



GENERAL NOTES

- 1) COPYRIGHT:
ALL PLANS, DESIGNS AND CONCEPTS SHOWN IN THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF MUNN ARCHITECTURE, AIA, LLC AND SHALL NOT BE USED, DISCLOSED, OR REPRODUCED FOR ANY PURPOSE WHATSOEVER WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.
- 2) CODES:
THIS PROJECT IS GOVERNED BY THE LOCALLY ENFORCED BUILDING CODES AS ADOPTED BY THE AUTHORITY HAVING JURISDICTION (AHJ). CODE COMPLIANCE IS MANDATORY. THE DRAWINGS AND SPECIFICATIONS SHALL NOT PERMIT WORK THAT DOES NOT CONFORM TO THESE CODES, UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS SHALL BE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODES AND OBTAINING ALL PERMITS AND REQUIRED APPROVALS. BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER PURPOSES.
- 3) FIELD VERIFICATION:
VERIFY ALL DIMENSIONS, CONDITIONS, AND UTILITY LOCATIONS ON THE JOB SITE PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIALS. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES IN THE DRAWINGS IMMEDIATELY.
- 4) DIMENSIONS:
WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS SHOWN PRIOR TO BEGINNING ANY WORK AND NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES FOR INTERPRETATION OR CLARIFICATION. PLAN DIMENSIONS ARE TO THE FACE OF THE FRAMING MEMBERS, FACE OF WOOD FURRING OR FACE OF CONCRETE WALLS UNLESS OTHERWISE NOTED. SECTION OR ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, OR TOP OF WALL PLATES OR BEAMS UNLESS OTHERWISE NOTED
- 5) DISCREPANCIES:
THE OWNER HAS REQUESTED THE ARCHITECT TO PROVIDE LIMITED ARCHITECTURAL AND ENGINEERING SERVICES. IN THE EVENT THAT ADDITIONAL DETAILS OR GUIDANCE ARE NEEDED BY THE CONTRACTOR FOR THE CONSTRUCTION OF ANY PART OF THIS PROJECT, HE OR SHE SHALL IMMEDIATELY NOTIFY THE ARCHITECT. FAILURE TO GIVE SIMPLE NOTICE SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY. DO NOT PROCEED IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED WITH WRITTEN DIRECTIONS FROM THE ARCHITECT.
- 6) DUTY OF COOPERATION:
RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION BETWEEN THE OWNER AND/OR OWNERS REPRESENTATIVE, HIS OR HER CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX, ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES.
- 7) CHANGES TO WORK:
ANY ITEMS DESCRIBED HEREIN THAT IMPACT PROJECT BUDGET OR TIME SHALL BE REQUESTED FROM THE CONTRACTOR VIA A WRITTEN CHANGE ORDER REQUEST PRIOR TO SUCH WORK. PERFORMANCE OF SUCH WORK WITHOUT APPROVAL BY CHANGE ORDER INDICATES THE GENERAL CONTRACTOR'S ACKNOWLEDGMENT OF NO INCREASE IN CONTRACT SUM OR TIME. CHANGES FROM THE PLANS OR SPECIFICATIONS MADE WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ANY AND ALL CONSEQUENCES RESULTING FROM SUCH CHANGES.
- 8) WORKMANSHIP:
IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC., TO OBTAIN A COMPLETE JOB WITHIN THE RECOGNIZED STANDARDS OF THE INDUSTRY.
- 9) SUBSTITUTIONS:
SUBSTITUTION OF "EQUAL" PRODUCTS WILL BE ACCEPTABLE WITH THE ARCHITECT'S WRITTEN APPROVAL.
- 10) CONSTRUCTION SAFETY:
THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
- 11) EXCAVATION PROCEDURES:
UPON COMPLETION OF ANY EXCAVATION, THE OWNER SHALL RETAIN A SOILS ENGINEER TO INSPECT THE SUBSURFACE CONDITIONS IN ORDER TO DETERMINE THE ADEQUACY OF FOUNDATION DESIGN. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.
- 12) FIELD CUTTING OF STRUCTURAL MEMBERS:
THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS SHALL FIELD COORDINATE AND OBTAIN APPROVAL FROM ENGINEER BEFORE ANY CUTTING, NOTCHING OR DRILLING OF ANY CAST-IN-PLACE CONCRETE, STEEL FRAMING OR ANY OTHER STRUCTURAL ELEMENTS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING. REFER TO 2009 I.R.C., MANUFACTURER'S OR SUPPLIER'S INSTRUCTIONS, AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- 13) WEATHER CONDITIONS:
THE OWNER HAS BEEN ADVISED THAT DUE TO HARSH WINTER CONDITIONS, ROOF AND DECK SURFACE MUST BE MAINTAINED REASONABLY FREE OF ICE AND SNOW TO ENSURE MINIMAL PROBLEMS WITH THESE SURFACES. ALL ROOFING, ROOFING MEMBRANE AND WATERPROOFING SHALL BE APPROVED IN WRITING BY PRODUCT MANUFACTURER (W.R. GRACE FOR BITUTHENE, ETC.) PRIOR TO PROCEEDING WITH ANY WORK. FAILURE TO PROVIDE THESE WRITTEN APPROVALS REMOVES ALL RESPONSIBILITY FOR THE WORK FROM THE ARCHITECT.
- 14) BUILDING AREA:
BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER USE.

- 15) PROJECT STAKING:
THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING GRADES AND STAKE ALL BUILDING CORNERS AND DRIVEWAY LOCATION FOR OWNER/ARCHITECT AND DESIGN REVIEW BOARD APPROVAL PRIOR TO BEGINNING ANY SITE CLEARING.
- 16) SITE DISTURBANCE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT THE EXISTING TREES TO REMAIN AND ADJACENT PROPERTIES FROM DAMAGE DURING CONSTRUCTION. PROVIDE PROTECTIVE FENCING THROUGHOUT CONSTRUCTION.
- 17) PROJECT GRADES:
THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL GRADES INCLUDING PAVED AREAS SLOPES PRIOR TO POURING ANY FOUNDATION. SURVEY WORK SHOULD BE VERIFIED IN DETAIL.

SUSTAINABLE CONSTRUCTION PRACTICES

- 1) ENVIRONMENTAL HEALTH
IT IS THE ARCHITECT'S INTENT THAT THE CLIENT RECEIVE A PRODUCT THAT IS BOTH FUNCTIONAL AND DESIGNED WITH THE HEALTH AND WELL-BEING OF THE CLIENT IN MIND. TO THIS END, IT IS ASSUMED THAT MATERIALS SPECIFIED WILL BE, WHENEVER AND WHEREVER POSSIBLE, OF THE HIGHEST QUALITY AND OF AN ENVIRONMENTALLY SOUND NATURE. THIS INCLUDES, BUT IS NOT LIMITED TO, PAINTS AND CARPETS WITH NO TO LOW VOLATILE ORGANIC COMPOUND EMISSIONS.
- 2) RECYCLED MATERIALS & PRODUCTS
FULLY OR PARTIALLY RECYCLED MATERIALS & PRODUCTS ARE TO BE USED AS ALTERNATIVES TO ORIGINAL-USE PRODUCTS WHENEVER APPROPRIATE (e.g. LUMBER, FLOORING, ETC.). IT IS FURTHER EXPECTED THAT THE CONTRACTOR WILL PURCHASE MATERIALS THAT ARE MANUFACTURED AS PHYSICALLY CLOSE TO THE LOCATION OF THE PROJECT AS CAN BE REASONABLY EXPECTED, WITH THE CONSIDERATION OF CARBON EMISSIONS IN MIND.
- 3) INSULATIONS
WHERE CELLULOSE INSULATION IS USED AS AN ALTERNATIVE TO FIBERGLASS BATT OR FOAM, CONTRACTOR IS TO ADHERE STRICTLY TO MANUFACTURER'S GUIDELINES FOR INSTALLATION AND MOISTURE CONTROL. R-VALUES MUST EQUAL OR EXCEED SPECIFIED R-VALUES ON PLANS.
- 4) GLUES AND ADHESIVES
LOW V.O.C. GLUES AND ADHESIVES ARE TO BE USED WHEN THEY MEET PROJECT TOLERANCES. EXAMPLES INCLUDE: DAP® 2000® Heavy-Duty Projects VOC-Compliant Construction Adhesive & PL 400® Low VOC Heavy Duty Construction Adhesive.
- 5) PAINTS AND SOLVENTS
USE LOW- OR ZERO-V.O.C. PAINTS SUCH AS KELLY-MOORE 'ENVIRO-COTE' OR DEVCO 'WONDERPURE' TYPE PAINTS. EXTERIOR OIL-BASED PAINTS ARE TO BE THINNED OR CLEANED WITH TURPENTINE, OR OTHER NATURAL SOLVENTS. USE NATURAL PAINTS WHERE POSSIBLE. AS THE CLIENT REQUIRES.
- 6) RESOURCES
USE THE LEED ONLINE GUIDELINES FOR SUSTAINABLE OPTIONS. ADDITIONAL RESOURCES CAN BE FOUND AT:
<http://www.green-buildings.com/products-certification>
THE NAHB GREEN ICC 700 NATIONAL GREEN BUILDING STANDARD CAN ALSO BE USED TO INFORM THE SUSTAINABLE BUILDING PRACTICES PLAN OUTLINED BELOW.
<http://www.NAHBGREEN.ORG>
- 7) THE CONTRACTOR IS TO PRESENT A SUSTAINABLE BUILDING PRACTICES PLAN TO THE ARCHITECT & CLIENT DETAILING THE PROPOSED SUSTAINABLE ALTERNATIVES HE OR SHE INTENDS TO IMPLEMENT.

SITE NOTES

- 1) ELECTRICAL, CABLE T.V. AND TELEPHONE TO BE UNDERGROUND IN COMMON TRENCH.
- 2) VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND.
- 3) PROVIDE POSITIVE DRAINAGE AT BUILDING PERIMETER. (SLOPE AWAY FROM BUILDING AT 1:12 MIN.)
- 4) REFER TO FOUNDATION PLAN FOR FOUNDATION DRAIN LOCATION AND SLOPE. DRAINS TO BE CONNECTED TO STORM SEWER AT STREET
- 5) PROVIDE 6" DIA. STONE RIP RAP OVER WEED BARRIER FABRIC AT EAVES AND VALLEY DRIP LOCATIONS.
- 6) STAKE HOUSE LOCATION FOR OWNER, ARCHITECT, AND ARCHITECTURAL REVIEW BOARD PRIOR TO ANY WORK.
- 7) GENERAL CONTRACTOR TO REVIEW & COMPLY WITH ALL SUBDIVISION CONDITIONS. COPIES OF CONDITIONS ARE AVAILABLE FROM ARCHITECT.

