

GENERAL NOTES - 2015 IRC

1. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE SUFFICIENTLY IN ADVANCE OF WORK TO BE PERFORMED TO ASSURE THE ORDERLY PROGRESS OF THE WORK.
2. CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT. ALL APPLICABLE STATE, COUNTY, AND CITY REQUIREMENTS REGARDING BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE CODES SHALL BE VERIFIED BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS BEFORE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE.
3. ELECTRICAL INSTALLATION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE AND THE LOCAL BUILDING AUTHORITY.
4. MECHANICAL WORK SHALL BE EXECUTED AND INSPECTED IN ACCORDANCE WITH PUBLIC UTILITIES, REGULATIONS, AND LOCAL APPLICABLE CODES.
5. DISCREPANCIES WHICH MAY OCCUR IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION SUPERINTENDENT AND WRITTEN INSTRUCTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH THE WORK. THE SUBCONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS OF WHICH THE SUBCONTRACTOR FAILED TO NOTIFY THE CONSTRUCTION SUPERINTENDENT BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.
6. SUBMIT ALL MANUFACTURER'S AND PRODUCT SPECIFICATIONS AND CUT SHEETS TO THIS OFFICE AND THE OFFICE OF THE BUILDER FOR REVIEW AND APPROVAL.
7. ANY CONFLICTS WHICH MAY OCCUR DURING THE CONSTRUCTION PHASE BETWEEN THE NOTED CONSTRUCTION DOCUMENTS, APPLICABLE CODES HAVING JURISDICTION AND MANUFACTURER'S SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION SUPERINTENDENT AND THIS OFFICE FOR A FINAL CLARIFICATION.
8. IN AREAS WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS DESIGN INTENT, METHODS OR MATERIALS, THE CONSTRUCTION SUPERINTENDENT SHALL BE REQUIRED TO COORDINATE WITH THIS OFFICE AND RECEIVE FINAL INSTRUCTION AND APPROVAL PRIOR TO FABRICATION.
9. PERFORM ALL FOUNDATION AND SITE WORK IN ACCORDANCE WITH RECOMMENDATIONS ESTABLISHED WITHIN THE ENGINEER'S FINAL SOILS REPORT AND CRITERIA AS COORDINATED BY THE STRUCTURAL ENGINEER.
10. THIS OFFICE AND THE OFFICE OF THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION PROCEDURES, TECHNIQUES OR THE FAILURE OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, MANUFACTURER'S SPECIFICATIONS OR REQUIRED CODES.
11. SUBCONTRACTORS SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVER SPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS, ETC., SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.
12. FIELD MODIFICATIONS OR STRUCTURAL CHANGES, SHALL BE PROHIBITED UNTIL THE CONSTRUCTION SUPERINTENDENT HAS BEEN NOTIFIED IN ADVANCE AND INSTRUCTIONS GIVEN. MODIFICATIONS INITIATED WITHOUT PROPER AUTHORITY SHALL BECOME THE RESPONSIBILITY OF THE SUBCONTRACTOR.
13. THE GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL BE BOUND IN STRICT COMPLIANCE WITH MANUFACTURER'S DETAILS, SPECIFICATIONS AND RECOMMENDATIONS, AS WELL AS THE MOST CURRENT INDUSTRY STANDARDS INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF CONCRETE, MASONRY (CMU, FULL BRICK, BRICK VENEER, THIN BRICK, FULL STONE AND STONE VENEER, MORTAR, STUCCO (ALL TYPES), SIDING (ALL TYPES), TILE, WINDOWS, DOORS, STOREFRONT, SKYLIGHTS FLASHING (ALL TYPES), ROOFING (GUTTERS, DOWNSPOUTS), WATERPROOFING MEMBRANES, FIREPLACES (ALL TYPES), FIRE RATED ASSEMBLIES, MECHANICAL, PLUMBING, ELECTRICAL INSTALLATION, PENETRATIONS, GRILLS AND TERMINATIONS), VAPOR AND MOISTURE BARRIERS, INSULATION (ALL TYPES), SPECIALTY EQUIPMENT, APPLIANCES AND PREMANUFACTURED BUILDING COMPONENTS. ALL TERMINATIONS, TRANSITIONS, WEEPS AND OPENINGS SHALL BE SEALED, FLASHED, COUNTERFLASHED AND GASKETED PER MFGR SPECIFICATION AND INDUSTRY STANDARDS.
14. DO NOT SCALE DRAWINGS - WRITTEN DIMENSIONS TAKE PRECEDENCE. N.T.S. SHALL BE UNDERSTOOD TO MEAN "NOT TO SCALE".
15. EXTERIOR DIMENSIONS SHALL BE FROM THE OUTSIDE FACE OF STUDS OR OUTSIDE FACE OF FOUNDATION WALLS. (SEE PLANS)
16. ALL STUD WALLS ARE DIMENSIONED 3 1/2" OR 5 1/2" WIDE. ROUGH STUD FACE TO ROUGH STUD FACE UNLESS OTHERWISE NOTED.
17. FIELD MEASUREMENTS TO BE VERIFIED FOR PROPER FIT AND ATTACHMENT FOR ALL WINDOWS, DOORS, CABINETS, TRUSSES, APPLIANCES, HARDWARE, FIXTURES AND SPECIALIZED EQUIPMENT. ITEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
18. ALL WINDOWS AND EXTERIOR DOOR HEADER SIZES ARE TO BE PER STRUCTURAL PLANS.
19. INTERIOR PARTITIONS 2 X 5 AT 16" O.C. FOR ALL WALLS WITH (Ø) LAYER OF GYPSUM BOARD EACH SIDE UNLESS OTHERWISE NOTED.
20. ALL WINDOWS AND GLASS DOORS SHALL BE DOUBLE GLAZED W/ LOW-E. ALL EXTERIOR DOORS AND DOORS LEADING TO UNHEATED AREAS SHALL BE INSTALLED PER MFGR SPECS AND BE PROVIDED WITH MFGR RECOMMENDED WEATHERSTRIPPING, SEALANT AND FLASHING TO ENSURE PROPER CONTINUATION OF REQUIRED DRAINAGE PLANE.
21. ALL GLASS WITHIN 18" OF ANY FLOOR LINE SHALL BE TEMPERED SAFETY GLASS AS PER 2018 INTERNATIONAL RESIDENTIAL CODE (IRC).
22. ALL EGRESS WINDOWS FROM SLEEPING ROOMS SHALL HAVE MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. AND THE WINDOW SILL SHALL BE A MAXIMUM OF 42" ABOVE THE FINISH FLOOR.
23. PROVIDE ATTIC VENTILATION AS REQUIRED PER SECTION R806 - 2018 IRC.
24. DOWN SPOUTS TO DISCHARGE INTO 5' DOWNSPOUT EXTENSIONS OR CONC. SPLASH BLOCK. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING PER SOILS REPORT; CONNECT PERIMETER DRAINS AND ALL AREA DRAINS TO SUMP PIT.
25. ALL INSULATION CONDITIONS SHALL MEET THESE MINIMUM PRESCRIPTIVE REQUIREMENTS AS FOLLOWS: A RESCHECK CERTIFICATE MAY BE REQUIRED BY CERTAIN JURISDICTIONS.

