

ALL DRAWINGS AND WRITTEN DOCUMENTS HEREIN CONSTITUTE THE ORIGINAL INTELLECTUAL PROPERTY OF THE ARCHITECT AND MAY NOT BE REUSED, REPRODUCED OR DISCLOSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF MUNN ARCHITECTURE, LLC.

3/21/2022 11:04:50 AM  
I:\Project-new\1914 - RWRT-RMP\01\_VA - RWRT-RMP\_A22\_v5 - RFP.v1



## GENERAL NOTES

1) COPYRIGHT:  
ALL PLANS, DESIGNS AND CONCEPTS SHOWN IN THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF MUNN ARCHITECTURE, AIA, LLC AND SHALL NOT BE USED, DISCLOSED, OR REPRODUCED FOR ANY PURPOSE WHATSOEVER WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

2) CODES:  
THIS PROJECT IS GOVERNED BY THE LOCALLY ENFORCED BUILDING CODES AS ADOPTED BY THE AUTHORITY HAVING JURISDICTION (AIA, LLC COMPLIANCE IS MANDATORY). THE DRAWINGS AND SPECIFICATIONS SHALL NOT PERMIT WORK THAT DOES NOT CONFORM TO THESE CODES, UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS SHALL BE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODES AND OBTAINING ALL PERMITS AND REQUIRED APPROVALS. BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER PURPOSES.

3) FIELD VERIFICATION:  
VERIFY ALL DIMENSIONS, CONDITIONS, AND UTILITY LOCATIONS ON THE JOB SITE PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIALS. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES IN THE DRAWINGS IMMEDIATELY.

4) DIMENSIONS:  
WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS SHOWN PRIOR TO BEGINNING ANY WORK AND NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES FOR INTERPRETATION OR CLARIFICATION. PLAN DIMENSIONS ARE TO THE FACE OF THE FRAMING MEMBERS; FACE OF WOOD FURRING OR FACE OF CONCRETE WALLS UNLESS OTHERWISE NOTED. SECTION OR ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, OR TOP OF WALL PLATE OR BEAM UNLESS OTHERWISE NOTED.

5) DISCREPANCIES:  
THE OWNER HAS REQUESTED THE ARCHITECT TO PROVIDE UNIFIED ARCHITECTURAL AND ENGINEERING SERVICES. IN THE EVENT THAT ADDITIONAL DETAILS OR GUIDANCE ARE NEEDED BY THE CONTRACTOR FOR THE CONSTRUCTION OF ANY ASPECT OF THIS PROJECT, HE OR SHE SHALL IMMEDIATELY NOTIFY THE ARCHITECT. FAILURE TO GIVE SIMPLE NOTICE SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY, DO NOT PROCEED IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED WITH WRITTEN DIRECTIONS FROM THE ARCHITECT.

6) DUTY OF COOPERATION:  
RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION BETWEEN THE OWNER AND/OR OWNER'S REPRESENTATIVE, HIS OR HER CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES.

7) CHANGES TO WORK:  
ANY ITEMS DESCRIBED HEREIN THAT IMPACT PROJECT BUDGET OR TIME SHALL BE REQUESTED FROM THE CONTRACTOR VIA A WRITTEN CHANGE ORDER REQUEST PRIOR TO SUCH WORK. PERFORMANCE OF SUCH WORK WITHOUT APPROVAL BY CHANGE ORDER INDICATES THE GENERAL CONTRACTOR'S ACKNOWLEDGMENT OF NO INCREASE IN CONTRACT SUM OR TIME. CHANGES FROM THE PLANS OR SPECIFICATIONS MADE WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ANY AND ALL CONSEQUENCES RESULTING FROM SUCH CHANGES.

8) WORKMANSHIP:  
IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB WITHIN THE RECOGNIZED STANDARDS OF THE INDUSTRY.

9) SUBSTITUTIONS:  
SUBSTITUTION OF "EQUAL" PRODUCTS WILL BE ACCEPTABLE WITH THE ARCHITECT'S WRITTEN APPROVAL.

10) CONSTRUCTION SAFETY:  
THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.

11) EXCAVATION PROCEDURES:  
UPON COMPLETION OF ANY EXCAVATION, THE OWNER SHALL RETAIN A SOILS ENGINEER TO INSPECT THE SUBSURFACE CONDITIONS IN ORDER TO DETERMINE THE ADEQUACY OF FOUNDATION DESIGN. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.

12) FIELD CUTTING OF STRUCTURAL MEMBERS:  
THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS SHALL FIELD COORDINATE AND OBTAIN APPROVAL FROM ENGINEER BEFORE ANY CUTTING, NOTCHING OR DRILLING OF ANY CAST-IN-PLACE CONCRETE, STEEL FRAMING OR ANY OTHER STRUCTURAL ELEMENTS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING. REFER TO 2009 I.A.C. - MANUFACTURER'S OR SUPPLIER'S INSTRUCTIONS, AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.

13) WEATHER CONDITIONS:  
THE OWNER HAS BEEN ADVISED THAT DUE TO HARSH WINTER CONDITIONS, ROOF AND DECK SURFACE MUST BE MAINTAINED REASONABLY FREE OF ICE AND SNOW TO ENSURE MINIMAL PROBLEMS WITH THESE SURFACES. ALL ROOFING, ROOFING MEMBRANE AND WATERPROOFING SHALL BE APPROVED IN WRITING BY PRODUCT MANUFACTURER (W.R. GRACE FOR BUTYRHENE, ETC.) PRIOR TO PROCEEDING WITH ANY WORK. FAILURE TO PROVIDE THESE WRITTEN APPROVALS REMOVES ALL RESPONSIBILITY FOR THE WORK FROM THE ARCHITECT.

14) BUILDING AREA:  
BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER USE.

15) PROJECT STAKING:  
THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING GRADES AND STAKE ALL BUILDING CORNERS AND DRIVEWAY LOCATION FOR OWNER/ARCHITECT AND DESIGN REVIEW BOARD APPROVAL PRIOR TO BEGINNING ANY SITE CLEARING.

16) SITE DISTURBANCE:  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT THE EXISTING TREES TO REMAIN AND ADJACENT PROPERTIES FROM DAMAGE DURING CONSTRUCTION. PROVIDE PROTECTIVE FENCING THROUGHOUT CONSTRUCTION.

17) PROJECT GRADES:  
THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL GRADES INCLUDING PAVED AREAS SLOPES PRIOR TO POURING ANY FOUNDATION. SURVEY WORK SHOULD BE VERIFIED IN DETAIL.

18) SEPTIC DESIGN:  
IF A SEPTIC SYSTEM IS REQUIRED, THE GENERAL CONTRACTOR IS TO BID NEW SEPTIC FIELD AND ALL NECESSARY PLUMBING PER COUNTY REQUIREMENTS AND PER SEPTIC DESIGN BY A SOILS ENGINEER.

## SUSTAINABLE CONSTRUCTION PRACTICES

1) ENVIRONMENTAL HEALTH  
IT IS THE ARCHITECT'S INTENT THAT THE CLIENT RECEIVE A PRODUCT THAT IS BOTH FUNCTIONAL AND DESIGNED WITH THE HEALTH AND WELL-BEING OF THE CLIENT IN MIND. TO THIS END, IT IS ASSUMED THAT MATERIALS SPECIFIED WILL BE, WHENEVER AND WHEREVER POSSIBLE, OF THE HIGHEST QUALITY AND OF AN ENVIRONMENTALLY SOUND NATURE. THIS INCLUDES, BUT IS NOT LIMITED TO, PAINTS AND CARPETS WITH NO TO LOW VOLATILE ORGANIC COMPOUND EMISSIONS.

2) RECYCLED MATERIALS & PRODUCTS  
FULLY OR PARTIALLY RECYCLED MATERIALS & PRODUCTS ARE TO BE USED AS ALTERNATIVES TO ORIGINAL-USE PRODUCTS WHENEVER APPROPRIATE (e.g. LUMBER, FLOORING, ETC.). IT IS FURTHER EXPECTED THAT THE CONTRACTOR WILL PURCHASE MATERIALS THAT ARE MANUFACTURED AS PHYSICALLY CLOSE TO THE LOCATION OF THE PROJECT AS CAN BE REASONABLY EXPECTED, WITH THE CONSIDERATION OF CARBON EMISSIONS IN MIND.

3) INSULATIONS  
WHERE CELLULOSE INSULATION IS USED AS AN ALTERNATIVE TO FIBERGLASS BATT OR FOAM, CONTRACTOR IS TO ADHERE STRICTLY TO MANUFACTURER'S GUIDELINES FOR INSTALLATION AND MOISTURE CONTROL. R-VALUES MUST BE EQUAL OR EXCEED SPECIFIED R-VALUES ON PLANS.

4) GLUES AND ADHESIVES  
LOW V.O.C. GLUES AND ADHESIVES ARE TO BE USED WHEN THEY MEET PROJECT TOLERANCES. EXAMPLES INCLUDE: DAPB 2008 Heavy-Duty Projects VOC-Compliant Construction Adhesive & PL 400B Low VOC Heavy Duty Construction Adhesive.

5) PAINTS AND SOLVENTS  
USE LOW- OR ZERO V.O.C. PAINTS SUCH AS KELLY-MOORE "ENVIRO-COTE" OR DEVON "WONDERPURE" TYPE PAINTS. EXTERIOR OIL-BASED PAINTS ARE TO BE THINNED OR CLEANED WITH TURPENTINE, OR OTHER NATURAL SOLVENTS. USE NATURAL PAINTS WHERE POSSIBLE, AS THE CLIENT REQUESTS.

6) RESOURCES  
USE THE LEED ONLINE GUIDELINES FOR SUSTAINABLE OPTIONS. ADDITIONAL RESOURCES CAN BE FOUND AT: <http://www.green-building.com/products/certification> THE NAHB GREEN ICC 700 NATIONAL GREEN BUILDING STANDARD CAN ALSO BE USED TO INFORM THE SUSTAINABLE BUILDING PRACTICES PLAN OUTLINED BELOW. <http://www.NAHBGREEN.ORG>

7) THE CONTRACTOR IS TO PRESENT A SUSTAINABLE BUILDING PRACTICES PLAN TO THE ARCHITECT & CLIENT DETAILING THE PROPOSED SUSTAINABLE ALTERNATIVES HE OR SHE INTENDS TO IMPLEMENT.

## SPECIAL TESTING

THE CONTRACTOR IS TO PROVIDE LABOR AND MATERIAL FOR THE TESTING, MANUFACTURE AND INSTALLATION OF THE FOLLOWING AS REQUIRED PER CODE:

A. RADON TESTING AND MITIGATION

## CONTACT INFO:

ARCHITECT:	SUBVENDOR:	SOILS ENGINEER:	CIVIL ENGINEER:
MUNN ARCHITECTURE, LLC MUNN ARCHITECTURE, LLC 315 E. AGATE AVENUE GRANBY, CO 80446 PH: 970-887-9366	CORE CONSULTANTS MICHAEL KESNER 78947 US HWY 40 PO BOX 1887 SILVERTHORNE, CO 80498 PH: 970-564-3900	KUMAR & ASSOCIATES, INC. JAMES PAKKER 240 ANNIE ROAD PO BOX 1887 SILVERTHORNE, CO 80498 PH: 970-468-1899	CORE CONSULTANTS ANDREW KESNER 3473 SOUTH BROADWAY ENGLEWOOD, CO 80113 PH: 303-730-5990

SHEET INDEX LEGEND:	
<input checked="" type="checkbox"/> ISSUED	<input checked="" type="checkbox"/> ISSUED FOR REFERENCE ONLY
<input type="checkbox"/> NOT ISSUED	<input checked="" type="checkbox"/> REMOVED FROM DRAWING SET

SHEET INDEX	
SHEET #	SHEET TITLE
01.00	GENERAL
02.00	CIVIL
03.00	LANDSCAPE
04.00	STRUCTURAL
05.00	MECHANICAL
06.00	ELECTRICAL
07.00	PLUMBING
08.00	PAINTS & FINISHES
09.00	LANDSCAPE
10.00	MECHANICAL
11.00	ELECTRICAL
12.00	PLUMBING
13.00	PAINTS & FINISHES
14.00	LANDSCAPE
15.00	MECHANICAL
16.00	ELECTRICAL
17.00	PLUMBING
18.00	PAINTS & FINISHES
19.00	LANDSCAPE
20.00	MECHANICAL
21.00	ELECTRICAL
22.00	PLUMBING
23.00	PAINTS & FINISHES
24.00	LANDSCAPE
25.00	MECHANICAL
26.00	ELECTRICAL
27.00	PLUMBING
28.00	PAINTS & FINISHES
29.00	LANDSCAPE
30.00	MECHANICAL
31.00	ELECTRICAL
32.00	PLUMBING
33.00	PAINTS & FINISHES
34.00	LANDSCAPE
35.00	MECHANICAL
36.00	ELECTRICAL
37.00	PLUMBING
38.00	PAINTS & FINISHES
39.00	LANDSCAPE
40.00	MECHANICAL
41.00	ELECTRICAL
42.00	PLUMBING
43.00	PAINTS & FINISHES
44.00	LANDSCAPE
45.00	MECHANICAL
46.00	ELECTRICAL
47.00	PLUMBING
48.00	PAINTS & FINISHES
49.00	LANDSCAPE
50.00	MECHANICAL
51.00	ELECTRICAL
52.00	PLUMBING
53.00	PAINTS & FINISHES
54.00	LANDSCAPE
55.00	MECHANICAL
56.00	ELECTRICAL
57.00	PLUMBING
58.00	PAINTS & FINISHES
59.00	LANDSCAPE
60.00	MECHANICAL
61.00	ELECTRICAL
62.00	PLUMBING
63.00	PAINTS & FINISHES
64.00	LANDSCAPE
65.00	MECHANICAL
66.00	ELECTRICAL
67.00	PLUMBING
68.00	PAINTS & FINISHES
69.00	LANDSCAPE
70.00	MECHANICAL
71.00	ELECTRICAL
72.00	PLUMBING
73.00	PAINTS & FINISHES
74.00	LANDSCAPE
75.00	MECHANICAL
76.00	ELECTRICAL
77.00	PLUMBING
78.00	PAINTS & FINISHES
79.00	LANDSCAPE
80.00	MECHANICAL
81.00	ELECTRICAL
82.00	PLUMBING
83.00	PAINTS & FINISHES
84.00	LANDSCAPE
85.00	MECHANICAL
86.00	ELECTRICAL
87.00	PLUMBING
88.00	PAINTS & FINISHES
89.00	LANDSCAPE
90.00	MECHANICAL
91.00	ELECTRICAL
92.00	PLUMBING
93.00	PAINTS & FINISHES
94.00	LANDSCAPE
95.00	MECHANICAL
96.00	ELECTRICAL
97.00	PLUMBING
98.00	PAINTS & FINISHES
99.00	LANDSCAPE
100.00	MECHANICAL
101.00	ELECTRICAL
102.00	PLUMBING
103.00	PAINTS & FINISHES
104.00	LANDSCAPE
105.00	MECHANICAL
106.00	ELECTRICAL
107.00	PLUMBING
108.00	PAINTS & FINISHES
109.00	LANDSCAPE
110.00	MECHANICAL
111.00	ELECTRICAL
112.00	PLUMBING
113.00	PAINTS & FINISHES
114.00	LANDSCAPE
115.00	MECHANICAL
116.00	ELECTRICAL
117.00	PLUMBING
118.00	PAINTS & FINISHES
119.00	LANDSCAPE
120.00	MECHANICAL
121.00	ELECTRICAL
122.00	PLUMBING
123.00	PAINTS & FINISHES
124.00	LANDSCAPE
125.00	MECHANICAL
126.00	ELECTRICAL
127.00	PLUMBING
128.00	PAINTS & FINISHES
129.00	LANDSCAPE
130.00	MECHANICAL
131.00	ELECTRICAL
132.00	PLUMBING
133.00	PAINTS & FINISHES
134.00	LANDSCAPE
135.00	MECHANICAL
136.00	ELECTRICAL
137.00	PLUMBING
138.00	PAINTS & FINISHES
139.00	LANDSCAPE
140.00	MECHANICAL
141.00	ELECTRICAL
142.00	PLUMBING
143.00	PAINTS & FINISHES
144.00	LANDSCAPE
145.00	MECHANICAL
146.00	ELECTRICAL
147.00	PLUMBING
148.00	PAINTS & FINISHES
149.00	LANDSCAPE
150.00	MECHANICAL
151.00	ELECTRICAL
152.00	PLUMBING
153.00	PAINTS & FINISHES
154.00	LANDSCAPE
155.00	MECHANICAL
156.00	ELECTRICAL
157.00	PLUMBING
158.00	PAINTS & FINISHES
159.00	LANDSCAPE
160.00	MECHANICAL
161.00	ELECTRICAL
162.00	PLUMBING
163.00	PAINTS & FINISHES
164.00	LANDSCAPE
165.00	MECHANICAL
166.00	ELECTRICAL
167.00	PLUMBING
168.00	PAINTS & FINISHES
169.00	LANDSCAPE
170.00	MECHANICAL
171.00	ELECTRICAL
172.00	PLUMBING
173.00	PAINTS & FINISHES
174.00	LANDSCAPE
175.00	MECHANICAL
176.00	ELECTRICAL
177.00	PLUMBING
178.00	PAINTS & FINISHES
179.00	LANDSCAPE
180.00	MECHANICAL
181.00	ELECTRICAL
182.00	PLUMBING
183.00	PAINTS & FINISHES
184.00	LANDSCAPE
185.00	MECHANICAL
186.00	ELECTRICAL
187.00	PLUMBING
188.00	PAINTS & FINISHES
189.00	LANDSCAPE
190.00	MECHANICAL
191.00	ELECTRICAL
192.00	PLUMBING
193.00	PAINTS & FINISHES
194.00	LANDSCAPE
195.00	MECHANICAL
196.00	ELECTRICAL
197.00	PLUMBING
198.00	PAINTS & FINISHES
199.00	LANDSCAPE
200.00	MECHANICAL
201.00	ELECTRICAL
202.00	PLUMBING
203.00	PAINTS & FINISHES
204.00	LANDSCAPE
205.00	MECHANICAL
206.00	ELECTRICAL
207.00	PLUMBING
208.00	PAINTS & FINISHES
209.00	LANDSCAPE
210.00	MECHANICAL
211.00	ELECTRICAL
212.00	PLUMBING
213.00	PAINTS & FINISHES
214.00	LANDSCAPE
215.00	MECHANICAL
216.00	ELECTRICAL
217.00	PLUMBING
218.00	PAINTS & FINISHES
219.00	LANDSCAPE
220.00	MECHANICAL
221.00	ELECTRICAL
222.00	PLUMBING
223.00	PAINTS & FINISHES
224.00	LANDSCAPE
225.00	MECHANICAL
226.00	ELECTRICAL
227.00	PLUMBING
228.00	PAINTS & FINISHES
229.00	LANDSCAPE
230.00	MECHANICAL
231.00	ELECTRICAL
232.00	PLUMBING
233.00	PAINTS & FINISHES
234.00	LANDSCAPE
235.00	MECHANICAL
236.00	ELECTRICAL
237.00	PLUMBING
238.00	PAINTS & FINISHES
239.00	LANDSCAPE
240.00	MECHANICAL
241.00	ELECTRICAL
242.00	PLUMBING
243.00	PAINTS & FINISHES
244.00	LANDSCAPE
245.00	MECHANICAL
246.00	ELECTRICAL
247.00	PLUMBING
248.00	PAINTS & FINISHES
249.00	LANDSCAPE
250.00	MECHANICAL
251.00	ELECTRICAL
252.00	PLUMBING
253.00	PAINTS & FINISHES
254.00	LANDSCAPE
255.00	MECHANICAL
256.00	ELECTRICAL
257.00	PLUMBING
258.00	PAINTS & FINISHES
259.00	LANDSCAPE
260.00	MECHANICAL
261.00	ELECTRICAL
262.00	PLUMBING
263.00	PAINTS & FINISHES
264.00	LANDSCAPE
265.00	MECHANICAL
266.00	ELECTRICAL
267.00	PLUMBING
268.00	PAINTS & FINISHES
269.00	LANDSCAPE
270.00	MECHANICAL
271.00	ELECTRICAL
272.00	PLUMBING
273.00	PAINTS & FINISHES
274.00	LANDSCAPE
275.00	MECHANICAL
276.00	ELECTRICAL
277.00	PLUMBING
278.00	PAINTS & FINISHES
279.00	LANDSCAPE
280.00	MECHANICAL
281.00	ELECTRICAL
282.00	PLUMBING
283.00	PAINTS & FINISHES
284.00	LANDSCAPE
285.00	MECHANICAL
286.00	ELECTRICAL
287.00	PLUMBING
288.00	PAINTS & FINISHES
289.00	LANDSCAPE
290.00	MECHANICAL
291.00	ELECTRICAL
292.00	PLUMBING
293.00	PAINTS & FINISHES
294.00	LANDSCAPE
295.00	MECHANICAL
296.00	ELECTRICAL
297.00	PLUMBING
298.00	PAINTS & FINISHES
299.00	LANDSCAPE
300.00	MECHANICAL
301.00	ELECTRICAL
302.00	PLUMBING
303.00	PAINTS & FINISHES
304.00	LANDSCAPE
305.00	MECHANICAL
306.00	ELECTRICAL
307.00	PLUMBING
308.00	PAINTS & FINISHES
309.00	LANDSCAPE
310.00	MECHANICAL
311.00	ELECTRICAL
312.00	PLUMBING
313.00	PAINTS & FINISHES
314.00	LANDSCAPE
315.00	MECHANICAL
316.00	ELECTRICAL
317.00	PLUMBING
318.00	PAINTS & FINISHES
319.00	LANDSCAPE
320.00	MECHANICAL
321.00	ELECTRICAL
322.00	PLUMBING
323.00	PAINTS & FINISHES
324.00	LANDSCAPE
325.00	MECHANICAL
326.00	ELECTRICAL
327.00	PLUMBING
328.00	PAINTS & FINISHES
329.00	LANDSCAPE
330.00	MECHANICAL
331.00	ELECTRICAL
332.00	PLUMBING
333.00	PAINTS & FINISHES
334.00	LANDSCAPE
335.00	MECHANICAL
336.00	ELECTRICAL
337.00	PLUMBING
338.00	PAINTS & FINISHES
339.00	LANDSCAPE
340.00	MECHANICAL
341.00	ELECTRICAL
342.00	PLUMBING
343.00	PAINTS & FINISHES
344.00	LANDSCAPE
345.00	MECHANICAL
346.00	ELECTRICAL
347.00	PLUMBING

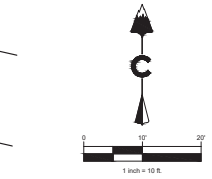
IMPROVEMENT LOCATION CERTIFICATE /  
TOPOGRAPHIC MAP  
LOTS 9, 10 & 11, BLOCK 19  
A PART OF THE NORTHWEST QUARTER OF SECTION 5,  
TOWNSHIP 3 NORTH, RANGE 75 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN,  
TOWN OF GRAND LAKE, COUNTY OF GRAND, STATE OF  
COLORADO

LAND DEVELOPMENT  
ENGINEER  
PUBLIC INFRASTRUCTURE  
CORE CONSULTANTS, INC.  
ENGLEWOOD, CO 80113  
WWW.CORECONS.COM

CORE

IMPROVEMENT LOCATION CERTIFICATE  
SEC. 5, T3N, R75W, 6TH P.M.  
GRAND COUNTY, COLORADO

RELEASE: 11/19/21  
DESIGNED: [Signature]  
CADD: [Signature]  
QA/QC: [Signature]  
JOB NO. 21-221  
SHEET 1 OF 1