MINIMUM DESIGN CRITERIA

FOR CLIMATE ZONES 7 & 8:

1. DESIGN SNOW LOAD: _____
2. WIND LOAD (ULTIMATE): _____
3. SEISMIC DESIGN: _____

91 PSF (ROOF)
115 MPH
CATEGORY B

APPLICABLE CODES AND STANDARDS

JURISDICTION	THE TOWN OF GRAND LAKE GRAND COUNTY BUILDING DEPARTMENT THREE LAKES WATER AND SANITATION DISTRICT GRAND LAKE FIRE PROTECTION DISTRICT COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
APPLICABLE CODES	2015 IRC - INTERNATIONAL RESIDENTIAL CODE 2015 IECC - INTERNATIONAL ENERGY CONSERVATION CODE 2015 IFC - INTERNATIONAL FIRE CODE 2015 IFGC - INTERNATIONAL FUEL GAS CODE 2015 IMC - INTERNATIONAL MECHANICAL CODE 2015 IPC - INTERNATIONAL PLUMBING CODE 2017 NEC - NATIONAL ELECTRIC CODE THE TOWN OF GRAND LAKE MUNICIPAL CODE

ENERGY CODE REQUIREMENTS

1) AIR LEAKAGE
THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A SEALED, WEATHER TIGHT BUILDING THERMAL ENVELOPE AS REQUIRED PER IECC 402.4 WITH CAULKING, GASKETS, WEATHERSTRIPPING OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL AT THE FOLLOWING LOCATIONS:

- A. ALL JOINTS, SEAMS AND PENETRATIONS.
- B. SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS.
- C. OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING.
- D. UTILITY PENETRATIONS.
- E. DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE
- F. KNEE WALLS
- G. WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES
- H. BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS
- J. COMMON WALLS BETWEEN UNITS
- K. OTHER SOURCES OF INFILTRATION

STRUCTURAL NOTES

CONCRETE REINFORCEMENT SHALL CONFORM TO ASTM A61504A, GRADE 60, EXCEPT TIES OR BARS SHOWN TO BE FIELD-BENT, WHICH SHALL BE GRADE 40. REINFORCEMENT PROTECTION SHALL BE 3".

STRUCTURAL STEEL SHALL BE BUILT ACCORDING TO AISC 360-05, AISC 303-05, ASTM A36-04 STANDARDS.

WOOD DESIGN CONFORMS TO ANSI/AF&PA NDS-2005 AND ANSI/AF&PA SDPWS-2005. LUMBER SHALL BE SOUTHERN YELLOW PINE, 19% MAX MOISTURE CONTENT. TREATED WOOD FASTENERS SHALL COMPLY WITH IRC R317.3. LIGHT FRAMING SHALL COMPLY WITH IRC R502, R602, R802. BOLTS, SCREWS, NAILS, AND SPIKES SHALL COMPLY WITH ANSI/ASME B18.2.1, ASTM SAE J429 GRADE 1, ASTM F1667, ANSI/ASME B18.6.1.

BUILDING NOTES

EXISTING DOCK AREA: 479 SQFT

NEW BUILDING FOOTPRINT AREA: 994 SQFT

NEW BUILDING HEIGHT: 16' - 0"

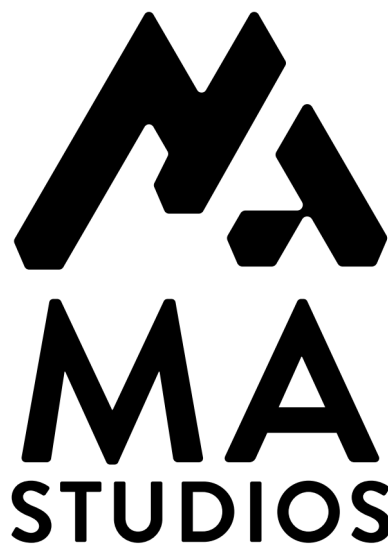
CONTACT INFO:

ARCHITECT: MUNN ARCHITECTURE, LLC SCOTT MUNN, AIA 315 E. AGATE AVENUE GRANBY, CO 80446 PH: 970-887-9366	SURVEYOR: AZIMUTH SURVEY COMPANY WARREN D. WARD P.O. BOX 653 FRASER, CO 80442 PH: 970-531-1120	ENVIRONMENTAL ENGINEER: ENVIRONMENTAL SOLUTIONS, INC. STEVE DAHMER 600 COUNTY ROAD 216 RIFLE, CO 81650 PH: 970-618-6841
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SHEET INDEX LEGEND:	
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<input type="checkbox"/> NOT ISSUED	<input checked="" type="checkbox"/> REMOVED FROM DRAWING SET

SHEET INDEX	
SHEET #	SHEET TITLE
2023-0316 - PERMIT	

GENERAL	
G0.00	COVER SHEET
CIVIL	
N/A	TOPOGRAPHIC SURVEY PLAT
ARCHITECTURAL	
A0.20	DOOR, WINDOW, FINISH SCHEDULES, & ASSEMBLY TYPES
A1.00	PROJECT SITE PLAN
A3.01	MAIN DECK FRAMING & FOUNDATION PLAN
A3.02	OVERALL FLOOR PLANS
A5.01	OVERALL EXTERIOR ELEVATIONS
A6.10	BUILDING SECTIONS
A6.21	EXTERIOR PERSPECTIVES



315 EAST AGATE AVENUE
GRANBY, CO 80446
970-887-9366
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OLIVER BOATHOUSE

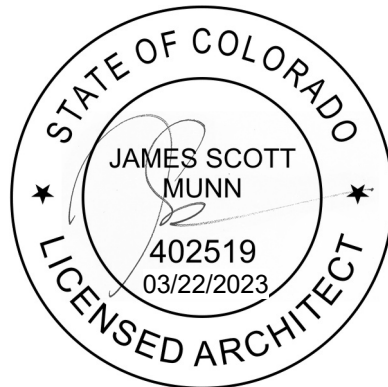
RYAN OLIVER

377 LAKE KOVE DRIVE

GRAND LAKE, CO 80447

PROJECT #: 2145

ISSUANCE :	DATE :
PERMIT	2023-0322



SHEET TITLE :
COVER SHEET

SHEET NUMBER :

G0.00



MATERIALS & FINISHES LEGEND

COMPOSITE DECKING (EXTERIOR FLOORING)

CDG-1 **MFR:** THERMORY
PRODUCT: 1"x6" ASH DECKING W/ GROOVED EDGE AND CONCEALED FASTENERS
FINISH: TO MATCH (E) RESIDENCE

EPDM SINGLE PLY MEMBRANE ROOFING SYSTEM

EPDM-1 **MFR:** FIRESTONE
PRODUCT: RUBBERGARD EPDM
FINISH: BLACK

PAINTING

PT-1 **MFR:** SHERWIN-WILLIAMS
FINISH: SIMPLE WHITE (SW7021), (TYP INTERIORS, UON)

(FINAL COLOR SELECTION AND ACCENT WALLS TO BE FIELD VERIFIED WITH OWNER AND ARCHITECT PRIOR TO BEGINNING WORK)

SIDING (EXTERIOR)

SDG-1 **MFR:** TBD
PRODUCT: WOOD SHAKE SIDING TO MATCH (E) RESIDENCE
FINISH: TO MATCH (E) RESIDENCE

METAL (EXTERIOR)

MP-1 **MFR:** TBD
PRODUCT: 1" STANDING SEAM PROFILE PAEN STESTEM " WIDE TYPICAL)
FINISH: 24 GA TO MATCH (E) RESIDENCE

WOOD TRIM & TIMBER ACCENTS (EXTERIOR)

WTR-1 **MFR:** TBD
PRODUCT: 2x EXTERIOR-GRADE CORNER TRIM
FINISH: LIFETIME WOOD TREATMENT / STAIN TO MATCH (E) RESIDENCE

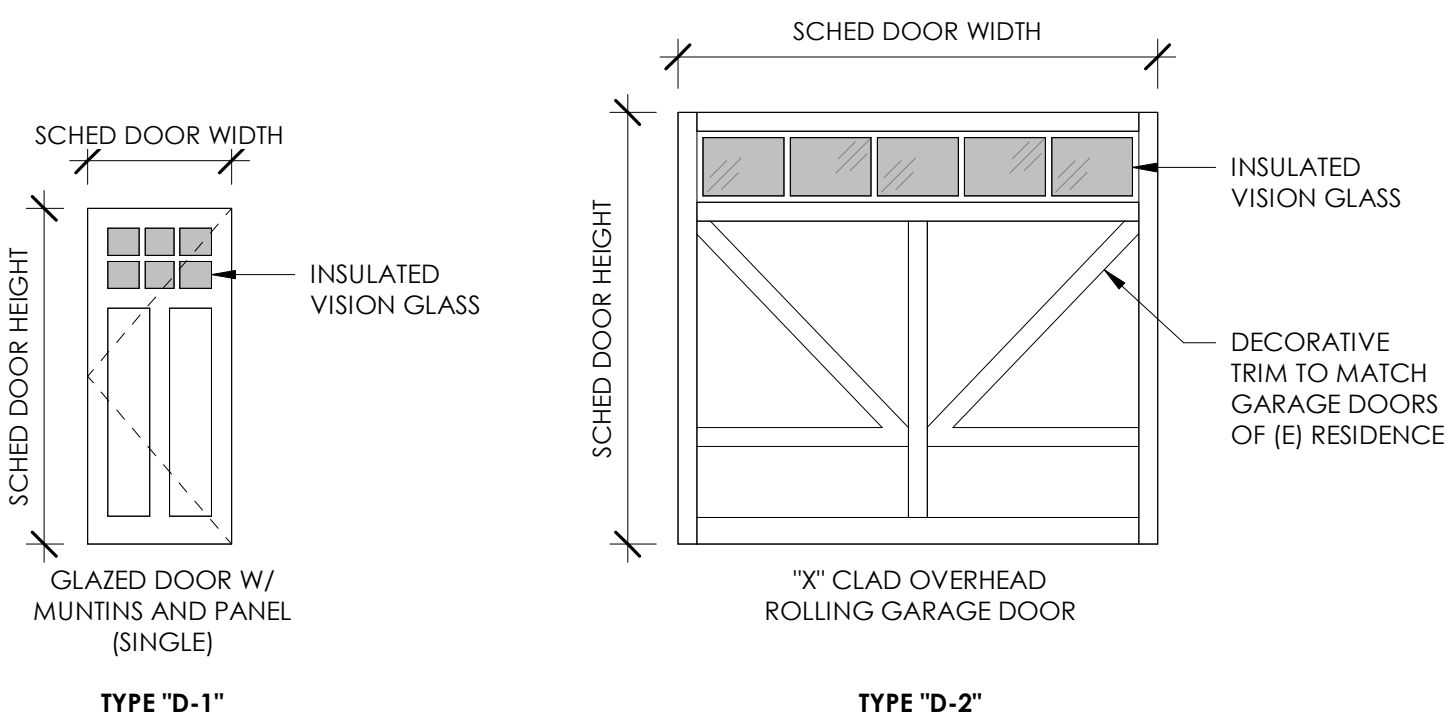
WTR-2 **MFR:** TBD
PRODUCT: 6x6 EXTERIOR GRADE TIMBER COLUMN
FINISH: LIFETIME WOOD TREATMENT / STAIN TO MATCH (E) RESIDENCE