BUILDING ENVELOPE REQUIREMENTS PER TABLE R402.1.1

R-30 MAX "U"	GLAZING - DOUBLE PANE W/ LOW-E
R-19 BATTS	ENCAPSULATED BATTS AT ALL BASEMENT WALLS
R-20 BATTS	2 X 6 EXTERIOR FRAME WALLS
R-49 BATT	OR BLOWN AT ATTIC AREAS
R-30 BATT	OR BLOWN AT HABITABLE FLOOR AREAS OVER UNHEATED SPACES, U.O.N.
EXCEPTION: PROVIDE ENOUGH INSULATION TO FILL FRAMING CAVITY, R-19 MIN.	

26. ROOF TRUSS MANUFACTURER TO VERIFY DIMENSIONS AND COORDINATE TRUSS HANGERS, DETAILS, PROFILES, AND LAYOUTS. THIS OFFICE, THE GENERAL CONTRACTOR, THE SUBCONTRACTOR AND THE STRUCTURAL ENGINEER'S OFFICE SHALL REVIEW ALL ENGINEERED TRUSS SHOP DRAWINGS PRIOR TO FINAL TRUSS FABRICATION.
27. FLOOR JOIST SUPPLIER TO VERIFY DIMENSIONS AND COORDINATE JOIST LAYOUT PLAN AND APPROPRIATE DETAILS. THIS OFFICE, THE GENERAL CONTRACTOR, THE SUBCONTRACTOR AND THE STRUCTURAL ENGINEER'S OFFICE SHALL REVIEW ALL DRAWINGS PRIOR TO CONSTRUCTION.
28. PROVIDE INSULATION AROUND ALL PLUMBING AND HEATING LINES EXPOSED TO TEMPERATURE DIFFERENTIALS.
29. SMOKE DETECTORS: PROVIDE AS REQUIRED PER SEC. R314 2018 I.R.C.
30. REFER TO GENERAL CONTRACTOR AND MFGR SPECIFICATIONS FOR ALL OTHER INFORMATION NOT SPECIFIED ON THE CONSTRUCTION DRAWINGS. THESE DRAWINGS ARE A "BUILDER'S SET OF PLANS" AND FOR CONSTRUCTION INTENT. MFGR SPECIFICATIONS SHALL SUPERSEDE CONSTRUCTION DRAWINGS. ANY DISCREPANCIES BETWEEN THESE SPECIFICATIONS AND THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE CONSTRUCTION SUPERINTENDENT'S ATTENTION PRIOR TO CONSTRUCTION.
31. ALL SUBCONTRACTORS SHALL COMPLY W/ BUILDERS OSHA SAFETY AND HEALTH PLAN, INCLUDING BUT NOT LIMITED TO THE APPROPRIATE USE OF FALL PROTECTION, SCAFFOLD, HOUSEKEEPING, ELECTRICAL CORDS, PPE'S INCLUDING HARD-HATS AND SAFETY GLASSES.
32. THESE PLANS ARE DESIGNED TO BE BUILT BY THE BUILDER. THE BUILDER IS RESPONSIBLE TO ENSURE QUALITY CONTROL OF THE INSTALLATION OF ALL BUILDING SYSTEMS PER MFGR, RECOMMENDATIONS. THE BUILDER AGREES TO HOLD HARMLESS THE DESIGNER FOR ALL MATTERS HAVING TO DO WITH THE CONSTRUCTION OF THESE PLANS.
33. ANY GENERAL OR SPECIFIC DETAIL NOT SHOWN, OR ANY AND ALL CONNECTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL ADDITIONAL WORK REQUIRED FOLLOWING THE ISSUANCE OF A BUILDING PERMIT WILL BE BILLED AT SET HOURLY RATES.
34. ALL DROPPED SOFFITS FOR MECHANICAL / PLUMBING ARE A CONCEPTUAL LAYOUT. ADDITIONAL SOFFITS MAY BE REQUIRED. FIELD VERIFY ALL DIMENSIONS AND LOCATIONS COORDINATE W/ GENERAL CONTRACTOR AND UTILITY CONTRACTOR PRIOR TO CONSTRUCTION.
35. ALL TILE WORK TO CONFORM W/ CURRENT TCA INSTALLATION SPECIFICATIONS & GUIDELINES. MASTIC SHALL NOT BE APPROVED FOR ANY TILE OR STONE INSTALLATIONS.
36. GENERAL CONTRACTOR SHALL VERIFY REQUIREMENTS AND REFER TO THE 2018 IRC - APPENDIX F FOR NEW CONSTRUCTION IN JURISDICTIONS WHERE RADON-RESISTANT CONSTRUCTION IS REQUIRED. RADON CONTROL METHODS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING CONSTRUCTION TECHNIQUES TO PREPARE THE BUILDING FOR POST-CONSTRUCTION RADON MITIGATION. BASEMENT SLABS SHALL BE PREPARED WITH A UNIFORM LAYER OF 1/2" - 2" CLEAN AGGREGATE OR SAND A MINIMUM OF 4" THICK AND OVERLAPPED WITH 6-MIL POLYETHYLENE OR EQUIVALENT FLEXIBLE SHEETING MATERIAL COVERING THE ENTIRE FLOOR AREA WITH SEPARATE SECTIONS OF SHEETING LAPPED AT LEAST 12 INCHES. ALL CONSTRUCTION JOINTS IN THE CONC. SLAB OR BETWEEN CONC. SLABS