

GATEWAY INN

A 2ND AMENDMENT TO PLANNED DEVELOPMENT OF
BLOCK 15, GRAND LAKE ESTATES, SECOND FILING,
LOCATED IN SECTION 6, T3N, R75W, 6TH P.M.,
TOWN OF GRAND LAKE, COUNTY OF GRAND, STATE OF COLORADO.

120 LAKE AVE., GRAND LAKE, CO 80447

DEDICATION

KNOW ALL MEN BY THESE PRESENTS: THAT Grand Lake Family LLLP is/are the owner and lien holder of that real property situated in the Town of Grand Lake, Colorado, described as follows:

Parcel Number: 1193-061-32-001
GATEWAY INN GRAND LAKE ESTATES BLOCK 15 2ND FILING
and
Parcel Number: 1193-062-00-002
METES & BOUNDS 75 ALL 1.51 ACRES IN LOT 6 SEC 6 T3N R75 DESC B/186 P/251

That the owner(s) and lien holder(s) have caused said real property to be laid out and surveyed as GATEWAY INN, and does hereby dedicate those portions of said real property which are indicated as easements on the accompanying plan as easements. Also that (Lien Holders Name), who is the lien holder of the property, does not guarantee the accuracy of representations of existing fact set forth hereon.

IN WITNESS WHEREOF Grand Lake Family LLLP has caused its/his/her name(s) to be hereunto subscribed this ____ day of _____, A.D., 20____

ATTEST:

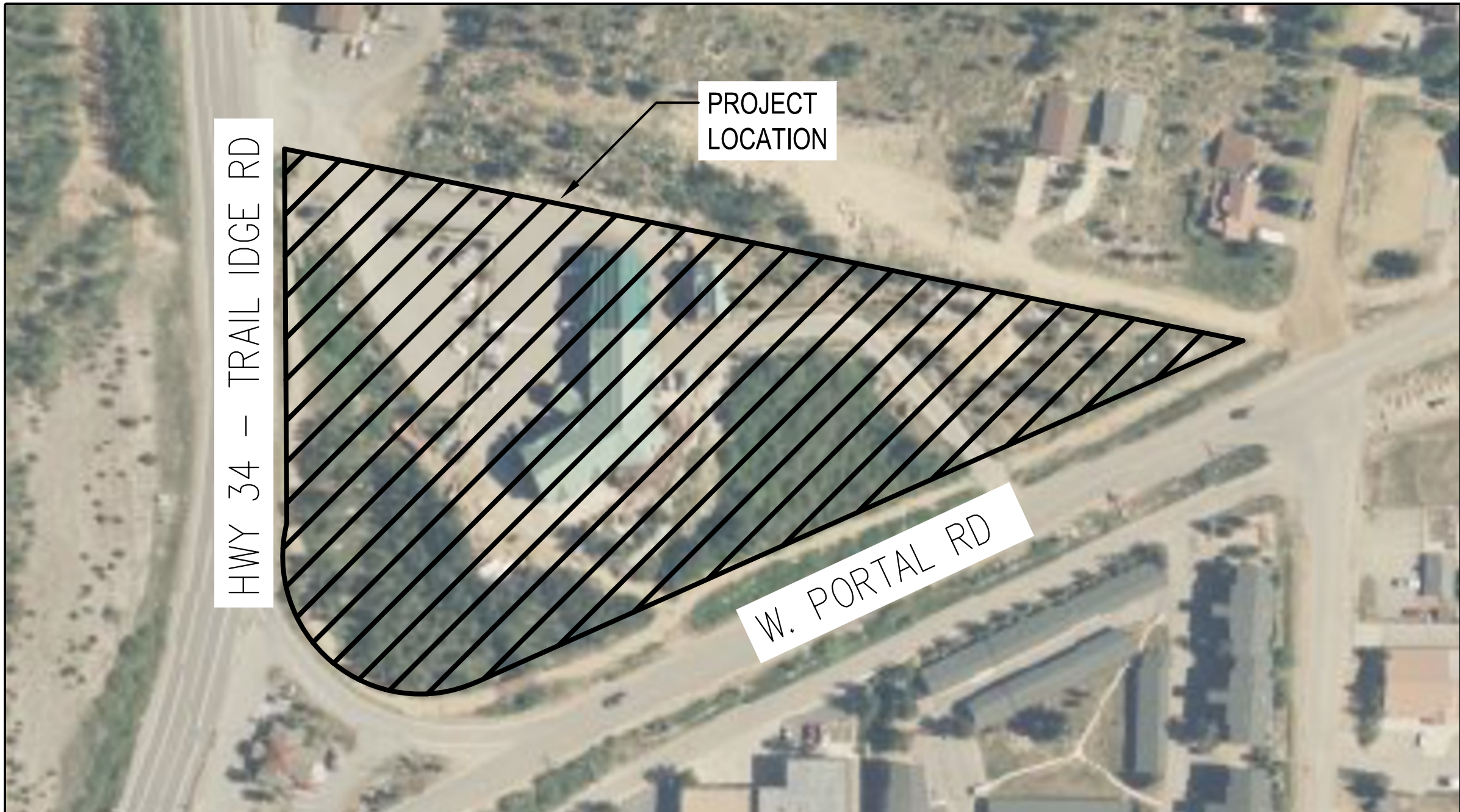
(Owner's) _____
(Lien Holder)

STATE OF COLORADO
COUNTY OF GRAND

The foregoing instrument was acknowledged before me this ____ day of _____, A.D., 20____ by Robbie Muck.