**LEGAL DESCRIPTION**  
ALL OF LOTS 9, 10 & 11, BLOCK 19, TOWN OF GRAND LAKE, GRAND COUNTY, COLORADO.

**GENERAL NOTES**

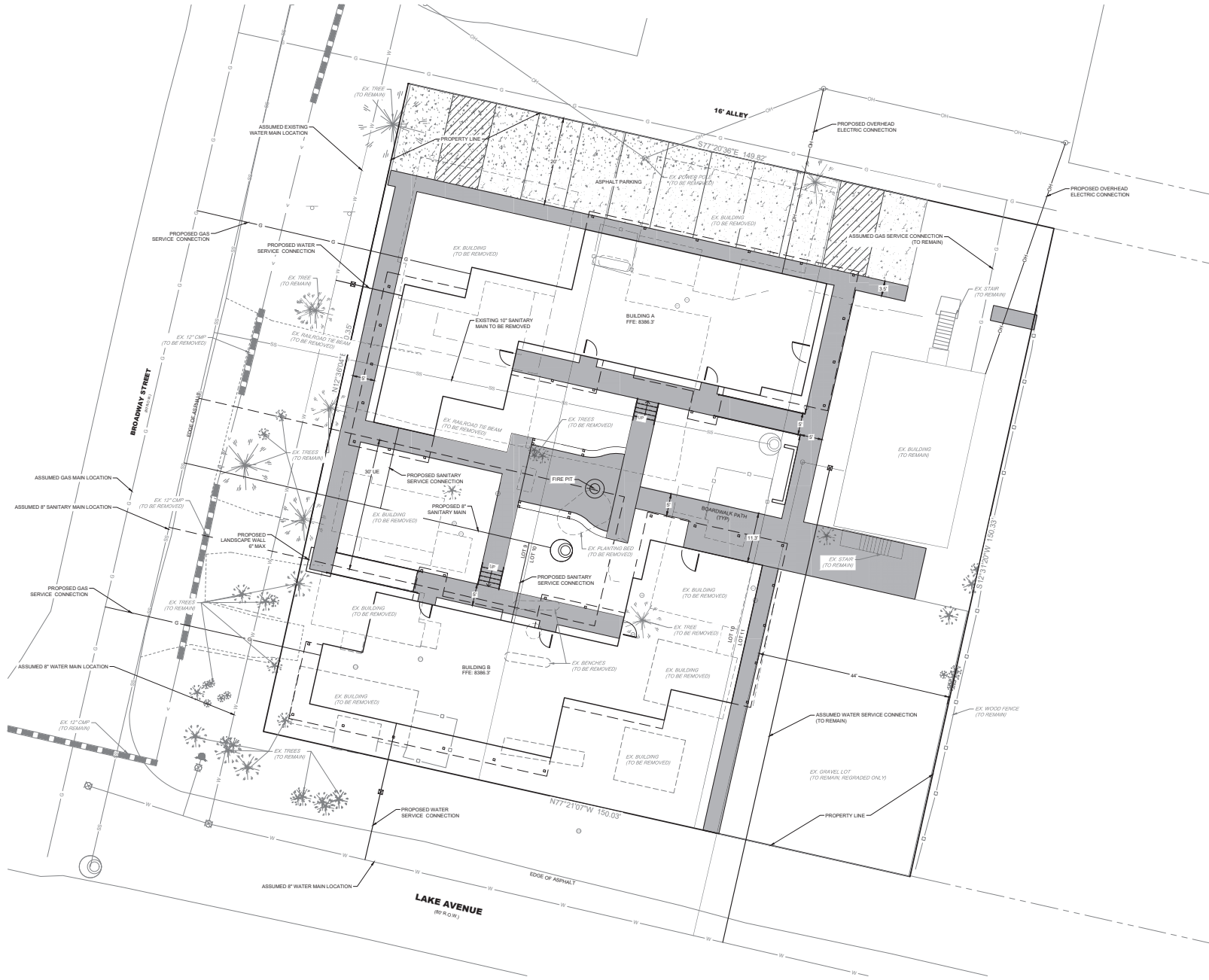
- 1.) THE BASIS OF BEARINGS SHOWN ON THIS IMPROVEMENT LOCATION CERTIFICATE ARE BASED ON THE ASSUMPTION THAT THE EAST LINE OF LOT 9, BLOCK 18 BEARS N12°36'04"E, AS MONUMENTED AND SHOWN HEREON.
- 2.) THE BASIS OF ELEVATIONS SHOWN ON THIS MAP ARE BASED ON NGS STATION 1461. A STANDARD NGS BRASS CAP MARKED "M 361", PUBLISHED ELEVATION = 8318.17 U.S. SURVEY FEET. ON-SITE ELEVATIONS TRANSFERRED BY KTK METHODS.
- 3.) THIS IMPROVEMENT LOCATION CERTIFICATE IS NOT A LAND SURVEY PLAT AS SET FORTH IN CRS 38-51-102(12) OR AN IMPROVEMENT SURVEY PLAT AS SET FORTH IN CRS 38-51-102(9). NOR DOES IT ESTABLISH PROPERTY BOUNDARIES OR THE TRUE RELATIONSHIP OF IMPROVEMENTS TO THEM. IMPROVEMENTS ARE GENERALLY SITUATED AS SHOWN AND ONLY APPARENT IMPROVEMENTS AND ENCROACHMENTS ARE NOTED. IT IS PREPARED FOR THE SOLE PURPOSE OF THE PARTIES STATED HEREON. CORE CONSULTANTS INC. AND J MICHAEL S. KERVIN WILL NOT BE LIABLE FOR MORE THAN THE COST OF THIS IMPROVEMENT LOCATION CERTIFICATE AND THEN ONLY TO THE CLIENT SPECIFICALLY SHOWN HEREON. THE CERTIFICATION OF THIS SURVEY SHALL NOT AND DOES NOT EXTEND TO THIRD PARTIES. ACCEPTANCE AND/OR USE OF THIS INSTRUMENT FOR ANY PURPOSE CONSTITUTES AGREEMENT BY ALL PARTIES TO ALL TERMS STATED HEREON.
- 4.) THE EXTERIOR BOUNDARY, RECORDED EASEMENTS AND RIGHTS-OF-WAY, IF ANY, ARE SHOWN ON THE ACCOMPANYING IMPROVEMENT LOCATION CERTIFICATE AS DISCLOSED ON THE FINAL PLAT. AT THE REQUEST OF THE OWNER NO ADDITIONAL RESEARCH WAS PERFORMED BY CORE CONSULTANTS INC. SEE NOTES ON THE RECORDED PLAT.
- 5.) CERTIFICATION NOT VALID WITHOUT THE ORIGINAL SEAL AND SIGNATURE. THIS SURVEY AND ALL RELATED DOCUMENTS ARE FOR THE SOLE USE OF THE CLIENT AT THE DATE OF CERTIFICATION.
- 6.) FIELDWORK WAS COMPLETED 11-8-21 BY BRIAN MILLER AND JOHN INGLE.
- 7.) ALL UNDERGROUND UTILITIES SHOULD BE FIELD VERIFIED BY THE APPROPRIATE AGENCY PRIOR TO ANY CONSTRUCTION.


**ADDRESS**  
450 BROADWAY AVENUE, GRAND LAKE, CO

**NOTICE**  
ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

**SURVEYOR'S CERTIFICATE**  
I HEREBY CERTIFY THAT THIS IMPROVEMENT LOCATION CERTIFICATE WAS PREPARED FOR  
MUNN ARCHITECTURE  
THAT IT IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT, AND THAT IT IS NOT TO BE  
RELIED UPON FOR THE ESTABLISHMENT OF FENCE, BUILDING, OR OTHER FUTURE IMPROVEMENT  
LINES. THIS CERTIFICATE IS VALID ONLY FOR THE USE OF THE CLIENT AND CORE CONSULTANTS,  
INC. AND DESCRIBES THE PARCELS APPEARANCES ON NOVEMBER 8, 2021. I FURTHER CERTIFY THAT  
THE IMPROVEMENTS ON THE ABOVE DESCRIBED PARCEL, ON THIS DATE, EXCEPT UTILITY  
CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS SHOWN,  
THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES BY IMPROVEMENTS ON  
ANY ADJOINING PREMISES, EXCEPT AS INDICATED, AND THAT THERE IS NO APPARENT EVIDENCE  
OR SIGN OF ANY EASEMENT, CROSSING OR BURDENING ANY PART OF THE PARCEL, EXCEPT AS  
NOTED.







1 inch = 50 ft.

**LEGEND**

	EASEMENT		EXISTING FENCE - CHAIN LINK
	DRAINAGE SWALE		STREET SIGN
	EXISTING FENCE - CHAIN LINK		POWER POLES
	SANITARY MANHOLES		SANITARY CLEAN OUT
	PROPOSED STORM & STUM OUT		EXISTING STORM & STUM OUT

**EXISTING DRY UTILITIES**

	EXISTING ELECTRIC		EXISTING TELEPHONE
	EXISTING FIBER OPTIC		EXISTING GAS
	EXISTING OVER HEAD ELECTRIC		

**NOTE:**

1. ALL EXISTING TREES ARE TO REMAIN UNLESS LABELED OTHERWISE
2. UTILITY CONNECTIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION
3. ALL EXISTING WATER SERVICES ARE TO BE REMOVED OR ABANDONED IN PLACE

DESIGNED BY: AHK  
DRAWN BY: BJZ  
CHECKED BY: AHK

JOB NO.  
21-221

SHEET  
1 OF 2

**ROCKY MOUNTAIN REPERTORY THEATRE**  
GRAND LAKE, CO  
CONSTRUCTION PLAN SET  
UTILITY & SITE PLAN

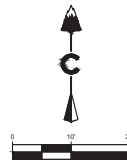
DATE: 09/11/21  
PROJECT: 21-221  
SHEET: 1 OF 2

REVISION DESCRIPTION

NO.	DATE	DESCRIPTION
1	09/11/21	ISSUED FOR PERMIT

2021-09-11 4:30 PM X:\21-221 Lot 9-11 Block 10 Grand Lake, RMRT\Civil\CAD\Plans Utility Plan.dwg


  
 CORE CONSULTANTS INC.  
 3475 S. BROADWAY  
 DENVER, CO 80113  
 303.733.8444  
 INFO@CORE.COM



BOTM	BOTTOM
FLPN	FLOODPLAIN
TF	TOP OF FOUNDATION
HP	HIGH POINT
TOW	TOP OF WALL
BOW	BOTTOM OF WALL
TOS	TOP OF STAIR
BOS	BOTTOM OF STAIR
FL	FLOW LINE
FG	FINISHED GRADE

- NOTE:**
1. ALL EXISTING TREES ARE TO REMAIN UNLESS LABELED OTHERWISE
  2. UTILITY CONNECTIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION
  3. ALL EXISTING WATER SERVICES ARE TO BE REMOVED OR ABANDONED IN PLACE

ALL DRAWINGS AND WRITTEN DOCUMENTS HEREIN CONSTITUTE THE ORIGINAL INTELLECTUAL PROPERTY OF THE ARCHITECT AND MAY NOT BE REUSED, REPRODUCED OR DISCLOSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF MUNN ARCHITECTURE, LLC.

3/21/2022 11:03:50 AM  
I:\Project-new\1914 - RMRF-EMP\03\VA - RMRF-EMP-A2 - RFP.v1

#### DEMOLITION NOTES:

- DEMOLITION REQUIRES THE SELECTIVE REMOVAL AND SUBSEQUENT REUSE, RECYCLE OR DISPOSAL OF THE EXISTING BUILDINGS MATERIALS AS INDICATED ON THE DRAWINGS.
- THE DESIGN DOCUMENTS ARE BASED UPON OWNER-PROVIDED DRAWINGS, PHOTOGRAPHS AND FIELD MEASUREMENTS. DIMENSIONS SHOWN ON THE DEMOLITION DRAWINGS ARE APPROXIMATE. VERIFY REQUIREMENTS OF PROPOSED CONSTRUCTION PRIOR TO COMMENCING DEMOLITION WORK.
- CONTRACTOR SHALL CONDUCT A PRE-DEMOLITION MEETING PRIOR TO BEGINNING ANY DEMOLITION-RELATED ACTIVITIES W/ ARCHITECT AND OWNER TO VERIFY ALL ITEMS TO BE SALVAGED, RELOCATED, MODIFIED AND/OR REMOVED FROM THE PROJECT, AND PRODUCE WRITTEN DOCUMENTATION OF THE CONDITION OF EACH ITEM PRIOR TO REMOVAL.
- CONTRACTOR SHALL PROVIDE CARE IN THE REMOVAL OF ALL ITEMS LISTED AS OWNER SALVAGE AND COORDINATE TEMPORARY STORAGE WITH OWNER. IF INDICATED TO BE LOCATED IN PROJECT, INSTALL SALVAGED ITEMS TO FULLY FUNCTIONAL CONDITION PER THE CONTRACT DOCUMENTS.
- THE PREFERRED ORDER OF DEMOLISHED ITEMS:
  - OWNER REUSE
  - C.C. TO RECYCLE ITEMS AS MUCH AS POSSIBLE, W/ DOCUMENTATION.
  - ITEMS GO TO TRASH.
- ITEMS TO BE REUSED ARE TO BE STOCKPILED AND PROTECTED UNTIL PUT BACK IN SERVICE.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL CUTTING AND PATCHING WITH THEIR SUBCONTRACTORS DURING REDDING AND DURING CONSTRUCTION. IT IS NOT THE INTENTION OF THESE DOCUMENTS TO ASSIGN TASKS.
- ALL CONTRACTORS SHALL VISIT THE JOB SITE AND COMPLETELY FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS PRIOR TO BID.
- PLAN DIMENSIONS ARE TO THE FACE OF THE FRAMING MEMBERS, FACE OF WOOD FURRING OR FACE OF CONCRETE WALLS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL SAWCUT AND CORE DRILL AS REQ'D TO ACCOMMODATE PROPOSED MECHANICAL AND ELECTRICAL PENETRATIONS.
- CONTRACTOR SHALL PERFORM DEMOLITION IN AN ORDERLY AND CAREFUL MANNER IN WHICH TO ACCOMMODATE PROPOSED CONSTRUCTION PER THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED AT NO COST TO THE OWNER. RETURN STRUCTURES AND SURFACES TO THE CONDITION EXISTING PRIOR TO THE COMMENCEMENT OF DEMOLITION WORK.
- RELOCATION OF PIPEL, CONDUIT, DUCTS, AND OTHER MECHANICAL OR ELECTRICAL WORK IS SPECIFIED BY THESE RESPECTIVE TRADES. REFER TO MECHANICAL OR ELECTRICAL DEMOLITION REQUIREMENTS, PATCH AREAS AT MECHANICAL AND ELECTRICAL DEMOLITION AREAS TO MATCH ADJACENT SURFACES.
- "CUTTING AND PATCHING" SHALL INCLUDE CUTTING INTO EXISTING CONSTRUCTION TO PROVIDE FOR THE INSTALLATION OR PERFORMANCE OF OTHER WORK AND SUBSEQUENT FITTING AND PATCHING REQUIRED TO RESTORE SURFACES TO THEIR ORIGINAL CONDITION.
- CONTRACTOR SHALL NOT CUT PATCH WORK IN A MANNER THAT WOULD RESULT IN SUBSTANTIAL VISUAL EVIDENCE OF CUT AND PATCH WORK. REMOVE AND REPLACE WORK JUDGED BY THE ARCHITECT TO HAVE BEEN CUT AND PATCHED IN A VISUALLY UNSATISFACTORY MANNER.
- CONTRACTOR SHALL REMOVE HVAC, PLUMBING, ELECTRICAL AND ARCHITECTURAL ELEMENTS INDICATED FOR DEMOLITION IN THEIR ENTIRETY. DO NOT ABANDON IN PLACE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PATCH AND PREPARE EXISTING WALLS SCHEDULED TO REMAIN TO AN ACCEPTABLE SUBSTRATE CONDITION FOR REVISED FINISH LOCATIONS.
- CONTRACTOR SHALL PROTECT EXISTING FINISH WORK, EQUIPMENT, AND TEXTURES FROM DAMAGE DUE TO DEMOLITION AND SUBSEQUENT CONSTRUCTION. PROVIDE FLOOR COVERING AS REQ'D TO PROTECT EXISTING FLOOR FINISH TO REMAIN.
- CONTRACTOR SHALL REMOVE AND RECYCLE/DISPOSE OF ALL MATERIALS, EQUIPMENT, AND DEMOLITION DEBRIS AT THE END OF EACH WORKING DAY. UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT, AND DEMOLITION DEBRIS FROM SITE. REMOVE PROTECTIVE COVERINGS AND LEAVE INTERIOR AREAS BROOM CLEAN.
- IN AREAS SCHEDULED TO RECEIVE A CHANGE IN ROOM FINISHES:
  - REMOVE EXISTING FLOOR FINISHES, ADHESIVES OR SETTING BED. TO CONCRETE SUBSTRATE, PATCH & REPAIR TO PROVIDE ACCEPTABLE SUBSTRATE TO RECEIVE FLOOR FINISH SCHEDULED.
  - REMOVE EXISTING RESILIENT BASE AND ADHESIVE. PATCH & REPAIR GYPSUM BOARD & CHAU TO PROVIDE AN ACCEPTABLE SURFACE FOR SCHEDULED BASE.
  - REMOVE EXISTING WALL FINISHES, ADHESIVES OR SETTING BED. REFRESH WALL TO PROVIDE AND ACCEPTABLE SURFACE FOR SCHEDULED WALL FINISH.
  - REMOVE EXISTING CEILING FINISH AND SUPPORT SYSTEM IN ITS ENTIRETY. PATCH & REPAIR WALLS TO ACCEPT SCHEDULED CEILING FINISH AT HEIGHT INDICATED.
- REMOVE ALL EXISTING SIGNAGE, DISPLAY BOARDS AND OTHER ITEMS ATTACHED TO WALLS. RETAIN FOR OWNER REUSE.
- THE CONTRACTOR MAINTAIN EXISTING FIRE RATINGS AT ALL EXISTING TENANT DEMISING AND CORRIDOR WALLS WHERE APPLICABLE.
- ALL EXISTING SECURITY AND FIRE ALARM / SUPPRESSION SYSTEMS SHALL REMAIN OPERATIONAL DURING DEMOLITION AND CONSTRUCTION UNLESS NOTED OTHERWISE. THE CONTRACTOR IS RESPONSIBLE FOR TEMPORARILY RELOCATING ANY DEVICES IN WALLS OR CEILINGS SCHEDULED TO BE DEMOLISHED AND COORDINATING THE FINAL DEVICE LOCATIONS PER THE CONTRACT DOCUMENTS.
- CONTRACTOR TO WALK THE SITE WITH OWNER REP AND/OR ARCHITECT TO VERIFY DEMOLITION SCOPE.
- ENVIRONMENTAL REPORT TO BE PROVIDED BY OWNER. GC TO ASSUME SOME LEVEL OF ABATEMENT AS PART OF DEMOLITION.

OVERALL DEMO PLAN  
SCALE: 1" = 10'-0"

BACK REF:



#### DEMOLITION WORK KEYED NOTES:

- REMOVE HATCHED EXTENT OF EXISTING WALL, WINDOW OR DOOR ASSEMBLY
- REMOVE EXISTING GYP / WALL FINISH AND COORD SCHED PLUMB / ELEC SERVICE MODIFICATIONS PER PLANS
- REMOVE EXISTING FLOOR FINISH AND ALL ASSOCIATED ADHESIVE / GROUT RESIDUE, VERIFY CONDITIONS IN FIELD
- REMOVE EXISTING CEILING AS INDICATED
- REMOVE EXISTING CASWORK / FURNITURE, CONFIRM ALL ITEMS TO BE SALVAGED PRIOR TO DEMOLITION W/ OWNER
- REMOVE EXISTING TOILET PARTITIONS
- REMOVE EXISTING WALL BASE
- REMOVE EXISTING LIGHT FIXTURES AND ASSOCIATED CONDUIT, RECEPTACLES, J-BOXES, ETC AS REQ'D UON, RE: ELEC DWGS. CONFIRM ALL ITEMS TO BE SALVAGED PRIOR TO DEMOLITION W/ OWNER
- REMOVE EXISTING PLUMBING FIXTURES AND ASSOCIATED PIPING NOT SCHEDULED TO REMAIN; VERIFY IN FIELD EXTENT OF REMOVAL BACK TO MAIN SERVICE ELEMENTS: COORD W/ PLUMBING DWGS.
- REMOVE/MODIFY HVAC SYSTEM COMPONENTS: COORD EXTENT OF MODIFICATIONS PER ARCH AND MECH DWGS
- REMOVE EXISTING EQUIPMENT, CONFIRM ALL ITEMS TO BE SALVAGED PRIOR TO DEMOLITION W/ OWNER
- REMOVE EXISTING GUARD RAIL AT FLOOR OPENING AND PREP AREA TO SCHED FLOOR IN/FILL, RE: PLANS / STRUCT. CONFIRM ALL ITEMS TO BE SALVAGED PRIOR TO DEMOLITION W/ OWNER
- REMOVE ALL EXISTING RESTROOM ACCESSORIES
- REMOVE/DEMO ENTIRE BUILDING AND ALL ASSOCIATED TO INCLUDE THE ABOVE AND ANY ITEMS NOT SPECIFICALLY MENTIONED, CUT & CAP OR REMOVE EXISTING UTILITIES AS NECESSARY FOR FUTURE CONSTRUCTION.
- CUT & CAP OR REMOVE AS NECESSARY FOR FUTURE CONSTRUCTION.
- REMOVE AND STORE FOR POTENTIAL REUSE, CONFIRM W/ OWNER.
- REMOVE FENCE AND ALL ASSOCIATED.
- REMOVE DECK/PAD AND ALL ASSOCIATED.
- CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY TO REMOVE AND/OR RELOCATE POWER POLE.
- REMOVE TREE(S) AND ASSOCIATED ROOTS
- PREP SITE FOR NEW UTILITIES AND FUTURE CONSTRUCTION.

#### PLAN HATCH LEGEND:

- EXISTING WALLS AND ELEMENTS SCHED TO REMAIN
- EXISTING WALLS AND ELEMENTS SCHED TO BE REMOVED
- EXISTING ELEMENTS TO BE SALVAGED, VERIFY W/ OWNER
- TO BE DEMOLISHED
- EXISTING ELEMENT TO REMAIN (GRAY LINES)
- EXISTING TREE (# = TRUNK DIAMETER IN INCHES)

0' 5' 10' 20' 40'  
SCALE: 1" = 10'-0"

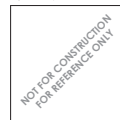
ARCHITECT :



Munn Architecture, LLC

315 EAST AGATE AVENUE  
P.O. BOX 21  
GRANBY, CO 80446  
970-887-9366  
WWW.MUNNARCH.COM

STAMP :



OFF-BROADWAY HOUSING  
ROCKY MOUNTAIN REPOSITORY PROPERTIES, INC  
450 BROADWAY ST, GRAND LAKE, CO 80447  
PROJECT #: 1914

ISSUANCE : DATE :  
RFP PRICING 2022-02-11  
SET 2022-03-21  
ToGL PLANNING  
COORDINATIO  
N

SHEET TITLE :  
OVERALL DEMO  
PLAN - LEVEL 01

SHEET NUMBER :  
A0.00

ROOF ASSEMBLIES			
ROOF TYPE	SECTION	DESCRIPTION	FIRE RATING
R-01	EXTERIOR	LIFETIME GRADE HEAVY TAB ASPHALT SHINGLES OVER "GRADE" HEAT-RESISTANT ICE & WATER SHIELD UNDERLAYMENT (DASHED)	N/A
	INTERIOR	5/8" PLYWOOD EXTERIOR SHEATHING CLOSED-CELL POLYURETHANE FOAM INSULATION (R-49 MIN) W/IN ROOF FRAMING PER ASTM C 1029, TYPE II, W/ MAXIMUM FLAME SPREAD AND SMOKE DEVELOPED INDEXES OF 75 AND 450, PER ASTM E 84. PROVIDE 15 LB/CU FT. MIN DENSITY, AND THERMAL RESISTIVITY OF 6.2 DEG F x H x SQ. FT./BTU x IN. AT 75 DEG F. (EQUIVALENTS SHALL BE APPROVED BY ARCHITECT) ROOF FRAMING PER STRUCTURAL 1/2" GYP WALL BOARD (TAPED, TEXTURED, & PAINTED) OVER VAPOR BARRIER (DASHED)	

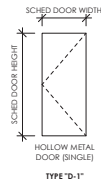
SOFFIT ASSEMBLIES			
SOFFIT TYPE	SECTION	DESCRIPTION	FIRE RATING
S-01	EXTERIOR	SCHED ROOF ASSEMBLY, SHING-1	N/A
	INTERIOR	CLOSED SOFFIT (VENTED) W/ CONCEALED ROOF FRAMING PER STRUCT 3/8" ROUGH-TEX CEDAR SOFFIT 1x6 OVER 2x12 CEDAR FASCIA	
S-02	EXTERIOR	SCHED ROOF ASSEMBLY, SHING-1	N/A
	INTERIOR	OPEN SOFFIT W/ EXPOSED ROOF FRAMING PER STRUCT 1x6 OVER 2x12 CEDAR FASCIA	

FLOOR ASSEMBLIES			
FLOOR TYPE	SECTION	DESCRIPTION	FIRE RATING
F-01		SCHED REINFORCED CIP CONC SLAB ON-GRADE PER STRUCT RIGID INSUL (R-15 MIN) W/ TAPE AT ALL JOINTS VAPOR / RADON BARRIER (DASHED) O/ GRAVEL PER GROTCH REPORT RECOMMENDATIONS FOR PREPARED SUBGRADE	N/A

