

Leatherwood Grand Lake

Block 5, Grand Lake, CO 80447

Spirit Lake Condos, LLC

Final Development Application

01/12/2026





GRAND AVE.

**MA
STUDIOS**

Final
Development
Plans

01/12/2026

LEATHERWOOD GRAND LAKE

Spirit Lake Condos, LLC

BLOCK 5, GRAND LAKE, CO 80447
PROJECT #2402

GRAND AVE: RENDERINGS



LEATHERWOOD GRAND LAKE

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PROJECT #2402

LAKE AVE: RENDERINGS



PO Box 21
 Granby, CO 80446
 970-887-9366

November 25, 2025
 Spirit Lake Condos, LLC
 PO Box 11
 Grand Lake, CO 80447-0011

Final Development Application Leatherwood Grand Lake

RE: Final Development Application - Narrative

Parcel Numbers: 119305223003, 119305223005, 119305223006, 119305223009

Site Address: Varies (Existing Addresses to be modified during re-plat): 1016 Grand Avenue, 1001 & 1005 & 1007 Lake Avenue

Legal Summary: **Lots 4-6 & 9-14, Block 5 (Grand Avenue & Lake Avenue Parcels). Town of Grand Lake, Grand County, CO. Sec.5 T3N R75W 6TH PM.**

Project/Property Owner:
Spirit Lake Condos, LLC
 (720) 546-7390
 glservicesllc@yahoo.com

Architect/Planner:
MA Studios, LLC (Scott Munn, AIA & Gabe Bellowe, AIA)
 (970) 887-9366
 gabe@maarchitectural.com
 scott@maarchitectural.com

Consultant Engineers:
CORE Engineering – Civil Engineering and Design (Justin Simpson & Chase Justice)
 (303) 703-4444
 jsimpson@liveyourcore.com
Ascent Engineering – Structural Engineering and Design (Jared Veenstra & John Cevaal)
 (970) 363-6100
 j.veenstra@ascentgrp.com
Azimuth Surveying – Survey & Topographical Analyses (Warren Ward, PLS)
 (970) 531-1120
ward8100@gmail.com

Dear Residents, Stakeholders, and Community Members,

Spirit Lake Condos (LLC) & MA Studios (AIA) are pleased to submit this Final Development Application for the mixed-use development on Grand & Lake Avenues entitled “Leatherwood”. Per the Town of Grand Lake Municipal Code of Ordinances (March 28th, 2024) Chapter 12 (Land Use Regulations), Article 9 (Land Development Regulations), the following narrative is intended to be paired with the attached drawings illustrating the design intent for the sites described in the above legal description. The following narrative is organized based on the submittal requirements outlined in Section 12-9-2-E.

- 1) No development shall be approved until such data, surveys, analyses, studies, plans, and designs have been submitted, reviewed, and found to meet all sound planning and engineering requirements of the Town of Grand Lake and the conditions contained in these regulations and all other applicable Sections of the Code of the Town.
- 2) Final Development Application Submission Requirements. The Final Development Plan shall include all of the drawn and graphic information required in the Preliminary Development Application in its finalized, detailed form. In addition:
 - a) Any new items not submitted with the Preliminary Development Application; and
 - b) Any required dedication documentation and/or bonds; and
 - c) Final engineering plans for public roads: **See Civil Engineering Addendum, provided ASAP (prior to Final review)**
 - d) Final engineering plans for utility systems: **See Civil Engineering Addendum, provided ASAP (prior to Final review)**
 - e) Final engineering plans for storm drainage control systems: **See Civil Addendum, provided ASAP (prior to Final review)**
 - f) Where a portion of an existing easement is contiguous to a proposed easement or right-of-way of a new development, proof of the dedication of the existing easement or right-of-way; and: **N/A**
 - g) An exact copy of a certificate of a title insurance company or abstract of title suitably certified or certificate of title or title opinion submitted by an attorney which shall set forth the names of all owners of property included in the Plat and shall include a list of all mortgages, judgments, liens, easements, contracts and agreements of record, which shall affect the property covered by such plats; and **Provided with preliminary development plans – attached.**
 - h) Master Declarations for each Local Employee Residence; and: **N/A**
 - i) A draft Improvement Agreement; and: **Provided with preliminary development plans – attached.**
 - j) Where a Home Owners Association or other entity is to be used for the administration and maintenance of private roads or open space and recreational facilities a binding and perpetual agreement in regard to maintenance and access control shall be submitted with the Final Development Application. Such agreement shall include provisions for: **Provided with preliminary development plans – attached.**
 - k) Any additional information as may be required by the Planning Commission or Board of Trustees necessary to evaluate the character and impact of the proposed Development.
 - 1) **As discussed during the preliminary review, MA has included detailed information concerning the exterior materials for reference during the final review.**

Project Basics:

- Total acres and square feet to be developed: **1.029 Acres (44,877 SF) @ combined property line.**
- Total number of proposed dwelling units. **22 Residential Units (1,2 & 3-bed units, see plans)**
- Total number of square feet of non-residential floor space. **Of our total 73,459 proposed square feet (Gross SF), we have 19,140 SF of commercial tenant space.**
- Parking: **the total 86.7 parking spaces provided in our calculations, 40 parking spaces are provided off-street for residential use. Commercial parking is provided via our on-street parking credits, calculated using the prescribed .085sp/ft on all lot frontages available across our project scope. (Per GL code sec 12-2-28(b).3.B)**
- **UNIT COUNT (Residential)**
 - **Event Center – 3 Units**
 - **Lake House – 3 Units**
 - **Building #1 – 8 Units**
 - **Building #2 – 8 Units**
- **PHASE BREAKDOWN: at this conceptual stage, our phases are inter-related & may be completed concurrently:**
 - **EVENT CENTER LAKE AVENUE RESTAURANT AND PLAZA (restoration)**
 - **EVENT CENTER MAIN FLOOR CONDO (1) (restoration/addition)**
 - **EVENT CENTER UPPER-LEVEL CONDOS (2) (restoration/addition)**
 - **(3) CONDOS IN LAKE HOUSE (restoration/addition)**
 - **B1 (mixed-use, new construction)**
 - **B2 (mixed-use, new construction)**

PROJECT NARRATIVE



Final
 Development
 Plans

01/12/2026

LEATHERWOOD GRAND LAKE

Spirit Lake Condos, LLC

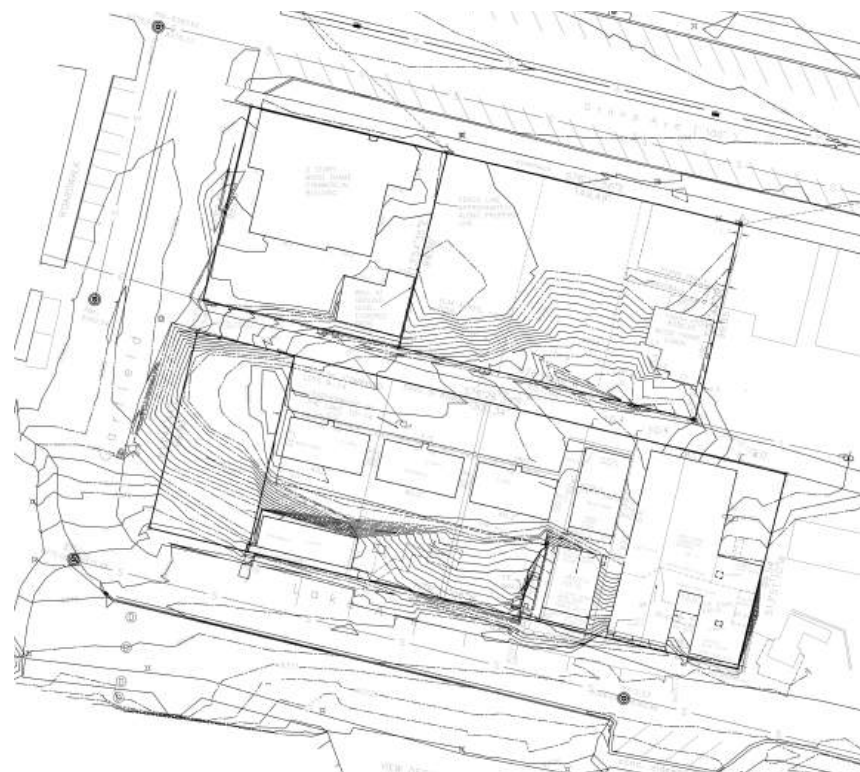
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PROJECT #2402

LEATHERWOOD GRAND LAKE

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PROJECT #2402



SITE LEGEND:

- EXISTING BUILDING (TO REMAIN)
- COMMERCIAL @ GRADE (RESIDENTIAL ABOVE, TYP)
- PARKING @ GRADE (RESIDENTIAL ABOVE, TYP)
- RESIDENTIAL UNIT (W/ RESIDENTIAL ABOVE, TYP)
- NEW ASPHALT PAVING (RE. CIVIL)
- NEW BOARDWALK
- EXISTING BOARDWALK
- LANDSCAPED OPEN SPACE
- SNOW STORAGE
- PHASE SEPARATION (APPROX)



SITE PLAN: EXISTING

TOGL COMMERCIAL REGULATIONS:

MAX LOT COVERAGE:	THE FIRST FLOOR OF MULT-STORY BUILDINGS MAY COVER ONE HUNDRED (100%) PERCENT OF THE LOT OR PARCEL, BUT ALL ITEMS CALLED FOR IN THE ON-SITE UTILITY USE AREA DESCRIBED BELOW SHALL STILL BE PROVIDED ON THE LOT OR PARCEL. (TOGL ARTICLE 2: ZONING REGULATIONS 12-2-18(D) 9)
ON-SITE UTILITY USE AREA:	EACH LOT OR PARCEL SHALL PROVIDE TWO (2) OFF-STREET PARKING SPACES AND A TRASH STORAGE AREA ON THE LOT. (TOGL ARTICLE 2: ZONING REGULATIONS 12-2-18(D) 10)
SNOW STORAGE:	CONVENIENT AND ACCESSIBLE SNOW STORAGE AREAS SHALL BE PROVIDED FOR PARKING AREAS EQUIVALENT TO ONE-THIRD (1/3) OF THE TOTAL DRIVE AND PARKING AREAS. (TOGL ARTICLE 2: ZONING REGULATIONS 12-2-18(D) 9)
SNOW	TOTAL EXTERIOR DRIVE/PARKING SF: 2,400 SF SNOW STORAGE (REQUIRED) = 800 SF SNOW STORAGE (PROVIDED) = 2,000 SF
LIGHTING (EXTERIOR):	LIGHTING SHALL BE CONSISTENT WITH THE DARK-SKY CONCEPT THROUGH THE UTILIZATION OF APPROVED NIGHTSCAPING FIXTURES, WHICH PREVENT ADVERSE EFFECTS OF ARTIFICIAL NIGHT LIGHTING. THIS SHALL INCLUDE COMPONENTS TO REDUCE SKY GLOW, LIGHT TRESPASSING AND CLUTTER, DECREASED NIGHT VISIBILITY, AND ENERGY WASTE. (TOGL ARTICLE 7: DESIGN REVIEW STANDARDS 12-7-4)
LOADING/UNLOADING AREAS:	CHANGES IN STRUCTURE (ENLARGED SO AS TO INCREASE THE FLOOR AREA BY MORE THAN TEN PERCENT (10%) IN ANY GIVEN TWO-YEAR PERIOD) SHALL NECESSITATE ALLEY-ACCESS LOADING/UNLOADING AREAS.
BUSINESS SIGNAGE:	NO SIGN SHALL BE ERECTED, PLACED, OR MODIFIED EXCEPT AS PERMITTED BY THIS SIGN CODE. (TOGL ARTICLE 2: SIGN CODE 6-2-3) ASSUMPTION: SIGNAGE REVISIONS / NEEDS ARE YET TO BE DETERMINED AND WILL BE SUBMITTED SEPARATELY AS REQUIRED.
DRAINAGE REQUIREMENTS:	THE SITE PLAN MUST INDICATE FACILITIES FOR ADEQUATE DRAINAGE REQUIRED THAT ARE PROPOSED TO CONNECT TO THE TOWN'S DRAINAGE SYSTEM. NATURAL EROSION CONTROL OR RETENTION PROVISIONS MUST BE LOCATED ON THE LANDSCAPE PLAN. (TOGL ARTICLE 1: BUILDING REGULATIONS 9-1-1(B) 7)
EXTERIOR MATERIALS:	ALL PAINT COLORS SHALL BE APPROVED BY TOWN STAFF PRIOR TO PAINTING. (TOGL ARTICLE 1: BUILDING REGULATIONS 12-7-4(A)) ALL NEW METAL PANEL SIDING SHALL COMPLY W/ ZONING CODE 12-7-4(B) 4.D.
PARKING DESIGN REQUIREMENTS: 12-2-28(B) 2.A	STANDARD PARKING SPACE, UNCOVERED: 10' - 0" (WIDTH) x 20' - 0" (LENGTH) STANDARD PARKING SPACE, COVERED/INDOOR: 10' - 0" (WIDTH) x 18' - 0" (LENGTH) ACCESSIBLE PARKING SPACE: 8' - 0" (WIDTH) x 18' - 0" (LENGTH) W/ 5' - 0" MIN ACCESS AISLE
ACCESSIBLE PARKING REQUIRED: 12-2-28(B) 6	ONE DESIGNATED ACCESSIBLE (HANDICAPPED) PARKING SPACE SHALL BE REQUIRED AS A PART OF THE OVERALL OFF-STREET PARKING REQUIREMENTS MANDATED UNDER THIS SECTION FOR EACH TWENTY-FIVE (25) OFF-STREET PARKING OR FRACTION THEREOF. IN ALL CASES THE ACCESSIBLE SPACE SHALL BE LOCATED IN A MANNER CLOSE AND CONVENIENT TO THE MAIN PEDESTRIAN INGRESS/EGRESS.
PARKING CALCULATIONS:	COMMERCIAL (1SP/350 SF FLOOR AREA) = 18,140 SF/350 SF = 51.7 SPACES REQUIRED 1-BEDROOM UNITS: BUILDING #1 - (2) 1-BED UNITS (2) REQUIRED SPACES 2-BEDROOM UNITS: LAKEHOUSE - (3) 2-BED UNITS (4.5) REQUIRED SPACES EV. CENTER - (2) 2-BED UNITS (3) REQUIRED SPACES BUILDING #1 - (4) 2-BED UNITS (6) REQUIRED SPACES BUILDING #2 - (1) 2-BED UNITS (1.5) REQUIRED SPACES 3-BEDROOM UNITS: EV. CENTER - (1) 3-BED UNIT (2) REQUIRED SPACES BUILDING #1 - (2) 3-BED UNITS (4) REQUIRED SPACES BUILDING #2 - (1) 3-BED UNITS (2) REQUIRED SPACES TOTAL RESIDENTIAL PARKING REQUIRED: (34) SPACES REQUIRED ALL RESIDENTIAL UNITS ARE PARKED WITHIN THEIR RESPECTIVE BUILDING OFF STREET PARKING REQUIRED/PROVIDED: 34 SPACES REQUIRED/46 SPACES PROVIDED (OFF ALLEY) FOR RESIDENTIAL UNITS. ON STREET PARKING PROVIDED: 54.7 SPACES REQUIRED/47 SPACES PROVIDED (ON-STREET TOTAL INCL ADA) BASED ON ON-STREET PARKING CREDIT CALCULATED AT .085 SPACES'1' OF FRONTAGE FOR GRAND AVE, LAKE AVE & GARFIELD ST. - 12-2-28(B) 3.B - ROUNDED UP - 2+ PROVIDED SPACES TO BE ACCESSIBLE (ACCESSIBLE ON-STREET - 1 PER 25 SPACES) 88.7 TOTAL SPACES REQUIRED - 86.7 TOTAL SPACES PROVIDED