Witness my hand and official seal. My Commission Expires: _____
(date)

(Notary's Name)
NOTARY PUBLIC (SEAL)



VICINITY MAP

SCALE= 1"=100'

Sheet List Table	
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2-C2	EXISTING CONDITIONS & DEMO PLAN
3-C3	SITE & HORIZONTAL CONTROL PLAN
4-C4	GRADING PLAN
5- A3- .01	FLOOR PLANS- LEVEL 01 & ROOF
6- A5- .01	OVERALL EXTERIOR ELEVATIONS
7- A5- .21	OVERALL EXTERIOR PERSPECTIVES

BENCHMARK

THE PRIMARY BENCHMARK USED TO DETERMINE THE BASIS OF ELEVATIONS FOR THIS MAP NGS STATION T38 A STANDARD BUREAU OF RECLAMATION 3-1/4" BRASS DISK AT WEST PORTAL ROAD BRIDGE OVER THE NORTH INLET TO GRAND LAKE, AND IN THE CONCRETE CURB. NAVD88 PUBLISHED ELEVATION = 8441.34 FEET.

BASIS OF BEARING

BEARINGS SOWN ON THE ACCOMPANYING TOPOGRAPHIC MAP ARE BASED ON THE ASSUMPTION THAT THE CHORD BEARING BETWEEN AP-158 A AND AP-159, BEARS N82°53'08"W, AS MONUMENTED AND SHOWN HERON.

SIGNATURE BLOCKS

SURVEYOR'S CERTIFICATE

I, _____, a duly registered Land Surveyor in the State of Colorado, do hereby certify that this GATEWAY INN truly and correctly represents the results of a survey made by me or under my supervision, and that said plot complies with the requirements of Title 38, Article 50 and 51, Colorado Revised Statutes, 1973, and that the monuments required by said Statutes and by the Town of Grand Lake Development Regulations have been placed on the ground.

WARREN WARD

SURVEYOR STAMP AND REGISTRATION NUMBER

PLANNING COMMISSION CERTIFICATION

PLANNING COMMISSION CERTIFICATE
APPROVED AFTER PUBLIC HEARING by the Grand Lake Planning Commission the ____ day of _____, 20____.

Chairman _____ ATTEST: _____
Secretary

CLERK & RECORDER CERTIFICATE - COUNTY OF BOULDER, STATE OF COLORADO

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT ____ O'CLOCK, ____M., THIS ____ DAY OF _____, 201____, AND IS RECORDED IN PLAN FILE _____, FEE _____, PAID _____, FILM NO. _____, RECEPTION

RECORDER _____ DEPUTY _____

TOWN BOARD OF TRUSTEES CERTIFICATE

APPROVED BY the Board of Trustees of the Town of Grand Lake the ____ day of _____, 20____.

MAYOR

ATTEST:

TOWN CLERK

CONTACTS

OWNER
ROBBIE MUCK
GRAND LAKE FAMILY LLLP
120 LAKE AVE
GRAND LAKE, CO 80447
PHONE: 303-507-7000
ROB@MILEHIGHMICRO.COM

CIVIL ENGINEER
HOWARD EHRSAM, P.E.
BOWMAN CONSULTING GROUP, LTD
1526 COLE BLVD STE 100
LAKEWOOD, CO 20401
PHONE: 303-801-2905
HEHRSAM@BOWMAN.COM

ARCHITECT
NAME
MUNN ARCHITECTURE
315 EAST AGATE AVENUE
GRANBY, CO 80446
PHONE: 970-887-9366
NAME@MUNNARCH.COM
SURVEYOR
WARREN WARD
ROCKY MOUNTAIN SURVEYS INC.
P.O. BOX 552
WINTER PARK, CO 80482
970-726-7166
WWARD8100@GMAIL.COM

DESIGN ENGINEER APPROVAL

THESE CONSTRUCTION PLANS FOR THE GATEWAY INN WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF GRAND LAKE.

HOWAR EHRSAM, PE NO. 0054031
FOR AND ON BEHALF OF BOWMAN CONSULTING

12-23-2024
DATE



REVISIONS		DATE
REVISION	DESCRIPTION	
01	RESPONSE TO COMMENTS	12-23-2024

COVER SHEET

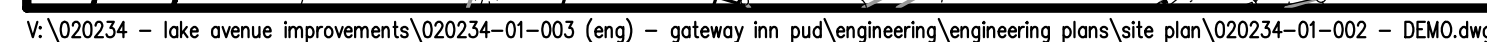
GATEWAY INN
120 LAKE AVE, GRAND LAKE, CO 80447