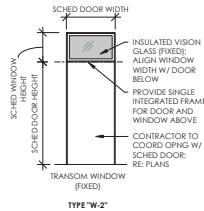
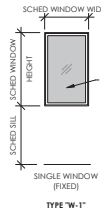
EXTERIOR WALL ASSEMBLIES			
WALL TYPE	SECTION	DESCRIPTION	FIRE RATING
EWA-01	EXTERIOR	SCHED SIDING, RE: EXT ELEV FOR TYPE AND ORIENTATION 1-1/2" ZIP SYSTEM SHEATHING / INSULATION / WEATHER BARRIER PANEL (R-5 MIN); FASTEN TO SCHED FRAMING AND SEAL EDGES PER MFR OPEN-CELL SPRAY FOAM INSULATION (DEMILEC; AGRIBALANCE; R-20 MIN) INSTALLED (U/W ESR 2600 W/IN STUD CAVITY (EQUIVALENTS SHALL BE APPROVED BY ARCHITECT) 2x6 WD STUD FRAMING PER STRUCTURAL 1/2" GYP WALL BOARD (TAPED, TEXTURED, & PAINTED) OVER VAPOR BARRIER (WARM-SIDE OF WALL)	N/A
	INTERIOR		
EWA-02	EXTERIOR	SCHED METAL PANEL (RE: EXT ELEV FOR TYPE) OVER "GRADE" HEAT-RESISTANT ICE & WATER SHIELD UNDERLAYMENT (DASHED) 1-1/2" ZIP SYSTEM SHEATHING / INSULATION / WEATHER BARRIER PANEL (R-5 MIN); FASTEN TO SCHED FRAMING AND SEAL EDGES PER MFR OPEN-CELL SPRAY FOAM INSULATION (DEMILEC; AGRIBALANCE; R-20 MIN) INSTALLED (U/W ESR 2600 W/IN STUD CAVITY (EQUIVALENTS SHALL BE APPROVED BY ARCHITECT) 2x6 WD STUD FRAMING PER STRUCTURAL 1/2" GYP WALL BOARD (TAPED, TEXTURED, & PAINTED) OVER VAPOR BARRIER (DASHED - WARM-SIDE OF WALL)	N/A
	INTERIOR		
EWA-03	EXTERIOR	SCHED SIDING, RE: EXT ELEV FOR TYPE AND ORIENTATION 3/4" FOIL-FACED RIGID FOAM BOARD R-5 OR BETTER, ALL SEAMS TAPED FOR WEATHER RESISTIVE BARRIER OVER 7/16" O.S.B. SHEATHING R-21 HIGH DENSITY FIBERGLASS INSULATION 2x6 WD STUD 16" O.C. 1/2" GYP WALL BOARD (TAPED, TEXTURED, & PAINTED) OVER VAPOR BARRIER (DASHED - WARM-SIDE OF WALL)	N/A
	INTERIOR		

NOTE: IF OPEN CELL INSULATION IS USED IN CONJUNCTION W/ INTERIOR VAPOR BARRIER & EXTERIOR RIGID INSULATION W/ PERMEANCE LEVEL <1.0 PERM, USE "SMART" BREATHABLE VAPOR BARRIER SYSTEM AT INTERIOR

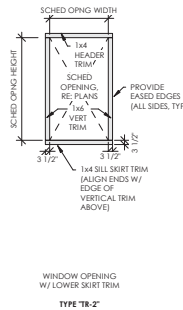
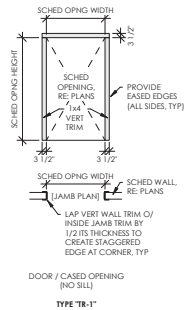
## DOOR TYPES LEGEND



## WINDOW TYPES LEGEND



## TRIM TYPES LEGEND



**NOTE** WALL TRIM MAY VARY ON EACH SIDE OF OPENING. RE: DOOR / WINDOW SCHEDULE

**NOTE** IN SEE TYPE "TR-2" FOR SILL NOTES COMMON

## DOOR SCHEDULE

DOOR SCHEDULE																
DOOR NUMBER	DOOR TYPE	DOOR							FRAME / TRIM							COMMENTS
		WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	UNDER CUT	FIRE RATING	HARDWARE SET	TYPE	MATERIAL	FINISH	JAMB DETAIL	SILL DETAIL	HEAD DETAIL	
T.O. LVL 1 GYPCRETE																
BLDGA-STOR	D-3	4' - 0"	7' - 0"	0' - 2"	METAL					TR-1						1,8,9,10 - SUP'D BY GC, NOT HERITAGE HOMES
BLDGB-STOR	D-3	4' - 0"	7' - 0"	0' - 2"	METAL					TR-1						1,8,9,10 - SUP'D BY GC, NOT HERITAGE HOMES

## DOOR SCHEDULE COMMENTS / ACCESSORIES LEGEND

- KEYED ENTRY LOCK SET W/ THUMB TURN AT INTERIOR (EXTERIOR GRADE), FINISH TBD
- PRIVACY LOCK SET W/ PIN HOLE AT EXTERIOR AND PUSH-BUTTON AT INTERIOR (BEDROOMS AND BATHROOMS), FINISH TBD
- PASSAGE KNOB / LEVER SET - NO LOCK (CLOSETS), FINISH TBD
- SINGLE CYLINDER DEADBOLT LOCK SET W/ THUMB TURN AT INTERIOR (BUMP KEY RESISTANT), FINISH TBD
- PEEP-HOLE DOOR VIEWER (EXTERIOR-GRADE), FINISH TO MATCH DOOR HARDWARE
- DOOR CHAIN SET AT INTERIOR, FINISH TO MATCH DOOR HARDWARE
- BASEBOARD-MOUNTED DOOR STOP (SOLID WITH RUBBER TIP - NO SPRINGS), FINISH TO MATCH DOOR HARDWARE
- ALUM THRESHOLD / DOOR TRANSITION (ADA COMPLIANT) W/ BLACK ANODIZED FINISH IN CONTR. BED OF SEALANT
- KICK PLATE (EXTERIOR-GRADE), FINISH TO MATCH DOOR HARDWARE
- INSULATED DOOR (EXTERIOR-GRADE) WITH CONTR. WEATHER SEAL / DOOR SWEEP PER MFR

### DOOR NOTES:

- ALL EXTERIOR DOORS SHALL BE INSULATED AND WEATHER STRIPPED PER DOOR MFR.
- ALL ROUGH OPENINGS TO BE PROVIDED BY DOOR MFR AND FIELD VERIFIED BY THE CONTRACTOR.
- DOOR MANUFACTURER SHALL PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE.
- CONTRACTOR SHALL VERIFY DOOR ACCESSORIES AND FINISHES WITH OWNER PRIOR TO ORDERING.
- CONTRACTOR SHALL VERIFY DOOR MODEL NUMBERS / SIZES / QUANTITIES WITH MANUFACTURER PRIOR TO STARTING CONSTRUCTION AND INSTALL PER MFR'S WRITTEN INSTRUCTIONS.
- WHERE TRANSOM WINDOWS ARE SCHEDULED ABOVE DOORS, UNITS / FRAMES SHALL BE MULLED TOGETHER PER WINDOW / DOOR MFR AS A SINGLE CONSTRUCTED UNIT, UON.
- CONTRACTOR SHALL PROVIDE DOOR SHOP DRAWINGS FOR ARCHITECT REVIEW PRIOR TO CONSTRUCTION.
- DOOR MANUFACTURER SHALL PROVIDE A BLACK ANODIZED SPACER AT ALL INSULATED GLASS ASSEMBLIES WHERE SCHEDULED WITH A WOOD DOOR FINISH, TYP. UON. FOR ALL OTHER FRAME FINISHES, PROVIDE CLEAR ANODIZED SPACERS.
- WHERE SCHED DOOR COLOR / STAIN FINISH IS TBD, CONTRACTOR SHALL PROVIDE SAMPLES TO OWNER AND ARCHITECT FOR APPROVAL PRIOR TO ORDERING.
- CONTRACTOR SHALL FIELD VERIFY DIMS FOR ALL EXISTING DOORS SCHEDULED FOR REPLACEMENT PRIOR TO ORDERING.

## WINDOW SCHEDULE

WINDOW SCHEDULE													
WINDOW NUMBER	WINDOW TYPE	WINDOW				HARDWARE SET	TRIM			COMMENTS			
		WIDTH	HEIGHT	SILL HEIGHT	HEAD HEIGHT		EXTERIOR	INTERIOR					
							TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	
T.O. LVL 1 GYPCRETE													
BLDGA-ST OR	W-2	4' - 0"	1' - 4"	5' - 8"	7' - 0"		TR-2						PROVIDED BY GC, INSTALLED BY GC
BLDGB-STR G	W-2	4' - 0"	1' - 4"	5' - 8"	7' - 0"		TR-2						PROVIDED BY GC, INSTALLED BY GC
T.O. LVL 2 GYPCRETE													
BLDGA-A1	W-1	4' - 0"	2' - 6"	4' - 6"	7' - 0"		TR-2						PROVIDED BY HERITAGE HOMES, INSTALLED BY GC
BLDGA-A2	W-1	2' - 6"	5' - 0"	2' - 0"	7' - 0"		TR-2						PROVIDED BY HERITAGE HOMES, INSTALLED BY GC
BLDGA-A3	W-1	4' - 0"	2' - 6"	6' - 6"	9' - 0"		TR-2						PROVIDED BY HERITAGE HOMES, INSTALLED BY GC
BLDGA-B1	W-1	2' - 6"	5' - 0"	2' - 0"	7' - 0"		TR-2						PROVIDED BY HERITAGE HOMES, INSTALLED BY GC
BLDGA-B2	W-1	4' - 0"	2' - 6"	6' - 0"	8' - 6"		TR-2						PROVIDED BY HERITAGE HOMES, INSTALLED BY GC
BLDGA-C1	W-1	2' - 6"	5' - 0"	2' - 0"	7' - 0"		TR-2						PROVIDED BY HERITAGE HOMES, INSTALLED BY GC
BLDGA-C2	W-1	4' - 0"	2' - 6"	6' - 0"	8' - 6"		TR-2						PROVIDED BY HERITAGE HOMES, INSTALLED BY GC
BLDGB-A1	W-1	4' - 0"	2' - 6"	4' - 6"	7' - 0"		TR-2						PROVIDED BY HERITAGE HOMES, INSTALLED BY GC
BLDGB-A2	W-1	2' - 6"	5' - 0"	2' - 0"	7' - 0"		TR-2						PROVIDED BY HERITAGE HOMES, INSTALLED BY GC
BLDGB-A3	W-1	4' - 0"	2' - 6"	6' - 6"	9' - 0"		TR-2						PROVIDED BY HERITAGE HOMES, INSTALLED BY GC
BLDGB-B1	W-1	2' - 6"	5' - 0"	2' - 0"	7' - 0"		TR-2						PROVIDED BY HERITAGE HOMES, INSTALLED BY GC
BLDGB-B2	W-1	4' - 0"	2' - 6"	6' - 0"	8' - 6"		TR-2						PROVIDED BY HERITAGE HOMES, INSTALLED BY GC
BLDGB-C1	W-1	2' - 6"	5' - 0"	2' - 0"	7' - 0"		TR-2						PROVIDED BY HERITAGE HOMES, INSTALLED BY GC
BLDGB-C2	W-1	4' - 0"	2' - 6"	6' - 0"	8' - 6"		TR-2						PROVIDED BY HERITAGE HOMES, INSTALLED BY GC

### WINDOW NOTES:

- ALL EXTERIOR WINDOWS SHALL BE INSULATED AND WEATHER STRIPPED PER WINDOW MFR.
- ALL ROUGH OPENINGS TO BE PROVIDED BY WINDOW MFR AND FIELD VERIFIED BY THE CONTRACTOR.
- CONTRACTOR SHALL VERIFY LOCAL CODE EGRES WINDOW REQUIREMENTS PRIOR TO CONSTRUCTION.
- WINDOW MANUFACTURER SHALL PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE.
- WINDOW MANUFACTURER SHALL CONFIRM WINDOW SIZES / ORIENTATION PER ARCHITECTURAL EXTERIOR ELEVATIONS.
- CONTRACTOR SHALL VERIFY WINDOW MODEL NUMBERS / SIZES / QUANTITIES WITH MANUFACTURER BEFORE STARTING CONSTRUCTION AND INSTALL PER MFR'S WRITTEN INSTRUCTIONS.
- WHERE MULTIPLE WINDOWS ARE SHOWN CONNECTED PER PLANS / ELEVATIONS, UNITS SHALL BE MULLED TOGETHER PER WINDOW MFR AS A SINGLE CONSTRUCTED UNIT, UON.
- CONTRACTOR SHALL PROVIDE WINDOW SHOP DRAWINGS FOR ARCHITECT REVIEW PRIOR TO CONSTRUCTION.
- REFER TO A028 FOR TYPICAL WINDOW JAMB, SILL AND HEAD DETAILS.
- WINDOW MANUFACTURER SHALL PROVIDE A BLACK ANODIZED SPACER AT ALL INSULATED GLASS ASSEMBLIES WHERE SCHEDULED FOR BRONZE WINDOW FRAMES, TYP. UON. FOR ALL OTHER FRAME FINISHES, PROVIDE CLEAR ANODIZED SPACERS.
- WHERE SCHED WINDOW FRAME COLOR / STAIN FINISH IS TBD, CONTRACTOR SHALL PROVIDE SAMPLES TO OWNER AND ARCHITECT FOR APPROVAL PRIOR TO ORDERING.
- CONTRACTOR SHALL FIELD VERIFY DIMS FOR ALL EXISTING WINDOWS SCHEDULED FOR REPLACEMENT PRIOR TO ORDERING.

ARCHITECT :



Munn Architecture, LLC  
315 EAST AGATE AVENUE  
P.O. BOX 21  
GRANBY, CO 80444  
970-887-9366  
WWW.MUNNARCH.COM

STAMP :



OFF-BROADWAY HOUSING  
ROCKY MOUNTAIN REPERTORY PROPERTIES, INC  
450 BROADWAY ST, GRAND LAKE, CO 80447  
PROJECT # - 1914

ISSUANCE : DATE :  
RFP PRICING 2022-02-11  
SET  
T&G PLANNING 2022-03-21  
COORDINATIO  
N

SHEET TITLE :  
DOOR & WINDOW  
SCHEDULES

SHEET NUMBER :  
A0.20

MATERIALS AND FINISHES LEGEND

PART COLOR SELECTION KEY

KEY	SHEEN	GLOSS RANGE
A	FLAT	BELOW 15
B	EGGSHELL	15 TO 30
C	SEMI-GLOSS	30 TO 45
D	GLOSS	OVER 45

PAINTING

PI-1	INTERIOR COLOR 1, TBD
PI-2	INTERIOR COLOR 2, TBD

(FINAL COLOR SELECTION AND ACCENT WALLS TO BE FIELD VERIFIED WITH OWNER AND ARCHITECT PRIOR TO BEGINNING WORK)

METAL PANEL

MP-1	MFR: RECLA METALS PRODUCT: 9'1/8" BCM 50 PANEL SYSTEM W/ EXPOSED FASTENERS PER MFR FINISH: 22 GA "ANTIQUÉ SILVER" NATURAL COLOR
------	---

SHINGLE (ROOF)

SHNG-1	MFR: OWENS CORNING PRODUCT: TRUDEFINITION ARCHITECTURAL SERIES, DURATION BRAND LIFETIME-GRADE, HEAVY TAB ASPHALT SHINGLES FINISH: TEAK
--------	---

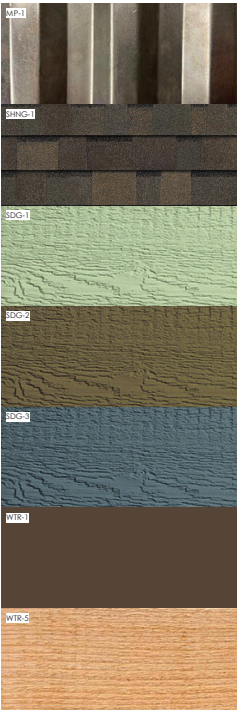
SIDING (EXTERIOR)

SDG-1	MFR: LP PRODUCT: SMARTSIDE LAP SIDING, 5.84" WIDE BOARDS FINISH: CEDAR TEXTURE, "MARSHLAND MOSS" COLOR
SDG-2	MFR: LP PRODUCT: SMARTSIDE LAP SIDING, 7.84" WIDE BOARDS FINISH: CEDAR TEXTURE, "CANYON BROWN" COLOR
SDG-3	MFR: LP PRODUCT: SMARTSIDE VERTICAL SIDING FINISH: SMOOTH FINISH, "CAVERN STEEL" COLOR

TRIM & TIMBER ACCENTS (EXTERIOR)

WTR-1	MFR: LP PRODUCT: ROUGH SAWN DF#2 2x4 EXTERIOR-GRADE CORNER TRIM FINISH: EXTERIOR-GRADE SHERWIN WILLIAMS SW 7027 "HICKORY SMOKE"
WTR-2	MFR: TBD PRODUCT: 1x4 EXTERIOR-GRADE WALL TRIM FINISH: TO MATCH WTR-1 CORNER TRIM
WTR-3	MFR: TBD PRODUCT: 1x4 EXTERIOR-GRADE WINDOW & DOOR TRIM (HEADER, SIDES & SILL) FINISH: TO MATCH WTR-1 CORNER TRIM
WTR-4	MFR: TBD PRODUCT: BUILT-UP FASCIA WITH EXTERIOR-GRADE 1x4 OVER 2x12 FINISH: TO MATCH WTR-1 CORNER TRIM
WTR-5	MFR: TBD PRODUCT: 3/8" ROUGH-TEX CEDAR PLYWOOD SOFFIT FINISH: SHERWIN WILLIAMS EXTERIOR WATERBORNE CLEAR SEALER
WTR-6	MFR: PRODUCT: ROUGH-SAWN 2x12 EXTERIOR-GRADE EXPOSED RAFTERS FINISH: CLEAR STAIN TO MATCH WTR-5 SOFFIT
WTR-7	MFR: TBD PRODUCT: VARIOUS EXTERIOR-GRADE TIMBER MEMBERS PER STRUCTURAL FINISH: TO MATCH WTR-1 CORNER TRIM

ROOM FINISH SCHEDULE								
ROOM NAME	AREA	FLOOR FINISH	WALL BASE	WAINSCOT	MOULDING	WALL FINISH	CEILING FINISH	COMMENTS
T.O. LVL 1 GYPCRETE								
BLDG A - STORAGE	100 SF	SEALED CONCRETE						
BLDG B - STORAGE	110 SF	SEALED CONCRETE						



ARCHITECT :



Munn Architecture, LLC

315 EAST AGATE AVENUE  
P.O. BOX 21  
GRANBY, CO 80446  
970-887-9366  
WWW.MUNNARCH.COM

STAMP :



OFF-BROADWAY HOUSING  
ROCKY MOUNTAIN REPOSITORY PROPERTIES, INC  
450 BROADWAY ST, GRAND LAKE, CO 80447  
PROJECT #: 1914

ISSUANCE :	DATE :
RFP PRICING	2022-02-11
SET	
ToGL	2022-03-21
PLANNING	
COORDINATION	
N	

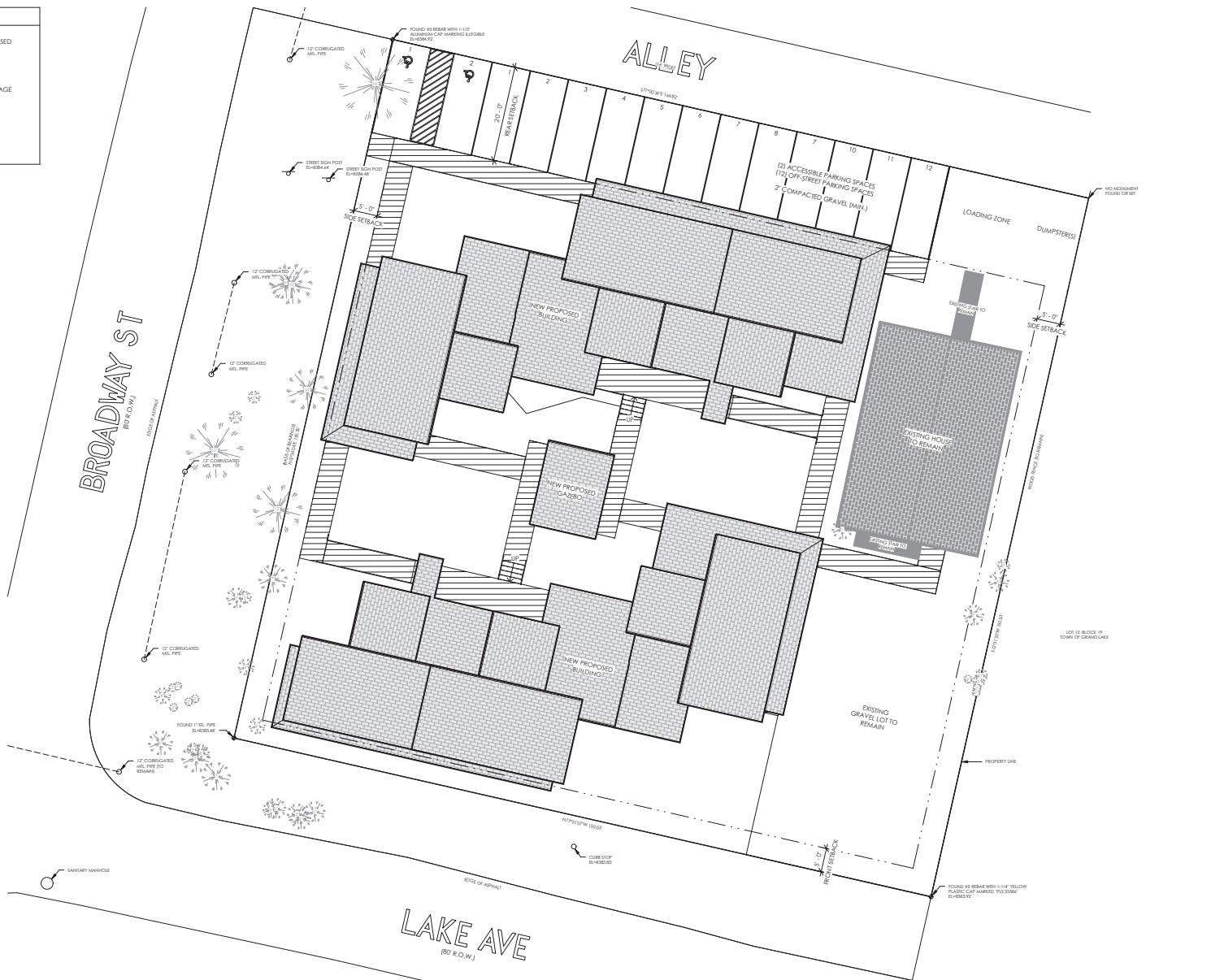
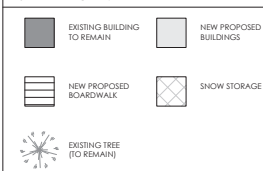
SHEET TITLE :  
FINISH SCHEDULE  
AND MATERIALS  
LEGEND

SHEET NUMBER :  
A0.30

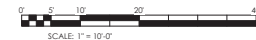
ALL DRAWINGS AND WRITTEN DOCUMENTS HEREIN CONSTITUTE THE ORIGINAL INTELLECTUAL PROPERTY OF THE ARCHITECT AND MAY NOT BE REUSED, REPRODUCED OR DISCLOSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF MUNN ARCHITECTURE, LLC.

