

Leatherwood Grand Lake

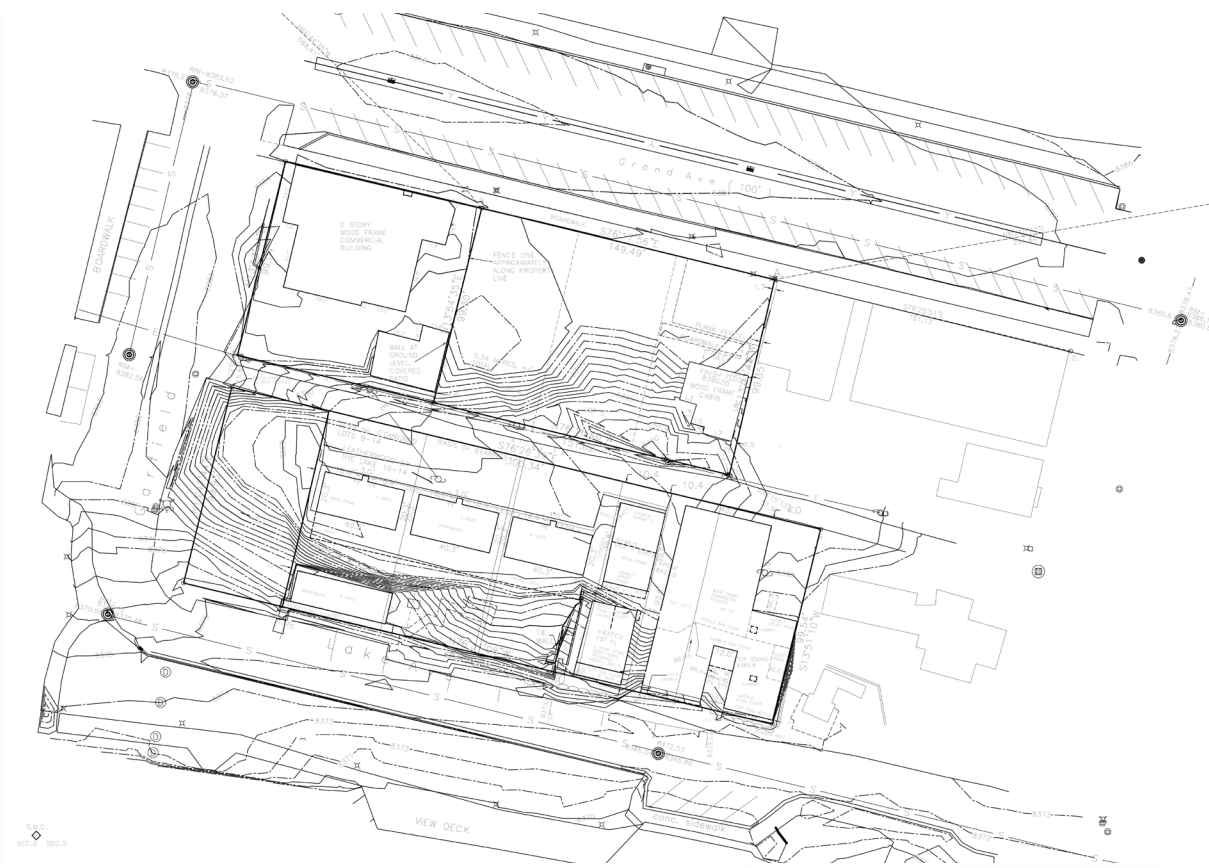
Block 5, Grand Lake, CO 80447

Spirit Lake Condos, LLC

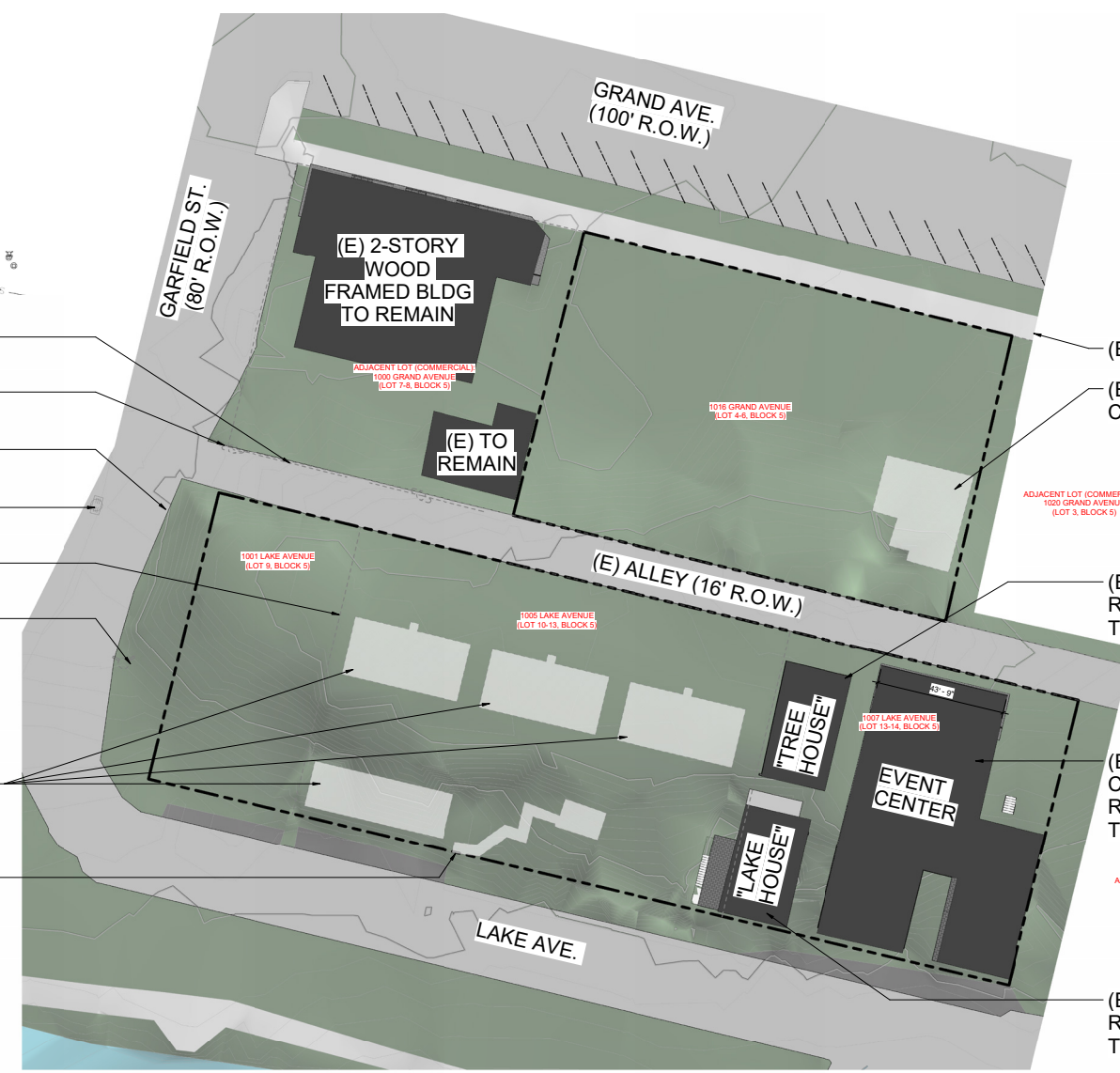
Preliminary Development Application & Preliminary Plat Plans

01/08/2025

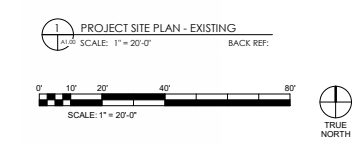




- (E) OVHD ELEC
- (E) POWER POLE
- (E) TIMBER CURB
- (E) DROP INLET
- (E) LOT LINE
- (E) HYDRANT
- (E) WOOD FRAMED BUILDINGS TO BE REMOVED
- (E) WOOD FRAMED DECK AND STAIR TO BE REMOVED



- (E) BOARDWALK
- (E) WOOD FRAMED CABIN TO BE REMOVED
- (E) WOOD FRAMED RESIDENTIAL BUILDING TO REMAIN
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SITE PLAN: EXISTING