GRAND LAKE


COLORADO

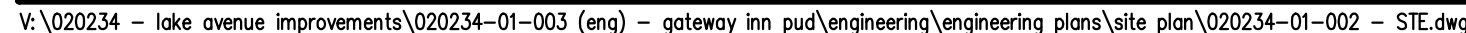
NOT FOR
CONSTRUCTION

DESIGN HE	DRAWN JB	CHKD HE
SCALE H: V:		
JOB No. 020234-01-003		
DATE : 10/28/2024		
SHEET 1-C1		



1. THE CONTRACTOR SHALL REMOVE ALL SEDIMENT, MUD AND CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE FLOWLINES AND PUBLIC RIGHTS-OF-WAY OF THE APPROPRIATE GOVERNING AGENCY AS A RESULT OF THIS CONSTRUCTION PROJECT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.
2. ALL DISTURBED AREAS MUST BE HYDRO-MULCHED W/ TACKIFIER AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE NOT OTHERWISE PERMANENTLY STABILIZED.
3. THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES; OR TO SUPPORT SILT FENCE USED AS AN EROSION CONTROL MEASURE, IS PROHIBITED. THE USE OF OSHA APPROVED COLORED WARNING CAPS ON REBAR OR FENCE POSTS USED WITH EROSION CONTROL MEASURES IS NOT ACCEPTABLE.
4. IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF A DRAINAGE WAY, ADDITIONAL SEDIMENT CONTROLS SUCH AS TEMPORARY DIKES OR SILT FENCE SHALL BE REQUIRED.
5. EROSION BALES SHALL BE PLACED SUCH THAT RUNOFF WILL NOT FLOW BETWEEN, AROUND OR UNDER BALES. BALES TO BE ANCHORED WITH 2" X 2" X 3' WOODEN STAKES OR TWO PER BALE.
6. WHEN TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE REMOVED, ANY SILT AND SEDIMENT DEPOSITS SHALL BE REMOVED AND SPREAD EVENLY IN OPEN AREAS.
7. BEST MANAGEMENT PRACTICES (BMP) DETAILS SHOWN ON THESE PLANS ARE CONCEPTUAL ONLY. ADJUST AS NECESSARY TO FIT FIELD CONDITIONS.
8. TEMPORARY SEDIMENT BASINS SHALL BE USED DURING CONSTRUCTION TO CONTAIN ALL RUNOFF FROM THE SITE. IF TRENCH DEWATERING OR GROUND WATER REMOVAL IS REQUIRED, THE SEDIMENT POND OR OTHER APPROVED MEANS SHALL BE USED TO DETAIN ALL WATER PUMPED BY THESE OPERATIONS.
9. THE CONTRACTOR SHALL SUBMIT A SCHEDULE OF CONSTRUCTION, GRADING AND LANDSCAPING, INCLUDING THE NAME AND 24 HOUR PHONE NUMBER OF THE RESPONSIBLE PARTY TO CONTACT REGARDING ANY EROSION OR SEDIMENT PROBLEM TO THE APPROPRIATE GOVERNING AGENCY PRIOR TO BEGINNING ANY CONSTRUCTION.
10. EROSION CONTROL MEASURES TO BE COORDINATED WITH CONSTRUCTION MANAGER.
11. EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED IN ACCORDANCE WITH REGULATIONS OF THE APPROPRIATE GOVERNING AGENCY.

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JOB No. 020234-01-003		
DATE : 10/28/2024		
SHEET 2-C2		

