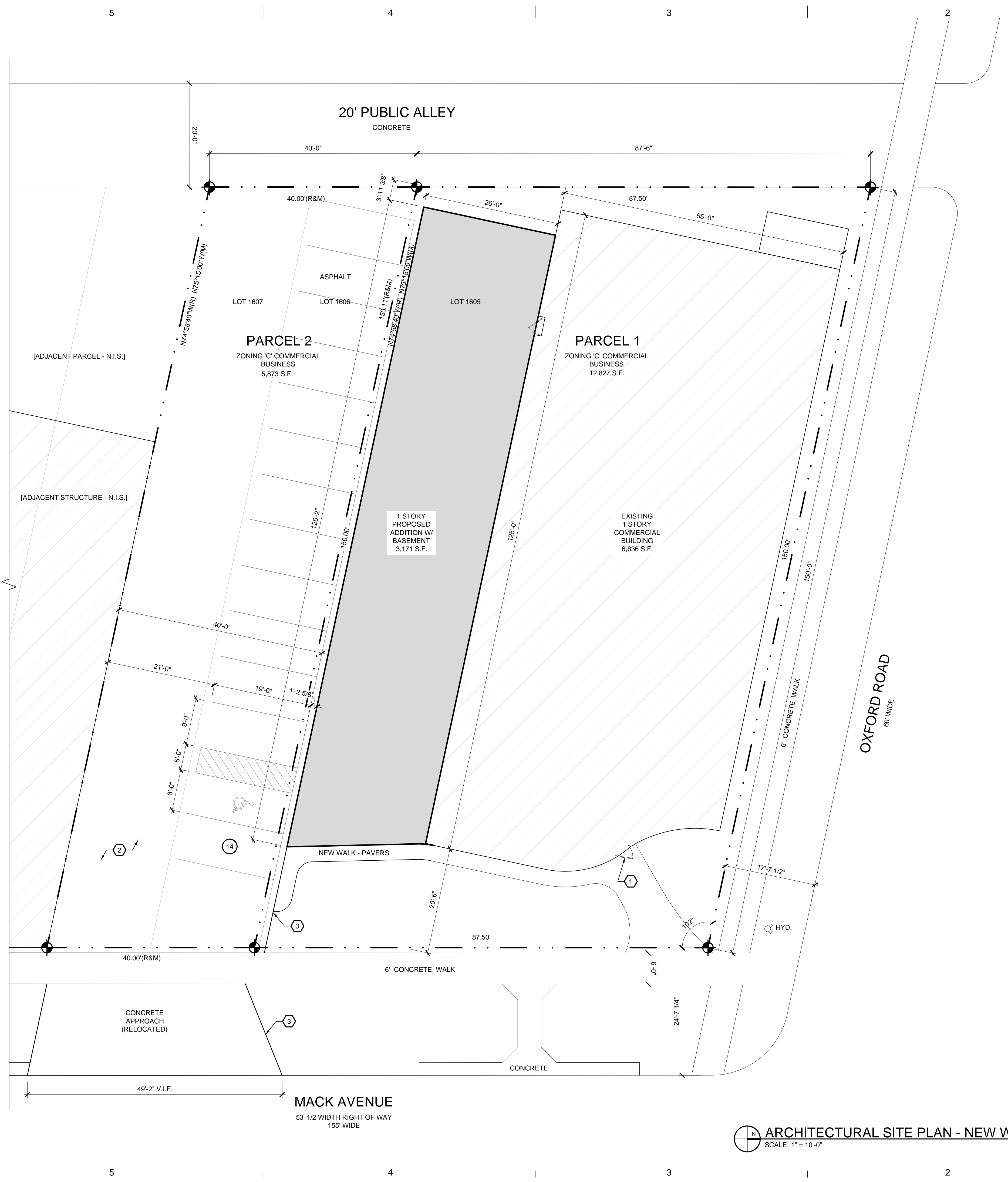
PARCEL 2 - LOTS 1606 AND 1607 OF ARTHUR J. SCULLY'S EASTERN SUPER-HIGHWAYS SUBDIVISION NO. 1 OF PARTS OF P.C. 393, P.C. 240 AND P.C. 611, GROSSE-POINTE TOWNSHIP (NOW CITY OF GROSSE POINTE WOODS), WAYNE COUNTY, MICHIGAN. AS RECORDED IN LIBER 56 OF PLATS, PAGE 77, WAYNE COUNTY RECORDS.

