

DAILY JAM GROSSE POINTE WOODS

20710 MACK AVE, GROSSE POINTE, MI 48236

ARCHITECT

STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067
(248) 546-6700

PROJECT INFORMATION

PROJECT DESCRIPTION
INTERIOR RENOVATION OF EXISTING RESTAURANT AND EXTERIOR IMPROVEMENTS FOR NEW BRANDING.

APPLICABLE CODES
2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (MRC)
2021 MICHIGAN MECHANICAL CODE (MMC)
2021 MICHIGAN PLUMBING CODE (MPC)
2015 MICHIGAN ENERGY CODE (MEC)
2013 ANSIA/SHRAE/IES 90.1
2023 NATIONAL ELECTRICAL CODE (NEC)
2015 NFPA 101 LIFE SAFETY CODE

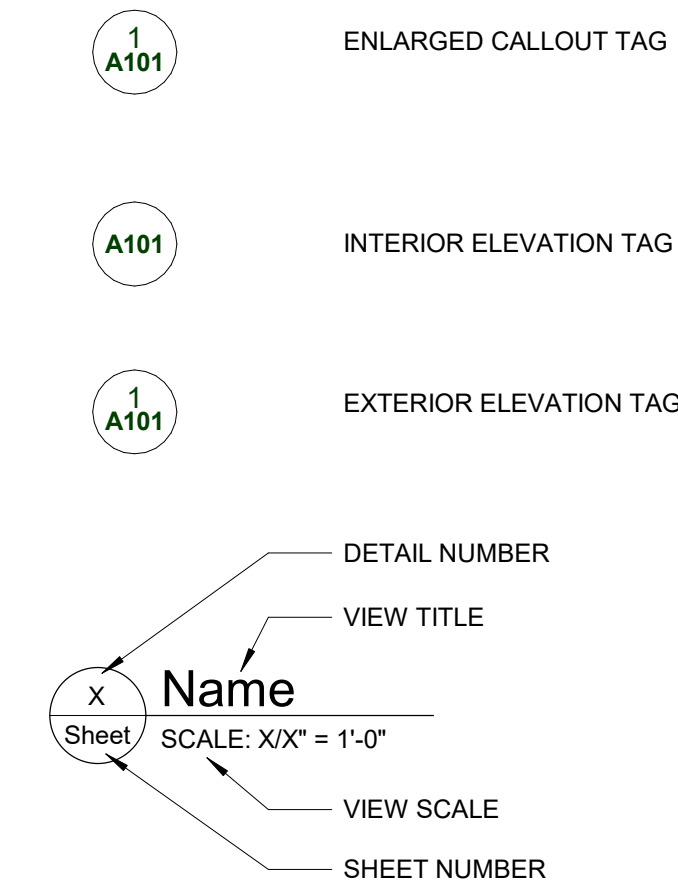
BARRIER FREE REQUIREMENTS:
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (DOJ)
MBC-2015, CHAPTER 11
ICC / ANSI 117.1 - 2009, EXCEPT SECTION 611 & 707

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION
ASSEMBLY (RESTAURANT): A-2
EXISTING UNCHANGED

SHEET INDEX - GENERAL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
G001	COVER SHEET, GENERAL INFORMATION, DRAWING INDEX	CITY SUBMITTAL	09.18.24
DRAWINGS: 1			
SHEET INDEX - ARCHITECTURAL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
A001	ARCHITECTURAL SITE PLAN	CITY SUBMITTAL	09.18.24
A110	FIRST LEVEL CONSTRUCTION PLAN	CITY SUBMITTAL	09.18.24
A301	EXTERIOR ELEVATIONS	CITY SUBMITTAL	09.18.24
A302	EXTERIOR ELEVATIONS	CITY SUBMITTAL	09.18.24
A311	EXTERIOR RENDERINGS	CITY SUBMITTAL	09.18.24
DRAWINGS: 5			

NOTE:
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

SYMBOL LEGEND



ROOM NAME
ROOM TAG
101

FLOOR NAME
ELEV. 100'-0"
LEVEL REFERENCE

0,0 DATUM WORKPOINT

1 COLUMN GRIDS
NUMBERS DESIGNATE VERTICAL COLUMN LINES

A LETTERS DESIGNATE HORIZONTAL COLUMN LINES

A SQUARE DESIGNATE EXISTING COLUMN GRID

DOOR TAGS
NEW DOOR TAG DESIGNATION
EXISTING DOOR TAG DESIGNATION (ONLY IF EXISTING DOOR TO BE MODIFIED)