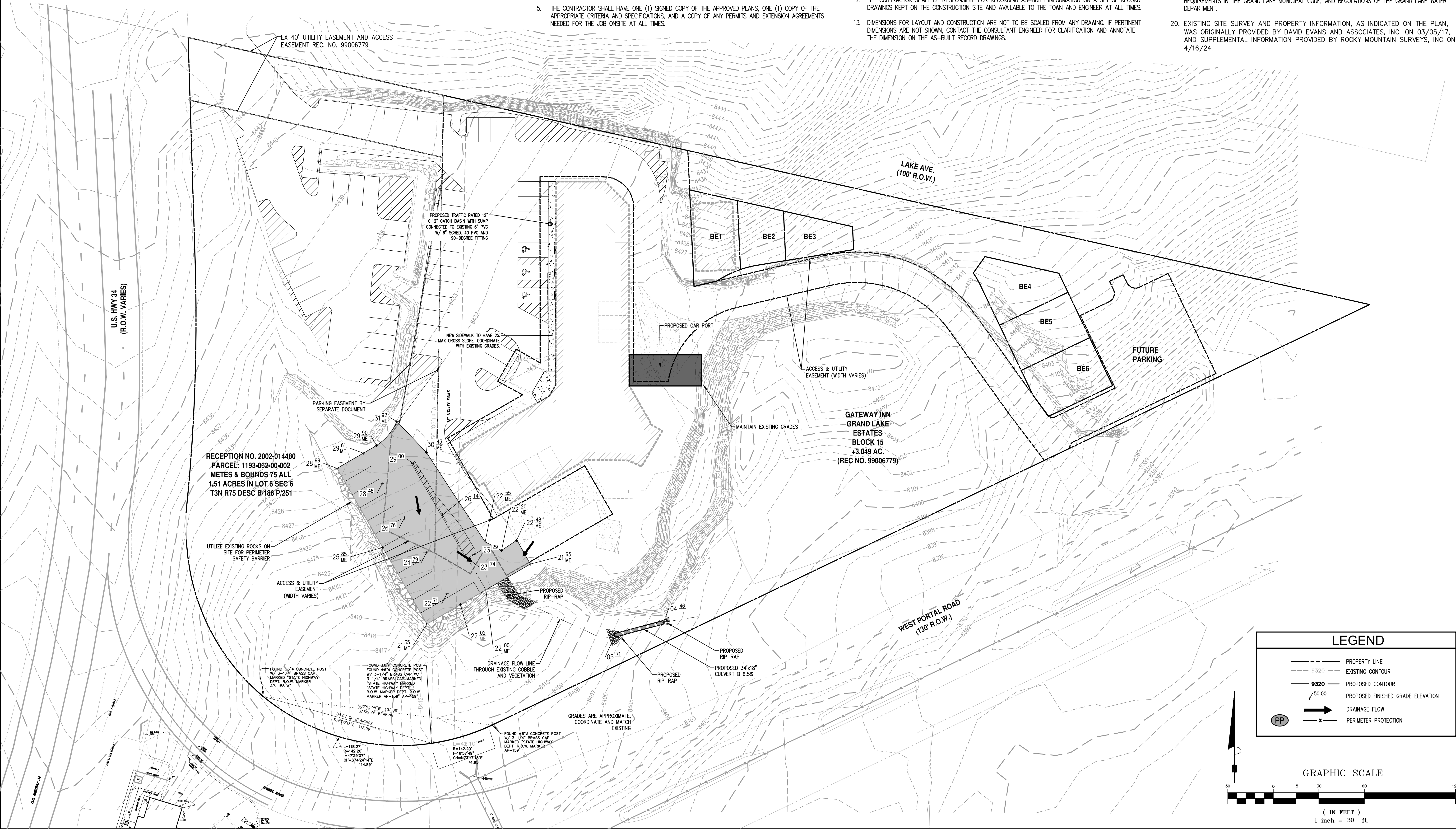


GENERAL NOTES:

- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS FROM THE TOWN OF GRAND LAKE, THE THREE LAKES WATER AND SANITATION DISTRICT, AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE STANDARDS OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. WORK SHALL BE INSPECTED AND APPROVED BY THE TOWN OF GRAND LAKE.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE.
- THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE TOWN AND ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE CRITERIA AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB ONSITE AT ALL TIMES.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
- IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN IN ACCORDANCE WITH MUTCD TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY (TOWN, COUNTY OR STATE) FOR APPROVAL PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN OR AFFECTING THE RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR AS DESIGNATED TO BE PROVIDED, INSTALLED, OR CONSTRUCTED UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE AND AVAILABLE TO THE TOWN AND ENGINEER AT ALL TIMES.
- DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE CONSULTANT ENGINEER FOR CLARIFICATION AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.

- THE CONTRACTOR SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE COLORADO PERMIT FOR STORM WATER DISCHARGE, THE STORM WATER MANAGEMENT PLAN, AND THE EROSION CONTROL PLAN.
- ALL STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION PRIOR TO ANY OTHER EARTH-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREA IS STABILIZED WITH HARD SURFACE OR LANDSCAPING.
- THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF THE WATER LINES AND DRY UTILITIES.
- THERE SHALL BE NO SITE CONSTRUCTION ACTIVITIES ON SATURDAYS UNLESS SPECIFICALLY APPROVED BY THE OWNER AND NO SITE CONSTRUCTION ACTIVITIES ON SUNDAYS OR HOLIDAYS UNLESS THERE IS PRIOR WRITTEN APPROVAL BY THE OWNER.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS AND TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS, SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION IMPROVEMENTS SHALL MEET OR EXCEED THE REQUIREMENTS IN THE GRAND LAKE MUNICIPAL CODE, AND REGULATIONS OF THE GRAND LAKE WATER DEPARTMENT.
- EXISTING SITE SURVEY AND PROPERTY INFORMATION, AS INDICATED ON THE PLAN, WAS ORIGINALLY PROVIDED BY DAVID EVANS AND ASSOCIATES, INC. ON 03/05/17, AND SUPPLEMENTAL INFORMATION PROVIDED BY ROCKY MOUNTAIN SURVEYS, INC ON 4/16/24.