WTR-3 **MFR:** TBD
PRODUCT: EXTERIOR GRADE WOOD CORBEL TO MATCH (E) RESIDENCE
FINISH: LIFETIME WOOD TREATMENT / STAIN TO MATCH (E) RESIDENCE

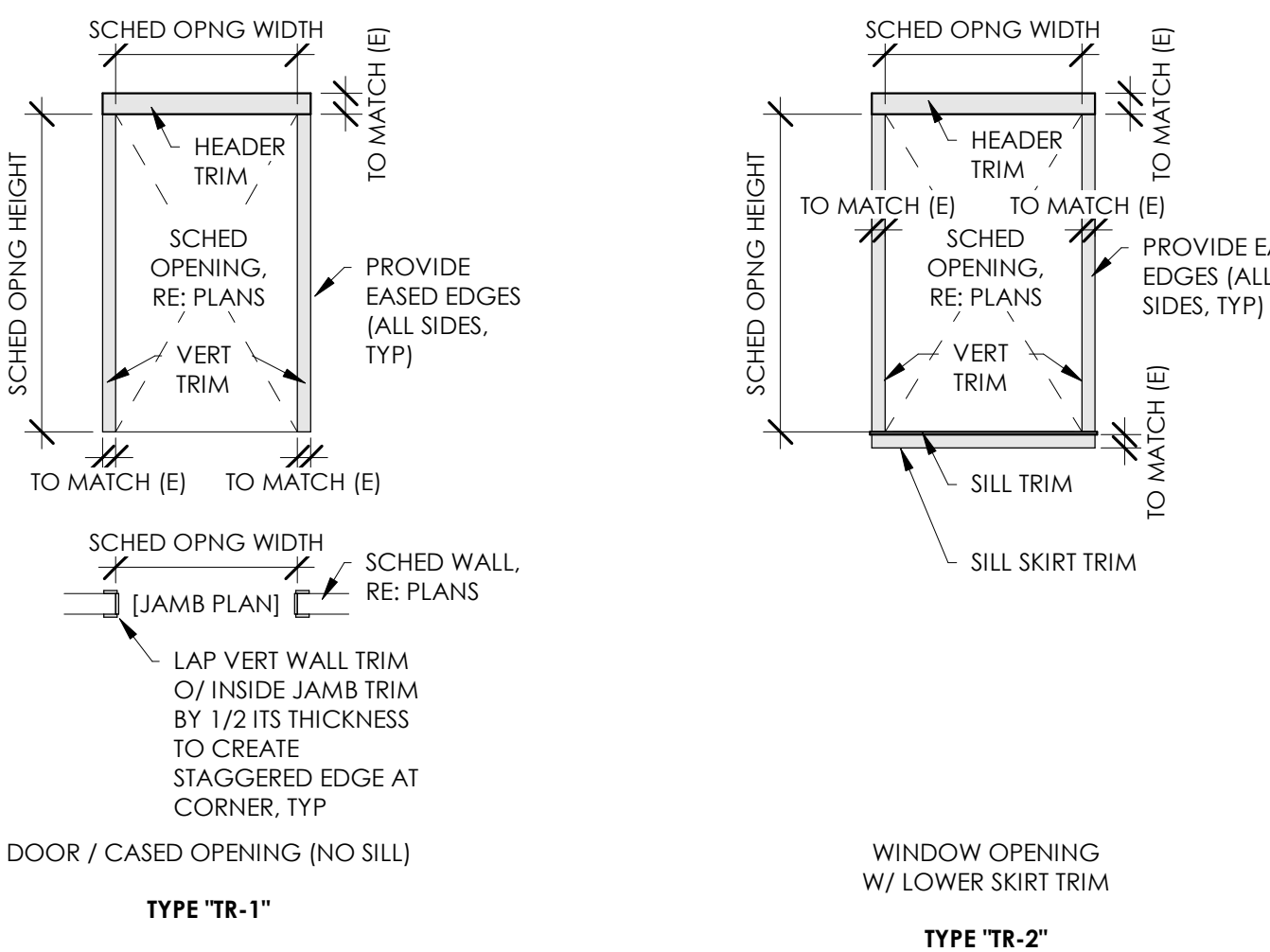
HR-1 **MFR:** TBD
PRODUCT: HANDRAIL TO MATCH (E) RESIDENCE
FINISH: TRANSPARENT LIFETIME WOOD TREATMENT / STAIN TO MATCH (E) RESIDENCE

TR-1/TR-2 **MFR:** TBD
PRODUCT: EXTERIOR GRADE WINDOW AND DOOR TRIM
FINISH: TRANSPARENT LIFETIME WOOD TREATMENT / STAIN TO MATCH (E) RESIDENCE

DOOR TYPES LEGEND



TRIM TYPES LEGEND



NOTE: WALL TRIM MAY VARY ON EACH SIDE OF OPENING, RE: DOOR / WINDOW SCHEDULE

FLOOR ASSEMBLIES		
FLOOR TYPE	SECTION	DESCRIPTION
F-01		1x6 DECKING 2x FRAMING (2x8 MAIN DECK, 2x12 UPPER DECK)

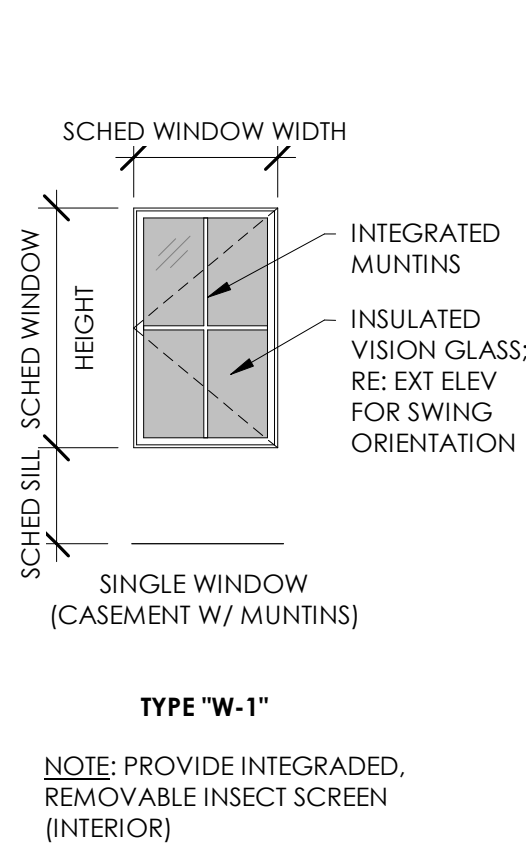
ROOF ASSEMBLIES		
ROOF TYPE	SECTION	DESCRIPTION
R-01		EPDM ROOFING SYSTEM (EPDM-1) INSTALLED PER MANUFACTURER'S SPECS 5/8" EXTERIOR PLYWOOD SHEATHING ROOF FRAMING 1/2" GYP WALL BOARD (TAPED, TEXTURED, & PAINTED)

EXTERIOR WALL ASSEMBLIES		
WALL TYPE	SECTION	DESCRIPTION
EWA-01		SCHED WD SIDING, RE: EXT ELEV FOR TYPE AND ORIENTATION PT 7/16" CDX PLYWOOD OR OSB SHEATHING 2x6 WD STUD FRAMING 1/2" GYP WALL BOARD (TAPED, TEXTURED, & PAINTED) OVER VAPOR BARRIER (WARM-SIDE OF WALL)

DOOR SCHEDULE																
DOOR NUMBER	DOOR TYPE	DOOR							FRAME / TRIM						COMMENTS	
		WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	UNDER CUT	FIRE RATING	TYPE	MATERIAL	FINISH	JAMB DETAIL	SILL DETAIL	HEAD DETAIL		
T.O. LOWER DECK																
100A	D-1	3' - 0"	7' - 0"	0' - 1 1/2"	WD	STAIN (TBD)	-	-	TR-1	WD	STAIN (TBD)	-	-	-	1, 2, 3, 4	
100B	D-1	3' - 0"	7' - 0"	0' - 1 1/2"	WD	STAIN (TBD)	-	-	TR-1	WD	STAIN (TBD)	-	-	-	1, 2, 3, 4	
100C	D-2	10' - 0"	9' - 0"		WD	STAIN (TBD)	-	-	TR-1	WD	STAIN (TBD)	-	-	-	5	

