



Town of Grand Lake

LAND USE REVIEW APPLICATION FORM

P.O. Box 99 • 1026 Park Avenue • Grand Lake, CO 80447
Phone: 970-627-3435 • Fax: 970-627-9290
Email: planner@toglco.com • Website: townofgrandlake.com

APPLICATION DEADLINE IS NOON, 21 DAYS PRIOR TO THE NEXT REGULARLY SCHEDULED HEARING

PROPERTY

Property Address (or general location if not addressed): 720-712 Grand Ave. Grand Lake CO 80447

Legal Description: Lot 3,4,5 Block 19 Subdivision Town of Grand Lake

Lot Area (in square feet or acres): 22,500 SF Existing Use of Property: Office/Residence/Commissary Kitchen

TYPE OF REVIEW (check one)

- ☐ Rezoning ☐ Subdivision ☐ Minor Subdivision ☐ Annexation ☐ Planned Development
☐ Conditional Use ☐ Vacation – Public right-of-way ☐ Amendments to approved Subdivision or PD
☒ Other: Planning Department Criteria and Design Approval Request

PROPOSAL

Description of Proposal (include proposed use and summarize number and size of units/buildings/lots, as applicable)

This proposal is for a two story addition to the front/north face and west side of the existing structure.
The use will be a bar/restaurant. The addition will add a 931 SF footprint onto the 22,500 SF lot.

Applicant Information

Is the Applicant the owner of the property? Yes ☒ No ☐

If the Applicant is not the owner of the property, does the Applicant have authority from the property owner to engage in the proposed use? Yes ☐ No ☐

Please have the landlord fill in the “Contact Information” section below to confirm authorization of this specific use for the tenant/applicant use.

Name of Development: Taco About It @ The Lone Eagle Lodge

Name of Applicant: Victor and Jose De Los Santos Email: jose@dspservicesllc.net

Address: 12128 Isle Royal Dr. Phone: 720.525.5589

City: Peyton State: CO Zip: 80831 Fax: _____

Contact Information (if not the applicant)

☐ check box if landlord

Name of Contact: Joel Iken, Owner's Representative Email: ji.greenlinellc@gmail.com

Address: 1730 Mapleton Ave. Phone: 303.442.6398

City: Boulder State: CO Zip: 80304 Fax: _____

STAFF USE ONLY

File Name: _____

Application Received By: _____ Date: _____ Time: _____

Fee Paid: _____ Amount: _____ Reimbursement Form Signed: ☐ Yes Date: _____ ☐ No



**TOWN OF GRAND LAKE
AGREEMENT FOR PAYMENT OF
REVIEW AND DEVELOPMENT EXPENSES INCURRED BY THE
TOWN SUBDIVISION, ANNEXATION, LAND USE AND ZONING
PROCESS**

THIS AGREEMENT (“the Agreement” is entered into this 10th day of April, 20 25, by and between the Town of Grand Lake, Colorado, a Colorado municipal corporation, (“the Town”) and Jose & Victor De Los Santos, a Property Owner (homeowner, type of corporation, LLC, etc. if applicable), (collectively, “the Applicant”).

WHEREAS, the Applicant owns, or has rights to the possession and use of, certain property situated in Grand County, Colorado described on Exhibit A, attached hereto and incorporated herein by reference, (“the Property”);

WHEREAS, the development and land use review process includes review of all aspects of land use including, but not limited to, annexation, subdivision, zoning, change of land use, installation of public improvements, conditional uses, dedication of lands and the availability of and feasibility of providing utility services;

WHEREAS, the Applicant desires to develop or conduct a conditional use on the Property and has made application to the Town for approval of subdivision, annexation, conditional use, and/or zoning of the Property, and

WHEREAS, the Parties recognize that the land use fees as specified by the Municipal Code of the Town may not be adequate to fully cover the Town’s expenses incurred during the application process, including but not limited to, legal publications, notices, reproduction of materials, public hearing expenses, recording of documents, engineering fees, attorney fees, consultant fees, and fees for administrative time of Town staff, including, but not limited to managerial, clerical, billing, and review time, and

WHEREAS, the Parties hereto recognize that the Town will continue to incur expenses through the entire review process until final completion of the development or conditional use including but not limited to, legal publications, notices, reproduction of materials, public hearing expenses, recording of documents, engineering fees, attorney fees, consultant fees, and fees for administrative time of Town staff, security, permits and easements;

NOW THEREFORE, for and in consideration of the foregoing premises and of the mutual promises and conditions hereinafter contained, it is hereby agreed as follows:

1. The Town has collected or will collect certain subdivision, annexation and land use fees from the Applicant and the Town will apply those fees against the review expenses incurred by the Town while processing the Applicant’s development review or conditional use proposal. In the event the Town incurs review expenses greater than the monies collected from the Applicant, the Applicant agrees to reimburse the Town for the additional expenses and fees upon submittal of an invoice. Applicant shall pay all invoices submitted by the Town within ten (10) days of the Town’s delivery of such invoice. Failure by the Applicant to pay any invoice within the specified time shall be cause for the Town to cease processing the application, cease development of the Property, deny approval of the application, withhold the issuance of building permits, conditional use permits, or certificates of occupancy and for the Town to exercise such rights and remedies as are otherwise available to it in law or equity or under the applicable provisions of the Town Code.

2. Except where the law or an agreement with the Town provides otherwise, the Applicant may terminate its application at any time by giving written notice to the Town. The Town shall take all reasonable steps necessary to terminate the accrual of costs to the Applicant and file such notices as are required by the Town's regulations. The Applicant shall be liable for all costs incurred by the Town in terminating the processing of the application.
3. If the Applicant fails to pay the fees and costs required herein when due, the Town may take those steps necessary and authorized by law to collect the fees and costs due, in addition to exercising those remedies set forth in Section 1, above. The Town shall be entitled to recover from Applicant all court costs and attorneys' fees incurred in collection of the balance due, including interest on the amount due from its due date at the rate of 18% per annum.
4. The Town will account for all funds expended and fees and expenses incurred by the Town as a result of review of the application throughout the review process. Statements of expenses incurred will be made available to the Applicant by the Town. Expenses to be charged to the Applicant's account shall include, but shall not be limited to legal publications, notices, reproduction of materials, public hearing expenses, recording of documents, engineering fees, attorney fees, consultant fees, fees for administrative time of Town staff, security, permits and easements. Within 60 days after the completion of the processing of the application by the Town, the Town will provide Applicant with a statement of account and will refund to the Applicant any funds paid by the Applicant that were not expended by the Town, except where the Parties expressly agree to the contrary.
5. Applicant's obligation to pay the costs and expenses provided for in this Agreement shall exist and continue independent of whether the Applicant's application, or any part thereof, is approved, approved with conditions, denied, withdrawn, or terminated by the Town or the Applicant prior to a final decision in the process.

IN WITNESS WHEREOF, the Town and the Applicant have caused this Agreement to be duly executed on the day and year first above written.

PRINTED APPLICANT'S NAME: Jose & Victor De Los Santos

APPLICANT'S SIGNATURE: _____
Signatures

TOWN OF GRAND LAKE

S E A L

By: _____
Community Development Director

Attest:

Town Clerk

TACO ABOUT IT
PLANNING SUBMITTAL
ISSUED FOR PLANNING
5-7-25



1 GRAND AVE VIEW FROM THE NE



2 GRAND AVE VIEW FROM THE NW

PROPERTY INFORMATION

PROPERTY ADDRESS
712-720 GRAND AVENUE, GRAND LAKE CO 80447

LEGAL DESCRIPTION
LOTS 3, 4, 5 BLOCK 19 SUB TOWN OF GRAND LAKE

LOT SIZE
22,500 SF

CURRENT USES
OFFICE/RESIDENTIAL / COMMERCIAL

PROJECT INFORMATION

OWNER / TENANT: JOSE & VICTOR DE LOS SANTOS
TACO ABOUT IT
720 GRAND AVENUE
GRAND LAKE CO 80447

OWNERS REP
JOEL IKEN
GREEN LINE LLC

ARCHITECT: MICHAEL KOCH
KOCH COVOTSO'S ARCHITECTS PC
1499 BLAKE STREET UNIT 3L
DENVER, CO 80202
MICHAEL@KC-ARCH.COM
303-780-7850