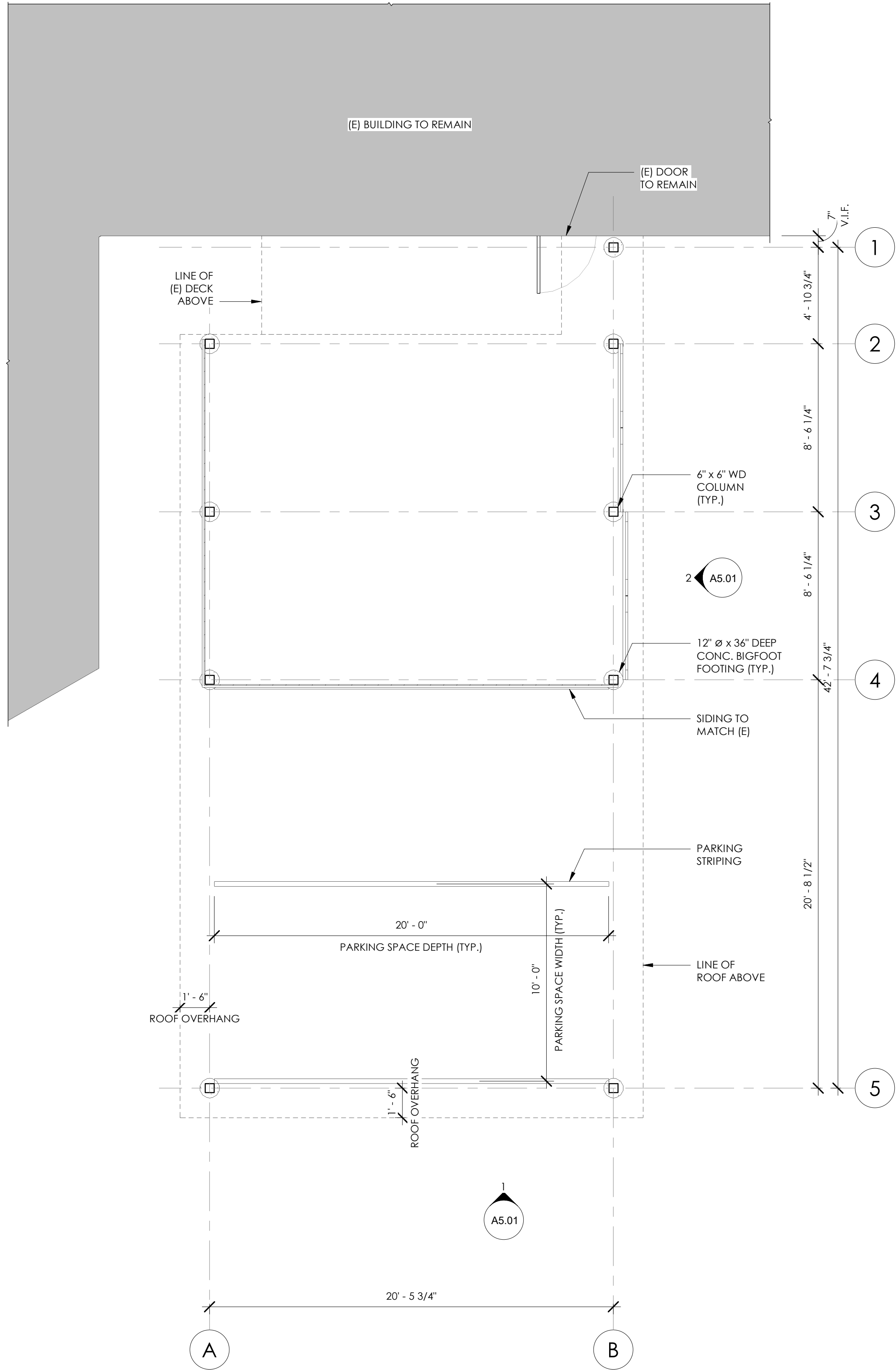
REVISION	DESCRIPTION	DATE
01	RESPONSE TO COMMENTS	12-23-2024

GRADING PLAN			GATEWAY INN		
120 LAKE AVE, GRAND LAKE, CO 80447			GRAND LAKE		
COLORADO			NOT FOR CONSTRUCTION		
DESIGN	DRAWN	CHKD	JOB No. 020234-01-003		
HE	JB	HE	DATE : 10/28/2024		
SCALE 1" = 30'			SHEET		
4-C4					