PARKING CALCULATION DATA:	
EXISTING BUILDING AREA	= 6,636 SF
NEW WORK BUILDING AREA	= 3,171 SF
TOTAL BUILDING AREA	= 9,756 GSF
1 SPACE FOR 200 GSF OF FLOOR AREA	
TOTAL FLOOR AREA	= 9,807 GSF
	= 49 SPACES REQ'D
PROVIDED 14 SPACES. INCLUDES 1 BF SPACE	

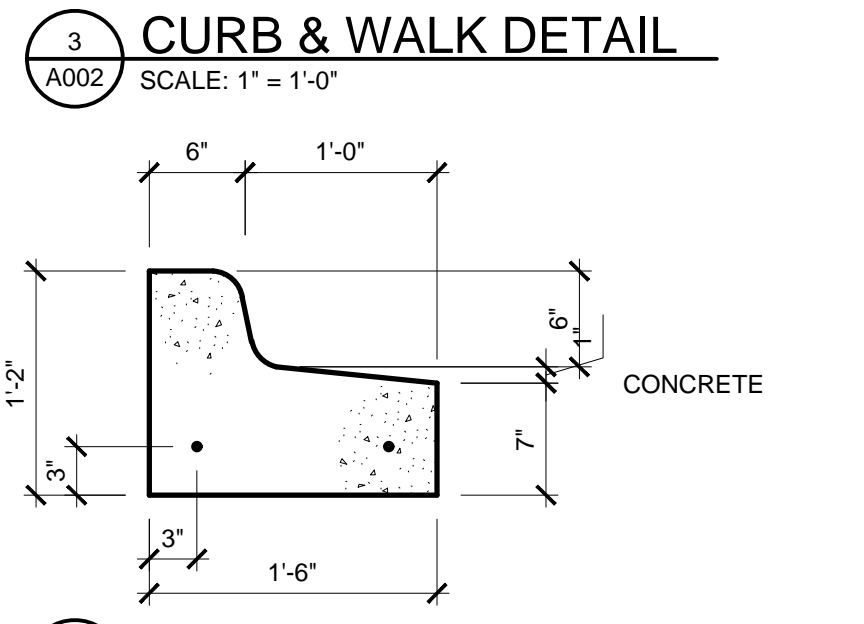
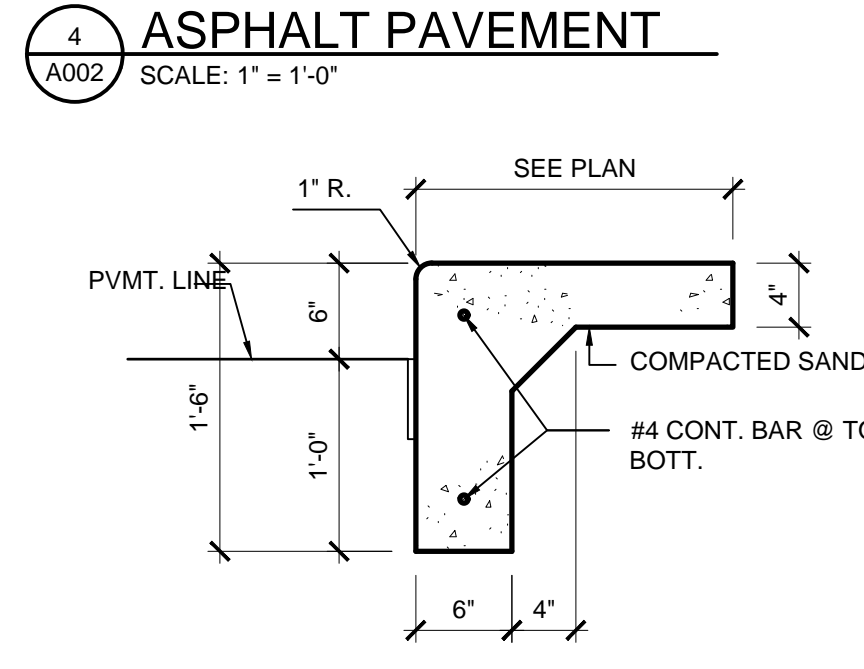
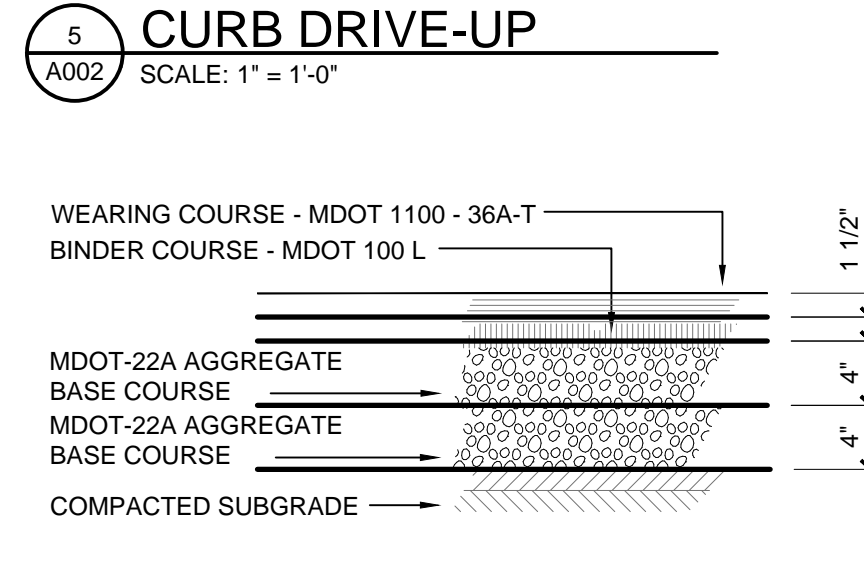
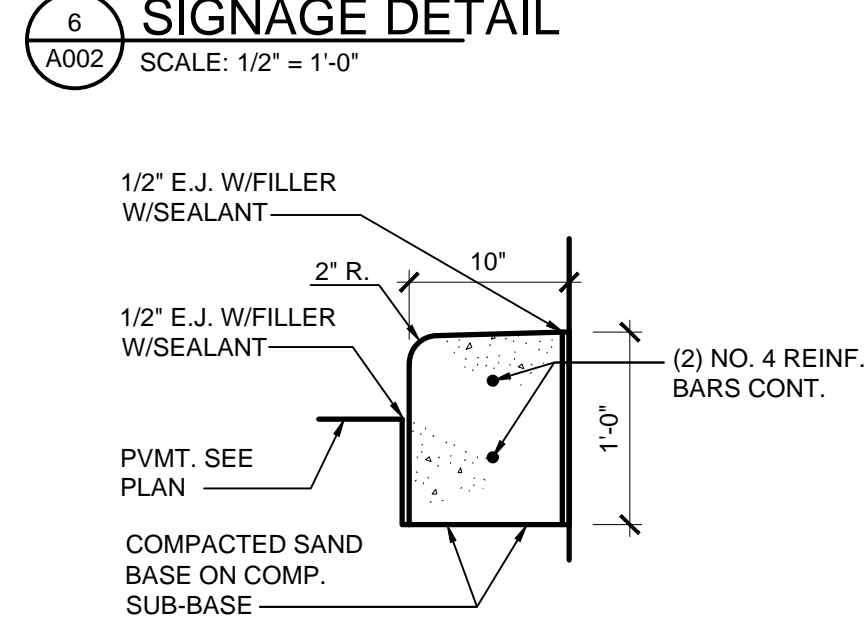