LEATHERWOOD GRAND LAKE

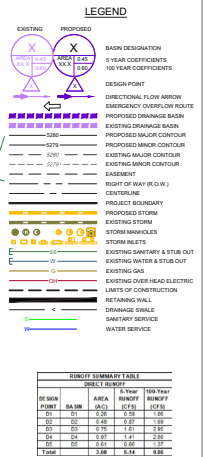
Spirit Lake Condos, LLC

BLOCK 5, GRAND LAKE, CO 80447
PROJECT #2402

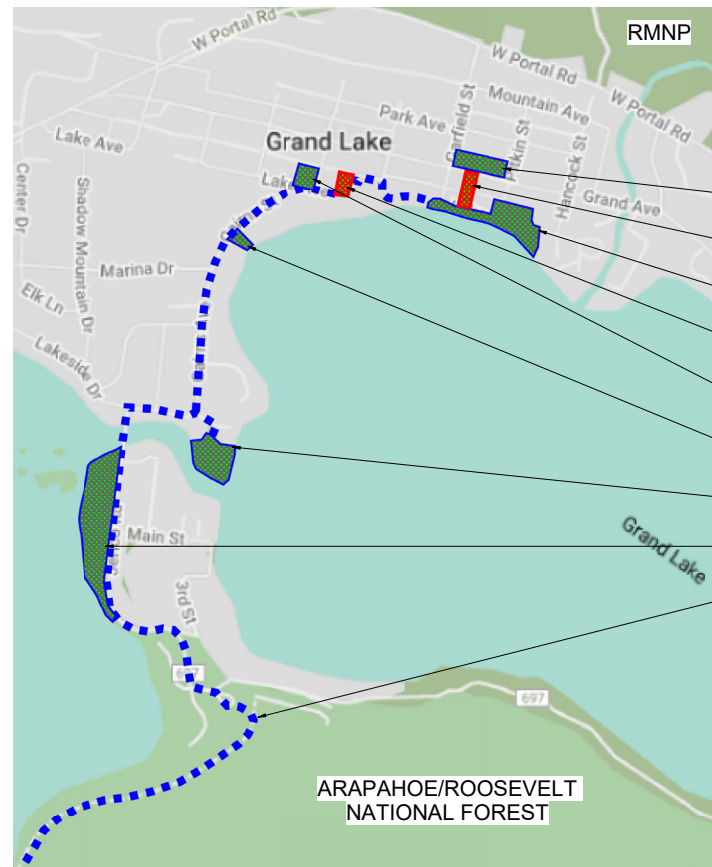
Spirit Lake Condos, LLC

BLOCK 5, GRAND LAKE, CO 80447

PROJECT #2402



SITE DRAINAGE & UTILITIES: EXISTING VS. PROPOSED



- CITY PARK
- LEATHERWOOD PLAZA
- GL BEACH & MARINA
- NEW PARK @ 825 LAKE
- ESLICK HISTORIC SITE
- CAIRNS OPEN SPACE
- POINT PARK
- RAINBOW BRIDGE PARK
- CDT TRAILHEAD

OPEN SPACE CALCS:

TOTAL AREA WITHIN PROPERTY LINE: 1.03 ACRES (44,877 SF)
TOTAL BUILDING FOOTPRINTS: 31,472 SF
ON-SITE OPEN SPACE: 13,405 SF
OFF-SITE OPEN SPACE (@ 825 LAKE AVE): 5,554 SF
TOTAL OPEN SPACE: 18,959 SF

PERCENTAGE (TOTAL OPEN/LOT AREA): 18,959/52,388 = **36.19%**
PER GL CODE (TABLE 12-2-26-3): **GROUP III**
REQUIRED OPEN SPACE: **35% MINIMUM**

TOTAL COMMERCIAL/OFFICE: 14,414 SF
TOTAL RESIDENTIAL: 50,686 SF
TOTAL GROSS SF/FLOOR AREA: 65,100 SF

PERCENTAGE (COMMERCIAL/TOTAL): 14,414/65,100 = **22.14%**
REQUIRED COMMERCIAL %: **25-50%**

825 LAKE AVE:
7,511 SF (TOTAL AREA)
5,554 SF (OPEN SPACE)

BUILDING #2:
4,081 SF (TOTAL FP)
2,164 SF (RETAIL - L1)
1,917 SF (LEVEL 1 - PARKING)
2,174 SF (LEVEL 2 - RESIDENTIAL)

BUILDING #3:
6,075 SF (TOTAL FP)
3,669 SF (COMMERCIAL - L1)
2,406 SF (LEVEL 1 - PARKING)
4,234 SF (LEVEL 2 - RESIDENTIAL)

BUILDING #1:
14,252 SF (TOTAL FP)
6,230 SF (LEVEL 0 - COMMERCIAL)
1,061 SF (LEVEL 1 - COMMERCIAL)
4,734 SF (LEVEL 1 - PARKING)
6,585 SF (LEVEL 1 - RESIDENTIAL UNITS - 4)
10,318 SF (LEVEL 2 - RESIDENTIAL UNITS - 4)
6,928 SF (LEVEL 3 - RESIDENTIAL UNITS - 3)

TREEHOUSE (0 SF COMMERCIAL):
1,146 SF (TOTAL FP)
564 SF (LEVEL 1 PARKING)
562 SF (UNIT LEVEL 1 ENTRIES)
1,470 SF (UPPER LEVEL UNIT)

LAKEHOUSE (0 SF COMMERCIAL):
1,093 SF (TOTAL FP)
866 SF (LEVEL 0 UNIT)
745 SF (LEVEL 1 UNIT)
747 SF (LEVEL 2 UNIT)

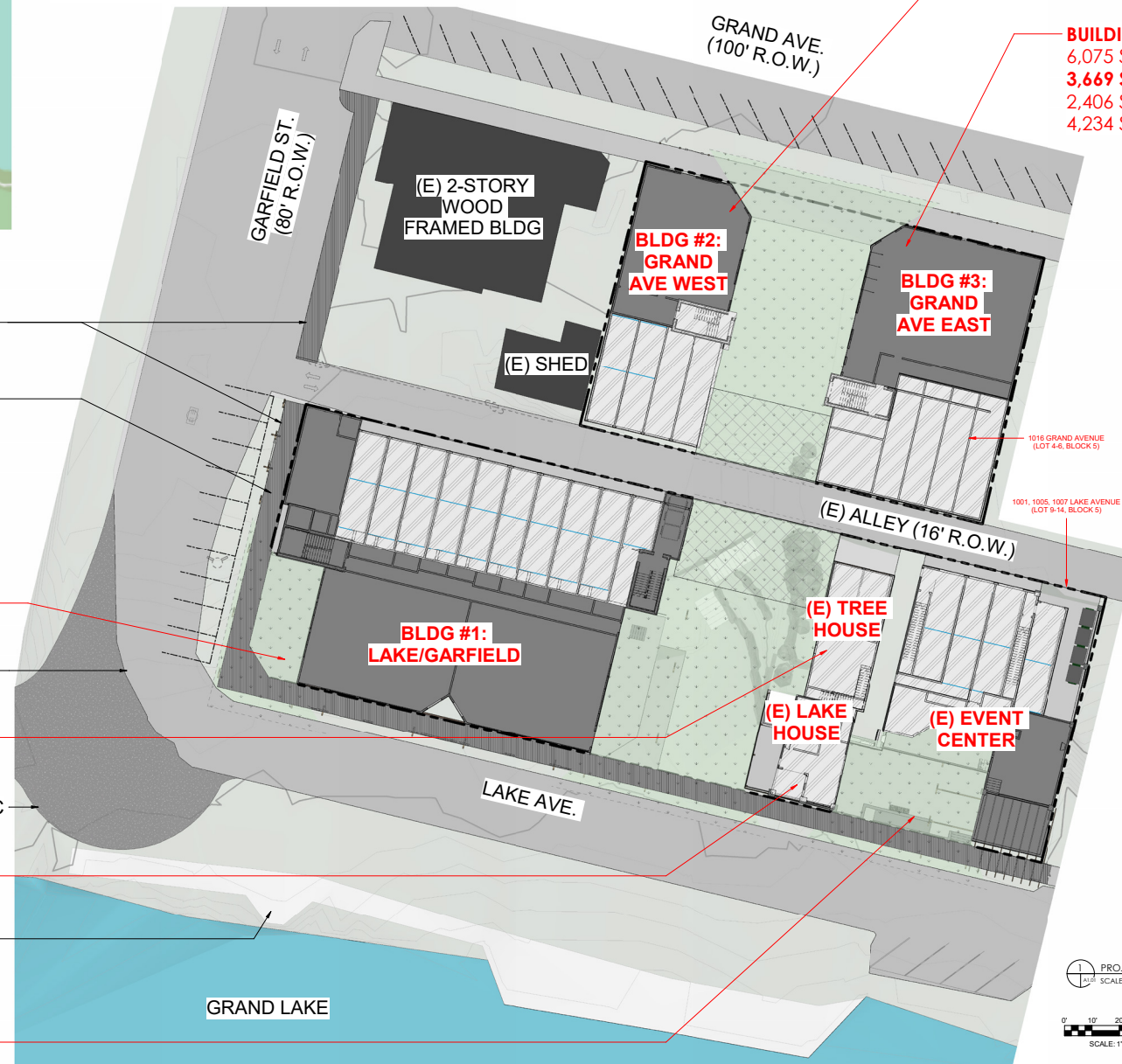
EVENT CENTER:
4,825 SF (TOTAL FP)
1,290 SF (LAKE AVE - COMMERCIAL)
2,336 SF (LEVEL 1 - PARKING)
1,096 SF (LEVEL 1 - RESIDENTIAL UNIT - 1)
3,004 SF (LEVEL 2 - RESIDENTIAL UNITS - 2)