WINDOW SCHEDULE														
WINDOW NUMBER	WINDOW TYPE	WINDOW					HARDWARE SET	TRIM						COMMENTS
		WIDTH	HEIGHT	SILL HEIGHT	HEAD HEIGHT	FRAME MATERIAL		EXTERIOR			INTERIOR			
								TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	
T.O. LOWER DECK														
100A	W-1	2' - 6"	5' - 0"	2' - 0"	7' - 0"	WD	-	TR-2	WD	STAIN (TBD)	TR-2	WD	STAIN (TBD)	
100B	W-1	2' - 6"	5' - 0"	2' - 0"	7' - 0"	WD	-	TR-2	WD	STAIN (TBD)	TR-2	WD	STAIN (TBD)	
100C	W-1	2' - 6"	5' - 0"	2' - 0"	7' - 0"	WD	-	TR-2	WD	STAIN (TBD)	TR-2	WD	STAIN (TBD)	
100D	W-1	2' - 6"	5' - 0"	2' - 0"	7' - 0"	WD	-	TR-2	WD	STAIN (TBD)	TR-2	WD	STAIN (TBD)	

WINDOW TYPES LEGEND



DOOR SCHEDULE COMMENTS LEGEND:

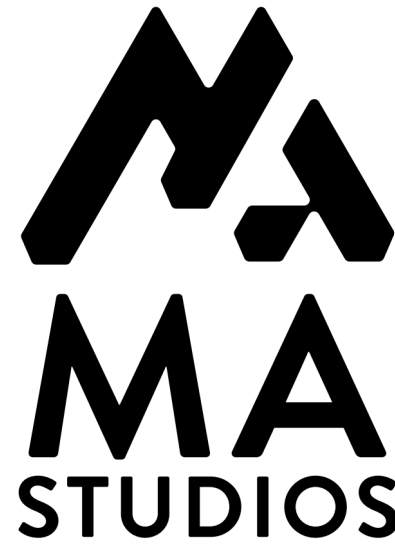
- KEYED ENTRY LOCK SET W/ THUMB TURN AT INTERIOR (EXTERIOR GRADE), FINISH TBD
- SINGLE CYLINDER DEADBOLT LOCK SET W/ THUMB TURN AT INTERIOR (BUMP KEY RESISTANT), FINISH TBD
- BASEBOARD-MOUNTED DOOR STOP (SOLID WITH RUBBER TIP - NO SPRINGS), FINISH TO MATCH DOOR HARDWARE
- ALUM THRESHOLD / DOOR TRANSITION (ADA COMPLIANT) W/ BLACK ANODIZED FINISH IN CONTIN BED OF SEALANT
- ELECTRONIC GARAGE DOOR OPERATOR SYSTEM W/ MULTIPLE REMOTES

DOOR NOTES:

- ALL EXTERIOR DOORS SHALL BE WEATHER STRIPPED PER DOOR MFR.
- ALL ROUGH OPENINGS TO BE PROVIDED BY DOOR MFR AND FIELD VERIFIED BY THE CONTRACTOR.
- DOOR MANUFACTURER SHALL PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE.
- CONTRACTOR SHALL VERIFY DOOR ACCESSORIES AND FINISHES WITH OWNER PRIOR TO ORDERING.
- CONTRACTOR SHALL VERIFY DOOR MODEL NUMBERS / SIZES / QUANTITIES WITH MANUFACTURER PRIOR TO STARTING CONSTRUCTION AND INSTALL PER MFR'S WRITTEN INSTRUCTIONS.
- CONTRACTOR SHALL PROVIDE DOOR SHOP DRAWINGS FOR ARCHITECT REVIEW PRIOR TO CONSTRUCTION.
- DOOR MANUFACTURER SHALL PROVIDE A BLACK ANODIZED SPACER AT ALL INSULATED GLASS ASSEMBLIES WHERE SCHEDULED WITH A WOOD DOOR FINISH, TYP UON. FOR ALL OTHER FRAME FINISHES, PROVIDE CLEAR ANODIZED SPACERS.
- WHERE SCHED DOOR COLOR / STAIN FINISH IS TBD, CONTRACTOR SHALL PROVIDE SAMPLES TO OWNER AND ARCHITECT FOR APPROVAL PRIOR TO ORDERING.

WINDOW NOTES:

- ALL EXTERIOR WINDOWS SHALL BE WEATHER STRIPPED PER WINDOW MFR.
- ALL ROUGH OPENINGS TO BE PROVIDED BY WINDOW MFR AND FIELD VERIFIED BY THE CONTRACTOR.
- CONTRACTOR SHALL VERIFY LOCAL CODE EGRESS WINDOW REQUIREMENTS PRIOR TO CONSTRUCTION.
- WINDOW MANUFACTURER SHALL PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE.
- WINDOW MANUFACTURER SHALL CONFIRM WINDOW SWING / ORIENTATION PER ARCHITECTURAL EXTERIOR ELEVATIONS.
- CONTRACTOR SHALL VERIFY WINDOW MODEL NUMBERS / SIZES / QUANTITIES WITH MANUFACTURER BEFORE STARTING CONSTRUCTION AND INSTALL PER MFR'S WRITTEN INSTRUCTIONS.
- CONTRACTOR SHALL PROVIDE WINDOW SHOP DRAWINGS FOR ARCHITECT REVIEW PRIOR TO CONSTRUCTION.
- WINDOW MANUFACTURER SHALL PROVIDE A BLACK ANODIZED SPACER AT ALL INSULATED GLASS ASSEMBLIES WHERE SCHEDULED FOR BRONZE WINDOW FRAMES, TYP UON. FOR ALL OTHER FRAME FINISHES, PROVIDE CLEAR ANODIZED SPACERS.
- WHERE SCHED WINDOW FRAME COLOR / STAIN FINISH IS TBD, CONTRACTOR SHALL PROVIDE SAMPLES TO OWNER AND ARCHITECT FOR APPROVAL PRIOR TO ORDERING.
- CONTRACTOR SHALL FIELD VERIFY DIMS FOR ALL EXISTING WINDOWS SCHEDULED FOR REPLACEMENT PRIOR TO ORDERING.



315 EAST AGATE AVENUE
GRANBY, CO 80446
970-887-9366
MAARCHITECTURAL.COM

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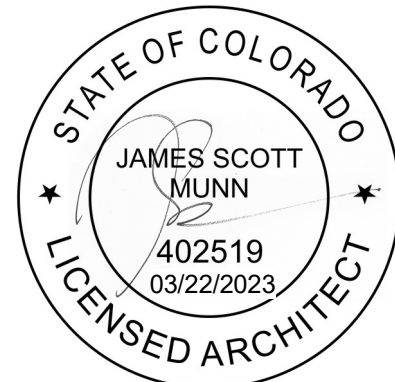
RYAN OLIVER

377 LAKE KOVE DRIVE

GRAND LAKE, CO 80447

PROJECT #: 2145

ISSUANCE : DATE :
PERMIT 2023-0322



SHEET TITLE :
DOOR, WINDOW,
FINISH SCHEDULES,
& ASSEMBLY TYPES

SHEET NUMBER :

A0.20

PROJECT ZONING SUMMARY

LEGAL DESCRIPTION:	SUBD: LAKE KOVE SUBDIVISION LOT: 5 LESS ROW
SUPER NEIGHBORHOOD:	1402 - RES SHADOW MTN LAKEFRONT
SITUS ADDRESS:	000377 LAKE KOVE DRIVE GRAND LAKE, CO 80447
CONSTRUCTION TYPE:	VB - WOOD FRAMED (NON-FIRE RATED)
ZONING CLASSIFICATION:	SFR_HD - SINGLE FAMILY RES_HIGH DENSITY
FRONT YARD SETBACK:	25' - 0"
SIDE YARD SETBACK:	10' - 0"
REAR YARD SETBACK:	10' - 0"
WATER QUALITY SETBACK:	30' - 0"
MAX BUILDING HEIGHT:	16' - 0" (MEASURED FROM THE WATER LINE TO THE HIGHEST POINT OF THE STRUCTURE)
HEIGHT (STORIES):	1
GROSS SITE AREA:	0.426 ACRES @ PROPERTY LINE
EXTENSION BEYOND SHORELINE:	CANNOT EXTEND MORE THAN 35' - 0" BEYOND THE NATURAL SHORELINE
WIDTH:	CANNOT EXCEED 30' - 0" IN WIDTH (DOESN'T INCLUDE ANY UNCOVERED DOCK OR DECKING WITH A PHYSICAL CONNECTION TO THE STRUCTURE)
LIGHTING (EXTERIOR):	LIGHTING SHALL BE CONSISTENT WITH THE "DARK-SKY CONCEPT" THROUGH THE UTILIZATION OF APPROVED NIGHTSCAPING FIXTURES, WHICH PREVENT ADVERSE EFFECTS OF ARTIFICIAL NIGHT LIGHTING. THIS SHALL INCLUDE COMPONENTS TO REDUCE: SKY GLOW GLARE, LIGHT TRESPASSING AND CLUTTER, DECREASED NIGHT VISIBILITY, AND ENERGY WASTE. (TOGL ARTICLE 7; DESIGN REVIEW STANDARDS 12-7-6)
EXTERIOR MATERIAL REQUIREMENTS:	ALL PAINT COLORS SHALL BE APPROVED BY TOWN STAFF PRIOR TO PAINTING. (TOGL ARTICLE 1: BUILDING REGULATIONS 12-7-4(A))

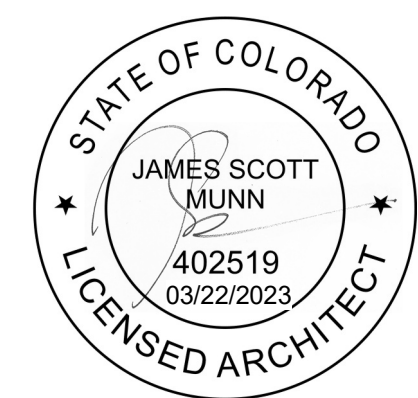


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RYAN OLIVER
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GRAND LAKE, CO 80447
PROJECT #: 2145