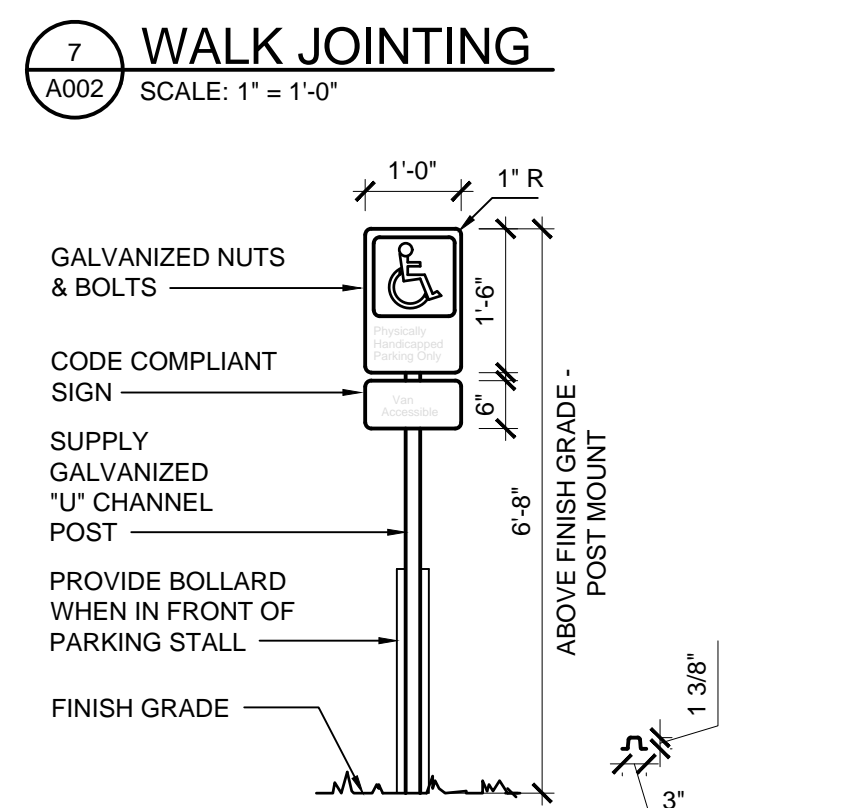
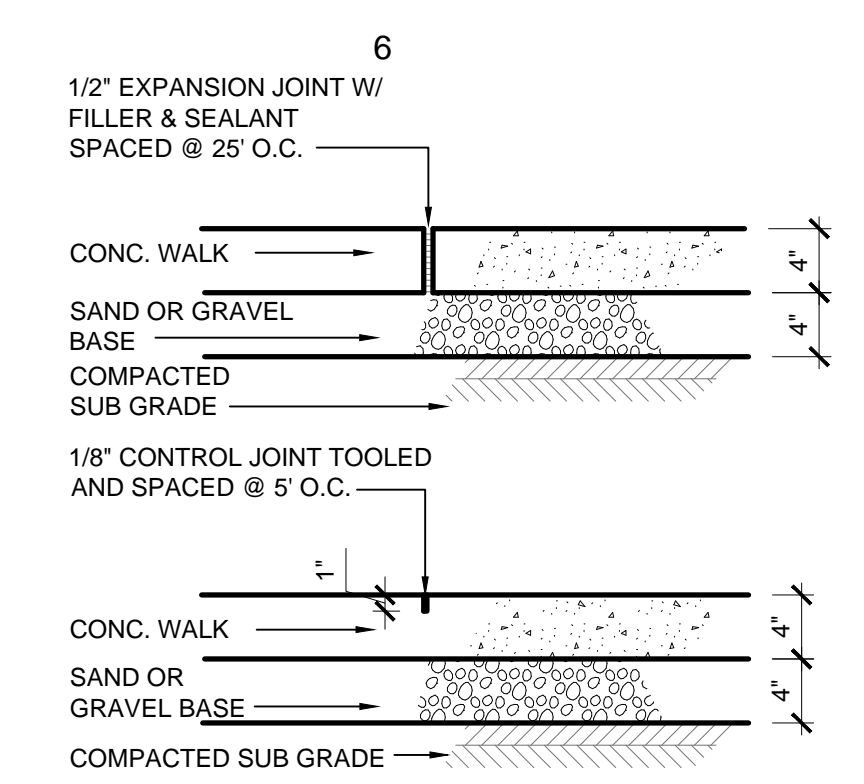
GENERAL NOTE:
 PROPERTY INFORMATION BASED ON SURVEY CONDUCTED BY MCMAHON ENGINEERING CO. DATED 2-1-68.

