



# STAFF REPORT

## CITY OF GREEN COVE SPRINGS, FLORIDA

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**TO:** Planning and Zoning Commission **MEETING DATE:** April 30, 2024  
**FROM:** Michael Daniels, AICP, Development Services Director  
**SUBJECT:** River Oaks Site Development Plan for property located on the south side of the 800 block of Cooks Lane for approximately 8.88 acres of parcel #016564-002-00.

### PROPERTY DESCRIPTION

**APPLICANT:** Quoc Mai, Mai Engineering Services, Inc. **OWNER:** 1609 South Orange Ave LLC  
William Kreig  
**PROPERTY LOCATION:** 800 Block of Cooks Lane  
**PARCEL NUMBER:** 016564-002-00  
**FILE NUMBER:** SE-23-003  
**CURRENT ZONING:** C-2, General Commercial/M-2 Heavy Industrial  
**FUTURE LAND USE DESIGNATION:** Mixed Use/Industrial

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### SURROUNDING LAND USE

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<b>NORTH:</b>	<b>FLU:</b> Neighborhood <b>Z:</b> R-3, R-2 <b>Use:</b> Apartments/Single Family	<b>SOUTH:</b>	<b>FLU:</b> INDUSTRIAL <b>Z:</b> MUH <b>Use:</b> Undeveloped
<b>EAST:</b>	<b>FLU:</b> Mixed Use <b>Z:</b> C-2 <b>Use:</b> Undeveloped	<b>WEST:</b>	<b>FLU:</b> INDUSTRIAL/Mixed Use <b>Z:</b> M-2/R-3 <b>Use:</b> Industrial / Undeveloped

## BACKGROUND

The property has a split zoning with the northern 2.85 zoned C-2, General Commercial and the southern 6.03 acres do not currently have a zoning district. The property was originally annexed into the City in 2008 as part of the annexation of 68.6 acres of property that would become the Energy Cove Industrial Park.

The property was never given a Future Land Use or Zoning Designation however as part of the Evaluation and Appraisal Report update to the Comprehensive Plan it was given a Future Land Use designation of Mixed Use Highway which was a predominantly industrial land use classification which is consistent all of the Energy Cove Industrial Park. As part of the Comprehensive Plan update in 2022, the future land use for this parcel was changed to Industrial. A zoning for this property was never provided and as a result, in order for the project to be developed, the property needs to secure a zoning designation, which has been applied for under a separate agenda item.

The property is a portion of parcel # 016564-002-00 which has access on Green Cove Avenue.

On January 23, 2024, the portion of parcel #016564-002-00 consisting of approximately 2.85 acres that is adjacent was approved for a special exception by the Planning and Zoning Commission subject to the property being rezoned and in compliance with the following conditions:

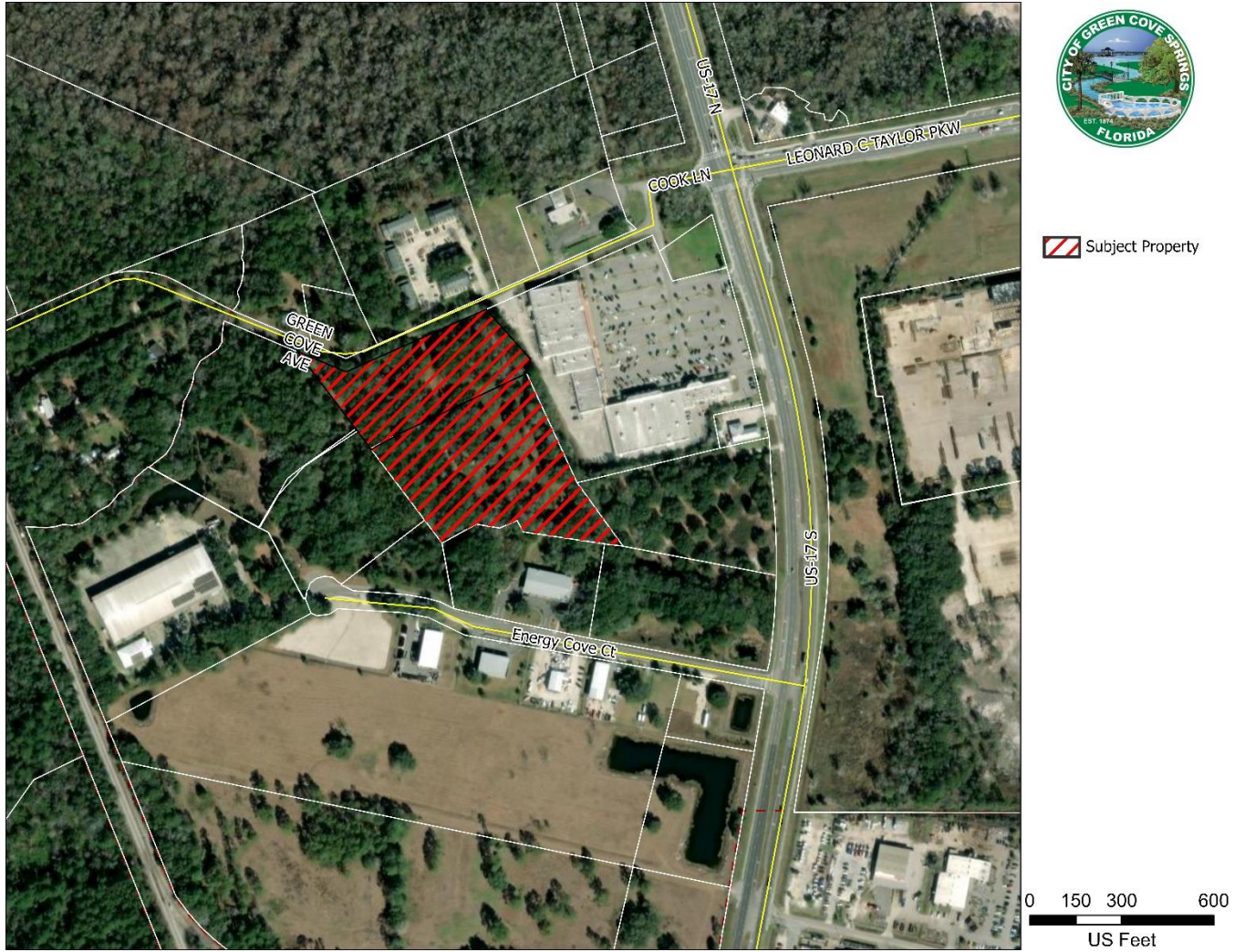
1. Provide a 40' landscape buffer consisting of landscaping as required by City LDC Sec. 113-244(d)(3).
2. Provide signage to limit truck traffic to ingress and egress from US 17 by requiring access limitation.
3. All outdoor storage must be completely screened from public view.
4. Buildings fronting Cooks Lane shall have a brick façade.
5. Signal timing improvements as set forth in the Traffic Study Report shall be implemented prior to development approval.
6. Additional Right of Way as shown on the attached draft site plan shall be dedicated to the City prior to development approval.

A copy of the approval letter, traffic study and renderings from the special exception are enclosed.

