

Leatherwood Grand Lake

Block 5, Grand Lake, CO 80447

Spirit Lake Condos, LLC

Preliminary Development Application & Preliminary Plat Plans

02/05/2025





PO Box 21
Granby, CO 80446
970-887-9366



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Preliminary
Development
Plans

05/05/2025

February 5, 2025
Spirit Lake Condos, LLC
PO Box 11
Grand Lake, CO 80447-0011

Preliminary Development Application Leatherwood Grand Lake

RE: *Preliminary Development Application - Narrative*
Parcel Numbers: 119305223003, 119305223005, 119305223006, 119305223009
Site Address: Varies (Existing Addresses to be modified during re-plat/subdivision): 1016 Grand Avenue, 1001 & 1005 & 1007 Lake Avenue
Legal Summary: **Lots 4-6 & 9-14, Block 5 (Grand Avenue & Lake Avenue Parcels). Town of Grand Lake, Grand County, CO. Sec.5 T3N R75W 6TH PM.**

Project/Property Owner:
Spirit Lake Condos, LLC
(720) 446-7390
glservicesllc@yahoo.com

Architect/Planner:
MA Studios, LLC (Scott Munn, AIA & Gabe Bellowe, AIA)
(970) 887-9366
gabe@maarchitectural.com
scott@maarchitectural.com

Consultant Engineers:
CORE Engineering – Civil Engineering and Design (Justin Simpson & Chase Justice)
(303) 703-4444
jsimpson@liveyourcore.com
Ascent Engineering – Structural Engineering and Design (Jared Veenstra & John Cevaai)
(970) 363-6100
j.veenstra@ascentgrp.com
Azimuth Surveying – Survey & Topographical Analyses (Warren Ward, PLS)
(970) 531-1120
wward8100@gmail.com

Dear Residents, Stakeholders, and Community Members,

Spirit Lake Condos & MA Studios (AIA) are pleased to submit this Preliminary Development Application for the mixed-use development on Grand & Lake Avenues entitled “Leatherwood”. Per the Town of Grand Lake Municipal Code of Ordinances (March 28th, 2024) Chapter 12 (Land Use Regulations), Article 9 (Land Development Regulations), the following narrative is intended to be paired with the attached site plans & conceptual elevations illustrating our design intent for the sites described in the above legal description. The following narrative is based on the submittal requirements outlined in Section 12-9-2-D.

- 1) One (1) copy of title work including a statement of present and proposed ownership. This statement shall include the address of the applicant, all the property owners in the development, development signors for all public and/or private parcels, and any lien holders for all public and/or private parcels. **See title work, attached.**
- 2) Summary Statement of Proposal including the following:
 - (i) Total acres and square feet to be developed: **1.029 Acres (44,877 SF) @ combined property line. Satellite property @ 825 Lake Avenue includes .17 Acres (7,511 SF) in total.**
 - (ii) Total number of proposed dwelling units. **25 Residential Units**
 - (iii) Total number of square feet of non-residential floor space. **Of our total 65,100 proposed square feet (Gross SF), we are proposing 14,414 sf of commercial tenant space.**
 - (iv) Total number of off-street parking spaces, including those associated with single family residential use. **Of the total 90 parking spaces provided in our calculations, 44 parking spaces are provided off-street for residential use. Commercial parking is provided via our on-street parking credits, calculated using the prescribed .085sp/ft on all lot frontages available across our project scope. (Per GL code sec 12-2-28(b).3.B)**
 - (v) Estimated construction cost and proposed method of financing of the streets and related facilities, water distribution system, sewage collection system, storm drainage facilities, and such other facilities as may be necessary to complete the development plan. **The estimated construction costs of any items related to street facilities, water distribution and such other facilities to complete the development shall be paid for with company funds and/or construction loans.**
- 3) A narrative of the proposed handling of the increased drainage at the concentration points or of internal pattern changes. The drainage report shall include the supporting calculations for runoffs, time or concentration and flow capacity with all assumptions clearly stated and with proper justification when needed or requested. **See civil engineer statement, attached.**
- 4) Statement of compliancy to the AFFORDABLE HOUSING REQUIREMENTS found in Municipal Code Section 12-10-3 including, but not limited to, number of proposed units, unit size, type and amenities, as well as a Local Employee Residence schedule for the development. – **The affordable housing requirements (LERP) shall be met by developer/owner’s provision of associated fee/cash payment per town requirements.**
- 5) Conversion Report, if applicable. – **Not Applicable.**
- 6) Solar Orientation statement as outlined in Section 12-9-10(F)5(b) Solar Orientation. – **Solar orientation of all buildings within the development has been maximized to provide ample solar exposure for all possible residential units. North facing slopes have been minimized and southern-facing balconies and windows are an utmost priority for the project as a whole. The natural topography of the property lends itself to southern exposures and maximum solar incidence –**

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landscape design will account for the intensity of the solar exposure through the use of native and low-maintenance, xeric plantings and natural materials. Snow and ice melting conditions will be mitigated through the architectural forms of the development itself, as well as additional snow-fencing and protection methods to ensure that public access routes and general pedestrian circulation are accounted for in drainage and snowmelt design.

- 7) Open Space and Land Dedication statement, if applicable. – **Open Space and Land Dedication statement pertaining to the project shall be noted on the final plat per the direction of the Planning Department.**
- 8) Any additional information as may be required by the Planning Commission or staff to evaluate the character and impact of the proposed Development suggested at the time of Sketch Plan. **All additional revisions/information requested during the sketch plan review are contained within the new drawing package submitted along with this application.**
- 9) Additional Written Documents:
 - (i) A description of the character of the proposed development, the goals and objectives of the project, an explanation of the rationale behind the assumptions and choices made by the applicant, and an explanation of the manner in which it has been planned to conform to the Town's Comprehensive Plan.

We are delighted to share with you an exciting vision for the future of downtown Grand Lake. As our community continues to grow and evolve, it's essential that we shape our environment to meet the needs and aspirations of all who call this place home. With that in mind, we introduce Leatherwood Grand Lake, a transformative mixed-use development project that promises to enhance our downtown area and foster a stronger sense of connection and vibrancy.

At the heart of this vision lies a commitment to revitalizing the connection between Grand Avenue and Grand Lake, breathing new life into our urban core while preserving the unique charm and character that defines our community. The proposed development seeks to create an energetic & active pedestrian plaza, serving as a welcoming gathering space for residents and visitors alike. Picture a bustling hub of activity, where families can stroll, friends can meet, and neighbors can come together to enjoy the beauty of our surroundings. Quantitatively, the project consists of 25 residential units and multiple commercial condominium units at ground level, both on Grand Avenue and Lake Avenue. There shall be an open, public plaza that will span from Grand Avenue down to Lake Avenue, supplying the community and its guests with a clear path from the middle of town to Grand Lake. It will concentrate housing in the downtown corridor with on-site parking to accommodate existing and new commercial spaces with pedestrian & commercial traffic as well as live/work spaces above. It meets all aspects of the Town of Grand Lake's Comprehensive Plan with development within the business district of downtown Grand Lake.

Central to our plans is establishing a new visual and pedestrian connection from Grand Avenue, across Lake Avenue to the public beach, marina & shore of Grand Lake. With Shadow Mountain as our backdrop, this extension of public space offers expanded opportunities for recreation and relaxation along the water's edge as well as a new, traffic-protected pedestrian route to access lakeside amenities. This enhancement not only celebrates the natural context of RMNP, Grand Lake and beyond, but also ensures that our community provides yet another destination for outdoor enthusiasts and nature lovers.

Furthermore, we are excited to unveil our refined site plans that reimagine the existing "Block 5" of our central downtown commercial district, transforming it into a dynamic amenity space that is accessible and welcoming to all. Our proposal considers the likelihood that Lake Avenue will be shut to vehicular traffic in the near future, allowing for an expanded, safe, and activated pedestrian connection from the lake to Grand Avenue, and vice versa.



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The focus of our approach is the holistic consideration of long-term growth and social, economic, and environmental sustainability within our community. Through thoughtful urban planning and design, we seek to strike a harmonious balance between economic development, environmental stewardship, and social equity, ensuring that our downtown remains a vibrant and inclusive hub for generations to come.

Beyond physical enhancements, our vision for downtown Grand Lake encompasses a comprehensive plan for sustainable growth and development. We are committed to creating spaces that are not only beautiful and functional but also environmentally responsible, ensuring that future generations & visitors can continue to enjoy all that our community has to offer. We invite you to join us on this journey as we work together to shape a brighter future for our community.

After reviewing the project with the town's Board of Trustees, Manager and planning officials, we are glad to submit our preliminary development application with the intent that our project can begin to move forward into the early phases of construction and development. Based upon the feedback we've received from our valued stakeholders, we have refined our plans and intend to address the various concerns and questions that have arisen thus far. Your input is crucial to the success of this project, and we are committed to ensuring that all voices are heard and considered every step of the way. A few notes that are of particular note at this stage:

- A. *Parking concerns: As shown in our attached conceptual site plans, we are intent on providing more than the required amount of parking for both our commercial and residential tenancies on-site. There is additional parking that we plan to provide at our nearby satellite property at 825 Lake Avenue for public use, but all required residential parking will be off-street and on-site to allow Leatherwood residents maximum accessibility on site.*
- B. *Phase breakdown: at this conceptual stage, our phases are inter-related & may be completed concurrently. Please reference the attached concept plans for detail:*
 1. *SITE RE-GRADE, PLAZA LANDSCAPING & VACANT BUILDING REMOVAL*
 2. *EVENT CENTER LAKE AVENUE RESTAURANT AND PLAZA (restoration)*
 3. *EVENT CENTER MAIN FLOOR CONDO (1) (restoration/addition)*
 4. *EVENT CENTER UPPER-LEVEL CONDOS (2) (restoration/addition)*
 5. *(3) CONDOS IN LAKE HOUSE (restoration/addition)*
 6. *(1) CONDO IN TREE HOUSE (restoration/addition)*
 7. *B1 (2 PHASES - mixed-use, new construction)*
 8. *B2 (mixed-use, new construction)*
 9. *B3 (mixed-use, new construction)*
 10. *SITE 825 CLEAN-UP & GARAGE (OPEN SPACE & OFF-STREET PARKING COUNTED TO PROJECT)*
- C. *Conditions: All undeveloped and under-construction sites will be fenced. Safe walkways will be maintained throughout construction for the general public to retain their current pedestrian access routes (including but not limited to sidewalks along Grand, Garfield, Lake, etc.).*
- D. *Boat Docks, Lake Avenue Closure, Marina Relocation, Beach Expansion: Per the feedback received from multiple sources, these elements are no longer shown on our conceptual site plans. We believe our development will provide the groundwork, so to speak, for these future improvements by the Town of Grand Lake.*
- E. *Scale of development: Overall building heights are intended to be 40' maximum from the lowest corner of each building at grade. We have one building that we are seeking a minor height variance to allow for appropriate density of residential units on site - beyond height compliance, the design is intended to relate and comingle with the current scale of Grand Lake development (pedestrian boardwalk presence with roof coverage at a single-story height, upper floors set-back to provide terraced massing that does*



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not over-power neighboring lots and overall frontages, views, shadows, etc. On Grand Avenue, we have a 2-story maximum on our buildings, while on Lake Avenue, we have 3 stories with terraced setbacks on the upper floors to maximize solar exposure, lake views, and to minimize the impact of the building heights on the public. Building #1 has a 4th story, set back from the stories below, to provide a few additional penthouse units overlooking the lake.

F. Alley Re-Grade: *The alley will re-graded and swiftly re-opened to public circulation as needed for residential access, commercial deliveries, and emergency access. Adjacent to the existing ‘Treehouse’ building (see concept plans), the current alley is extremely steep (steeper than town standards allow) and we plan to cut-down the grade in order to accommodate a gentler & code-compliant slope for vehicles and pedestrians alike. This strategy will not affect any existing alley conditions for the adjacent property owners to the east and is generally intended to create a safer and more navigable end condition. Our base intent is to open up the public plaza to create an activated view-corridor from Grand Avenue down to the lake’s edge, which lowering the alley allows for. The alley currently rises approximately 10’ above Grand Avenue, and our intended result is approximately 6-7’ lower than the existing condition.*

- (ii) A development schedule indicating any sub-division platting sequences, the type of construction and approximate date(s) when construction of the Development or phases of said development can be expected to begin and to be completed, and the timing and construction of any public improvements. **See above phasing breakdown: A development schedule shall be submitted prior to final plat. The subdivision platting sequences shall be completed on a phase-by-phase basis, illustrated on the development plans attached. Construction of Phases 1 through 5 would begin Spring of 2025. Demolition of the existing motel buildings and re-grading of the property would begin Spring of 2025. The proposed multiple phases of construction shall be solely dictated by the absorption of the previously constructed phases.**
- (iii) A description of the proposed open space to be provided at each stage of development; an explanation of how said open space shall be coordinated with surrounding developments; a statement explaining anticipated legal treatment of common ownership and maintenance of said open space areas. **The construction of public improvements (plaza from Grand Avenue to Lake Avenue) would ideally be completed by Fall of 2025. Vertical construction would be contained within fenced areas outside of/up to the common areas, allowing access for the general public without interfering with construction activity. Off-site street, utility and boardwalk construction would be completed on a phase-by-phase basis.**
- (iv) A description of proposed covenants, grants of easements or other restrictions to be imposed upon the use of the land, including common open spaces, buildings, and other structures within the development. **The granting of easements or other restrictions including common open spaces and other structures within the development shall be supplied and outlined on the final plat with the direction of the Planning Staff. Proposed covenants shall be supplied and approved prior to final plat recordation.**
- (v) A statement of the applicant's intentions with respect to the nature of future sales and/or leases of all portions of the Development. – **Sales and leasing activity shall be handled by qualified staff of the developer and/or licensed real estate professionals.**
- (vi) Quantitative data for the following: total number and type of dwelling units; number of bedrooms in each unit; parcel size; proposed lot coverage of buildings and structures; gross and net residential, commercial and industrial densities; total amount of open space (including a separate figure for usable or improved open space); and the total amount of non-residential



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construction (including a separate figure for commercial, institutional, or industrial facilities) with the amount of open space associated with these developments. **Our proposed development includes the addition of (25) residential units in (6) distinct buildings, as well as 14,400+ SF of commercial/public tenant space for the benefit of the community at large. Gross Floor Area is 65,100 SF, with 14,414 SF dedicated to commercial space and 50,686 SF dedicated to new residential condominium space (including common use corridors, mechanical and circulation spaces).**

- (vii) Physiographic and environmental studies of the proposed site prepared and attested to by qualified professional authorities in the following fields: soil quality, slope and topography, geology, water rights and availability, surface and ground water conditions, and any impact on wildlife. **The entire development is located within the Town of Grand Lake on platted lots reserved for development meeting all Town codes. Soil quality, slope and topography, geology shall/is being addressed by our geotechnical consulting firm and those studies shall be supplied to the Town. Surface and groundwater conditions shall be handled by the team’s geotechnical consultant and civil engineer. All of the platted lots in this subdivision are located within the central business district of the Town of Grand Lake. All codes shall be adhered to as pertaining to the impact on wildlife.**
- (viii) A report detailing the traffic impact of the Development on the Town street system is to be represented in conjunction with this information. **Traffic impact report not undertaken – not necessary within project scope. If traffic report is required, it will be conducted by the town’s consultant engineers.**
- (ix) The proposed maximum height of all buildings within the Development. **Our proposed development includes (6) buildings of various heights, measured individually based on town standards of 35’ maximum height from lowest corner to maximum roof height. The massing of our proposed buildings directly reflects the town code’s intent for “Grand Lake” massing standards – buildings should be broken up into a variety of architectural forms to reduce the visual impact of the building from pedestrians. ‘Sawtooth’ massing shall be included to break up long continuous building facades and buildings shall have their upper floors set back from the lot frontage to reduce the impact of upper floors on the streetscape. For the buildings that have larger than 5’ change in grade at their footprint, maximum height will be measured at a point 40’ above the lowest corner of the building at grade. All buildings in the proposed development will comply with these standards, except building #1. The maximum height of building #1 is less than 51’-3” from the maximum height of the primary roof to the lowest corner of the building, and we are seeking a variance to allow for this disparity from code regulations. Please see the variance request and the attached drawings for additional detail.**
- (x) Proof of legal, appropriated private water rights and/or source of proposed public water service. Proof of sewer service availability. **Water is available through the Town of Grand Lake to supply the subdivision. Sewer is available through Three Lakes Water and Sanitation District to supply the subdivision. It is our understanding that there is adequate water and sewer service through these utility providers. Credit shall be given for any existing water and sewer taps that were transferred through the purchase of the property.**