AND FOUNDATION WALLS SHALL BE SEALED WITH A CAULK OR SEALANT. ALL PENETRATIONS WITHIN CONC. SLAB AND FOUNDATION WALLS BELOW GROUND SURFACE SHALL BE FILLED WITH A POLYURETHANE CAULK OR EQUIVALENT SEALANT. SUMP PITS SHALL BE COVERED WITH A GASKETED OR OTHERWISE SEALED LID AND DESIGNED TO ACCOMMODATE A 3" MIN. VENT PIPE. CRAWL SPACE AREAS SHALL BE OVERLAPPED WITH 6-MIL POLYETHYLENE OR EQUIVALENT FLEXIBLE SHEETING MATERIAL COVERING THE ENTIRE FLOOR AREA WITH SEPARATE SECTIONS OF SHEETING LAPPED AT LEAST 12 INCHES. CRAWL SPACE ACCESS, PENETRATIONS AND DUCTWORK LOCATED IN CRAWL SPACE SHALL BE GASKETED OR SEALED TO PREVENT AIR LEAKAGE. CRAWL SPACE VENTILATION SHALL COMPLY WITH SECTION R809, 2018 IRC. A 3"-4" DIAMETER PLUMBING TEE OR OTHER APPROVED CONNECTION SHALL BE INSTALLED BENEATH THE SOIL-GAS-RETARDER AND CONNECTED TO A VERTICAL VENT PIPE THAT EXTENDS UP THROUGH THE BUILDING FLOORS, TERMINATED AT LEAST 12 INCHES ABOVE THE ROOF IN A LOCATION AT LEAST 10 FEET AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2 FEET BELOW THE EXHAUST POINT, AND 10 FEET FROM ANY WINDOW OR OTHER OPENING IN ADJOINING OR ADJACENT BUILDINGS. THE VENT PIPE SHALL BE IDENTIFIED WITH A LABEL AT EACH FLOOR AND ACCESSIBLE ATTICS THAT READS "RADON REDUCTION SYSTEM", AND SHALL BE INSTALLED TO PROVIDE POSITIVE DRAINAGE TO THE GROUND BENEATH THE SOIL-GAS-RETARDER. A SEPARATE VENT PIPE SHALL BE PROVIDED FOR EACH DIFFERENT FOUNDATION TYPE AND SHALL BE TERMINATED SEPARATELY OR COMBINED TO TERMINATE ABOVE THE ROOF. TO PROVIDE FOR FUTURE INSTALLATION OF AN ACTIVE SUB-MEMBRANE OR SUB-SLAB DEPRESSURIZATION SYSTEM, AN ELECTRICAL CIRCUIT TERMINATED IN PROVIDED BOX SHALL BE INSTALLED DURING CONSTRUCTION IN THE ATTIC OR OTHER ANTICIPATED LOCATION OF VENT PIPE FANS. AN ELECTRICAL SUPPLY SHALL ALSO BE ACCESSIBLE IN ANTICIPATED LOCATIONS OF SYSTEM FAILURE ALARMS.
37. THE DESIGNER HAS PROVIDED A LIMITED SCOPE OF PROFESSIONAL SERVICES FOR THIS PROJECT AT THE REQUEST OF THE OWNER. THE CONTRACT DOCUMENTS PROVIDED UNDER SUCH LIMITED SERVICES SHALL BE TERMED "BUILDER'S SET". IN RECOGNITION OF THE OWNER'S DECISION TO RELY ON THE CONTRACTOR'S SOPHISTICATION AND EXPERIENCE IN CONSTRUCTION OF THIS TYPE OF BUILDING, BY ENTERING INTO A CONTRACT WITH THE OWNER, THE CONTRACTOR WARRANTS TO THE OWNER AND THE ARCHITECT THAT HE / SHE POSSESSES THE PARTICULAR COMPETENCE AND SKILLS TO BUILD THIS PROJECT WITHOUT FULL ARCHITECTURAL DESIGN AND ENGINEERING SERVICES AND CONSTRUCTION DOCUMENTS. USE OF THE "BUILDER'S SET" BY THE CONTRACTOR FOR THIS PROJECT MAY REQUIRE MAKING ADJUSTMENTS TO THE FIELD CONDITIONS TO ASSURE THE GENERAL INTENT IS CARRIED OUT IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, LAND USE CODES, MANUFACTURER INSTALLATION REQUIREMENTS, AND INDUSTRY STANDARDS. CHANGES MADE IN THE FIELD WITHOUT PRIOR NOTICE AND CONSENT OF THE DESIGNER ARE UNAUTHORIZED AND SHALL RELIEVE THE DESIGNER OF RESPONSIBILITY FROM ALL CONSEQUENCES ARISING FROM SUCH CHANGES. IN THE EVENT THAT ANY DISCREPANCY OR AMBIGUITY IS DISCOVERED DURING THE USE OF THE PLANS OR ADDITIONAL DETAILS OR GUIDANCE IS NEEDED BY THE OWNER OR CONTRACTOR, PROMPT AND TIMELY NOTICE SHALL BE GIVEN TO THE DESIGNER IN THE FORM OF WRITTEN REQUEST FOR INFORMATION (RFI). FAILURE TO DO SO SHALL RELIEVE THE DESIGNER OF RESPONSIBILITY FOR ANY AND ALL CONSEQUENCES.

