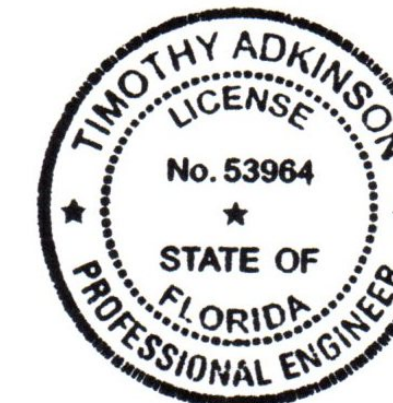


# LIFELINE LANDING

0 KIRK SREET

SECTION 38, TOWNSHIP 6 SOUTH, RANGE 26 EAST  
 NORTHWEST OF HARRING ST & KIRK ST, GREEN COVES SPRINGS, FL 32043  
 CLAY COUNTY, FLORIDA



Digitally signed by Timothy Adkinson  
 DN: C=US, O=Florida, dnQualifier=A01410C00000182  
 FA1052FA00045AAA, CN=Timothy L Adkinson  
 Reason: I am the author of this document  
 Location: This item has been digitally signed and sealed by Timothy L. Adkinson on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.  
 Date: 2024-02-14 10:18:54  
 Foxit PhantomPDF Version: 9.9.0

**ADKINSON ENGINEERING**  
 6550 ST. AUGUSTINE ROAD, SUITE 203  
 JACKSONVILLE, FLORIDA 32217  
 PHONE (904) 881-4206  
 LICENSE NUMBER 28982

LOCATION MAP



Sheet List Table	
Sheet Number	Sheet Title
GN-000	COVER SHEET
GN-001	GENERAL NOTES
C-001	EXISTING CONDITIONS
C-002	PRE DEVELOPMENT DRAINAGE MAP
C-003	POST DEVELOPMENT DRAINAGE MAP
C-100	GENERAL SITE PLAN
C-200	PAVING GRADING AND DRAINAGE PLAN
C-300	UTILITY PLAN
C-301	ELECTRICAL EXHIBIT

LIFELINE LANDING

NO.	DATE	REVISION DESCRIPTION
1	01/09/2024	REVISED PER CITY OF GREEN COVE SPRINGS COMMENTS

FOR:  
 OPERATION LIFELINE INC.  
 107 BROADLEAF LANE  
 SAINT JOHNS, FL 32259  
 (904) 404-9977

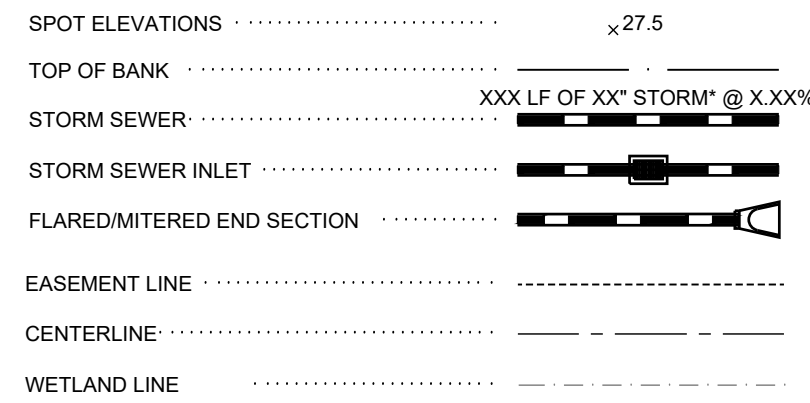
BY:  
**ADKINSON ENGINEERING**  
 6550 ST. AUGUSTINE RD., SUITE 203  
 LICENSE #28982  
 JACKSONVILLE, FL 32217  
 (904) 881-4206

GENERAL	
Property Appraiser Number (RE #)	38-06-26-018373-001-00
Zoning Designation	R-2
Zoning Application(s) (if any)	
PUD Ordinance Number	
FIRM – Community – Panel	12019C0277E
Flood Zones (Show in Plans)	AE, X
Base Flood Elev. (Show in Plans)	
Vertical Datum Used for Project	NAVD 88