SHEET LIST

NUMBER	NAME	ISSUE DATE	CURRENT REV	REV DATE
SK-101	FRONT SKETCH	04/15/25		
A001	COVER SHEET	5-7-25		
A002	SURVEY	5-7-25		
A003	CODE STUDY	5-7-25		
A004	SITE PLAN EXISTING	5-7-25		
A005	SITE PLAN PROPOSED	5-7-25		
A101	FIRST FLOOR EXISTING PLAN	5-7-25		
A102	FIRST FLOOR PROPOSED PLAN	5-7-25		
A103	SECOND FLOOR EXISTING PLAN	5-7-25		
A104	SECOND FLOOR PROPOSED PLAN	5-7-25		
A301	BUILDING ELEVATIONS	5-7-25		
A302	BUILDING ELEVATIONS	5-7-25		
A303	BUILDING ELEVATIONS	5-7-25		
A304	BUILDING ELEVATIONS	5-7-25		
A701	SITE DETAILS	5-7-25		
A901	PHOTOS AND POPOSED FINISHES	5-7-25		

TACO ABOUT IT ADDITION

KOCH|COVOTSO'S ARCHITECTS, PC

JOSE & VICTOR DE LOS SANTOS
720 GRAND AVENUE
GRAND LAKE, CO 80447

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CONSTRUCTION

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COVER SHEET

A001



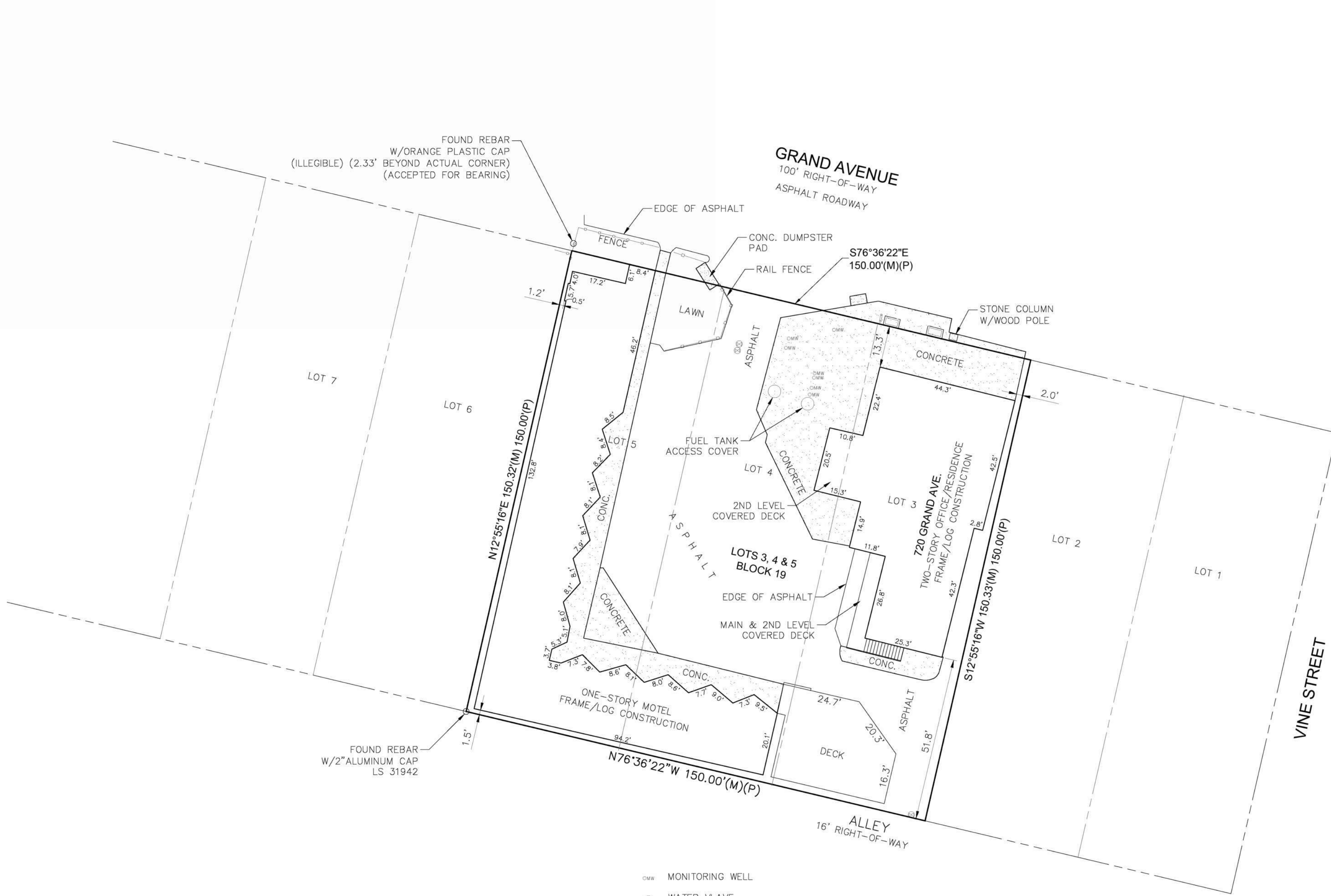
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DENVER COLORADO
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KCA

No	Description	Date

IMPROVEMENT SURVEY PLAT

LOTS 3, 4 AND 5, BLOCK 19, TOWN OF GRAND LAKE
PART OF SECTION 6, TOWNSHIP 3 NORTH, RANGE 75 WEST OF THE SIXTH P.M.
TOWN OF GRAND LAKE, COUNTY OF GRAND, STATE OF COLORADO



NOTES:

1. ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED ON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BE COMMENCED MORE THAN 10 YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. BASIS OF BEARING IS THE WEST LINE OF THE SUBJECT PROPERTY BETWEEN A FOUND REBAR WITH 2 INCH DIAMETER ALUMINUM CAP LS 31942 BEING THE SOUTHWEST CORNER, AND A FOUND REBAR WITH ORANGE PLASTIC CAP (ILLEGIBLE) 2.33 FEET BEYOND THE CALCULATED POSITION OF THE NORTHWEST CORNER. SAID WEST LINE ASSUMED TO BEAR N12°55'16"E.
3. LINEAL UNIT OF MEASURE IS U.S. SURVEY FEET.
4. UTILITIES SHOWN WERE PLOTTED BASED ON VISIBLE EVIDENCE AND ARE NOT GUARANTEED ACCURATE OR ALL INCLUSIVE.
5. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY DIAMONDBACK ENGINEERING AND SURVEYING, INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS AND RIGHTS-OF-WAY, DIAMONDBACK SURVEYING, LLC RELIED ON THE RECORDED PLAT.
6. FOR BEARINGS/DISTANCES SHOWN; (M) DENOTES MEASURED, (P) DENOTES PLAT.

SURVEYORS CERTIFICATION:

I, JERALD W. RICHMOND BEING A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THIS IMPROVEMENT SURVEY PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY PERFORMED ON JULY 26, 2021, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