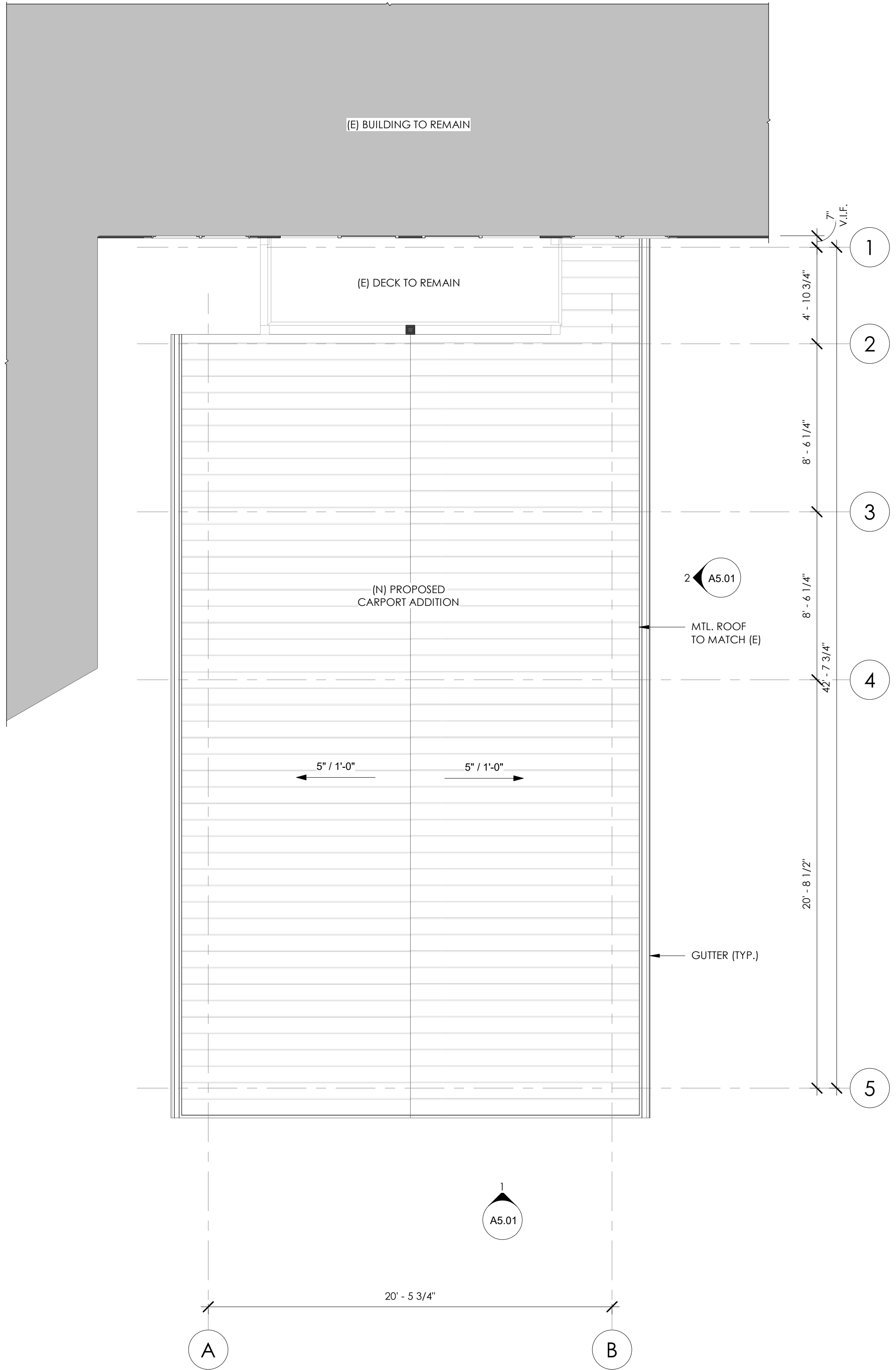
- TYPICAL PLAN NOTES:
- DO NOT SCALE DRAWINGS. WHERE DIMENSIONS OR EXACT LOCATIONS ARE REQUIRED BUT ARE NOT INCLUDED IN THE DRAWINGS, CONTRACTOR SHALL REQUEST INFORMATION FROM THE ARCHITECT. ARCHITECT DOES NOT WARRANT THE ACCURACY OF SCALED DIMENSIONS. DIMENSIONS INDICATED BY FIGURES OR NUMERALS SHALL GOVERN. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. WHERE INDICATED TO "ALIGN", FINISH FACES SHALL BE LOCATED IN THE SAME PLANE AND TAKE THE HIGHEST PRECEDENCE.
 - REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION WALL DIMS, STRUCTURAL REQUIREMENTS, MEMBER SIZES, CONNECTION DETAILS, ETC.
 - TRUSS PROFILES INDICATED ARE FOR DESIGN INTENT ONLY AND SHALL BE PRE-ENGINEERED BY THE SELECTED TRUSS MANUFACTURER. CONTRACTOR IS TO VERIFY DIMS IN FIELD AND PROVIDE SHOP DRAWINGS INCLUDING TRUSS LAYOUTS AND FINAL PROFILES FOR REVIEW BY THE DESIGN TEAM TO ENSURE ACCURACY PRIOR TO FABRICATION.
 - INTERIOR / EXTERIOR WALL DIMS ARE SHOWN TO THE FACE OF STUD FRAMING, UON
 - CONTRACTOR SHALL PROVIDE SLIP JOINT CONNECTIONS AT ALL PARTITIONS AND BRACES ATTACHED TO SLAB-ON-GRADE FLOORS, STRUCTURAL STEEL FRAMING AND/OR ROOFS FRAMING TO ALLOW DIFFERENTIAL MOMENT OF ASSEMBLIES.
 - SCHEDULED DOOR OPENINGS NOT LOCATED BY A DIMENSION SHALL BE LOCATED 4" MIN FROM THE ADJACENT WALL FACE OF FINISH TO ALLOW REQUIRED CLEARANCES FOR SCHEDULED TRIM AND DOOR HARDWARE.
 - ALL SLAB-ON-GRADE JOINTS, INCLUDING SLAB PERIMETER JOINTS, SHALL BE FILLED WITH SEALANT; SEALANT COLOR TO BE VERIFIED WITH ARCHITECT FOR ALL JOINTS EXPOSED TO VIEW.
 - CONTRACTOR SHALL VERIFY ALL CONDITIONS IN FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.

PLAN HATCH LEGEND:

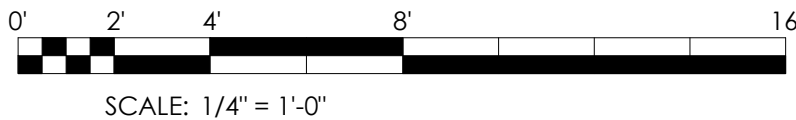
- | | |
|--|---|
| | EXISTING WALLS AND ELEMENTS SCHED TO REMAIN |
| | EXISTING WALLS AND ELEMENTS SCHED TO BE REMOVED |
| | EXISTING ELEMENTS TO BE SALVAGED, VERIFY W/ OWNER |
| | ELEMENTS OVERHEAD |
| | OPEN TO ABOVE, BELOW AND/OR BEYOND (RE: PLANS) |
| | EXISTING ELEMENT TO REMAIN (GRAY LINES) |
| | NEW ELEMENT AS INDICATED (BLACK LINES) |