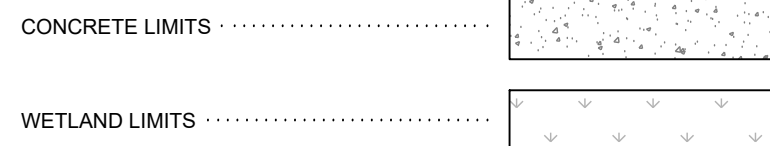
COVER SHEET

JOB NO.	JOB 2316
DATE	January 23, 2024
SCALE	AS SHOWN
SHEET	GN-000

**PROPOSED LEGEND**



**HATCH DESCRIPTION**



**GENERAL NOTES**

- CLAY COUNTY ENGINEERING DIVISION REQUIRES TWENTY-FOUR HOURS (24-HR) NOTICE ON ALL MEETINGS AND OR TESTING PROCEDURES.
- CONSTRUCTION WARNING SIGNS ARE TO BE POST MOUNTED AND ERECTED BEFORE CONSTRUCTION CAN COMMENCE. THESE AND ALL TRAFFIC CONTROL DEVICES SHALL FOLLOW THE STANDARDS SET FORTH BY THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND DETAILS.
- ALL CONSTRUCTION PROJECTS 1 ACRE OR MORE IN SIZE SHALL BE REQUIRED TO ABIDE BY THE PROVISIONS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION (NPDES) PERMIT. THE OWNER OR CONTRACTOR IS RESPONSIBLE FOR PREPARING THE STORM-WATER POLLUTION PREVENTION PLAN (SWPPP) AND SUBMITTING THE NPDES "NOTICE OF INTENT" (NOI) AND "NOTICE OF TERMINATION" (NOT) TO THE EPA OR LOCAL STATE AGENCY HAVING JURISDICTION OVER THE NPDES PROGRAM. THE CONTRACTOR SHALL KEEP ONSITE COPIES OF THE SWPPP, NOI, AND WATER MANAGEMENT DISTRICT PERMITS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO RECOGNIZE AND ABIDE BY ALL OSHA SAFETY STANDARDS.
- ALL DISTURBED CLAY COUNTY RIGHT-OF-WAY SHALL BE SODDED TO THE DISCRETION AND APPROVAL OF THE CLAY COUNTY ENGINEERING DIVISION.
- THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO EXCAVATION AND TAKE ALL MEASURES NECESSARY TO PROTECT UTILITIES DURING CONSTRUCTION. SHOULD ANY UTILITY LINE OR COMPONENT BECOME DAMAGED OR REQUIRE RELOCATION THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE RESPONSIBLE UTILITY COMPANY, THE ENGINEER, AND CLAY COUNTY. CALL BEFORE YOU DIG 1-800-432-4770 & 904-269-6359
  - CALL 800-432-4770 TWO FULL BUSINESS DAYS BEFORE DIGGING. CALL 10 DAYS BEFORE DIGGING WHEN DIGGING UNDER WATER.
  - CALL 904-284-6335 (CLAY COUNTY SIGNAL & MAINTENANCE DIVISION) TWO FULL BUSINESS DAYS BEFORE DIGGING - WAIT THE REQUIRED TIME FOR BURIED UTILITIES TO BE LOCATED AND MARKED.
  - PROTECT THE MARKS DURING YOUR PROJECT. IF MARKS ARE DESTROYED, CALL AGAIN.
  - DIG SAFELY, USING EXTREME CAUTION WHEN DIGGING WITHIN 24 INCHES ON EITHER SIDE OF THE MARKS TO AVOID HITTING THE BURIED UTILITY LINES.
- BEFORE WORKING IN EXISTING CLAY COUNTY RIGHT-OF-WAY, THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN A RIGHT-OF-WAY PERMIT.
- A COPY OF THE CONTRACTORS' GENERAL LICENSE AND THE UNDER GROUND UTILITY LICENSE SHALL BE PROVIDED AT THE TIME OF THE PRE-CONSTRUCTION CONFERENCE.
- THERE SHALL BE A MINIMUM FIVE (5) DAYS NOTICE GIVEN FOR SCHEDULING THE FINAL INSPECTION.
- AT THE FINAL INSPECTION A LETTER OF COMPLIANCE WILL NEED TO BE FILLED OUT AND SIGNED BY THE STATE OF FLORIDA REGISTERED PROFESSIONAL ENGINEER OF RECORD FOR THE PROJECT. THE LETTER SHALL STATE THAT THE PROJECT HAS BEEN BUILT IN ACCORDANCE OF THE APPROVED DESIGN PLANS AND OTHER AGENCY PERMITS.
- ALL SOIL AND DEBRIS TRACKED OUT OF THE PROJECT SHALL BE CLEANED IN ACCORDANCE WITH THE APPROVED SWPPP OR AT THE DISCRETION OF THE CLAY COUNTY ENGINEERING DIVISION.
- PRIOR TO ANY INSPECTION OR TESTING, ALL PIPE LINE, STRUCTURES, ROADWAY, ETC. SHALL BE CLEANED.
- ELEVATIONS SHOWN ARE NAVD 88.