Preliminary
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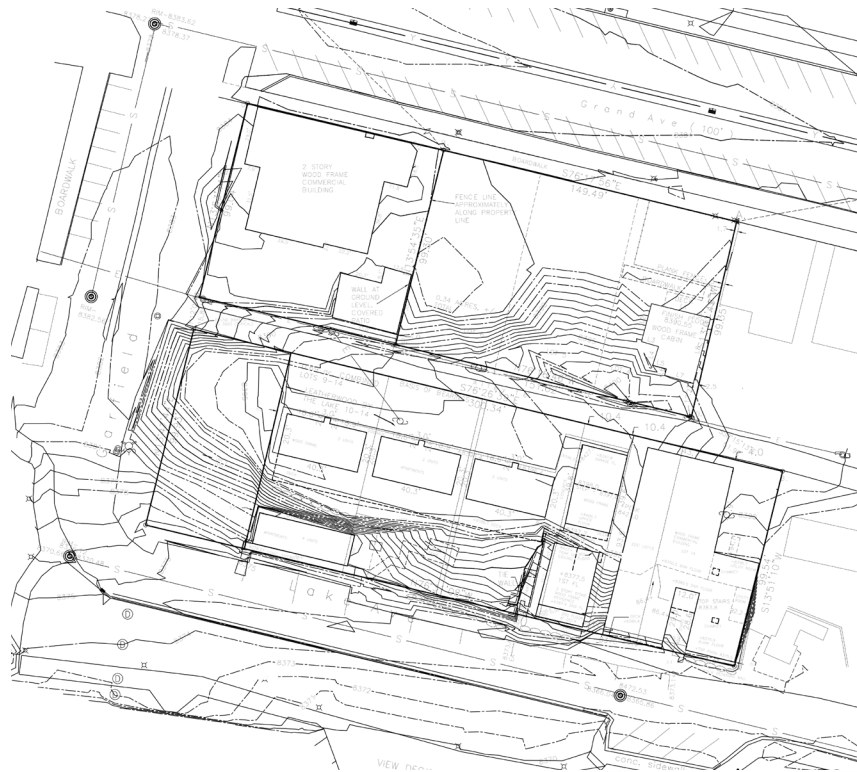
LEATHERWOOD GRAND LAKE

Spirit Lake Condos, LLC

BLOCK 5, GRAND LAKE, CO 80447

PROJECT #2402

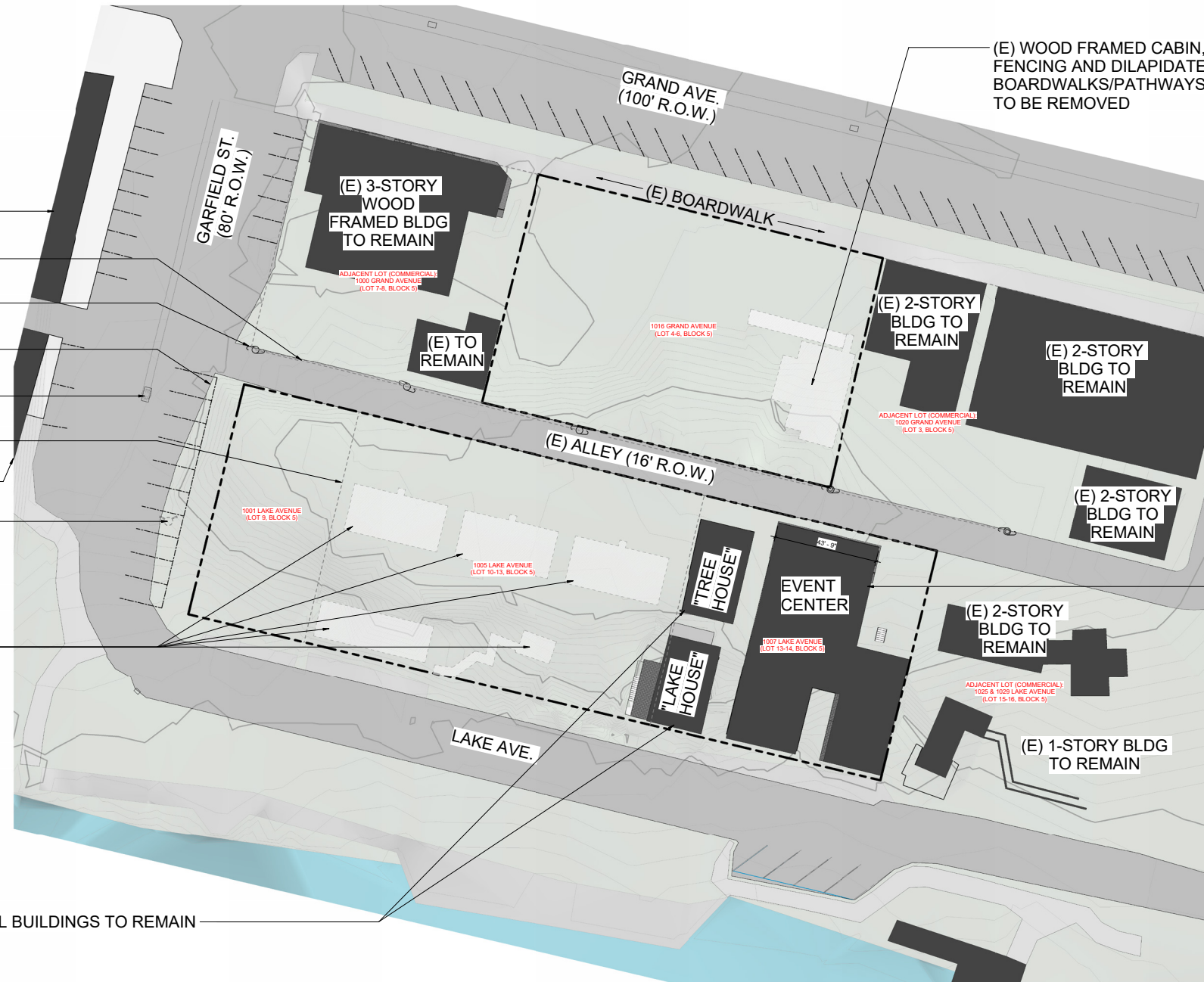
PROJECT NARRATIVE



- (E) 2-STORY BLDG TO REMAIN
- (E) OVHD ELEC
- (E) POWER POLE
- (E) TIMBER CURB
- (E) DROP INLET
- (E) LOT LINE
- (E) 2-STORY BLDG TO REMAIN
- (E) HYDRANT

(E) WOOD FRAMED BUILDINGS, DECK AND STAIRS TO BE REMOVED

(E) WOOD FRAMED RESIDENTIAL BUILDINGS TO REMAIN



SITE LEGEND:	
	EXISTING BUILDING (TO REMAIN)
	COMMERCIAL OCCUPANCY @ GROUND (RESIDENTIAL ABOVE, TYP)
	PARKING BELOW/ RESIDENTIAL OCCUPANCY ABOVE
	EXISTING ASPHALT (TO REMAIN)
	NEW ASPHALT/PAVING (RE: CIVIL)
	NEW BOARDWALK
	EXISTING BOARDWALK
	NEW PUBLIC PLAZA W/ TABLES (LANDSCAPE, PATHWAYS, STEPS TBD)
	SNOW STORAGE
	PHASE SEPARATION (APPROX)

SITE PLAN: EXISTING

LEATHERWOOD GRAND LAKE

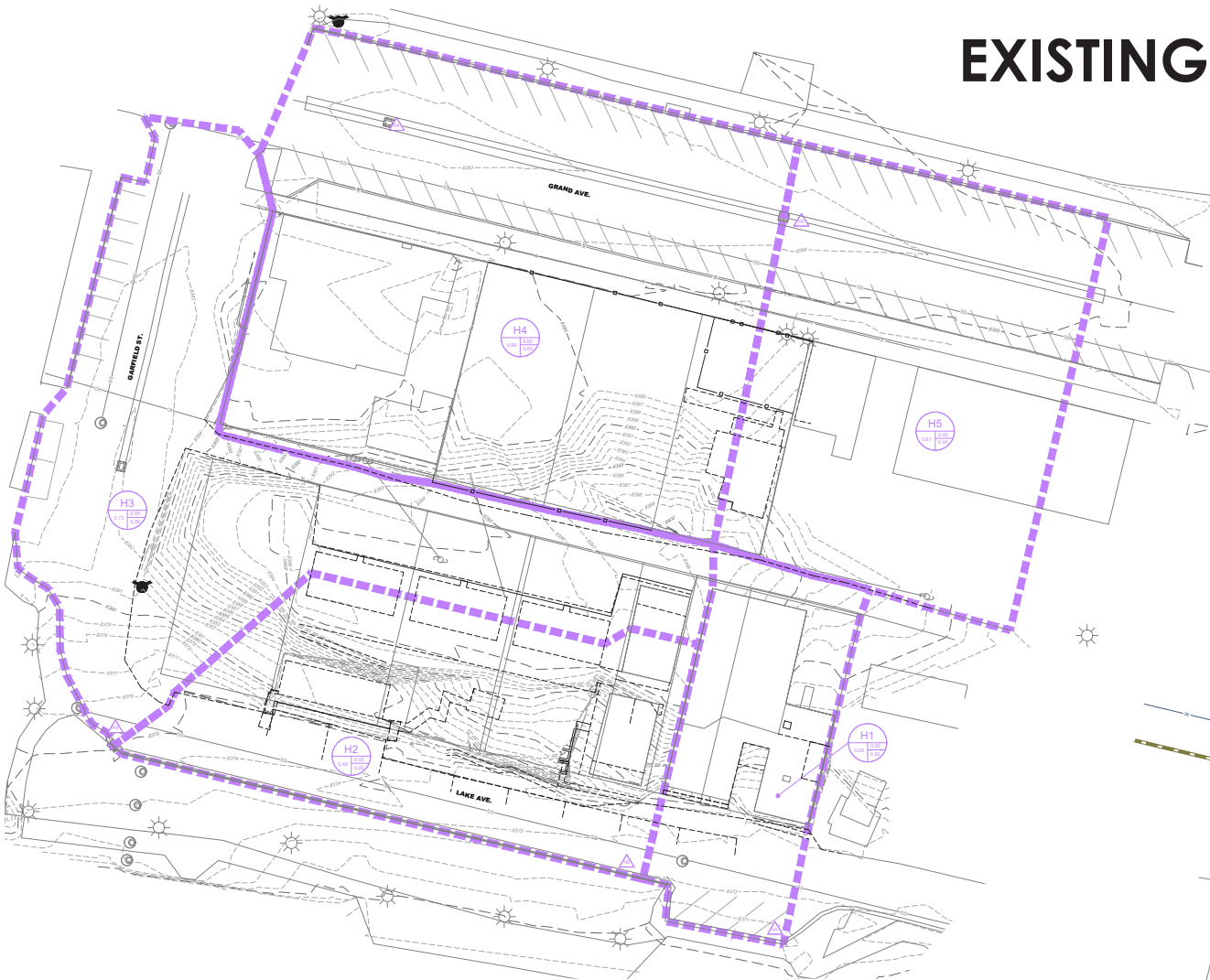
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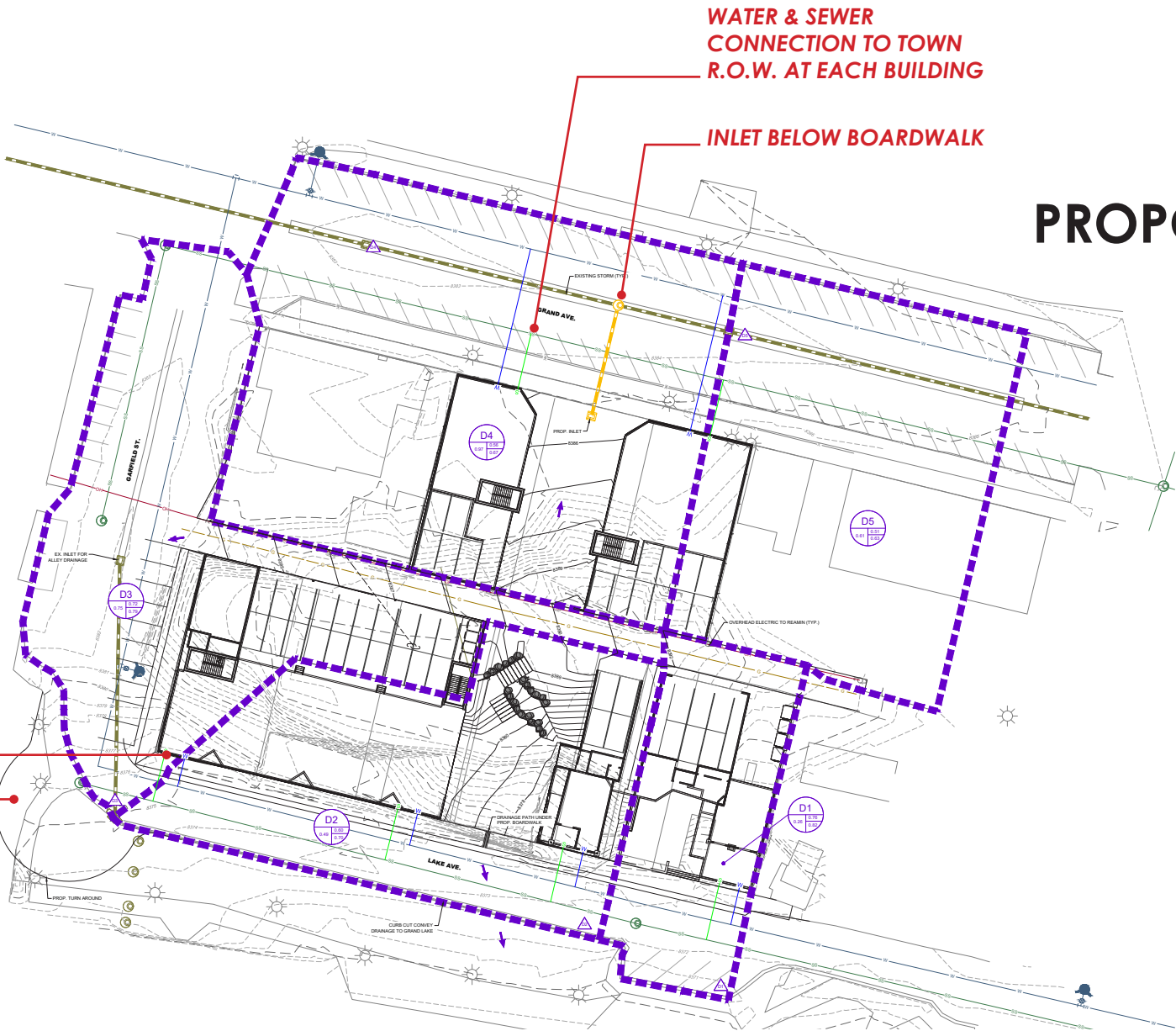
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EXISTING

WATER & SEWER
CONNECTION TO TOWN
R.O.W. AT EACH BUILDING

NEW TURNAROUND



PROPOSED

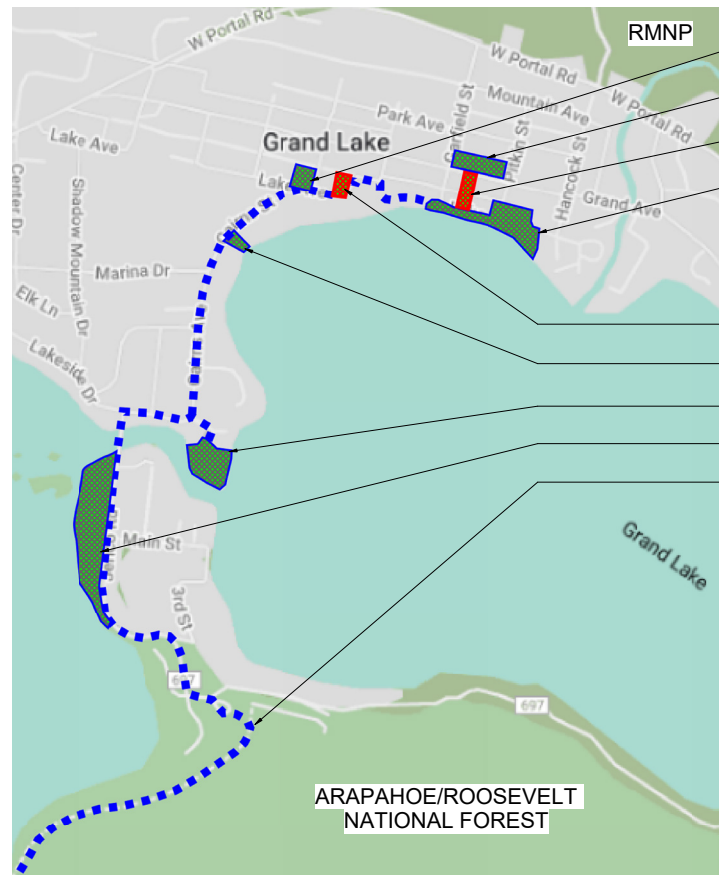
LEGEND

EXISTING	PROPOSED	DESCRIPTION
(Symbol)	(Symbol)	DESIGN POINT
(Symbol)	(Symbol)	DIRECTIONAL FLOW ARROW
(Symbol)	(Symbol)	EMERGENCY OVERFLOW ROUTE
(Symbol)	(Symbol)	PROPOSED DRAINAGE BASIN
(Symbol)	(Symbol)	EXISTING DRAINAGE BASIN
(Symbol)	(Symbol)	PROPOSED MAJOR CONTOUR
(Symbol)	(Symbol)	EXISTING MAJOR CONTOUR
(Symbol)	(Symbol)	PROPOSED MINOR CONTOUR
(Symbol)	(Symbol)	EXISTING MINOR CONTOUR
(Symbol)	(Symbol)	EXISTING
(Symbol)	(Symbol)	PROPOSED
(Symbol)	(Symbol)	PROPOSED STORM
(Symbol)	(Symbol)	EXISTING STORM
(Symbol)	(Symbol)	STORM MANHOLE
(Symbol)	(Symbol)	STORM INLET
(Symbol)	(Symbol)	EXISTING SANITARY & STUB OUT
(Symbol)	(Symbol)	EXISTING WATER & STUB OUT
(Symbol)	(Symbol)	EXISTING GAS
(Symbol)	(Symbol)	EXISTING OVERHEAD ELECTRIC
(Symbol)	(Symbol)	LIMITS OF CONSTRUCTION
(Symbol)	(Symbol)	RETAINING WALL
(Symbol)	(Symbol)	DRAINAGE SWALE
(Symbol)	(Symbol)	SANITARY SERVICE
(Symbol)	(Symbol)	WATER SERVICE