PARKING

PROJECT ZONING SUMMARY

LEGAL DESCRIPTION:	BLOCK 5, LOTS 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14 TOWN OF GRAND LAKE COUNTY OF GRAND, STATE OF COLORADO
CONSTRUCTION TYPE:	EXISTING CONSTRUCTION: VARIES, VS. TYPICAL NEW CONSTRUCTION: VS. WOOD FRAMED (NON-FIRE RATED) W/ AUTOMATIC SPRINKLERING
ZONING CLASSIFICATION:	C - COMMERCIAL
FRONT YARD SETBACK:	0' - 0"
SIDE YARD SETBACK:	0' - 0"
REAR YARD SETBACK:	0' - 0"
MAX BUILDING HEIGHT:	35' - 00" TYP. (40' - 00" WHERE GRADE CHANGE IS GREATER THAN 5')
EXISTING BUILDING HEIGHT:	51'-6", 30'-8", 29'-2"
HEIGHT (STORIES):	2/3 STORIES EXISTING, ALL NEW CONSTRUCTION TO COMPLY WITH GRAND LAKE CODES
GROSS SITE AREA:	1.029 ACRES (44,877 SF) @ COMBINED PROPERTY LINE

SITE NOTES

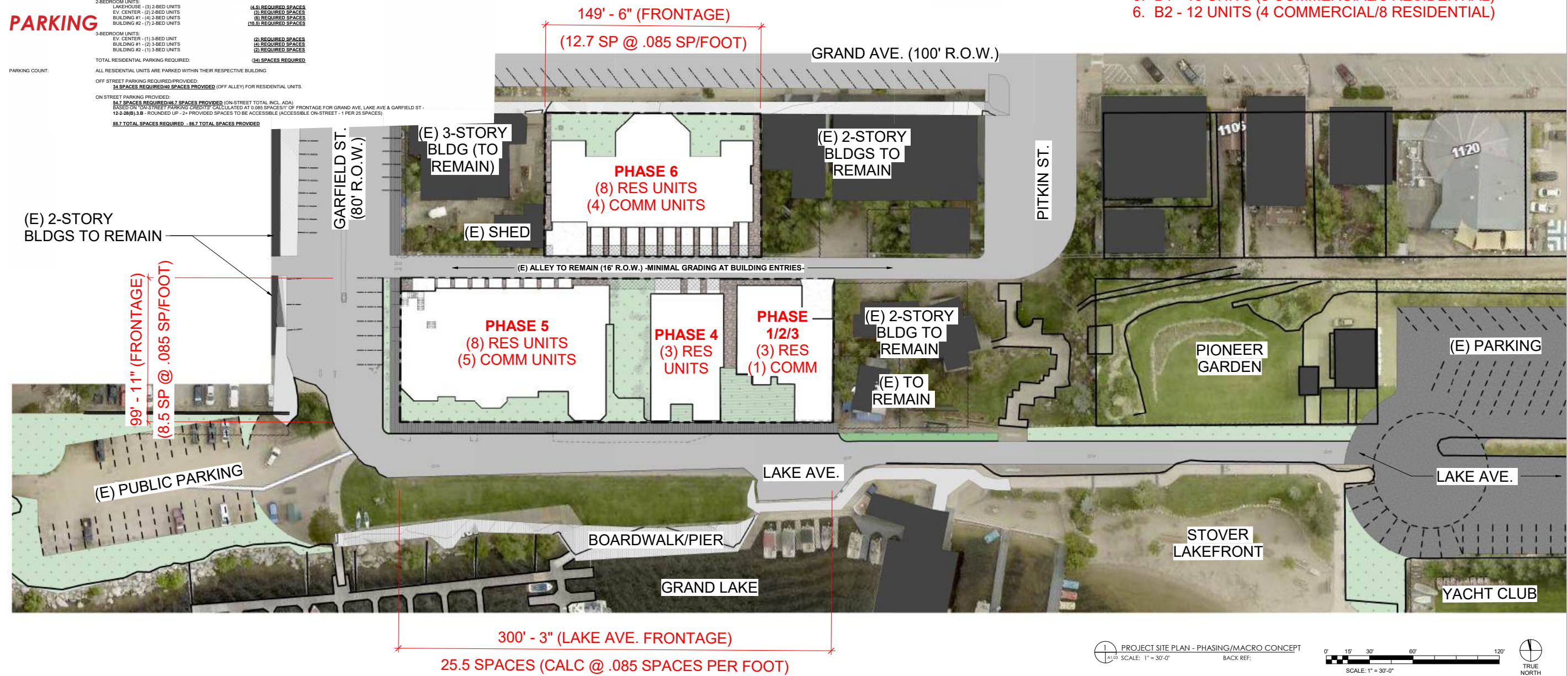
- ELECTRICAL, CABLE T.V. AND TELEPHONE TO BE UNDERGROUND IN COMMON TRENCH. VERIFY ALL UTILITY LOCATES PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE COMPANY - ALL UTILITIES TO BE UNDERGROUND.
- PROVIDE POSITIVE DRAINAGE AT ALL BUILDING PERIMETERS. (SLOPE AWAY FROM BUILDING AT 1:12 MIN.)
- REFER TO FOUNDATION PLAN FOR FOUNDATION DRAIN LOCATION AND SLOPE. DRAINS TO BE CONNECTED TO STORM SEWER AT STREET.
- PROVIDE 4" DIA. STONE RIP RAP OVER WEED BARRIER FABRIC AT EAVES AND VALLEY DRIP LOCATIONS.
- STAKE BUILDING LOCATIONS FOR OWNER, ARCHITECT, AND CONSULTANT ENGINEER REVIEW PRIOR TO ANY WORK.
- GENERAL CONTRACTOR TO REVIEW & COMPLY WITH ALL TOWN OF GRAND LAKE REGULATIONS AND REQUIREMENTS.

SITE LEGEND:

- EXISTING BUILDING (TO REMAIN)
- COMMERCIAL @ GRADE (RESIDENTIAL ABOVE, TYP)
- PARKING @ GRADE (RESIDENTIAL ABOVE, TYP)
- RESIDENTIAL UNIT (W/ RESIDENTIAL ABOVE, TYP)
- NEW ASPHALT/PAVING (RE: CIVIL)
- NEW BOARDWALK
- EXISTING BOARDWALK
- LANDSCAPED OPEN SPACE
- SNOW STORAGE
- PHASE SEPARATION (APPROX)

PHASE/PARCEL BREAKDOWN:

- EVENT CENTER LAKE RESTAURANT/PLAZA
- EVENT CENTER ALLEY LEVEL - 1 UNIT
- EVENT CENTER PENTHOUSE - 2 UNITS
- LAKE HOUSE - 3 UNITS
- B1 - 13 UNITS (5 COMMERCIAL/8 RESIDENTIAL)
- B2 - 12 UNITS (4 COMMERCIAL/8 RESIDENTIAL)



PROJECT SITE PLAN - PHASING/MACRO CONCEPT
SCALE: 1" = 30'-0" BACK REF:

0' 15' 30' 60' 120'
SCALE: 1" = 30'-0" TRUE NORTH

SITE PLAN: CONTEXT



Final Development Plans

01/12/2026

LEATHERWOOD GRAND LAKE

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OPEN SPACE CALCS:











TOTAL AREA WITHIN PROPERTY LINE: 1.03 ACRES = 44,877 SF
 TOTAL BUILDING FOOTPRINTS: 28,379 SF
 ON-SITE OPEN SPACE: (44,877-28,379-2,140 APRON) = 14,358 SF

PERCENTAGE (OPEN SP/LOT AREA): (14,358/44,877) = **31.99%**

TOTAL COMMERCIAL/OFFICE: 19,140 SF
 TOTAL RESIDENTIAL: 54,409 SF
 TOTAL GROSS SF/FLOOR AREA 73,459 SF

PERCENTAGE (COMMERCIAL/TOTAL): 19,140/73,459 = **26.02%**
 PER GL CODE (TABLE 12-2-26-3): **GROUP III**
 REQUIRED OPEN SPACE: **(NO REQUIREMENT)**

SITE LEGEND:

-  EXISTING BUILDING (TO REMAIN)
-  COMMERCIAL @ GRADE (RESIDENTIAL ABOVE, TYP)
-  PARKING @ GRADE (RESIDENTIAL ABOVE, TYP)
-  RESIDENTIAL UNIT (w/ RESIDENTIAL ABOVE, TYP)
-  NEW ASPHALT/PAVING (RE: CIVIL)
-  NEW BOARDWALK
-  EXISTING BOARDWALK
-  LANDSCAPED OPEN SPACE
-  SNOW STORAGE
-  PHASE SEPARATION (APPROX)

BUILDING #2:

8,177 SF (TOTAL FP)
8,177 SF (LEVEL 1 - COMMERCIAL)
 9,018 SF (LEVEL 2 - RES PARKING & 3 RES UNITS)
 9,224 SF (LEVEL 3 - 5 RES UNITS)

BUILDING #1:

11,286 SF (TOTAL FP)
9,326 SF (LEVEL 1 - COMMERCIAL)
 2,993 SF (LEVEL 2 - RES PARKING)
 8,102 SF (LEVEL 2 - 4 RES UNITS)
 11,123 SF (LEVEL 3 - 4 RES UNITS)

TREE & LAKEHOUSE (0 SF COMMERCIAL):

4,227 SF (TOTAL FP)
 1,908 SF (LAKE LEVEL - 1 CONDO/UNIT)
 1,680 SF (LEVEL 2 - 1 CONDO/UNIT)
 3,866 SF (LEVEL 3 - PARKING & 1 CONDO/UNIT)

EVENT CENTER:

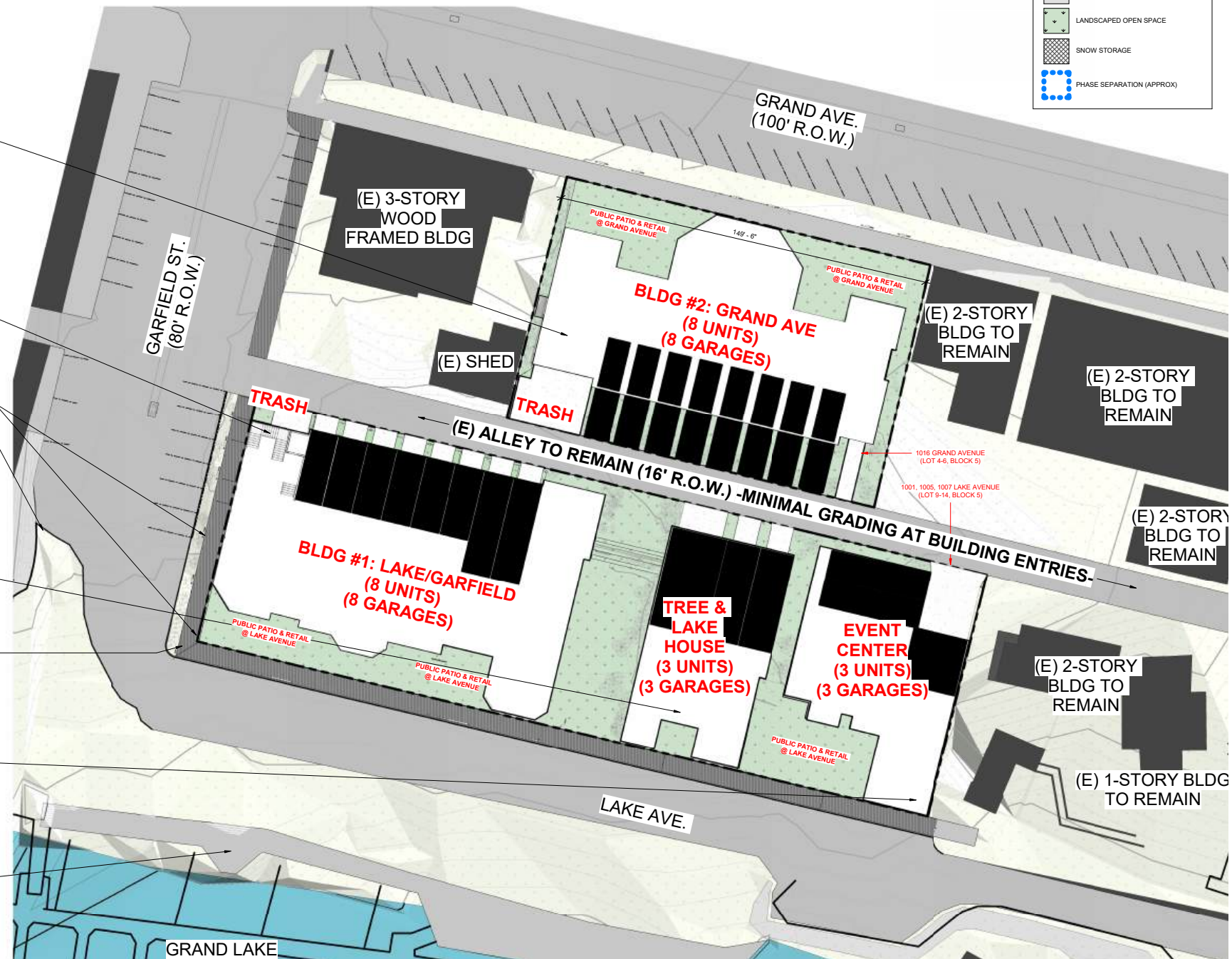
4,869 SF (TOTAL FP)
1,637 SF (LAKE AVE - COMMERCIAL)
 1,940 SF (LEVEL 1 - PARKING)
 1,599 SF (LEVEL 1 - 1 CONDO/UNIT)
 2,956 SF (LEVEL 2 - 2 CONDOS/UNITS)

NEW CURB & GUTTER
AT NEW BOARDWALK

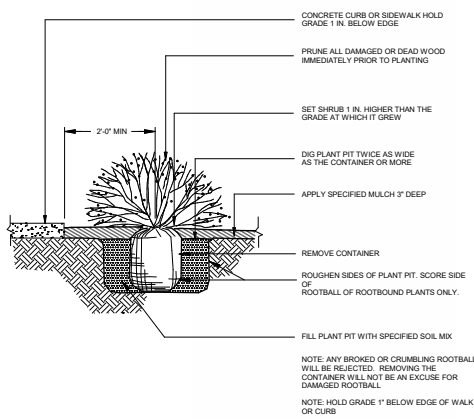
EDGE OF (E) ASPHALT

NEW BOARDWALK
(GARFIELD & LAKE)

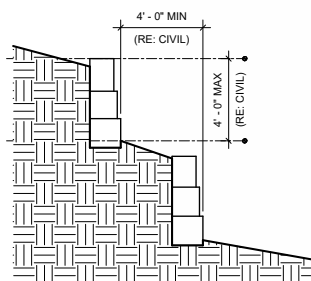
(E) PUBLIC
BOARDWALK & PIER



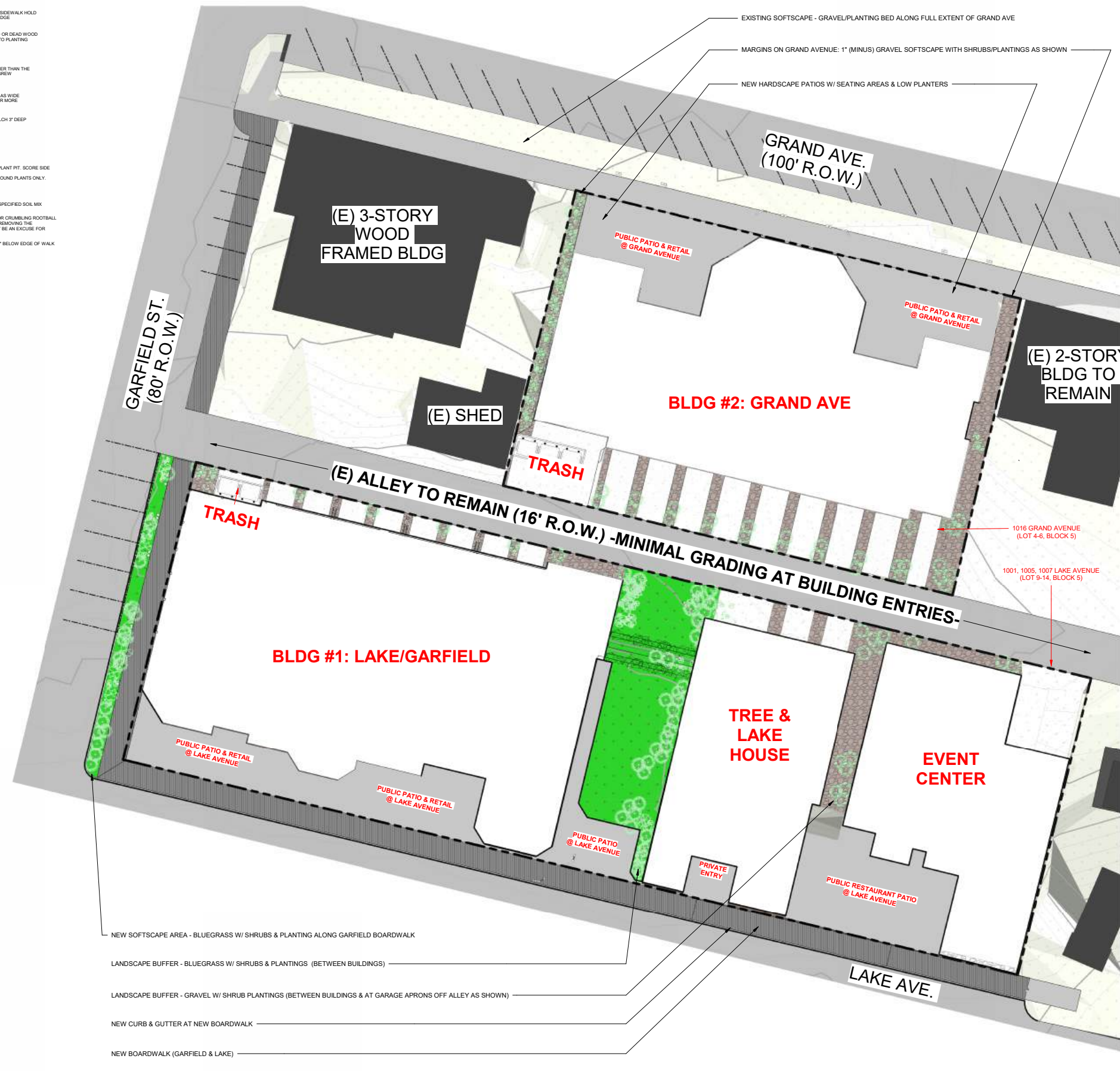
SITE PLAN: OPEN SPACE



3 SHRUB PLANTING DETAIL
SCALE: 1/8" = 1'-0" BACK REF:



2 STACKED BOULDER RETAINING WALL TYP.
SCALE: 1/4" = 1'-0" BACK REF:



PLANTING SPECIFICATIONS:

- THE WORK TO BE PERFORMED UNDER THIS CONTRACT SHALL INCLUDE FURNISHING ALL LABOR, MATERIALS, TOOLS, & MACHINERY NECESSARY TO INSTALL THE PLANT MATERIALS AS INDICATED ON THE PLANTING PLAN.
- THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL CODES, ORDINANCES, & REGULATIONS HAVING JURISDICTION OVER THIS PROJECT. THE CONTRACTOR TO CALL FOR UTILITY LOCATES FOR ALL PROPOSED TREE LOCATIONS.
- ALL PLANT MATERIAL SHALL BE HEALTHY, WELL ESTABLISHED, VIGOROUS, OF NORMAL GROWTH FORM, & BE FREE OF DISEASE & INSECT INFESTATION.
- ALL PLANTS SHALL HAVE NORMAL, HEALTHY ROOT SYSTEMS FILLING THEIR CONTAINERS, BUT WITHOUT ROOTBOUND.
- ALL PLANTS WHICH DO NOT COMPLY WITH THE ABOVE CRITERIA SHALL BE REJECTED & REMOVED FROM THE SITE IMMEDIATELY. PLANTS SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- SOIL PREPARATION FOR SHRUB & TREE BACKFILL MIX SHALL CONSIST OF:
 - A) 33% WELL ROTTED BARNYARD MANURE, COARSE SPHAGNUM PEAT MOSS, OR APPROVED EQUAL
 - B) 67% NATIVE SOIL OF SITE.
- MIX THE ABOVE MATERIALS THOROUGHLY OUTSIDE THE PLANTING PIT. AFTER SETTING THE PLANTS IN THE PLANTING PIT, THE BACKFILL MATERIALS SHALL BE SOAKED TO SETTLE. AFTER THE PLANT HAS SETTLED, THE TOP OF THE ROOTBALL SHALL BE APPROXIMATELY 1" ABOVE THE SURROUNDING FINISH GRADE. CONSTRUCT A 4" TAMPERED BERM WATERING BASIN AROUND THE PLANT AND ADD 2" - 3" LAYER OF MULCH OVER THE ROOT ZONE.
- THE CONTRACTOR SHALL REMOVE EXCESS WASTE MATERIAL DAILY WHEN PLANTING IN AN AREA IS COMPLETE. CLEAR THE AREA OF DEBRIS, SPOIL PILES, & CONTAINERS.
- PROJECT ACCEPTANCE: WITHIN 10 DAYS OF CONTRACTORS NOTIFICATION THAT THE ENTIRE PROJECT IS COMPLETE, OWNER WILL INSPECT THE INSTALLATION & IF FINAL ACCEPTANCE IS NOT GIVEN, WILL PREPARE A "PUNCH LIST" WHICH, UPON COMPLETION BY CONTRACTOR, WILL SIGNIFY FINAL ACCEPTANCE BY THE OWNER. THE "PUNCH LIST" MUST BE COMPLETED WITHIN 20 CALENDAR DAYS FROM THE DATE ISSUED. ACCEPTANCE IS BASED ON FURNISHING BY THE CONTRACTOR, A COMPLETE AS-BUILT PLAN WHICH REFLECTS ALL APPROVED CHANGES MADE DURING INSTALLATION.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR 1 FULL YEAR AFTER PROJECT ACCEPTANCE, UNLESS OTHERWISE AGREED PRIOR TO COMMENCEMENT OF WORK.
- ALL NEW NATIVE TREES & SHRUBS SHALL BE IRRIGATED WITH A DRIP IRRIGATION SYSTEM UNTIL THEY HAVE BECOME ESTABLISHED & CAN SURVIVE ON THEIR OWN WITH NATURAL PRECIPITATION. ALL DRIP IRRIGATION COMPONENTS SHALL BE DRAINED & BLOWN DRY BY OCTOBER 1st EACH FALL.
- OR
- ALL NEW NATIVE TREES & SHRUBS SHALL BE HAND WATERED ACCORDING TO THE FOLLOWING SCHEDULE AS A MINIMUM. IF DRY CONDITIONS PERSIST, MORE FREQUENT WATERING MAY BE REQUIRED.
 - YEAR ONE: ONCE PER WEEK
 - YEAR TWO: ONCE EVERY 2 WEEKS
 - YEAR THREE: ONCE EVERY 3 WEEKS
 - YEAR FOUR: ONCE EVERY 4 WEEKS

LANDSCAPING NOTES:

- ALL SOIL AREAS DISTURBED DURING CONSTRUCTION MUST CONFORM TO THE GRAND COUNTY NOXIOUS WEED CONTROL PLAN, & MUST BE REVEGETATED TO BLEND WITH EXISTING LANDSCAPE AS RECOMMENDED BY THE NATURAL RESOURCE CONSERVATION SERVICE. (MIDDLE PARK SOIL CONSERVATION DISTRICT)
- ALL DISTURBED SOIL AREAS TO BE REVEGETATED BY SEEDING WITH 10 lbs. / ACRE OF SHEEP FESCUE BUNCH GRASS AND MULCHING WITH 1/2" OF SHREDDED BARK MULCH, NATURAL FOREST DUFF, OR CHOPPED WEED HAY. APPLY SEED WITHIN 14 DAYS OF FINAL FINISHED GRADE. IF REQUIRED FOR COMPLETE GERMINATION, HAND BROADCAST ADDITIONAL SEED AS REQUIRED IN FALL AFTER OCTOBER 15th. OR IN SPRING BEFORE MAY 15th.
- OR
- NATURAL FOREST DUFF MULCH TO BE STOCKPILED FROM WITHIN THE PROPOSED CONSTRUCTION ZONE FOR USE AS LANDSCAPE MATERIAL.
- TOPSOIL FROM WITHIN THE PROPOSED CONSTRUCTION ZONE SHALL BE STOCKPILED FOR LANDSCAPE PURPOSES.
- ALL TREES NOT IN THE CONSTRUCTION ZONE SHALL BE SAVED & PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DEAD TREES & PINES WITH PINE BEETLE INFESTATION SHALL BE REMOVED. ALL PINES WITH EXTENSIVE MISTLETOE SHALL BE REMOVED. ALL PINES WITH MINOR MISTLETOE SHALL BE PRUNED.
- WILDFIRE MITIGATION: ALL FLAMMABLE VEGETATION TO BE REMOVED WITHIN 15' OF STRUCTURE. ALL DEAD VEGETATION WITHIN 75' - 125' OF STRUCTURE TO BE REMOVED AND ALL DEAD LIMBS PRUNED TO A HEIGHT OF 10' MINIMUM.
- ALL EXISTING LODGEPOLE PINE, SPRUCE PINE, ASPEN, SHRUBS, AND GROUND COVERS NOT IN THE CONSTRUCTION ZONE SHALL BE SAVED & PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS.