**EROSION CONTROL**

- THE GOVERNING PUBLICATIONS FOR EROSION CONTROL ARE CURRENT FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS, INDEX 100-105, CURRENT FDOT STD. SPEC. FOR ROADWAY & BRIDGE CONST., SECTION 104, AND THE NPDES STORM-WATER AND EROSION CONTROL MANUAL LATEST EDITION.
- THE CONTRACTOR SHALL CHECK EACH DAY TO INSURE THAT ALL EROSION CONTROL DEVICES ARE IN PLACE AND WORKING PROPERLY.
- ALL EROSION CONTROL MEASURES SHALL BE IN COMPLIANCE WITH THE RULES, REGULATIONS AND STANDARDS OF THE SAINT JOHNS RIVER WATER MANAGEMENT DISTRICT, THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, AND THE UNITED STATES ARMY CORP OF ENGINEERS AND CLAY COUNTY REGULATIONS AND ORDINANCES.
- THE CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO PREVENT THE EROSION OF SOIL AND

- DEPOSITION OF SEDIMENT ON ADJACENT AND DOWNSTREAM PROPERTIES.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION. SEDIMENT CONTROL CONSISTS OF SILT FENCING, HAY BALES, AND FLOATING TURBIDITY BARRIERS PER FDOT INDEX NO. 102 & 103. EROSION CONTROL CONSISTS OF SEEDING AND MULCHING, SODDING, WETTING SURFACES, PLACEMENT OF COARSE AGGREGATE, TEMPORARY PAVING.
  - THE CONTRACTOR SHALL RESPOND TO EROSION AND SEDIMENT CONTROL MAINTENANCE WITHIN 24-HOURS OF BEING INFORMED BY CLAY COUNTY, UNLESS THE SITUATION REQUIRES AN IMMEDIATE RESPONSE. THE CONTRACTOR WILL THEN RESPOND IMMEDIATELY AFTER NOTIFICATION BY CLAY COUNTY. THE CONTRACTOR'S EROSION CONTROL INSPECTOR SHALL BE A QUALIFIED STORM WATER MANAGEMENT INSPECTOR BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION. THE CONTRACTOR SHALL BE REQUIRED TO INCORPORATE PERMANENT EROSION CONTROL MEASURES AT THE EARLIEST PRACTICAL TIME SO AS TO MINIMIZE THE NEED FOR TEMPORARY CONTROLS.
  - THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE MINIMUM REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL EROSION CONTROL MEASURES AS DETERMINED BY CLAY COUNTY OR THE CONTRACTOR TO INSURE QUALITY CONTROL.
  - ALL DISTURBED AREAS SHALL BE GRASSED WITHIN 7 DAYS OF THE INITIAL DISTURBANCE. TYPES OF GRASSING SHALL BE AS FOLLOWS: SODDING IS REQUIRED AROUND ALL DRAINAGE STRUCTURES, RETENTION/DETENTION AREAS, SWALES, DITCHES, AND WHERE 4:1 SLOPES ARE EXCEEDED. SEED AND MULCH MAY BE USED AT ALL OTHER LOCATIONS UNLESS SPECIFICALLY CALLED OUT FOR ON THESE DRAWINGS. THERE SHALL BE A STANDING ROW OF GRASS AT THE TIME OF FINAL ACCEPTANCE. IF SEED AND MULCH HAS BEEN USED AND HAS NOT TAKEN, SOD WILL BE REQUIRED FOR ESTABLISHED GRASS.
  - THE CONTRACTOR SHALL INSPECT AND REPORT EROSION AND SEDIMENT CONTROL METHODS EVERY WEEK AND AFTER 1/4 INCH OF RAIN DURING CONSTRUCTION. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT BUILD UP, REPAIR OR REINSTALL ANY CONTROL MEASURES.

**GENERAL AS-BUILT**

- SUBMIT TWO (2) SIGNED AND SEALED SETS OF PRINTS AND ONE DIGITAL COPY (AUTO CAD FORMAT; PLEASE DO NOT USE REFERENCE FILES) WITH THE DESIGN INFORMATION (ELEVATIONS, PIPE LENGTHS, STATIONING, ETC.) LINED THROUGH AND THE AS-BUILT INFORMATION PLACED ADJACENT TO IT.
 