PROJECT SUMMARY TABLE

NO.	AREA	15 MIN	15 MIN	15 MIN
1	AREA	15 MIN	15 MIN	15 MIN
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97	AREA	15 MIN	15 MIN	15 MIN
98	AREA	15 MIN	15 MIN	15 MIN
99	AREA	15 MIN	15 MIN	15 MIN
100	AREA	15 MIN	15 MIN	15 MIN

SITE DRAINAGE & UTILITIES: EXISTING VS. PROPOSED



- ESLICK HISTORIC SITE
- CITY/TOWN SQUARE PARK
- LEATHERWOOD PLAZA
- GL BEACH, MARINA, YACHT CLUB & COTTAGE COURT HISTORY PARK
- NEW PARK @ 825 LAKE
- CAIRNS OPEN SPACE
- POINT PARK
- RAINBOW BRIDGE PARK
- CDT TRAILHEAD

OPEN SPACE CALCS:

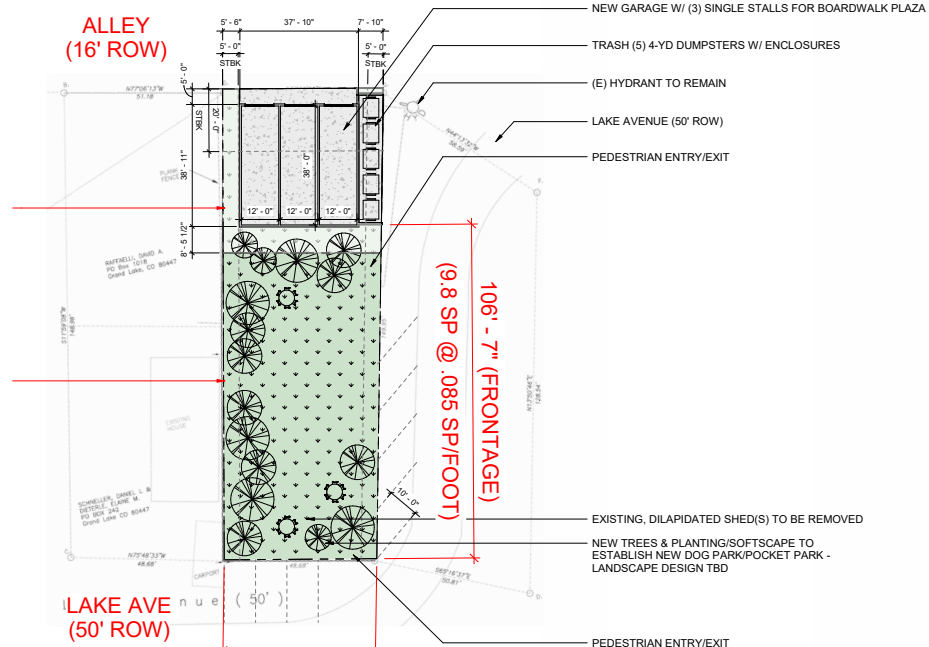
TOTAL AREA WITHIN PROPERTY LINE: 1.03 ACRES (44,877 SF)
TOTAL BUILDING FOOTPRINTS: 31,472 SF
ON-SITE OPEN SPACE: 13,405 SF
OFF-SITE OPEN SPACE (@ 825 LAKE AVE): 4,843 SF
TOTAL OPEN SPACE: 18,248 SF

PERCENTAGE (TOTAL OPEN/LOT AREA): 18,248/49,270 = 37%
PER GL CODE (TABLE 12-2-26-3): GROUP III
REQUIRED OPEN SPACE: 35% MINIMUM

TOTAL COMMERCIAL/OFFICE: 14,414 SF
TOTAL RESIDENTIAL: 50,686 SF
TOTAL GROSS SF/FLOOR AREA: 65,100 SF

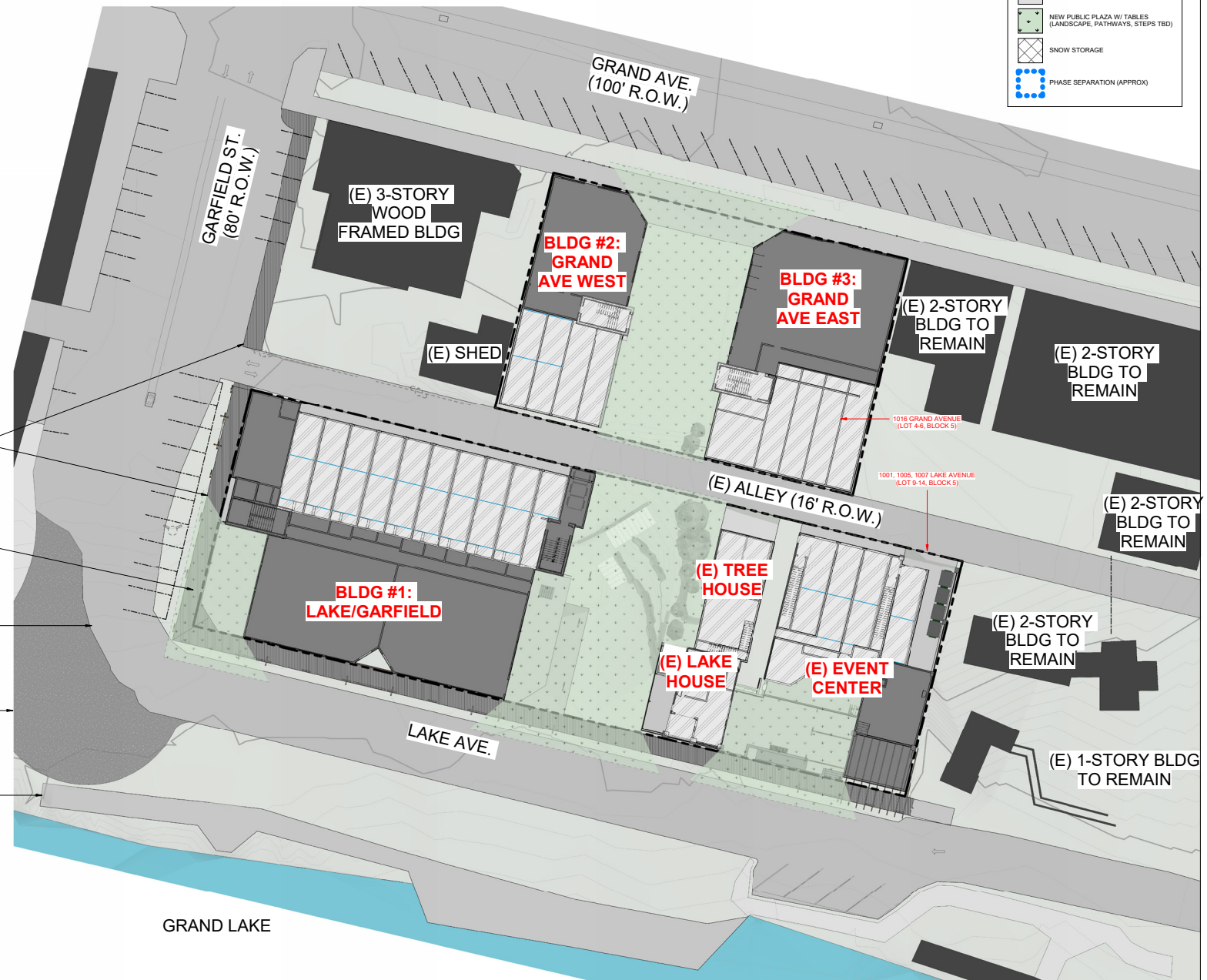
PERCENTAGE (COMMERCIAL/TOTAL): 14,414/65,100 = 22.14%
REQUIRED COMMERCIAL %: 25-50%

SITE LEGEND:	
	EXISTING BUILDING (TO REMAIN)
	COMMERCIAL OCCUPANCY @ GROUND (RESIDENTIAL ABOVE, TYP)
	PARKING BELOW/ RESIDENTIAL OCCUPANCY ABOVE
	EXISTING ASPHALT (TO REMAIN)
	NEW ASPHALT/PAVING (RE: CIVIL)
	NEW BOARDWALK
	EXISTING BOARDWALK
	NEW PUBLIC PLAZA W/ TABLES (LANDSCAPE, PATHWAYS, STEPS TBD)
	SNOW STORAGE
	PHASE SEPARATION (APPROX)



PHASE/PARCEL BREAKDOWN:

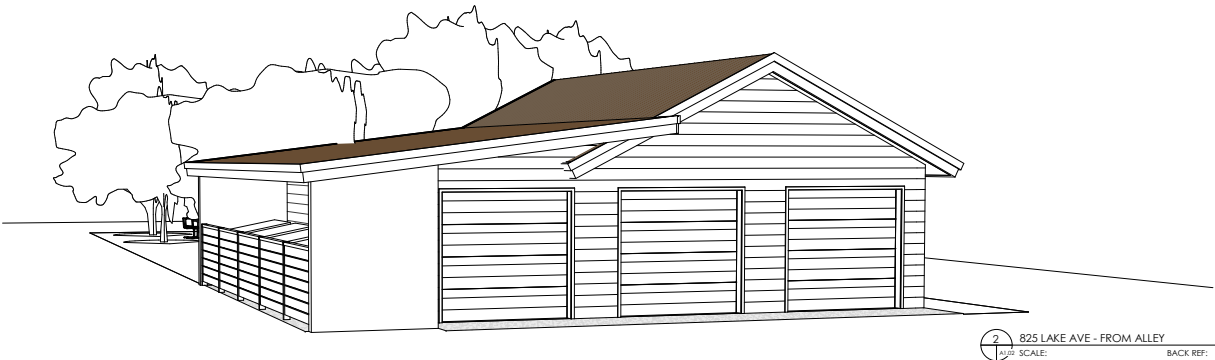
1. RE-GRADE ALLEY & PLAZA, 825 LAKE PARK
2. EVENT CENTER LAKE RESTAURANT/PLAZA
3. EVENT CENTER ALLEY LEVEL - 1 UNIT
4. EVENT CENTER PENTHOUSE - 2 UNITS
5. LAKE HOUSE - 3 UNITS
6. TREE HOUSE - 1 UNIT
7. B1 - 12 UNITS (POTENTIALLY 2 PHASES, PENDING)
8. B2 - 2 UNITS
9. B3 - 4 UNITS



SITE PLAN: OPEN SPACE



- CITY PARK
- LEATHERWOOD PLAZA
- GL BEACH & MARINA
- NEW PARK @ 825 LAKE
- ESLICK HISTORIC SITE
- CAIRNS OPEN SPACE
- POINT PARK
- RAINBOW BRIDGE PARK
- CDT TRAILHEAD

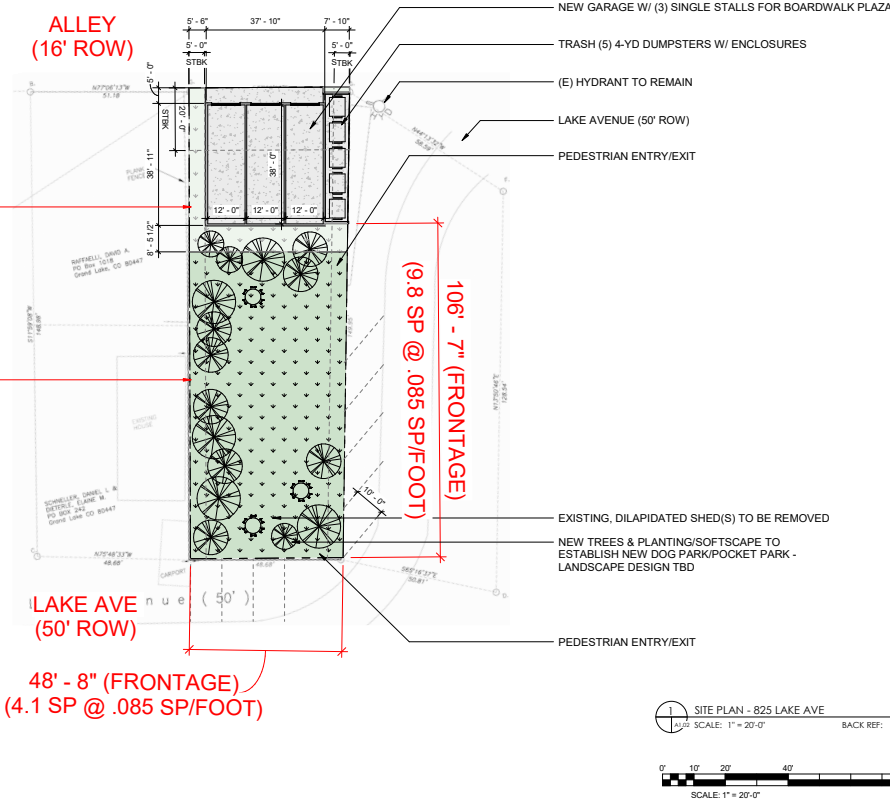


SITE LEGEND:	
	EXISTING BUILDING (TO REMAIN)
	COMMERCIAL OCCUPANCY (B. GROUND (RESIDENTIAL ABOVE, TYP))
	PARKING BELOW/ RESIDENTIAL OCCUPANCY ABOVE
	EXISTING ASPHALT (TO REMAIN)
	NEW ASPHALT/PAVING (RE: CIVIL)
	NEW BOARDWALK
	EXISTING BOARDWALK
	NEW PUBLIC PLAZA W/ TABLES (LANDSCAPE, PATHWAYS, STEPS TBD)
	SNOW STORAGE
	PHASE SEPARATION (APPROX)

825 LAKE AVE (NORTH):
2,668.63 SF (TOTAL AREA)
656.09 SF (OPEN SPACE)

PROVIDED OPEN SPACE: $656.09 / 2,668.63 = 25\%$
REQUIRED PER GL CODE (TABLE 12-2-26-3):
BOARDWALK PLAZA IS GROUP 2 = 25%
MINIMUM OPEN SPACE