ISSUANCE :	DATE :
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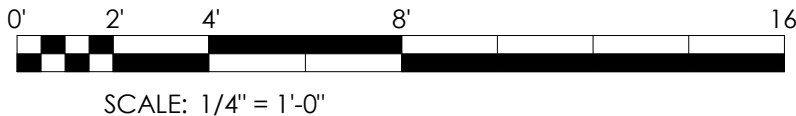
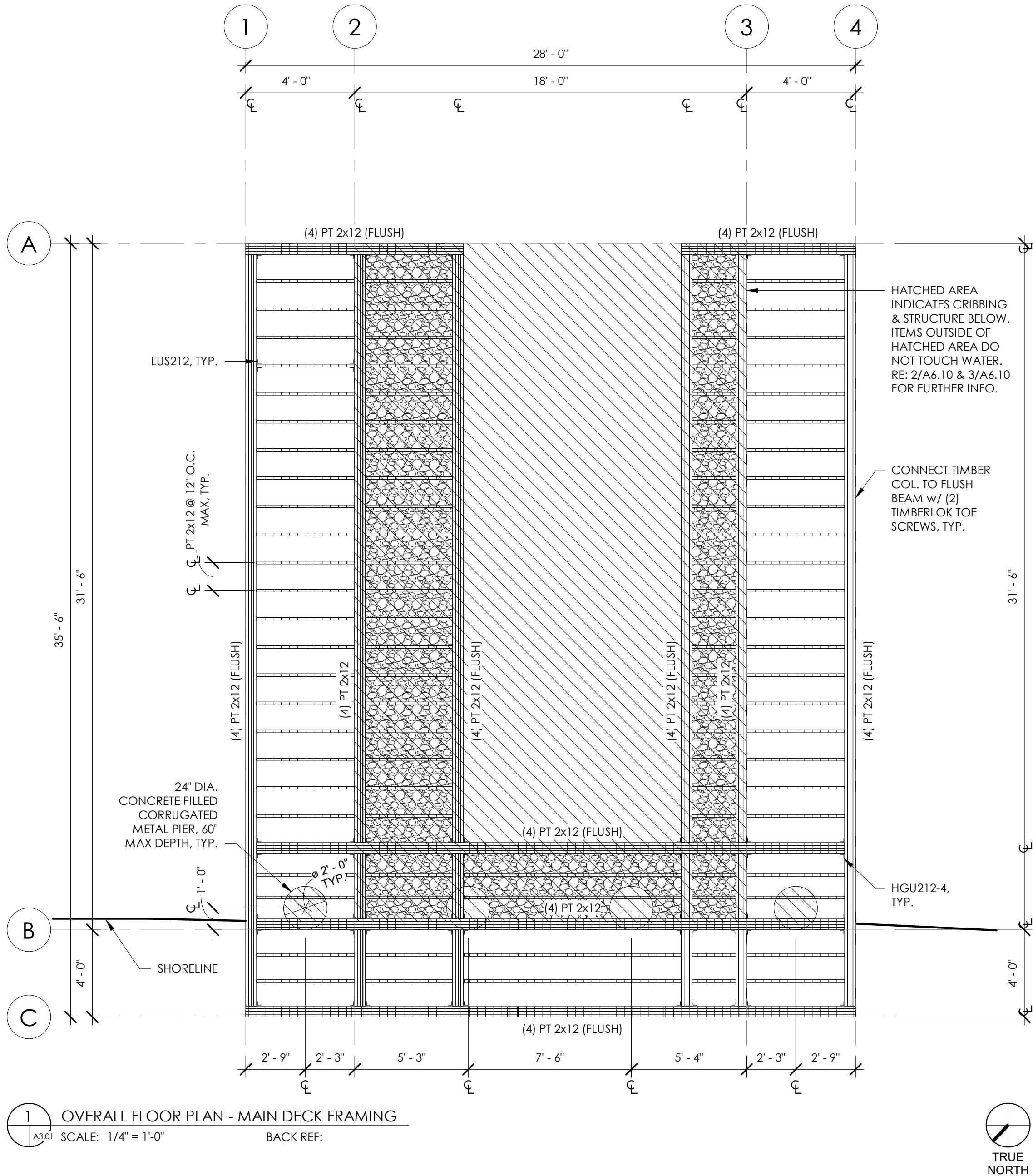


SHEET TITLE :
PROJECT SITE PLAN

SHEET NUMBER :
A1.00

BUILDING AREA:

MAX ALLOWABLE AREA PER USFS REQUIREMENTS: ~~600sf~~
PROPOSED BUILDING AREA: ~~566.30sf~~
**INCLUDES ALL BUILDING ELEMENTS THAT CONTACT WATER.*

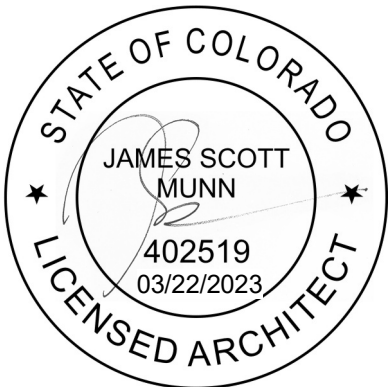


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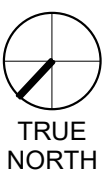


SHEET TITLE :
MAIN DECK
FRAMING &
FOUNDATION PLAN

SHEET NUMBER :