NOTE: THE FIRM OR LICENSED SURVEYOR SHALL USE THE ORIGINAL PAVING AND DRAINAGE SHEET(S) SPECIFICALLY FOR AS-BUILT INFORMATION. THE DRAWING(S) ARE TO BE ON 24" X 36" SHEET(S) AND CONTAIN THE FOLLOWING IN ADDITION TO THE AS-BUILT INFORMATION:

  - PROJECT NAME AS IT APPEARS ON THE PLAT
  - PROJECT/DEVELOPMENT NUMBER
  - STREET NAMES
  - PHYSICAL SITE ADDRESS IN THE TITLE BLOCK
  - LINE THROUGH DESIGN INFORMATION FOR ALL AS-BUILT INFORMATION PROVIDED
  - NORTH ARROW AND SCALE
  - SHOW AND LABEL ALL SURVEY-LINES USED FOR LOCATIONS
- THE WORDS "AS-BUILT" IN AT LEAST ONE-INCH HIGH LETTERS
- MATERIALS CERTIFICATION STATEMENT SIGNED BY THE CONTRACTOR
- SIGNED ENGINEER'S CERTIFICATION STATEMENT
- INFORMATION PERTAINING TO BENCHMARK(S) (LOCATION, ELEVATION, AND REFERENCE TYPE)
- SHOW STATE PLANE COORDINATE (NAD 83) REFERENCES ON AT LEAST FOUR (4) BOUNDARY CORNERS (ONE POSITION, TO BE KNOWN AS THE "NORTHING," SHALL GIVE THE POSITION IN A NORTH AND SOUTH DIRECTION; THE OTHER, TO BE KNOWN AS THE "EASTING," SHALL GIVE THE POSITION IN AN EAST AND WEST DIRECTION, REF. F.S CH. 177.151) FOR PLATS AND AS-BUILTS.
- PERMANENT BENCHMARKS ARE TO BE SITUATED AS TO FACILITATE LOT GRADING (I.E. TOP OF METAL CURB HOODS, MANHOLE RIMS, ETC.). AT LEAST TWO (2) PERMANENT BENCHMARKS SHALL BE ESTABLISHED WITHIN A SUBDIVISION OR IN EACH PHASE OF A SUBDIVISION AND LOCATED SO THAT NO LOT IS MORE THAN ONE THOUSAND FEET (1,000') FROM A BENCHMARK. PLEASE REFERENCE EACH BENCHMARK BY STATION.

**WATER AND SANITARY NOTES**

- SANITARY SEWERS OR STORM SEWER CROSSING UNDER WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN OUTSIDE OF PIPE TO OUTSIDE OF PIPE. CROSSINGS SHALL BE CONSTRUCTED SO THAT THE SEWER JOINTS AND WATER JOINTS WILL BE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN 10 FEET BETWEEN ANY TWO JOINTS, WHERE THE MINIMUM 18 INCH SEPARATION CANNOT BE MAINTAINED, THE SEWER SHALL BE PLACED IN A SLEEVE FOR 20 FEET CENTERED ON THE POINT OF CROSSING.
- SANITARY SEWERS OR STORM SEWERS SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAINS. THE DISTANCE SHALL BE MEASURED FROM EDGE TO EDGE. IN CASES WHERE IT IS NOT PRACTICAL TO MAINTAIN A 10 FOOT SEPARATION, THE WATER MAIN SHALL BE INSTALLED IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER AND AT AN ELEVATION SO THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, AND THE WATER AND SEWER JOINTS SHALL BE STAGGERED.
- ALL SEWER AND WATER SERVICE LATERALS ARE TO BE MARKED WITH PAINT ON THE EDGE OF PAVEMENT AND WITH WOOD STAKES AT THE END OF SERVICE LATERALS (BLUE PAINT FOR WATER, GREEN PAINT FOR SEWER).
- CONFLICTS OF WATER LINES WITH SANITARY SEWER AND STORM SEWER SYSTEMS TO BE RESOLVED BY ADJUSTING WATER LINES AS NECESSARY.
- WATER LINES AND SANITARY FORCE MAINS ARE TO HAVE A MINIMUM OF 5-FEET OF COVER FROM PROPOSED GRADE.
- THE CONTRACTOR SHALL PROVIDE ALL FITTINGS REQUIRED FOR COMPLETE SYSTEMS IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICE.
- THE LOCATION OF EXISTING UTILITIES ARE APPROXIMATE AS SHOWN AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF THE UTILITIES PRIOR TO CONSTRUCTION IN THEIR VICINITY.
- THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES IN THE AREA BEFORE BEGINNING CONSTRUCTION.
- ALL UNDERGROUND UTILITIES MUST BE INSTALLED BEFORE BASE & SURFACE ARE CONSTRUCTED.
- SPECIAL CARE IS TO BE TAKEN SO TREES THAT ARE TO REMAIN ARE UNHARMED DURING CONSTRUCTION.
- ALL WATER MAINS ARE TO BE PVC OR AS NOTED ON PLANS. PIPE SIZES FROM 4" TO 12" SHALL CONFORM TO AWWA C-900 SPECIFICATIONS. (4" PIPE SHALL BE DR-18; 6"-12" SHALL BE DR-18.)
- ALL SANITARY SEWER LINES ARE PVC (SDR-26) OR AS NOTED ON PLANS.
- SANITARY SEWER PIPE MEASUREMENTS ARE TO CENTER OF MANHOLES.
- WATER MAINS WILL NOT BE INSTALLED PRIOR TO INSTALLATION OF THE SANITARY AND STORM SEWER SYSTEMS.
- WATER MAIN: ALL INSTALLED UNDERGROUND WATER MAINS SHALL BE MARKED WITH A CONTINUOUS TAPE LOCATED DIRECTLY OVER THE PIPE 12 INCHES TO 18 INCHES BELOW GRADE. SAID TAPE SHALL BE A MINIMUM OF TWO INCHES IN WIDTH AND SHALL BE METALLIC-BACKED, BLUE, AND MARKED "WATER MAIN BURIED BELOW".
- ALL UTILITY MATERIAL AND WORKMANSHIP MUST COMPLY WITH THE STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER, WASTEWATER AND RECLAIMED FACILITIES FOR CCUA, CURRENT EDITION.
- ALL ABOVE NOTES APPLY TO ALL SANITARY SEWER AND WATER DISTRIBUTION PLAN SHEETS.
- CCUA STANDARDS, SPECIFICATIONS, AND DETAILS SHALL TAKE PRECEDENCE.