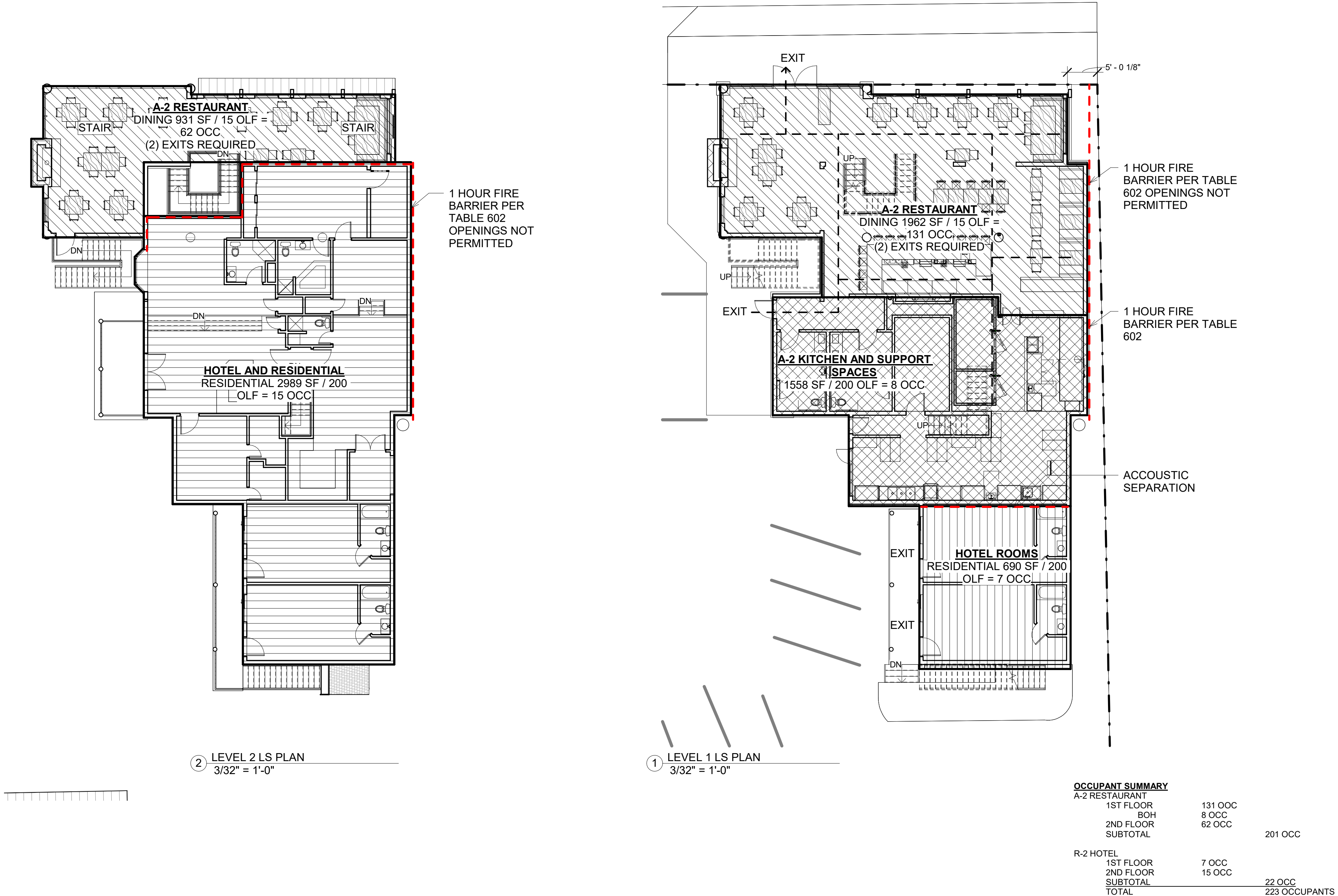
JERALD W. RICHMOND P.L.S. 26298
FOR AND ON BEHALF OF
DIAMONDBACK SURVEYING, LLC



REVISION	DATE:	BY:

LONE EAGLE LODGE
720 GRAND AVE.
IMPROVEMENT SURVEY PLAT
DATE: 08-04-21
DRAWN BY: JS

Diamondback
Surveying, LLC
7804 FRASER RIVER CIRCLE
LITTLETON, CO 80125
Office: 303-918-7310



CODE INFORMATION

SITE LOCATION:	720 GRAND AVENUE GRAND LAKE CO
LEGAL DESCRIPTION:	-
PROJECT DESCRIPTION:	PROJECT IS AN ADDITION AND REMODEL OF AN EXISTING TWO STORY BUILDING TO CREATE A TWO STORY RESTAURANT
CHANGE IN USE:	EXPANSION OF USE FOR A-2
GOVERNING CODES:	TOWN OF GRAND LAKE 2021 IBC, IEBC, IMC, IPC, IECC, IFC 2023 NEC 2017 ANSI A117.1 ADA GUIDELINES
ZONING:	C COMMERCIAL
LOT SIZE:	22,500 SQ FT
BUILDING HEIGHT:	TWO STORIES, 35 FT
OCCUPANCY:	A-2 RESTAURANT, GREATER THAN 99 OCC R-2 HOTEL
BLDG AREA:	EXISTING ADD TOTAL FIRST FL 3,278 931 4,209 SF SECOND FL 3,136 931 4,067 SF TOTAL 6,414 1,862 8,276 SF
CONSTRUCTION TYPE:	TYPE V-B SPRINKLERED, A-2 OCCUPANCY ALLOWABLE AREA 18,000 SF ACTUAL AREA 8,276 SF OK NON-SEPARATED USES
TENANT AREA:	ADD FIRE SPRINKLERS FOR ENTIRE BUILDING 5,763 SF
OCCUPANT LOAD:	SEE LIFE SAFETY PLANS TOTAL = 241 OCC
EXIT REQUIREMENTS:	TOTAL # OF EXITS REQUIRED = 2 PROVIDED = 2
EXIT WIDTH REQUIREMENTS:	INTERIOR: 241 OCC X 0.2" = 48" 36" EXIT PATH PROVIDED 72" EXIT DOOR WIDTH TOTAL 36" AT MAIN ENTRY EXIT
RESTROOM TABULATION:	
201	RATIO W/C LAV
MEN 1001/75	1.4 0.7
WOMEN 1001/75	1.4 0.7
TOTAL REQUIRED	2.8 1.4
TOTAL PROVIDED	4 2
MOP SINK PROVIDED	
FIRE NOTES:	EXISTING BUILDING NON-SPRINKLERED. BUILDING SHALL BE SPRINKLERED IF REQD BY CODE BUILDING SHALL HAVE FIRE ALARM IF REQD BY CODE
FIRE RESISTANCE AND OCC SEPARATION:	NON SEPARATED USES FOR OCCUPANCY SEPARATION PER 506 1 HR FIRE SEPARATION WALL EAST SIDE
COMB. MATERIALS:	PER IBC 603, NON-COMBUSTIBLE CONSTRUCTION IS NOT REQD PER CONSTRUCTION TYPE.
PARKING:	PROVIDED ON SITE. NO CHANGE IN USE
EXIT ILLUMINATION:	EMERGENCY EXIT ILLUMINATION SHALL BE PROVIDED
SIGNAGE:	OWNER'S SIGNAGE CONTRACTOR SHALL PREPARE SIGNAGE SHOP DRAWINGS AND SUBMIT TO BUILDING DEPT. & LANDLORD FOR APPROVAL.

IECC NOTES

GRAND LAKE COLORADO CLIMATE ZONE 7	
THIS PROJECT HAS SELECTED THE PRESCRIPTIVE APPROACH FOR ELEMENTS AND WALL CAVITIES THAT HAVE BEEN ALTERED.	
ELEMENT	R-VALUE
MASS WALL	15.2 CI
WOOD FRAME WALL	R-13 +R15.6 CI
	OR R-20 +R3.8 CI
FOUNDATION	R-20 48" BELOW GRADE
ROOF ATTIC	60
ROOF INS ABOVE DECK	35
FENESTRATION	
FIXED	0.29
OPERABLE	0.36
ENTRANCE DOORS	0.63
VERTICAL FENESTRATION AREA SHALL NOT EXCEED 30% OF THE WALL SKYLIGHT AREA SHALL NOT EXCEED 3% OF THE GROSS ROOF AREA	