3/21/2022 11:04:02 AM  
I:\Project-new\1914 - RMRF-RMP\3\MA - RMRF-RMP\A2 v5 - RFP.rvt

SITE PLAN LEGEND:



PROJECT SITE PLAN  
SCALE: 1" = 10'-0"  
BACK REF:



ARCHITECT :  
**MA**  
Munn Architecture, LLC  
315 EAST AGATE AVENUE  
P.O. BOX 21  
GRANBY, CO 80446  
970-887-9366  
WWW.MUNNARCH.COM

STAMP :  
NOT FOR CONSTRUCTION  
FOR REFERENCE ONLY

OFF-BROADWAY HOUSING  
ROCKY MOUNTAIN REPOSITORY PROPERTIES, INC  
450 BROADWAY ST, GRAND LAKE, CO 80447  
PROJECT #: 1914

ISSUANCE : DATE :  
RFP PRICING 2022-02-11  
SET 2022-03-21  
ToGR PLANNING  
COORDINATION

SHEET TITLE :  
PROJECT SITE PLAN

SHEET NUMBER :  
A1.00

## PROJECT IMPACT

SITE AREA: 0.516 ACRE

**EXISTING BUILDING SQUARE FOOTAGES:**  
RESIDENTIAL OCCURRENCE 1: 425 sf  
RESIDENTIAL OCCURRENCE 2: 288 sf  
RESIDENTIAL OCCURRENCE 3: 292 sf  
RESIDENTIAL OCCURRENCE 4: 1,082 sf  
RESIDENTIAL OCCURRENCE 5: 934 sf  
RESIDENTIAL OCCURRENCE 6: 494 sf  
RESIDENTIAL OCCURRENCE 7: 252 sf  
RESIDENTIAL OCCURRENCE 8: 3,152 sf  
\*JUDY'S HOUSE (TO REMAIN)  
EXTRA FEATURE OCCURRENCE 1: 1 sf  
EXTRA FEATURE OCCURRENCE 2: 120 sf  
EXTRA FEATURE OCCURRENCE 3: 168 sf  
EXTRA FEATURE OCCURRENCE 4: 1 sf  
EXTRA FEATURE OCCURRENCE 5: 174 sf  
**TOTAL: 7,385 sf**

**NEW PROPOSED BUILDING SQUARE FOOTAGES:**  
BUILDING A: 4,143 sf  
BUILDING B: 4,145 sf  
**TOTAL: 8,288 sf**  
\*DOES NOT INCLUDE JUDY'S HOUSE

**EXISTING NUMBER OF BEDS/BEDROOMS:**  
RESIDENTIAL OCCURRENCES 1-7: (19) BEDS  
RESIDENTIAL OCCURRENCE 8: (12) BEDS/(6) BEDROOMS  
\*JUDY'S HOUSE (TO REMAIN)  
**TOTAL: (31) BEDS**

**NEW PROPOSED NUMBER OF BEDS/BEDROOMS:**  
BUILDING A: (12) BEDS/(12) BEDROOMS  
BUILDING B: (12) BEDS/(12) BEDROOMS  
**TOTAL: (24) BEDS/(24) BEDROOMS**  
\*DOES NOT INCLUDE JUDY'S HOUSE

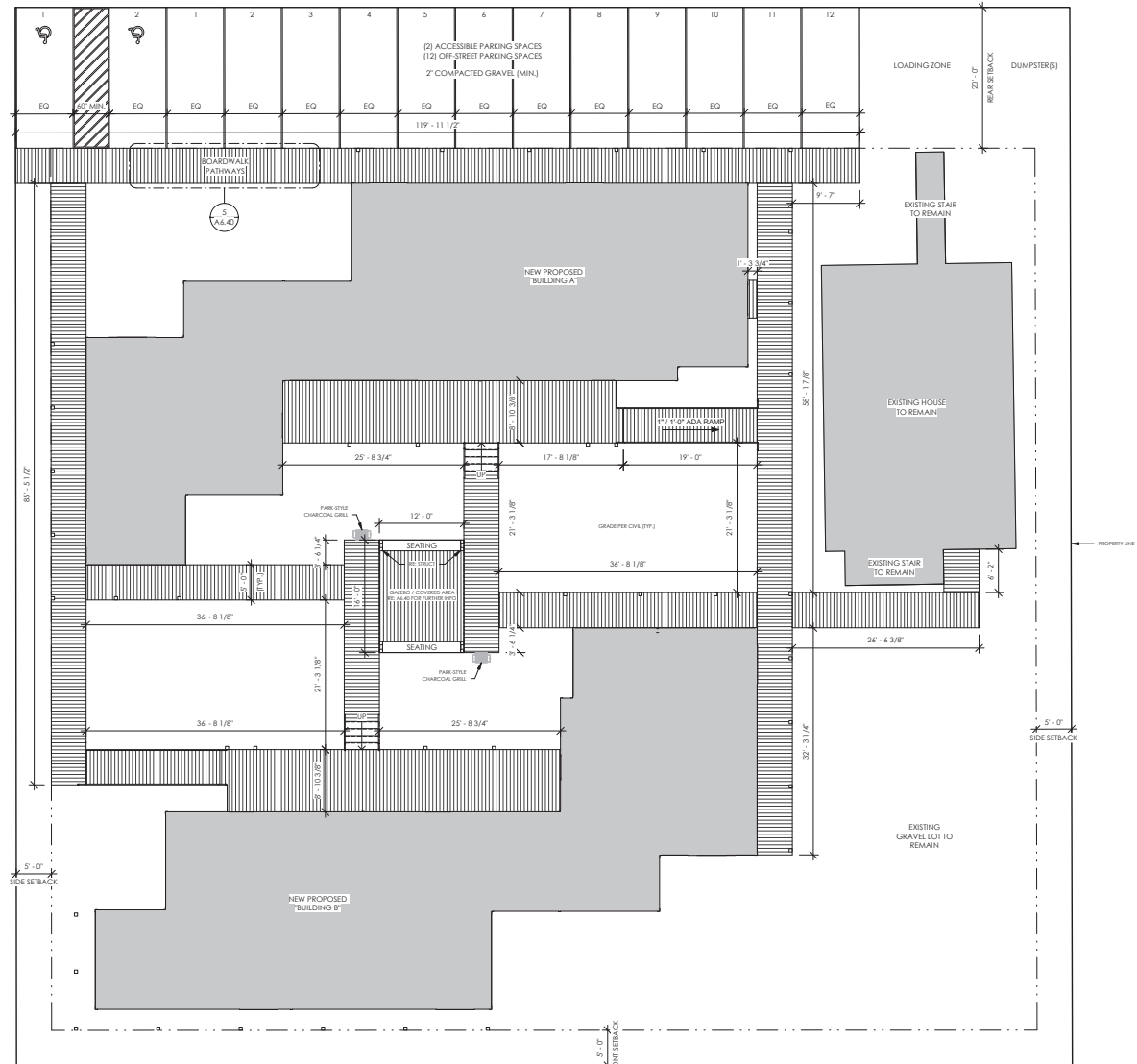
**PARKING:**  
REQUIRED OFF-STREET SPACES: (21) TOTAL SPACES  
ON-STREET PARKING CREDITS: (24.99) CREDITS  
**TOTAL: (-3.99) OFF-STREET SPACES REQUIRED**

**EXISTING PARKING SPACES:** (0) STRIPED/PAINTED SPACES PROVIDED

**NEW PROPOSED PARKING SPACES:** (14) TOTAL OFF-STREET SPACES  
\*(2) ADA, (12) STANDARD

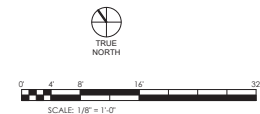
BROADWAY ST

ALLEY



1 SITE ELEMENTS PLAN  
SCALE: 1/8" = 1'-0" BACK REF.

LAKE AVE



ARCHITECT :



Munn Architecture, LLC  
315 EAST AGATE AVENUE  
P.O. BOX 21  
GRANBY, CO 80446  
970-887-9366  
WWW.MUNNARCH.COM

STAMP :



OFF-BROADWAY HOUSING  
ROCKY MOUNTAIN REPOSITORY PROPERTIES, INC  
450 BROADWAY ST, GRAND LAKE, CO 80447  
PROJECT #: 1914

ISSUANCE : DATE :  
RFP PRICING 2022-02-11  
SET 2022-03-21  
ToGL  
PLANNING  
COORDINATION  
N

SHEET TITLE :  
SITE ELEMENTS PLAN  
& PROJECT IMPACT

SHEET NUMBER :  
A1.05

ALL DRAWINGS AND WRITTEN DOCUMENTS HEREIN CONSTITUTE THE ORIGINAL INTELLECTUAL PROPERTY OF THE ARCHITECT AND MAY NOT BE REUSED, REPRODUCED OR DISCLOSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF MUNN ARCHITECTURE, LLC.

3/21/2022 11:04:10 AM  
I:\Project-new\1914 - RMF RMF\3 VMA, RMF RMF\_A3.v5 - RFP.rvt

## GROSS AREA CALCULATIONS

**PROPOSED BUILDING SQUARE FOOTAGES:**  
BUILDING A: 4,143 sf  
LEVEL 01 = 2,520 sf  
LEVEL 02 = 1,623 sf

BUILDING B: 4,145 sf

LEVEL 01 = 2,522 sf

LEVEL 02 = 1,623 sf

A & B TOTAL: 8,288 sf

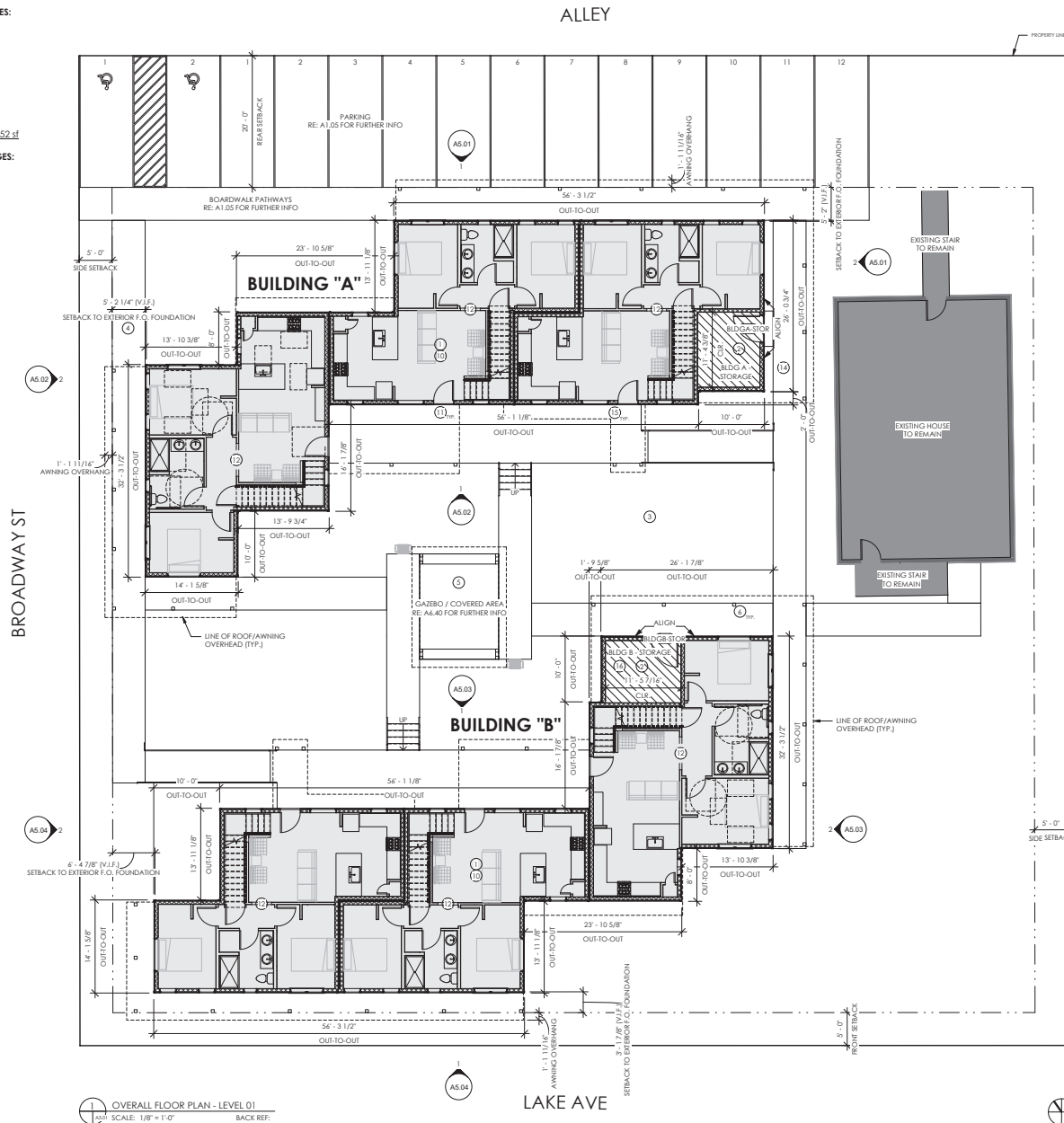
EXISTING HOUSE (TO REMAIN): 3,192 sf

**PROPOSED OUTDOOR SQUARE FOOTAGES:**  
PARKING: 2,399 sf

BOARDWALKS: 3,227 sf

OPEN SPACE: 10,642 sf

**TOTAL PROPERTY = 22,541 sf**  
\*LEVEL 02 AREAS NOT INCLUDED



OVERALL FLOOR PLAN - LEVEL 01  
SCALE: 1/8" = 1'-0" BACK REF.

**FLOOR PLAN LEGEND:**

- EXISTING BUILDING TO REMAIN
- CONSTRUCTED AND PROVIDED BY HERITAGE HOMES
- AREA OR A PORTION THEREOF INCLUDES BUILDING ELEMENTS TO BE CONSTRUCTED BY GENERAL CONTRACTOR

- FLOOR PLAN KEYED NOTES:**
- MODULAR BUILDINGS TO BE PERMITTED AND SUPPLIED BY HERITAGE HOMES. EACH BUILDING IS COMPOSED OF MULTIPLE MODULAR "BOXES". UPON DELIVERY MODULAR BOXES WILL BE PUT IN PLACE ON FOUNDATION SYSTEM BY 3RD CREW. ONCE SET, GC WILL "TIE" BOXES TOGETHER. GC IS RESPONSIBLE FOR MEP CONNECTIONS BETWEEN MODULAR BOXES AND CONNECTION OF APPLICABLE SYSTEMS TO UTILITY SUPPLIES.
  - GC TO CONSTRUCT STORAGE ROOM WALLS, SLAB AND ROOF AND INSTALL DOOR AND ASSOCIATED CLERESTORY WINDOW.
  - GC TO PREP SITE FOR CONSTRUCTION AND INSTALL NECESSARY UTILITIES INFRASTRUCTURE.
  - GC TO CONSTRUCT CONC. FOUNDATIONS, RE. STRUCT.
  - GC TO CONSTRUCT/INSTALL SITE ELEMENTS TO INCLUDE PARKING, BOARDWALKS, GAZEBO, ADA BOARDWALK RAMPS & CONC. STAIRS & ASSOCIATED RAILINGS, LANDSCAPING AND DARK SKY COMPLIANT SITE LIGHTING.
  - GC TO CONSTRUCT/INSTALL TIMBER MEMBERS, RE. STRUCT.
  - GC TO CONSTRUCT AWNING ROOF AND ALL ASSOCIATED TO INCLUDE STRUCTURE, SHINGLES, AND FASCIA.
  - GC TO INSTALL HERITAGE HOMES PROVIDED CAP TRUSSES AND ASSOCIATED ROOFING SYSTEM TO INCLUDE SHEATHING, GRACE ICE & WATER SHIELD, SHINGLES, FASCIA AND SCOTCH.
  - GC TO CONSTRUCT WALLS AND ROOF AND ALL ASSOCIATED TO INCLUDE WINDOWS ABOVE HERITAGE HOMES LEVEL 01 TOP PLATE IN DOUBLE HEIGHT SPACE ABOVE STAIRS.
  - GC TO INSTALL ALL EXTERIOR SIDING, WAINSCOTING, TRIM AND ALL ROOFING SHINGLES.
  - GC TO INSTALL ALL HARDWARE AT EXTERIOR DOORS.
  - GC TO CUT WALL OPENING AT MARRIAGE WALLS.
  - GC TO CUT WALL ABOVE 42" AND INSTALL HERITAGE PROVIDED CAP.
  - OWNER CONTRACTED SPRINKLER SUBCONTRACTOR TO INSTALL SPRINKLER SYSTEM THROUGHOUT MODULAR BUILDINGS. PER LOCAL FIRE DISTRICT AWNING DO NOT NEED TO BE SPRINKLERED OTHER THAN THE AWNING ADJACENT TO EXISTING HOUSE TO REMAIN (LADY'S HOUSE).
  - GC TO INSTALL EXTERIOR LIGHTING FIXTURES. FIXTURE SELECTION AND PLACEMENT TO BE COORDINATED WITH OWNER AND ARCHITECT.
  - OWNER CONTRACTED SECURITY CONSULTANT TO COORDINATE WITH GC ABOUT PLACEMENT OF EXTERIOR SECURITY CAMERAS AND SECURITY SYSTEM.

ARCHITECT :

**MA**

Munn Architecture, LLC

315 EAST AGATE AVENUE  
P.O. BOX 21  
GRANBY, CO 80446  
970-887-9366  
WWW.MUNNARCH.COM

STAMP :

NOT FOR CONSTRUCTION  
FOR REFERENCE ONLY

**OFF-BROADWAY HOUSING**  
**ROCKY MOUNTAIN REPERTORY PROPERTIES, INC**  
450 BROADWAY ST, GRAND LAKE, CO 80447  
PROJECT #: 1914

ISSUANCE : DATE :  
RFP PRICING 2022-02-11  
SET 2022-03-21  
TO GL PLANNING  
COORDINATOR  
N

SHEET TITLE :  
OVERALL FLOOR  
PLAN - LEVEL 01

SHEET NUMBER :  
**A3.01**

## GROSS AREA CALCULATIONS

### PROPOSED BUILDING SQUARE FOOTAGES:

BUILDING A: 4,143 sf  
LEVEL 01 = 2,520 sf  
LEVEL 02 = 1,623 sf

BUILDING B: 4,145 sf  
LEVEL 01 = 2,522 sf  
LEVEL 02 = 1,623 sf

A & B TOTAL: 8,288 sf

EXISTING HOUSE (TO REMAIN): 3,192 sf

### PROPOSED OUTDOOR SQUARE FOOTAGES:

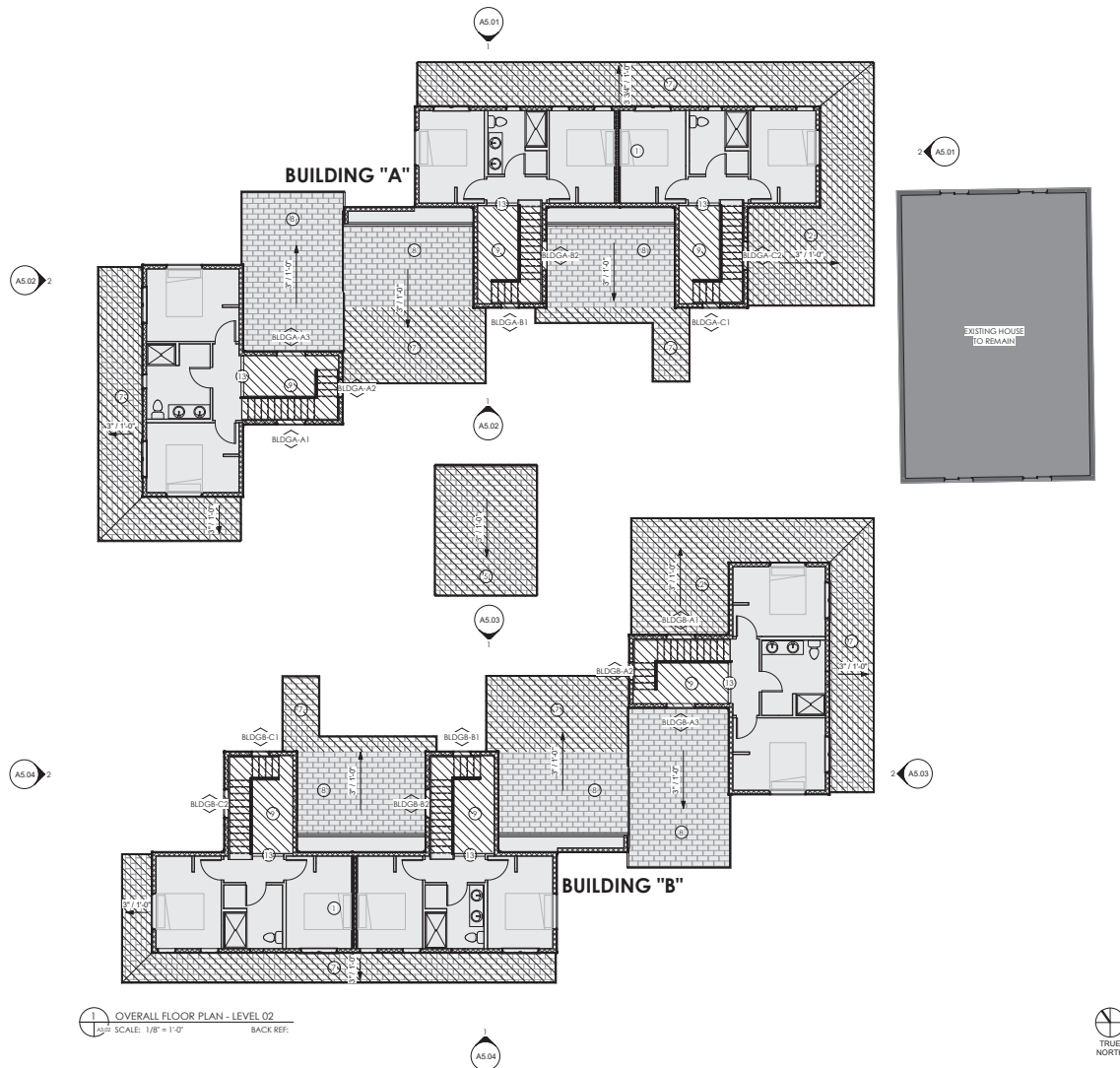
PARKING: 2,399 sf

BOARDWALKS: 3,227 sf

OPEN SPACE: 10,642 sf

TOTAL PROPERTY = 22,541 sf

\*LEVEL 02 AREAS NOT INCLUDED



### FLOOR PLAN LEGEND:

- EXISTING BUILDING TO REMAIN
- CONSTRUCTED AND PROVIDED BY HERITAGE HOMES
- AREA OR A PORTION THEREOF INCLUDES BUILDING ELEMENTS TO BE CONSTRUCTED BY GENERAL CONTRACTOR

### FLOOR PLAN KEYED NOTES:

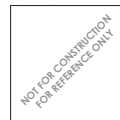
- MODULAR BUILDINGS TO BE PERMITTED AND SUPPLIED BY HERITAGE HOMES. EACH BUILDING IS COMPOSED OF MULTIPLE MODULAR "BOXES". UPON DELIVERY MODULAR BOXES WILL BE PUT IN PLACE ON FOUNDATION SYSTEM BY "SET CREW". ONCE SET, GC WILL "TIE" BOXES TOGETHER. GC IS RESPONSIBLE FOR MEP CONNECTIONS BETWEEN MODULAR BOXES AND CONNECTION OF APPLICABLE SYSTEMS TO UTILITY SUPPLIES.
- GC TO CONSTRUCT STORAGE ROOM WALLS, SLAB AND ROOF AND INSTALL DOOR AND ASSOCIATED CLERESTORY WINDOW.
- GC TO PREP SITE FOR CONSTRUCTION AND INSTALL NECESSARY UTILITIES INFRASTRUCTURE.
- GC TO CONSTRUCT CONC. FOUNDATIONS, RE. STRUCT.
- GC TO CONSTRUCT/INSTALL SITE ELEMENTS TO INCLUDE PARKING, BOARDWALKS, GAZEBO, ADA BOARDWALK RAMPS & CONC. STAIRS & ASSOCIATED RAILINGS, LANDSCAPING AND DARK SKY COMPLIANT SITE LIGHTING.
- GC TO CONSTRUCT/INSTALL TIMBER MEMBERS, RE. STRUCT.
- GC TO CONSTRUCT AWNING ROOF AND ALL ASSOCIATED TO INCLUDE STRUCTURE, SHINGLES, AND FASCIA.
- GC TO INSTALL HERITAGE HOMES PROVIDED CAP TRUSSES AND ASSOCIATED ROOFING SYSTEM TO INCLUDE SHEATHING, GRACE ICE & WATER SHIELD, SHINGLES, FASCIA AND SCOTCH.
- GC TO CONSTRUCT WALLS AND ROOF AND ALL ASSOCIATED TO INCLUDE WINDOWS ABOVE HERITAGE HOMES LEVEL 01 TOP PLATE IN DOUBLE HEIGHT SPACE ABOVE STAIRS.
- GC TO INSTALL ALL EXTERIOR SIDING, WAJNSCOTING, TRIM AND ALL ROOFING SHINGLES.
- GC TO INSTALL ALL HARDWARE AT EXTERIOR DOORS.
- GC TO CUT WALL OPENING AT MARRIAGE WALLS.
- GC TO CUT WALL ABOVE 42" AND INSTALL HERITAGE PROVIDED CAP.
- OWNER CONTRACTED SPRINKLER SUBCONTRACTOR TO INSTALL SPRINKLER SYSTEM THROUGHOUT MODULAR BUILDINGS. PER LOCAL FIRE DISTRICT AWNING DO NOT NEED TO BE SPRINKLERED OTHER THAN THE AWNING ADJACENT TO EXISTING HOUSE TO REMAIN (JUDY'S HOUSE).
- GC TO INSTALL EXTERIOR LIGHTING FIXTURES. FIXTURE SELECTION AND PLACEMENT TO BE COORDINATED WITH OWNER AND ARCHITECT.
- OWNER CONTRACTED SECURITY CONSULTANT TO COORDINATE WITH GC, ADJUST PLACEMENT OF EXTERIOR SECURITY CAMERAS AND SECURITY SYSTEM.