825 LAKE AVE (SOUTH):
4,842.73 SF (TOTAL AREA)
4,842.73 SF (OPEN SPACE)



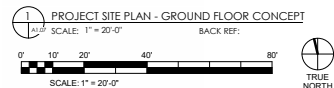
SITE PLAN: 825 LAKE AVENUE

PARKING CALCS

MAX LOT COVERAGE:	THE FIRST FLOOR OF MULTI-STORY BUILDINGS MAY COVER ONE HUNDRED (100%) PERCENT OF THE LOT OR PARCEL, BUT ALL ITEMS CALLED FOR IN THE ON-SITE UTILITY USE AREA DESCRIBED BELOW SHALL FIRST BE PROVIDED ON THE LOT OR PARCEL. (TOGL ARTICLE 2: ZONING REGULATIONS 12-2-18(D)(9))		
ON-SITE UTILITY USE AREA:	EACH LOT OR PARCEL SHALL PROVIDE TWO (2) OFF-STREET PARKING SPACES AND A TRASH STORAGE AREA ON THE LOT. (TOGL ARTICLE 2: ZONING REGULATIONS 12-2-18(D)(10))		
SNOW STORAGE:	CONVENIENT AND ACCESSIBLE SNOW STORAGE AREAS SHALL BE PROVIDED FOR PARKING AREAS EQUIVALENT TO ONE-THIRD (1/3) OF THE TOTAL DRIVE AND PARKING AREAS. (TOGL ARTICLE 2: ZONING REGULATIONS 12-2-28(C)(2))		
	TOTAL DRIVE/PARKING SF:	11,000 SF	
	SNOW STORAGE (REQUIRED) =	3,667 SF	
	SNOW STORAGE (PROVIDED) =	3,700 SF (INCL. SOME FLAT ROOF ON BUILDING #3)	
LIGHTING (EXTERIOR):	LIGHTING SHALL BE CONSISTENT WITH THE "DARK-SKY" CONCEPT THROUGH THE UTILIZATION OF APPROVED NIGHTSCAPING FIXTURES, WHICH PREVENT ADVERSE EFFECTS OF ARTIFICIAL NIGHT LIGHTING. THIS SHALL INCLUDE COMPONENTS TO REDUCE: SKY GLOW, GLARE, LIGHT TRESPASSING AND CLUTTER, DECREASED NIGHT VISIBILITY, AND ENERGY WASTE. (TOGL ARTICLE 7: DESIGN REVIEW STANDARDS 12-7-6)		
LOADING/UNLOADING AREAS:	CHANGES IN STRUCTURE (ENLARGED SO AS TO INCREASE THE FLOOR AREA BY MORE THAN TEN PERCENT (10%) IN ANY GIVEN TWO-YEAR PERIOD) SHALL NECESSITATE ALLEY-ACCESS LOADING/UNLOADING AREAS.		
BUSINESS SIGNAGE:	NO SIGN SHALL BE ERECTED, PLACED, OR MODIFIED EXCEPT AS PERMITTED BY THIS SIGN CODE. (TOGL ARTICLE 2: SIGN CODE 6-2-3) <u>ASSUMPTION:</u> SIGNAGE REVISIONS / NEEDS ARE YET TO BE DETERMINED AND WILL BE SUBMITTED SEPARATELY AS REQUIRED.		
DRAINAGE REQUIREMENTS:	THE SITE PLAN MUST INDICATE FACILITIES FOR ADEQUATE DRAINAGE REQUIRED THAT ARE PROPOSED TO CONNECT TO THE TOWN'S DRAINAGE SYSTEM. NATURAL EROSION CONTROL OR RETENTION PROVISIONS MUST BE LOCATED ON THE LANDSCAPE PLAN. (TOGL ARTICLE 1: BUILDING REGULATIONS 9-1-1)(B)(7) <u>ASSUMPTION:</u> N/A - NO EXISTING TOWN DRAINAGE / SEWER SYSTEMS EXIST TO CONNECT WITH AT THIS TIME. AS A RESULT, ALL ROOFS AND DOWNSPOUTS ARE DAYLIT AS INDICATED.		
EXTERIOR MATERIALS:	ALL PAINT COLORS SHALL BE APPROVED BY TOWN STAFF PRIOR TO PAINTING. (TOGL ARTICLE 1: BUILDING REGULATIONS 12-7-4)(A) ALL NEW METAL PANEL SIDING SHALL COMPLY W/ ZONING CODE 12-7-4)(B).4.D.		
PARKING DESIGN REQUIREMENTS: 12-2-28(B).2.A	STANDARD PARKING SPACE, UNCOVERED:	10' - 0" (WIDE) x 20' - 0" (LENGTH)	
	STANDARD PARKING SPACE, COVERED/INDOOR:	10' - 0" (WIDE) x 18' - 0" (LENGTH)	
	ACCESSIBLE PARKING SPACE:	8' - 0" (WIDE) x 18' - 0" (LENGTH) W/ 5' - 0" MIN ACCESS AISLE	
	STUDIO/1 BEDROOM:	1 SPACE	
	2 BEDROOM:	1.5 SPACES	
ACCESSIBLE PARKING REQUIRED:	3 BEDROOM:	2 SPACES	
	GENERAL RETAIL/BANK/OFFICE/PUBLIC/PERSONAL SERVICES:	1 SPACE/7500 S.F. TOTAL FLOOR AREA	
	ONE DESIGNATED ACCESSIBLE (HANDICAPPED) PARKING SPACE SHALL BE REQUIRED AS A PART OF THE OVERALL OFF-STREET PARKING REQUIREMENTS MANDATED UNDER THIS SECTION FOR 12-2-28(B).6 EACH TWENTY-FIVE (25) OFF-STREET PARKING SPACES OR FRACTION THEREOF. IN ALL CASES THE ACCESSIBLE SPACE SHALL BE LOCATED IN A MANNER CLOSE AND CONVENIENT TO THE MAIN PEDESTRIAN INGRESS/EGRESS.		
PARKING CALCULATIONS:	COMMERCIAL (1SP/350 SF FLOOR AREA) = 14,414 SF/350 SF =	<u>42.0 SPACES REQUIRED</u>	
PARKING COUNT:	1-BEDROOM UNITS:		
	LAKEHOUSE - (3) 1-BED UNITS	(3) REQUIRED SPACES	
	EV. CENTER - (1) 1-BED UNIT	(1) REQUIRED SPACES	
	BUILDING #1 - (2) 1-BED UNITS	(2) REQUIRED SPACES	
	2-BEDROOM UNITS:		
	TREHOUSE - (1) 2-BED UNIT	(2) REQUIRED SPACES	
	BUILDING #1 - (9) 2-BED UNITS	(14) REQUIRED SPACES	
	BUILDING #2 - (2) 2-BED UNITS	(3) REQUIRED SPACES	
	BUILDING #3 - (4) 2-BED UNITS	(6) REQUIRED SPACES	
	3-BEDROOM UNITS:		
	EV. CENTER - (3) 3-BED UNITS	(4) REQUIRED SPACES	
	BUILDING #1 - (1) 3-BED UNIT	(2) REQUIRED SPACES	
	TOTAL RESIDENTIAL PARKING REQUIRED:	<u>37.0 SPACES REQUIRED</u>	
	ALL RESIDENTIAL UNITS ARE PARKED WITHIN THEIR RESPECTIVE BUILDING, LESS (2) UNITS IN BUILDING 1 THAT PARK IN BUILDING #2		
	AND (2) UNITS IN THE LAKEHOUSE PARKED IN BUILDING #3.		
OFF STREET PARKING REQUIRED/PROVIDED:			
	37 SPACES REQUIRED/44 SPACES PROVIDED (OFF ALLEY) FOR RESIDENTIAL UNITS.		
	ON STREET PARKING PROVIDED:		
	(42) SPACES REQUIRED/44 SPACES PROVIDED (ON-STREET TOTAL INCL ADA)		
	BASED ON "ON-STREET PARKING CREDITS" 0.085 SPACES/1' FOOT OF PAVEMENT FOR GRAND AVE. LAKE AVE. & GARFIELD ST. 12-2-28(B).3.B		
TOTAL SPACES REQUIRED - 79	2+ PROVIDED SPACES TO BE ACCESSIBLE (ACCESSIBLE ON-STREET - 1 PER 25 SPACES)		
	79 TOTAL SPACES REQUIRED -- 80 TOTAL SPACES PROVIDED		

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SITE NOTES



GARFIELD ST

1000

14TH ST

PROPOSED TOWNHOME DEVELOPMENT

UNIT A

UNIT B

UNIT C

UNIT D

UNIT E

PARKING LOT

LOADING DOCK

DUMPSTER

PROPOSED DRIVEWAY

PROPOSED SIDEWALK

PROPOSED FENCE

PROPOSED LANDSCAPING

PROPOSED UTILITY

PROPOSED SIGNAGE

PROPOSED LIGHTING

PROPOSED SECURITY

PROPOSED MAINTENANCE

PROPOSED STORAGE

PROPOSED OFFICE

PROPOSED RESTROOM

PROPOSED KITCHEN

PROPOSED BATHROOM

PROPOSED BEDROOM

PROPOSED LIVING ROOM

PROPOSED PORCH

PROPOSED DECK

PROPOSED PATIO

PROPOSED GARDEN

PROPOSED TREES

PROPOSED SHRUBS

PROPOSED FLOWERS

PROPOSED GRASS

PROPOSED SOIL

PROPOSED WATER

PROPOSED SEWER

PROPOSED GAS

PROPOSED ELECTRIC

PROPOSED TELEPHONE

PROPOSED CABLE

PROPOSED INTERNET

PROPOSED AIR CONDITIONING

PROPOSED HEATING

PROPOSED COOLING

PROPOSED WARMING

PROPOSED DRYING

PROPOSED WASHING

PROPOSED DRESSING

PROPOSED EATING

PROPOSED DRINKING

PROPOSED SLEEPING

PROPOSED BATHING

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PROPOSED CLEANING

PROPOSED SHOPPING

PROPOSED TRAVELING

PROPOSED COMMUNIC

Profile view of a proposed road section. The vertical axis shows elevations from 8385 to 8405. The horizontal axis shows stationing from 10+55 to 11+15. The profile includes a dashed line for the existing ground and a solid line for the proposed road grade. Key points and dimensions are labeled:

- PROPOSED GRADE:** A solid line representing the proposed road profile.
- EXISTING GRADE:** A dashed line representing the existing ground profile.
- VERTICAL CURVE DATA:**
 - PIV ELEV=8393.70
 - PIR ELEV=8391.15
 - AD=0.20%
 - A=15.00'
 - 888.0' VC
- STATIONING AND ELEVATIONS:**
 - STA=11+03.60, ELEV=8398.07
 - STA=11+02.00, ELEV=8398.10
 - STA=12+05.63, ELEV=8391.31
 - STA=12+05.61, ELEV=8391.30
 - STA=13+02.73, ELEV=8392.32
- VERTICAL ALIGNMENT:**
 - VERTICAL ALIGNMENT
 - VERTICAL ALIGNMENT
 - VERTICAL ALIGNMENT
 - VERTICAL ALIGNMENT
- Horizontal Dimensions:**
 - A: 50.00'
 - B: 50.00'
 - C: 50.00'
 - D: 50.00'
 - E: 50.00'
- Tie-in Points:**
 - TIE IN POINT IN ALLEY AT 8390.81'
 - TIE IN POINT IN ALLEY AT 8390.81'

(E) 2-STORY BLDG
TO REMAIN —————

(E) OVHD ELEC TO BE
RECONFIGURED W/
RE-GRADED ALLEY —————

NEW CURB & GUTTER
AT NEW BOARDWALK —————

(E) 2-STORY BLDG
TO REMAIN —————

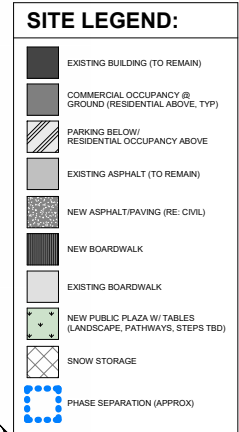
(E) DROP INLET
TO REMAIN —————

(E) HYDRANT TO REMAIN

NEW BOARDWALK
(GARFIELD & LAKE) —————

(E) EDGE OF ASPHALT —————

NEW TURNAROUND FOR
LOADING/DELIVERIES —————



PROJECT SITE PLAN - PLAN CONCEPT

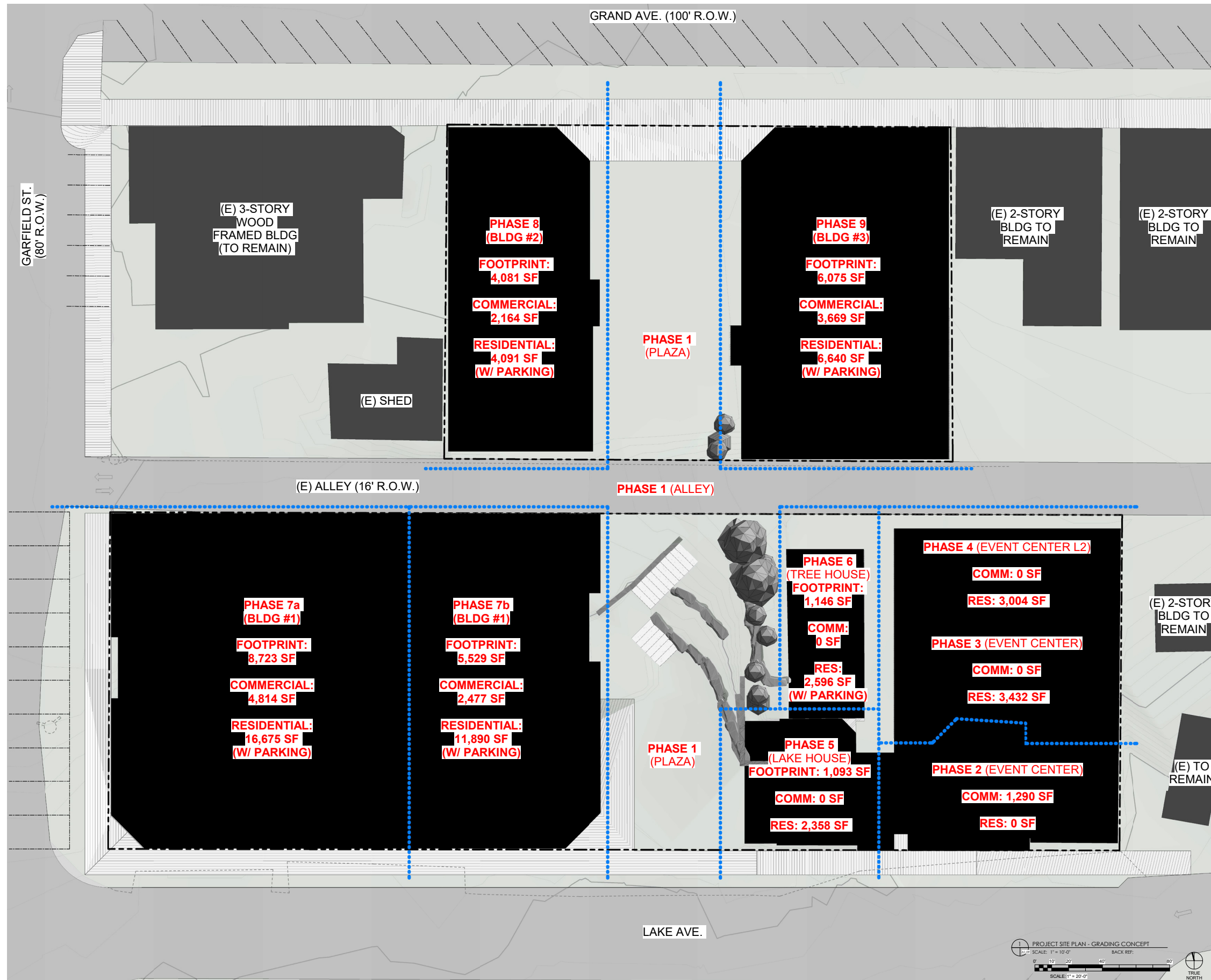
SCALE: 1" = 20'-0"

BACK REF:

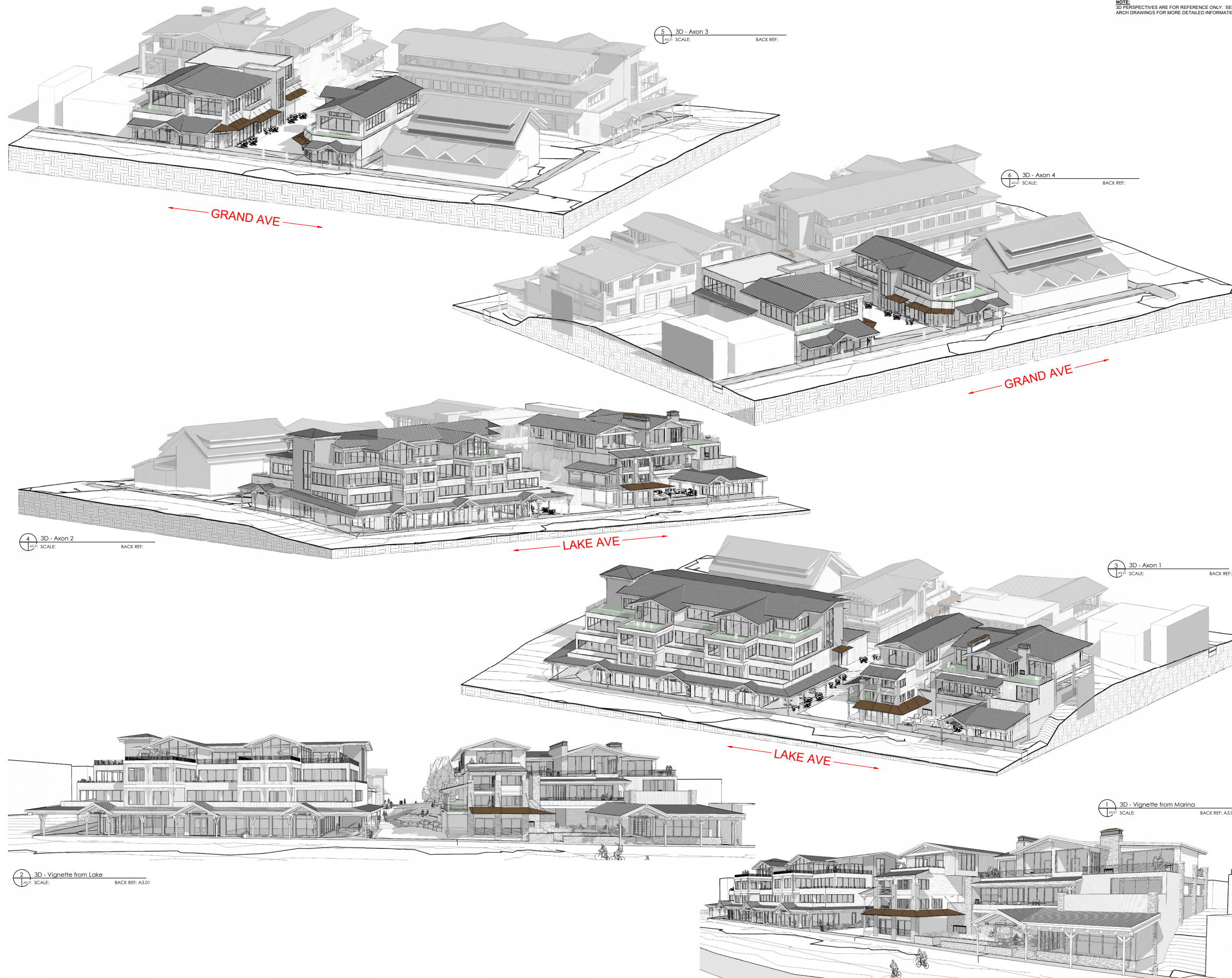
0' 10' 20' 40' 80'

SCALE: 1" = 20'-0"

TRUE NORTH



SITE PLAN: PLAT/PHASE CONCEPT



LEATHERWOOD GRAND LAKE

Spirit Lake Condos, LLC

BLOCK 5, GRAND LAKE, CO 80447

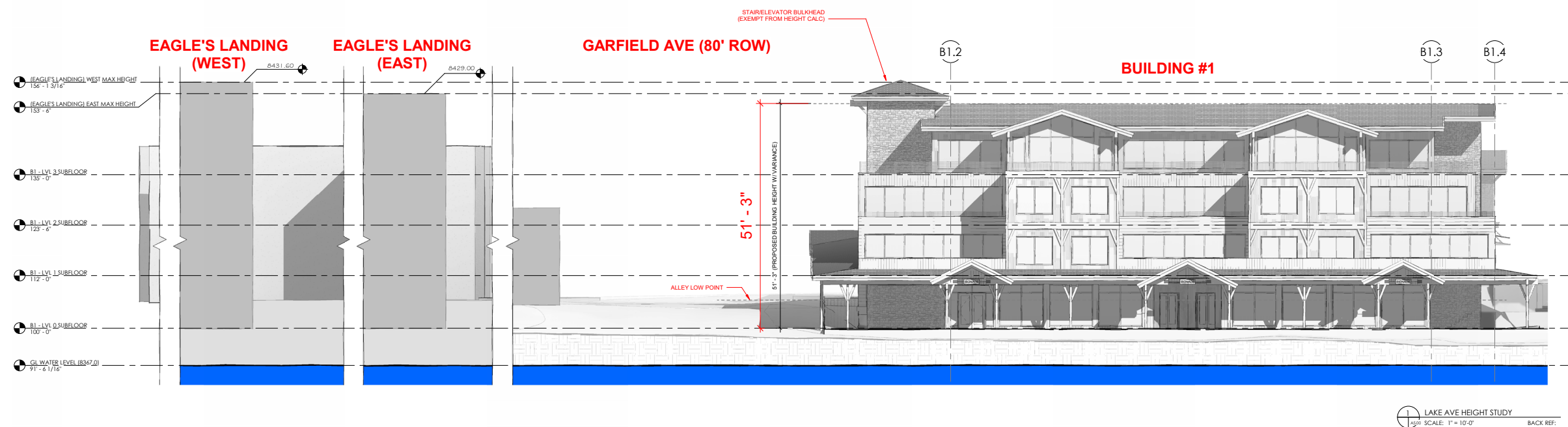
PROJECT #2402

CONCEPTUAL MASSING

LEATHERWOOD GRAND LAKE

Spirit Lake Condos, LLC

BLOCK 5, GRAND LAKE, CO 80447
PROJECT #2402



ALL ELEVATIONS ARE SCHEMATIC & REPRESENT GENERALIZED MASSING & MATERIALS. EXTERIOR MATERIALS, ROOFLINES, WINDOWS AND STYLE/DETAILS ARE IN-PROGRESS, FLEXIBLE & OPEN TO FEEDBACK.

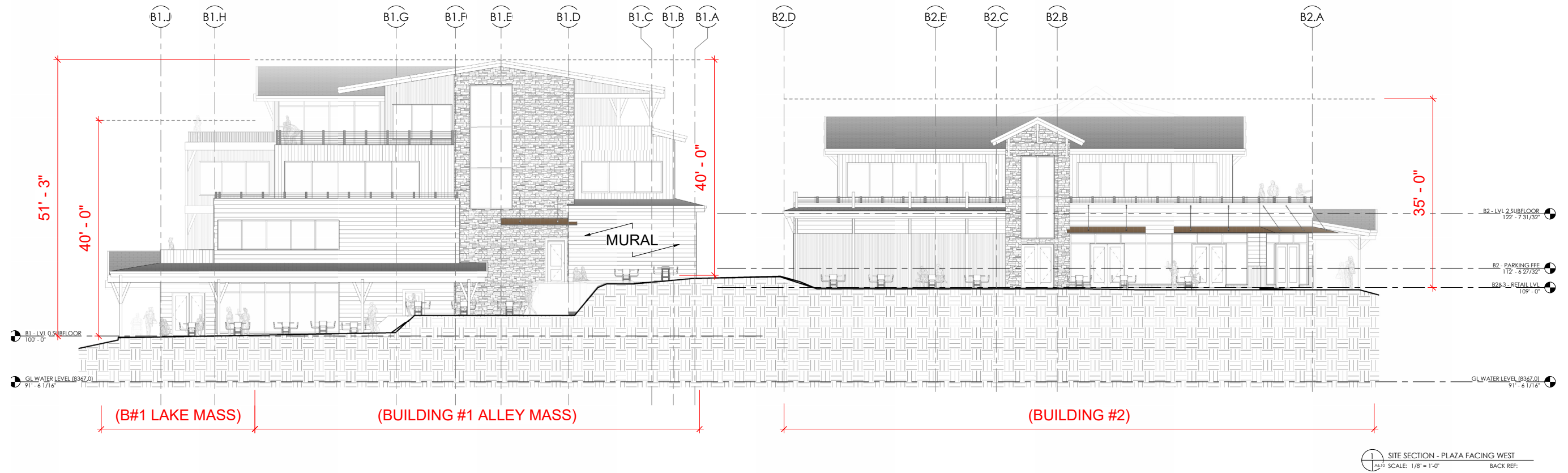
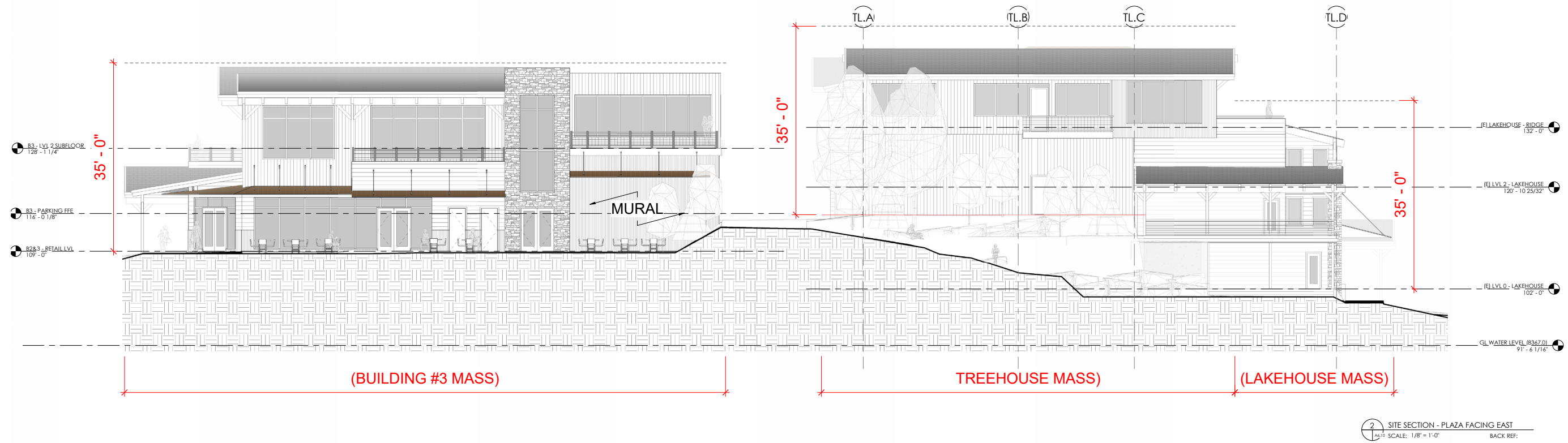
CONCEPTUAL MASSING - BUILDING #1 HEIGHT STUDY

LEATHERWOOD GRAND LAKE

Spirit Lake Condos, LLC

BLOCK 5, GRAND LAKE, CO 80447

PROJECT #2402

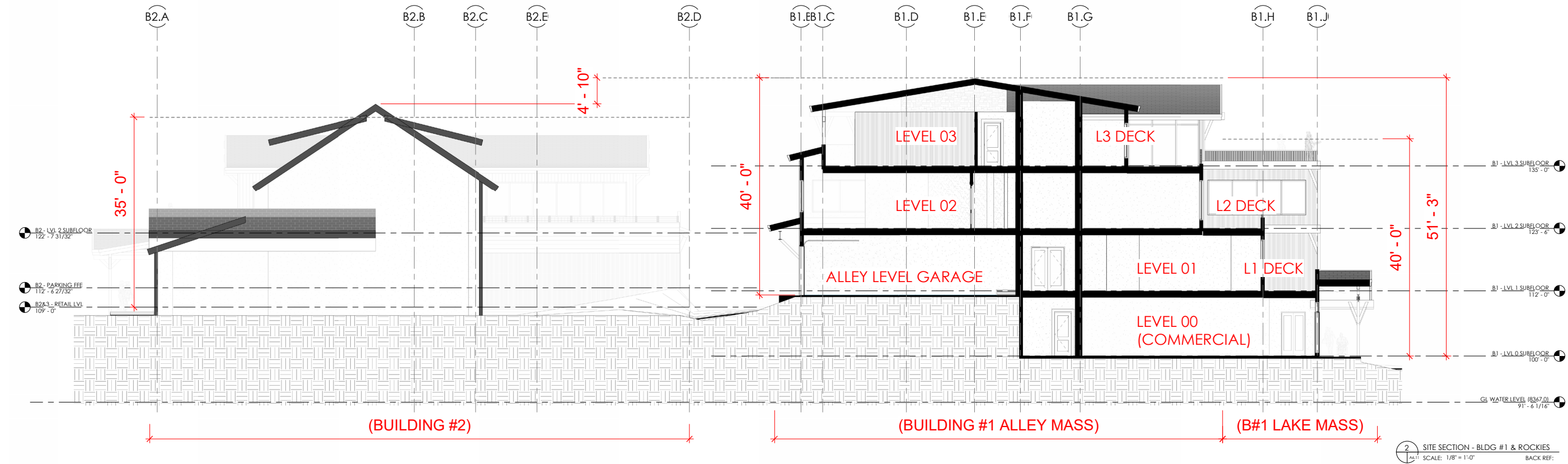
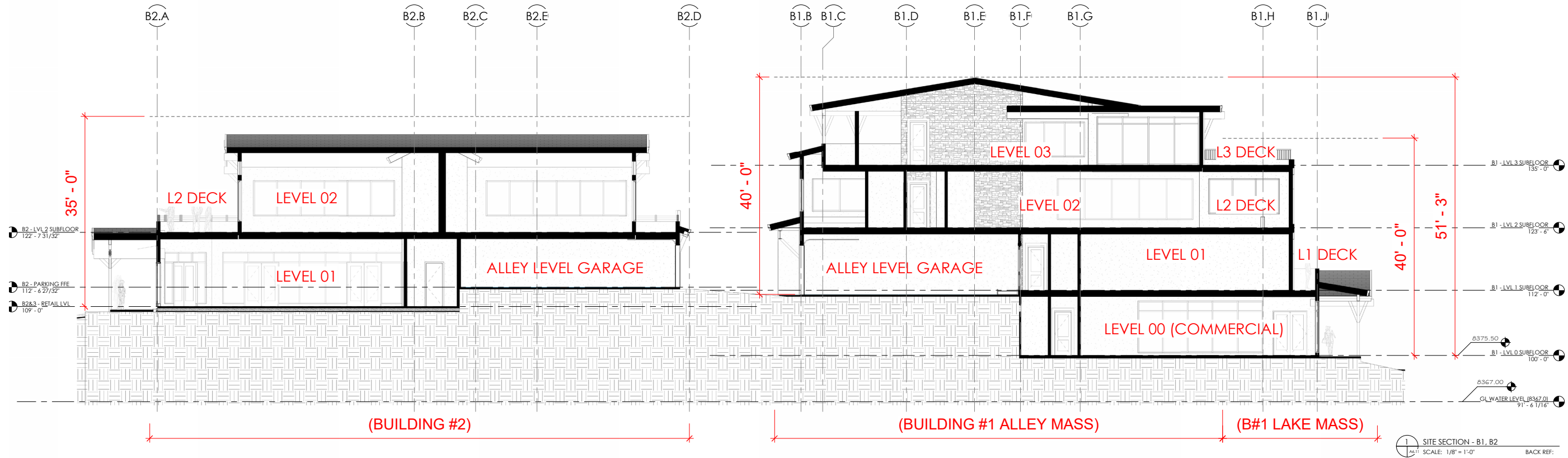