SCOPE OF WORK

NEW MIXED USE BUILDING

BUILDING AND SITE

ADDRESS:
900 GRAND AVE
GRAND LAKE, CO 80447

OWNER:
900 THOUSAND LLC
3011 COUNTY RD 3
FRASER, CO 80442

LEGAL DESCRIPTION AND PARCEL:
GRAND LAKE LOT 8 0004-11

PARCEL NO.: 1930222013
SCHEDULE NO.: R310081

HEIGHT:
3 STORY SLAB ON GRADE

FINISHED AREA (MAIN): 2452
FINISHED AREA 2ND FLOOR: 2879
FINISHED AREA 3RD FLOOR: 2272

DRAWING LIST

1	COVER
2	SITE PLAN
3	ISOMETRIC VIEWS
4	FLOOR PLANS
5	FLOOR PLANS
6	FLOOR PLANS
7	ELEVATIONS
8	ELEVATIONS

CODE INFORMATION - IRC

GRAND COUNTY HAS ADOPTED 2015 BUILDING CODES WITH LOCAL AMENDMENTS, EFFECTIVE JUNE 30, 2018.

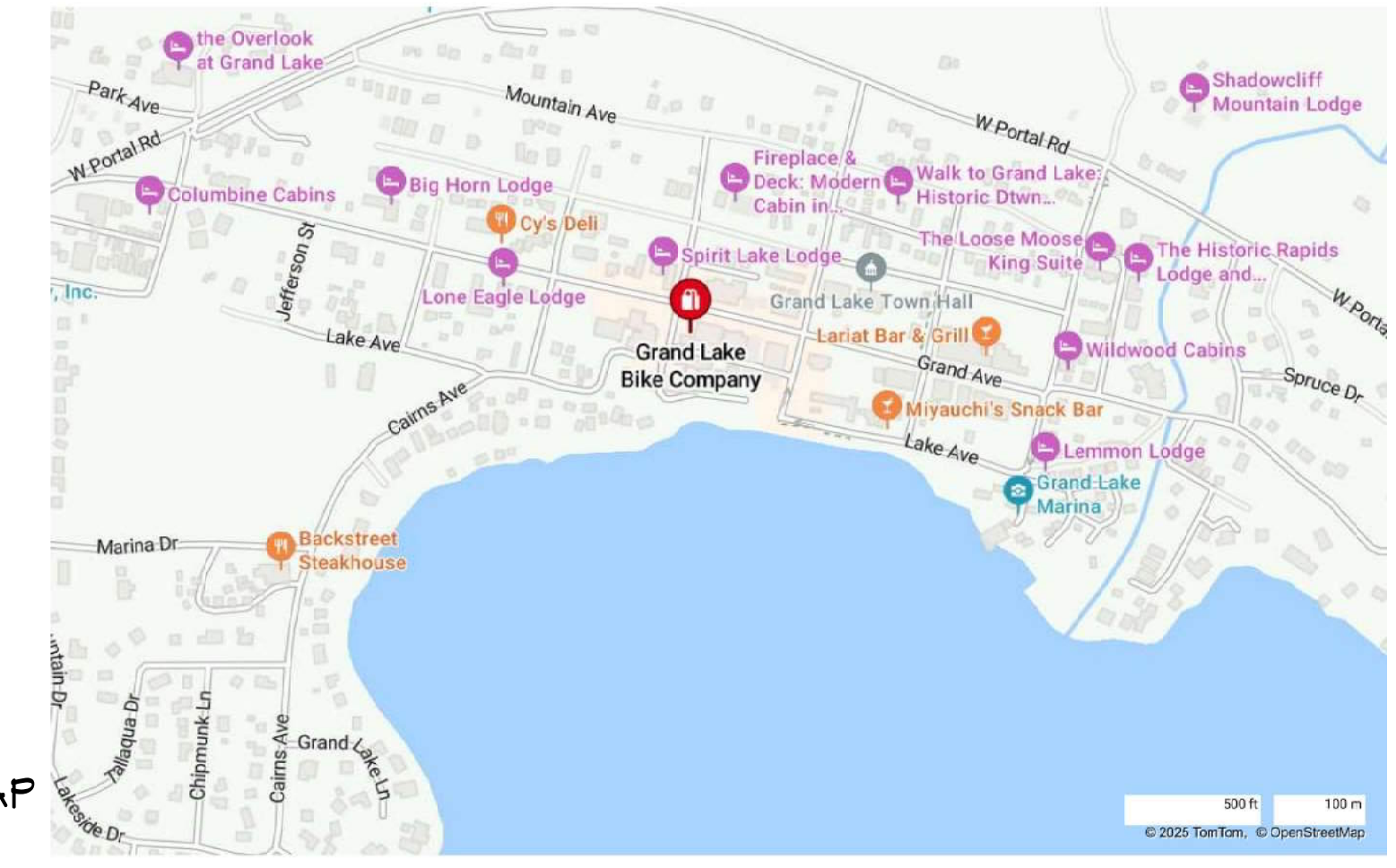
2015 INTERNATIONAL RESIDENTIAL CODE

THE FOLLOWING CODES ARE CURRENTLY IN EFFECT WITHIN THE COUNTY:

2015 INTERNATIONAL RESIDENTIAL CODE, ADOPTED AMENDMENTS
2015 INTERNATIONAL BUILDING CODE, ADOPTED AMENDMENTS
2015 INTERNATIONAL MECHANICAL CODE, ADOPTED AMENDMENTS
2015 INTERNATIONAL PLUMBING CODE, ADOPTED AMENDMENTS
2015 INTERNATIONAL FUEL GAS CODE, ADOPTED AMENDMENTS
2015 INTERNATIONAL ENERGY CONSERVATION CODE, ADOPTED AMENDMENTS
2015 INTERNATIONAL EXISTING BUILDING CODE
2002 NATIONAL ELECTRICAL CODE
2015 INTERNATIONAL FIRE CODE, ADOPTED AMENDMENTS

DESIGN CRITERIA

ROOF SNOW LOAD: 75psf, DEAD LOAD: 20psf, GROUND SNOW LOAD: 107psf
FLOOR LIVE LOAD: 40psf, DEAD LOAD: 10psf
WIND SPEED - 115 MPH (VULT + 146 MPH)
EXPOSURE CATEGORY: C
SEISMIC DESIGN CATEGORY: B
FROST LINE DEPTH: 36 INCHES
ICE BARRIER - REQUIRED



VICINITY MAP



FOR USE OF THE GRAND CO. CLERK & REGORDER

REVISION TABLE	REVISION BY / DESCRIPTION
NUMBER	DATE

COVER

900 GRAND AVE
GRAND LAKE, CO
PRELIMINARY DEVELOPMENT PLAN



DRAWINGS PROVIDED BY:

DATE:

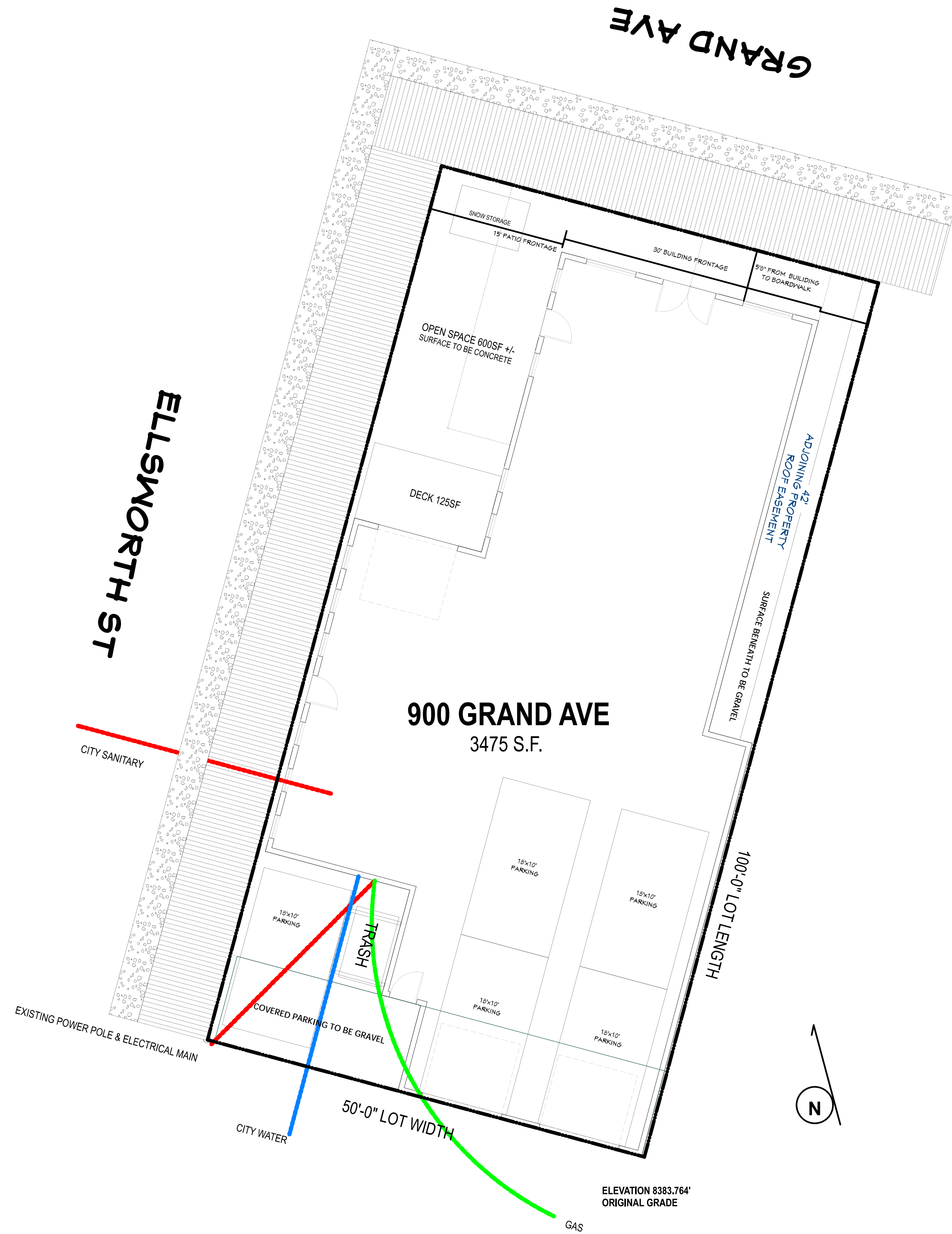
2/18/2026

SCALE:

SHEET:

1 OF 8

PLOT PLAN VIEW
1/8" IN = 1 FT



NUMBER	DATE	REVISION	DESCRIPTION

SITE PLAN

**900 GRAND AVE
GRAND LAKE, CO**
PRELIMINARY DEVELOPMENT PLAN



DRAWINGS PROVIDED BY:

DATE:

2/18/2026

SCALE:

1/8" = 1'0"

SHEET:

2 OF 8



REVISION TABLE	
NUMBER	DATE

**ISOMETRIC
VIEWS**

**900 GRAND AVE
GRAND LAKE, CO**
PRELIMINARY DEVELOPMENT PLAN

DRAWINGS PROVIDED BY:

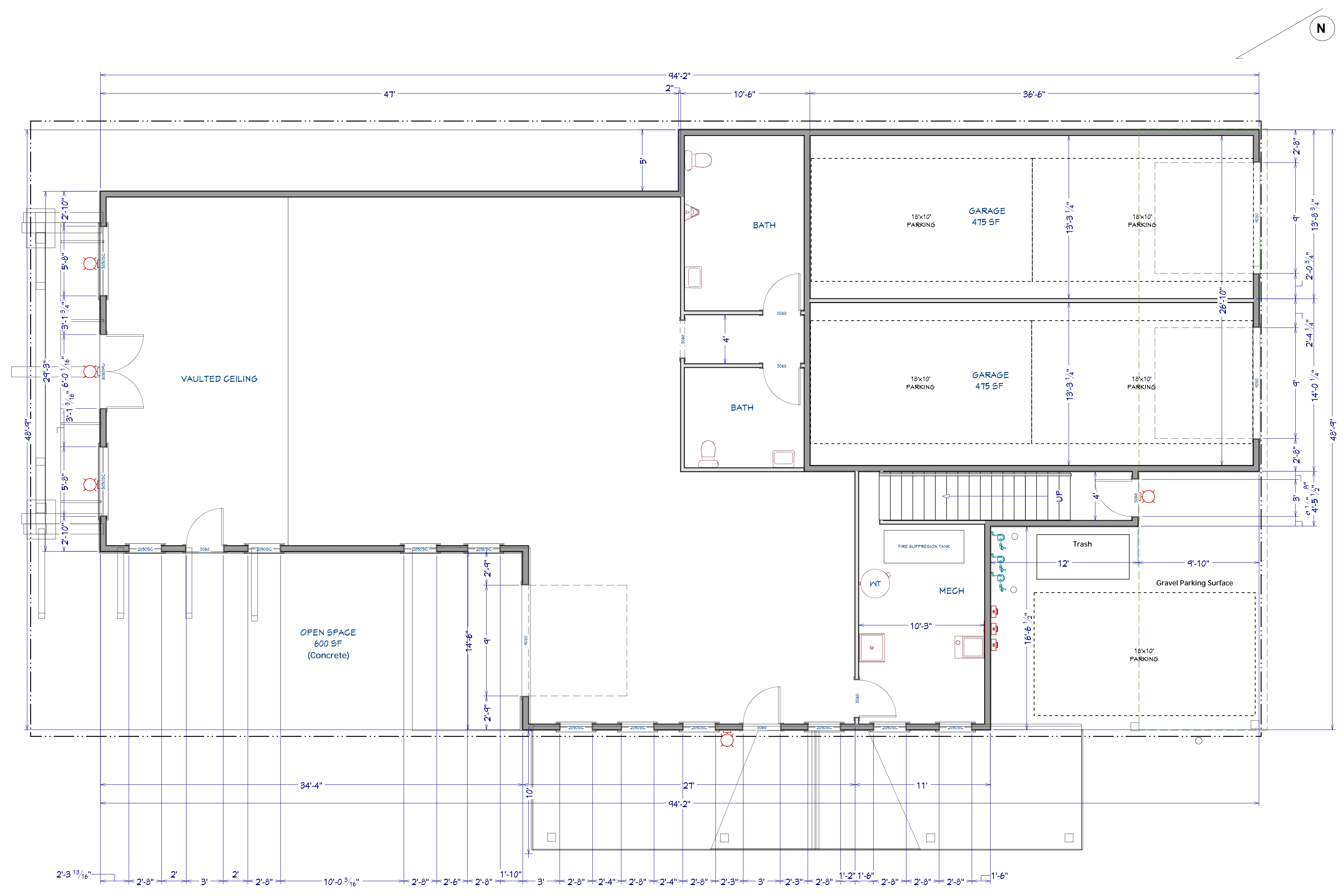
DATE:

2/18/2026

SCALE:

SHEET:

3 OF 8



TOTAL COMMERCIAL SQUARE FOOTAGE = 2452 SF

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

**FIRST FLOOR PLAN
UNIT 100**

**900 GRAND AVE
GRAND LAKE, CO**
PRELIMINARY DEVELOPMENT PLAN

DRAWINGS PROVIDED BY:

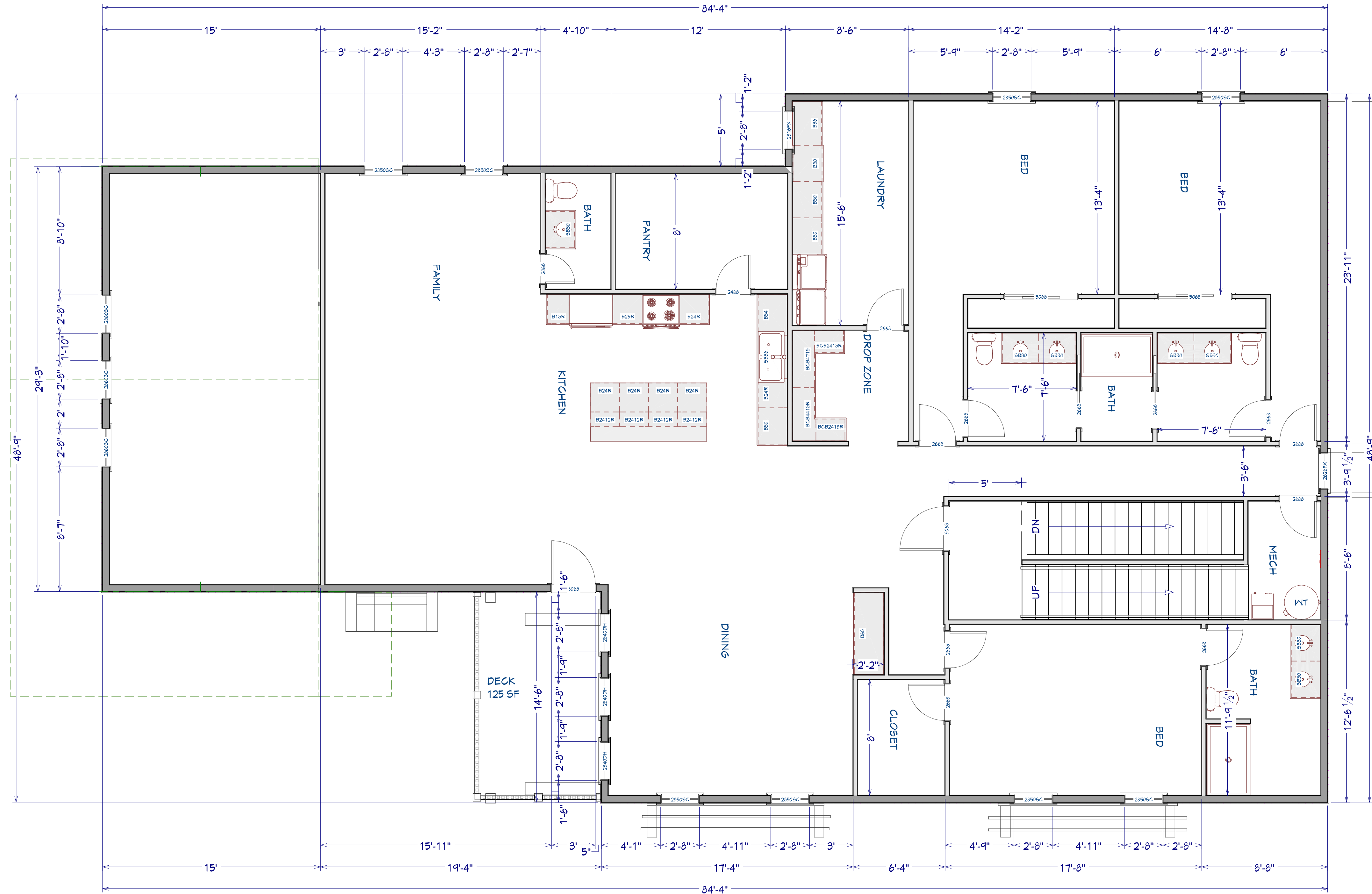
DATE:
2/18/2026

SCALE:
1/4"=1'0"

SHEET:
4 OF 8

2ND FLOOR
1/4 IN = 1 FT

LIVING AREA
2879 SQ FT



NUMBER	DATE	REVISION	DESCRIPTION

2ND FLOOR PLAN
UNIT 200

900 GRAND AVE
GRAND LAKE, CO
PRELIMINARY DEVELOPMENT PLAN



DRAWINGS PROVIDED BY:

DATE:

2/3/2026

SCALE:

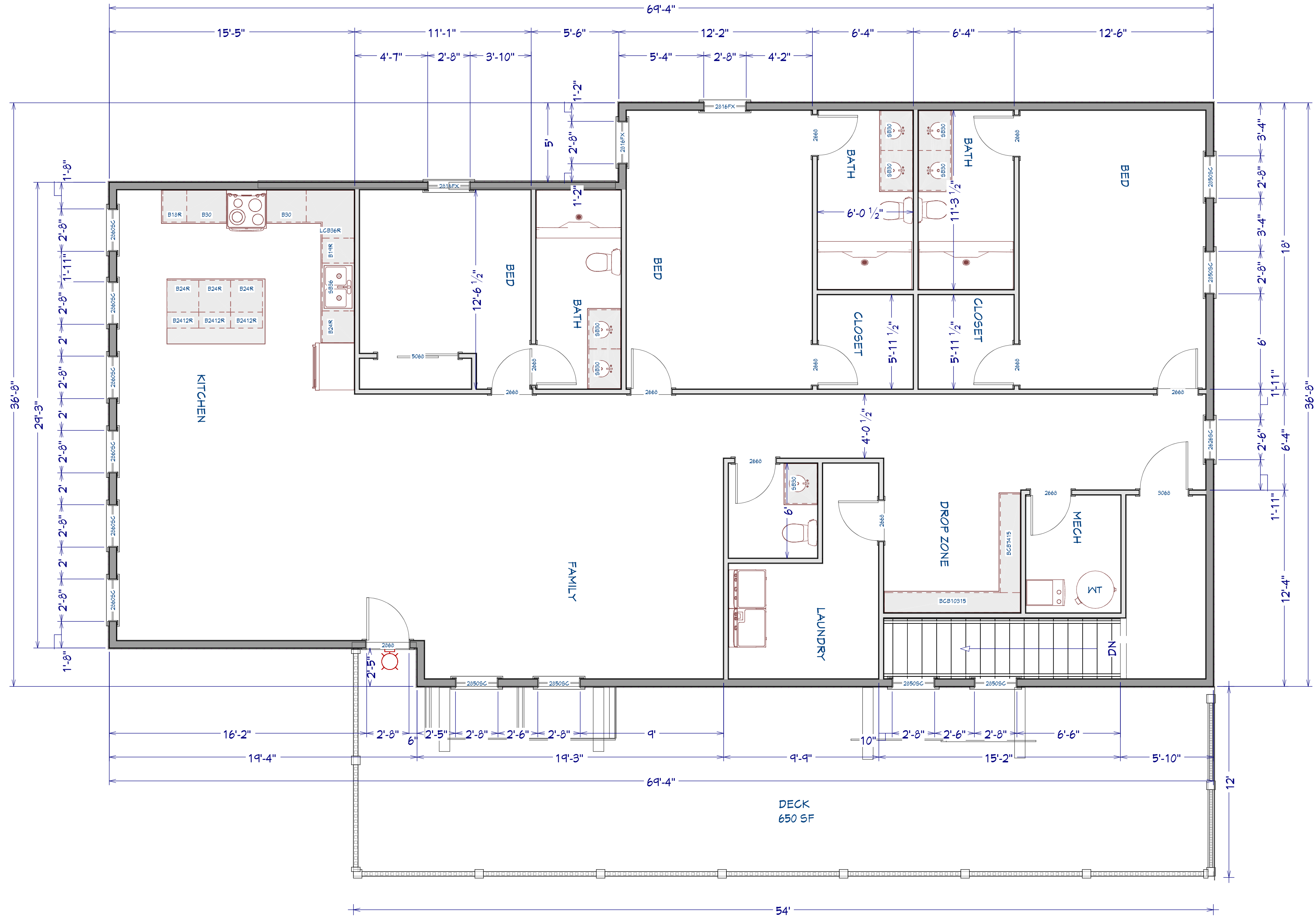
1/4"=1'0"