- NEW CURB & GUTTER AT NEW BOARDWALK
- NEW BOARDWALK (GARFIELD & LAKE)

EDGE OF (E) ASPHALT

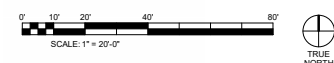
NEW TURNAROUND FOR LOADING/DELIVERIES/ETC

(E) PUBLIC BOARDWALK & PIER



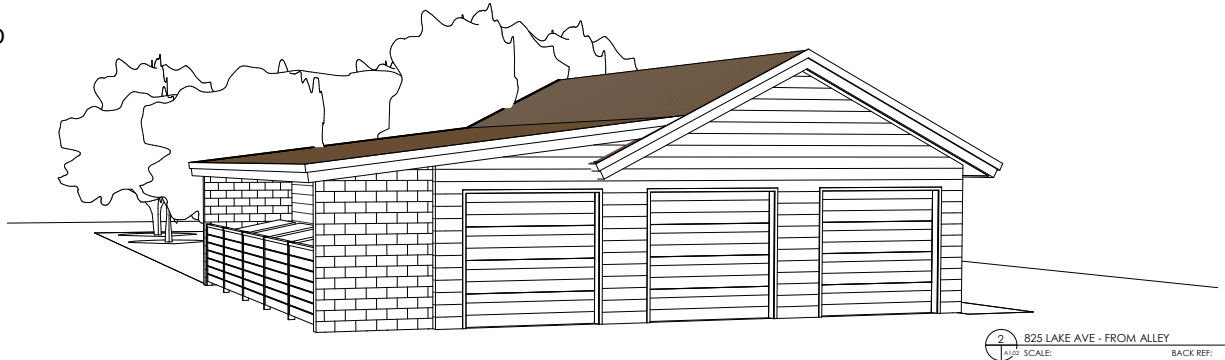
SITE LEGEND:	
	EXISTING BUILDING (TO REMAIN)
	COMMERCIAL OCCUPANCY @ GROUND (RESIDENTIAL ABOVE, TYP)
	PARKING BELOW (RESIDENTIAL OCCUPANCY ABOVE)
	EXISTING ASPHALT (TO REMAIN)
	NEW ASPHALT/PAVING (RE: CIVIL)
	NEW BOARDWALK
	EXISTING BOARDWALK
	NEW PUBLIC PLAZA W/ TABLES (LANDSCAPE, PATHWAYS, STEPS TBD)
	SNOW STORAGE
	PHASE SEPARATION (APPROX)

PROJECT SITE PLAN - SITE CALCULATIONS
SCALE: 1" = 20'-0"



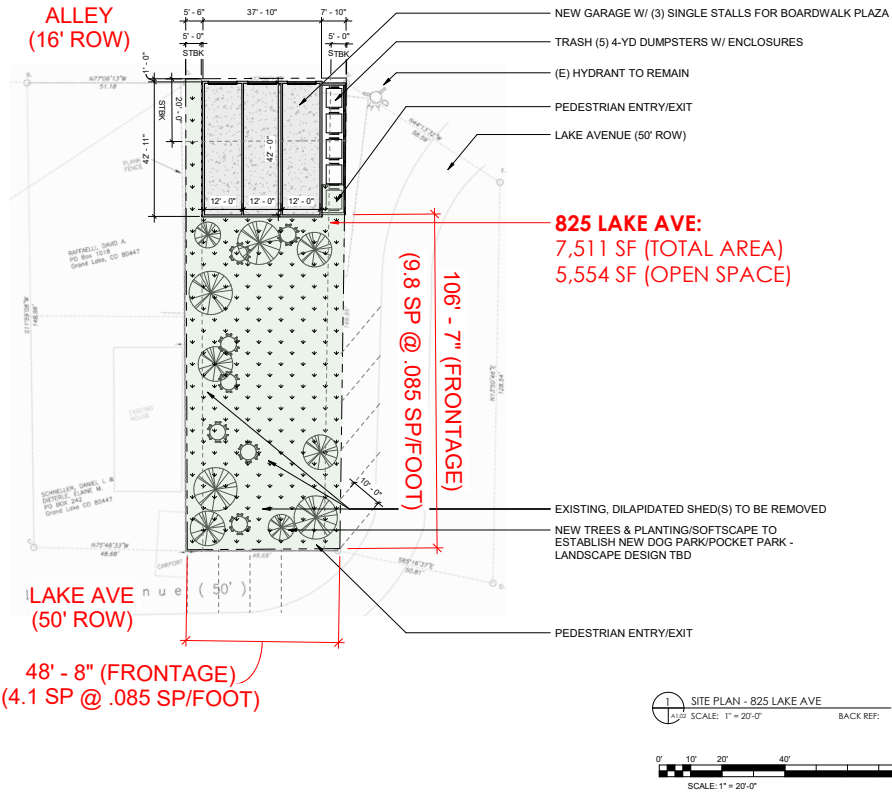


- CITY PARK
- LEATHERWOOD PLAZA
- GL BEACH & MARINA
- NEW PARK @ 825 LAKE
- ESLICK HISTORIC SITE
- CAIRNS OPEN SPACE
- POINT PARK
- RAINBOW BRIDGE PARK
- CDT TRAILHEAD



SITE LEGEND:

	EXISTING BUILDING (TO REMAIN)
	COMMERCIAL OCCUPANCY (8' GROUND (RESIDENTIAL ABOVE, TYP))
	PARKING BELOW/ RESIDENTIAL OCCUPANCY ABOVE
	EXISTING ASPHALT (TO REMAIN)
	NEW ASPHALT/PAVING (RE: CIVIL)
	NEW BOARDWALK
	EXISTING BOARDWALK
	NEW PUBLIC PLAZA W/ TABLES (LANDSCAPE, PATHWAYS, STEPS TBD)
	SNOW STORAGE
	PHASE SEPARATION (APPROX)