PLAZA SECTIONS/ELEVATIONS

LEATHERWOOD GRAND LAKE

Spirit Lake Condos, LLC

BLOCK 5, GRAND LAKE, CO 80447
PROJECT #2402

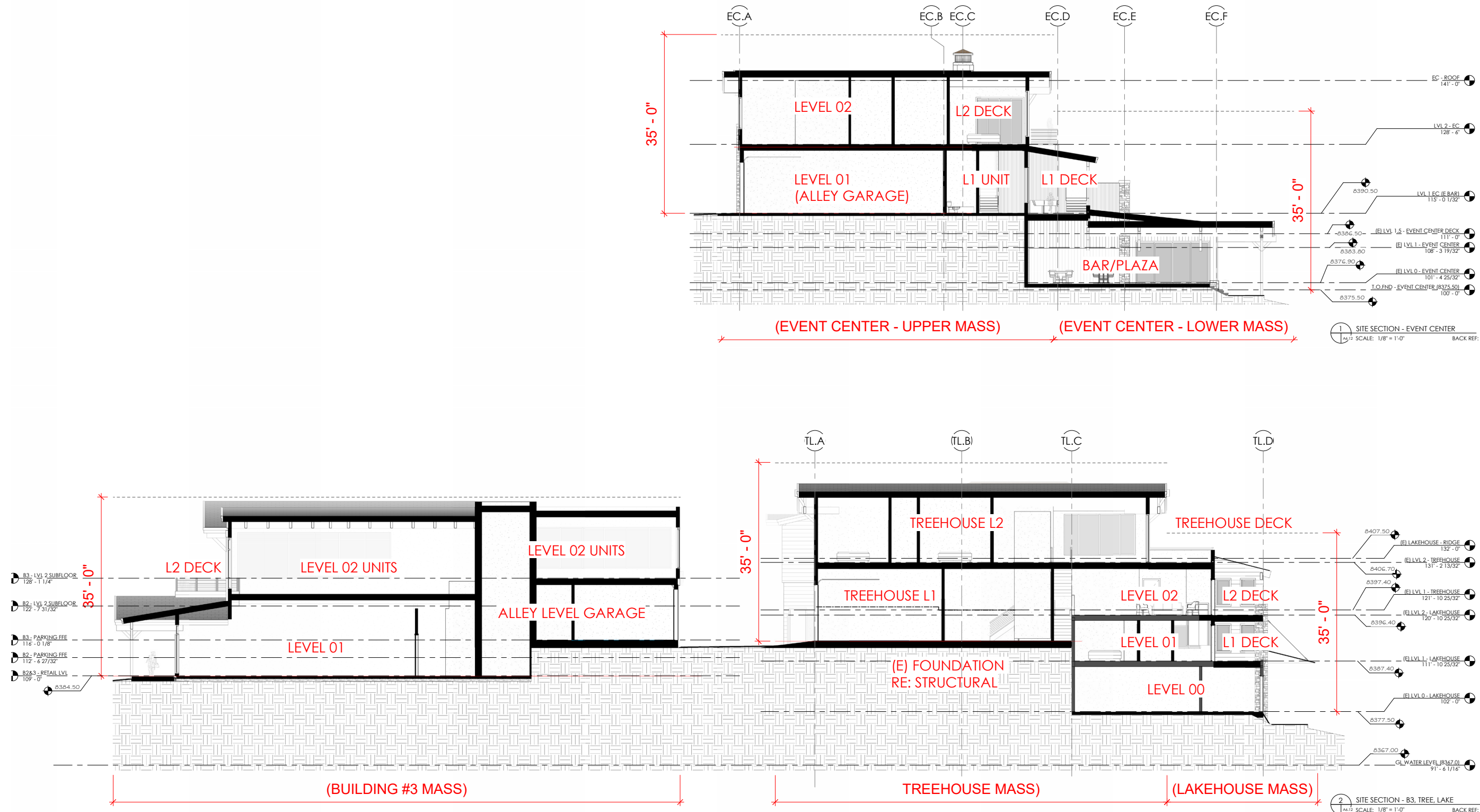


SITE SECTIONS

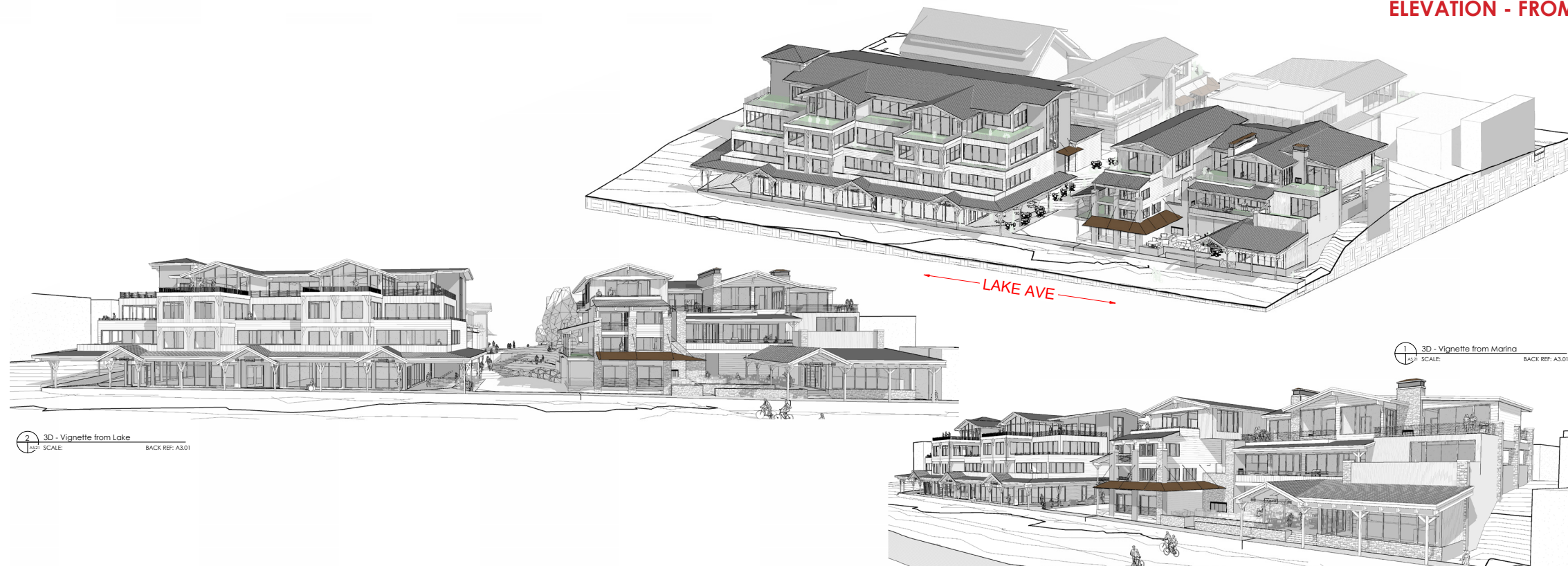
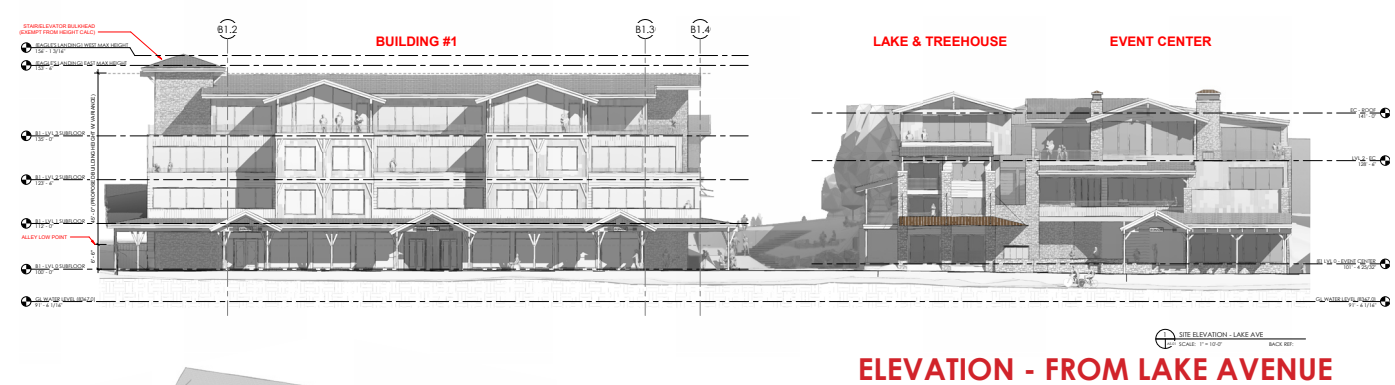
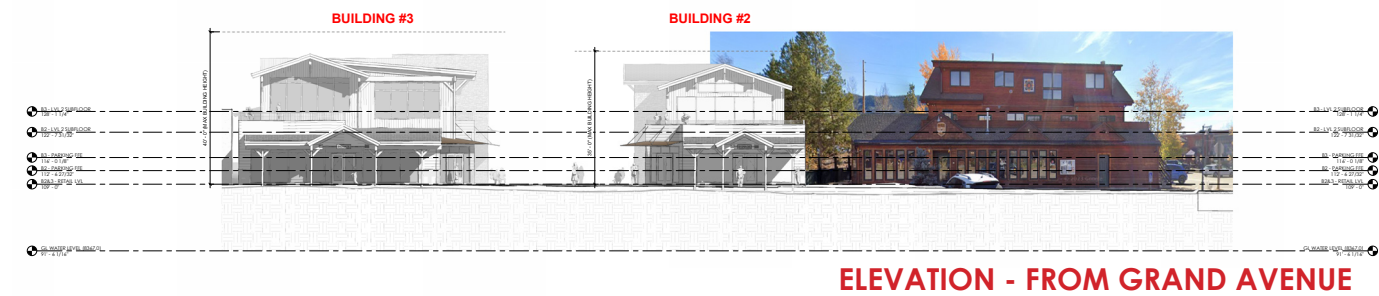
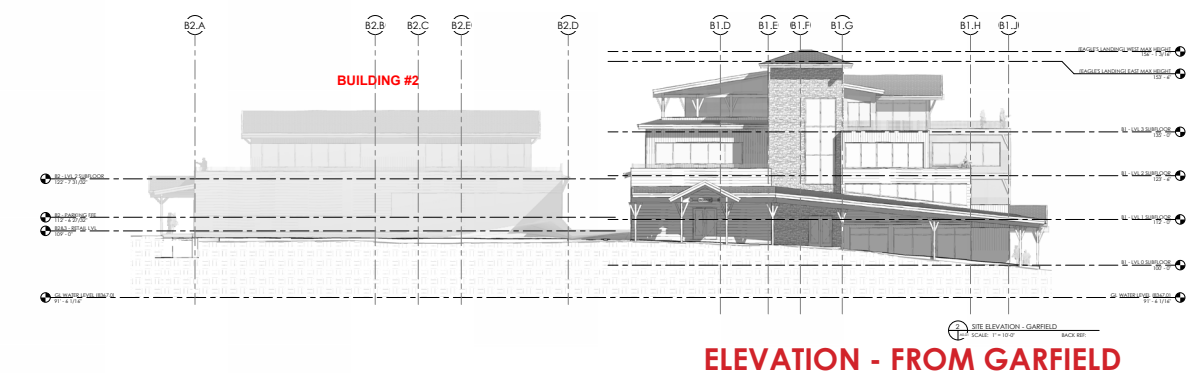
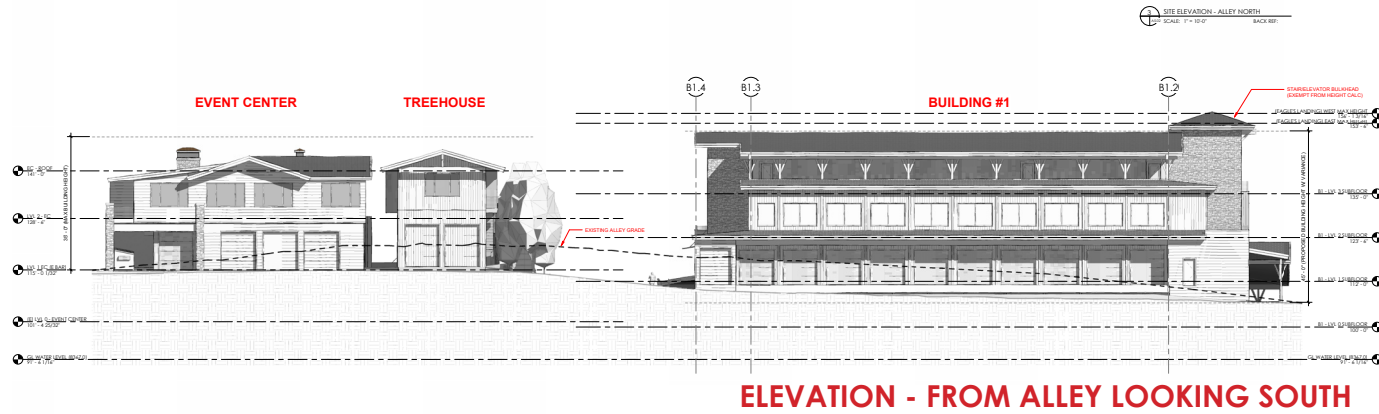
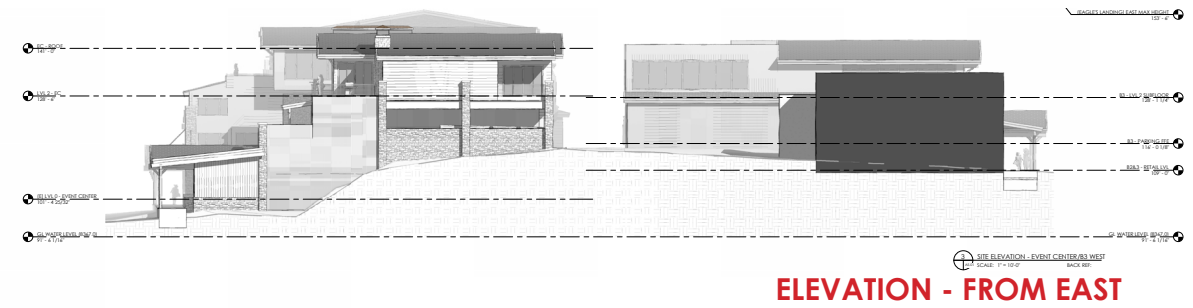
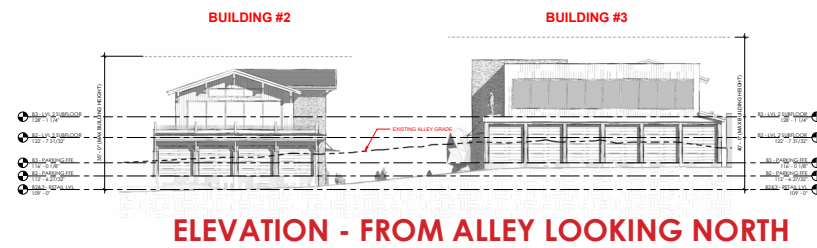
LEATHERWOOD GRAND LAKE

Spirit Lake Condos, LLC

BLOCK 5, GRAND LAKE, CO 80447
PROJECT #2402



SITE SECTIONS





MA
STUDIOS

Preliminary
Development
Plans

05/05/2025

LEATHERWOOD GRAND LAKE

Spirit Lake Condos, LLC

BLOCK 5, GRAND LAKE, CO 80447
PROJECT #2402

GRAND LAKE PALETTE



CONCEPTUAL RENDERINGS

MA
STUDIOS

Preliminary
Development
Plans

05/05/2025

LEATHERWOOD GRAND LAKE

Spirit Lake Condos, LLC

BLOCK 5, GRAND LAKE, CO 80447

PROJECT #2402



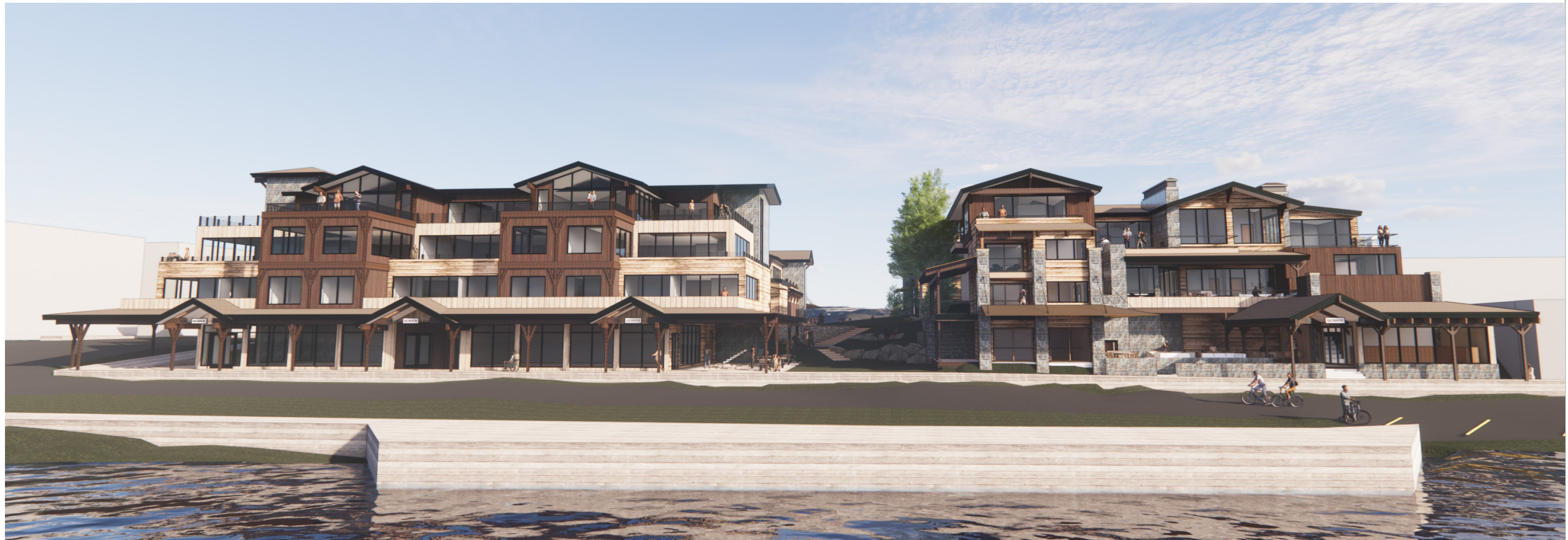
LEATHERWOOD GRAND LAKE

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PROJECT #2402

CONCEPTUAL RENDERINGS



LEATHERWOOD GRAND LAKE

Spirit Lake Condos, LLC

BLOCK 5, GRAND LAKE, CO 80447

PROJECT #2402



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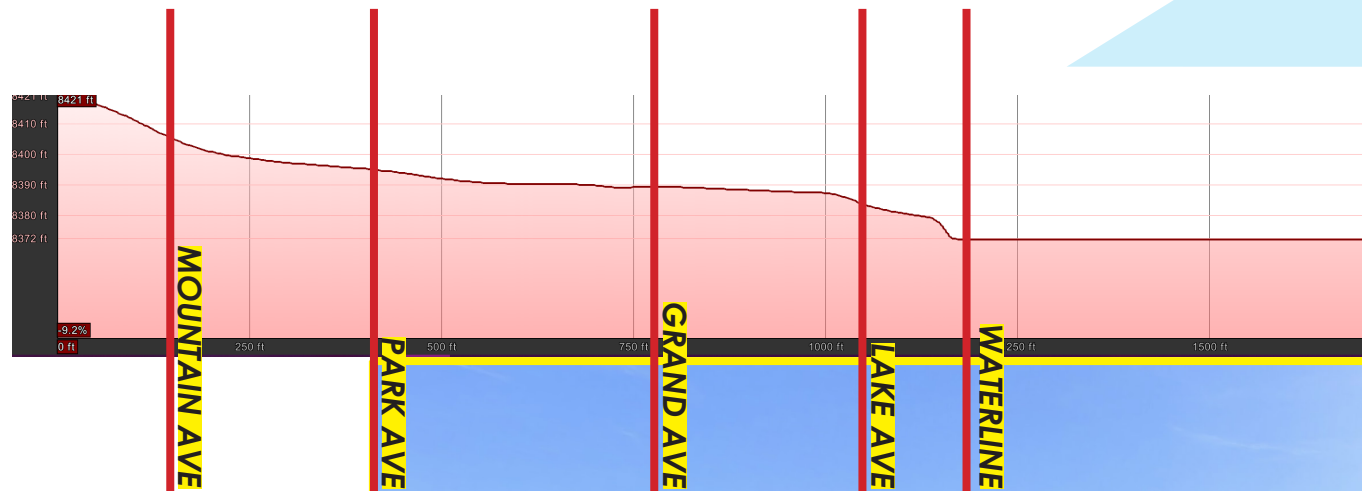