SHEET:

5 OF 8

3RD FLOOR
1/4 IN = 1 FT

LIVING AREA
2272 SQ FT



REVISION TABLE	
NUMBER	DATE

3RD FLOOR PLAN
UNIT 300

900 GRAND AVE
GRAND LAKE, CO
PRELIMINARY DEVELOPMENT PLAN

DRAWINGS PROVIDED BY:



DATE:

2/3/2026







SCALE:

1/4"=1'0"

SHEET:

6 OF 8

TYPICAL EXT. FINISHES

Cedar Lap Siding	A	
Douglas Fir Timbers	B	
Standing Seam Siding in "Dark Bronze"	C	
Owens Corning Duration asphalt shingles in "teak"	D	
Telluride Stone Gold Collection in "Desert Tortoise Random"	E	
Typical Dark Sky Compliant Exterior Lighting	F	



NUMBER	DATE	REVISION	DESCRIPTION

ELEVATIONS

**900 GRAND AVE
GRAND LAKE, CO**
PRELIMINARY DEVELOPMENT PLAN



DRAWINGS PROVIDED BY:

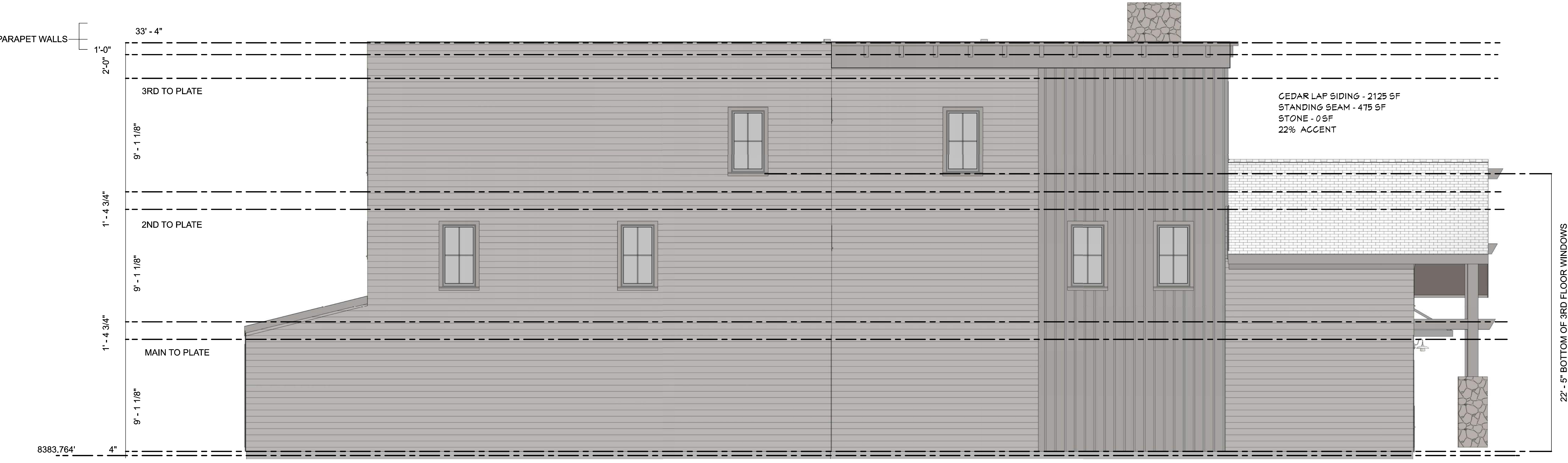
DATE:
2/18/2026

SCALE:
1/4"=1'0"

SHEET:
7 OF 8



CEDAR LAP SIDING - 1660 SF
 STANDING SEAM - 380 SF
 STONE - 175 SF
 24% ACCENT



CEDAR LAP SIDING - 2125 SF
 STANDING SEAM - 475 SF
 STONE - 0 SF
 22% ACCENT

NUMBER	DATE	REVISION	DESCRIPTION

ELEVATIONS

**900 GRAND AVE
 GRAND LAKE, CO**
 PRELIMINARY DEVELOPMENT PLAN



DRAWINGS PROVIDED BY:

DATE:

2/18/2026

SCALE:

1/4"=1'0"

SHEET:

8 OF 8