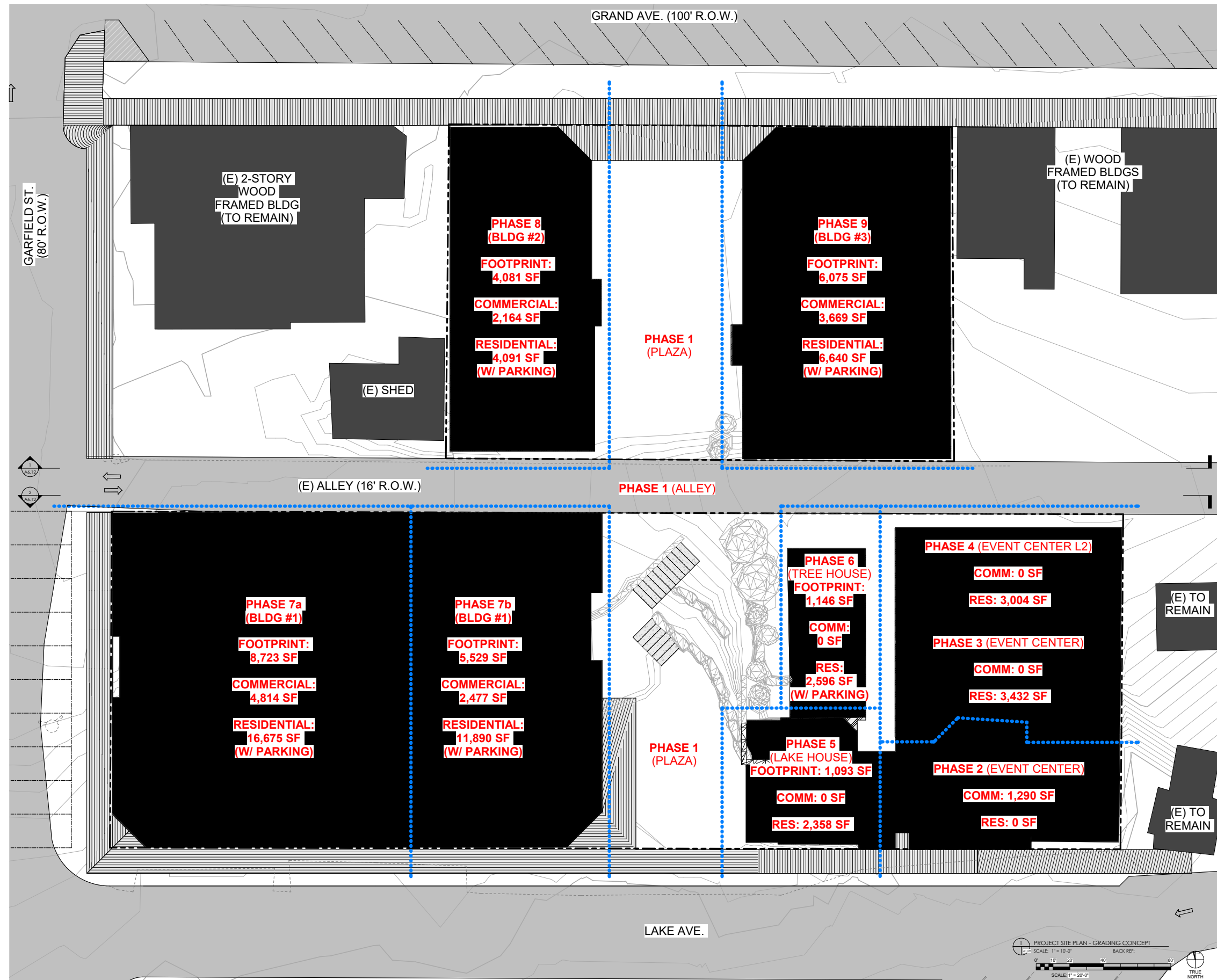
SITE PLAN: 825 LAKE AVENUE

LEATHERWOOD GRAND LAKE

Spirit Lake Condos, LLC

BLOCK 5, GRAND LAKE, CO 80447

PROJECT #2402



SITE PLAN: PLAT/PHASE CONCEPT

TOGL COMMERCIAL REGULATIONS:

MAX LOT COVERAGE:	THE FIRST FLOOR OF MULTI-STORY BUILDINGS MAY COVER ONE HUNDRED (100%) PERCENT OF THE LOT OR PARCEL, BUT ALL ITEMS CALLED FOR IN THE ON-SITE UTILITY USE AREA DESCRIBED BELOW SHALL STILL BE PROVIDED ON THE LOT OR PARCEL. (TOGL ARTICLE 2: ZONING REGULATIONS 12-2-18(D) 9)		
ON-SITE UTILITY USE AREA:	EACH LOT OR PARCEL SHALL PROVIDE TWO (2) OFF-STREET PARKING SPACES AND A TRASH STORAGE AREA ON THE LOT. (TOGL ARTICLE 2: ZONING REGULATIONS 12-2-18(D) 10)		
SNOW STORAGE:	CONVENIENT AND ACCESSIBLE SNOW STORAGE AREAS SHALL BE PROVIDED FOR PARKING AREAS EQUIVALENT TO ONE-THIRD (1/3) OF THE TOTAL DRIVE AND PARKING AREAS. (TOGL ARTICLE 2: ZONING REGULATIONS 12-2-28(C)2)		
LIGHTING (EXTERIOR):	LIGHTING SHALL BE CONSISTENT WITH THE "DARK-SKY CONCEPT" THROUGH THE UTILIZATION OF APPROVED NIGHTSCAPING FIXTURES, WHICH PREVENT ADVERSE EFFECTS OF ARTIFICIAL NIGHT LIGHTING. THIS SHALL INCLUDE COMPONENTS TO REDUCE SKY GLOW, GLARE, LIGHT TRESPASSING AND CLUTTER, DECREASED NIGHT VISIBILITY, AND ENERGY WASTE. (TOGL ARTICLE 7: DESIGN REVIEW STANDARDS 12-7-6)		
LOADING/UNLOADING AREAS:	CHANGES IN STRUCTURE (ENLARGED SO AS TO INCREASE THE FLOOR AREA BY MORE THAN TEN PERCENT (10%) IN ANY GIVEN TWO-YEAR PERIOD) SHALL NECESSITATE ALLEY ACCESS LOADING/UNLOADING AREAS.		
BUSINESS SIGNAGE:	NO SIGN SHALL BE ERRECTED, PLACED, OR MODIFIED EXCEPT AS PERMITTED BY THIS SIGN CODE. (TOGL ARTICLE 2: SIGN CODE 6-2-3) ASSUMPTION: SIGNAGE REVISIONS / NEEDS ARE YET TO BE DETERMINED AND WILL BE SUBMITTED SEPARATELY AS REQUIRED.		
DRAINAGE REQUIREMENTS:	THE SITE PLAN MUST INDICATE FACILITIES FOR ADEQUATE DRAINAGE REQUIRED THAT ARE PROPOSED TO CONNECT TO THE TOWN'S DRAINAGE SYSTEM. NATURAL EROSION CONTROL OR RETENTION PROVISIONS MUST BE LOCATED ON THE LANDSCAPE PLAN. (TOGL ARTICLE 1: BUILDING REGULATIONS 9-1-(B)7) ASSUMPTION: N/A - NO EXISTING TOWN DRAINAGE / SEWER SYSTEMS EXIST TO CONNECT WITH AT THIS TIME. AS A RESULT, ALL ROOFS AND DOWNSPOUTS ARE DAYLIT AS INDICATED.		
EXTERIOR MATERIALS:	ALL PAINT COLORS SHALL BE APPROVED BY TOWN STAFF PRIOR TO PAINTING. (TOGL ARTICLE 1: BUILDING REGULATIONS 12-7-4(A)) ALL NEW METAL PANEL SIDING SHALL COMPLY W/ ZONING CODE 12-7-4(B) 4.D.		
PARKING DESIGN REQUIREMENTS: 12-2-28(B) 2.A	STANDARD PARKING SPACE, UNCOVERED: 10' - 0" (WIDE) x 20' - 0" (LENGTH) STANDARD PARKING SPACE, COVERED/INDOOR: 10' - 0" (WIDE) x 18' - 0" (LENGTH) ACCESSIBLE PARKING SPACE: 8' - 0" (WIDE) x 18' - 0" (LENGTH) W/ 5' - 0" MIN ACCESS AISLE STUDIO/1 BEDROOM: 1 SPACE 2 BEDROOM: 1.5 SPACES 3 BEDROOM: 2 SPACES GENERAL RETAIL/BANK/OFFICE/PUBLIC/PERSONAL SERVICES: 1 SPACE/50 S.F. TOTAL FLOOR AREA		
ACCESSIBLE PARKING REQUIRED: 12-2-28(B) 6	ONE DESIGNATED ACCESSIBLE (HANDICAPPED) PARKING SPACE SHALL BE REQUIRED AS A PART OF THE OVERALL OFF-STREET PARKING REQUIREMENTS MANDATED UNDER THIS SECTION FOR EACH TWENTY-FIVE (25) OFF-STREET PARKING OR FRACTION THEREOF. IN ALL CASES THE ACCESSIBLE SPACE SHALL BE LOCATED IN A MANNER CLOSE AND CONVENIENT TO THE PRINCIPAL BUILDING MAIN PEDESTRIAN INGRESS/EGRESS.		
PARKING CALCULATIONS:	COMMERCIAL (15P/350 SF FLOOR AREA) = 14,414 SF/350 SF = (42) SPACES REQUIRED 1-BEDROOM UNITS: LAKEHOUSE - (3) 1-BED UNITS (3) REQUIRED SPACES EV. CENTER - (1) 1-BED UNIT (1) REQUIRED SPACES BUILDING #1 - (2) 1-BED UNITS (2) REQUIRED SPACES 2-BEDROOM UNITS: TREEHOUSE - (1) 2-BED UNIT (2) REQUIRED SPACES BUILDING #1 - (9) 2-BED UNITS (14) REQUIRED SPACES BUILDING #2 - (2) 2-BED UNITS (3) REQUIRED SPACES BUILDING #3 - (4) 2-BED UNITS (6) REQUIRED SPACES 3-BEDROOM UNITS: EV. CENTER - (2) 3-BED UNITS (4) REQUIRED SPACES BUILDING #1 - (1) 3-BED UNIT (2) REQUIRED SPACES TOTAL RESIDENTIAL PARKING REQUIRED: (37) SPACES REQUIRED OFF STREET PARKING REQUIRED/PROVIDED: 37 SPACES REQUIRED/44 SPACES PROVIDED (OFF ALLEY) FOR RESIDENTIAL UNITS. ON STREET PARKING PROVIDED: (42) SPACES REQUIRED/48 SPACES PROVIDED (ON-STREET TOTAL INCL ADA) BASED ON "ON-STREET PARKING CREDITS" 0.06 SPACES/1 FOOT OF FRONTAGE FOR GRAND AVE, LAKE AVE & GARFIELD ST - 12-2-28(B) 3.B 2+ PROVIDED SPACES TO BE ACCESSIBLE (ACCESSIBLE ON-STREET - 1 PER 25 SPACES) 79 TOTAL SPACES REQUIRED - 90 TOTAL SPACES PROVIDED		

PHASE/PARCEL BREAKDOWN:

1. SITE RE-GRADE & PLAZA LANDSCAPING
2. EVENT CENTER LAKE AVENUE RESTAURANT AND PLAZA
3. EVENT CENTER MAIN FLOOR CONDO UNIT (1)
4. EVENT CENTER UPPER LEVEL CONDO UNITS (2)
5. (3) CONDOS IN LAKE HOUSE
6. (1) CONDO IN TREE HOUSE
7. B1 (POTENTIALLY 2 PHASES, PENDING)
8. B2
9. B3

PROJECT ZONING SUMMARY

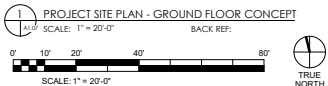
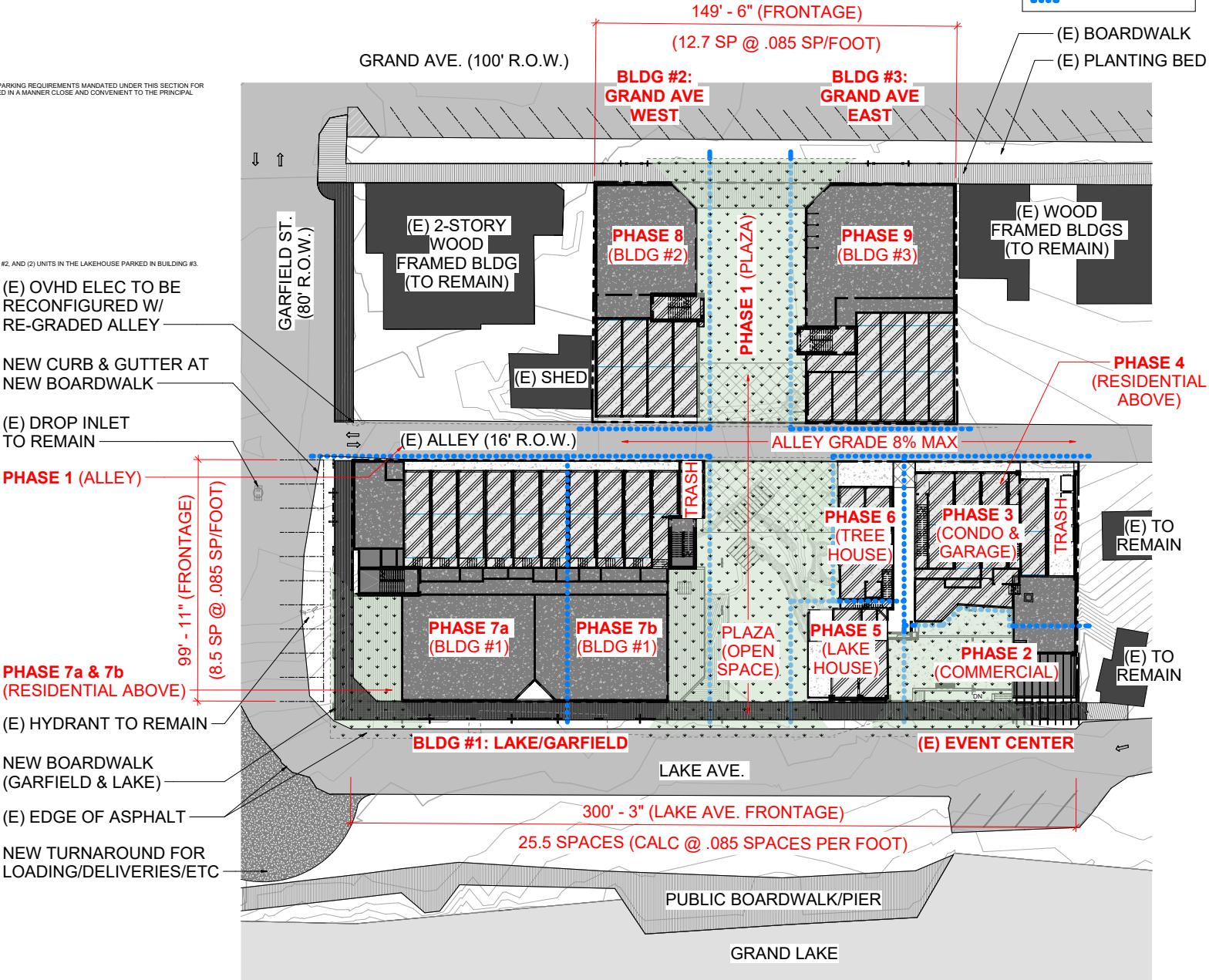
LEGAL DESCRIPTION:	BLOCK 5, LOTS 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14 TOWN OF GRAND LAKE COUNTY OF GRAND STATE OF COLORADO
CONSTRUCTION TYPE:	EXISTING CONSTRUCTION: VARIES, VB TYPICAL NEW CONSTRUCTION: VB - WOOD FRAMED (NON-FIRE RATED) W/ AUTOMATIC SPRINKLERING
ZONING CLASSIFICATION:	C - COMMERCIAL
FRONT YARD SETBACK:	0' - 0"
SIDE YARD SETBACK:	0' - 0"
REAR YARD SETBACK:	0' - 0"
MAX BUILDING HEIGHT:	35' - 00" TYP. (40' - 00" WHERE GRADE CHANGE IS GREATER THAN 5')
EXISTING BUILDING HEIGHT:	30'-8", 29'-2"
HEIGHT (STORES):	2/3 STORES EXISTING, ALL NEW CONSTRUCTION TO COMPLY WITH GRAND LAKE CODES
GROSS SITE AREA:	1.029 ACRES (44,877 SF) @ COMBINED PROPERTY LINE

SITE NOTES

- 1) ELECTRICAL, CABLE T.V. AND TELEPHONE TO BE UNDERGROUND IN COMMON TRENCH.
- 2) VERIFY ALL UTILITY LOCATES PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE COMPANY - ALL UTILITIES TO BE UNDERGROUND.
- 3) PROVIDE POSITIVE DRAINAGE AT ALL BUILDING PERIMETERS. (SLOPE AWAY FROM BUILDING AT 1:12 MIN.)
- 4) REFER TO FOUNDATION PLAN FOR FOUNDATION DRAIN LOCATION AND SLOPE. DRAINS TO BE CONNECTED TO STORM SEWER AT STREET
- 5) PROVIDE 4'-0" DIA. STONE RIP RAP OVER WEED BARRIER FABRIC AT EAVES AND VALLEY DRIP LOCATIONS
- 6) STAKE BUILDING LOCATIONS FOR OWNER, ARCHITECT, AND CONSULTANT ENGINEER REVIEW PRIOR TO ANY WORK.
- 7) GENERAL CONTRACTOR TO REVIEW & COMPLY WITH ALL TOWN OF GRAND LAKE REGULATIONS AND REQUIREMENTS.

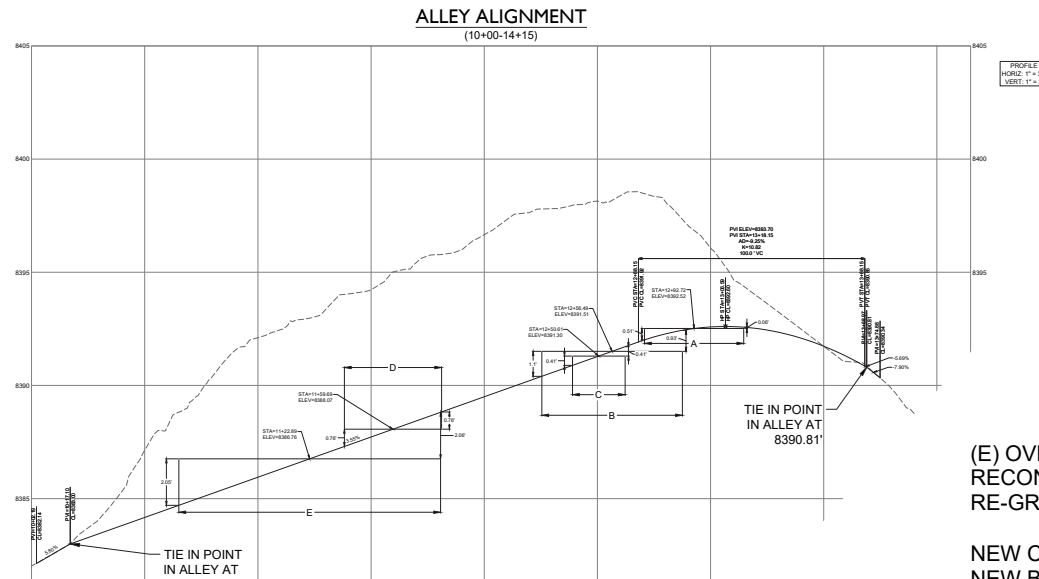
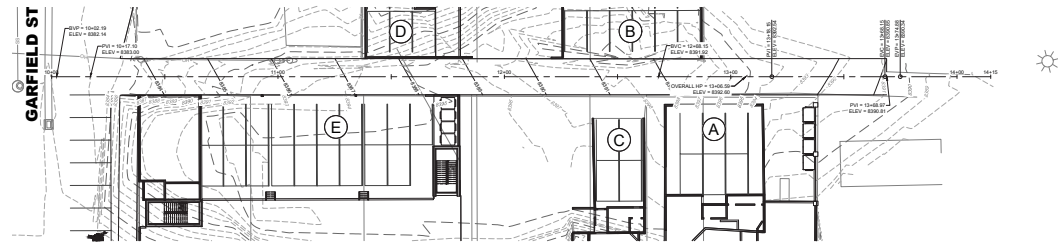
ZONING