VIEW OF THE LAKE FROM MOUNTAIN AVE - NO VISUAL IMPACT FROM LEATHERWOOD



Grand Lake Viewshed

Building #1 potential view

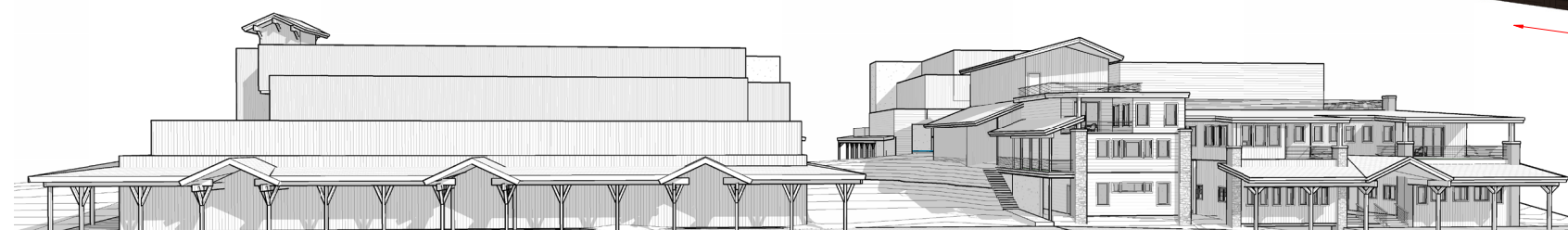
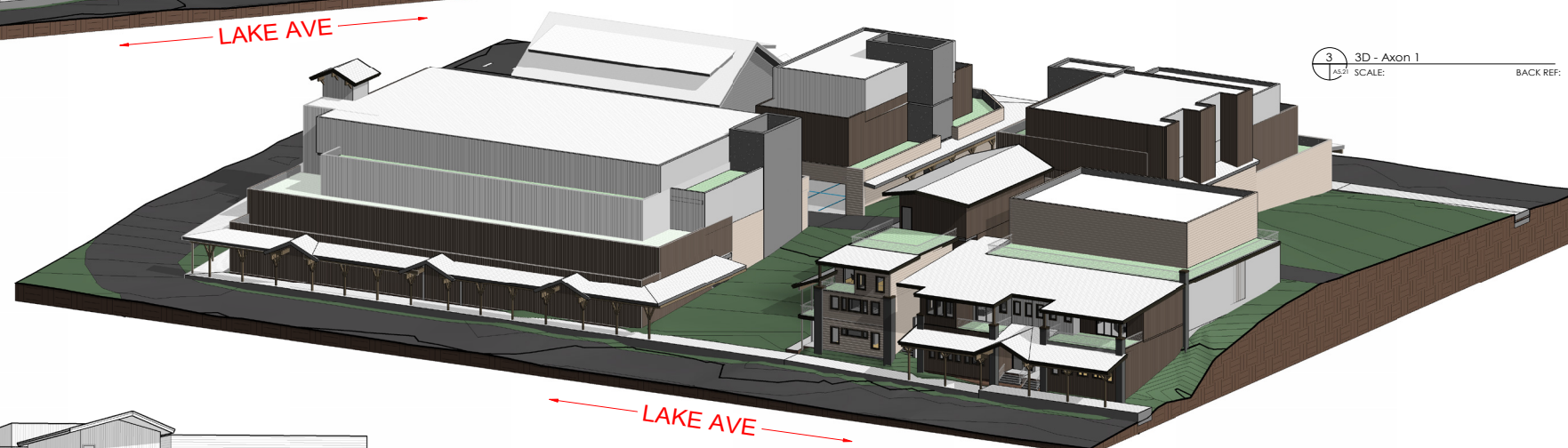
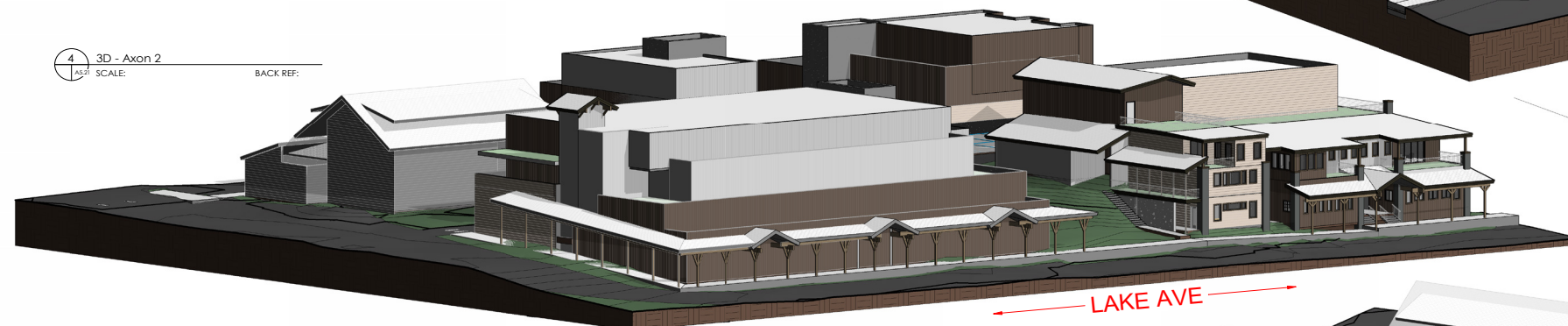
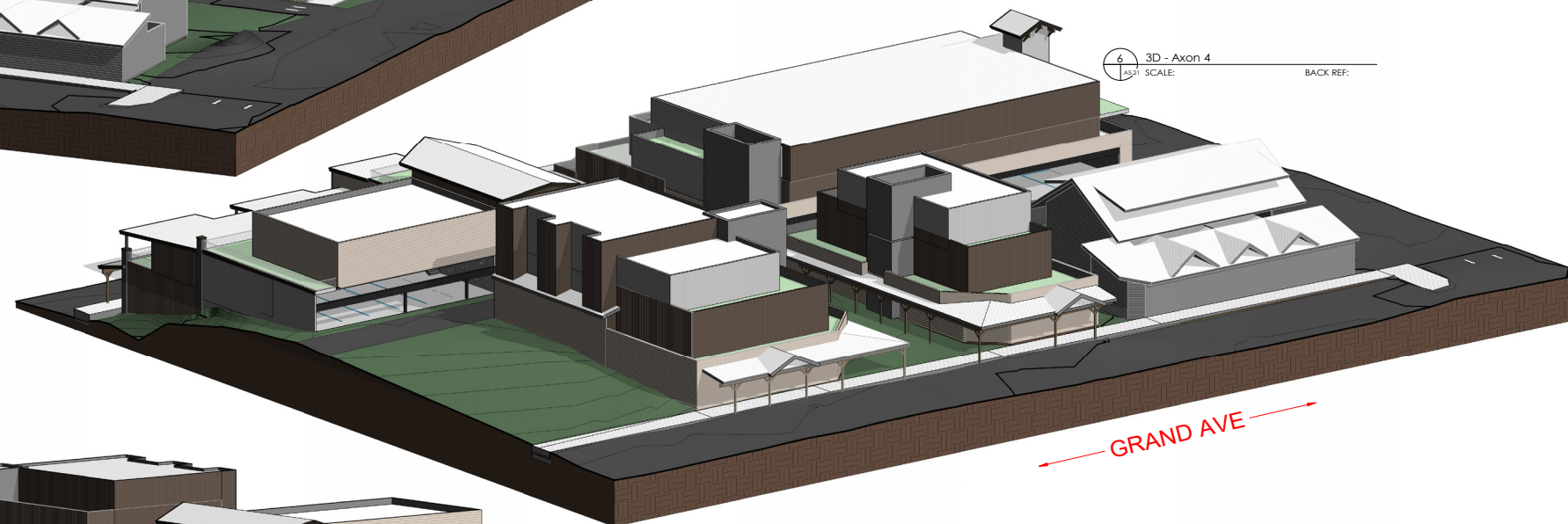
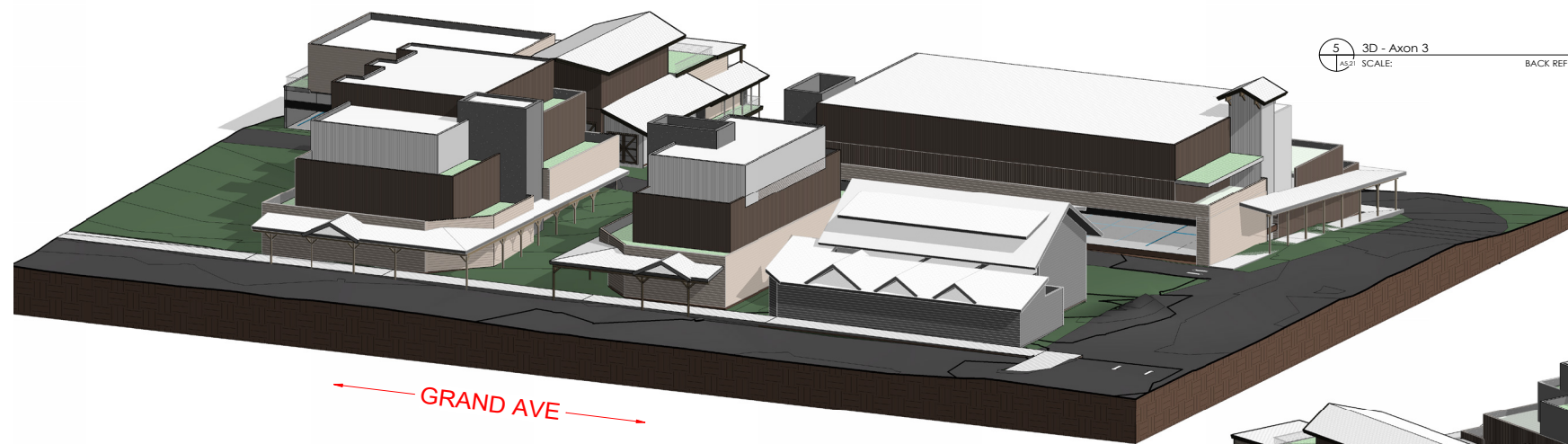


Grand Lake

Building #1
@ Leatherwood

Juniper Library
@ 316 Garfield St

IMPACT STUDY - MOUNTAIN AVE VIEW CORRIDOR



NOTE:
3D PERSPECTIVES ARE FOR REFERENCE ONLY. SEE
ARCH DRAWINGS FOR MORE DETAILED INFORMATION.

3-STORY MASSES ON GRAND AVE

MA
STUDIOS

Preliminary
Development
Plans

05/05/2025

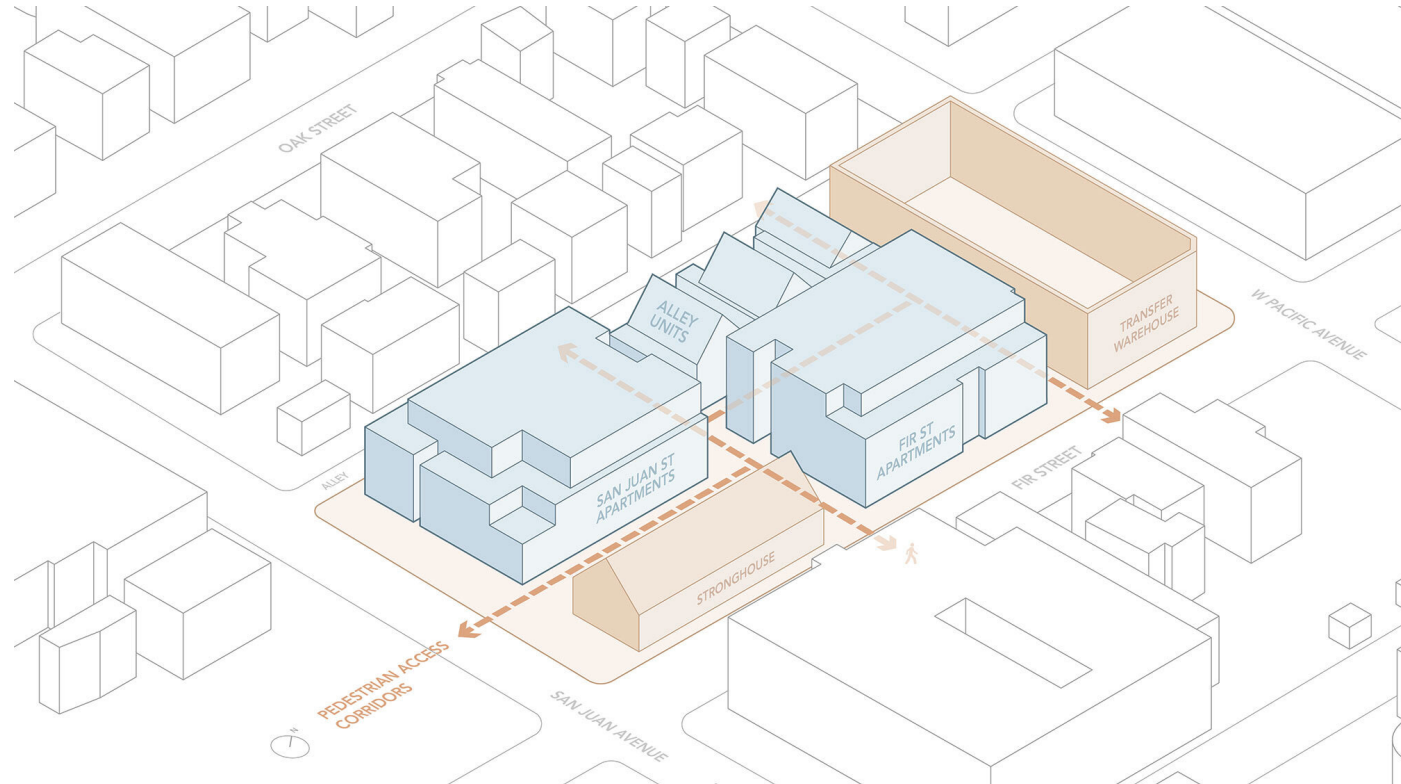
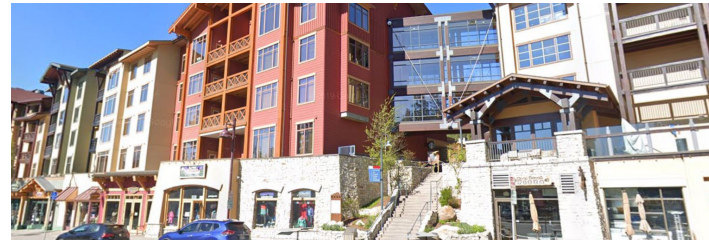
LEATHERWOOD GRAND LAKE

Spirit Lake Condos, LLC

BLOCK 5, GRAND LAKE, CO 80447

PROJECT #2402

PREVIOUS ITERATION - FROM 06/17/2024



“TELLURIDE TRANSFER”