BUILDING FOOTPRINT INFORMATION BASED ON SURVEY (IBID) AS WELL AS CONSTRUCTION DOCUMENTS FOR 2018 BUILDING EXPANSION.

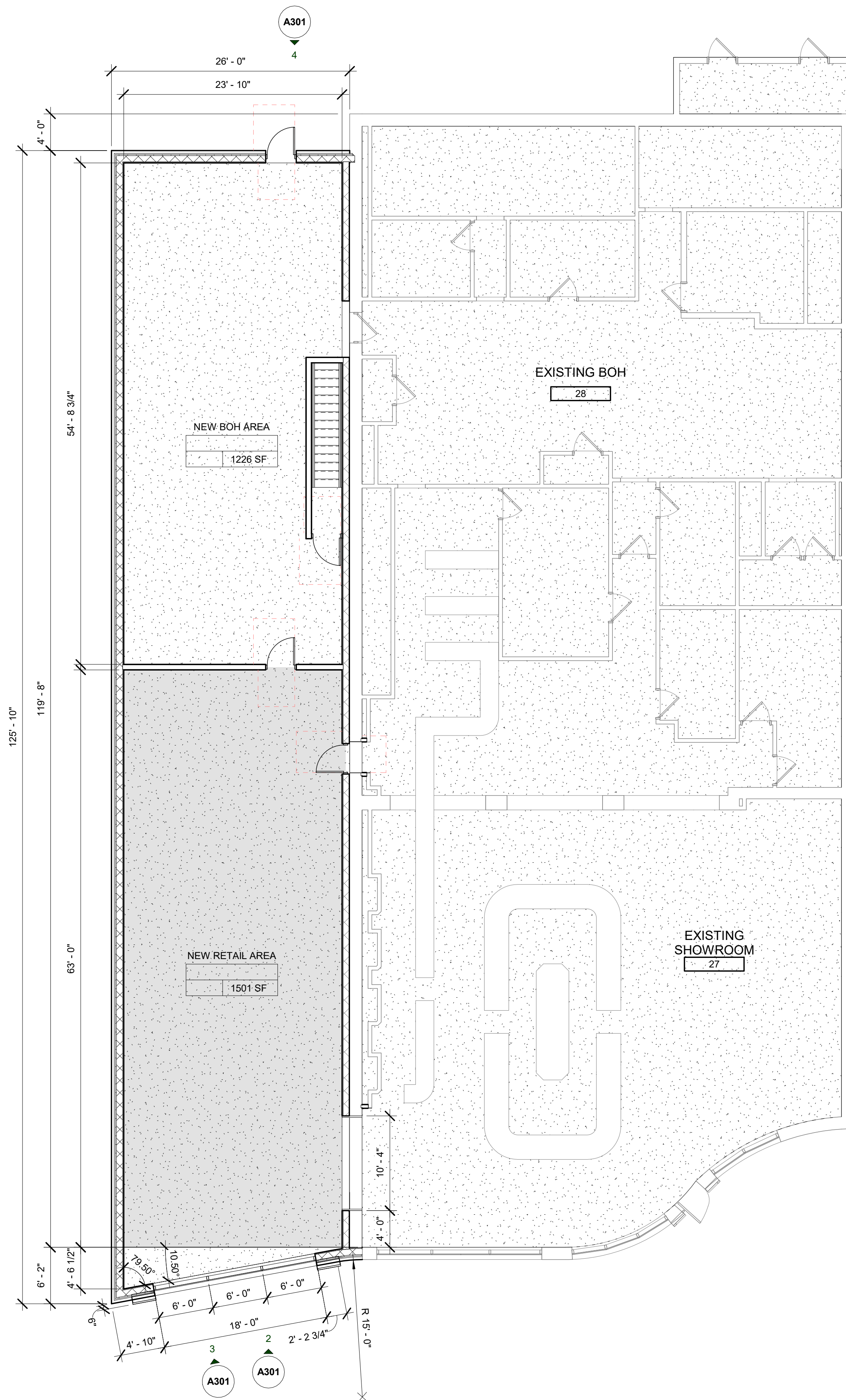
NEIGHBORING PROPERTY INFORMATION BASED ON SURVEY CONDUCTED BY KEM-TEC & ASSOCIATES DATED MARCH 25, 2004.



ARCHITECTURAL SITE PLAN - NEW WORK
 SCALE: 1" = 10'-0"



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1 FIRST LEVEL FLOOR PLAN
A123 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES

1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
3. WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
4. ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
6. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
7. PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS.
8. PAINT, PATCH AND REPAIR THE FOLLOWING TO MATCH EXISTING MATERIALS: FLOOR, WALL, AND CEILING SURFACES AS REQUIRED ADJACENT TO AREAS BEING DEMOLISHED. REFER TO DEMOLITION DRAWINGS FOR MORE INFORMATION.
9. REINFORCE WALL AND PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL CABINETS AND COUNTERTOPS.
10. THE CONTRACTOR SHALL PROVIDE AND INSTALL WALL REINFORCING FOR INSTALLATION OF ACCESSORIES, COAT RACKS, CASEWORK, AND OTHER WALL MOUNTED ITEMS.
11. CLEAN AND REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
12. ALL EXPOSED PIPES, DUCTS, AND CONDUIT TO BE PAINTED TO MATCH EXISTING.
13. PROVIDE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AT 30'-0" O.C. MAXIMUM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
14. COORDINATE WITH OWNER'S EQUIPMENT SUPPLIER FOR INSTALLATION REQUIREMENTS / LOCATIONS OF FLOOR / WALL / CEILING MOUNTED ITEMS: IE. CAMERAS, TV'S, SPEAKERS, SENSORS, SECURITY WIRING, VAULTS, ETC.
15. CONTRACTOR SHALL CONDUCT A ROUGH ELECTRICAL INSPECTION WITH OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, VOICE, SWITCH, THERMOSTAT, ETC.
16. A TACTILE SIGN STATING 'EXIT' AND COMPLYING WITH ICC-A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN 'AREA OF REFUGE', AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE.