PLANTING LEGEND (SIZES & QUANTITIES TBD)

	COMMON NAME	BOTANICAL NAME	
SHRUBS	-COLORADO REDTWIG DOGWOOD	-CORNUS SERICA	
	-NATIVE CHOKECHERRY	-PRUNUS VIRGINIANA	
	-RED LAKE CURRRANT	-RHUS SILVESTRE	
	-TWIMBERRY HONEYSUCKLE	-LONICERA INVOLUCRATA	
	-ARCTIC BLUE DWARF WILLOW	-SALIX PURPUREA	
PERENNIALS	-ROCKY MOUNTAIN COLUMBINE	-AQUILEGIA HYBRIDS	
	-OX-EYE DAISY	-LEUCANTHEMUM VULGARE	
	-SWEET WILLIAM DIANTHUS	-DIANTHUS BARBATUS	
	-RUSSELL HYBRIDS LUPINE	-LUPINUS	
	-ROCKY MOUNTAIN PENSTEMON	-PENSTEMON STRICTUS	
	-ALPINE POPPY	-PAPAVER BURSERI	
	-HEN & CHICKS	-SEMPERVIVUM HYBRIDS	
	-BLUE FESCUE	-FESTUCA GLAUCA	
		-BOULDER RETAINING WALL	

SITE PLAN: LANDSCAPE

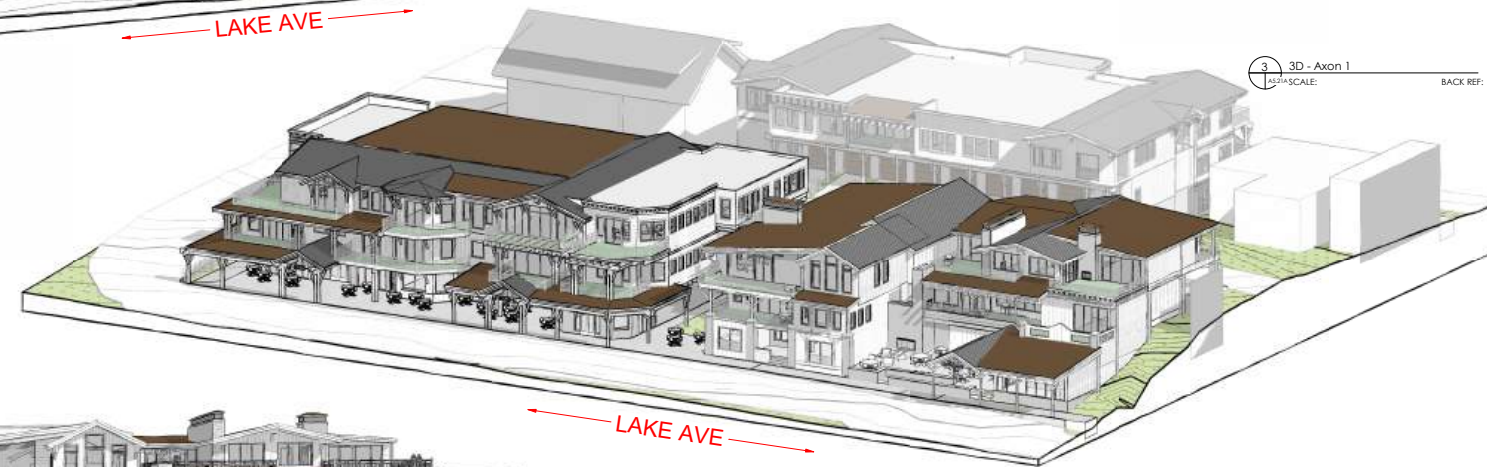
LEATHERWOOD GRAND LAKE

Spirit Lake Condos, LLC

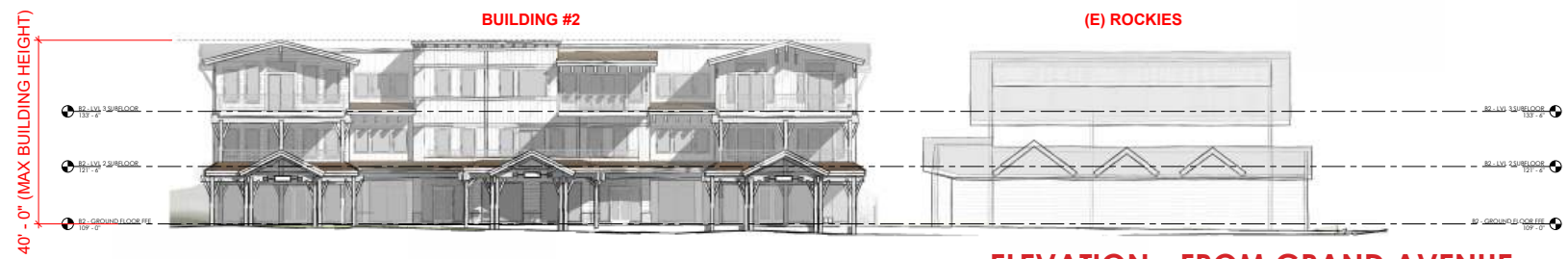
BLOCK 5, GRAND LAKE, CO 80447

PROJECT #2402

NOTE:
3D PERSPECTIVES ARE FOR REFERENCE ONLY. SEE
ARCH DRAWINGS FOR MORE DETAILED INFORMATION.



CONCEPTUAL MASSING - OVERALL SITE



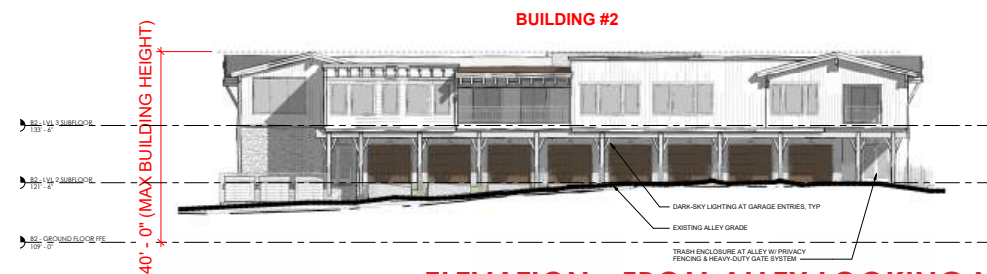
ELEVATION - FROM GRAND AVENUE



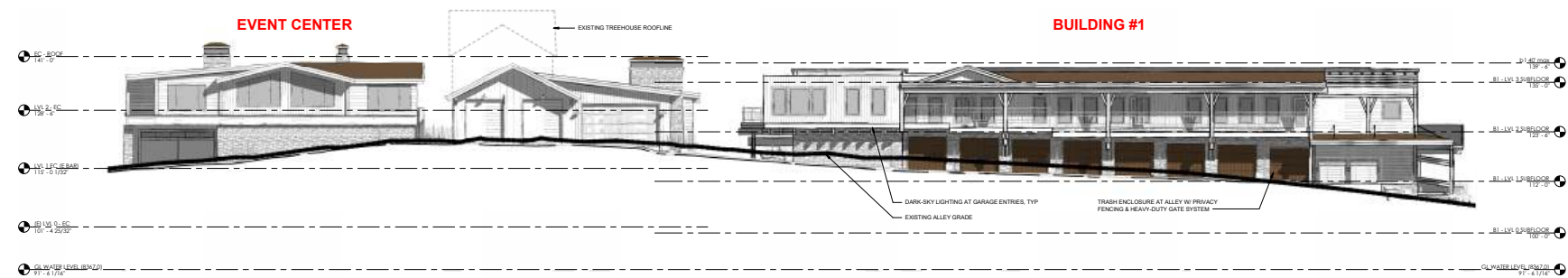
ELEVATION - FROM GARFIELD



ELEVATION - FROM LAKE AVENUE



ELEVATION - FROM ALLEY LOOKING NORTH



ELEVATION - FROM ALLEY LOOKING SOUTH

CONCEPTUAL FACADES - OVERALL SITE

BOARD & BATTEN (NATURAL WOOD)

- Species: Hemlock or Cedar, TBD
- Finish: Woodsource Matte Oil & Seal
- Pattern: Vertical Board & Batten, 18" Boards

CORTEN (RAW STEEL)

- Finish: Raw Corten Steel
- Pattern: Vertical Standing Seam Wall Panels

NICKEL-GAP (NATURAL WOOD)

- Species: Woodsource Wisewood
- Finish: Wisewood Berthoud
- Pattern: Vertical Nickel-Gap, 7 1/4" boards

CLASSIC LAP (NATURAL WOOD)

- Species: Aquafir Doug Fir
- Finish: Battleship - (Semi-transparent stain)
- Pattern: Horizontal Lap Siding, 9 1/4" boards

STANDING SEAM (ROOFING)

- Finish: Dark Bronze
- Pattern: 1" Standing Seam Roofing Panels

SHINGLE (ROOFING)

- Finish: Black Carbon
- Pattern: Asphalt Storm Rated Shingle Roofing

HARDWOOD TOP RAIL (OAK, STAINED)

1X1 BALUSTERS/INFILL (STEEL, TO MATCH FASCIA)

6X6 POSTS (STEEL, TO MATCH FASCIA)

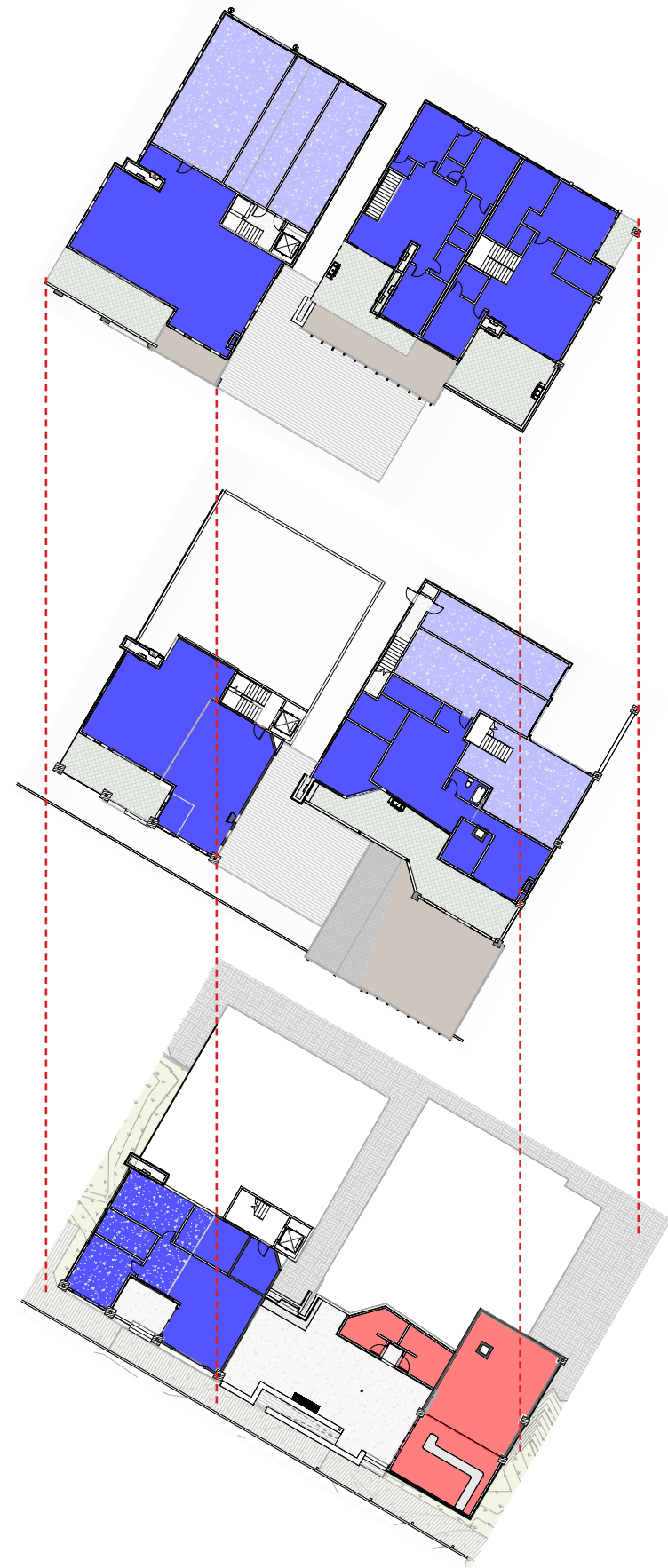
4X10 HARDWOOD BOTTOM RAIL (OAK, STAINED)