<2C3-Y8> PARTITION TAG

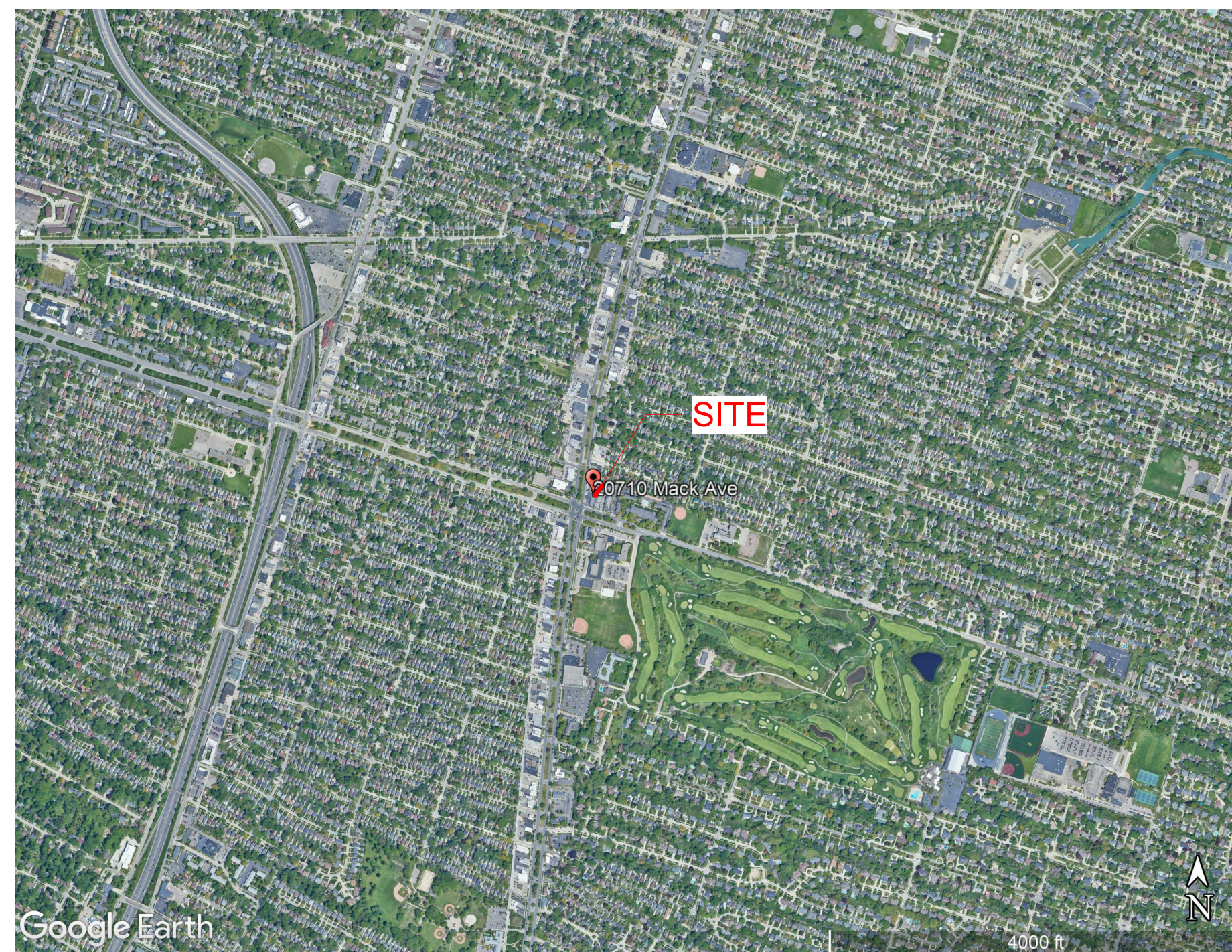
XX KEYNOTE TAG

XX EQUIPMENT TAG

X / A-XXX SHEET REF FOR DRAWING CONTINUATION
MATCH LINE
ZONE B
ZONE A

ABBREVIATION LEGEND

& L @	AND ANGLE AT	ø or ø ±	CENTERLINE DIAMETER PLUS OR MIN
ACCESS.	ACCESSIBILITY	N	NORTH
ACOUS.	ACOUSTICAL	NIC	NOT IN CONTRACT
ACT	ACOUSTICAL CEILING TILE	NOM	NOMINAL
A.D.	AREA DRAIN	NTS	NOT TO SCALE
ADJ	ADJUSTABLE	O/C	ON CENTER
A.F.F.	ABOVE FINISH FLOOR	OFC	OFFICE
AL	ALUMINUM	OPNG	OPENING
ANOD.	ANODIZED	OPP	OPPOSITE
ARCH.	ARCHITECTURAL or ARCHITECT	OVFD	OVERFLOW DRAIN
ASPH.	ASPHALT	PL	PLATE
BD.	BOARD	PLAM	PLASTIC LAMINATE
BF	BARRIER FREE	PLAS	PLASTER
BLDG.	BUILDING	PNT	PAINT
BLK.G.	BLOCKING	PLYWD	PLYWOOD
BOT.	BOTTOM	PREFAB	PREFABRICATED
BR	BRICK	PFN	PREFINISH or PREFINISHED
CAB.	CABINET	PROJ	PROJECTION
CEM.	CEMENT	PT	POINT
C.J.	CONTROL JOINT	R.	RISER
CLG	CEILING	RCP	REFLECTED CEILING PLAN
C.F.M.F.	COLD FORMED METAL FRAMING	R.C.	ROOF CONDUCTOR
C.O.	CLEAN OUT	RD	ROOF DRAIN
CLO.	CLOSET	REINF	REINFORCING
CLR	CLEAR	REQ'D	REQUIRED
COL	COLUMN	RESIL	RESILIENT
CONC.	CONCRETE	RFG	ROOFING
C.G.	CORNER GUARD	RM	ROOM
CONST.	CONSTRUCTION	R.S.	ROOF SUMP
CONT.	CONTINUOUS	SAN	SANITARY
COR.	CORRIDOR	SC	SOLID CORE
CORR.	CORRUGATED	SCHED	SCHEDULE
CPT	CARPET	SHT	SHEET
C.T.	CERAMIC TILE	SIM	SIMILAR
CTSK.	COUNTER SUNK	SPEC	SPECIFICATIONS
CW	CURTAIN WALL	SQ	SQUARE
D.F.	DRINKING FOUNTAIN	ST.STL.	STAINLESS STEEL
DET.	DETAIL	SS	SOLID SURFACE
DIA.	DIAMETER	ST	STONE
DIM.	DIMENSION	STD	STANDARD
DN.	DOWN	STL	STEEL
D.O.	DOOR OPENING	STN	STAIN
DR.	DOOR	STOR	STORAGE
D.S.	DOWN SPOUT	STRUCT	STRUCTURAL or STRUCTURE
DWG.	DRAWING	SUSP	SUSPENDED
DWR.	DRAWER	SYM	SYMMETRICAL
EA	EACH	T.	TREAD
E.J.	EXPANSION JOINT	T&B	TOP AND BOTTOM
ELEV.	ELEVATION	TERR.	TERRAZZO
ELEC.	ELECTRICAL	T.O.C.	TOP OF CURB
ELEV.	ELEVATOR	T&G	TONGUE AND GROOVE
E.O.S./EOS	EDGE OF SLAB	THK	THICK
E.O.D./EOD	EDGE OF DECK	THRES.	THRESHOLD
EP	ELECTRICAL PANEL	T.O.P.	TOP OF PARAPET
EPX	EPOXY	TA	TOILET ACCESSORY
EQ.	EQUAL	TV	TELEVISION
EQPM	EQUIPMENT	T.O.W.	TOP OF WALL
E.W.	EACH WAY	TOS / T.O.S.	TOP OF STEEL
EXIST. / EXP.	EXISTING EXPOSED	TYP.	TYPICAL
EXT.	EXTERIOR	U/C	UNDERCUT
FA	FIRE ALARM	U.N.O.	UNLESS NOTED OTHERWISE
FD	FLOOR DRAIN	U.SK.	UTILITY SINK
FN	FOUNDATION	V.B.	VAPOR BARRIER
FON	FIRE EXTINGUISHER	VCT	VINYL COMPOSITION TILE
FEC	FIRE EXTINGUISHER CABINET	VERT.	VERTICAL
FHC	FIRE HOSE CABINET	VEST	VESTIBULE
FIN	FINISH	VF	VINYL FLOORING
FL	FLOOR	V.I.F.	VERIFY IN FIELD
F.O.	FACE OF	W	WIDTH
F.O.S.	FACE OF STUD	W/	WITH
FR	FRAME	WB	WALL BASE
FRP	FIBERGLASS REINFORCED PANEL	W.C.	WATER CLOSET
FRT	FIRE RETARDANT TREATED	WC	WALLCOVERING
F.S.	FULL SIZE	WD	WOOD
FT.	FOOT or FEET	WO	WITHOUT
FTG.	FOOTING	WR	WATER RESISTANT
FUR	FURRING	WSCT.	WAINSCOT
GA.	GAUZE	WT.	WEIGHT
GALV.	GALVANIZED	W.W.F.	WELDED WIRE FABRIC
G.B.	GRAB BAR		
GFRC.	GLASS FIBER REINFORCED CONCRETE		
GL.	GLASS		
GYP.	GYPSON		
H.B.	HOSE BIBB		
H.C.	HOLLOW CORE		
HDWD	HARDWOOD		
HDWE	HARDWARE		
HM	HOLLOW METAL		
HORIZ.	HORIZONTAL		
HR	HOUR		
HGT	HEIGHT		
INSUL	INSULATION		
IMP	INSULATED METAL PANEL		
IMWP	INSULATED METAL WALL PANEL		
INT	INTERIOR		
J.C.	JANITOR'S CLOSET		
JT.	JOINT		
KT.	KITCHEN		
LAV.	LAVATORY		
LG	LENGTH		
L.L.V.	LONG LEG VERTICAL		
LT	LIGHT		
LVT	LUXURY VINYL TILE		
MAX	MAXIMUM		
MECH	MECHANICAL		
MTL	METAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
M.O.	MASONRY OPENING		