**UTILITY COMPANIES**

UTILITY OWNERS	CONTACT
<b>ELECTRIC</b> CITY OF GREEN COVE SPRINGS ELECTRIC DEPT. STEVE TYE	(904) 860-9411
<b>SEWER, WATER</b> CITY OF GREEN COVE SPRINGS WATER/SEWER DEPT. SCOTT SCHULTZ	(904) 219-7540
<b>TELEPHONE</b> AT&T DISTRIBUTION DINO FARRUGGIO	G27896@ATT.COM (800) 247-2020

**CONTACTS**

**OWNERS:**  
OPERATION LIFELINE INC.  
ERICK SAKS, EXECUTIVE DIRECTOR  
107 BROADLEAF LANE  
SAINT JOHNS, FL 32259  
(904) 404-9977

**ENGINEER:**  
ADKINSON ENGINEERING  
6550 ST. AUGUSTINE RD., SUITE 203  
LICENSE #28982  
JACKSONVILLE, FL 32217  
(904)525-5634

**SURVEYOR:**  
SCALICE LAND SURVEYING  
205 MARKETSIDE AVENUE, SUITE 200  
PONTE VEDRA, FL 32081  
MJSLANDSURVEY.COM  
(904) 413-9355

ENGINEER'S SEAL

**ADKINSON ENGINEERING**

6550 ST. AUGUSTINE ROAD, SUITE 203  
JACKSONVILLE, FLORIDA 32217  
PHONE (904) 881-4206  
LICENSE NUMBER 28982

LIFELINE LANDING

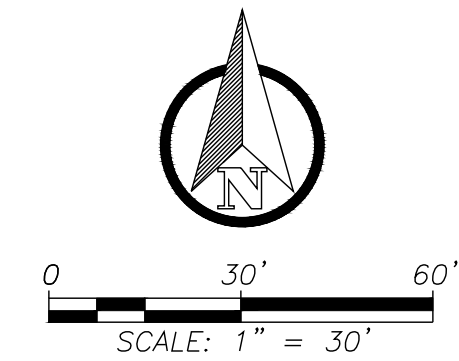
NO.	DATE	REVISION DESCRIPTION	REVISION PER CITY OF GREEN COVE SPRINGS COMMENTS
1	01/09/2024		