GRAND LAKE STANDARD BOARDWALK

NATURAL STONE

- Telluride Stone Company
- Finish: "Greystone" mix to match GL Marquee
- Pattern: coursing to match GL Marquee



- HORIZONTAL WOOD
- BOARD & BATTEN WOOD
- STANDING SEAM METAL
- VERTICAL WOOD
- NATURAL STONE



ELEVATION - FROM EAST



ELEVATION - FROM NORTH



ELEVATION - FROM WEST



ELEVATION - FROM SOUTH

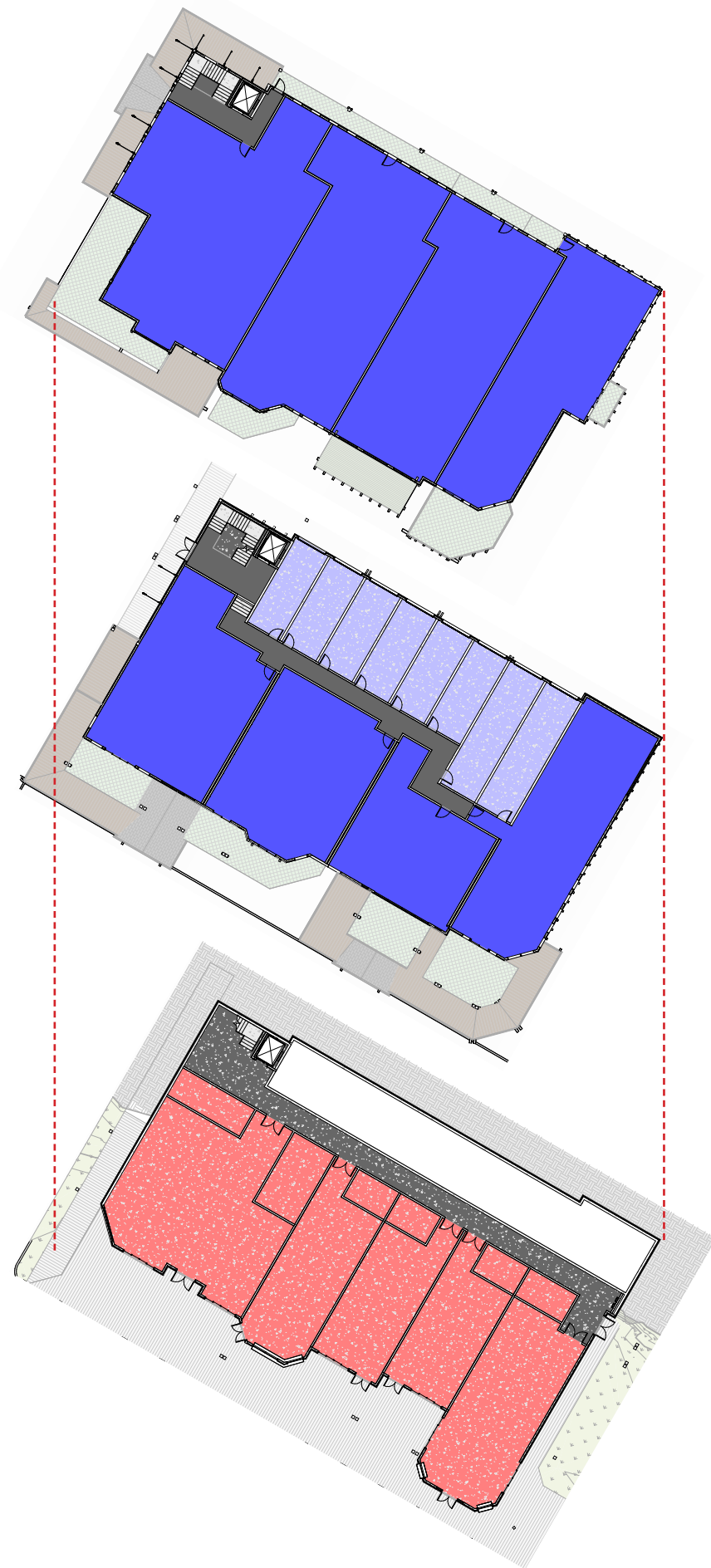
LEATHERWOOD GRAND LAKE

Spirit Lake Condos, LLC
BLOCK 5, GRAND LAKE, CO 80447
PROJECT #2402

CONCEPTUAL PLANS & MASSING - EVENT CENTER/TREEHOUSE/LAKEHOUSE

LEATHERWOOD GRAND LAKE
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BLOCK 5, GRAND LAKE, CO 80447
PROJECT #2402



- COMMERCIAL SPACE
- RESIDENTIAL SPACE
- RESIDENTIAL GARAGE

- HORIZONTAL WOOD
- BOARD & BATTEN WOOD
- STANDING SEAM METAL
- VERTICAL WOOD
- NATURAL STONE



ELEVATION - FROM EAST



ELEVATION - FROM NORTH



ELEVATION - FROM WEST



ELEVATION - FROM SOUTH

CONCEPTUAL PLANS & MASSING - BUILDING #1

HORIZONTAL WOOD



BOARD & BATTEN WOOD



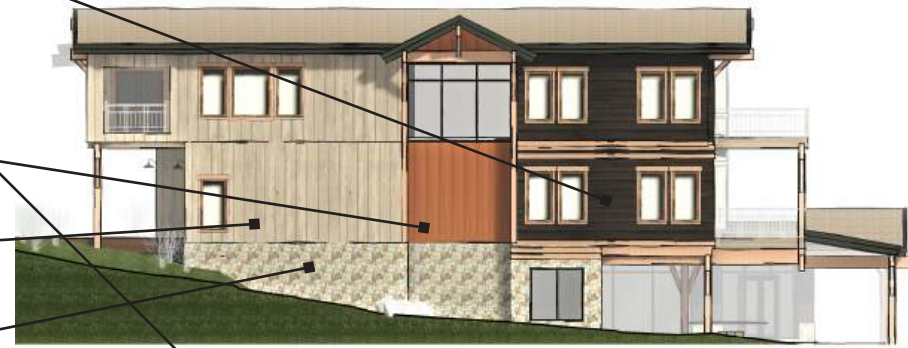
STANDING SEAM METAL



VERTICAL WOOD



NATURAL STONE



ELEVATION - FROM EAST



ELEVATION - FROM SOUTH



ELEVATION - FROM WEST



ELEVATION - FROM NORTH



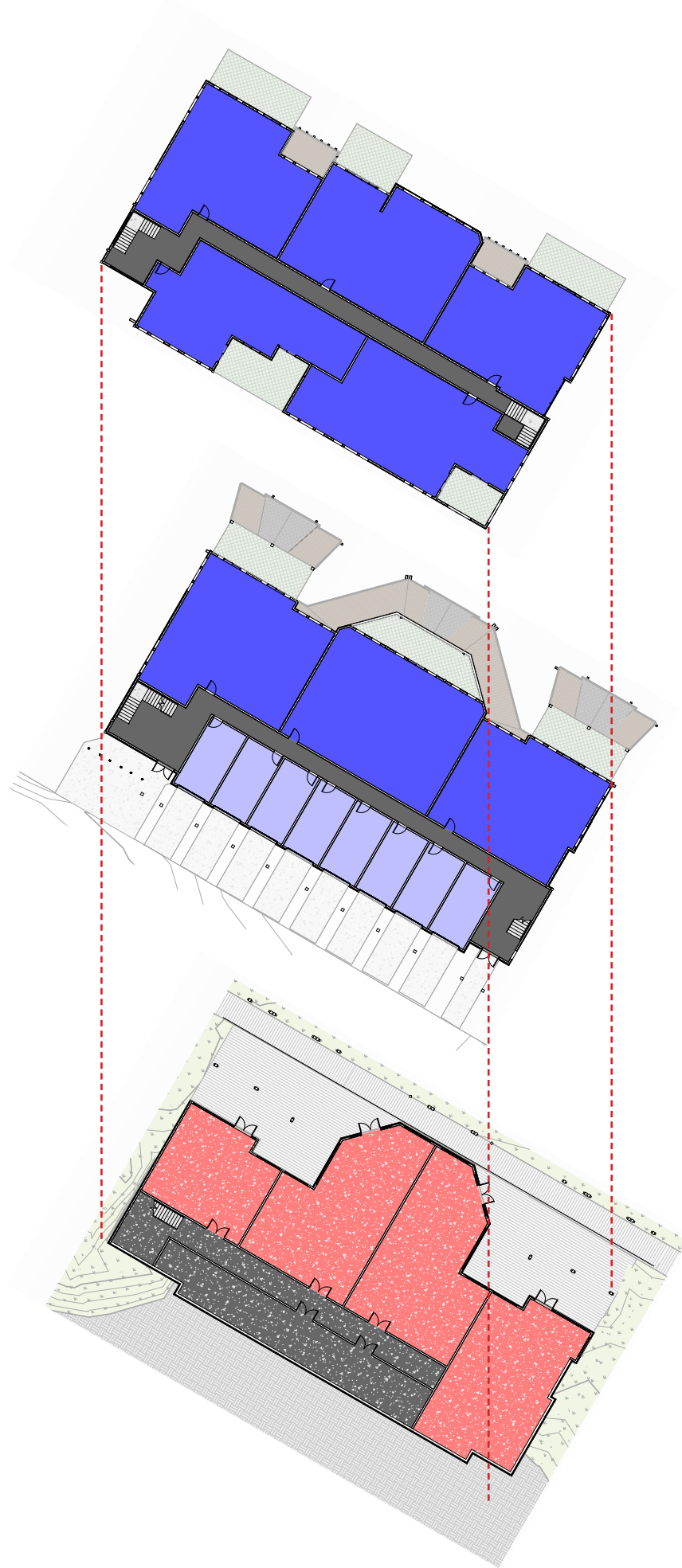
COMMERCIAL SPACE



RESIDENTIAL SPACE



RESIDENTIAL GARAGE



CONCEPTUAL PLANS & MASSING - **BUILDING #2**

LEATHERWOOD GRAND LAKE

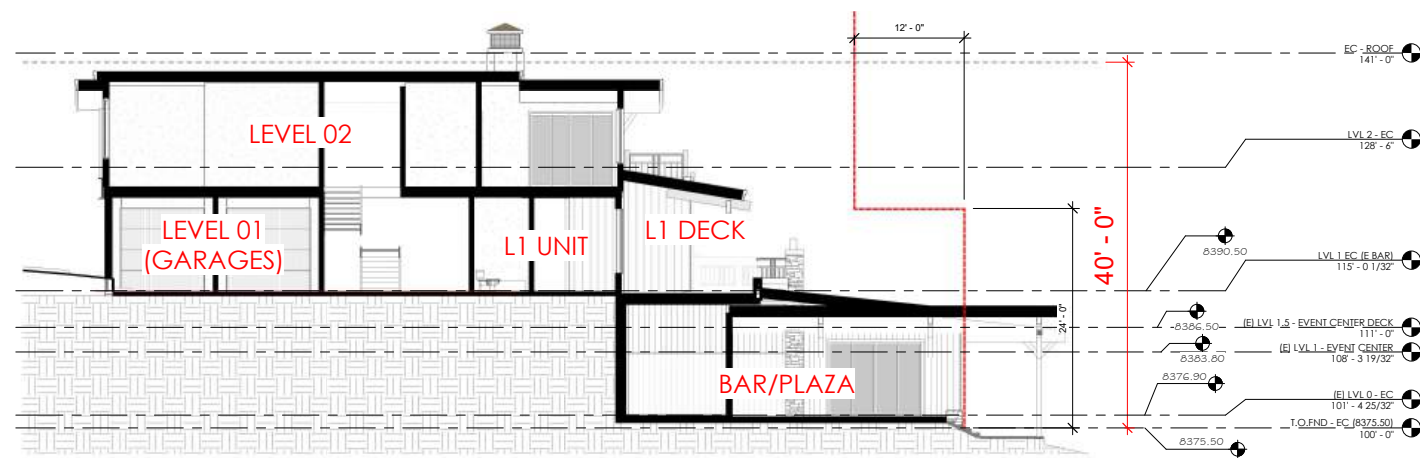
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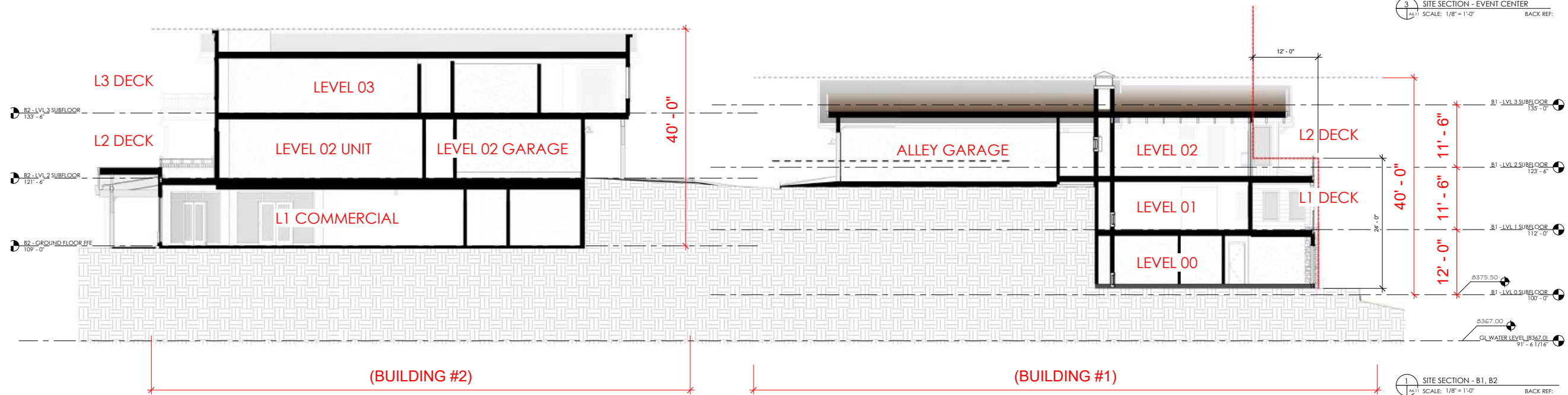
PROJECT #2402