KOCH|COVOTSO S ARCHITECTS, PC

TACO ABOUT IT ADDITION

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CODE STUDY

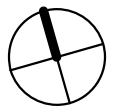
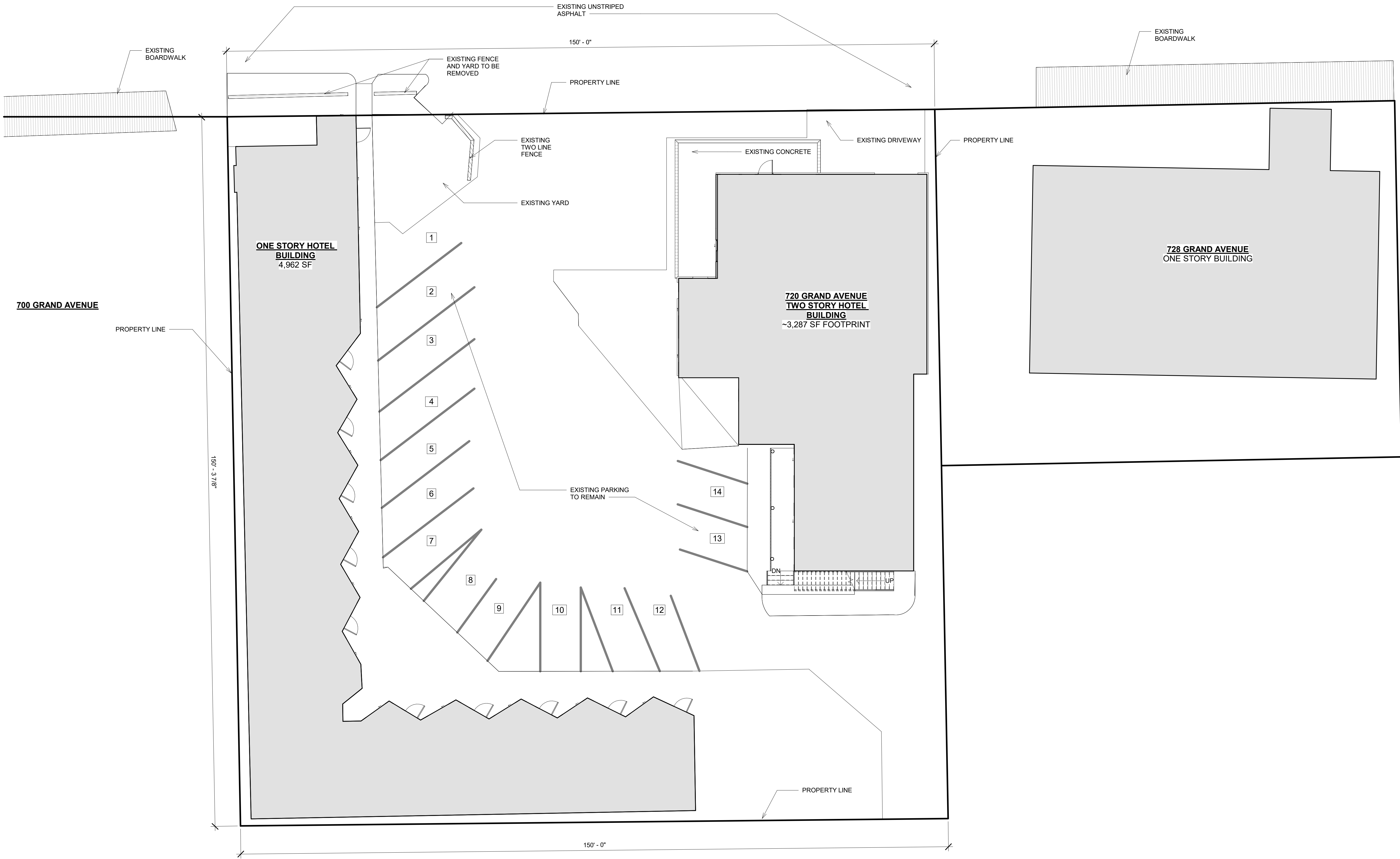
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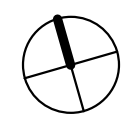
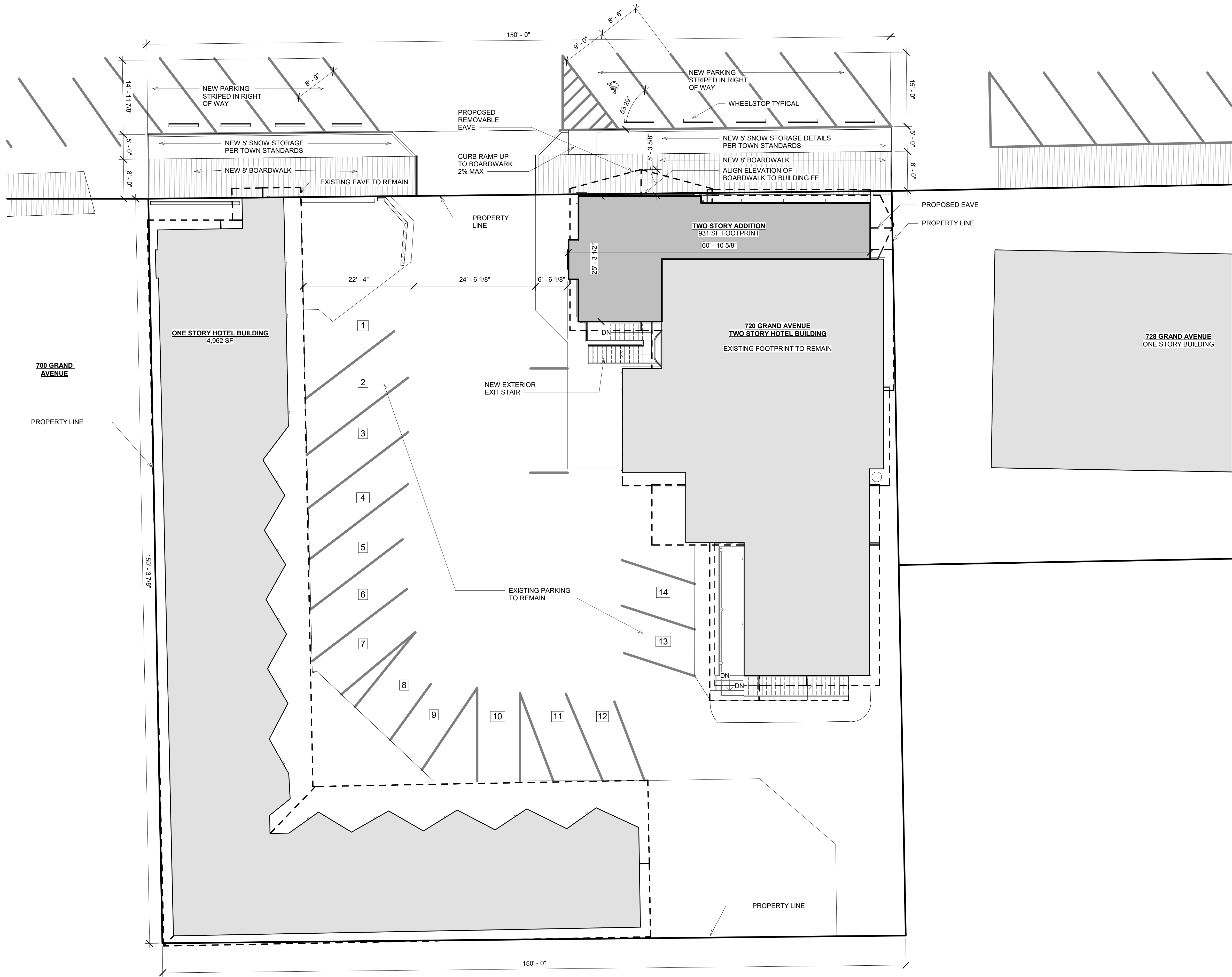
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720 GRAND AVENUE
GRAND LAKE, CO 80447