SITE LEGEND:	
	EXISTING BUILDING (TO REMAIN)
	COMMERCIAL OCCUPANCY @ GROUND (RESIDENTIAL ABOVE, TYP)
	PARKING BELOW/ RESIDENTIAL OCCUPANCY ABOVE
	EXISTING ASPHALT (TO REMAIN)
	NEW ASPHALT/PAVING (RE: CIVIL)
	NEW BOARDWALK
	EXISTING BOARDWALK
	NEW PUBLIC PLAZA W/ TABLES (LANDSCAPE, PATHWAYS, STEPS TBD)
	SNOW STORAGE
	PHASE SEPARATION (APPROX)



SITE PLAN: GROUND FLOOR CONCEPT

ALLEY PROFILE (PROPOSED VS. EXISTING)

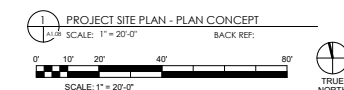
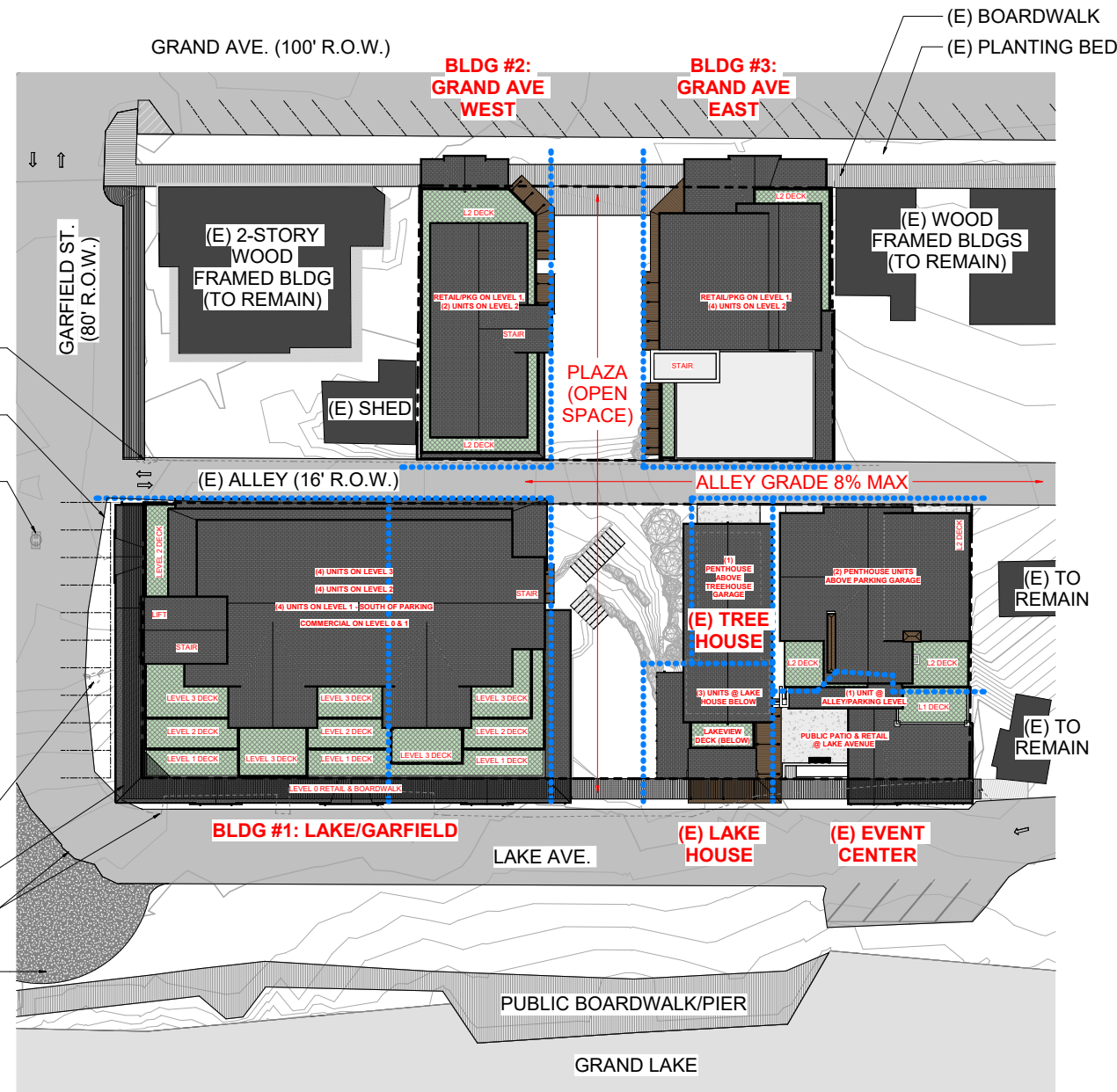


PHASE/PARCEL BREAKDOWN:

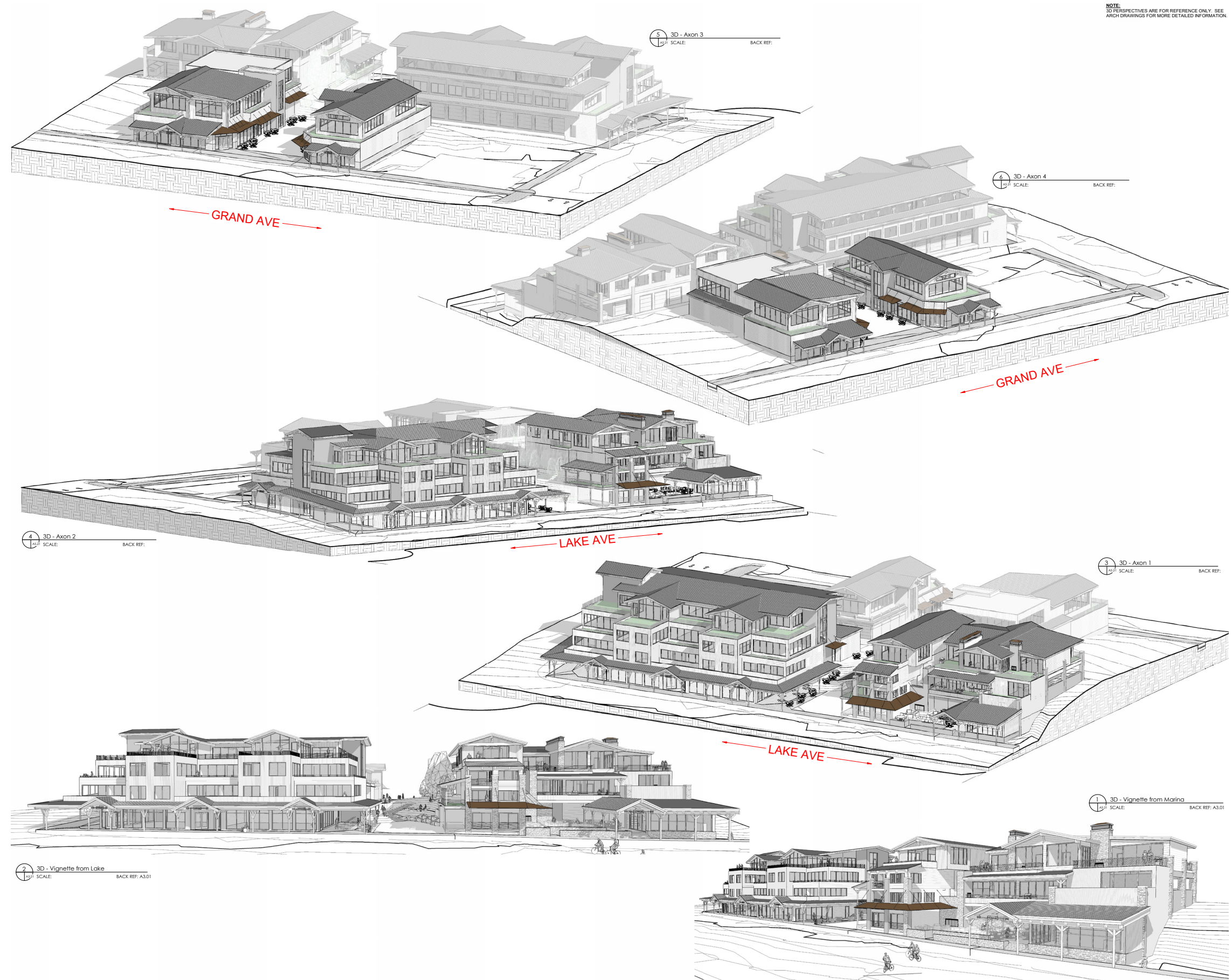
1. SITE RE-GRADE & PLAZA LANDSCAPING
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5. (3) CONDOS IN LAKE HOUSE
6. (1) CONDO IN TREE HOUSE
7. B1 (POTENTIALLY 2 PHASES, PENDING)
8. B2
9. B3