CONCEPT DESIGN - PRECEDENT

LEATHERWOOD GRAND LAKE

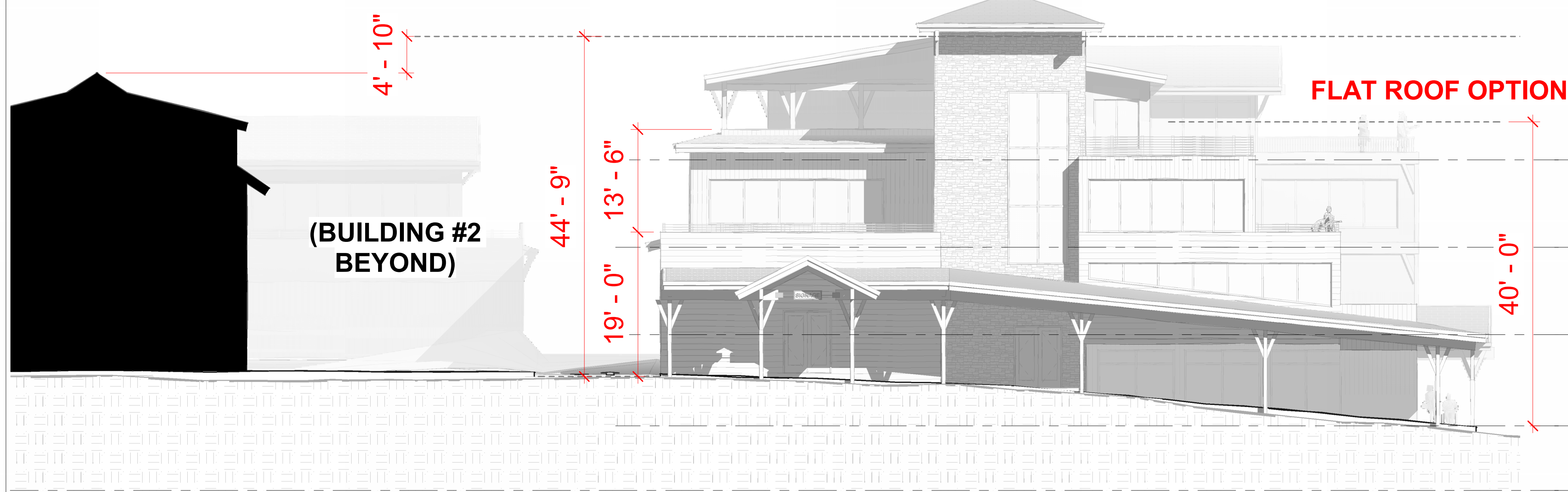
Spirit Lake Condos, LLC

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PROJECT #2402

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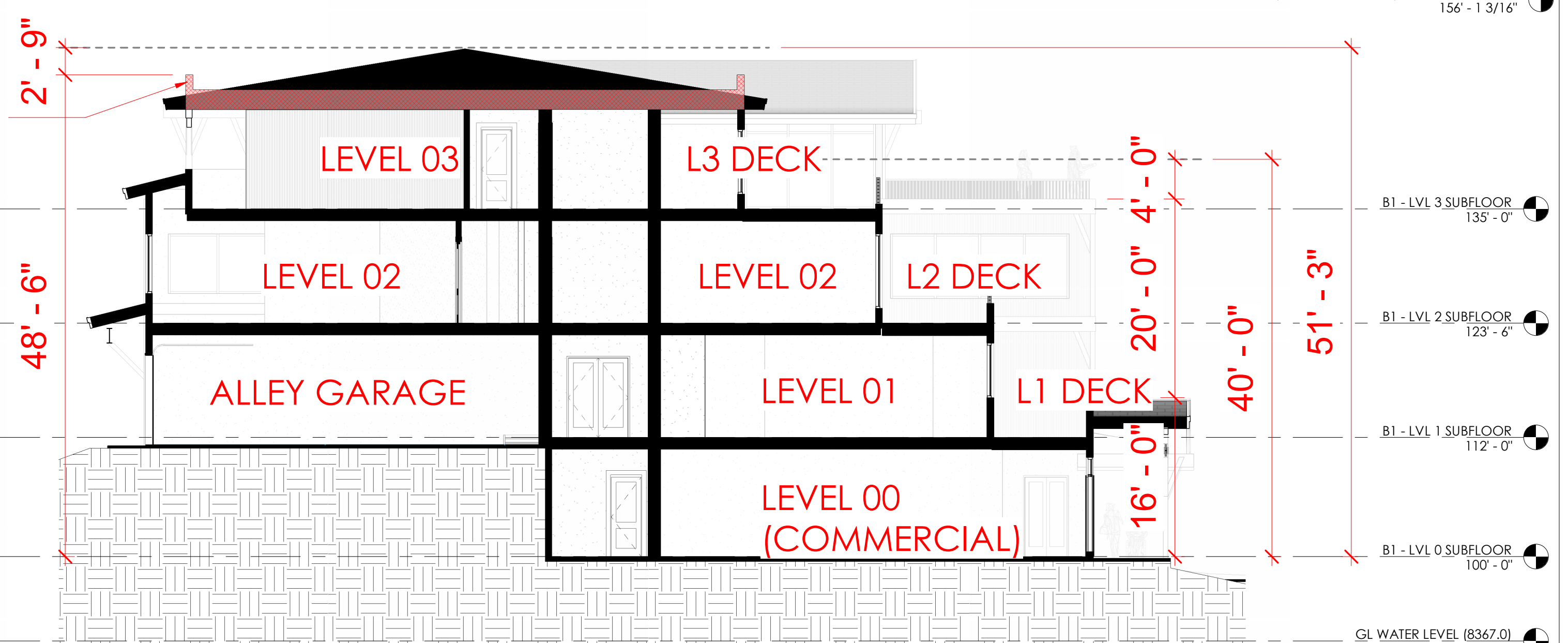
"ROCKIES" (EXISTING 3-STORY BLDG)



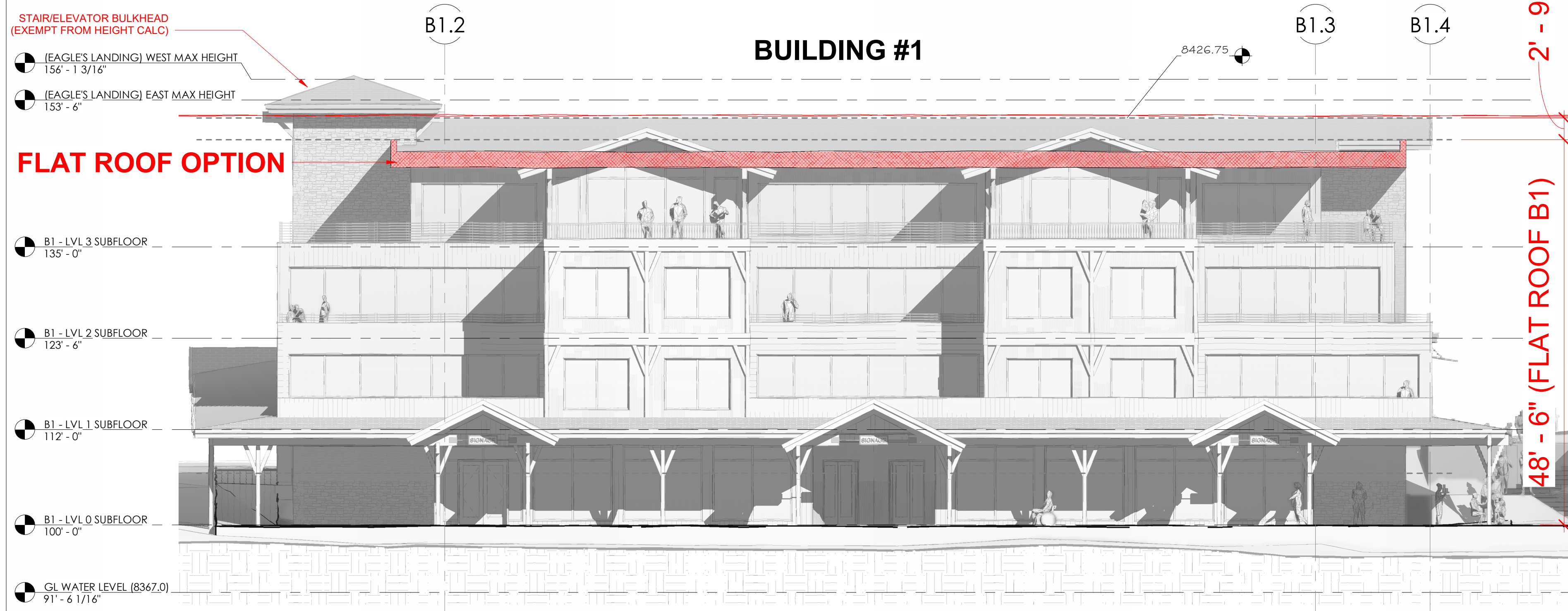
4 SITE ELEVATION - GARFIELD - ANNO
SCALE: 1" = 10'-0" BACK REF:

BUILDING #1 (ALLEY)

BUILDING #1 (LAKE)



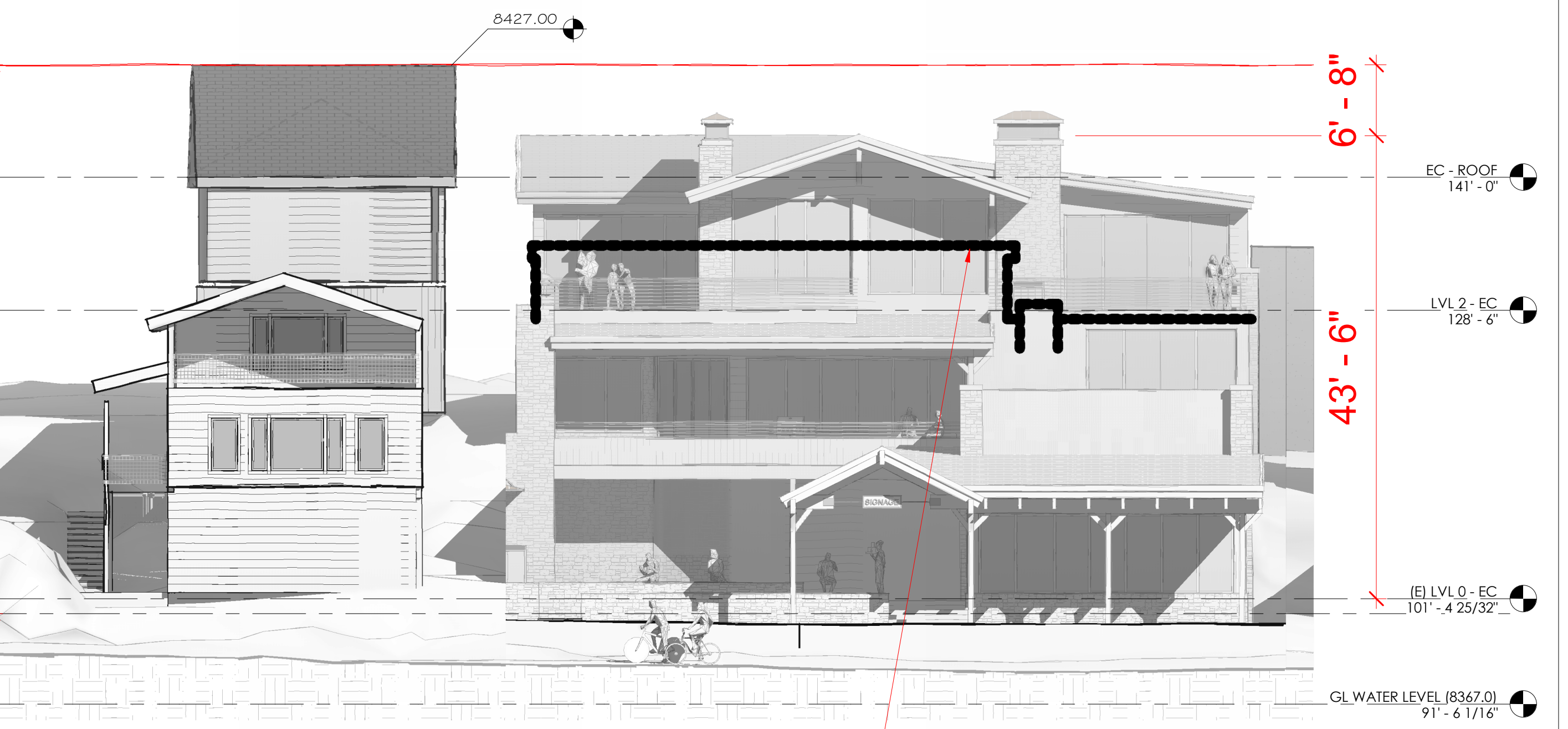
5 SITE SECTION - BLDG #1+
SCALE: 1" = 10'-0" BACK REF:



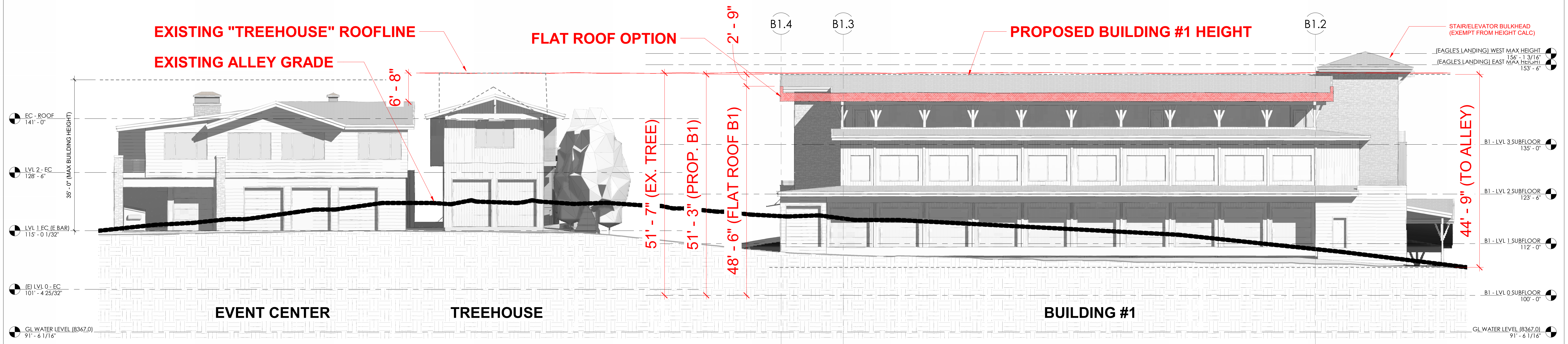
3 SITE ELEVATION - LAKE AVE - w/ existing BLDGS
SCALE: 1" = 10'-0" BACK REF:

EXISTING LAKE & TREEHOUSES

PROPOSED EVENT CENTER

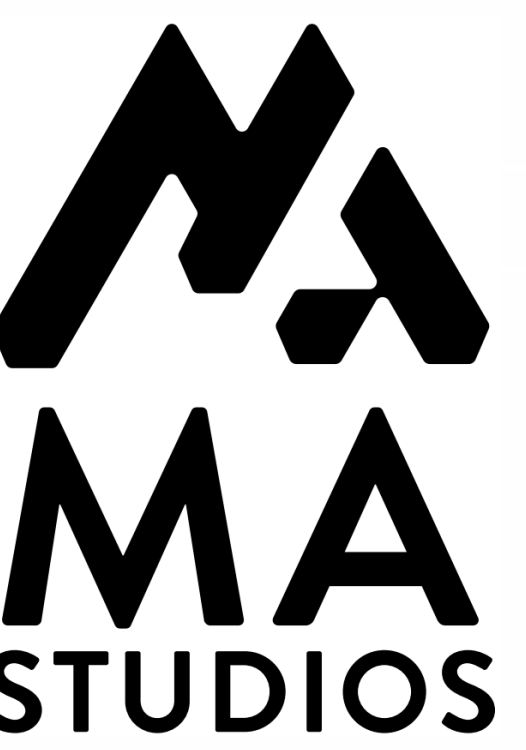


ROOFLINE OF EXISTING EVENT CENTER



1 ALLEY SOUTH - EVENT/TREE/BUILDING #1
SCALE: 1" = 10'-0" BACK REF:

ALL ELEVATIONS ARE SCHEMATIC & REPRESENT GENERALIZED MASSING & MATERIALS. EXTERIOR MATERIALS, ROOFLINES, WINDOWS AND STYLE/DETAILS ARE IN-PROGRESS, FLEXIBLE & OPEN TO FEEDBACK.



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LEATHERWOOD
SPIRIT LAKE CONDOS, LLC
BLOCK 5, GRAND LAKE, CO
PROJECT #: 2402

ISSUANCE: DATE:

NOT FOR CONSTRUCTION
FOR REFERENCE ONLY

SHEET TITLE:
BUILDING 1 HEIGHT STUDY

SHEET NUMBER:
A5.03