No	Description	Date

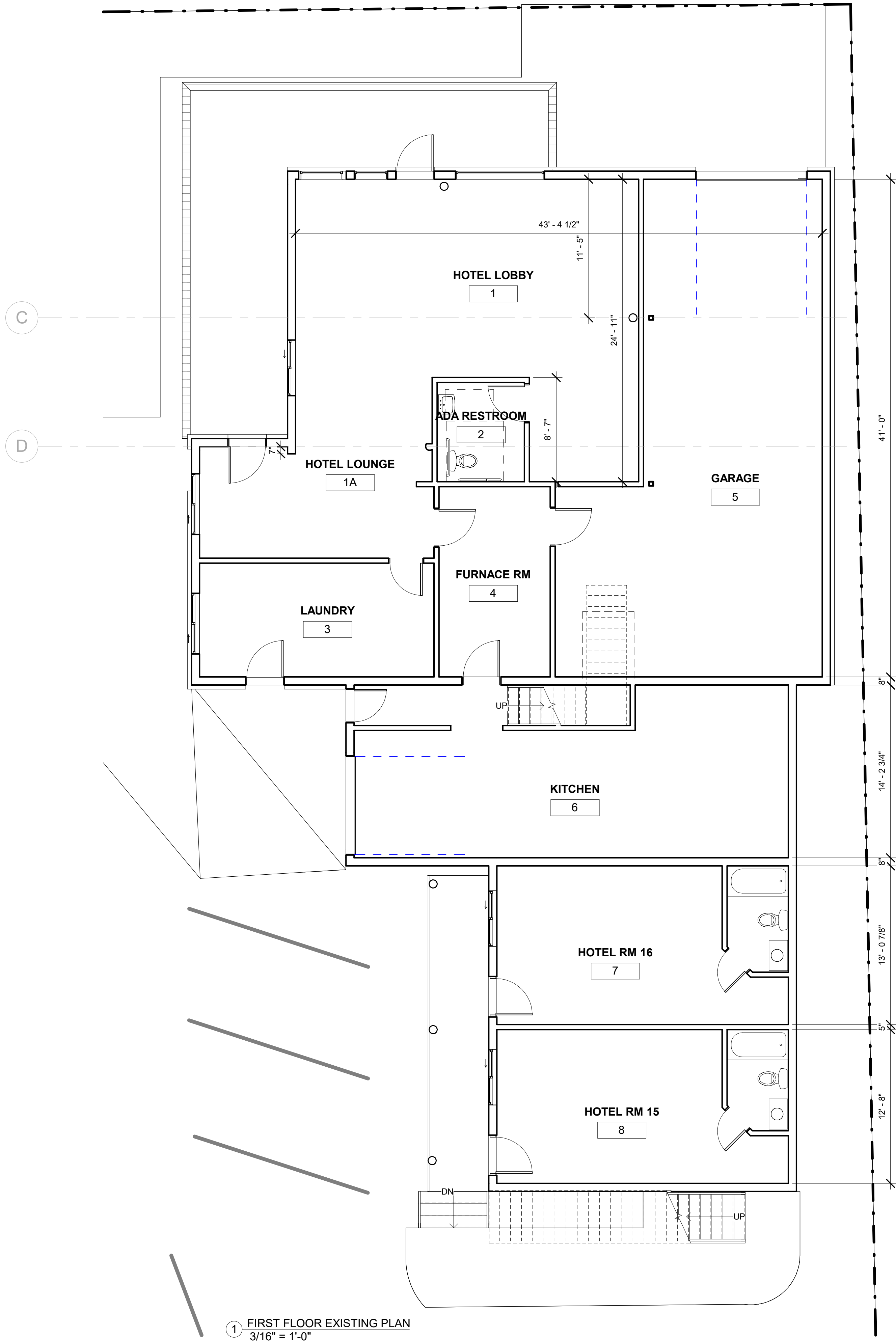


1 SITE PLAN EXISTING
1" = 10'-0"



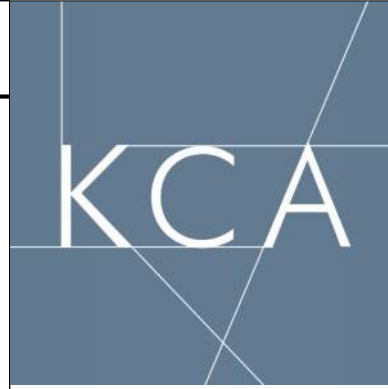
1 SITE PLAN PROPOSED
1" = 10'-0"

No.	Description	Date



PLAN NOTES

1. ALL DIMENSIONS TO FINISH UNO



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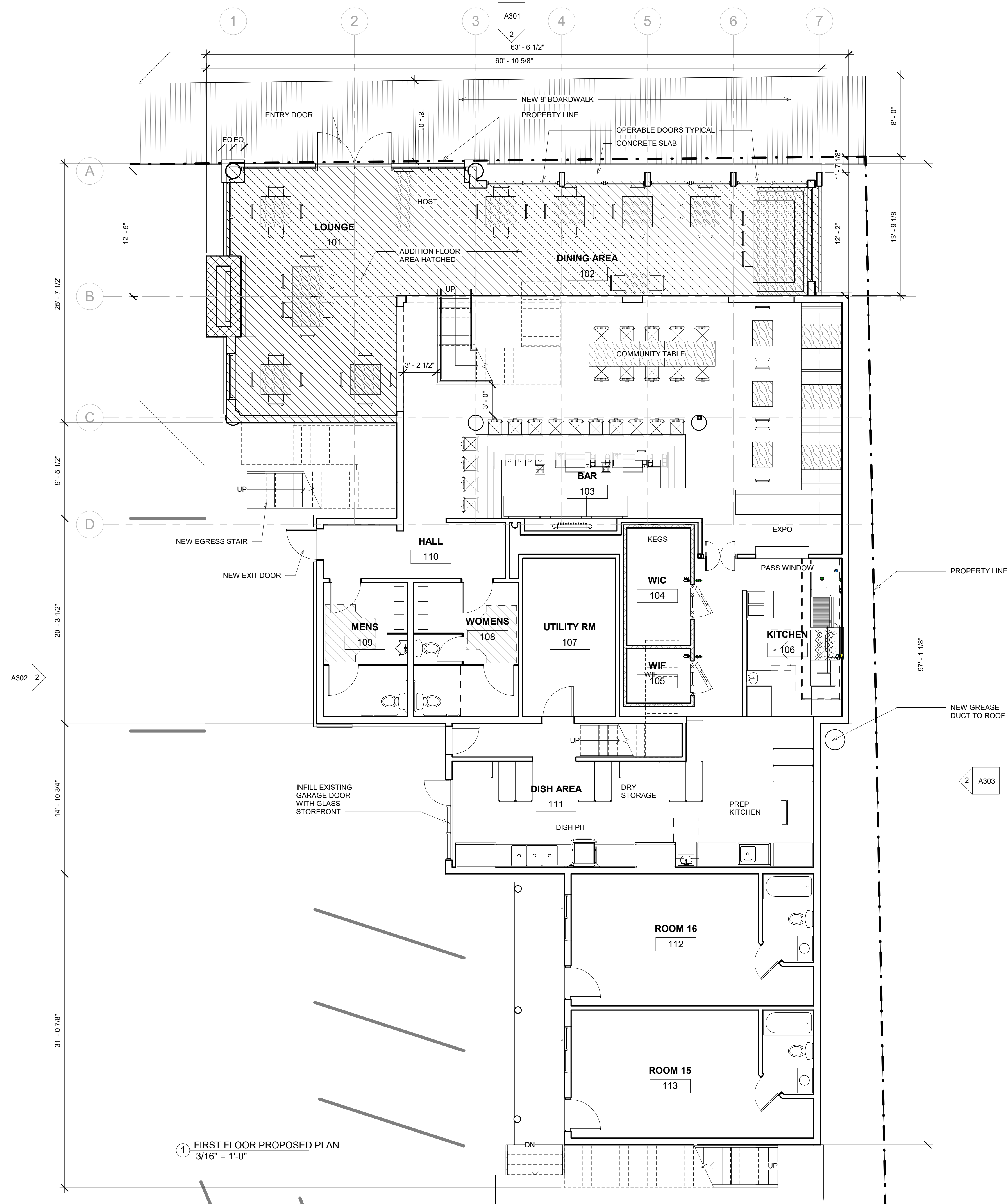
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FIRST FLOOR EXISTING
PLAN

A101



PLAN NOTES

1. ALL DIMENSIONS TO FINISH UNO

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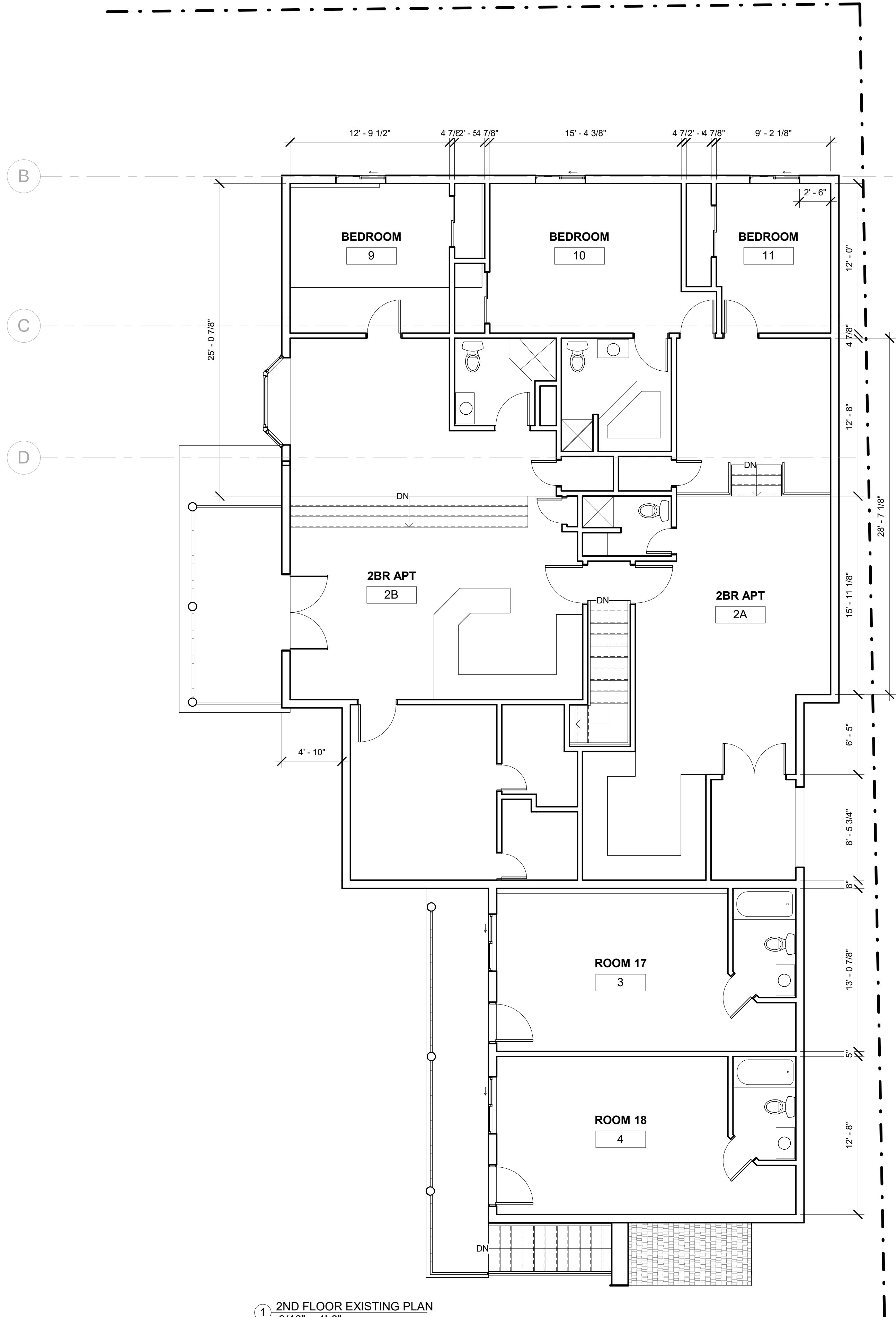
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FIRST FLOOR
PROPOSED PLAN