A3.01

PROPOSED BUILDING AREA: 566.30sf
**INCLUDES ALL BUILDING ELEMENTS THAT CONTACT WATER.*



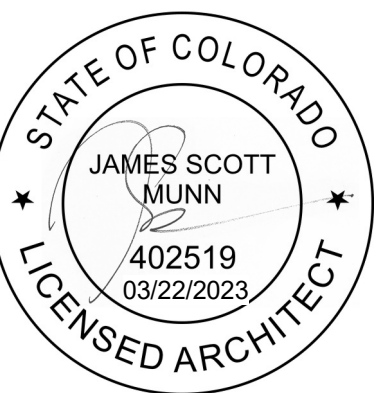
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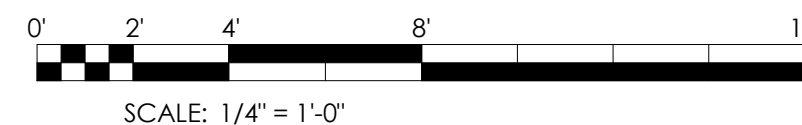
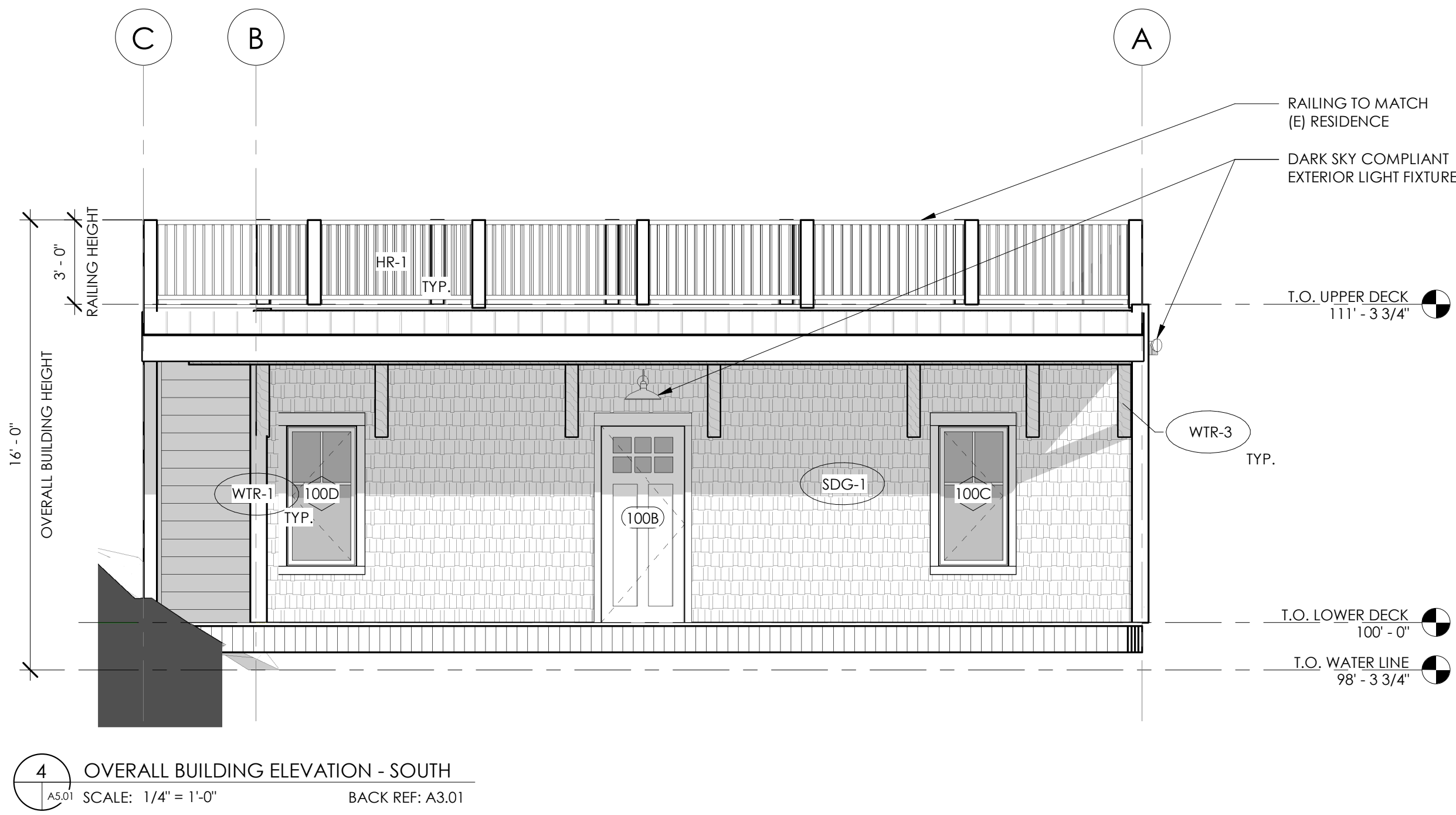
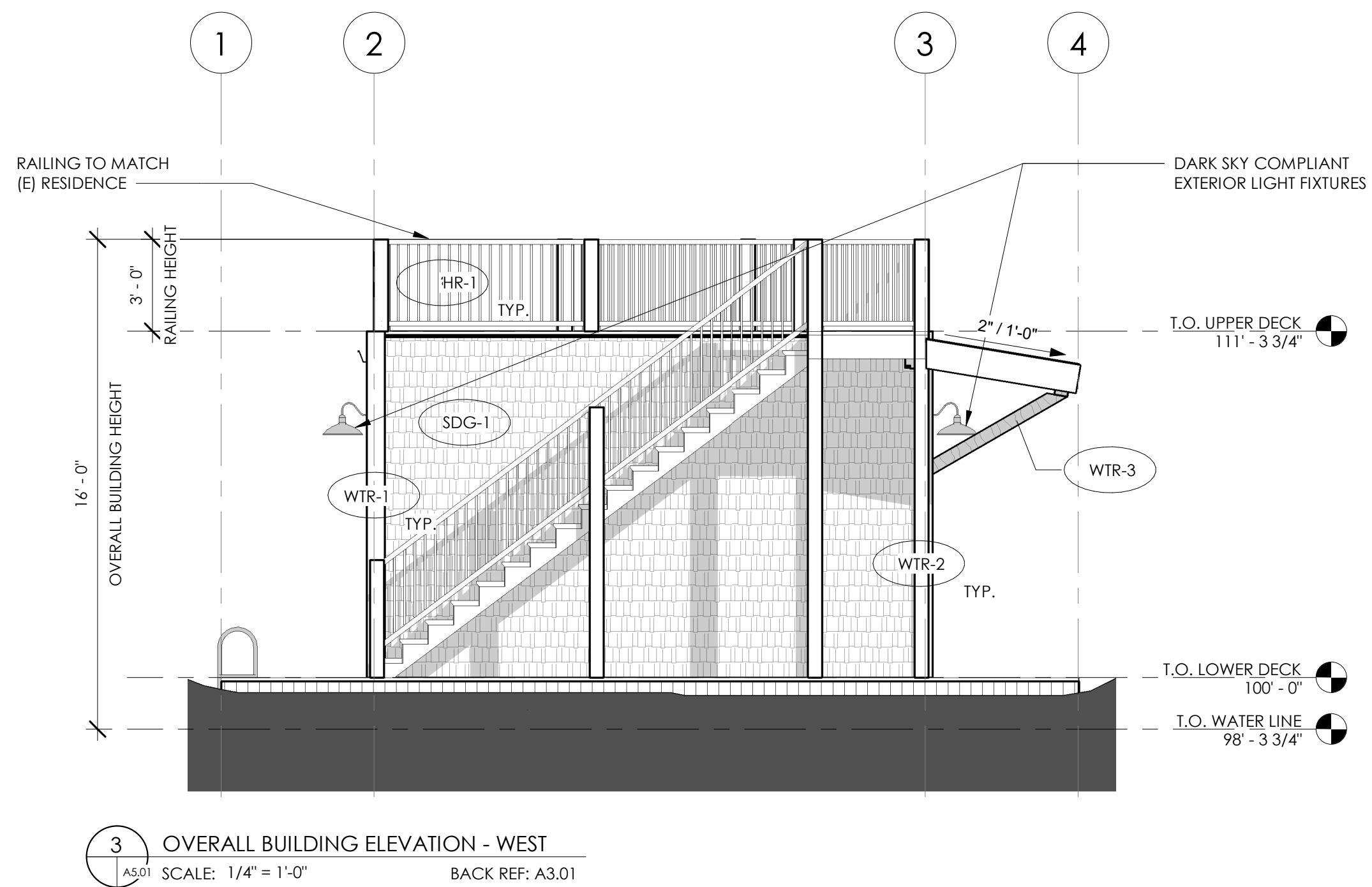
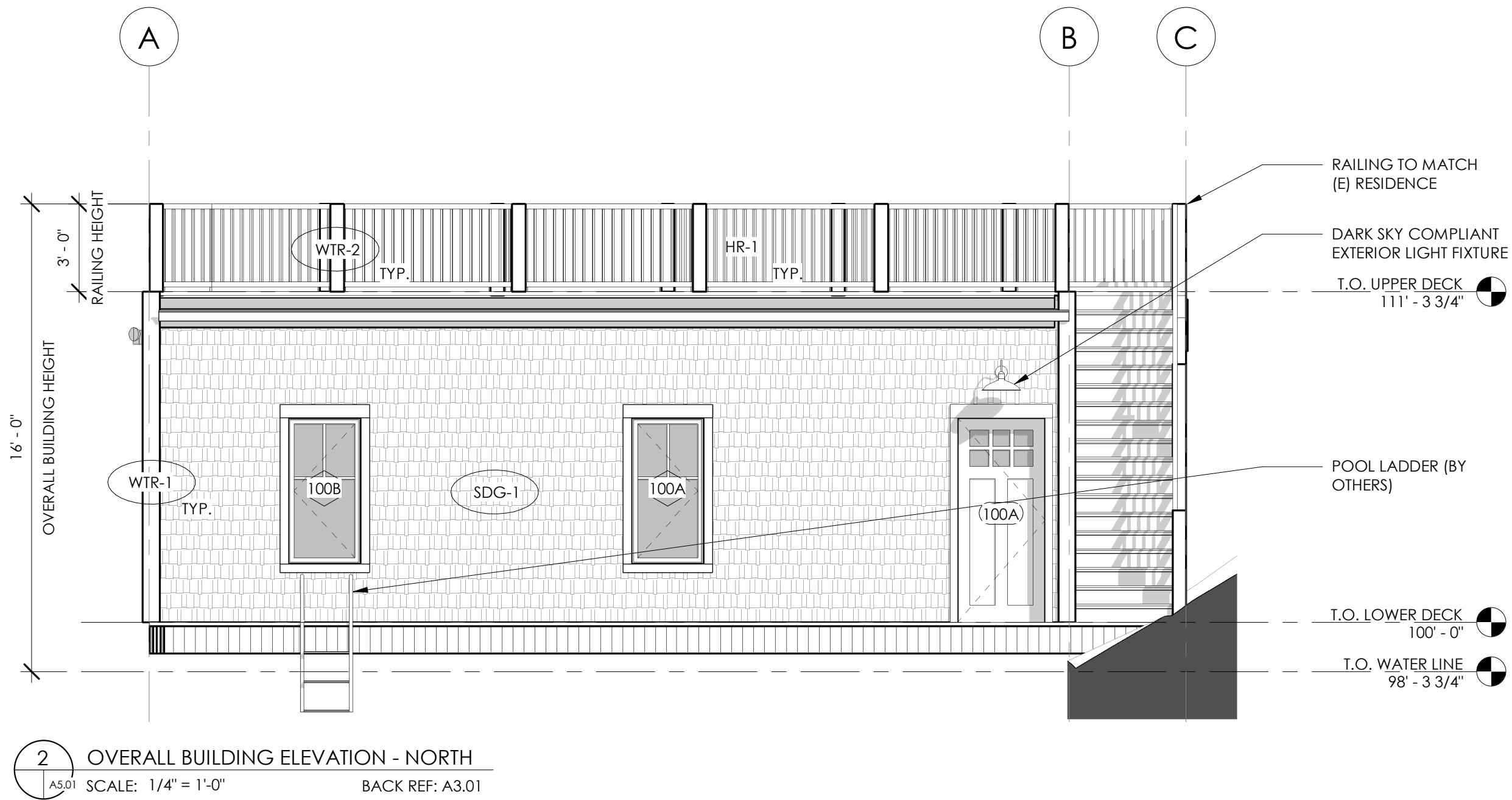
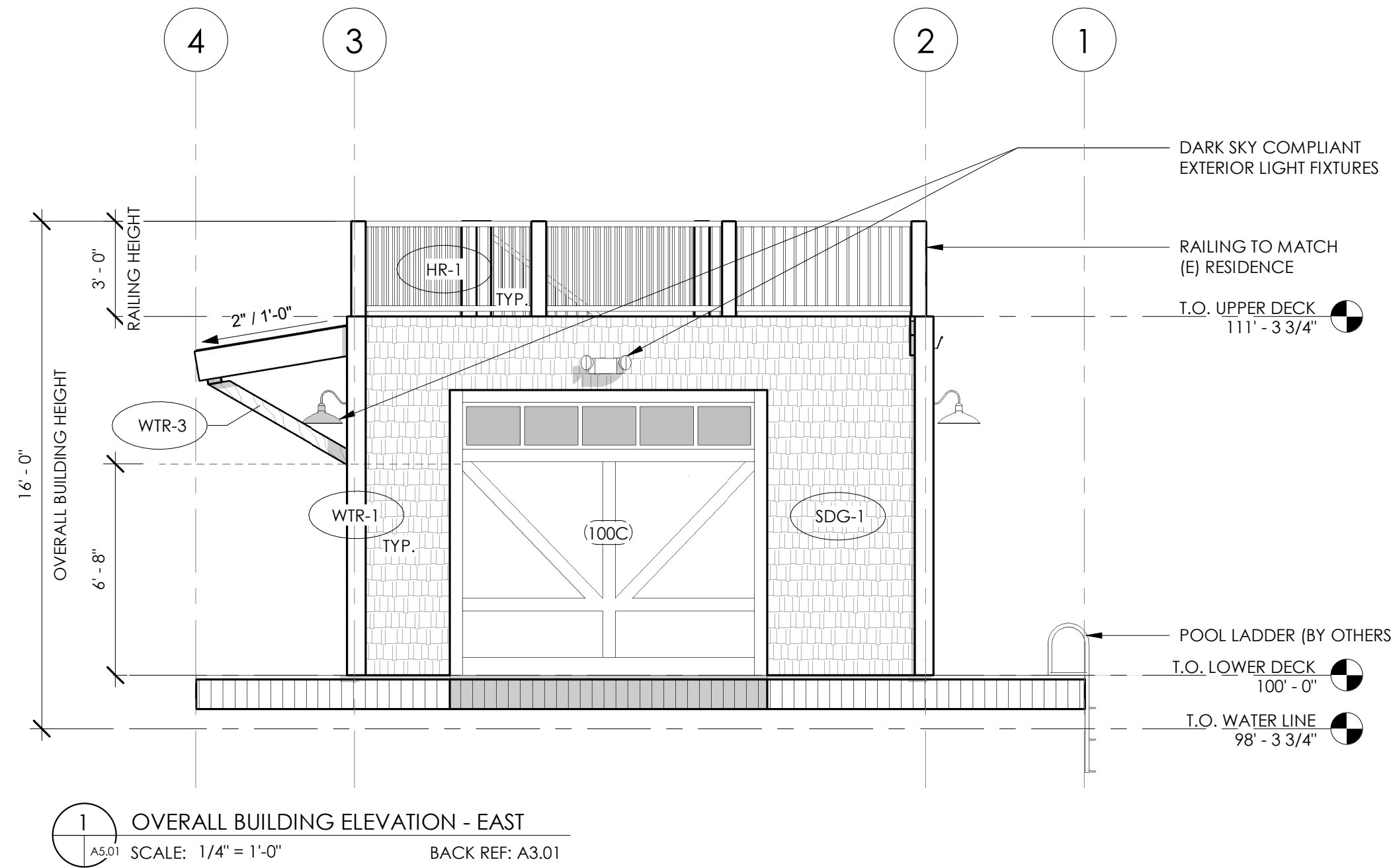
ISSUANCE :	DATE :
PERMIT	2023-0322
USFS REVISIONS	2024-0509