**GENERAL NOTES**

JOB NO.	JOB 2316
DATE	January 23, 2024
SCALE	AS SHOWN
SHEET	GN-001



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ENGINEER'S SEAL

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**LIFELINE LANDING**

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**EXISTING CONDITIONS**

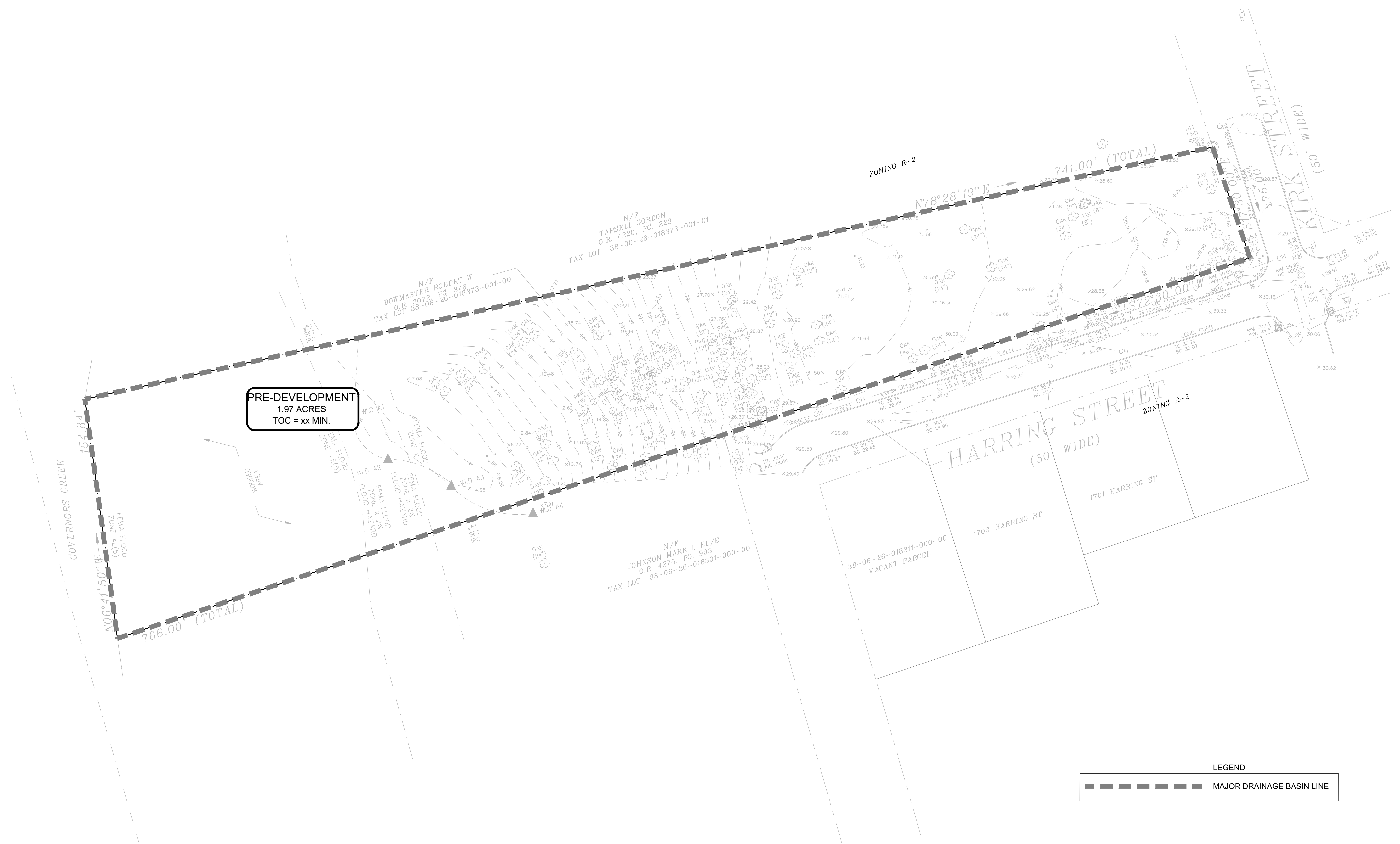
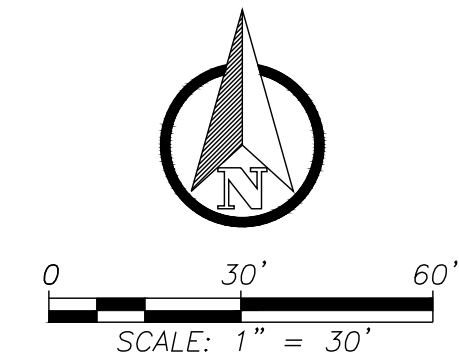
JOB NO. JOB 2316

DATE January 23, 2024

SCALE AS SHOWN

SHEET C-001

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**PRE-DEVELOPMENT**  
1.97 ACRES  
TOC = xx MIN.