A102



1 2ND FLOOR EXISTING PLAN
3/16" = 1'-0"

PLAN NOTES

1. ALL DIMENSIONS TO FINISH UNO

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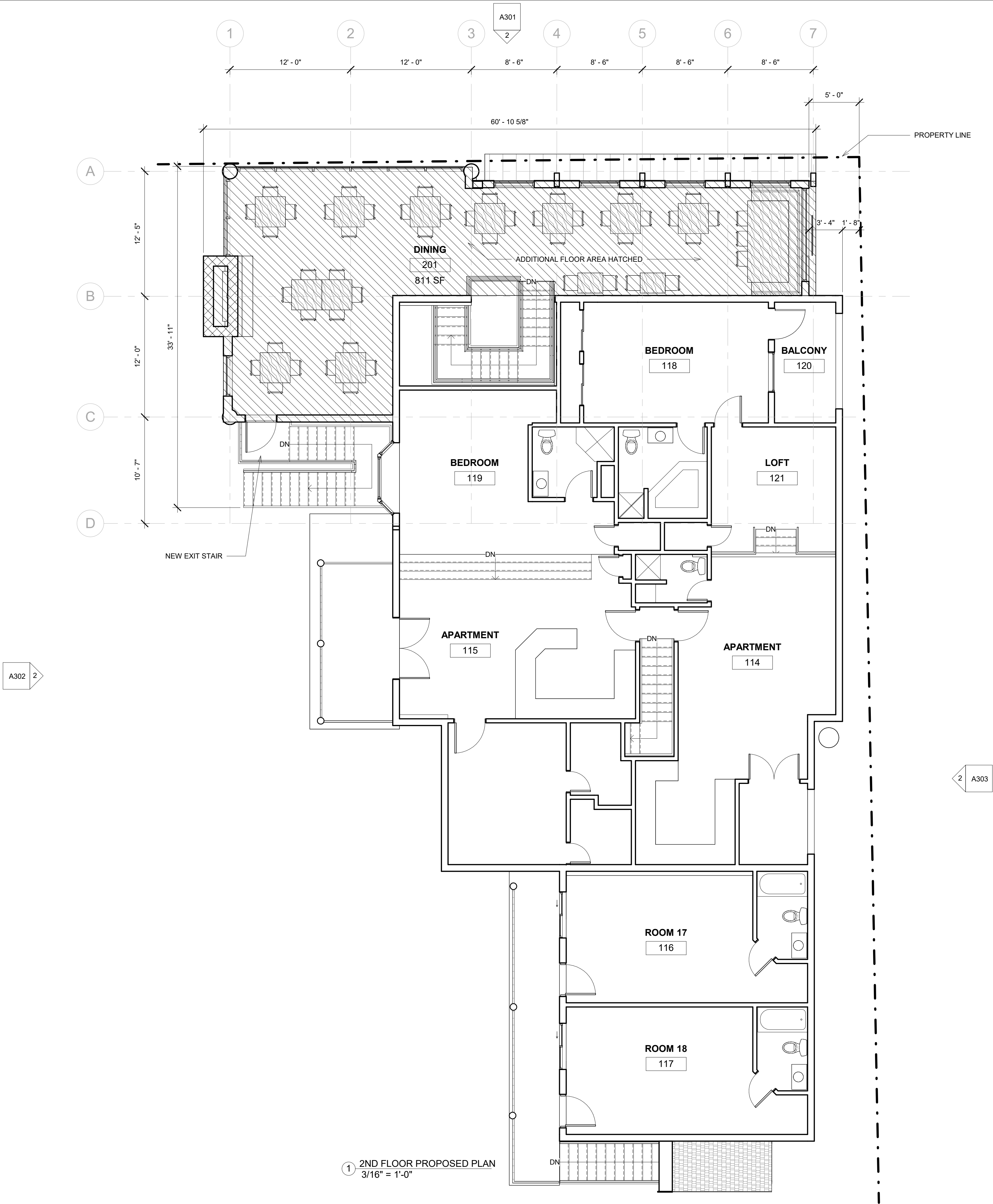
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SECOND FLOOR
EXISTING PLAN

A103

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PLAN NOTES

1. ALL DIMENSIONS TO FINISH UNO



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SECOND FLOOR
PROPOSED PLAN

A104

ELEVATION NOTES

1. **EXISTING BUILDING:** EXISTING WOOD SIDING EXISTING SHALL REMAIN UNCHANGED
2. **EXISTING STONE VENEER:** EXISTING STONE VENEER TO REMAIN UNCHANGED
3. **STONE VENEER ST.1:** NEW VENEER STONE CLADDING
4. **STOREFRONT AL.1:** PROVIDE NEW WALL ASSEMBLY WITH THERMALLY BROKEN ANODIZED ALUMINUM MULLIONS AND INSULATED GLAZING GL1. MULLIONS SHALL BE 2" X 4.5".
5. **BUILDING SIGNAGE:** ALL SIGNS SHOWN ARE FOR GRAPHIC PURPOSES AND NOT INCLUDED IN PERMIT REQUEST. SIGNS TO BE PERMITTED ON A DEFERRED SUBMITTAL BY OTHERS.
6. **FOLDING DOOR:** ALUMINUM AND GLASS FOLDING DOOR FROM LA CANTINA DOOR. PROVIDE FOLDING STYLE DOOR
7. **WOOD TIMBER:** PROVIDE STAINED WOOD TIMBER, FIR WITH EXTERIOR STAIN TO MATCH ARCHITECT'S SAMPLE
8. **STANDING SEAM ROOF:** RED COLOR TO MATCH EXISTING
9. **PAINTED WOOD PT-10:** ROOFTOP UNITS SHOWN BEYOND FOR REFERENCE
10. SCUPPER AND DOWNSPOUT PAINTED TO MATCH STUCCO
11. ALUMINUM CLAD WOOD WINDOW SEE WINDOW SCH