ARCHITECT :



Munn Architecture, LLC  
315 EAST AGATE AVENUE  
P.O. BOX 21  
GRANBY, CO 80446  
970-887-9366  
WWW.MUNNARCH.COM

STAMP :



OFF-BROADWAY HOUSING  
ROCKY MOUNTAIN REPERTORY PROPERTIES, INC  
450 BROADWAY ST, GRAND LAKE, CO 80447  
PROJECT #: 1914

ISSUANCE : DATE :

RFP PRICING 2022-0211  
SET 2022-0321  
ToGL  
PLANNING  
COORDINATIO  
N

SHEET TITLE :  
OVERALL FLOOR  
PLAN - LEVEL 02

SHEET NUMBER :

A3.02

3/21/2022 11:04:15 AM  
I:\Projects-new\1914- RMRT-RMRP\Q\MA\_RMRT-RMRP\_A22 v5 - RFP.rvt

1. CONTRACTOR TO PLACE HAT TAPE WHERE REQUIRED TO PREVENT ICE AND SNOW BUILD-UP. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
2. ROOF EAVES SHALL BE GUTTERED ONLY WHERE NECESSARY TO PROMOTE A PEDESTRIAN FRIENDLY ENVIRONMENT. GUTTERS MUST BE 1/2" ABOVE EAVES AND MUST BE PROTECTED BY A 1/2" RAIN CAP. GUTTERS TO BE INSTALLED IN BUILDING DIRECTION, AND HAT TAPE TO BE PLACED IN BUILDING DIRECTION, WHERE REQUIRED. DOWNSPOUTS SHALL BE 25'-0" MAX OC AND DOWNSPUTS AND THE DOWNSPUTS SHALL BE 12'-0" MAX RACKLE.
3. ROOF VENTS, IF INSTALLED, SHALL BE SHINGLED TO MATCH THE COLOR OF ROOF. ALL EXPOSED ROOF VENTS AND STACKS SHALL BE PAINTED TO MATCH THE ADJACENT ROOF MATERIAL.
4. IT IS THE GENERAL CONTRACTOR'S AND ROOFING CONTRACTORS' RESPONSIBILITY TO REVIEW THE DRAWINGS AND SPECIFICATIONS TO PREVENT ICE BUILD-UP AND CONSEQUENT MOISTURE DAMAGE TO THE ROOF. THE CONTRACTOR SHALL INSPECT THE ROOF DURING THE WINTER MONTHS AFTER COMPLETION OF CONSTRUCTION TO ENSURE THAT THERE IS NO DAMAGE INCURRED DURING THE WINTER MONTHS. IF APPROPRIATE HAT TAPE/HANGING WHERE NECESSARY TO PREVENT THERMAL BUILD-UP OR DAMAGE, THE ROOFING CONTRACTOR SHALL BE REQUIRED TO STAINLESS STEEL ALUMINUM OR 316S. LAKE FOR FABRICATED FLASHINGS, LESS GAUGE STEEL FLASHINGS MAY BE USED FOR FLASHINGS. FLASHINGS SHALL BE PLACED WITH A STRETCH OUT OF 3 INCH OR LESS. METAL WILL NOT BE USED FOR FLASHINGS. FLASHINGS SHALL BE INSTALLED AT THE ROOF AND VERTICAL SURFACES. HORIZONTAL FLASHINGS SHOULD BE AT LEAST 4 INCH WIDE.
5. FLASHING/FLASHING SYSTEMS MUST BE INSTALLED AT ALL ROOF TO WALL, ROOF TO ROOF, ROOF TO CHIMNEY, ROOF TO PORCH AND PLAT TO PITCHED ROOF INTERSECTIONS. THE PURPOSE IS TO REINFORCE, AND PROTECT THESE CRITICAL JUNCTIONS FROM DAMAGE RESULTING FROM WATER INTRUSION AND FOOT TRAFFIC.
6. IT IS THE ROOFING APPLICATOR'S RESPONSIBILITY TO PURCHASE QUALITY MATERIALS AND APPLY THEM IN A PROFESSIONAL MANNER. ALL ROOFING MATERIALS AND SYSTEMS ARE TO BE APPLIED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE MANUFACTURER'S INSTRUCTIONS. ENVIRONMENTAL REQUIREMENTS AND THE CONTRACT DOCUMENTS.
7. THE CONTRACTOR SHALL COORDINATE ANY ROOF PENETRATIONS WITH STRUCTURAL PRIOR TO FRAMING.
8. MINIMUM ROOF SLOPE TO BE 1/4" PER 1'-0" PER IRC CHAPTER 15, ITEM 7. WHERE REQUIRED, THE CONTRACTOR IS TO PROVIDE GREATER SLOPE FOR ROOFING MATERIALS INSTRUCTIONS FOR WARRANTY.
9. FIELD VERIFY ALL LOCATIONS OF ROOF WALKABLE SURFACES.
10. PER FINISHED METAL FLASHINGS, CORNINGS, ETC. EXPOSED TO VIEW ARE TO BE FINISHED AS NOTED IN EXT ELEVATIONS, V/F, A/C, AND ELEVATIONS.
11. REFER TO A-5.2) FOR EXTERIOR PERSPECTIVE VIEWS.
12. REFER TO THE REFLECTED CEILING PLANS FOR OVERHANG DIMS. TYP.



 EXISTING BUILDING TO REMAIN

 CONSTRUCTED AND PROVIDED BY HERITAGE HOMES

 AREA OR A PORTION THEREOF INCLUDES BUILDING ELEMENTS TO BE CONSTRUCTED BY GENERAL CONTRACTOR

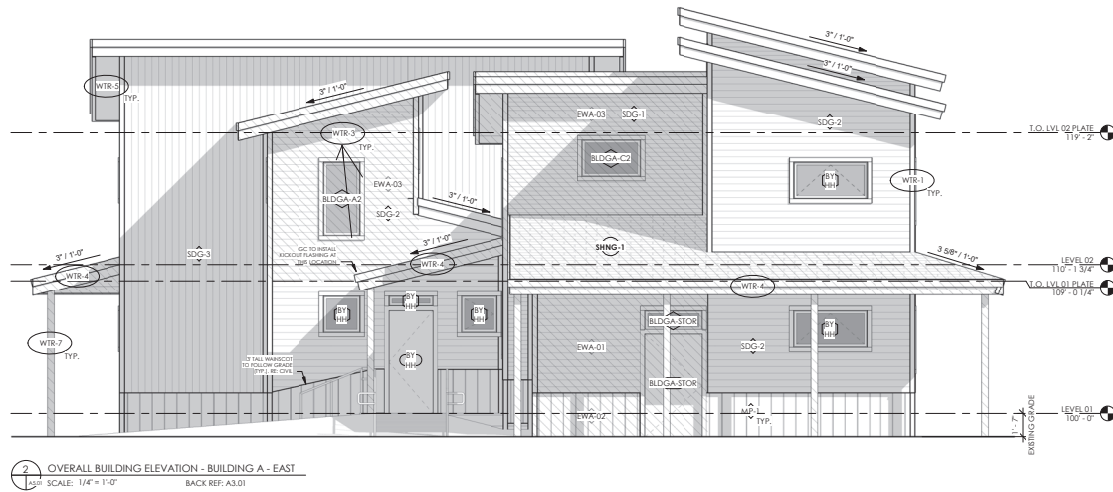
- 1 MODULAR BUILDINGS TO BE PERMITTED AND SUPPLIED BY HERITAGE HOMES. EACH BUILDING IS COMPRISED OF MULTIPLE BUILDING BOXES. UPON COMPLETION, THE BOXES MAY BE PUT IN PLACE ON FOUNDATION SYSTEM BY "SET CREW" ONCE SET. GC TO JOIN BOXES TOGETHER. GC IS RESPONSIBLE FOR MET CONNECTIONS BETWEEN MODULAR BOXES AND CONNECTION OF APPLICABLE SYSTEMS TO UTILITY SUPPLIES.
- 2 GC TO CONSTRUCT STORAGE ROOM WALLS, SLAB AND ROOF AND INSTALL DOOR AND ASSOCIATED CLOSET/DRY WINDOW.
- 3 GC TO PREP SITE FOR CONSTRUCTION AND INSTALL NECESSARY UTILITIES INFRASTRUCTURE.
- 4 GC TO CONSTRUCT CONC. FOUNDATIONS, RE-STRUCT.
- 5 GC TO CONSTRUCT/INSTALL SITE ELEMENTS TO INCLUDE PARKING, BOARDWALKS, GAZEBO, ADA BOARDWALK KAMPS & CAN STARS & ASSOCIATED RAILINGS, LANDSCAPING AND DARK SKY COMPLIANT SITE LIGHTING.
- 6 GC TO CONSTRUCT/INSTALL TIMBER MEMBERS, RE-STRUCT.
- 7 GC TO CONSTRUCT AWNING ROOF AND ALL ASSOCIATED TO INCLUDE STRUCTURE, MEMBERS, AND FASCIAS.
- 8 GC TO INSTALL HERITAGE HOMES PROVIDED CAP TRUSSES AND ASSOCIATED ROOFING SYSTEM TO INCLUDE SHEATHING, GRACE ICE & WATER SHEET, SHINGLES, FASCHA AND SOFFIT.
- 9 GC TO CONSTRUCT WALLS AND ROOF AND ALL ASSOCIATED TO INCLUDE ROOFING ABOVE HERITAGE HOMES LEVELS (1) TOP PLATE IN DOUBLE HEIGHT SPACE ABOVE STARS.
- 10 GC TO INSTALL ALL EXTERIOR SIDING, WAINSCOTING, TRIM AND ALL ROOFING SHINGLES.
- 11 GC TO INSTALL ALL HARDWARE AT EXTERIOR DOORS.
- 12 GC TO CUT WALL OPENING AT MARRIAGE WALLS.
- 13 GC TO CUT WALL ABOVE 4'2" AND INSTALL HERITAGE PROVIDED CAP.
- 14 OWNER CONTRACTED SPRINKLER SUBCONTRACTOR TO INSTALL SPRINKLER SYSTEM THROUGHOUT MODULAR BUILDINGS, PER 2015 IFC FIREBREAT ALARMING CODE. DO NOT MEET TO BE SPRINKLERED WITHOUT THE AWWING ADJACENT TO EXISTING HOUSE TO REMAIN (AUNT'S HOUSE).
- 15 GC TO INSTALL EXTERIOR LIGHTING FIXTURES, FUTURE SELECTION AND REMAIN TO BE COORDINATED WITH OWNER AND ARCHITECT.
- 16 OWNER CONTRACTED SECURITY CONSULTANT TO COORDINATE WITH GC ABOUT PLACEMENT OF EXTERIOR SECURITY CAMERAS AND SYSTEM.

NOT FOR CONSTRUCTION  
FOR REFERENCE ONLY

ISSUANCE :	DATE :
OFF PRICING	2022-02-11
NET	
oGL	2022-03-21
PLANNING	
COORDINATION	

SHEET NUMBER :  
A3.05

3/21/2022 11:04:24 AM  
I:\Projects-new\1914 - RMRT-RMRP\G\A\_RMRT-RMRP\_A22 v5 - RFP.rvt



ELEVATION LEGEND:



AREA OR A PORTION THEREOF INCLUDES  
BUILDING ELEMENTS TO BE CONSTRUCTED  
BY GENERAL CONTRACTOR

ARCHITECT :



Munn Architecture, LLC

315 EAST AGATE AVENUE  
P.O. BOX 21  
GRANBY, CO 80446  
970-887-9366  
WWW.MUNNARCH.COM

STAMP :

NOT FOR CONSTRUCTION  
FOR REFERENCE ONLY

OFF-BROADWAY HOUSING  
ROCKY MOUNTAIN REFERTORY PROPERTIES, INC  
450 BROADWAY ST, GRAND LAKE, CO 80447  
PROJECT #: 1914

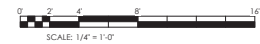
ISSUANCE :      DATE :

RFP PRICING SET	2022-0211
ToGL PLANNING COORDINATION	2022-0321

SHEET TITLE :  
OVERALL EXTERIOR  
ELEVATIONS -  
BUILDING "A"

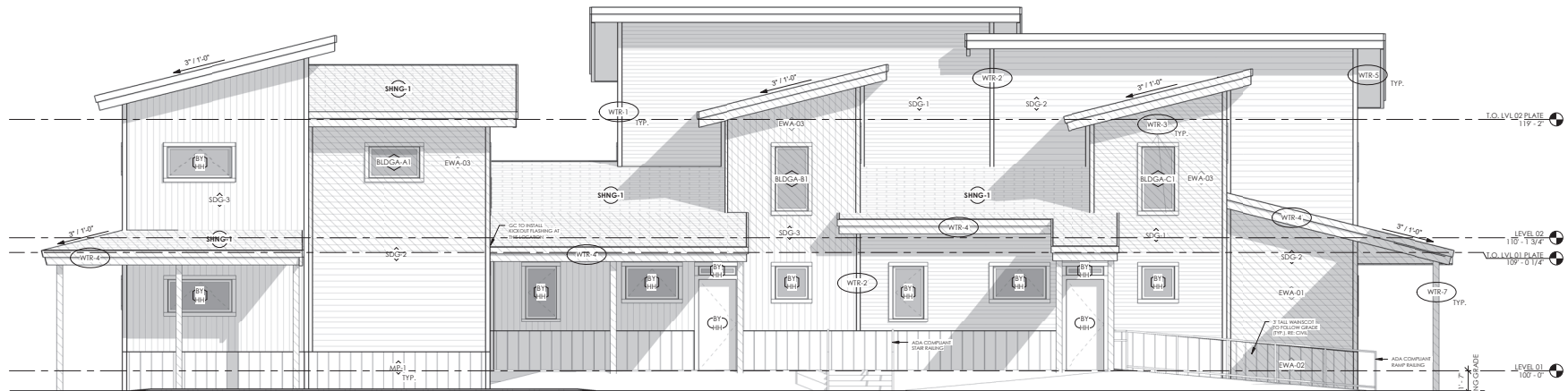
SHEET NUMBER :

A5.01

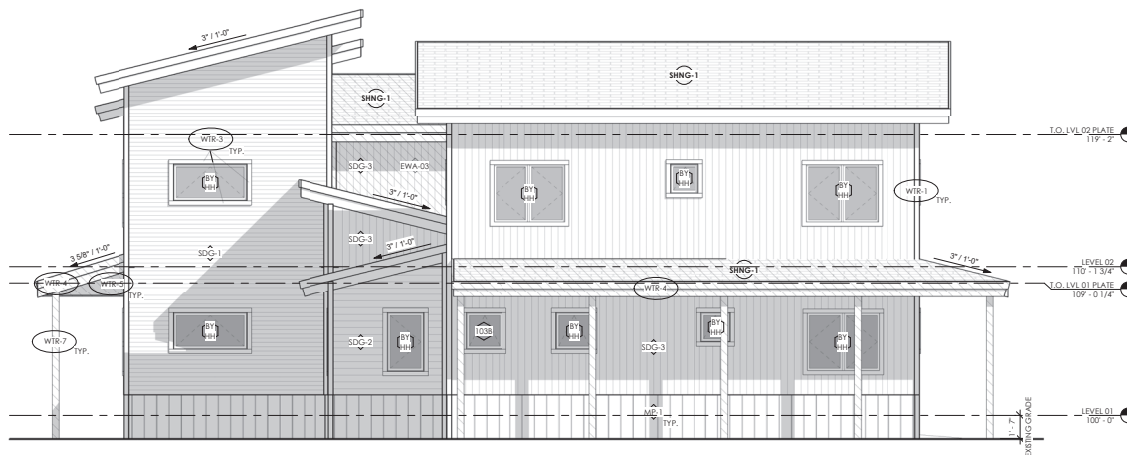


ALL DRAWINGS AND WRITTEN DOCUMENTS HEREIN CONSTITUTE THE ORIGINAL INTELLECTUAL PROPERTY OF THE ARCHITECT AND MAY NOT BE REUSED, REPRODUCED OR DISCLOSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF MUNN ARCHITECTURE, LLC.

3/21/2022 11:04:31 AM  
I:\Project-new\1914 - BWRT-RMP\3\VA - BWRT-RMP\_A2 v5 - RFP.v1



1 OVERALL BUILDING ELEVATION - BUILDING A - SOUTH  
SCALE: 1/4" = 1'-0" BACK REF: A3.01



2 OVERALL BUILDING ELEVATION - BUILDING A - WEST  
SCALE: 1/4" = 1'-0" BACK REF: A3.01

ELEVATION LEGEND:

AREA OR A PORTION THEREOF INCLUDES  
BUILDING ELEMENTS TO BE CONSTRUCTED  
BY GENERAL CONTRACTOR

0' 2' 4' 6' 8' 10'  
SCALE: 1/4" = 1'-0"

ARCHITECT :



Munn Architecture, LLC  
315 EAST AGATE AVENUE  
P.O. BOX 21  
GRANBY, CO 80446  
970-887-9366  
WWW.MUNNARCH.COM

STAMP :



OFF-BROADWAY HOUSING  
ROCKY MOUNTAIN REPOSITORY PROPERTIES, INC  
450 BROADWAY ST, GRAND LAKE, CO 80447  
PROJECT # - 1914

ISSUANCE : DATE :  
RFP PRICING 2022-02-11  
SET 2022-03-21  
ToGL  
PLANNING  
COORDINATION  
N

SHEET TITLE :  
OVERALL EXTERIOR  
ELEVATIONS -  
BUILDING "A"

SHEET NUMBER :  
A5.02

3/21/2022 11:04:39 AM  
I:\Projects-new\1914 - RMRT-RMRP\G\MA\_RMRT-RMRP\_A22 v5 - RFP.rvt

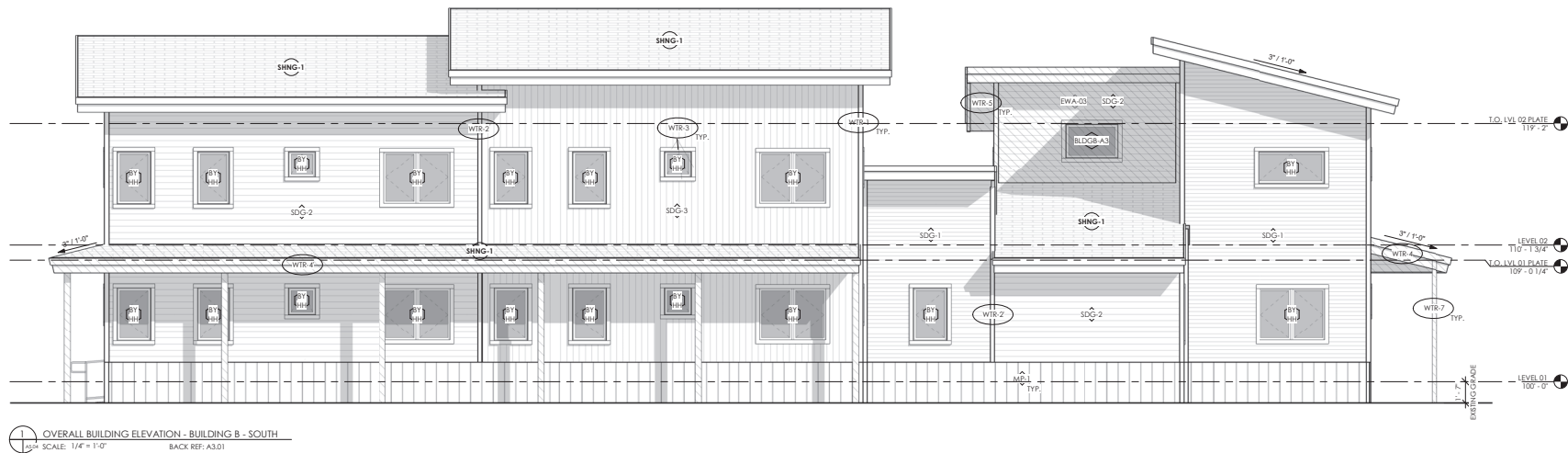


 AREA OR A PORTION THEREOF INCLUDES BUILDING ELEMENTS TO BE CONSTRUCTED BY GENERAL CONTRACTOR

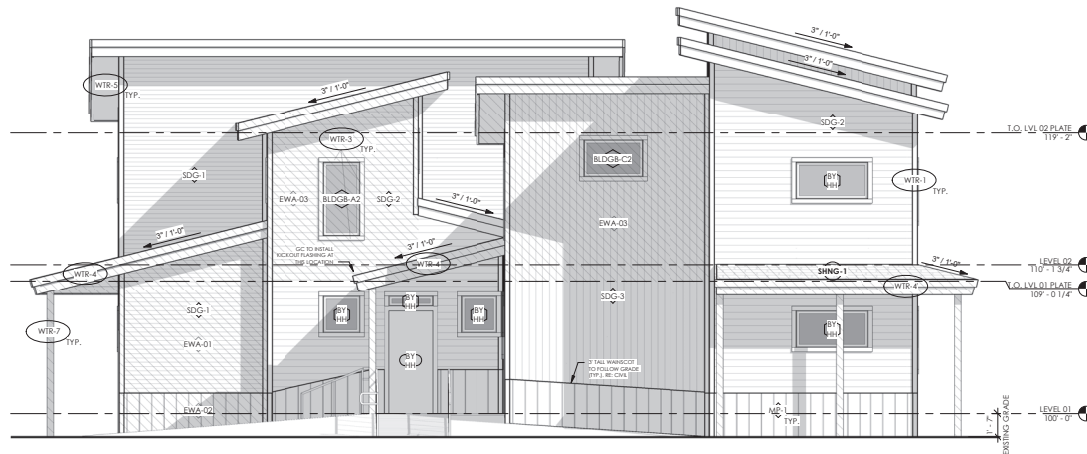
A5.03

ALL DRAWINGS AND WRITTEN DOCUMENTS HEREIN CONSTITUTE THE ORIGINAL INTELLECTUAL PROPERTY OF THE ARCHITECT AND MAY NOT BE REUSED, REPRODUCED OR DISCLOSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF MUNN ARCHITECTURE, LLC.

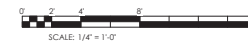
3/21/2022 11:04:46 AM  
I:\Project-new\1914 - RMRF-RMP\3\MA - RMRF-RMP\A2 v5 - RFP.rvt



1 OVERALL BUILDING ELEVATION - BUILDING B - SOUTH  
SCALE: 1/4" = 1'-0"  
BACK REF: A3.01



2 OVERALL BUILDING ELEVATION - BUILDING B - WEST  
SCALE: 1/4" = 1'-0"  
BACK REF: A3.01



ARCHITECT :

**MA**

Munn Architecture, LLC

315 EAST AGATE AVENUE  
P.O. BOX 21  
GRANBY, CO 80446  
970-887-9366  
WWW.MUNNARCH.COM

STAMP :

NOT FOR CONSTRUCTION  
FOR REFERENCE ONLY

OFF-BROADWAY HOUSING  
ROCKY MOUNTAIN REPOSITORY PROPERTIES, INC  
450 BROADWAY ST, GRAND LAKE, CO 80447  
PROJECT # - 1914

ISSUANCE : DATE :  
RFP PRICING 2022-02-11  
SET 2022-03-21  
ToGL PLANNING COORDINATION  
N

SHEET TITLE :  
OVERALL EXTERIOR  
ELEVATIONS -  
BUILDING "B"

SHEET NUMBER :  
**A5.04**

ALL DRAWINGS AND WRITTEN DOCUMENTS HEREIN CONSTITUTE THE ORIGINAL INTELLECTUAL PROPERTY OF THE ARCHITECT AND MAY NOT BE REUSED, REPRODUCED OR DISCLOSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF MUNN ARCHITECTURE, LLC.

**NOTE:**  
3D PERSPECTIVES ARE FOR REFERENCE ONLY. SEE ARCH DRAWINGS FOR MORE DETAILED INFORMATION.



3/21/2022 11:04:48 AM  
I:\Project-new\1914 - RMRT-RMP\3D VMA, RMRT-RMP\_A22 v5 - RFP.rvt

ARCHITECT :  
**MA**  
Munn Architecture, LLC  
315 EAST AGATE AVENUE  
P.O. BOX 21  
GRANBY, CO 80446  
970-887-9366  
WWW.MUNNARCH.COM

STAMP :  
NOT FOR CONSTRUCTION  
FOR REFERENCE ONLY

OFF-BROADWAY HOUSING  
ROCKY MOUNTAIN REPOSITORY PROPERTIES, INC  
450 BROADWAY ST, GRAND LAKE, CO 80447  
PROJECT #: 1914

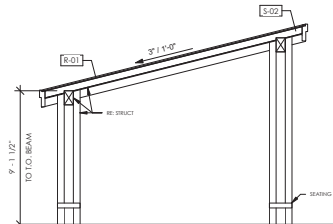
ISSUANCE : DATE :  
RFP PRICING 2022-02-11  
SET 2022-03-21  
TOGL  
PLANNING  
COORDINATION

SHEET TITLE :  
OVERALL EXTERIOR  
PERSPECTIVES

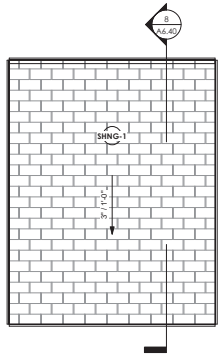
SHEET NUMBER :  
**A5.21**

ALL DRAWINGS AND WRITTEN DOCUMENTS HEREIN CONSTITUTE THE ORIGINAL INTELLECTUAL PROPERTY OF THE ARCHITECT AND MAY NOT BE REUSED, REPRODUCED OR DISCLOSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF MUNN ARCHITECTURE, LLC.