LEATHERWOOD GRAND LAKE
Spirit Lake Condos, LLC

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PROJECT #2402



3 SITE SECTION - EVENT CENTER
SCALE: 1/8" = 1'-0" BACK REF:



1 SITE SECTION - B1, B2
SCALE: 1/8" = 1'-0" BACK REF:



2 SITE SECTION - BLDG #1 & ROCKIES
SCALE: 1/8" = 1'-0" BACK REF:

SITE SECTIONS



LEATHERWOOD GRAND LAKE

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CONCEPTUAL RENDERINGS

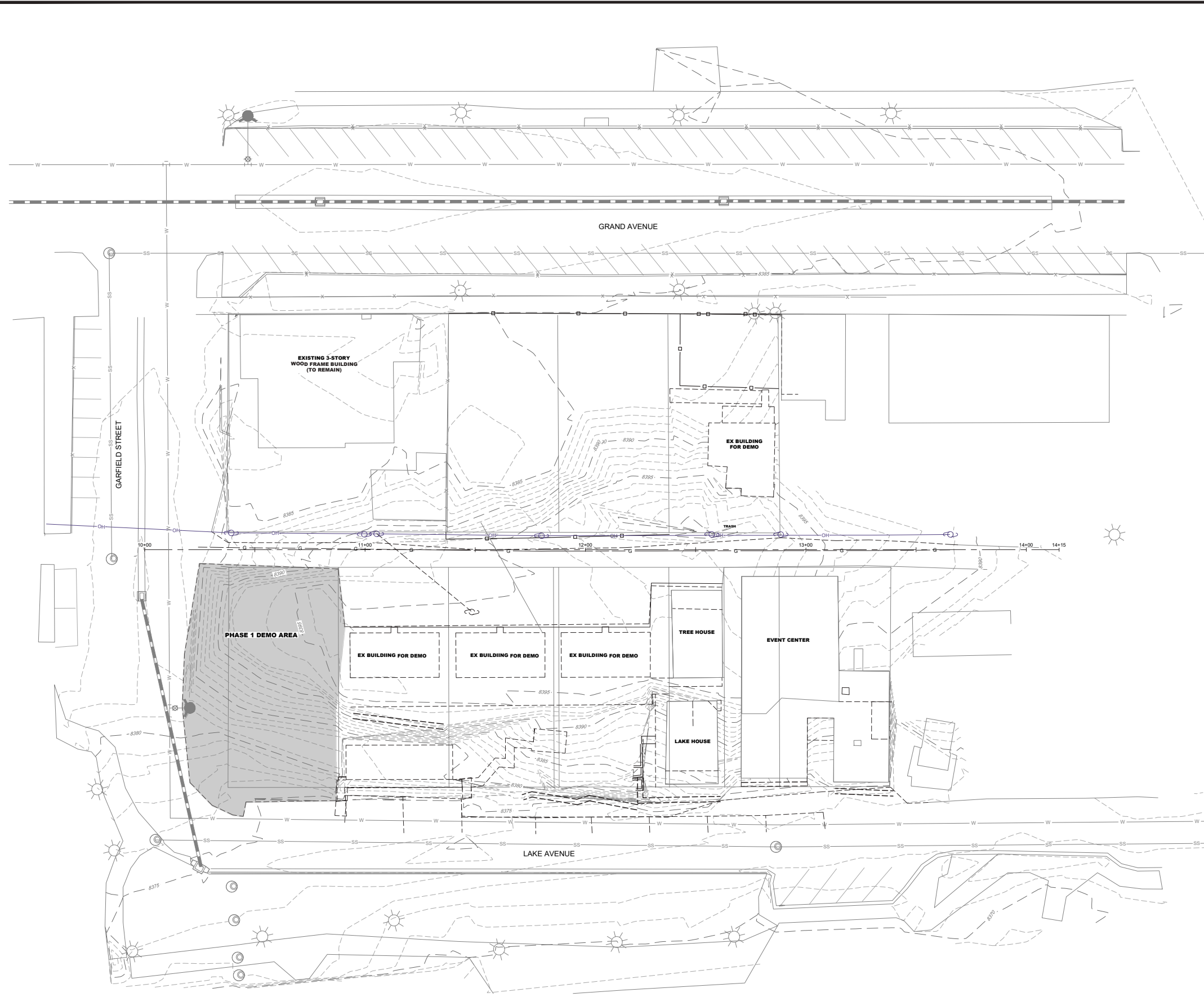


LEATHERWOOD GRAND LAKE

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BLOCK 5, GRAND LAKE, CO 80447
PROJECT #2402

12/11/2025 2:24 PM : X:\24-015 Leatherwood Grand Lake Mixed Use\Civil\CAD\Plans\02_Final CDs DEMO PLAN.dwg



LEGEND

	EXISTING CURB & GUTTER
	DEMO CURB & GUTTER
	EXISTING STORM & STUB OUT
	EXISTING WATER & STUB OUT
	EXISTING SANITARY & STUB OUT
	DEMO RETAINING WALL
	EXISTING STORM & STUB OUT
	EXISTING FENCE - CHAINLINK
	EXISTING FENCE - WOOD POST
	EXISTING GAS
	EXISTING OVER HEAD ELECTRIC

CORE CONSULTANTS, INC. 5015 W. GRAND AVENUE ENGLEWOOD, CO 80113 303.703.4444 LIVEYOURCORE.COM	
LAND DEVELOPMENT ENERGY PUBLIC INFRASTRUCTURE	
REVISIONS BELOW: 1 FINAL PLAN	DATE BY 12/11/25 JRS
LEATHERWOOD GRAND LAKE BLOCK 5, GRAND LAKE, COLORADO CIVIL CONSTRUCTION DOCUMENTS DEMO PLAN	
DESIGNED BY: JRS DRAWN BY: TED CHECKED BY: JRS	
JOB NO. 24-015	
C1.2 OF C1.8	

LEATHERWOOD GRAND LAKE

Spirit Lake Condos, LLC

BLOCK 5, GRAND LAKE, CO 80447
PROJECT #2402

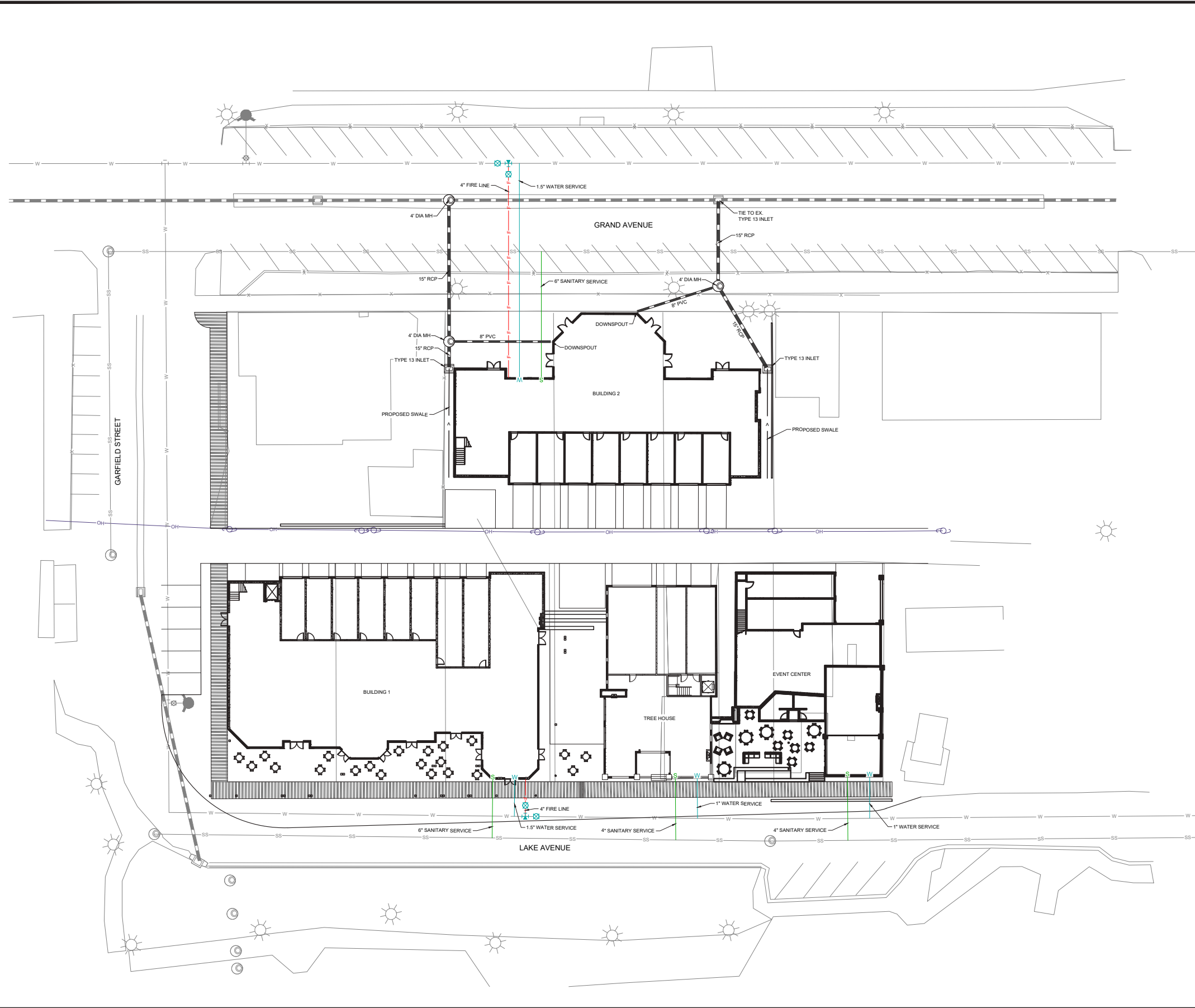


Final
Development
Plans

01/12/2026

EXISTING SITE - DEMOLITION/LAYOUT PLANS

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LEGEND

	EASEMENT
	RIGHT OF WAY (R.O.W.)
	CENTERLINE
	PROJECT BOUNDARY
	PROPOSED CURB & GUTTER
	PROPOSED SANITARY & STUB OUT
	PROPOSED WATER & STUB OUT
	EXISTING STORM & STUB OUT
	EXISTING SANITARY & STUB OUT
	EXISTING WATER & STUB OUT
	SANITARY SERVICE
	WATER SERVICE
	STREET LIGHT POLES
	POWER POLES
	SANITARY MANHOLES
	SANITARY CLEAN OUT
	WATER VALVES
	FIRE HYDRANTS
	STORM MANHOLES
	STORM INLETS
	EXISTING OVER HEAD ELECTRIC