SHEET TITLE :
OVERALL FLOOR
PLANS

SHEET NUMBER :

A3.02

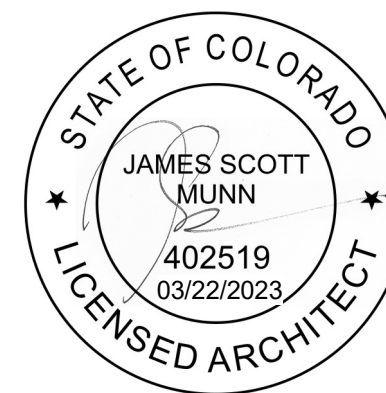


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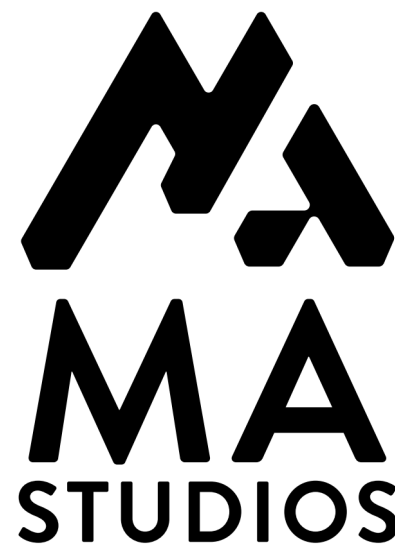
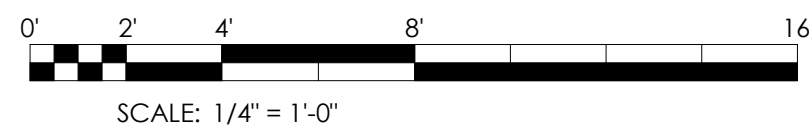
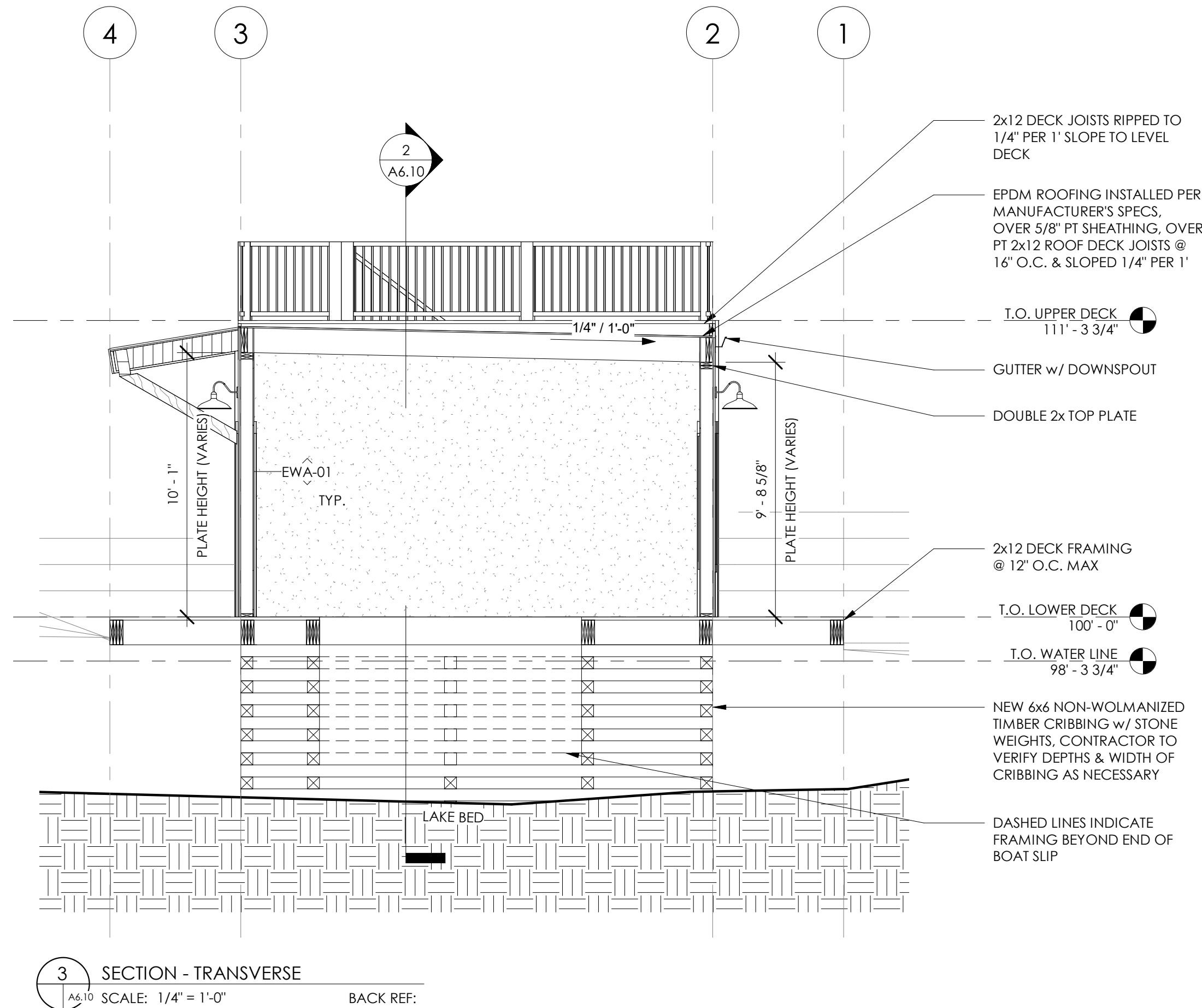
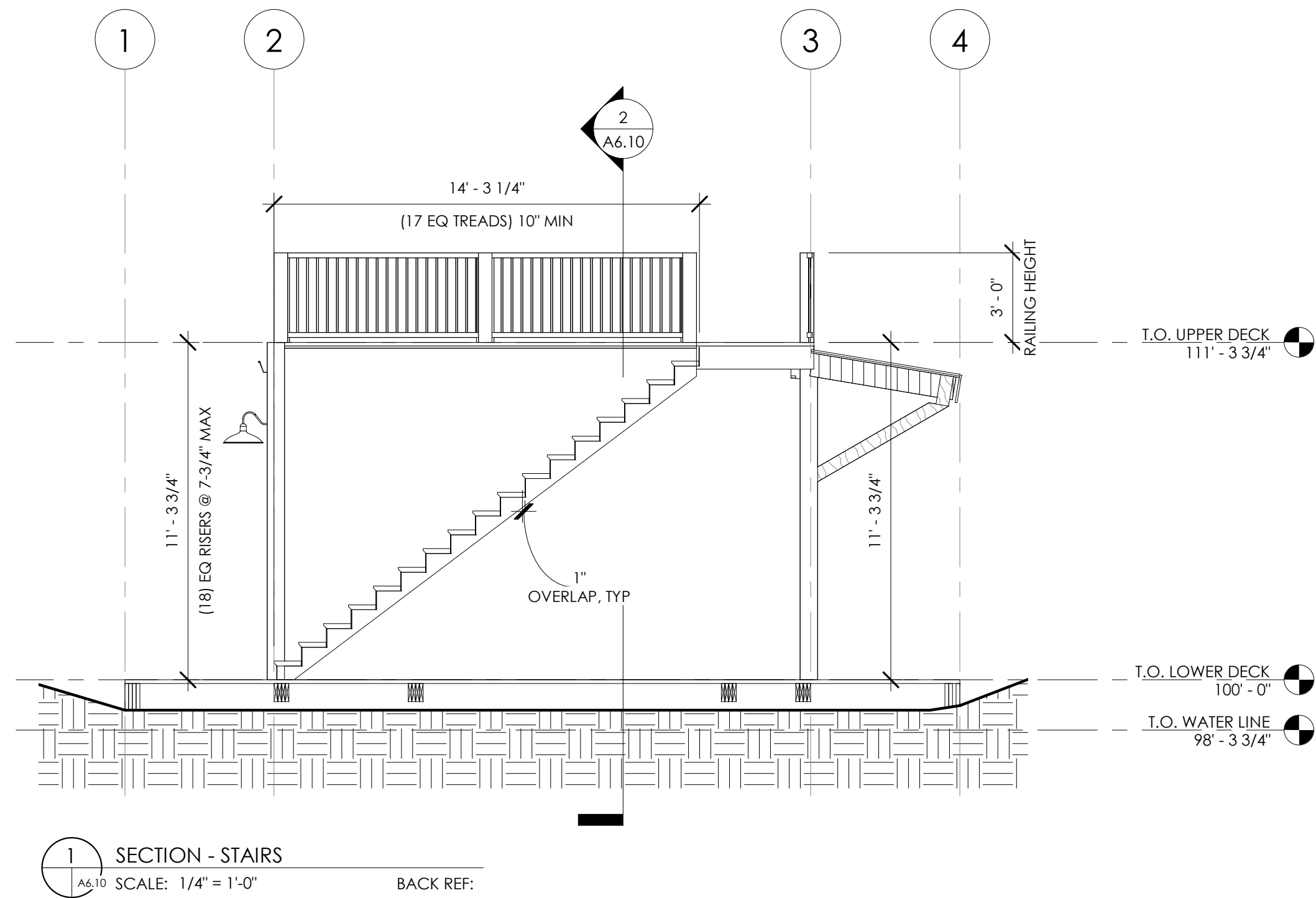
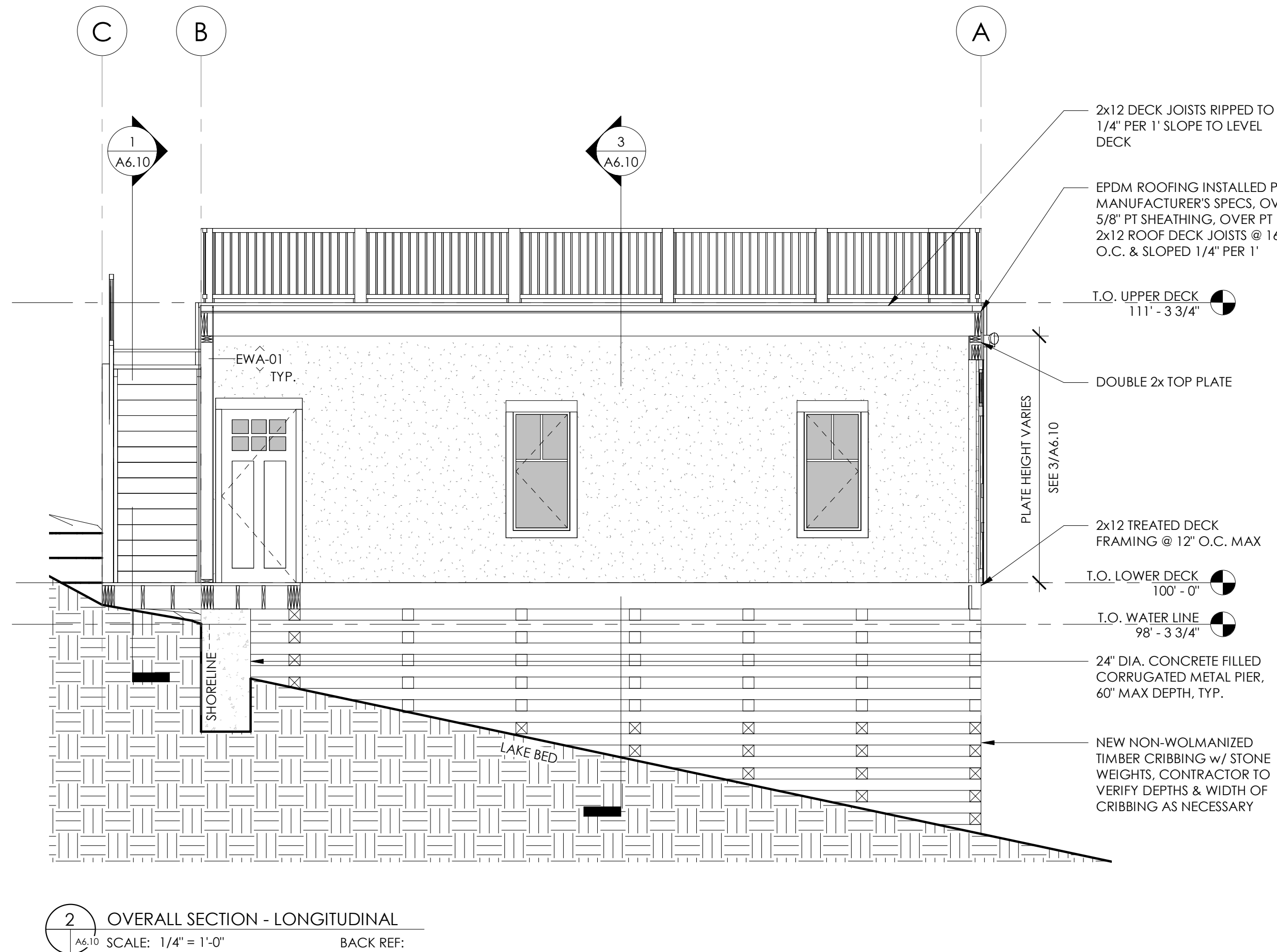
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SHEET TITLE :
OVERALL EXTERIOR
ELEVATIONS