1 FLOOR PLAN - LEVEL 01
SCALE: 1/4" = 1'-0"



2 ROOF PLAN
SCALE: 1/4" = 1'-0"



ARCHITECT :



Munn Architecture, LLC
315 EAST AGATE AVENUE
P.O. BOX 21
GRANBY, CO 80446
970-887-9366
WWW.MUNNARCH.COM

STAMP :

NOT FOR CONSTRUCTION
FOR REFERENCE ONLY

GATEWAY INN ADDITION

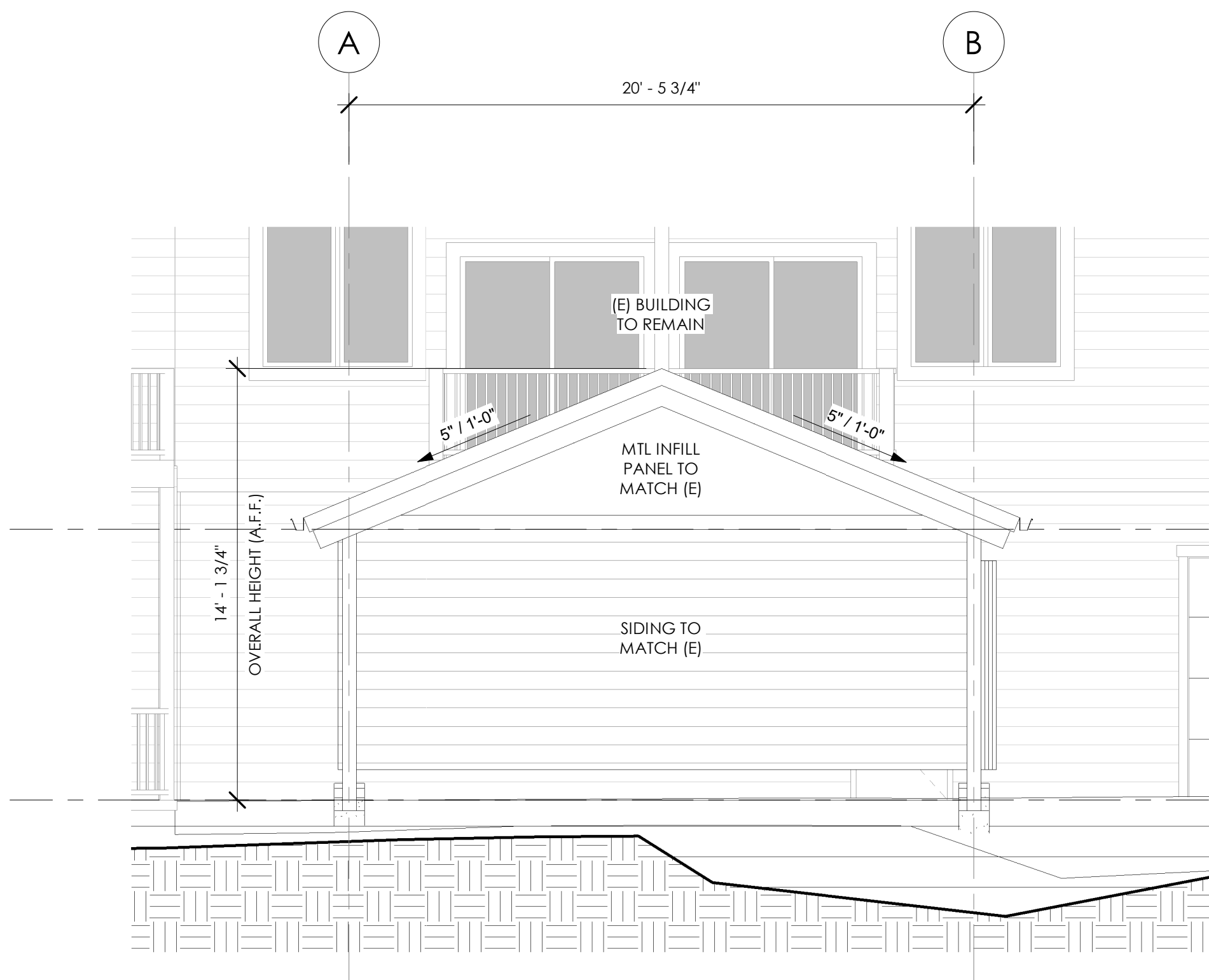
ROBBIE MUCK
120 LAKE AVE, GRAND LAKE, CO 80447
PROJECT #: 1708