**LEGEND**  
—— MAJOR DRAINAGE BASIN LINE

ENGINEER'S SEAL

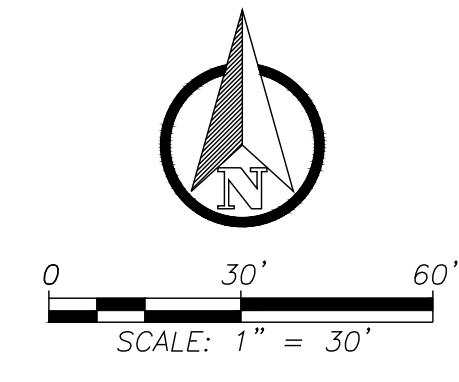
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ENGINEERING  
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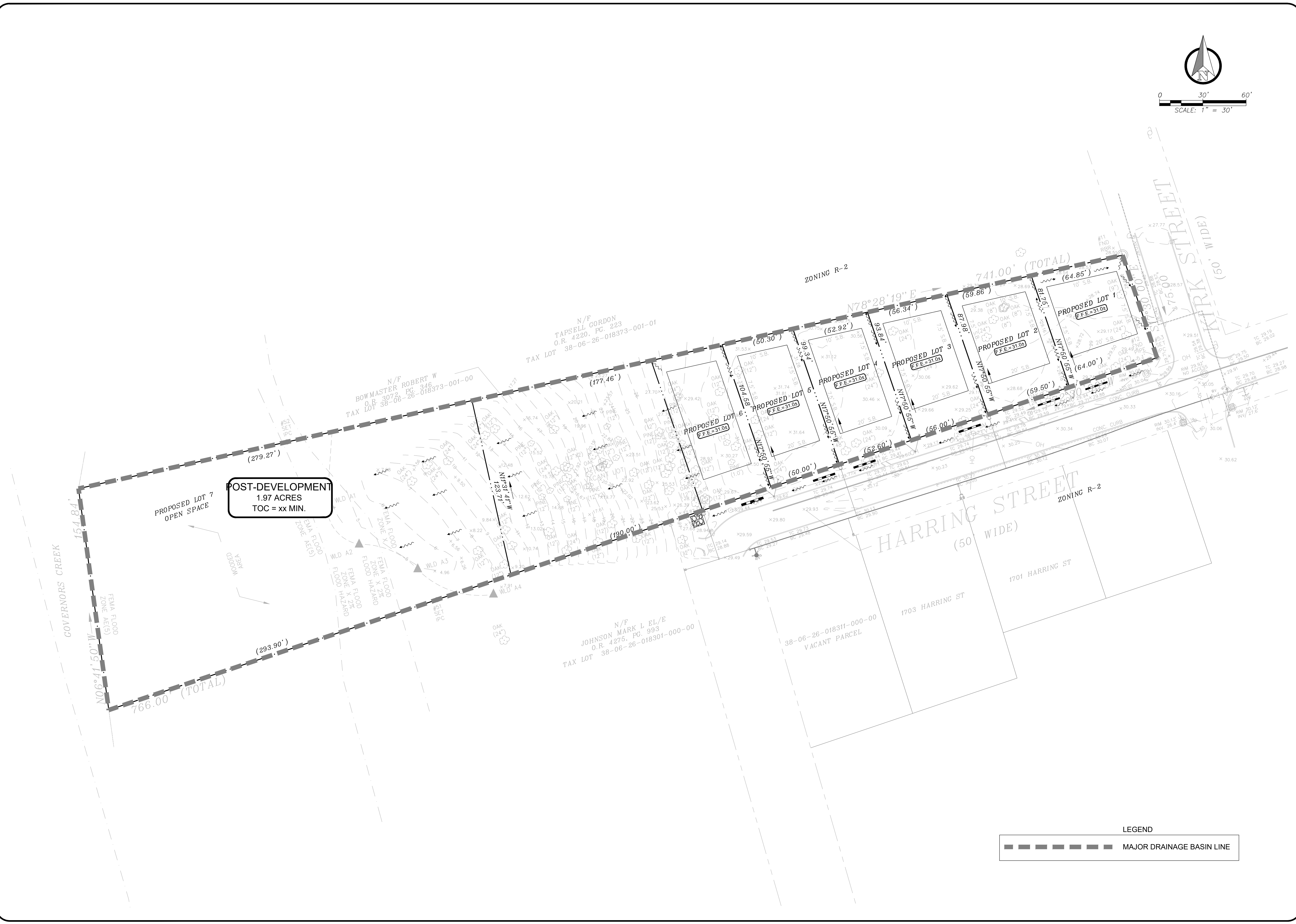
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**PRE DEVELOPMENT DRAINAGE MAP**

JOB NO. JOB 2316  
 DATE January 23, 2024  
 SCALE AS SHOWN  
 SHEET C-002

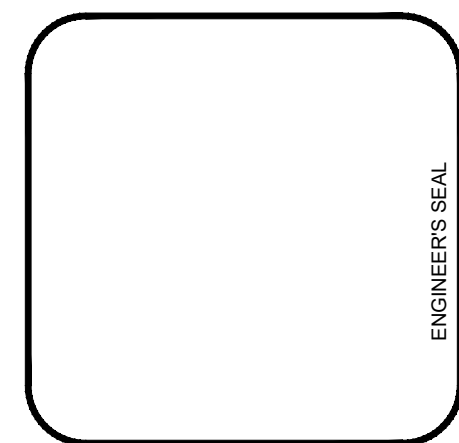


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**POST-DEVELOPMENT**  
1.97 ACRES  
TOC = xx MIN.