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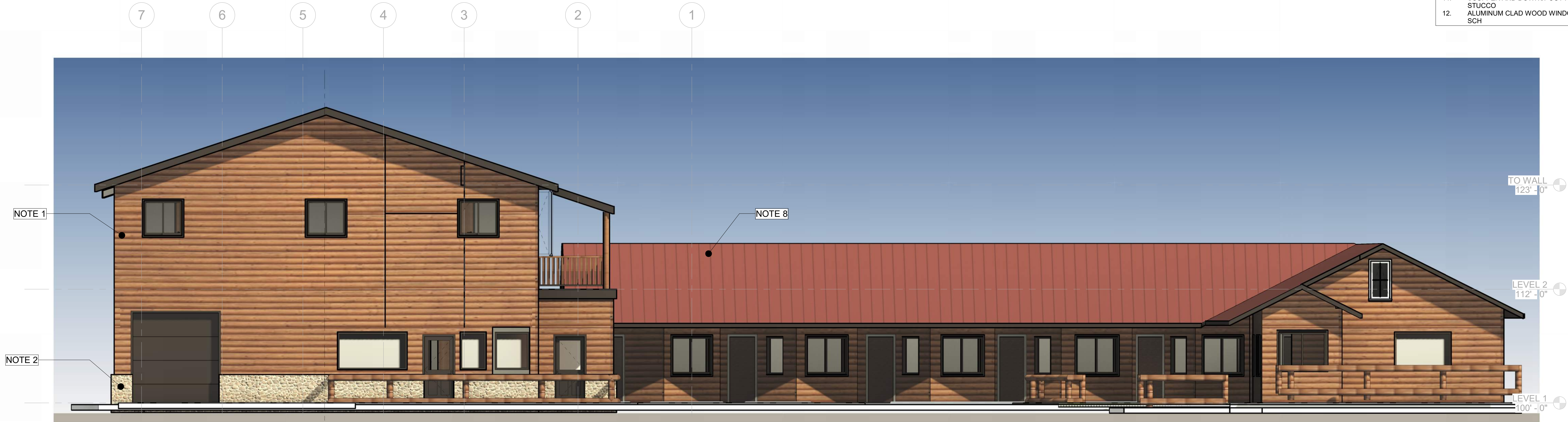
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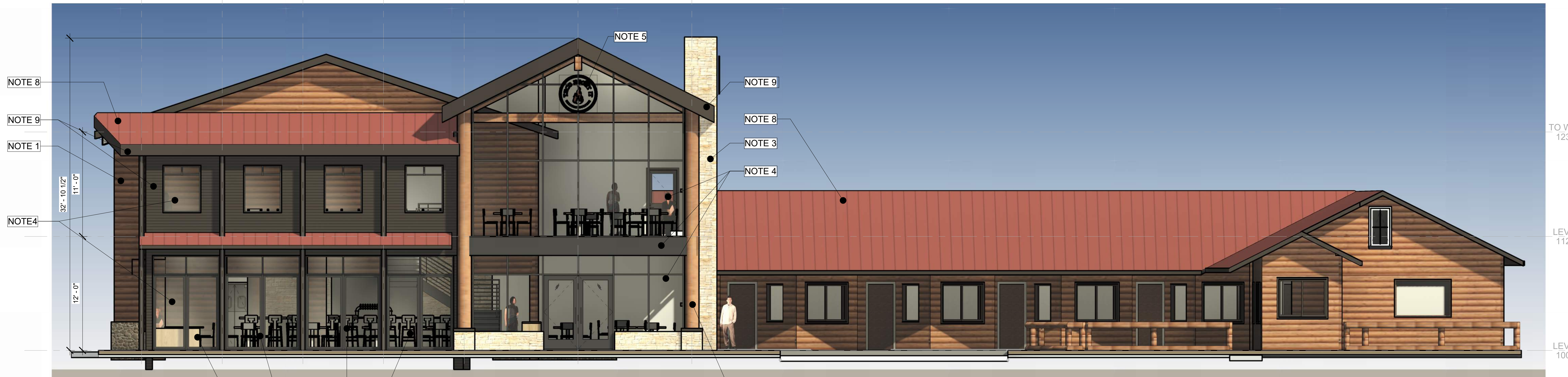
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BUILDING ELEVATIONS

A301



1 NORTH ELEVATION EXISTING
3/16" = 1'-0"



2 NORTH ELEVATION PROPOSED
3/16" = 1'-0"

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1 WEST ELEVATION EXISTING
3/16" = 1'-0"



2 WEST ELEVATION PROPOSED
3/16" = 1'-0"

ELEVATION NOTES

1. **EXISTING BUILDING:** EXISTING WOOD SIDING EXISTING SHALL REMAIN UNCHANGED
2. **EXISTING STONE VENEER:** EXISTING STONE VENEER TO REMAIN UNCHANGED
3. **STONE VENEER ST.1:** NEW VENEER STONE CLADDING
4. **STOREFRONT AL.1:** PROVIDE NEW WALL ASSEMBLY WITH THERMALLY BROKEN ANODIZED ALUMINUM MULLIONS AND INSULATED GLAZING GL1. MULLIONS SHALL BE 2" X 4.5".
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6. **FOLDING DOOR:** ALUMINUM AND GLASS FOLDING DOOR FROM LA CANTINA DOOR. PROVIDE FOLDING STYLE DOOR
7. **WOOD TIMBER:** PROVIDE STAINED WOOD TIMBER, FIR WITH EXTERIOR STAIN TO MATCH ARCHITECT'S SAMPLE
8. **STANDING SEAM ROOF:** RED COLOR TO MATCH EXISTING
9. **PAINTED WOOD PT-10:** ROOFTOP UNITS SHOWN BEYOND FOR REFERENCE
10. SCUPPER AND DOWNSPOUT PAINTED TO MATCH STUCCO
11. STUCCO
12. ALUMINUM CLAD WOOD WINDOW SEE WINDOW SCH

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No.	Description	Date

BUILDING ELEVATIONS

A302



① EAST ELEVATION EXISTING
3/16" = 1'-0"



② EAST ELEVATION PROPOSED
3/16" = 1'-0"

- ELEVATION NOTES
1.

EXISTING BUILDING: EXISTING WOOD SIDING
EXISTING SHALL REMAIN UNCHANGED
2.

EXISTING STONE VENEER: EXISTING STONE
VENEER TO REMAIN UNCHANGED
3.

STONE VENEER ST.1: NEW VENEER STONE
CLADDING
4.

STOREFRONT AL.1: PROVIDE NEW WALL
ASSEMBLY WITH THERMALLY BROKEN ANODIZED
ALUMINUM MULLIONS AND INSULATED GLAZING
GL1. MULLIONS SHALL BE 2" X 4.5".
5.

BUILDING SIGNAGE: ALL SIGNS SHOWN ARE
FOR GRAPHIC PURPOSES AND NOT INCLUDED IN
PERMIT REQUEST. SIGNS TO BE PERMITTED ON A
DEFERRED SUBMITTAL BY OTHERS.
6.

FOLDING DOOR: ALUMINUM AND GLASS
FOLDING DOOR FROM LA CANTINA DOOR.
PROVIDE FOLDING STYLE DOOR
7.

WOOD TIMBER: PROVIDE STAINED WOOD
TIMBER, FIR WITH EXTERIOR STAIN TO MATCH
ARCHITECT'S SAMPLE
8.

STANDING SEAM ROOF: RED COLOR TO MATCH
EXISTING
9.

PAINTED WOOD PT-10
10.

ROOFTOP UNITS SHOWN BEYOND FOR
REFERENCE
11.

SCUPPER AND DOWNSPOUT PAINTED TO MATCH
STUCCO
12.

ALUMINUM CLAD WOOD WINDOW SEE WINDOW
SCH

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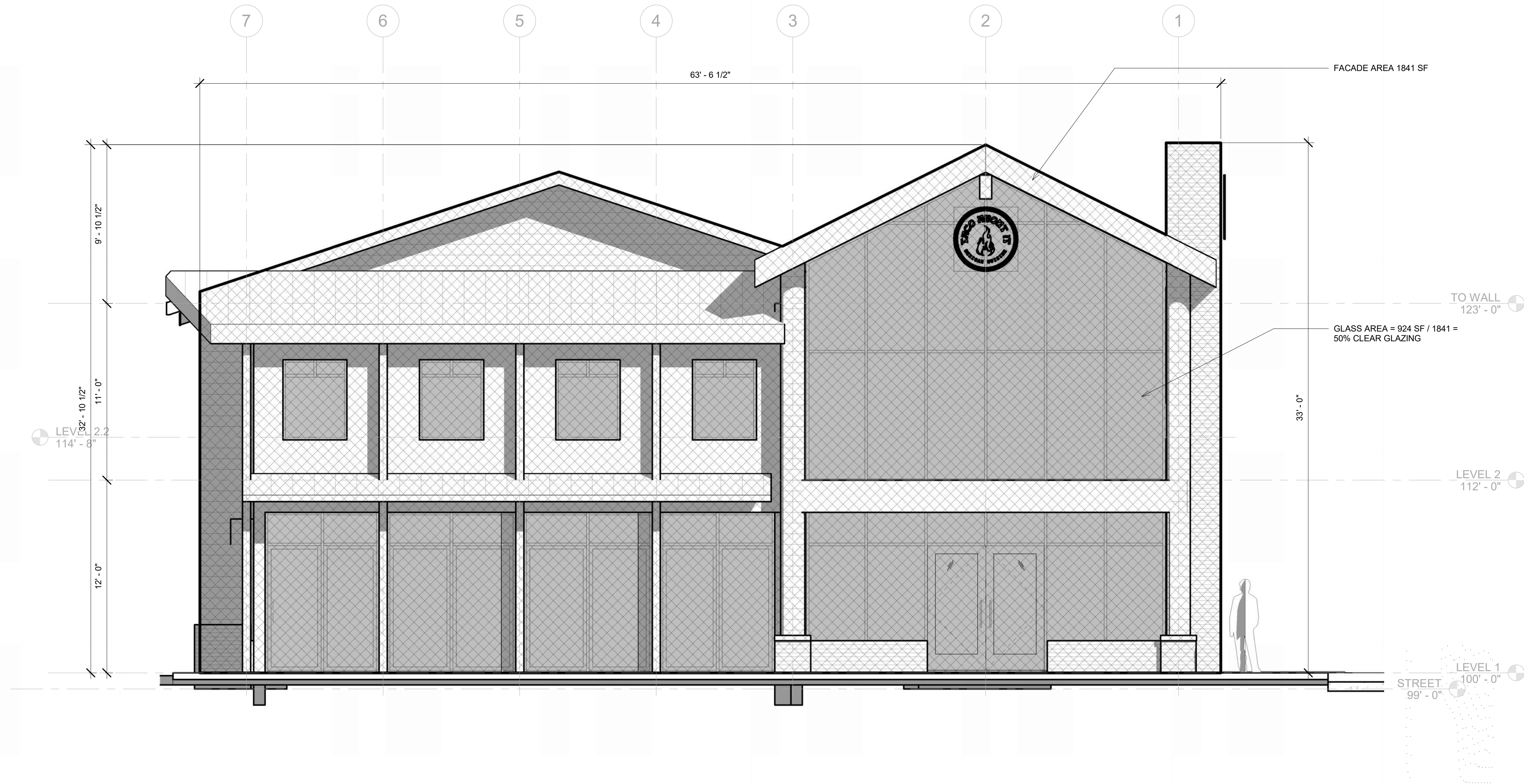
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5-7-25