ISSUANCE : DATE :
SCHEMATIC DESIGN PROGRESS 2017-0522

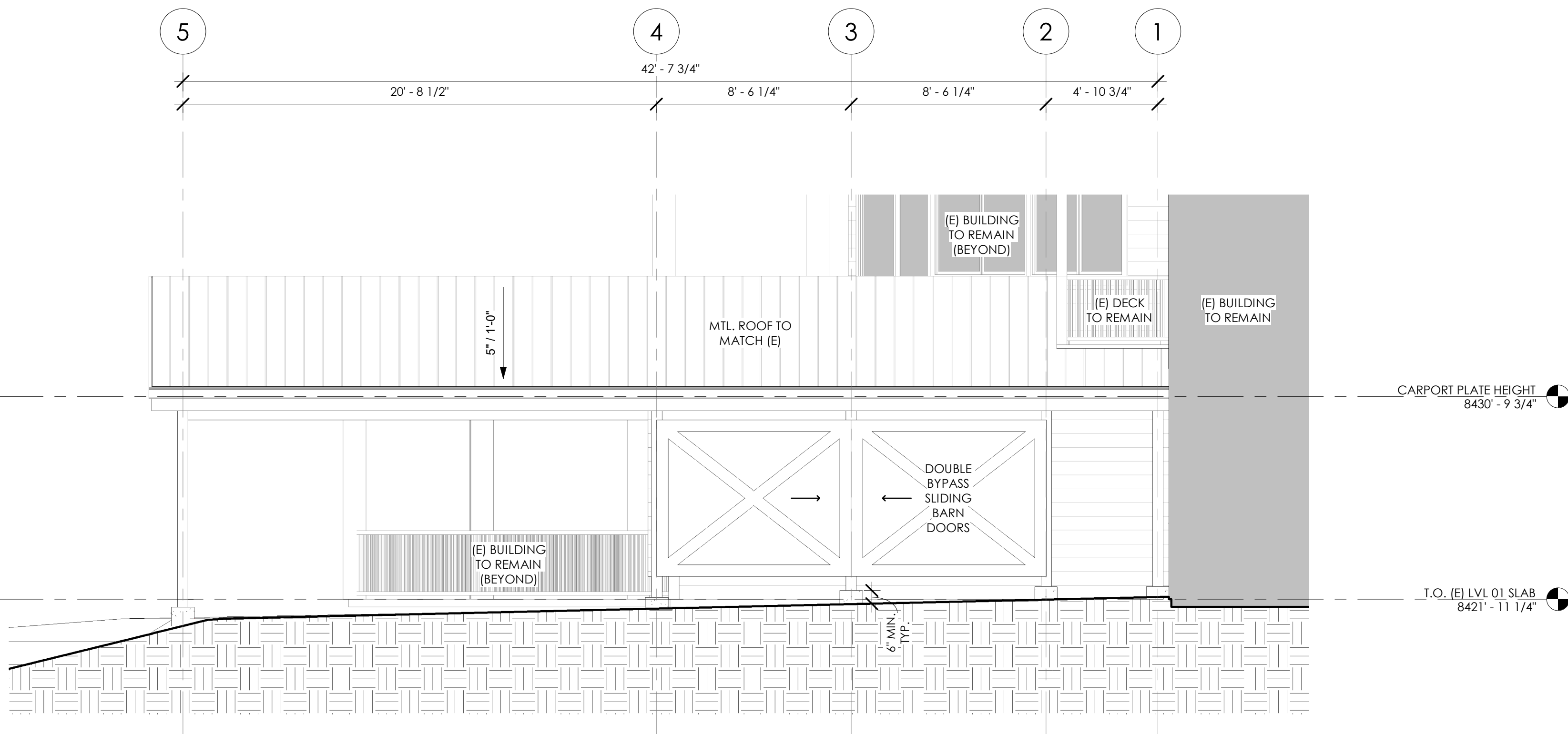
SHEET TITLE :
FLOOR PLANS - LEVEL 01 & ROOF

SHEET NUMBER :

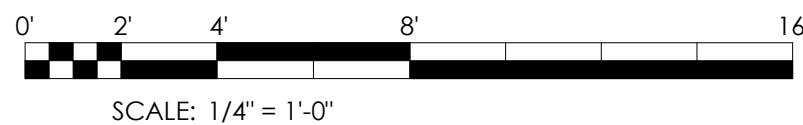
5-A3.01



1 ELEVATION - EAST
AS01 SCALE: 1/4" = 1'-0"



2 ELEVATION - NORTH
AS01 SCALE: 1/4" = 1'-0"



ARCHITECT :



Munn Architecture, LLC

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970-887-9366
WWW.MUNNARCH.COM

STAMP :

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GATEWAY INN ADDITION

ROBBIE MUCK

120 LAKE AVE, GRAND LAKE, CO 80447

PROJECT #: 1708

ISSUANCE : DATE :
SCHEMATIC 2017-0522
DESIGN
PROGRESS

SHEET TITLE :
OVERALL EXTERIOR
ELEVATIONS

SHEET NUMBER :

6-A5.01

ALL DRAWINGS AND WRITTEN DOCUMENTS HEREIN CONSTITUTE THE ORIGINAL INTELLECTUAL PROPERTY OF THE ARCHITECT AND MAY NOT BE REUSED, REPRODUCED OR DISCLOSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF MUNN ARCHITECTURE, LLC.

8/31/2022 10:25:21 AM
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NOTE:
3D PERSPECTIVES ARE FOR REFERENCE ONLY. SEE ARCH DRAWINGS FOR MORE DETAILED INFORMATION.



ARCHITECT :



Munn Architecture, LLC

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GATEWAY INN ADDITION

ROBBIE MUCK

120 LAKE AVE, GRAND LAKE, CO 80447

PROJECT #: 1708

ISSUANCE : DATE :
SCHEMATIC 2017-0522
DESIGN
PROGRESS

SHEET TITLE :
OVERALL EXTERIOR
PERSPECTIVES

SHEET NUMBER :

7-A5.21