LOCATION MAP
1 : 15000

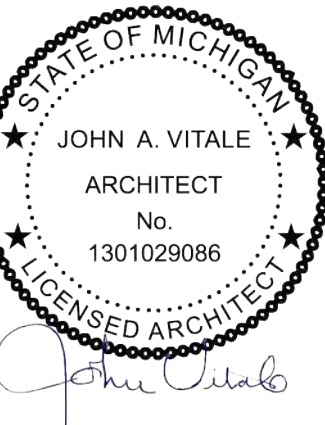


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Consultants

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GROSSE POINTE
WOODS

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GROSSE POINTE, MI
48236

Key Plan:

Issued for

CITY SUBMITTAL 09.18.24

Drawn by :
JGB./JPM
Checked by :
JAV

Sheet Title :
COVER SHEET, GENERAL INFORMATION, DRAWING INDEX

Project No. :
2024.087
Sheet No. :
G001

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LEGAL DESCRIPTION:

PROPERTY ADDRESS: 20710 Mack Ave, Grosse Pointe, MI 48236

ZONING: C - COMMERCIAL BUSINESS

OWNERS: BB234 LLC

LEGAL DESCRIPTION:
WD249P1B2 G1B2 THAT PT OF PC249 DESC AS BEG AT THE INT OF THE SLY LINE OF J.E. BEAUFIT SUB NO 1 L42 PLATS P84 AND THE ELY LINE OF MACK AVE 143FT WIDE AND PROC TH S72DEG 01M E ALONG SAID SLY LINE 150.07 FT TH S8DEG 53M 40S W 142.20FT TH N72DEG 10M 40S W 150FT TH N8DEG 53M 40S E ALONG THE ELY LINE OF MACK AVE 142.62FT TO THE POB 0.48 AC K 163.85

PARCEL SIZE: 0.49 ACRES

JOINT-PARKING AGREEMENT:

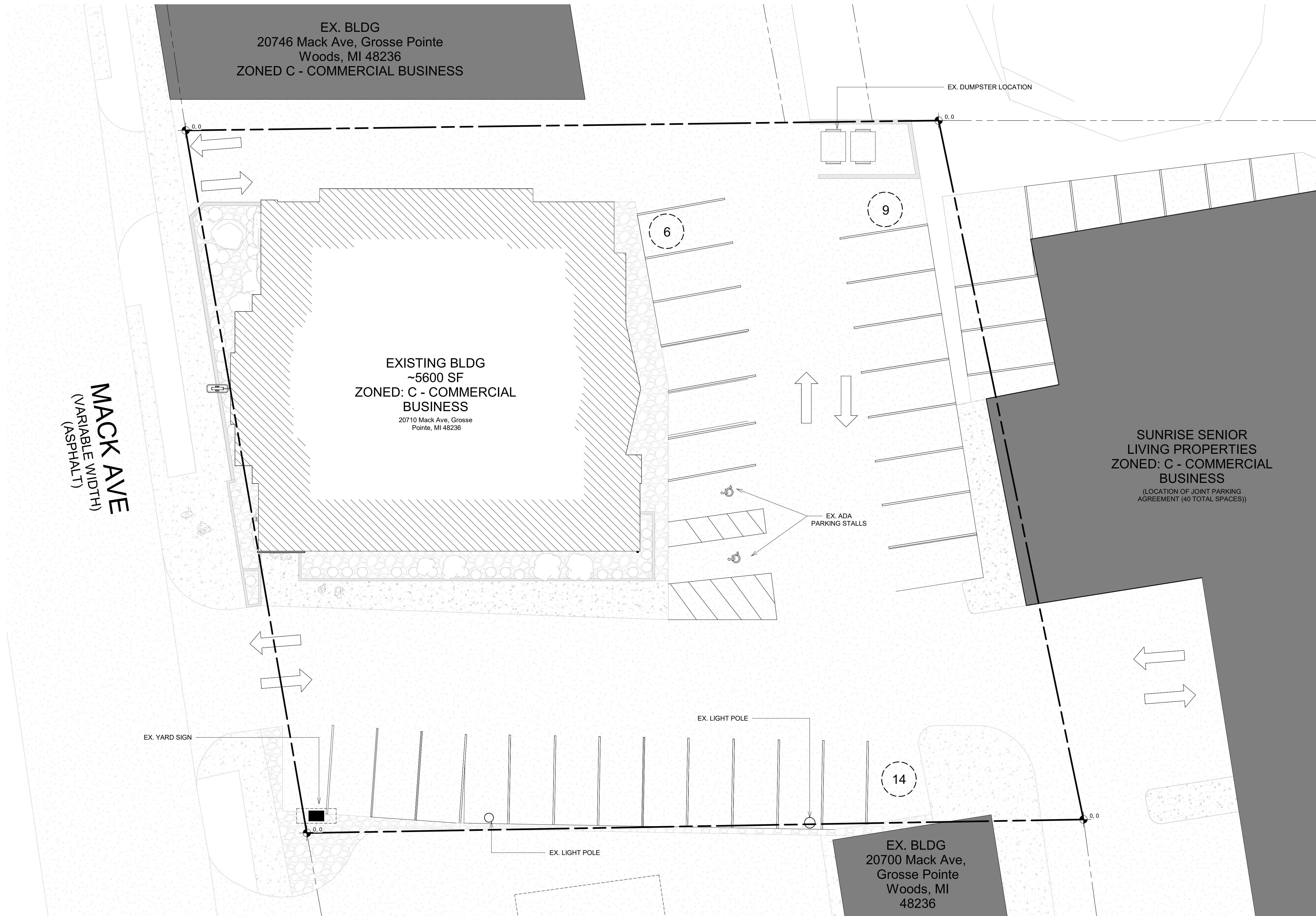
1. THE SHARED PARKING AGREEMENT IS MADE AND ENTERED AS OF AUGUST 30TH, 2004 BY SUNRISE GROSSE POINT SENIOR LIVING, LLC AND CURIS PROPERTIES LIMITED PARTNERSHIP. CURIS PROPERTIES, LOCATED AT 20710 MACK AVE, GROSSE POINTE MI 48236, ENTERED INTO A JOINT PARKING AGREEMENT WITH SUNRISE GROSSE POINT SENIOR LIVING LOCATED AT 1850 VERNIEER RD, GROSSE POINTE WOODS, MI 48236.
2. THIS PARKING AGREEMENT ENTAILS THE JOINT USE OF (40) PARKING SPACES FOR USE BY CURIS, BIG BOYS, AND SUNRISE. THE JOINT PARKING LOCATION IS TO BE ENTIRELY ON THE PROPERTY OWNED BY SUNRISE SENIOR LIVING LLC.
3. DESIGNATED PARKING STALLS FOR JOINT USE SHALL BE DEMARCATED VISIBLY FOR THE PARKING USE OF THOSE ON THE CURIS SITE.
4. CURIS AND ITS TENANT AND THEIR EMPLOYEES, INVITEES, GUESTS, CUSTOMERS MAY USE THE JOINT USE PARKING ONLY FOR EMPLOYEE AND PATRON PARKING OF MOTOR VEHICLES.

GENERAL FLOOR PLAN NOTES: (TYPICAL THIS SHEET ONLY)

1. NO PROPOSED CHANGES TO EXISTING SITE TOPOGRAPHY
2. NO PROPOSED CHANGES TO EXISTING SITE LIGHTING.
3. NO PROPOSED CHANGES TO EXISTING SITE VEGETATION.
4. NO PROPOSED CHANGES TO EXISTING SITE FOOTPRINT.
5. NO CHANGES PROPOSED TO EXISTING PARKING LAYOUT.

PARKING CALCULATIONS:

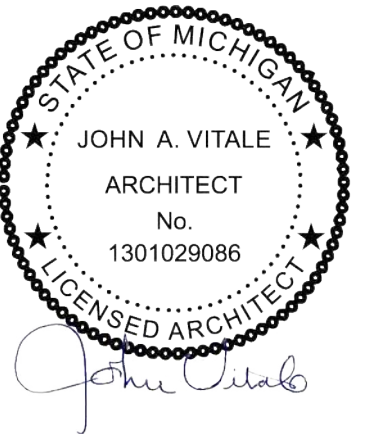
EXISTING: 29 SPACES + 2 ADA SPACES
+ 40 SPACES (JOINT-PARKING)
= 71 TOTAL SPACES



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JGB

Checked by:

JV, JPM

Sheet Title:

ARCHITECTURAL SITE PLAN

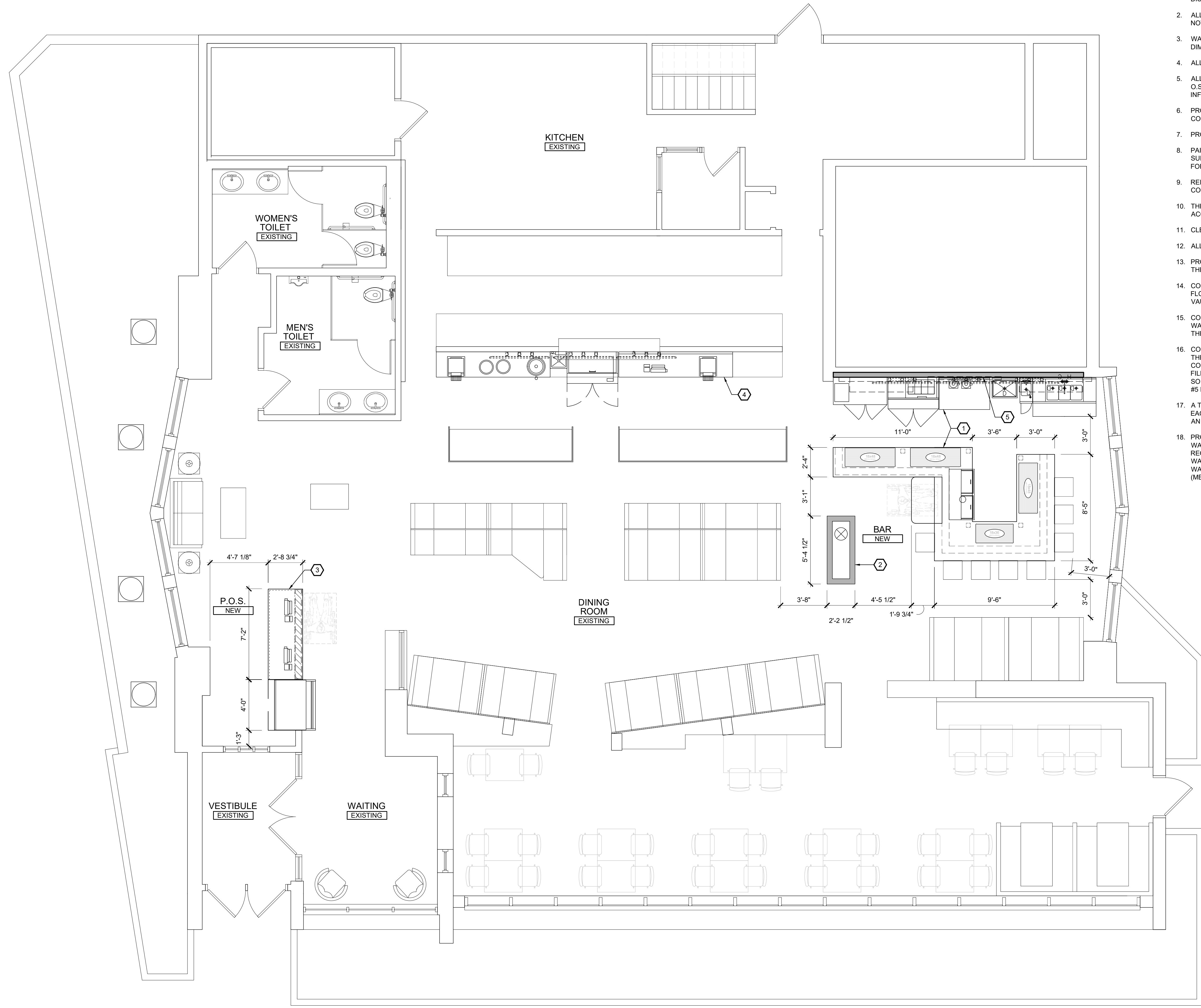
Project No.:

2024.087

Sheet No.:

A001

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GENERAL FLOOR PLAN NOTES:

1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
3. WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
4. ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
6. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
7. PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS.
8. PAINT, PATCH AND REPAIR THE FOLLOWING TO MATCH EXISTING MATERIALS: FLOOR, WALL, AND CEILING SURFACES AS REQUIRED ADJACENT TO AREAS BEING DEMOLISHED. REFER TO DEMOLITION DRAWINGS FOR MORE INFORMATION.
9. REINFORCE WALL AND PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL CABINETS AND COUNTERTOPS.
10. THE CONTRACTOR SHALL PROVIDE AND INSTALL WALL REINFORCING FOR INSTALLATION OF ACCESSORIES, COAT RACKS, AND OTHER WALL MOUNTED ITEMS.
11. CLEAN AND REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
12. ALL EXPOSED PIPES, DUCTS, AND CONDUIT TO BE PAINTED TO MATCH EXISTING.
13. PROVIDE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AT 30'-0" O.C. MAXIMUM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
14. COORDINATE WITH OWNER'S EQUIPMENT SUPPLIER FOR INSTALLATION REQUIREMENTS / LOCATIONS OF FLOOR / WALL / CEILING MOUNTED ITEMS; IE. CAMERAS, TV'S, SPEAKERS, SENSORS, SECURITY WIRING, VAULTS, ETC.
15. CONTRACTOR SHALL CONDUCT A ROUGH ELECTRICAL INSPECTION WITH OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, VOICE, SWITCH, THERMOSTAT, ETC.
16. CONTRACTOR TO FILL ANY AND ALL EQUIPMENT PENETRATIONS OR DEPRESSIONS INTO OR THROUGH THE EXISTING SLAB THAT WILL NOT BE UTILIZED TO FEED NEW EQUIPMENT (I.E. ABANDONED FLOOR CORES, IMPRESSION FROM PREVIOUS EQUIPMENT FLOOR PLATE REMOVAL). PENETRATIONS SHALL BE FILLED WITH NON-SHRINK GROUT. THE SIDES OF ANY EXISTING OPENINGS SHALL BE MODIFIED/TAPERED SO THAT THEY ARE WIDER AT THE TOP THAN AT THE BOTTOM. FOR LARGE OPENINGS, PROVIDE ONE (1) #5 BAR 2" UP FROM BOTTOM OF HOLE.
17. A TACTILE SIGN STATING 'EXIT' AND COMPLYING WITH ICC-A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN 'AREA OF REFUGE', AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE.
18. PROVIDE PERMANENT MIN 3-INCH HIGH CONTRASTING COLOR MARKING AND IDENTIFICATION AT ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS WITHIN 15 FEET AT THE END OF EACH WALL, AND NOT EXCEEDING 30 FEET MAXIMUM HORIZONTAL INTERVALS, MINIMUM 2 LOCATIONS EACH WALL. TYPICAL FOR ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING, OR ATTIC SPACES PER CODE (MBC 703.7)

FLOOR PLAN KEY NOTES:

(TYPICAL THIS SHEET ONLY)

- 1 NEW MILLWORK BAR AND BACK BAR EQUIPMENT.
- 2 NEW LOCATION FOR EXISTING FIREPLACE. RE-CONNECT EXHAUST AND UTILITIES.
- 3 NEW MILLWORK POS COUNTER AND CASE EQUIPMENT
- 4 NEW SERVICE STATION EQUIPMENT PER DAILY JAM PROTOTYPE
- 5 FURR-OUT EXISTING WALL WITH NEW METAL STUDS @ 16" O.C. AND 5/8" GYP BD.