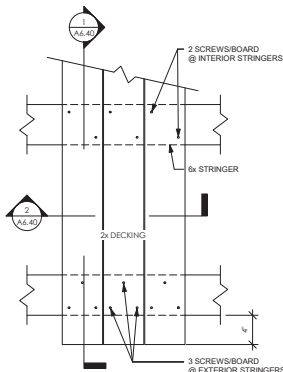
3/21/2022 11:04:49 AM  
I:\Project-New\1914 - RMF-RMP\03\VA - RMF-RMP\_A2.v5 - RFP.rvt



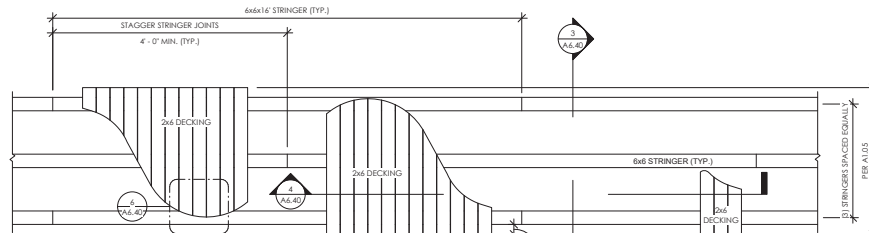
8 SECTION - GAZEBO  
1/4\"/>



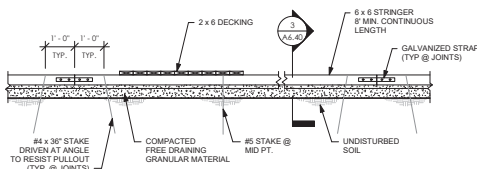
7 ENLARGED ROOF PLAN - GAZEBO  
1/4\"/>



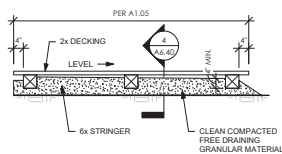
6 ENLARGED PLAN - BOARDWALK  
1/2\"/>



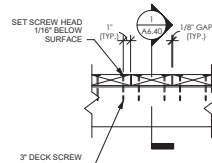
5 PLAN - BOARDWALK  
1/2\"/>



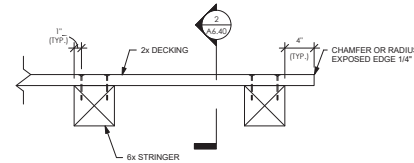
4 SECTION - BOARDWALK LONGITUDINAL  
1/2\"/>



3 SECTION - BOARDWALK TRANSVERSE  
1/2\"/>



2 ENLARGED SECTION - BOARDWALK LONGITUDINAL  
1/2\"/>



1 ENLARGED SECTION - BOARDWALK TRANSVERSE  
1 1/2\"/>

#### BOARDWALK GENERAL NOTES:

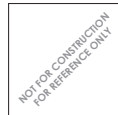
1. STRINGERS SHALL BE 6 x 6 x 16 HEM FIR #2 & BETTER TREATED FOR GROUND CONTACT.
2. DECKING SHALL BE 2 x 6 S4S KILN DRIED CONSTRUCTION COMMON REDWOOD, BOARDS TO PRE-STAINED FACES EDGES AND ENDS WITH TWO COATS OF SEAL ONCE MULTI SEALANT WATERPROOFER OR APPROVED EQUAL, TRIMMED ENDS AND RIPPED EDGES TO BE RE-TREATED.
3. WHERE RIPPED BOARDS ARE REQUIRED, THE RIPPED EDGE OF THE BOARD SHALL BE RADIUS BY MEANS OF SANDING OR ROUTING.
4. DECK BOARDS SHALL BE INSTALLED SQUARE TO STRINGERS WITH A UNIFORM GAP BETWEEN BOARDS AND A MAXIMUM BOARD TO BOARD VERTICAL DISPLACEMENT OF 1/16 INCH.
5. DECK BOARDS TO BE FASTENED AS SHOWN USING SIMPSON STRONG DRIVE SDWS2200D8 STRUCTURAL WOOD SCREWS DRIVEN TO 1/16 INCH BELOW THE BOARD SURFACE. PRE-DRILL FOR SCREWS INSTALLED AT BOARD ENDS TO PREVENT SPLITTING.
6. SCREWS SHALL BE INSTALLED TO UNIFORM LINES AT THE LOCATIONS SHOWN.
7. REFER TO CHAPTER 11: MUNICIPAL PROPERTY REGULATIONS ARTICLE 4: BOARDWALKS, SIDEWALKS AND COMMUNITY GREENWAYS SECTION 11-44 FOR ADDITIONAL REQUIREMENTS.

ARCHITECT :



Munn Architecture, LLC  
315 EAST AGATE AVENUE  
P.O. BOX 21  
GRANBY, CO 80446  
970-887-9366  
WWW.MUNNARCH.COM

STAMP :



OFF-BROADWAY HOUSING  
ROCKY MOUNTAIN REPOSITORY PROPERTIES, INC  
450 BROADWAY ST, GRAND LAKE, CO 80447  
PROJECT # - 1914

ISSUANCE : DATE :  
RFP PRICING 2022-0211  
SET 2022-0321  
ToGL PLANNING  
COORDINATION

SHEET TITLE :  
SITE DETAILS

SHEET NUMBER :  
A6.40

GENERAL STRUCTURAL NOTES

1.0 GOVERNING BUILDING CODE: 2015 INTERNATIONAL BUILDING CODE

2.0 DESIGN LOADS

- A. DEAD LOADS
- a. ROOF: 20 psf
  - b. FLOOR: 12 psf
- B. LIVE LOADS
- a. SNOW (ROOF): 60 psf
  - b. FLOOR:
- C. WIND:
- a. ULTIMATE WIND SPEED: 115 MPH - EXPOSURE B (3 SECOND GUST)
  - b. RISK CATEGORY:
  - c. INTERNAL PRESSURE: +0.18, -0.18 (ENCLOSED BUILDING)
- D. SEISMIC
- a. DESIGN CATEGORY: B
  - b. DESIGN SPECTRAL ACCELERATION: 0.3
  - c. EARTHQUAKE IMPORTANCE FACTOR: 1.0
  - d. SOIL SITE CLASS: D

3.0 GENERAL

- A. THE STRUCTURAL DOCUMENTS ILLUSTRATE THE COMPLETED STRUCTURE WITH ELEMENTS IN THEIR FINAL POSITIONS, PROPERLY SUPPORTED AND BRACED. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING AND SHORING AS REQUIRED DURING CONSTRUCTION TO WITHSTAND ALL LOADS, STOCKPILES OF MATERIALS AND EQUIPMENT. SUCH BRACING SHALL BE LEFT IN PLACE AS LONG AS REQUIRED UNTIL THE CONSTRUCTION OF THE STRUCTURE IS COMPLETED.
- B. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF PERSONS AND PROPERTY EITHER ON OR ADJACENT TO THE PROJECT AND SHALL PROTECT SAME AGAINST INJURY, DAMAGE OR LOSS DURING CONSTRUCTION.
- C. WHERE PERIODIC OR CONTINUOUS INSPECTIONS AND / OR TESTING ARE REQUIRED BY THESE DOCUMENTS, GOVERNING BUILDING CODE OR THE GOVERNING BUILDING OFFICIAL, ENGINEER OR AN INDEPENDENT INSPECTION AND / OR TESTING AGENCY SHALL BE RETAINED BY THE OWNER TO FURNISH REQUIRED INSPECTIONS AND / OR TESTING.
- D. THE CONTRACTOR SHALL INFORM ARCHITECT AND ENGINEER EARLY IN WRITING AND PROVIDE DOCUMENTATION FOR THE REVIEW OF ANY SUBSTITUTION OR DEVIATIONS OF REQUIREMENTS OF THE CONTRACT DOCUMENTS.

- E. THESE PLANS HAVE BEEN PREPARED BY AN ARCHITECT OR ENGINEER FOR THE PROJECT AND THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR USE OF THESE PLANS AT ANY OTHER LOCATION.
- F. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE. PLANS AND DETAILS ARE TO SCALE UNLESS NOTED. WHEN DRAWING SCALE IS GIVEN TO BE VARIABLE, THE ACCURACY AND COMPLETENESS IS NOT GUARANTEED BY THE ENGINEER. CONSULT THE ARCHITECT OR ENGINEER OF RECORD FOR DIMENSION VERIFICATION. NOTIFY ARCHITECT OR ENGINEER OF RECORD IMMEDIATELY IN WRITING OF ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND STRUCTURAL DOCUMENTS BEFORE PROCEEDING WITH THE WORK.
- G. NO STRUCTURAL MEMBERS SHALL BE CUT, NOTCHED OR OTHERWISE PENETRATED UNLESS ALLOWED BY MANUFACTURERS, SPECIFICALLY SHOWN ON THESE DOCUMENTS OR APPROVED BY THE ENGINEER IN ADVANCE.
- H. SECTIONS OR DETAILS SHOWN OR NOTED APPLY TO SIMILAR CONDITIONS ELSEWHERE NOT SPECIFICALLY SHOWN OR NOTED.

- I. THESE CONSTRUCTION DOCUMENTS ARE BASED ON THE WORK BEING COMPLETED IN A WORKMAN LIKE MANNER BY A CONTRACTOR DEDICATED WITH SIMILAR CONSTRUCTION.

4.0 FOUNDATIONS

- A. THE FOUNDATION HAS BEEN DESIGNED IN ACCORDANCE WITH RECOMMENDATIONS CONTAINED IN THE SOIL REPORT PREPARED BY LUNAR AND ASSOCIATES, PROJECT NO. 21-C-775 DATED DECEMBER 15, 2021.
- B. SAID SOIL REPORT IS HEREBY MADE A PART OF THESE DOCUMENTS AND EXCEPT WHERE OTHERWISE SPECIFICALLY NOTED HEREIN, ALL RECOMMENDATIONS AND PRECAUTIONS CONTAINED IN THAT REPORT SHALL BE ADHERED TO BY THE CONTRACTOR.
- C. FOOTINGS SHALL BE FOUNDED UPON UNDISTURBED NATURAL SOIL OR COMPACTED FILL, TESTED AND APPROVED BY A REGISTERED ENGINEER.
- a. MAXIMUM DESIGN SOIL BEARING PRESSURE: 2,500 PSF
  - b. MINIMUM DEAD LOAD: NA
  - c. FOOTINGS SHALL BE PLACED A MINIMUM OF 4" BELOW FINISHED GRADE (PROST DEPTH)
  - d. DESIGN LATERAL SOIL PRESSURE (EQUIVALENT FLUID PRESSURE, AT REST CONDITION, USING ON-SITE GRANULAR SOILS AS BACKFILL): 50 PSF/FT
- D. PRIOR TO BACKFILLING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING FOUNDATION WALLS TO RETAIN EARTH AGAINST BACKFILL PRESSURES UNTIL SUPPORTING ELEMENTS INCLUDING FLOOR SLABS ARE IN PLACE.
- E. FOUNDATION WALLS AND GRADE BEAMS HAVING EARTH PLACED ON BOTH SIDES SHALL HAVE BOTH SIDES FILLED SIMULTANEOUSLY TO MAINTAIN A COMMON ELEVATION.
- F. DO NOT BACKFILL WITH EXPANSIVE SOILS. VERIFY FILL TYPE WITH SOILS ENGINEER PRIOR TO BACKFILLING.
- G. PROVIDE A CONTINUOUS PERIMETER DRAIN SYSTEM PER THE SOILS ENGINEER WITH AN INVERT A MINIMUM OF 2" BELOW THE BOTTOM OF THE BASEMENT SLAB. EXTEND THE PERIMETER DRAIN TO A SUMP OR TO DRAINAGE. CO-ORDINATE DESIGN WITH ANY RECOMMENDATIONS CONTAINED IN THE SOIL REPORT.
- H. PROVIDE 8" CLEAR MINIMUM FROM GRADE TO TOP OF FOUNDATION WALL. FOOTING BEARING ELEVATIONS SHALL BE ADJUSTED IN THE FIELD TO ACCOMMODATE HAND ANTICIPATED FINISHED GRADES AND REQUIRED PROST DEPTHS. NOTIFY ENGINEER OF CHANGES IN ELEVATION FROM THAT SHOWN ON FOUNDATION PLAN.
- I. CENTER ALL FOOTINGS UNDER WALLS, COLUMNS OR GIRDERS UNLESS NOTED OTHERWISE ON DOCUMENTS.

5.0 CONCRETE AND REINFORCEMENT

- A. CONCRETE DESIGN IS BASED ON BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318 - LATEST EDITION).
- B. CONCRETE SHALL CONFORM TO THE APPLICABLE PROVISIONS OF "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 308 - LATEST EDITION).
- C. CONCRETE SHALL BE NORMAL WEIGHT (145 PCF) WITH STONE AGGREGATE AND DEVELOP A MINIMUM 28-DAY COMPRESSIVE STRENGTH AS FOLLOWS:
- a. FOOTINGS AND FOUNDATION WALLS: 3500 PSI
  - b. SLABS-ON-GRADE: 3500 PSI
- D. CEMENT SHALL BE TYPE I (I) OR TYPE V CONFORMING TO ASTM C 150.
- E. FLY ASH SHALL CONFORM TO ASTM C 618, CLASS C OR F. FLY ASH SHALL NOT EXCEED 30% OF THE TOTAL WEIGHT OF CEMENTITIOUS MATERIAL.
- F. NO ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL BE PERMITTED IN ANY CONCRETE.
- G. COLD WEATHER CONCRETING: WHEN TEMPERATURES DROP BELOW 40 DEGREES AT ANY TIME DURING CONCRETE PLACING AND CURING, THE PROVISIONS OF ACI 308 SHALL BE FOLLOWED TO PROTECT CONCRETE FROM FREEZING.
- H. HOT WEATHER CONCRETING: PLACE AND CURE CONCRETE IN ACCORDANCE WITH ACI 308. COOL INGREDIENTS BEFORE MIXING TO MAINTAIN CONCRETE SLAB AT TIME OF PLACEMENT BELOW 90 DEGREES F.
- I. CONCRETE MUST BE CONTINUOUSLY PLACED WITHOUT HORIZONTAL JOINTS. IF COOLD JOINTS ARE NECESSARY, ADEQUATE REINFORCING AND HORIZONTAL KEYS OR A ROUNDEDENED SURFACE MUST BE PROVIDED. COORDINATE REQUIREMENTS WITH ENGINEER. ALL REINFORCING STEEL SHALL BE CONTINUOUS THROUGH CONSTRUCTION JOINTS.
- J. DEFORMED REINFORCEMENT: ASTM A615, GR 60 EXCEPT TIES OR STRUTS: ASTM A615, GRADE 40.
- K. REINFORCING BARS TO BE WELDED SHALL BE ASTM A706, GRADE 60.
- L. WELDED WIRE FABRIC: ASTM A 65 (AP ONE PLAIN MESH) AND BE SECURELY CUT ALTERNATE WIRES AT CONTROL JOINTS.
- M. REINFORCEMENT SHALL BE FABRICATED AND PLACED AS PER THE LATEST EDITION OF "THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES" (ACI 315).

- N. SPLICE LENGTH, DEVELOPMENT OR EMBEDMENT SHALL BE A MINIMUM OF 50 BAR DIAMETERS.
- O. MINIMUM CONCRETE COVERAGE FOR REINFORCING STEEL:
- a. UNFORMED SURFACE CAST AGAINST EARTH: 3"
  - b. FORMED SURFACE EXPOSED TO EARTH OR WEATHER: 2"
  - c. 1. IN THROUGH #10 BARS: 2"
  - d. 2. 1/2" AND SMALLER BARS: 2"
  - e. FORMED SURFACE NOT EXPOSED TO EARTH OR WEATHER: 1"
  - f. SLABS, WALLS AND JOISTS: 1"
  - g. #11 AND SMALLER BARS: 1"
  - h. #14 THROUGH #18 BARS: 1 1/2"
  - i. BEAMS AND COLUMNS: 1 1/2"

- P. PROVIDE 3.05 EACH SIDE OF ALL WALL OPENINGS OR NOTCHES. U.N.O. VERTICAL BARS SHALL BE FULL-DEPTH, HORIZONTAL BARS SHALL EXTEND A MINIMUM OF 31.07 BEYOND THE EDGE OF THE OPENING.
- Q. MAINTAIN CONTINUITY OF ALL HORIZONTAL REINFORCEMENT AT CORNERS, INTERSECTIONS AND AT STEPS IN THE TOP AND BOTTOM OF WALLS OR FOOTINGS.

- R. WELDING OF REINFORCING STEEL SHALL BE PERFORMED ONLY WHERE INDICATED ON THE DRAWINGS AND SHALL BE IN COMPLIANCE WITH ALL THE REQUIREMENTS OF THE AMERICAN WELDING SOCIETY REINFORCING STEEL WELDING CODE, AWS D1.4 LATEST EDITION. PROVIDE WELDING PROCEDURES AND MILL TEST REPORTS FOR ALL REINFORCEMENT TO BE WELDED TO ENGINEER FOR APPROVAL.

- S. BASE PLATE, ANCHOR BOLTS, SUPPORT ANGLES AND OTHER STEEL EXPOSED TO EARTH OR GRANULAR FILL SHALL BE COVERED WITH A MINIMUM OF 3/4" OF CONCRETE.
- T. PROVIDE SLIP JOINT MATERIAL SEPARATING THE FLOOR SLAB FROM THE PTFE COLUMNS AND PLUMBING PENETRATIONS TO ALLOW THE SLAB MOVEMENT INDEPENDENT OF THE COLUMNS OR PLUMBING. PROTECT STEEL COLUMNS FROM CORROSION BELOW GRADE.

- U. PROVIDE SLAB CONTROL JOINTS IN ACCORDANCE WITH SOILS REPORT RECOMMENDATIONS. CONTROL JOINTS SHALL BE SAW CUT TO 1/4 OF THE SLAB DEPTH AND SHALL BE LOCATED AT ALL COLUMN CENTRITIES IN AT LEAST ONE DIRECTION.

- V. FOR LOCATION, SIZE AND DETAILS OF OPENINGS, SLOVES, INSETS, CONDUITS, PIPES SLOTS AND RELATED ITEMS REQUIRED TO BE LOCATED PRIOR TO PLACING CONCRETE, REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL AND OTHER DRAWINGS FOR THIS PROJECT.

C.0 WOOD FRAMING

- A. ALL DIMENSIONAL LUMBER AND TIMBERS USED FOR STRUCTURAL FRAMING SHALL BE AT A MOISTURE CONTENT OF 19% OR LESS AND HAVE THE FOLLOWING MINIMUM VISUAL GRADE STAMPS WITH UNFACTORED ALLOWABLE STRESSES:
- a. 2x STUDS, < 8'0" REM FEM, STUD GRADE: (F=1275 psi, Fv= 400 psi, E= 1,300,000psi)
  - b. 2x STUDS, > 8'0" < 10'0" REM FEM, NO. 2: (F=850 psi, Fv= 1300 psi, E= 1,300,000psi)
  - c. 2x JOIST/RAFTER, 10M FEM, NO. 2: (F=850 psi, Fv= 1300 psi, E= 1,300,000psi)
  - d. 2x STUDS AND TIMBERS (2x4 AND LARGER): DOUGLAS FIR, NO. 1: (F=1100 psi, Fv=1000 psi, E= 1,400,000psi)
  - e. BEAMS AND STRIPES (2x4 AND LARGER): DOUGLAS FIR, NO. 1: (F=1100 psi, Fv=1000 psi, E= 1,400,000psi)
  - f. 2x STUDS, < 8'0" REM FEM, STUD GRADE: (F=1275 psi, Fv= 400 psi, E= 1,300,000psi)
  - g. 2x STUDS, > 8'0" < 10'0" REM FEM, NO. 2: (F=850 psi, Fv= 1300 psi, E= 1,300,000psi)
  - h. 2x JOIST/RAFTER, 10M FEM, NO. 2: (F=850 psi, Fv= 1300 psi, E= 1,300,000psi)
  - i. 2x STUDS AND TIMBERS (2x4 AND LARGER): DOUGLAS FIR, NO. 1: (F=1100 psi, Fv=1000 psi, E= 1,400,000psi)
  - j. BEAMS AND STRIPES (2x4 AND LARGER): DOUGLAS FIR, NO. 1: (F=1100 psi, Fv=1000 psi, E= 1,400,000psi)

- B. MICROFILM BEAMS, LVL, LRT, 2x2000 psi AS MANUFACTURED BY WERNERHOLZ OR APPROVED EQUAL, UNLESS NOTED OTHERWISE, FASTEN MULTIPLE MICROFILM BEAMS IN FLUSH FRAMED CONDITIONS TOGETHER WITH NAILS OR COMMON OR MANUFACTURER'S RECOMMENDED UNLESS OTHERWISE NOTED ON PLANS AND DETAILS. ALL LVL PILES ARE 1 3/4" THICKNESS UNLESS NOTED OTHERWISE.

- C. PREFABRICATED JOISTS: UNLESS NOTED OTHERWISE, PRESTRESS "S" SERIES JOISTS SHALL BE 12 1/2" AS MANUFACTURED BY WERNERHOLZ OR APPROVED EQUAL. DO NOT PRESTRESS OR OTHERWISE NOTCH THE FLANGE MATERIAL IN ANY MANNER. PER FORTRATIONS ARE FOR 12 RECOMMENDATIONS FOR INSTALLATION PER THE "RESIDENTIAL T3 INSTALLATION GUIDE". NOTIFY THE STRUCTURAL ENGINEER IF THE FLOOR JOIST PACKAGE AS FABRICATED FOR THIS PROJECT VARIES FROM THAT SHOWN ON THE CONSTRUCTION DOCUMENTS.

- D. FLOOR JOIST MATERIAL: 1 3/4" TIMBERSTRAND LVL AS MANUFACTURED BY WERNERHOLZ OR APPROVED EQUAL.
- E. PROVIDE PRESSURE TREATED LUMBER OR CC APPROVED BARBERS AT LOCATIONS WHERE MEMBER IS TO BE IN CONTACT WITH CONCRETE, MASONRY OR SOIL, UNLESS NOTED OTHERWISE.

- F. PRESSURE TREATED LUMBER: ALL FASTENERS AND NAILS FOR USE WITH ACQ TREATED LUMBER MUST BE GALVANIZED WITH A G-85 COATING OR SHALL BE STAINLESS STEEL LUMBER IN CONTACT WITH CONCRETE BUT NOT EXPOSED TO WEATHER SUCH AS NAILS OR GALVANIZED STEEL LUMBER IN CONTACT WITH CONCRETE BUT NOT EXPOSED TO WEATHER SHALL BE GALVANIZED OR APPROVED EQUAL IN LIEU OF CORROSIVE ACQ TREATED LUMBER.

- G. ALL SHEATHING SHOWN ON THESE DOCUMENTS SHALL BE C-D GRADE WITH EXTERIOR GLE IN ACCORDANCE WITH THE U.S. PRODUCT SPECIFICATIONS 1.185 OR PD 2.192. ALL PANELS SHALL BE MARKED WITH AN APA GRADE MARK WITH AN IDENTIFICATION MARK IN ACCORDANCE WITH THE GOVERNING BUILDING CODE. HEADS OF NAILS OR CROWNS OF STAPLES SHALL NOT PENETRATE THE FACE OR ADDITIONAL NAILING WILL BE REQUIRED.

- H. ERECTION AND PERMANENT TRUSS BRACING SHALL BE SUPPLIED AND DIRECTED AS PER THE TRUSS MANUFACTURER'S RECOMMENDATIONS. NOTIFY THE STRUCTURAL ENGINEER IF THE TRUSS TRUSS PACKAGE AS FABRICATED FOR THIS PROJECT VARIES FROM THAT SHOWN ON THE CONSTRUCTION DOCUMENTS.

- I. DIAPHRAGM SHEATHING SHALL BE OF THICKNESS AND INDEX NUMBER SHOWN ON THE PLANS, PLACED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND JOINTS SHALL BE STAGGERED.
- J. STRUCTURAL REBARS SHALL BE 2x4 (OR PD 2.192) ALL PANELS SHALL BE MARKED WITH AN APA GRADE MARK WITH AN IDENTIFICATION MARK IN ACCORDANCE WITH THE GOVERNING BUILDING CODE. HEADS OF NAILS OR CROWNS OF STAPLES SHALL NOT PENETRATE THE FACE OR ADDITIONAL NAILING WILL BE REQUIRED.

- K. ALL TRUSSES, RAFTERS AND FLOOR JOISTS IN FLUSH FRAMED CONDITIONS WITH SPANS EXCEEDING C-D SHALL BEAR IN JOINT HANDERS.
- L. ALL WALL STUDS SHALL BE CONTINUOUS FROM FLOOR TO FLOOR OR FROM FLOOR TO ROOF.

- M. PROVIDE CRUISE STUDS OR SQUARE BLOCKS BELOW SOLID OR BUILT-UP POSTS OR COLUMNS WITHIN FLOOR SPACES EXPOSED TO FOUNDATION. PREVENT CRUISE STUDS OR SQUARE BLOCKS WITH COVARIANT NUMBER OF STUDS OR AREA OF POST.
- N. PROVIDE DOUBLE FLOOR JOISTS (OR BLOCKING @ 24" O.C.) UNDER PARTITION WALLS RUNNING PARALLEL TO THE DIRECTION OF THE FLOOR FRAMING.

- O. PROVIDE WOOD OR METAL CROSS-BRIDGING AT MID-SPAN OF ALL FLOORS WITH A SPAN EXCEEDING 10'-0" AND/OR IN ACCORDANCE WITH FLOOR JOIST MANUFACTURER'S RECOMMENDATIONS.
- P. BOTTOM RIGID OF CONTINUOUS JOISTS AT DRAWSAPACK AND UNFINISHED BASEMENT CONDITIONS SHALL BE BRACED BY BLOCKING, BRIDGING OR STRAPPING FOR 1/3 OF THE SPAN EITHER SIDE OF INTERIOR SUPPORT.