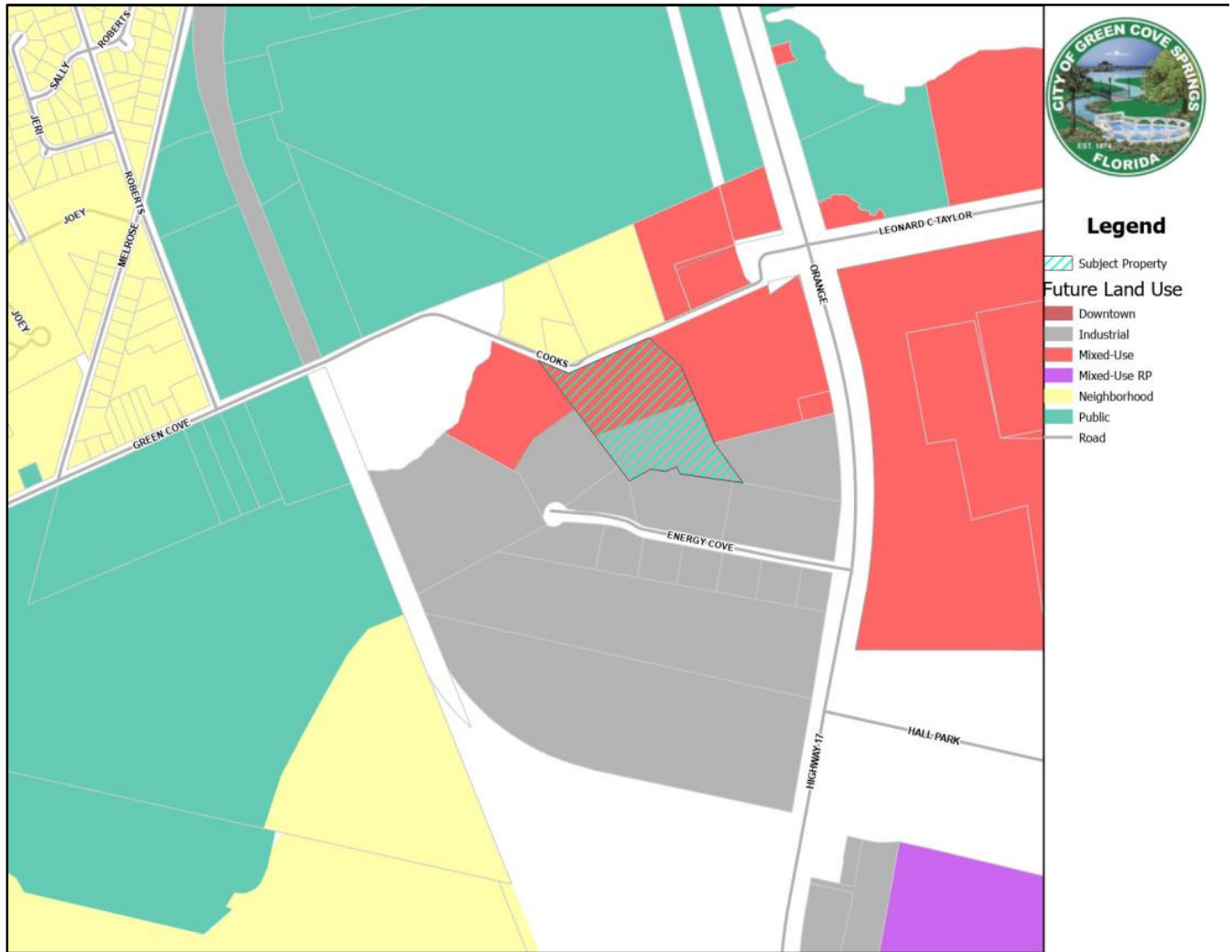
## PROPERTY DESCRIPTION

The property is located within Energy Cove and has approximately 625' of frontage on Cooks Lane. The property is heavily wooded with a mixture of hardwood and pine trees.

Figure 1. Aerial Map



**Figure 2. Future Land Use**



**Figure 3. Zoning**



**DEVELOPMENT DESCRIPTION**

The applicant has submitted a site development plan for 4 warehouse/special trades contractors buildings totaling 76,000 square feet—51,000 square feet of warehousing and 25,000 square feet of office.

**PARKING, LOADING, & STACKING**

The plan shows 169 onsite parking spaces and 9 handicapped spaces. City Parking requirements require 114 parking spaces.

**DRAINAGE RETENTION**

A drainage retention plan has been provided showing that a drainage retention system will drain to a proposed retention pond onsite. within Energy Cove Court. In addition, the applicant is required to secure a stormwater permit from the St Johns River Water Management District prior to moving forward with project development. The drainage plan will be designed to ensure that no additional runoff is sent to adjacent properties.

**TRAFFIC AND ACCESS**

The plan shows one vehicular access point on Cooks Lane.