KEYNOTE - NEW CONSTRUCTION LEGEND

KEYNOTE	KEYNOTE DESCRIPTION
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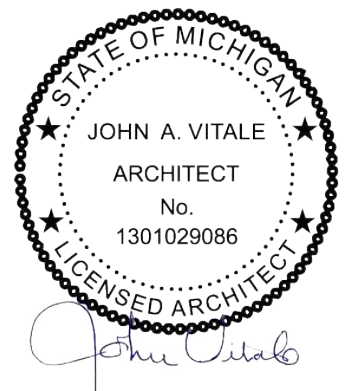


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Consultants

Seal:



Project :
AHEE JEWELERS
RETAIL ADDITION

20139 MACK AVE,
GROSSE POINTE
WOODS, MI 48236

Issued for
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JPM
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Sheet Title :
FIRST LEVEL FLOOR PLAN

Project No. :
2023.034

Sheet No. :
A123

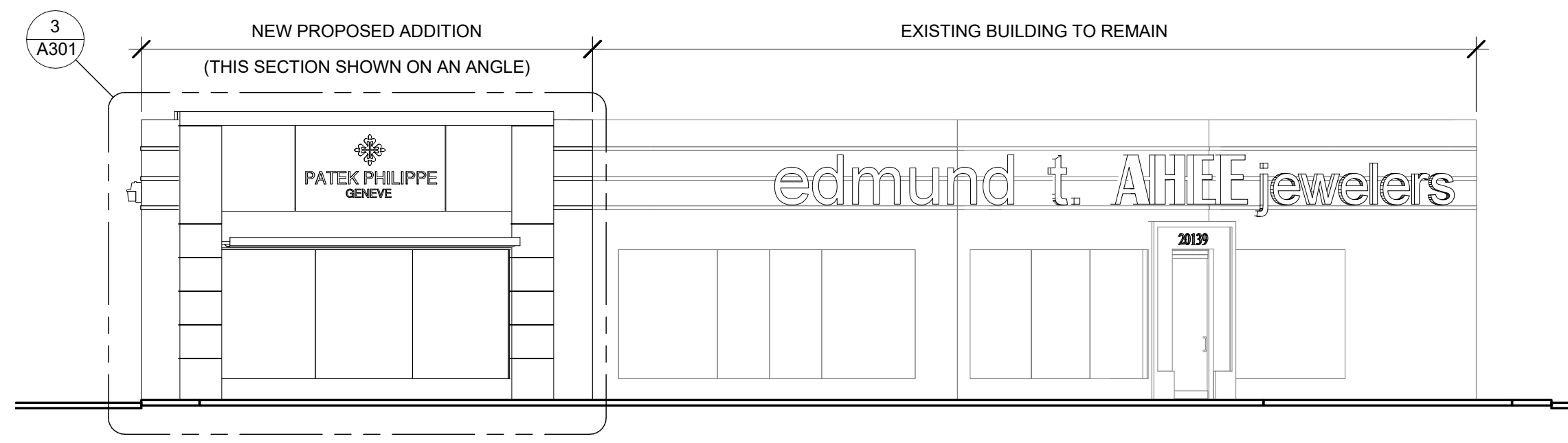
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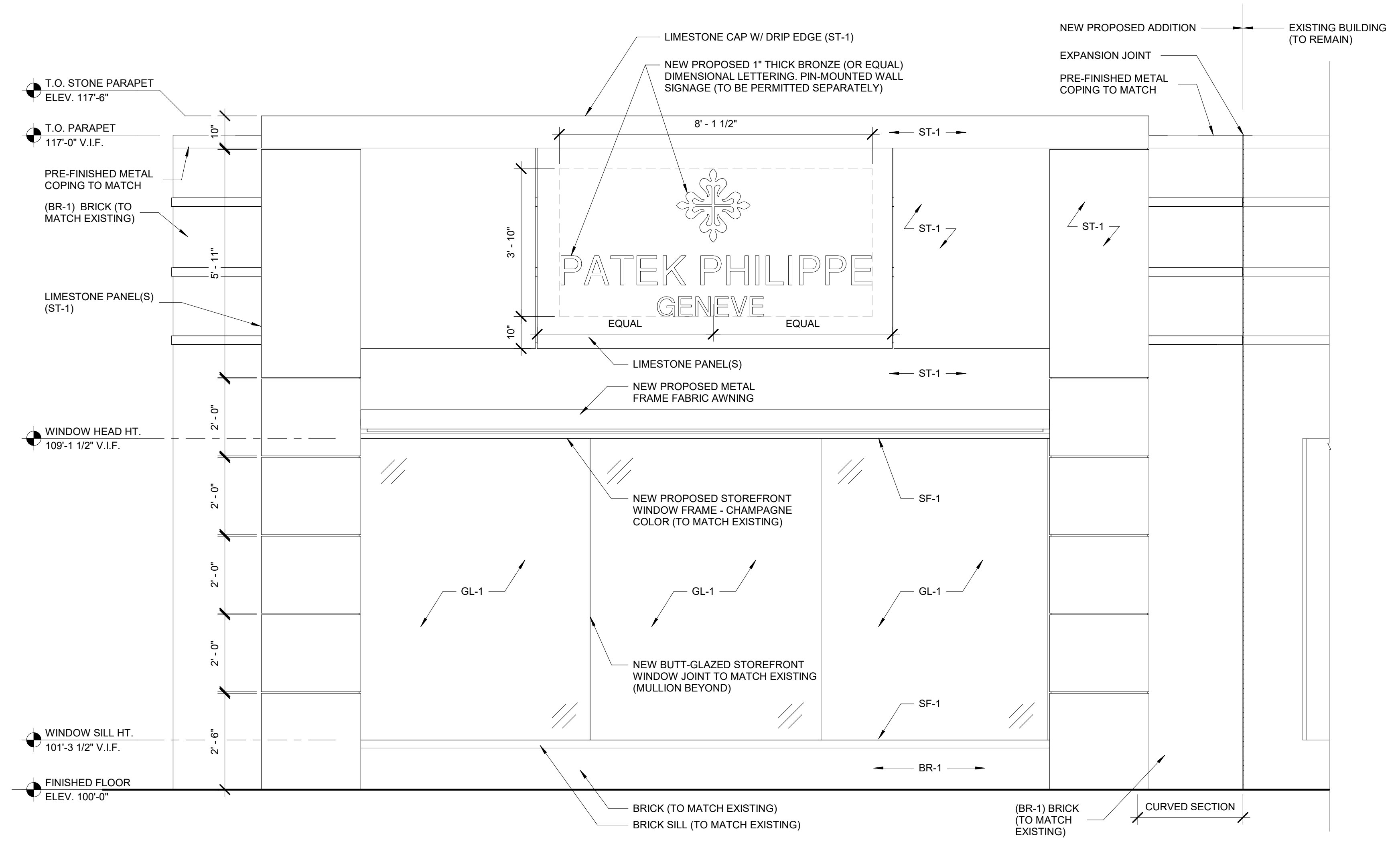
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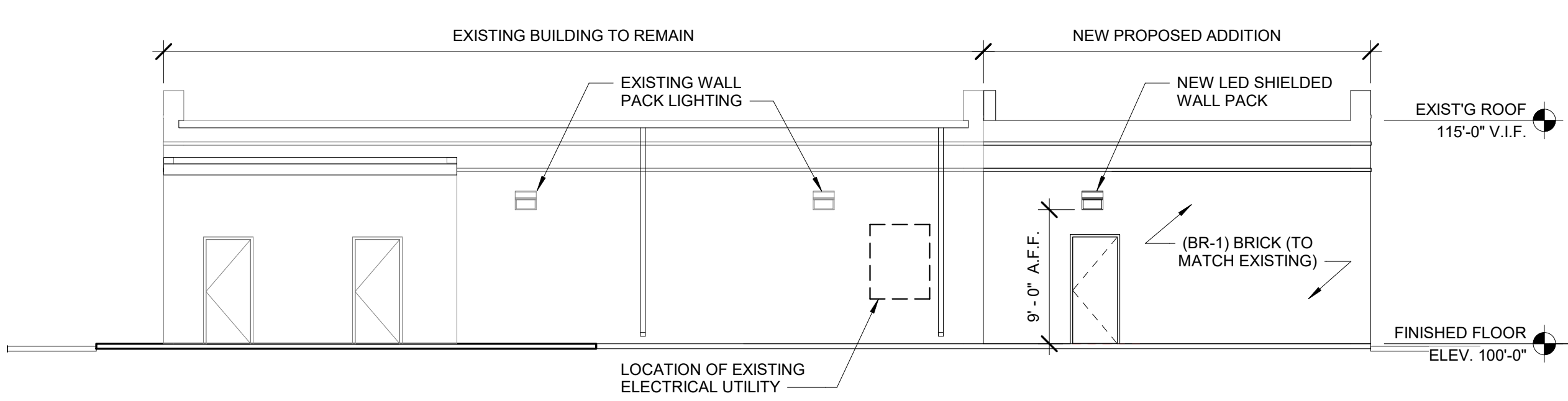
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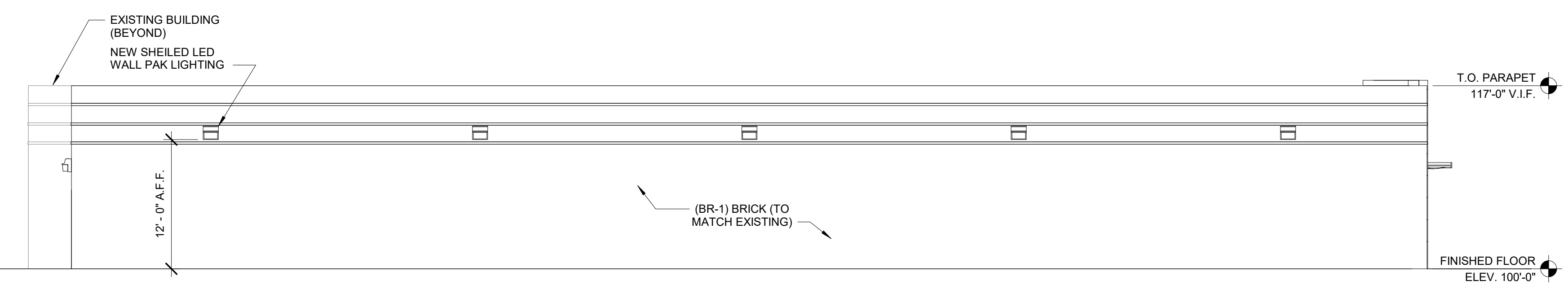
2 A301
FRONT ELEVATION
 1/8" = 1'-0"