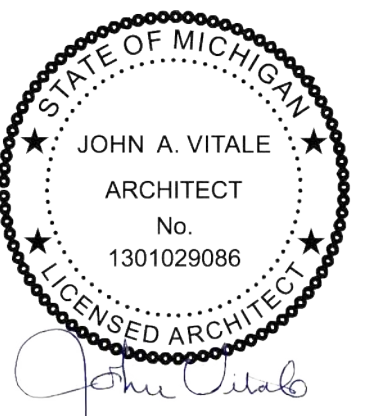
ARCHITECTURAL FLOOR PLAN
SCALE: 1/4" = 1'-0"



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FIRST LEVEL
CONSTRUCTION PLAN

Project No.:

2018.107

Sheet No.:

A110

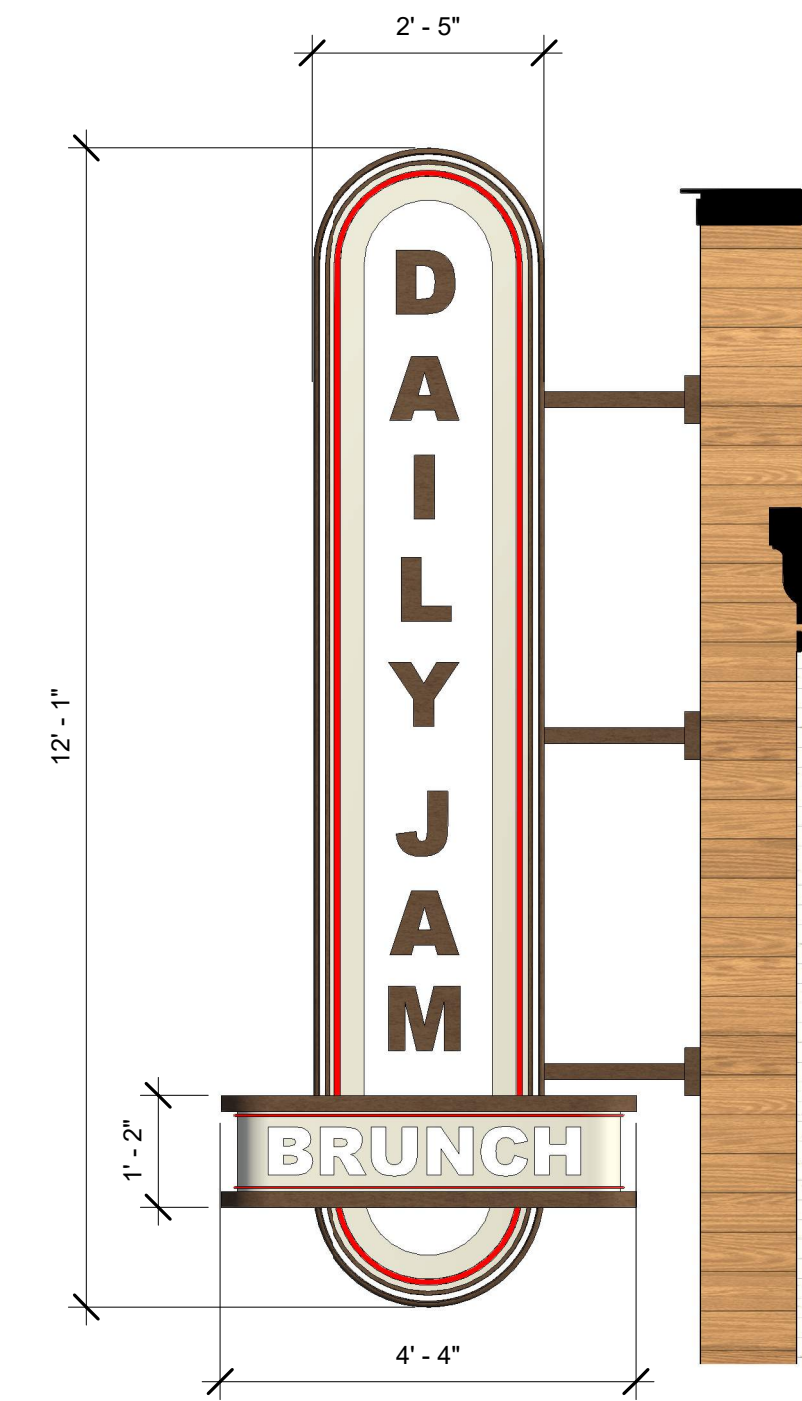
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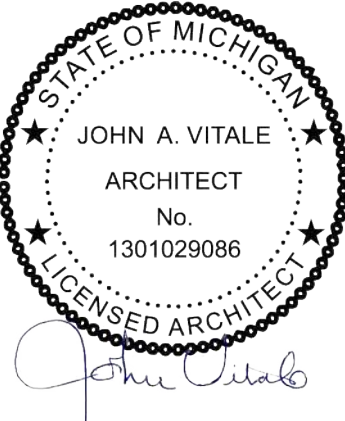
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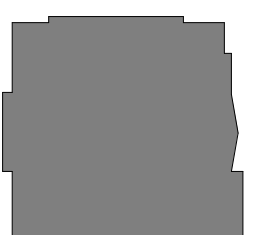
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Key Plan:



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EXTERIOR ELEVATIONS

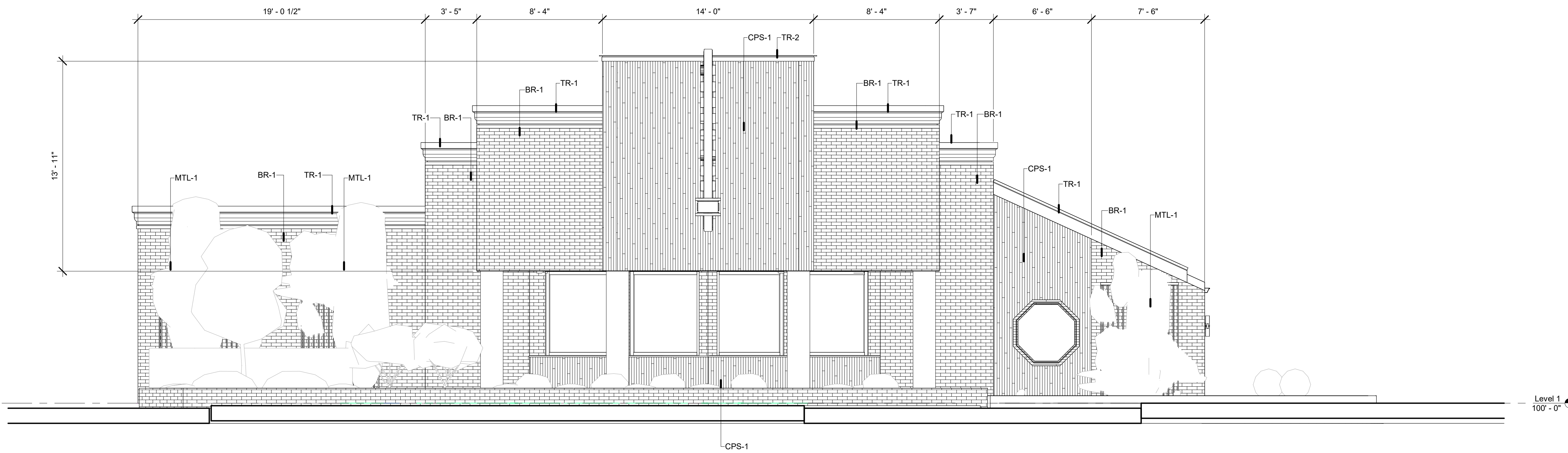
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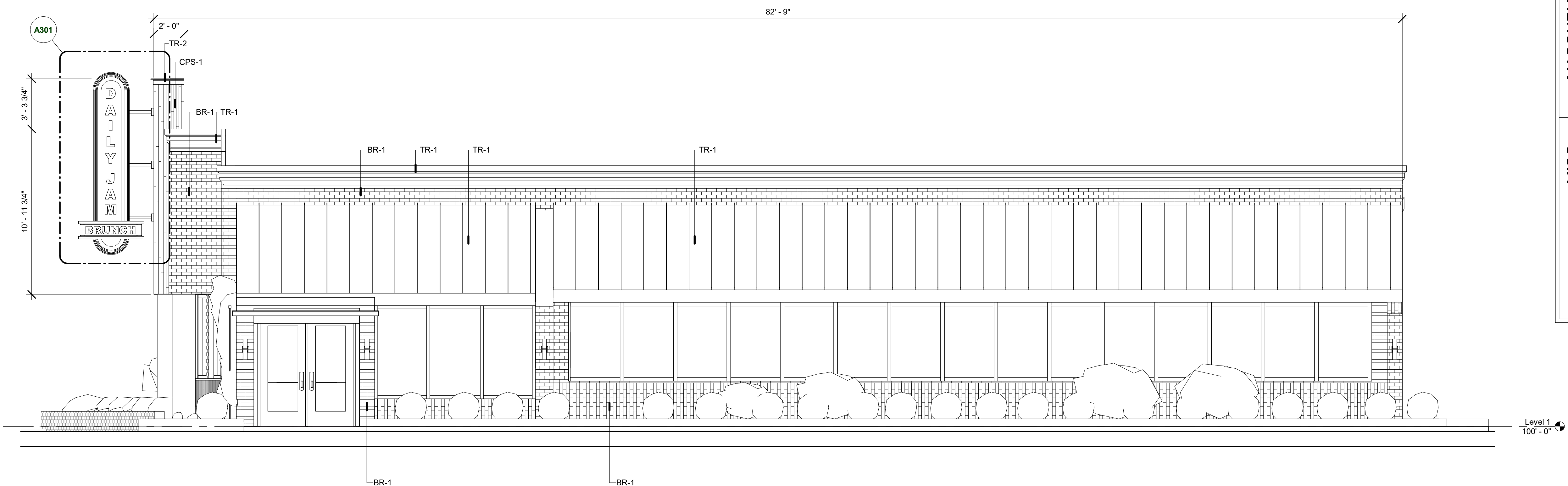
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Level 1
 100' - 0"



Level 1
 100' - 0"

EXTERIOR FINISH SCHEDULE

MASONRY	BR-1	PAINT BRICK MFG: PANTONE OR SIMILAR COLOR: WHITE OR SIMILAR SIZE: EXISTING
	TR-1	TRIM + COPING - EXISTING TRIM AND COPING TO REMAIN EXISTING AND TO BE REPAINTED BLACK OR SIMILAR COLORS.
MISC.	TR-2	TRIM + COPING - NEW PARAPET CAP MATERIAL: ALUMINUM COLOR: BLACK
	CPS-1	COMPOSITE FAUX WOOD PANEL SIDING MFG: TBD OR APPROVED, EQUAL COLOR: FAUX WOOD PANELS SIZE: TBD
	MTL-1	METAL VERTICAL LANDSCAPING GRATING MFG: TBD COLOR: BLACK