Pursuant to the attached traffic study, the project will generate 176 total trips and 33 pm peak hour trips. Pursuant to the attached traffic study, they are showing failures of several turning

movements at the intersection of US 17 and SR 16. However, with signal timing adjustments the intersection can operate at an acceptable Level of Service. These trip thresholds are typically below the requirements required for a traffic study. In addition, the applicant shall be required to pay mobility fees as part of the building permit approval process.

Truck traffic is limited to ingress and egress off from Cooks Lane east to US 17. pursuant to the 5-ton weight limit to the west of the site on Cooks Lane. As part of the approved Special Exception, the signal timing adjustments identified in the traffic intersection analysis shall be provided in order to ensure an adequate level of service at the intersection of US 17 and SR 16 prior to project completion.

**LANDSCAPE AND SCREENING REQUIREMENTS**

The current landscape plan is showing that 1390 inches of trees being removed and 1135 inches of trees being credit as being saved with an additional 468 inches of trees being planted in order which is in compliance with the City’s tree requirements.

In addition to the site plan requirements for tree planting, the applicant is required to have 40’ landscape buffer along Cooks Lane with the following landscape buffer meeting the requirements set forth in Sec. 113-244(d)(3).

- 1 canopy tree a minimum of every 50’ lineal feet,
- 2 understory trees every 50’ lineal feet
- A continuous hedge row.

**PUBLIC FACILITIES IMPACT**

Potable Water Impacts

<b>System Category</b>	<b>Gallons Per Day (GPD)</b>
Current Permitted Capacity <sup>1</sup>	4,200,000
Less actual Potable Water Flows <sup>1</sup>	1,013,000
<b>Residual Capacity<sup>1</sup></b>	<b>3,187,000</b>
Projected Potable Water Demand from Proposed Project <sup>2</sup>	10,034
<b>Residual Capacity after Proposed Project</b>	<b>3,176,966</b>

1. Source: City of Green Cove Springs Public Works Department

2. Source: City of Green Cove Springs Comprehensive Plan. Formula Used: .11 gallons per 1,000 sq ft.

### Sanitary Sewer Impacts – South Plant WWTP

System Category	Gallons Per Day (GPD)
Current Permitted Capacity <sup>1</sup>	350,000
Current Loading <sup>1</sup>	264,000
Committed Loading <sup>1</sup>	62,000
Residual Capacity <sup>1</sup>	46,000
Percentage of Permitted Design Capacity Utilized <sup>1</sup>	103%
Projected Sewer Demand from Proposed Project <sup>2</sup>	8,360
<b>Residual Capacity after Proposed Project</b>	<b>37,640</b>

1. Source: City of Green Cove Springs Public Works Department

2. Source: City of Green Cove Springs Comprehensive Plan. Formula Used: .11 gallons per 1,000 square feet

**Conclusion:** The project site is served by the South Plant Wastewater Treatment Plant (WWTP). As shown in the table above, when factoring in the current loading and the committed loading, this WWTP has the capacity to handle the estimated impacts resulting from the proposed application. When the committed flows for the Rookery are going to be served by Clay County utility Authority there will be adequate capacity for this project.

### Solid Waste Impacts

**Conclusion:** The City of Green Cove Springs does not provide solid waste for nonresidential users. Private providers subject to the franchise requirements set forth in Sec 66-10 of the City Code.

## STAFF COMMENTS

This property is part of the Energy Cove Industrial Park. The surrounding uses within the Park are industrial uses. However, this property borders existing and proposed residential uses to the north and west. In order to make this use compatible additional conditions have been placed on the property to ensure that the look and function of the property is compatible with the surrounding area. These include a landscape buffer, traffic improvements, right-of-way dedication, building material requirements to address compatibility with the surrounding area.

Attachments include:

1. Site Plan
2. Property Rendering
3. Traffic Study
4. Application
5. Site Plan Deficiency Report

## STAFF RECOMMENDATION

### RECOMMENDED MOTION:

Motion to recommend approval to City Council of the River Oaks Site Development Plan subject to addressing the outstanding staff comments that are provided with the 4/17/2024 deficiency notice.