- Q. METAL HANGERS AND CONNECTORS SHALL BE 3/16" MINIMUM STRONG-10" OR AN APPROVED EQUAL, UNLESS NOTED OTHERWISE PROVIDE ALL MANUFACTURER RECOMMENDED FASTENERS FOR THE MAXIMUM CAPACITY OF THE HANGER.
- R. NAILING SHALL CONFORM TO INTERNATIONAL BUILDING CODE TABLE 2304.10.1, UNLESS MORE OR LARGER NAILING IS OTHERWISE SPECIFIED.

- S. FASTEN ALL WOOD MEMBERS WITH COMMON NAILS UNLESS NOTED OTHERWISE, WHERE POWER NAILS ARE USED THEY SHALL BE EQUIVALENT IN DIAMETER TO THE COMMON NAIL INDICATED. PREDRILL NAIL HOLES AS REQUIRED TO PREVENT SPLITTING OF THE WOOD MEMBERS.

7.0 SHOP SUBMITTALS

- A. THE FOLLOWING SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ARCHITECT AND THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION:
- a. REBAR AND P.T. PLACEMENT SHOP DRAWINGS
  - b. ANCHOR BOLT
  - c. ANCHOR BOLT
  - d. ANCHOR BOLT
  - e. ANCHOR BOLT
  - f. ANCHOR BOLT
  - g. ANCHOR BOLT
  - h. ANCHOR BOLT
  - i. ANCHOR BOLT
  - j. ANCHOR BOLT
  - k. ANCHOR BOLT
  - l. ANCHOR BOLT
  - m. ANCHOR BOLT
  - n. ANCHOR BOLT
  - o. ANCHOR BOLT
  - p. ANCHOR BOLT
  - q. ANCHOR BOLT
  - r. ANCHOR BOLT
  - s. ANCHOR BOLT
  - t. ANCHOR BOLT
  - u. ANCHOR BOLT
  - v. ANCHOR BOLT
  - w. ANCHOR BOLT
  - x. ANCHOR BOLT
  - y. ANCHOR BOLT
  - z. ANCHOR BOLT

8.0 STRUCTURAL INSPECTIONS

- A. CONSTRUCTION OR WORK FOR WHICH A PRETEST IS REQUIRED SHALL BE SUBJECT TO INSPECTION BY THE BUILDING OFFICIAL OR SPECIAL INSPECTORS AND SUCH CONSTRUCTION SHALL BE VISIBLE AND ACCESSIBLE TO SPECIAL INSPECTORS FOR INSPECTION PURPOSES UNTIL APPROVED.
- B. IF REQUIRED BY THE BUILDING OFFICIAL, THE BUILDING OFFICIAL OR SPECIAL INSPECTORS EMPLOYED BY THE OWNER MAY BE REQUIRED TO PROVIDE STRUCTURAL INSPECTIONS FOR THE FOLLOWING TYPE OF CONSTRUCTION:
- a. FOUNDATION WALLS
  - b. FOUNDATION WALLS
  - c. FOUNDATION WALLS
  - d. FOUNDATION WALLS
  - e. FOUNDATION WALLS
  - f. FOUNDATION WALLS
  - g. FOUNDATION WALLS
  - h. FOUNDATION WALLS
  - i. FOUNDATION WALLS
  - j. FOUNDATION WALLS
  - k. FOUNDATION WALLS
  - l. FOUNDATION WALLS
  - m. FOUNDATION WALLS
  - n. FOUNDATION WALLS
  - o. FOUNDATION WALLS
  - p. FOUNDATION WALLS
  - q. FOUNDATION WALLS
  - r. FOUNDATION WALLS
  - s. FOUNDATION WALLS
  - t. FOUNDATION WALLS
  - u. FOUNDATION WALLS
  - v. FOUNDATION WALLS
  - w. FOUNDATION WALLS
  - x. FOUNDATION WALLS
  - y. FOUNDATION WALLS
  - z. FOUNDATION WALLS

- C. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- D. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- E. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- F. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- G. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- H. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- I. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- J. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- K. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- L. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- M. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- N. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- O. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- P. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Q. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- R. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- S. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- T. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- U. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- V. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- W. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- X. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Y. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Z. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.

- F. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- G. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- H. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- I. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- J. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- K. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- L. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- M. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- N. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- O. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- P. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Q. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- R. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- S. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- T. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- U. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- V. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- W. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- X. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Y. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Z. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.

- F. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- G. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- H. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- I. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- J. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- K. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- L. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- M. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- N. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- O. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- P. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Q. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- R. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- S. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- T. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- U. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- V. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- W. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- X. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Y. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Z. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.

- F. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- G. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- H. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- I. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- J. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- K. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- L. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- M. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- N. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- O. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- P. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Q. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- R. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- S. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- T. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- U. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- V. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- W. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- X. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Y. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Z. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.

- F. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- G. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- H. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- I. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- J. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- K. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- L. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- M. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- N. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- O. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- P. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Q. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- R. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- S. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- T. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- U. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- V. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- W. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- X. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Y. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Z. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.

- F. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- G. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- H. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- I. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- J. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- K. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- L. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- M. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- N. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- O. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- P. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Q. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- R. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- S. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- T. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- U. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- V. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- W. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- X. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Y. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Z. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.

- F. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- G. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- H. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- I. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- J. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- K. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- L. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- M. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- N. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- O. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- P. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Q. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- R. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- S. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- T. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- U. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- V. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- W. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- X. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Y. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Z. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.

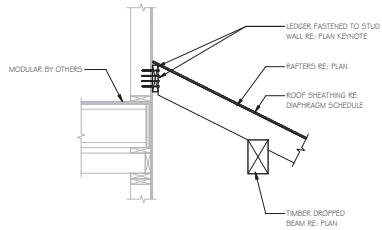
- F. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- G. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- H. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- I. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- J. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- K. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- L. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- M. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- N. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- O. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- P. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Q. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- R. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- S. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- T. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- U. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- V. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- W. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- X. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Y. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Z. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.

- F. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- G. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- H. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- I. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- J. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- K. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- L. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- M. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- N. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- O. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- P. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Q. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- R. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- S. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- T. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- U. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- V. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- W. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- X. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Y. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Z. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.

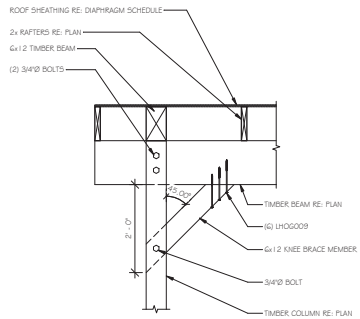
- F. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- G. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- H. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- I. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- J. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- K. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- L. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- M. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- N. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- O. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- P. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Q. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- R. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- S. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- T. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- U. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- V. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- W. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- X. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Y. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Z. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.

- F. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- G. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- H. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- I. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- J. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- K. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- L. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- M. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- N. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- O. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- P. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Q. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- R. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- S. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- T. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- U. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- V. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- W. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- X. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Y. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- Z. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.

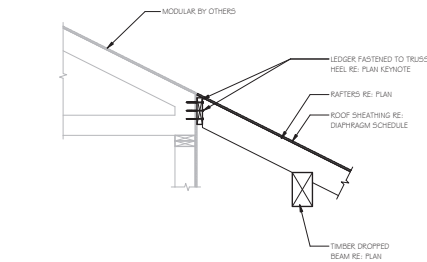
- F. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- G. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- H. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- I. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- J. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- K. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- L. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- M. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- N. PREPARATION OF FOUNDATION SUBGRADE INCLUDING FILLING AND COMPACTION.
- O. PREPARATION OF



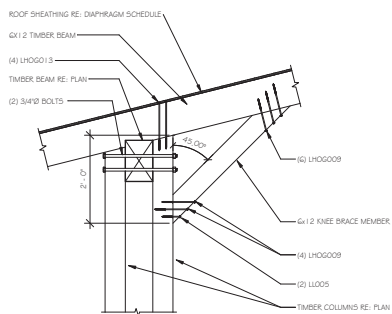
**6 Rafter to Modular Wall Connection**  
S0.5 3/4" = 1'-0"



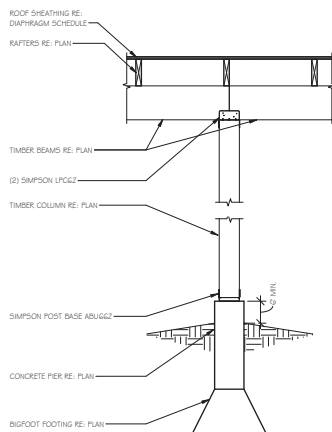
**3 TYP. RAFTER BEARING**  
S0.5 3/4" = 1'-0"



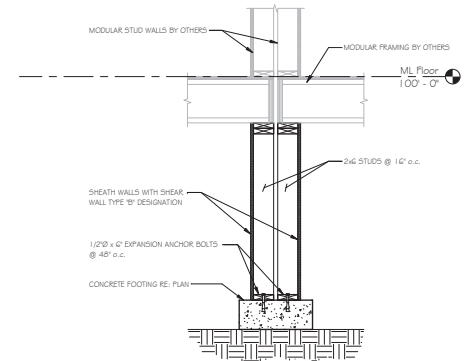
**4 Rafter to Modular Truss Connection**  
S0.5 3/4" = 1'-0"



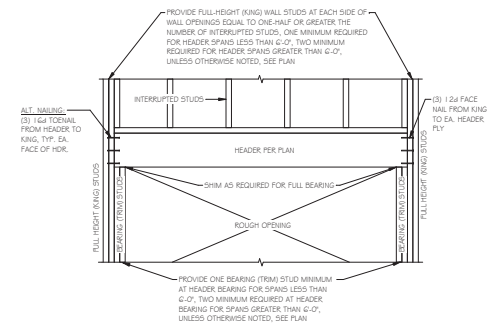
**7 KNEE BRACES CONNECTION AT GAZEBO**  
S0.5 3/4" = 1'-0"



**5 EXTERIOR COLUMN TO DROPPED BEAMS DETAIL**  
S0.5 3/4" = 1'-0"



**1 Mating Walls Foundation**  
S0.5 3/4" = 1'-0"

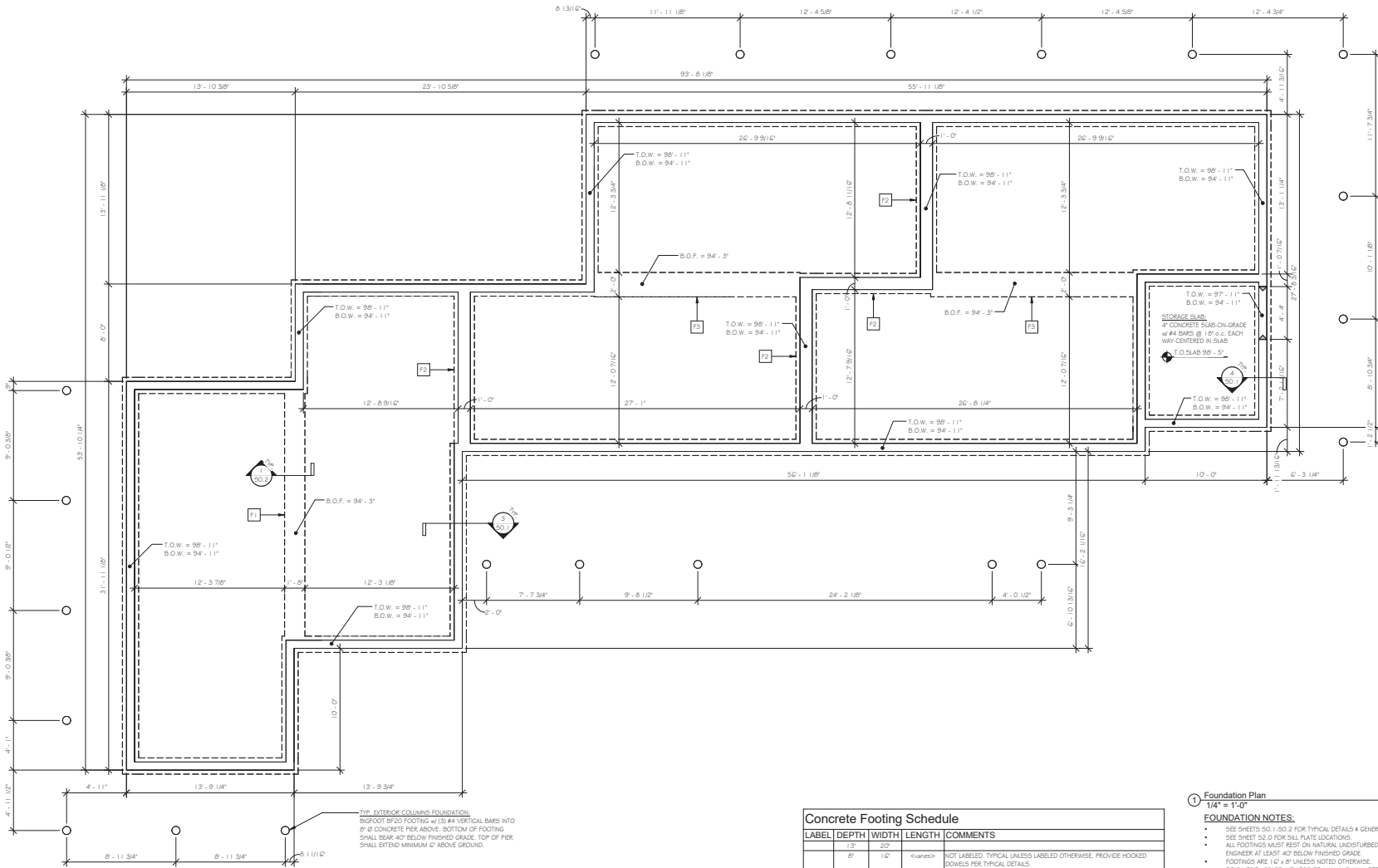


**2 TYP. WALL OPENING**  
S0.5 3/4" = 1'-0"

Drawn By	Review By	Description	Date	Rev.
RS	JLV	FOR PRELIM	10/07/2022	1

PROJECT NUMBER  
2022-0285

**NOT FOR CONSTRUCTION**  
STRUCTURAL DETAILS  
**ROCKY MOUNTAIN REPERATORY THEATRE**  
460 Broadway St  
Grand Lake, CO



- PROJECT KEY:**
- POST BELOW (2) 2x4 OR (2) 2x6 MIN. POSTS TO MATCH WALL STUD SIZE U.N.O.
  - POST FROM ABOVE
  - INTERIOR BEARING WALL LOCATION OF 2x4 OR 2x6 @ 16" o.c.
  - OVERFRAMING OF 2x6 @ 24" o.c. w/ 2x4 VERTS @ 24" o.c. (ALIGN w/ TRUSS/RAPTER SPACING)
  - HANGER
  - CONCEALED FLANGE HANGER
  - JOIST BEARING
  - STEP IN TOP OF WALL
  - STANDARD ABC SHEAR CONNECTION, V = BOXED VALVE
  - 2x6x LEDGER ATTACHED w/ (4) ROWS OF #9 x 4" WOOD SCREWS @ 16" o.c. INTO MODULAR STUDS.
  - 2x10 LEDGER ATTACHED w/ (5) ROWS OF #9 x 4" WOOD SCREWS @ 24" o.c. INTO MODULAR TRUSS STUDS.
  - 2x12 LEDGER ATTACHED w/ (5) ROWS OF #9 x 4" WOOD SCREWS @ 16" o.c. INTO MODULAR STUDS.
  - ATTACH PORTION OF LEDGER BEYOND STORAGE WALL WITH (1) ROWS OF #9 x 4" WOOD SCREWS.

- Foundation Plan**  
1/4" = 1'-0"
- FOUNDATION NOTES:**
- SEE SHEETS S5.1 - S5.3 FOR TYPICAL DETAILS & GENERAL NOTES.
  - SEE SHEET S5.0 FOR SILL PLATE LOCATIONS.
  - ALL FOOTINGS MUST REST ON NATURAL UNDISTURBED SOIL OR COMPACTED FILL PER SOILS ENGINEER AT LEAST 40' BELOW FINISHED GRADE.
  - FOOTINGS ARE 16" x 8" UNLESS NOTED OTHERWISE.
  - FIELD VERIFY GRADE WITH TOP OF WALL AND WALL STEPS AND COORDINATE WITH ENGINEER.

Concrete Footing Schedule				
LABEL	DEPTH	WIDTH	LENGTH	COMMENTS
	1'-3"	20"	<typical>	NOT LABELED, TYPICAL UNLESS LABELED OTHERWISE, PROVIDE HOOKED DOWELS PER TYPICAL DETAILS.
F1	8"	20"	247"	PROVIDE DOWELS PER TYPICAL DETAILS.
F2	8"	20"	<typical>	PROVIDE DOWELS PER TYPICAL DETAILS.
F3	8"	24"	<typical>	PROVIDE DOWELS PER TYPICAL DETAILS.

PROJECT NUMBER  
2022-0285

NOT FOR CONSTRUCTION  
FOUNDATION PLAN BLDG A

ROCKY MOUNTAIN REPERATORY THEATRE

460 Broadway St  
Grand Lake, CO

Drawn By  
RS

Reviewed By  
JLV

Date  
06/07/2022

Description  
FOR PRELIM

No.

ASCENT

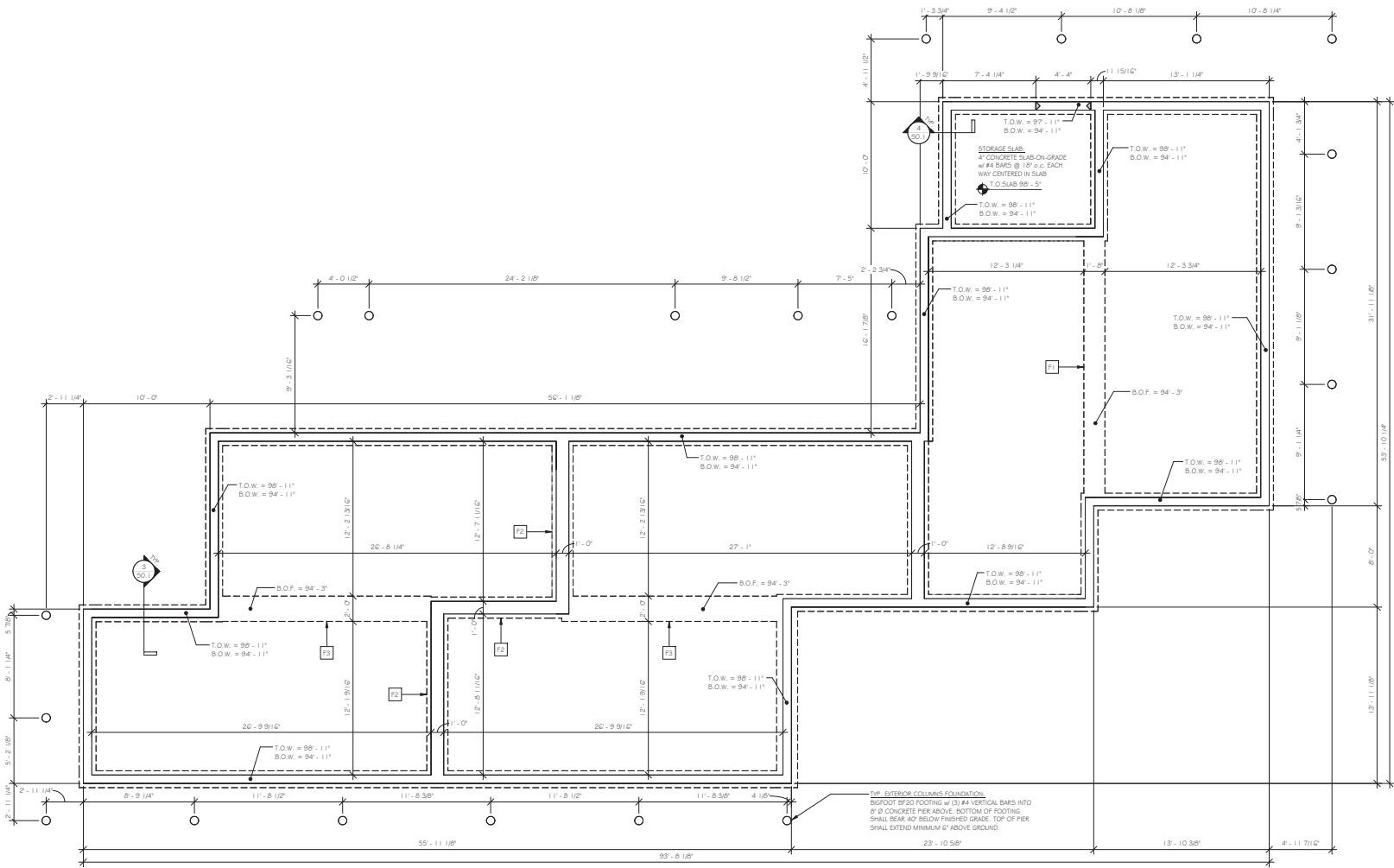
STRUCTURAL ENGINEERING

1711 Pearl St., Suite 300  
Boulder, CO 80502  
Phone: 303.449.5022 Fax: 303.449.3032

S1.1

Sheet 3 of 9

2102022 14:27 PM



Concrete Footing Schedule

LABEL	DEPTH	WIDTH	LENGTH	COMMENTS
	13"	20"	<varies>	NOT LABELED: TYPICAL UNLESS LABELED OTHERWISE. PROVIDE HOOKED DOVELS PER TYPICAL DETAILS.
F1	8"	20"	54"	
F2	8"	30"	<varies>	PROVIDE DOVELS PER TYPICAL DETAILS.
F3	8"	24"	<varies>	

- PROJECT KEY:**
- POST BELOW (2) 2x4 OR (2) 2x6 MIN. POSTS TO MATCH WALL STUD SIZE U.N.D.
  - POST FROM ABOVE
  - INTERIOR BEARING WALL LOCATION OF 2x4 OR 2x6 @ 16" o.c.
  - OVERFRAMING OF 2x6 @ 24" o.c. w/ 2x4 VERTS @ 24" o.c. (ALIGN w/ TRUSS/RAFTER SPACING)
  - HANGER
  - CONCEALED FLANGE HANGER
  - JOIST BEARING
  - STEP IN TOP OF WALL
  - STANDARD AISC SHEAR CONNECTION, V = BOXED VALVE
  - 2x8 LEDGER ATTACHED w/ (4) ROWS OF #9 x 4" WOOD SCREWS @ 16" o.c. INTO MODULAR STUDS.
  - 2x10 LEDGER ATTACHED w/ (5) ROWS OF #9 x 4" WOOD SCREWS @ 24" o.c. INTO MODULAR TRUSS HELDS.
  - 2x12 LEDGER ATTACHED w/ (6) ROWS OF #9 x 4" WOOD SCREWS @ 16" o.c. INTO MODULAR STUDS.
  - ATTACH PORTION OF LEDGER BEYOND STORAGE WALL WITH (1) ROWS OF #9 x 4" WOOD SCREWS.