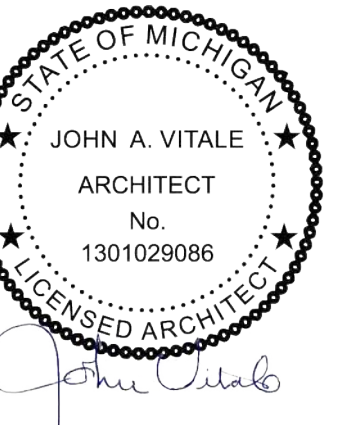


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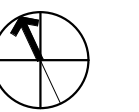
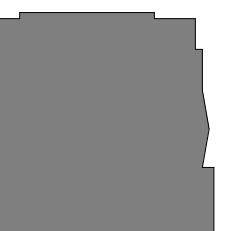
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Key Plan:



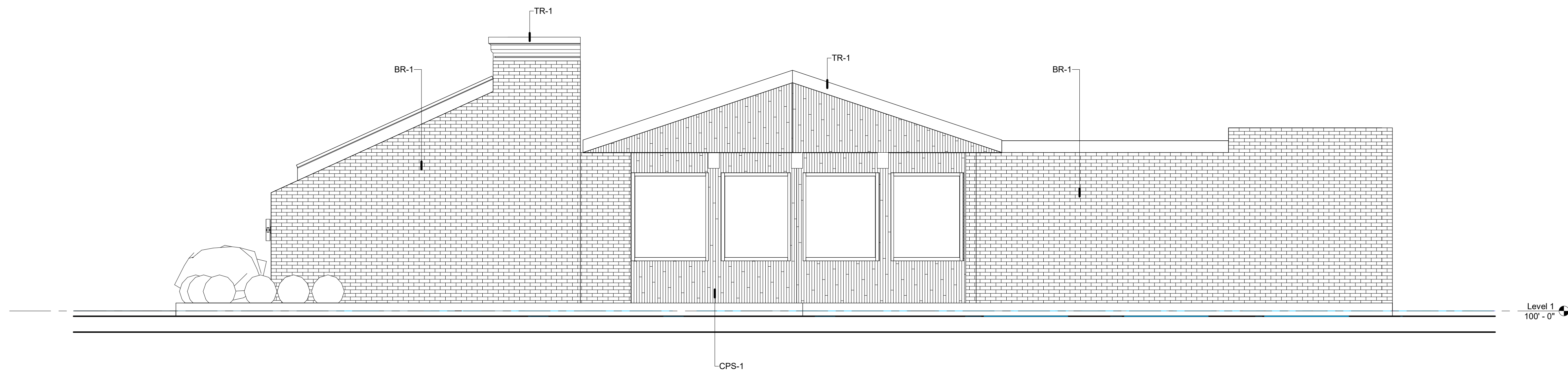
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 Checker
 Sheet Title :
 EXTERIOR ELEVATIONS

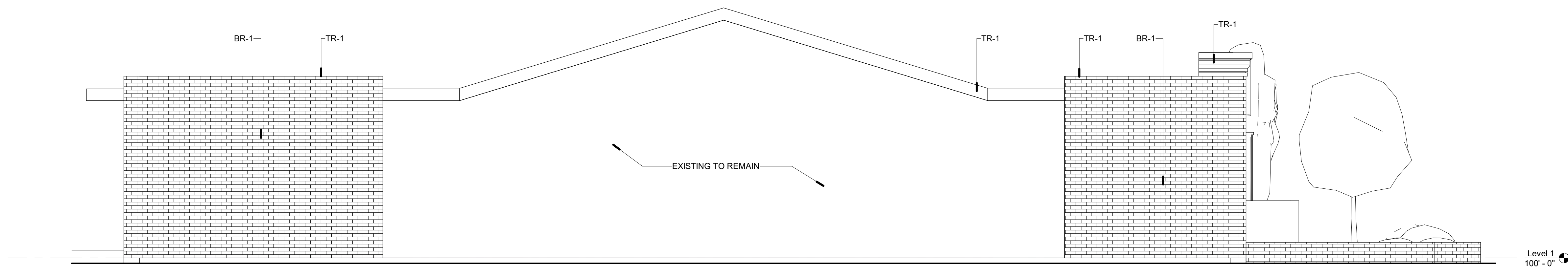
Project No. :
 2024.087

Sheet No. :
A302

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1 Elevation 3 - a
 A302 1/4" = 1'-0"



2 Elevation 4 - a
 A302 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE	
MASONRY	BR-1 PAINT BRICK MFG: PANTONE OR SIMILAR COLOR: WHITE OR SIMILAR SIZE: EXISTING
MISC.	TR-1 TRIM + COPING - EXISTING TRIM AND COPING TO REMAIN EXISTING AND TO BE REPAINTED BLACK OR SIMILAR COLORS.
	TR-2 TRIM + COPING - NEW PARAPET CAP MATERIAL: ALUMINUM COLOR: BLACK
	CPS-1 COMPOSITE FAUX WOOD PANEL SIDING MFG: TBD OR APPROVED EQUAL COLOR: FAUX WOOD PANELS SIZE: TBD
	MTL-1 METAL VERTICAL LANDSCAPING GRATING MFG: TBD COLOR: BLACK



EXTERIOR RENDERING



INTERIOR RENDERING



INTERIOR RENDERING

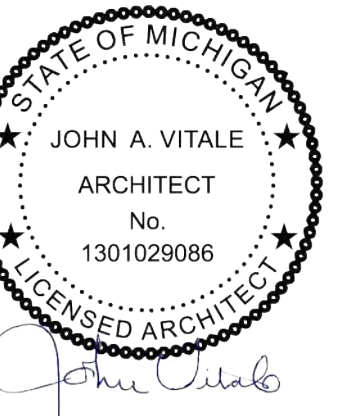


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Consultants

Seal:

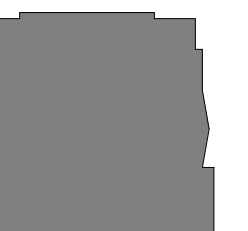


Project:

**DAILY JAM
 GROSSE POINTE
 WOODS**

20710 MACK AVE.,
 GROSSE POINTE, MI
 48236

Key Plan:



Issued for

CITY SUBMITTAL 09.18.24

Drawn by:

Author

Checked by:

Checker

Sheet Title:

EXTERIOR RENDERINGS

Project No.:

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Sheet No.:

A311

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