CORE
 LAND DEVELOPMENT
 ENERGY
 PUBLIC INFRASTRUCTURE

CORE CONSULTANTS, INC.
 3075 S. WILLOW
 ENGLEWOOD, CO 80113
 303.703.4444
 LIVEYOURCORE.COM

#	REVISION DESCRIPTION	DATE	BY
1	FINAL PLAN	12/11/25	JRS

LEATHERWOOD GRAND LAKE
 BLOCK 5, GRAND LAKE, COLORADO
 CIVIL CONSTRUCTION DOCUMENTS
 OVERALL UTILITY PLAN

DESIGNED BY: JRS
 DRAWN BY: TED
 CHECKED BY: JRS

JOB NO.
 24-015

C1.3 OF C1.8

LEATHERWOOD GRAND LAKE

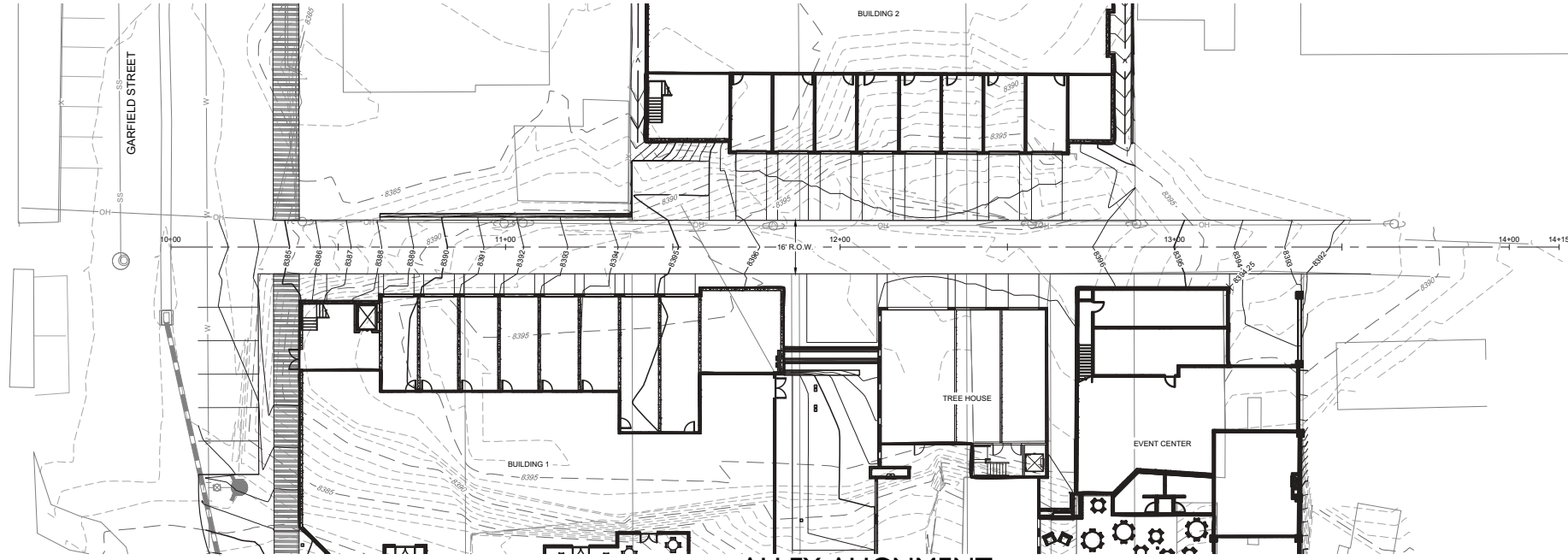
Spirit Lake Condos, LLC
 BLOCK 5, GRAND LAKE, CO 80447
 PROJECT #2402



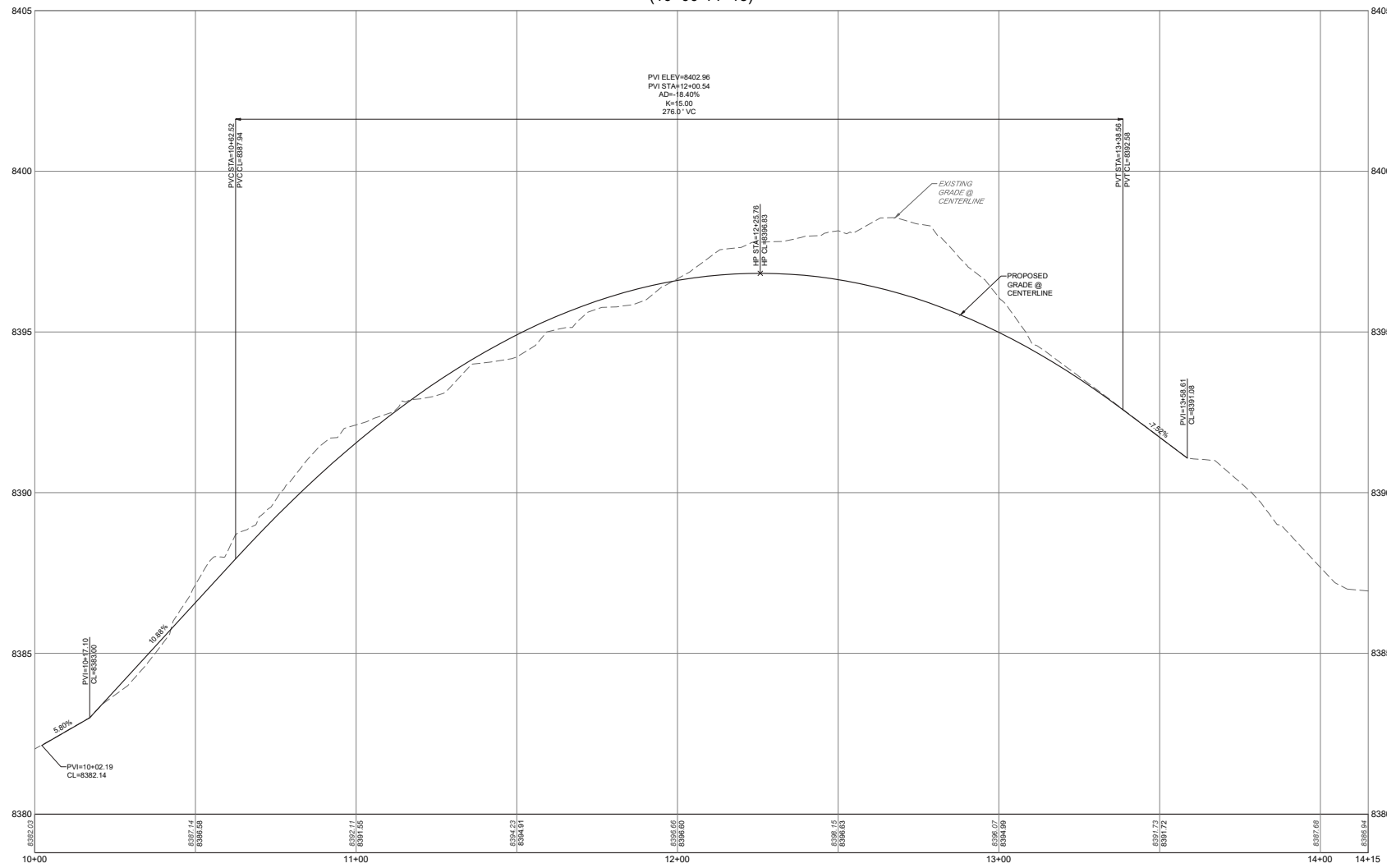
Final
 Development
 Plans

01/12/2026

SITE - UTILITY PLAN



ALLEY ALIGNMENT
(10+00-14+15)



LEGEND

- EASEMENT
- RIGHT OF WAY (R.O.W.)
- CENTERLINE
- PROJECT BOUNDARY
- SIGHT TRIANGLE
- PROPOSED CURB & GUTTER
- EXISTING CURB & GUTTER
- RETAINING WALL

EXISTING PROPOSED

- STREET LIGHT POLES
- STREET SIGNS
- RAMPS
- POWER POLES
- GUY WIRE
- SANITARY MANHOLES
- WATER VALVES
- FIRE HYDRANTS
- AIR RELEASE VALVE MH & VENT PIPE
- STORM MANHOLES
- STORM INLETS
- BLOCK NUMBER
- CRUSHER FINES
- MAINTENANCE ACCESS
- CONCRETE
- RIPRAP
- EXISTING GRAVEL ROAD
- EXISTING ASPHALT PAVEMENT
- APPROXIMATE SAWCUT LIMITS

ABBREVIATIONS:

- TBC TOP BACK OF CURB
- ELEV ELEVATION
- FL FLOWLINE
- CL CENTERLINE
- UE UTILITY EASEMENT
- PC POINT OF CURVATURE
- PT POINT OF TANGENCY
- PVC POINT OF VERTICAL CURVE
- PVT POINT OF VERTICAL TANGENCY
- PCC POINT OF COMPOUND CURVATURE
- PCR POINT OF CURVE RETURN
- PRC POINT OF REVERSE CURVE

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LEATHERWOOD GRAND LAKE
BLOCK 5, GRAND LAKE, COLORADO
CIVIL CONSTRUCTION DOCUMENTS
ROAD PLAN & PROFILE

DESIGNED BY: JRS
DRAWN BY: TED
CHECKED BY: JRS

JOB NO.
24-015

C1.4 OF C1.8

SITE GRADING - ALLEY

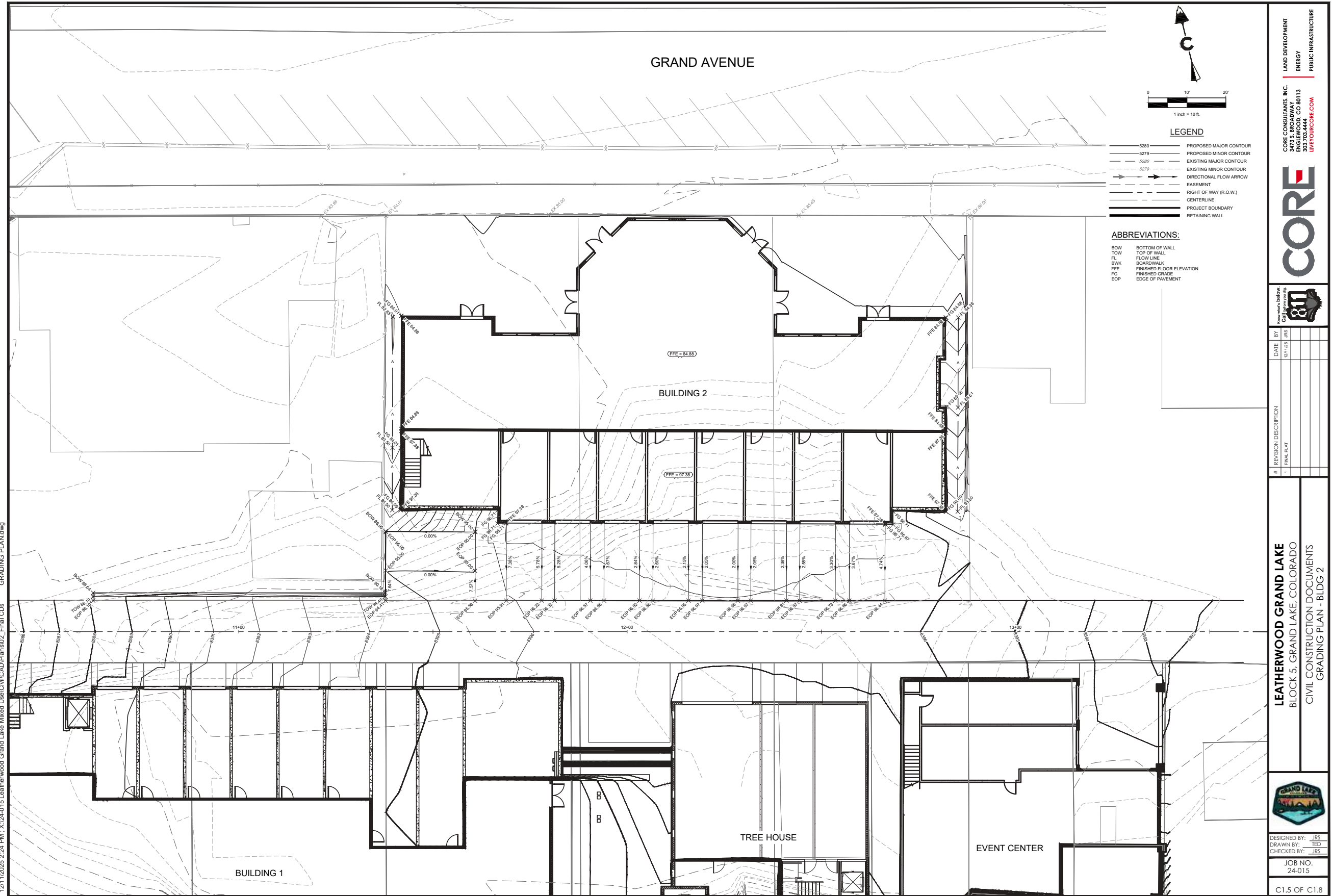


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LEATHERWOOD GRAND LAKE

Spirit Lake Condos, LLC
BLOCK 5, GRAND LAKE, CO 80447
PROJECT #2402



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LEATHERWOOD GRAND LAKE
BLOCK 5, GRAND LAKE, COLORADO
CIVIL CONSTRUCTION DOCUMENTS
GRADING PLAN - BLDG 2