- (E) OVHD ELEC TO BE RECONFIGURED W/ RE-GRADED ALLEY
- NEW CURB & GUTTER AT NEW BOARDWALK
- (E) DROP INLET TO REMAIN
- (E) HYDRANT TO REMAIN
- NEW BOARDWALK (GARFIELD & LAKE)
- (E) EDGE OF ASPHALT
- NEW TURNAROUND FOR LOADING/DELIVERIES/ETC

SITE LEGEND:	
	EXISTING BUILDING (TO REMAIN)
	COMMERCIAL OCCUPANCY @ GROUND (RESIDENTIAL ABOVE, TYP)
	PARKING BELOW/ RESIDENTIAL OCCUPANCY ABOVE
	EXISTING ASPHALT (TO REMAIN)
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	NEW BOARDWALK
	EXISTING BOARDWALK
	NEW PUBLIC PLAZA W/ TABLES (LANDSCAPE, PATHWAYS, STEPS TBD)
	SNOW STORAGE
	PHASE SEPARATION (APPROX)



SITE PLAN: PLAN CONCEPT



NOTE:
3D PERSPECTIVES ARE FOR REFERENCE ONLY. SEE
ARCH DRAWINGS FOR MORE DETAILED INFORMATION.

LEATHERWOOD GRAND LAKE

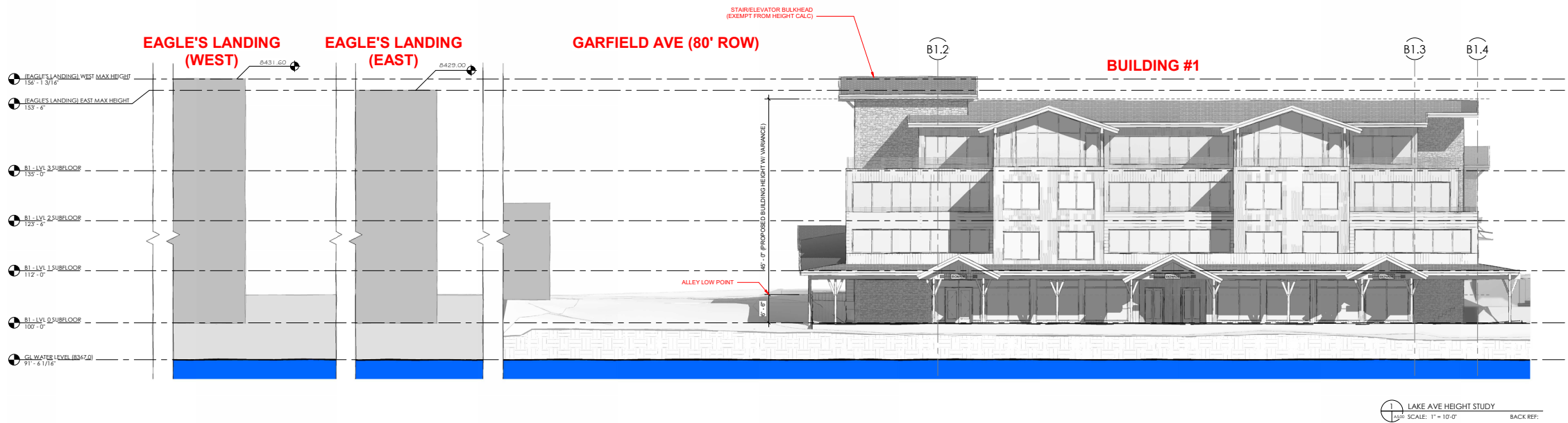
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CONCEPTUAL MASSING - EARLY DEVELOPMENT

LEATHERWOOD GRAND LAKE

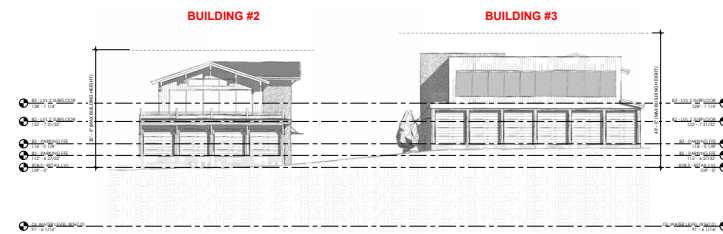
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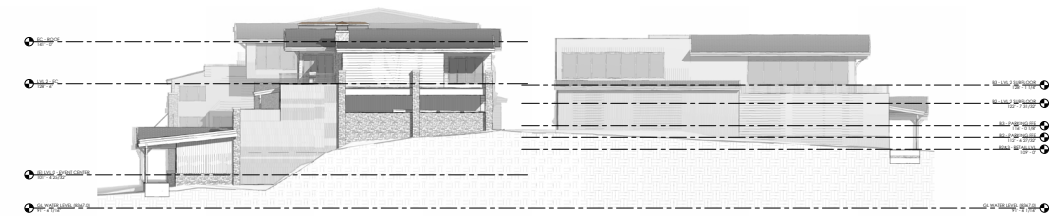


ALL ELEVATIONS ARE SCHEMATIC & REPRESENT GENERALIZED MASSING & MATERIALS. EXTERIOR MATERIALS, ROOFLINES, WINDOWS AND STYLE/DETAILS ARE IN-PROGRESS, FLEXIBLE & OPEN TO FEEDBACK.

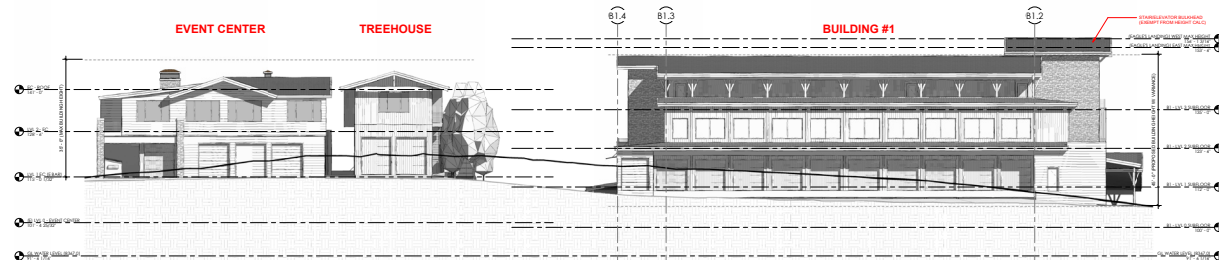
CONCEPTUAL MASSING - BUILDING #1 HEIGHT STUDY