SHEET NUMBER :

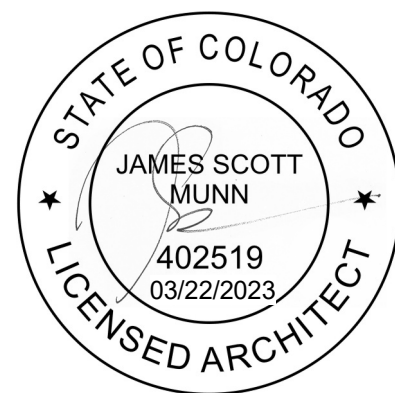
A5.01



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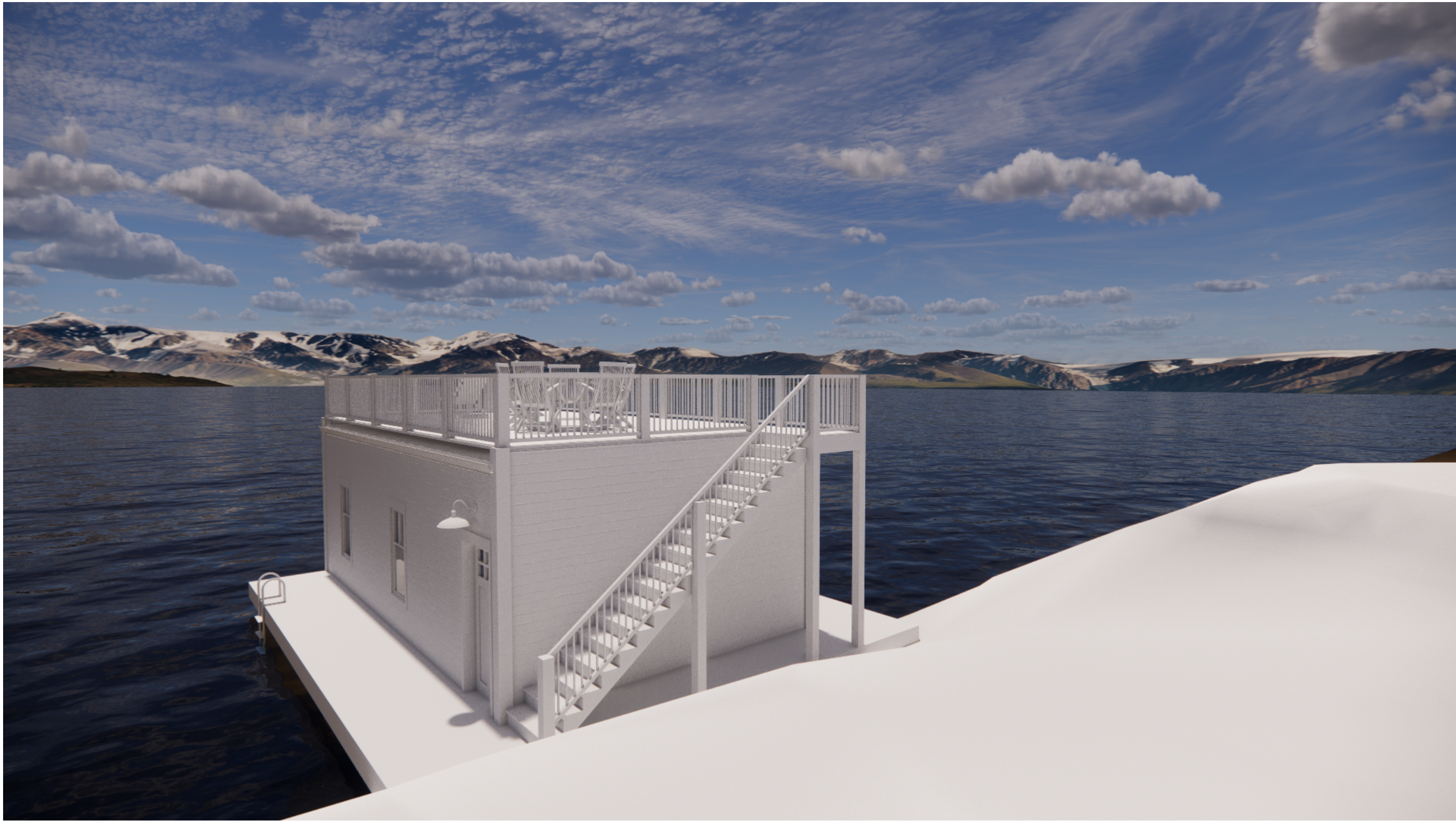
SHEET TITLE :
BUILDING
SECTIONS

SHEET NUMBER :

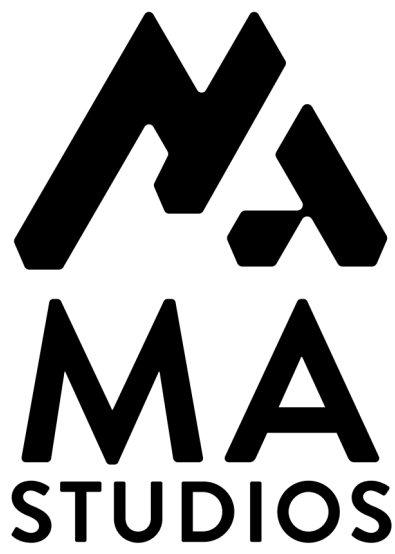
A6.10

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10/14/2024 8:20:04 AM
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NOTE: EXTERIOR MATERIALS, FINISHES,
COLORS, ETC. TO MATCH (E) RESIDENCE

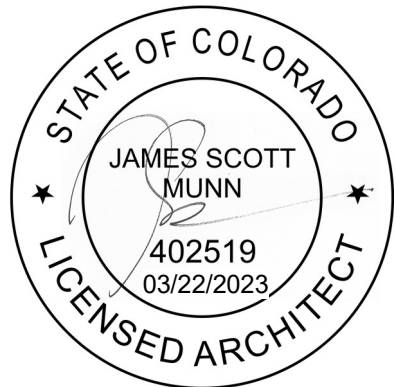


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SHEET TITLE :
EXTERIOR
PERSPECTIVES

SHEET NUMBER :

A6.21