#	REVISION DESCRIPTION	DATE BY
1	FINAL PLAN	12/11/25 JRS

DESIGNED BY: JRS
DRAWN BY: TED
CHECKED BY: JRS

JOB NO.
24-015

C1.5 OF C1.8

SITE GRADING - GRAND AVE

LEATHERWOOD GRAND LAKE

Spirit Lake Condos, LLC

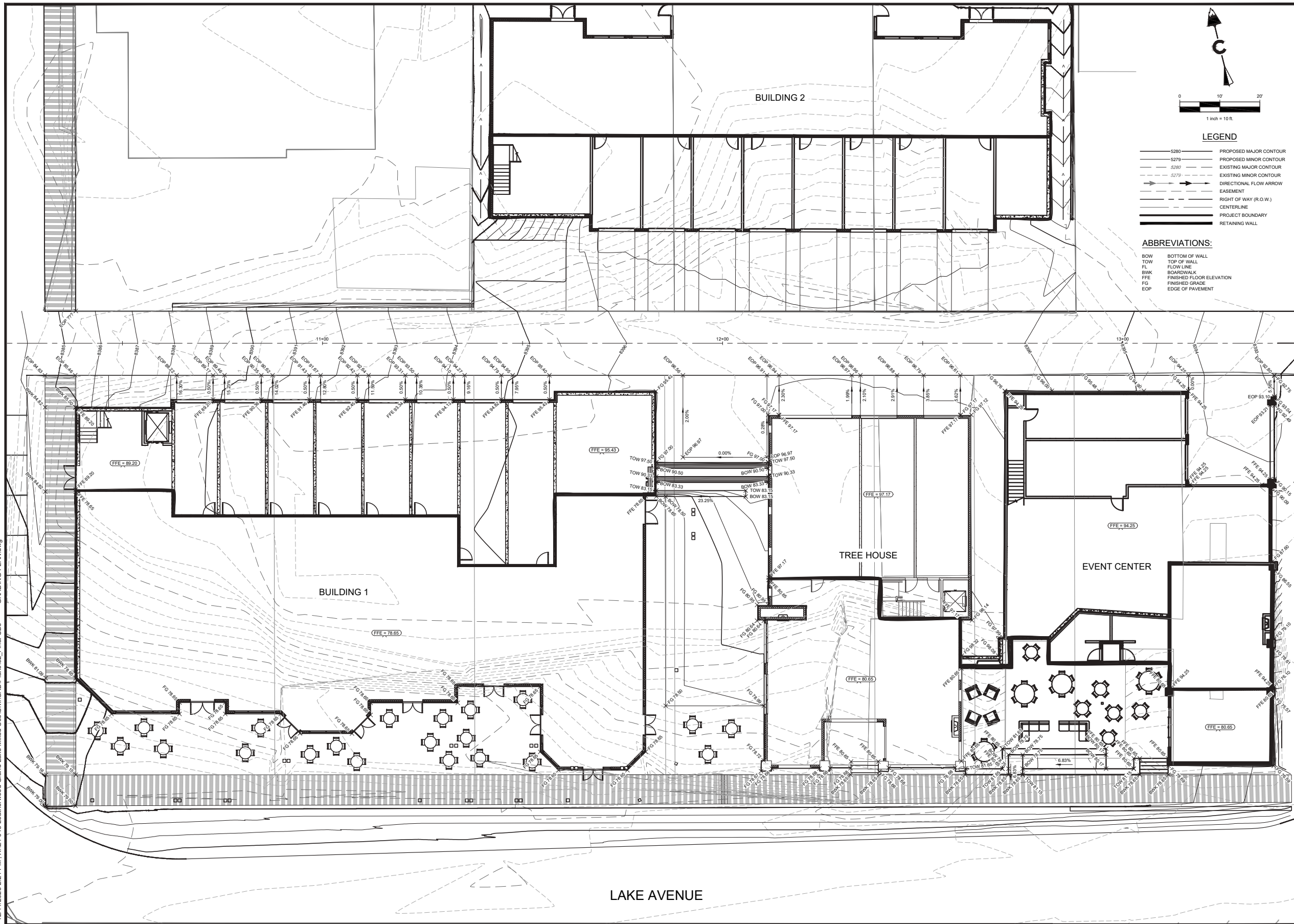
BLOCK 5, GRAND LAKE, CO 80447
PROJECT #2402



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<p>LEATHERWOOD GRAND LAKE BLOCK 5, GRAND LAKE, COLORADO CIVIL CONSTRUCTION DOCUMENTS GRADING PLAN - BLDG 1, TREE HOUSE & EVENT CENTER</p>		<p>DESIGNED BY: JRS DRAWN BY: TED CHECKED BY: JRS</p>	
<p>DATE: 12/11/25 BY: JRS</p>		<p>REVISION DESCRIPTION 1 FINAL PLAN</p>	
<p>JOB NO. 24-015</p>		<p>C1.6 OF C1.8</p>	

LEATHERWOOD GRAND LAKE

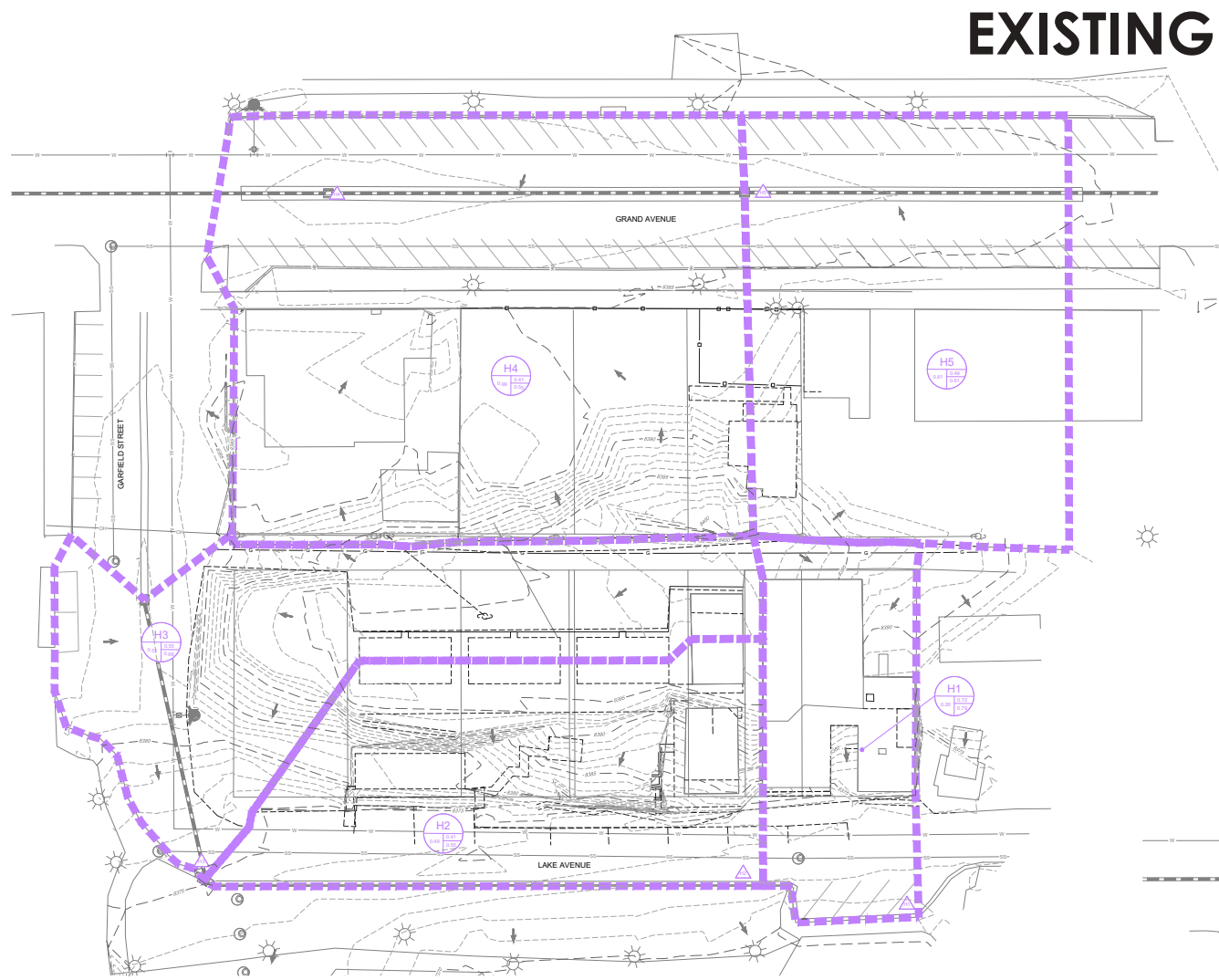
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PROJECT #2402



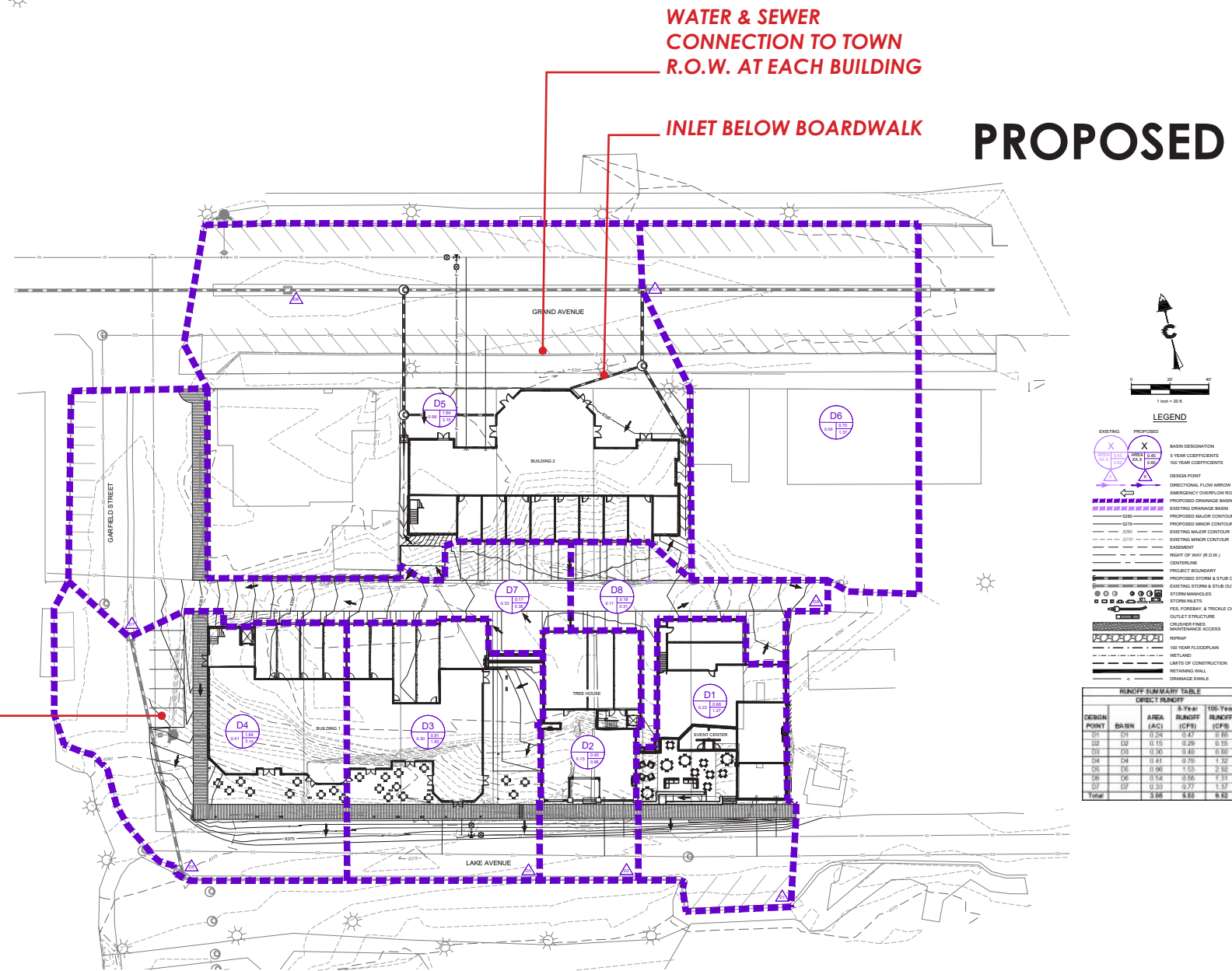
Final Development Plans

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SITE GRADING - LAKE AVE



**WATER & SEWER
CONNECTION TO TOWN
R.O.W. AT EACH BUILDING**



**WATER & SEWER
CONNECTION TO TOWN
R.O.W. AT EACH BUILDING**

INLET BELOW BOARDWALK

PROPOSED

LEGEND

- EXISTING MANHOLE
- PROPOSED MANHOLE
- MAN DESIGNATION
- 5 YEAR COEFFICIENT
- 100 YEAR COEFFICIENT
- DESIGN POINT
- DIRECTIONAL FLOW ARROW
- EMERGENCY OVERFLOW ROUTE
- PROPOSED DRAINAGE BASIN
- EXISTING DRAINAGE BASIN
- PROPOSED MINOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- RIGHT OF WAY (R.O.W.)
- CENTERLINE
- PROJECT BOUNDARY
- PROPOSED STORM & STUB OUT
- EXISTING STORM & STUB OUT
- STORM MANHOLE
- STORM INLET
- PILE DRIVEWAY & TRUCKLE CHANNEL
- OUTLET STRUCTURE
- CONCRETE FENCE
- MAINTENANCE ACCESS
- PPHWP
- 100 YEAR FLOODPLAIN
- WETLAND
- LIMIT OF CONSTRUCTION
- RETAINING WALL
- DRAINAGE SWALE

RUNOFF SUMMARY TABLE				
DESIGN POINT	AREA (AC)	3-Year Runoff (CFS)	100-Year Runoff (CFS)	
D1	0.25	0.47	0.86	
D2	0.15	0.29	0.55	
D3	1.96	3.67	6.96	
D4	0.41	0.79	1.50	
D5	0.96	1.83	3.42	
D6	1.54	2.90	5.43	
D7	0.33	0.62	1.17	
Total	5.60	10.62	20.09	

SITE DRAINAGE & UTILITIES: EXISTING VS. PROPOSED