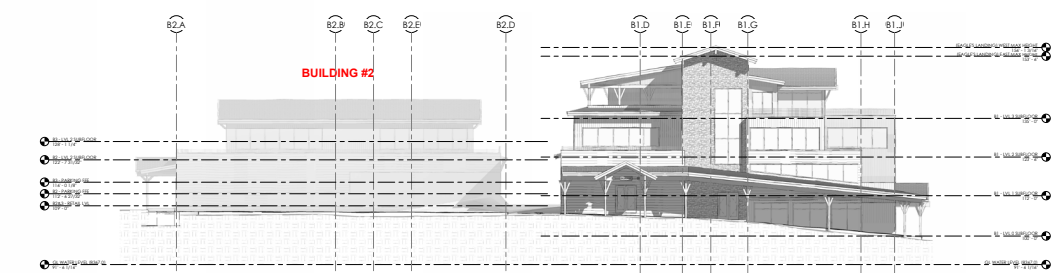
ELEVATION - FROM ALLEY LOOKING NORTH



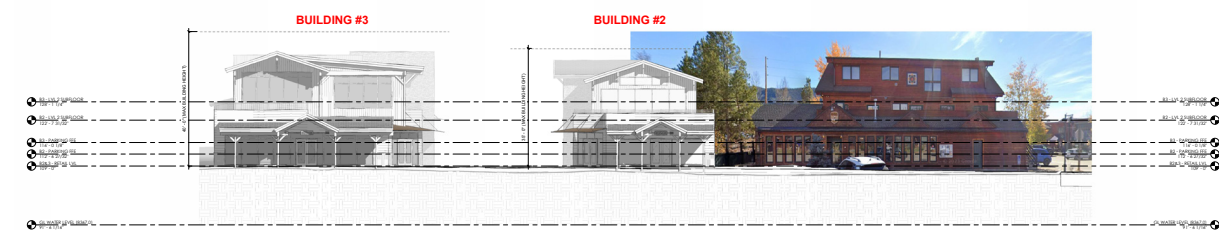
ELEVATION - FROM EAST



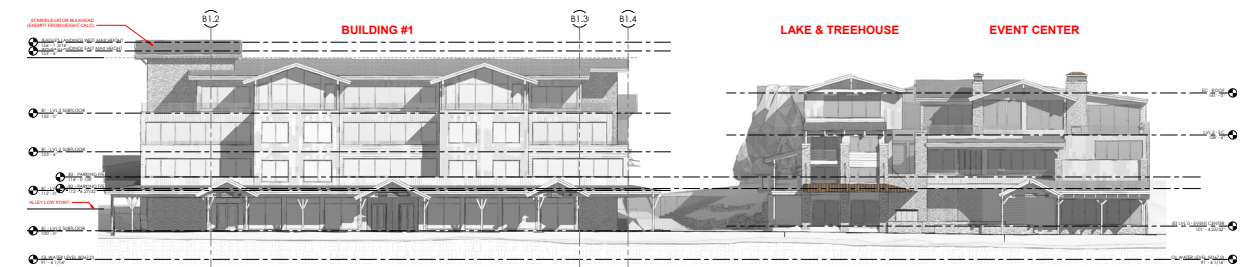
ELEVATION - FROM ALLEY LOOKING SOUTH



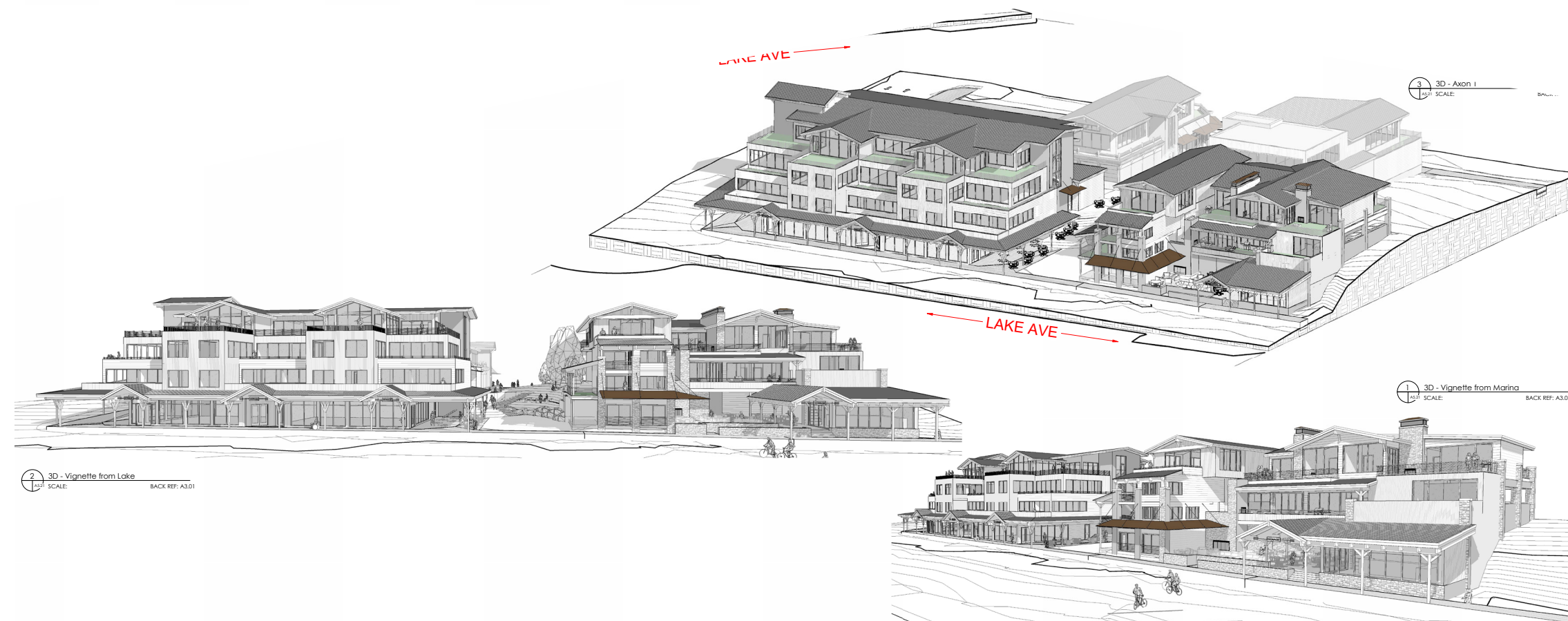
ELEVATION - FROM GARFIELD



ELEVATION - FROM GRAND AVENUE



ELEVATION - FROM LAKE AVENUE



CONCEPTUAL MASSING - FACADE SCHEMATICS & MASSING AERIALS



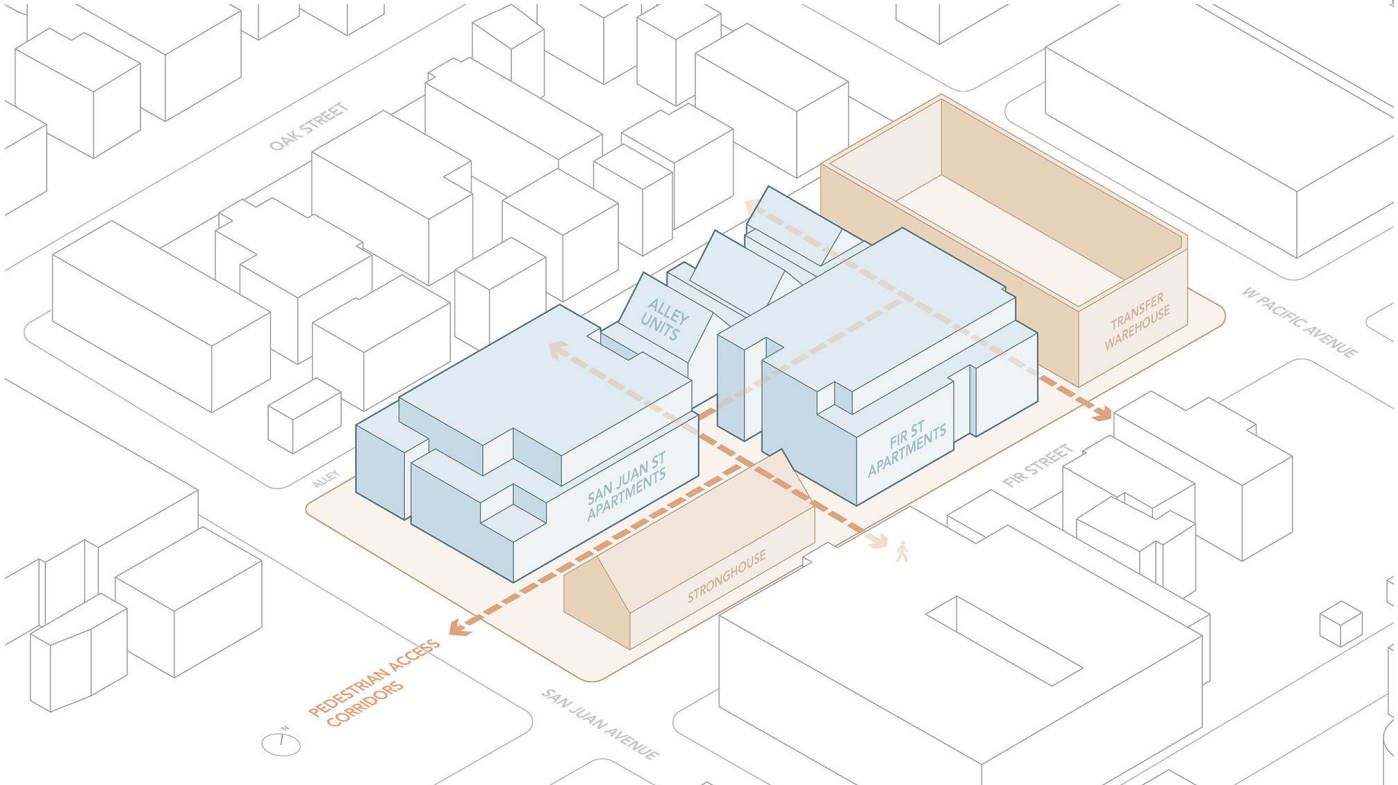
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“TELLURIDE TRANSFER”

CONCEPT DESIGN - PRECEDENT