① Foundation Plan

1/4" = 1'-0"

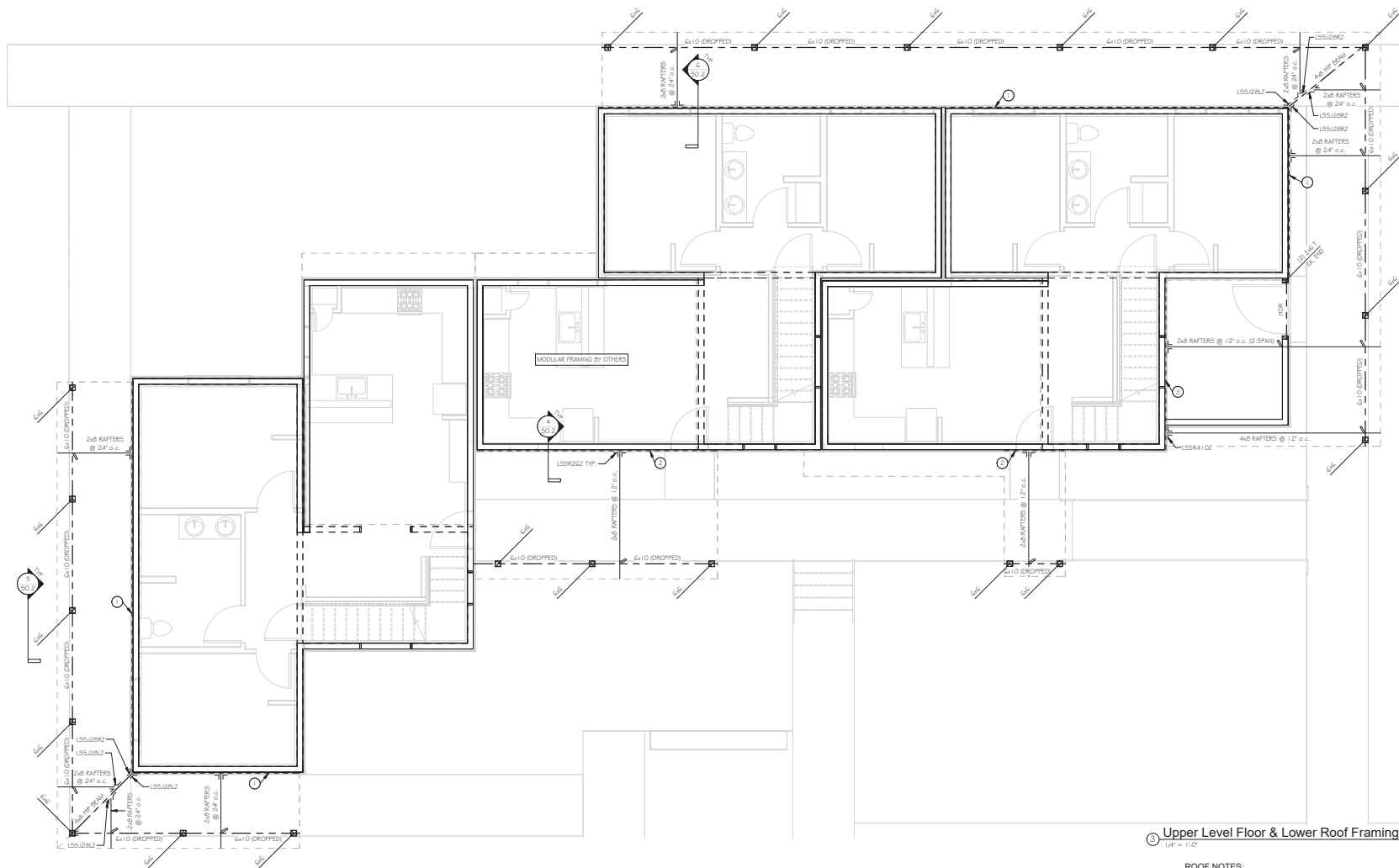
**FOUNDATION NOTES:**

- SEE SHEETS 50.1-50.2 FOR TYPICAL DETAILS & GENERAL NOTES.
- SEE SHEET 52.0 FOR SILL PLATE LOCATIONS.
- ALL FOOTINGS MUST REST ON NATURAL UNDISTURBED SOIL OR COMPACTED FILL PER SOILS ENGINEER AT LEAST 40" BELOW FINISHED GRADE.
- FOOTINGS ARE 16" x 8" UNLESS NOTED OTHERWISE.
- FIELD VERIFY GRADE WITH TOP OF WALL AND WALL STEPS AND COORDINATE WITH ENGINEER.

Drawn By	Review By	Description	Date
RS	JLV	FOR PRELIM	10/07/2022

PROJECT NUMBER  
2022-0285

**NOT FOR CONSTRUCTION**  
FOUNDATION PLAN BLUG B  
**ROCKY MOUNTAIN REPERATORY THEATRE**  
460 Broadway St  
Grand Lake, CO



3 Upper Level Floor & Lower Roof Framing Plan  
1/4" = 1'-0"

**ROOF NOTES:**

- SEE SHEETS 50.1-50.2 FOR TYPICAL DETAILS & GENERAL NOTES.
- PROVIDE SIMPSON H2.5 AT ALL TRUSSES AND RAFTERS.
- ALL GABLE END WALLS TO BE BALLOON FRAMED FROM FLOOR TO CEILING.
- ALL HEADERS (3) 2x6 OR (2) 2x10 UNLESS NOTED OTHERWISE.

**PROJECT KEY:**

- POST BELOW (2) 2x4 OR (2) 2x6 MIN. POSTS TO MATCH WALL STUD SIZE U.N.D.
- POST FROM ABOVE
- INTERIOR BEARING WALL LOCATION OF 2x4 OR 2x6 @ 16" o.c.
- OVERFRAMING OF 2x6 @ 24" o.c. w/ 2x4 VERTS @ 24" o.c. (ALIGN w/ TRUSS/RAFTER SPACING)
- HANGER
- CONCEALED FLANGE HANGER
- JOIST BEARING
- STEP IN TOP OF WALL
- STANDARD AISI SHEAR CONNECTION, V = BOXED VALUE
- 2x6 LEDGER ATTACHED w/ (4) ROWS OF #9 x 4" WOOD SCREWS @ 16" o.c. INTO MODULAR STUDS.
- 2x10 LEDGER ATTACHED w/ (5) ROWS OF #9 x 4" WOOD SCREWS @ 24" o.c. INTO MODULAR TRUSS HEELS
- 2x12 LEDGER ATTACHED w/ (5) ROWS OF #9 x 4" WOOD SCREWS @ 16" o.c. INTO MODULAR STUDS.
- ATTACH PORTION OF LEDGER BEYOND STORAGE WALL WITH (1) ROWS OF #9 x 4" WOOD SCREWS.

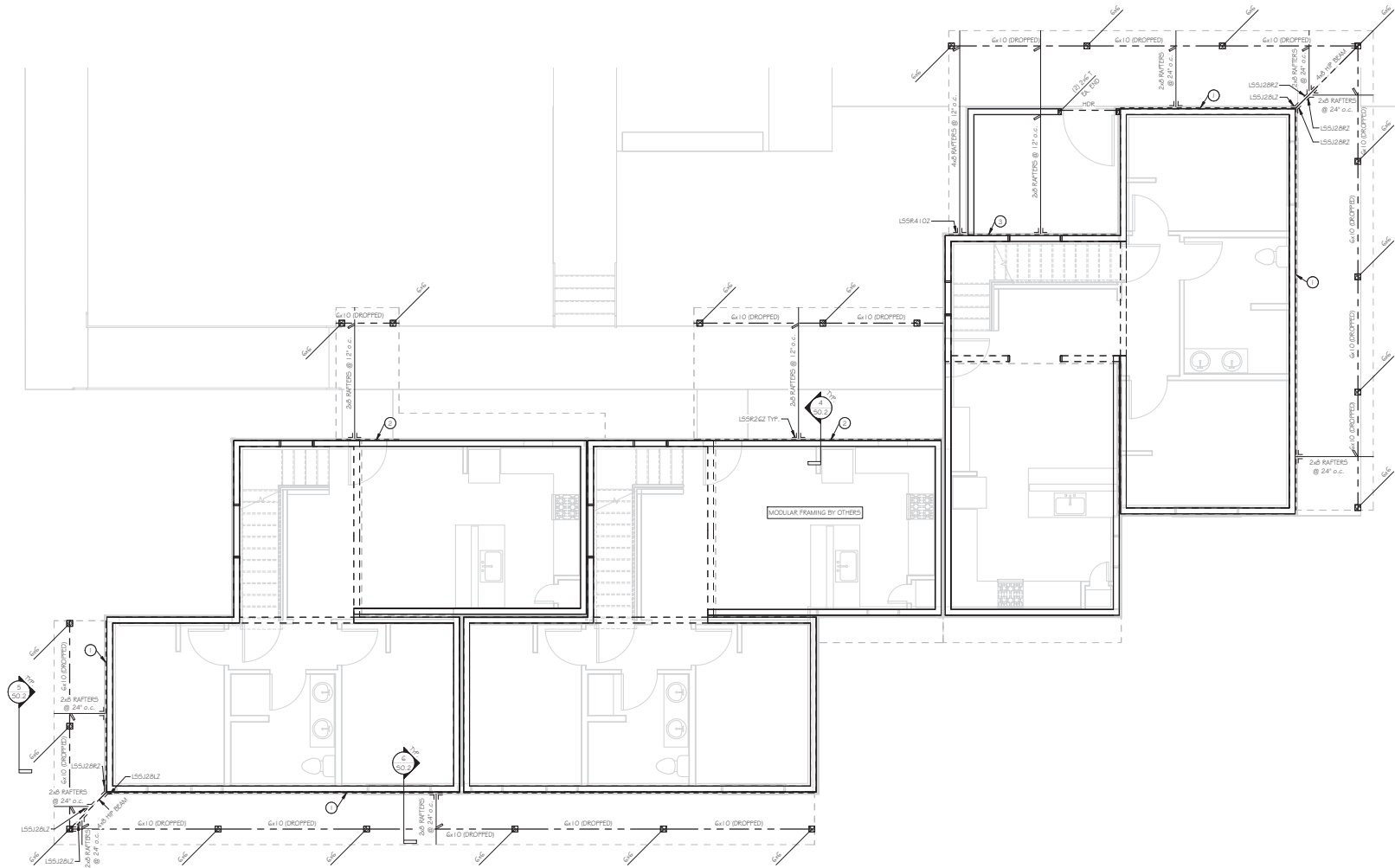


No.	Date	Description	Drawn By	Review By
1	10/07/2022	FOR PRELIM	PS	JLV

PROJECT NUMBER  
2022-0285

**NOT FOR CONSTRUCTION**  
LOWER ROOF FRAMING PLAN BLDG A  
**ROCKY MOUNTAIN REPERATORY THEATRE**  
460 Broadway St  
Grand Lake, CO

**S2.1**  
Sheet 5 of 9



# PROJECT KEY:

- POST BELOW (2) 2x4 OR (2) 2x6 MIN. POSTS TO MATCH WALL STUD SIZE U.N.D.
- POST FROM ABOVE
- INTERIOR BEARING WALL LOCATION OF 2x4 OR 2x6 @ 16\"/>
- OVERFRAMING OF 2x6 @ 24\"/>
- HANGER
- CONCEALED FLANGE HANGER
- JOIST BEARING
- STEP IN TOP OF WALL
- STANDARD AISI SHEAR CONNECTION, V = BOXED VALUE
- 2x6 LEDGER ATTACHED w/ (4) ROWS OF #9 x 4\"/>
- 2x10 LEDGER ATTACHED w/ (5) ROWS OF #9 x 4\"/>
- 2x12 LEDGER ATTACHED w/ (6) ROWS OF #9 x 4\"/>

Upper Level Floor & Lower Roof Framing Plan  
1/4\"/>

## ROOF NOTES:

- SEE SHEETS 50.1-50.2 FOR TYPICAL DETAILS & GENERAL NOTES.
- PROVIDE SHIMSON HS-3 AT ALL TRUSSES AND RAFTERS.
- ALL GABLE END WALLS TO BE BALLOON FRAMED FROM FLOOR TO CEILING.
- ALL HEADERS (3) 2x6 OR (2) 2x10 UNLESS NOTED OTHERWISE.

No.	Date	Description	Drawn By	Review By
1	10/01/2022	FOR PRELIM	RS	JLV

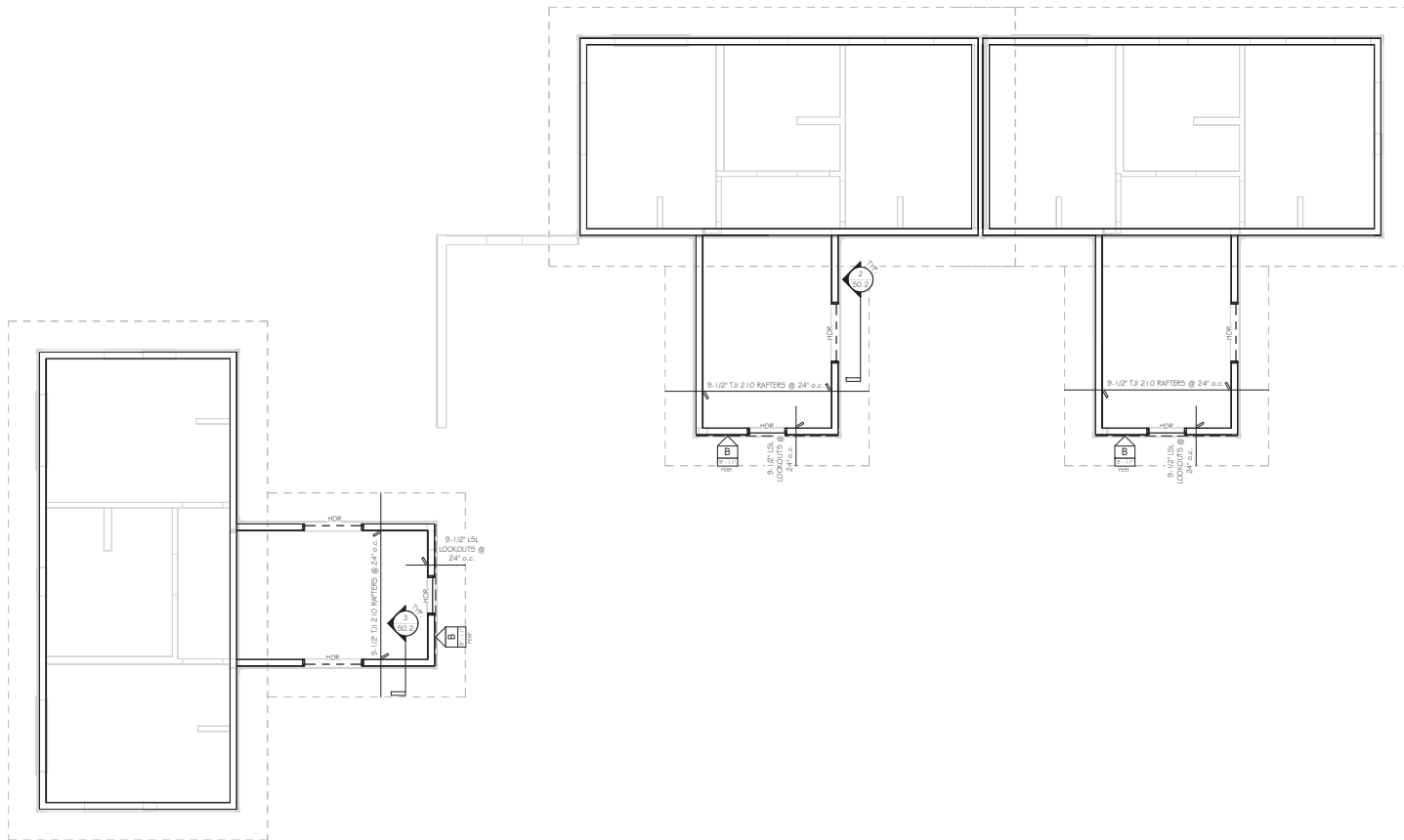
PROJECT NUMBER  
2022-0285

## NOT FOR CONSTRUCTION LOWER ROOF FRAMING PLAN BLDG B ROCKY MOUNTAIN REPERATORY THEATRE

460 Broadway St  
Grand Lake, CO

S2.2

Sheet 6 of 9



- PROJECT KEY:**
- POST BELOW (2) 2x4 OR (2) 2x6 MIN. POSTS TO MATCH WALL STUD SIZE U.N.D.
  - POST FROM ABOVE
  - INTERIOR BEARING WALL LOCATION OF 2x4 OR 2x6 @ 16" o.c.
  - OVERFRAMING OF 2x6 @ 24" o.c. w/ 2x4 VERTS @ 24" o.c. (ALIGN w/ TRUSS/RAFTER SPACING)
  - HANGER
  - CONCEALED FLANGE HANGER
  - JOIST BEARING
  - STEP IN TOP OF WALL
  - STANDARD AISC SHEAR CONNECTION, V = BOXED VALUE
  - 2x8 LEDGER ATTACHED w/ (4) ROWS OF #9 x 4" WOOD SCREWS @ 16" o.c. INTO MODULAR STUDS.
  - 2x10 LEDGER ATTACHED w/ (5) ROWS OF #9 x 4" WOOD SCREWS @ 24" o.c. INTO MODULAR TRUSS HEELS.
  - 2x12 LEDGER ATTACHED w/ (6) ROWS OF #9 x 4" WOOD SCREWS @ 16" o.c. INTO MODULAR STUDS.
  - ATTACH PORTION OF LEDGER BEYOND STORAGE WALL WITH (1) ROWS OF #9 x 4" WOOD SCREWS.

③ Roof Framing Plan  
1/4" = 1'-0"

**ROOF NOTES:**

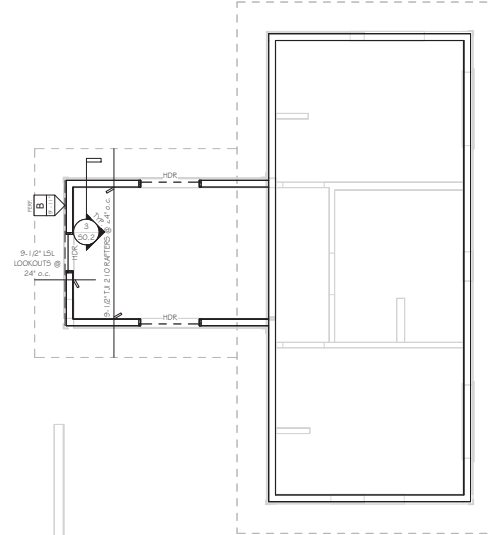
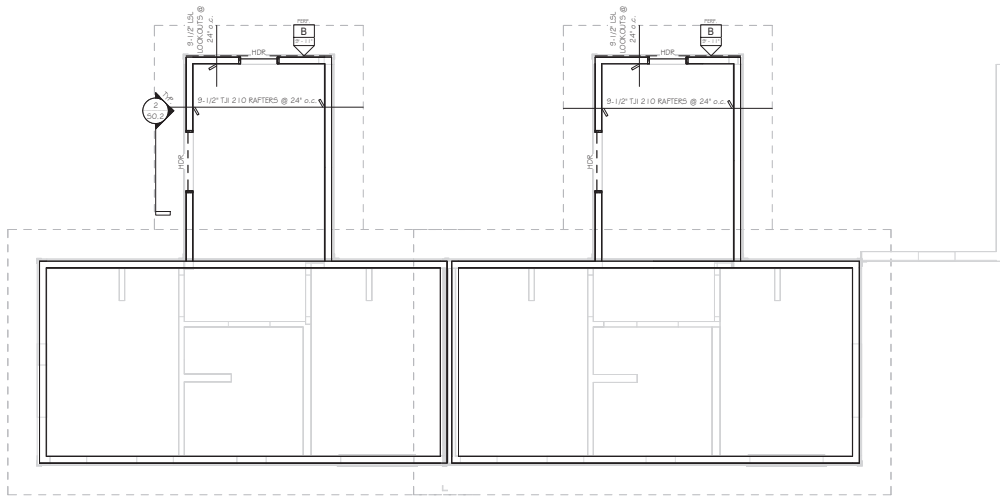
- SEE SHEETS 50.1-50.2 FOR TYPICAL DETAILS & GENERAL NOTES.
- PROVIDE SIMPSON H2.5 AT ALL TRUSSES AND RAFTERS.
- ALL GABLE END WALLS TO BE SHALLOON FRAMED FROM FLOOR TO CEILING.
- ALL HEADERS (3) 2x6 OR (2) 2x10 UNLESS NOTED OTHERWISE.

No.	Date	Description	Drawn By	Review By
1	10/07/2022	FOR PREPARED	RS	JLV

PROJECT NUMBER  
2022-0285

**NOT FOR CONSTRUCTION**  
UPPER ROOF FRAMING PLAN BLDG A  
**ROCKY MOUNTAIN REPERATORY THEATRE**  
460 Broadway St  
Grand Lake, CO

**S3.1**  
Sheet 7 of 9



- PROJECT KEY:**
- POST BELOW (2) 2x4 OR (2) 2x6 MIN. POSTS TO MATCH WALL STUD SIZE U.N.D.
  - POST FROM ABOVE
  - INTERIOR BEARING WALL LOCATION OF 2x4 OR 2x6 @ 1'0" o.c.
  - OVERFRAMING OF 2x6 @ 24" o.c. w/ 2x4 VERTS @ 24" o.c. (ALIGN w/ TRUSS/RAFTER SPACING)
  - HANGER
  - CONCEALED FLANGE HANGER
  - JOIST BEARING
  - STEP IN TOP OF WALL
  - STANDARD AISI SHEAR CONNECTION, V = BOXED VALVE
  - 2x8 LEDGER ATTACHED w/ (4) ROWS OF #9 x 4" WOOD SCREWS @ 1'0" o.c. INTO MODULAR STUDS.
  - 2x10 LEDGER ATTACHED w/ (5) ROWS OF #9 x 4" WOOD SCREWS @ 24" o.c. INTO MODULAR TRUSS HEELS.
  - 2x12 LEDGER ATTACHED w/ (6) ROWS OF #9 x 4" WOOD SCREWS @ 1'0" o.c. INTO MODULAR STUDS.
  - ATTACH PORTION OF LEDGER BEYOND STORAGE WALL WITH (1) ROWS OF #9 x 4" WOOD SCREWS.

### 3 Roof Framing Plan

1/4" = 1'-0"

#### ROOF NOTES:

- SEE SHEETS 50.1-50.2 FOR TYPICAL DETAILS & GENERAL NOTES.
- PROVIDE SIMPSON H2.5 AT ALL TRUSSES AND RAFTERS.
- ALL GABLE END WALLS TO BE SHALLOON FRAMED FROM FLOOR TO CEILING.
- ALL HEADERS (3) 2x6 OR (2) 2x10 UNLESS NOTED OTHERWISE.



No.	Date	Description	Drawn By	Review By
1	10/07/2022	FOR PRELIM	RS	JLV

PROJECT NUMBER  
2022-0285

**NOT FOR CONSTRUCTION**  
UPPER ROOF FRAMING PLAN BLDG B  
**ROCKY MOUNTAIN REPERATORY THEATRE**  
460 Broadway St  
Grand Lake, CO

**S3.2**

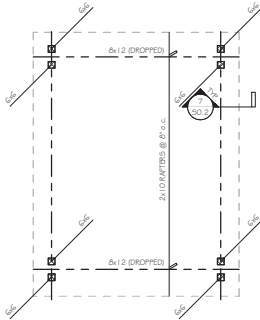
Sheet 8 of 9

1  
S4.0  
1/4" = 1'-0"

### Roof Framing Plan - Gazebo

#### ROOF NOTES:

- SEE SHEETS S0.1-S0.2 FOR TYPICAL DETAILS & GENERAL NOTES.
- PROVIDE SIMPSON H2.5 AT ALL TRUSSES AND RAFTERS.
- ALL GABLE END WALLS TO BE BALLOON FRAMED FROM FLOOR TO CEILING.
- ALL HEADERS (S) 2x6 OR (2) 2x4 UNLESS NOTED OTHERWISE.

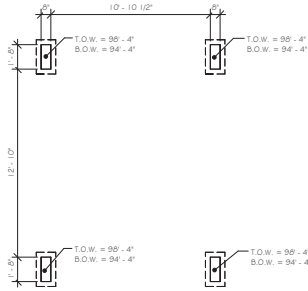


2  
S4.0  
1/4" = 1'-0"

### Foundation Plan - Gazebo

#### FOUNDATION NOTES:

- SEE SHEETS S0.1-S0.2 FOR TYPICAL DETAILS & GENERAL NOTES.
- SEE SHEET S2.0 FOR SKILL PLATE LOCATIONS.
- ALL FOOTINGS MUST REST ON NATURAL UNDISTURBED SOIL OR COMPACTED FILL PER SOils ENGINEER AT LEAST 4" BELOW FINISHED GRADE.
- FOOTINGS ARE 12" x 8" UNLESS NOTED OTHERWISE.
- FIELD VERIFY GRADE WITH TOP OF WALL AND WALL STEPS AND COORDINATE WITH ENGINEER.



#### PROJECT KEY:

- POST BELOW (2) 2x4 OR (2) 2x6 MIN. POSTS TO MATCH WALL STUD SIZE U.N.O.
- POST FROM ABOVE
- INTERIOR BEARING WALL LOCATION OF 2x4 OR 2x6 @ 16" o.c.
- OVERFRAMING OF 2x6 @ 24" o.c. w/ 2x4 VERTS @ 24" o.c. (ALIGN w/ TRUSS/RAFTER SPACING)
- HANGER
- CONCEALED FLANGE HANGER
- JOIST BEARING
- STEP IN TOP OF WALL
- STANDARD AISC SHEAR CONNECTION, V = BOXED VALUE
- 2x6 LEDGER ATTACHED w/ (4) ROWS OF #9 x 4" WOOD SCREWS @ 16" o.c. INTO MODULAR STUDS.
- 2x10 LEDGER ATTACHED w/ (5) ROWS OF #9 x 4" WOOD SCREWS @ 24" o.c. INTO MODULAR TRUSS HEELS.
- 2x12 LEDGER ATTACHED w/ (6) ROWS OF #9 x 4" WOOD SCREWS @ 16" o.c. INTO MODULAR STUDS.
- ATTACH PORTION OF LEDGER BEYOND STORAGE WALL WITH (1) ROWS OF #9 x 4" WOOD SCREWS.

**ASCENT**  
STRUCTURAL ENGINEERING  
1711 Pearl St., Suite 300  
Boulder, CO 80502  
Phone: 303.449.5022 Fax: 303.449.3032

No.	Date	Description	Drawn By	Review By
1	08/07/2022	FOR PRESENT	RS	JLV

PROJECT NUMBER  
2022-0285

**NOT FOR CONSTRUCTION**  
FOUNDATION AND ROOF FRAMING PLAN GAZEBO  
**ROCKY MOUNTAIN REPERATORY THEATRE**  
460 Broadway St  
Grand Lake, CO

**S4.0**  
Sheet 9 of 9