No.	Description	Date

BUILDING ELEVATIONS

A303



① NORTH ELEVATION PROPOSED BW
1/4" = 1'-0"

ELEVATION NOTES

1. **EXISTING BUILDING:** EXISTING WOOD SIDING EXISTING SHALL REMAIN UNCHANGED
2. **EXISTING STONE VENEER:** EXISTING STONE VENEER TO REMAIN UNCHANGED
3. **STONE VENEER ST.1:** NEW VENEER STONE CLADDING
4. **STOREFRONT AL.1:** PROVIDE NEW WALL ASSEMBLY WITH THERMALLY BROKEN ANODIZED ALUMINUM MULLIONS AND INSULATED GLAZING GL1. MULLIONS SHALL BE 2" X 4.5".
5. **BUILDING SIGNAGE:** ALL SIGNS SHOWN ARE FOR GRAPHIC PURPOSES AND NOT INCLUDED IN PERMIT REQUEST. SIGNS TO BE PERMITTED ON A DEFERRED SUBMITTAL BY OTHERS.
6. **FOLDING DOOR:** ALUMINUM AND GLASS FOLDING DOOR FROM LA CANTINA DOOR. PROVIDE FOLDING STYLE DOOR
7. **WOOD TIMBER:** PROVIDE STAINED WOOD TIMBER, FIR WITH EXTERIOR STAIN TO MATCH ARCHITECT'S SAMPLE
8. **STANDING SEAM ROOF:** RED COLOR TO MATCH EXISTING
9. **PAINTED WOOD:** PT-10
10. ROOFTOP UNITS SHOWN BEYOND FOR REFERENCE
11. SCUPPER AND DOWNSPOUT PAINTED TO MATCH STUCCO
12. ALUMINUM CLAD WOOD WINDOW SEE WINDOW SCH

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TACO ABOUT IT ADDITION

JOSE & VICTOR DE LOS SANTOS
720 GRAND AVENUE
GRAND LAKE, CO 80447

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BUILDING ELEVATIONS

A304

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1. TOWN OF GRAND LAKE WILL PURCHASE ALL BOARD MATERIAL
2. STRINGERS SHALL BE 6 X 6 X16' HEM FIR #2 & BETTER TREATED FOR GROUND CONTACT.
3. DECKING SHALL BE 2 X 6 S4S KILN DRIED CONSTRUCTION COMMON REDWOOD. BOARDS TO PRE-STAINED FACES EDGES AND ENDS WITH TWO COATS OF SEAL ONCE MULTI SEALANT WATERPROOFER OR APPROVED EQUAL. TRIMMED ENDS AND RIPPED EDGES TO BE RE-TREATED.
4. WHERE RIPPED BOARDS ARE REQUIRED, THE RIPPED EDGE OF THE BOARD SHALL BE RADIUS BY MEANS OF SANDING OR ROUTING.
5. DECK BOARDS SHALL BE INSTALLED SQUARE TO STRINGERS WITH A UNIFORM GAP BETWEEN BOARDS AND A MAXIMUM BOARD TO BOARD VERTICAL DISPLACEMENT OF 1/16 INCH.
6. DECK BOARDS TO BE FASTENED AS SHOWN USING SIMPSON STRONG DRIVE SDWS22300DB STRUCTURAL WOOD SCREWS DRIVEN TO 1/16 INCH BELOW THE BOARD SURFACE. PRE-DRILL FOR SCREWS INSTALLED AT BOARD ENDS TO PREVENT SPLITTING.
7. SCREWS SHALL BE INSTALLED TO UNIFORM LINES AT THE LOCATIONS SHOWN.
8. REFER TO CHAPTER 11: MUNICIPAL PROPERTY REGULATIONS ARTICLE 4: BOARDWALKS, SIDEWALKS AND COMMUNITY GREENWAYS SECTION 11-4-6 FOR ADDITIONAL REQUIREMENTS.

EXISTING PHOTOS



PROPOSED FINISHES



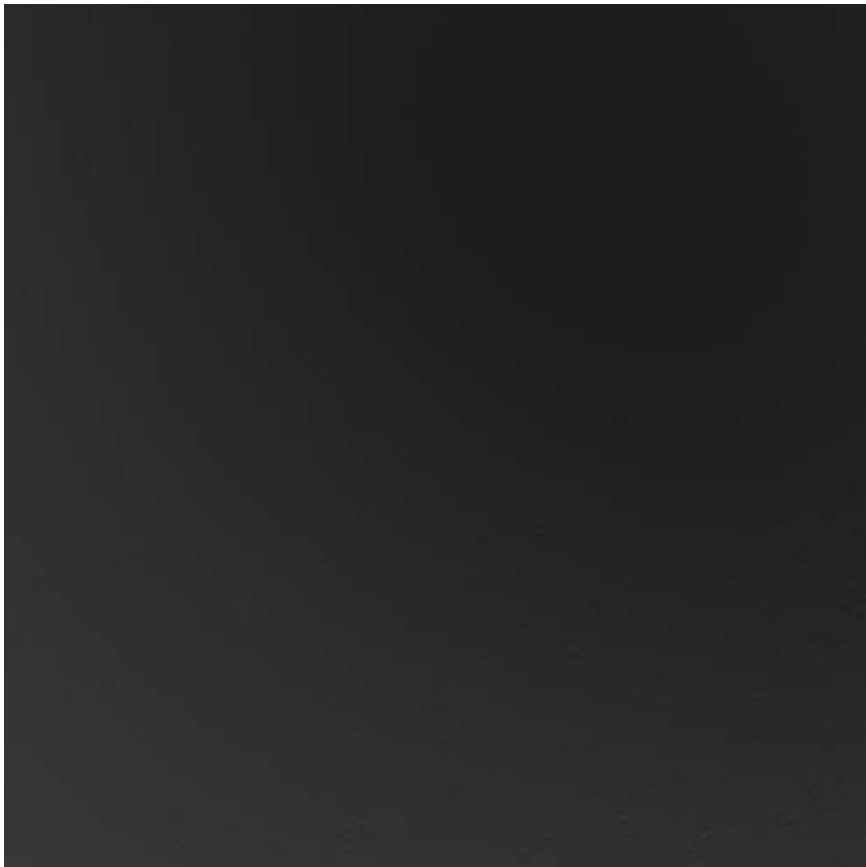
ST.1 SANDSTONE BUFF
RECTANGULAR CUT STONE VENEER



STAINED KNOTTY PINE COLUMNS AND BEAMS



EXISTING WOOD TIMBER SIDING



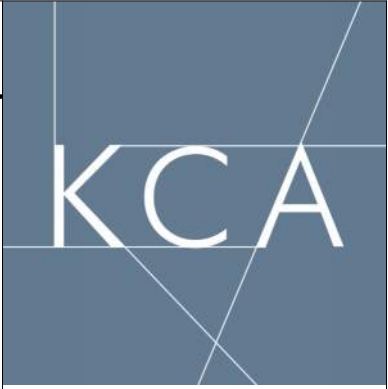
BLACK ANODIZED ALUMINUM WINDOWS



STANDING SEAM ROOF TO MATCH EXISTING



PAINTED 4" WOOD SIDING PT-10



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PHOTOS AND
POPOSED FINISHES

A901