3 A301
ENLARGED FRONT ELEVATION
 1/2" = 1'-0"

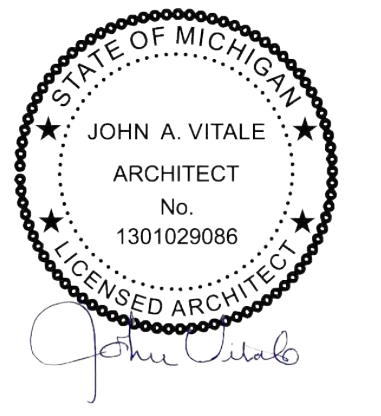


4 A301
REAR ELEVATION
 1/8" = 1'-0"



1 A301
SIDE ELEVATION
 1/8" = 1'-0"

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Drawn by : JPM
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 Sheet Title : EXTERIOR ELEVATIONS

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 Sheet No. : **A301**

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CONCEPTUAL RENDERING MACK AVE. - PERSPECTIVE VIEW



CONCEPTUAL RENDERING MACK AVE. - PERSPECTIVE VIEW



CONCEPTUAL RENDERING MACK AVE. - ELEVATION VIEW



CONCEPTUAL RENDERING MACK AVE. - ISOMETRIC VIEW

GENERAL NOTE:
CONCEPTUAL RENDERINGS FOR REFERENCE ONLY.
REFER TO SHEET A301 EXTERIOR ELEVATIONS FOR
BALANCE OF INFORMATION.

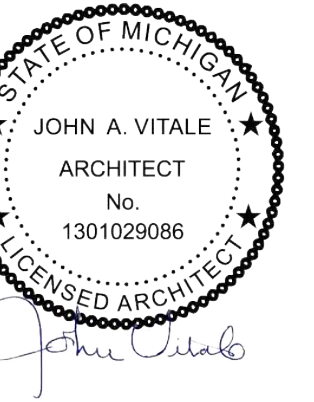


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EXTERIOR RENDEREINGS

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2023.034

Sheet No. :

A311

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