**LEGEND**  
 - - - - - MAJOR DRAINAGE BASIN LINE



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**LIFELINE LANDING**

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**POST DEVELOPMENT DRAINAGE MAP**

JOB NO. JOB 2316  
 DATE January 23, 2024  
 SCALE AS SHOWN  
 SHEET C-003



**LIFELINE LANDING:**

SITE AREA 2.0 Acres

**DEVELOPMENT STANDARDS:**

MIN. LOT AREA 5,000 S.F.  
 MIN. LOT WIDTH 50 FEET  
 MAX. LOT COVERAGE BY BLDG. 35%\*  
 MAX. BUILDING HEIGHT 35 FEET

**MINIMUM LOT SETBACKS:**

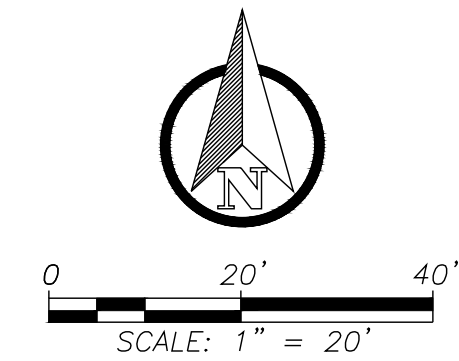
SIDE YARD 7.5 FEET  
 REAR YARD 10 FEET  
 FRONT YARD 20 FEET

HOUSING LOTS PROPOSED 6 LOTS

**LAND & ZONING INFORMATION:**

ZONING DESIGNATION R-2  
 FEMA DESIGNATION ZONES "X" & "AE"

\*TOTAL IMPERVIOUS AREA VARIES PER LOT AND SHALL NOT EXCEED THE MAX IMPERVIOUS AREA PER LOT AND SHALL NOT EXCEED 9,000 SF OVERALL IMPERVIOUS AND SEMI-IMPERVIOUS AREA.



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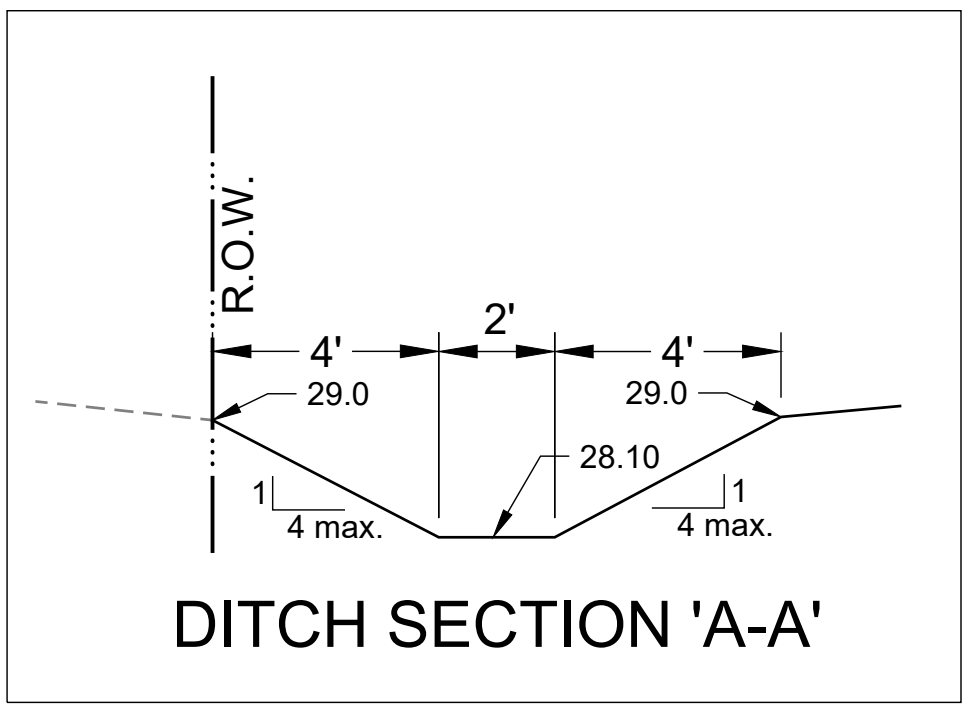
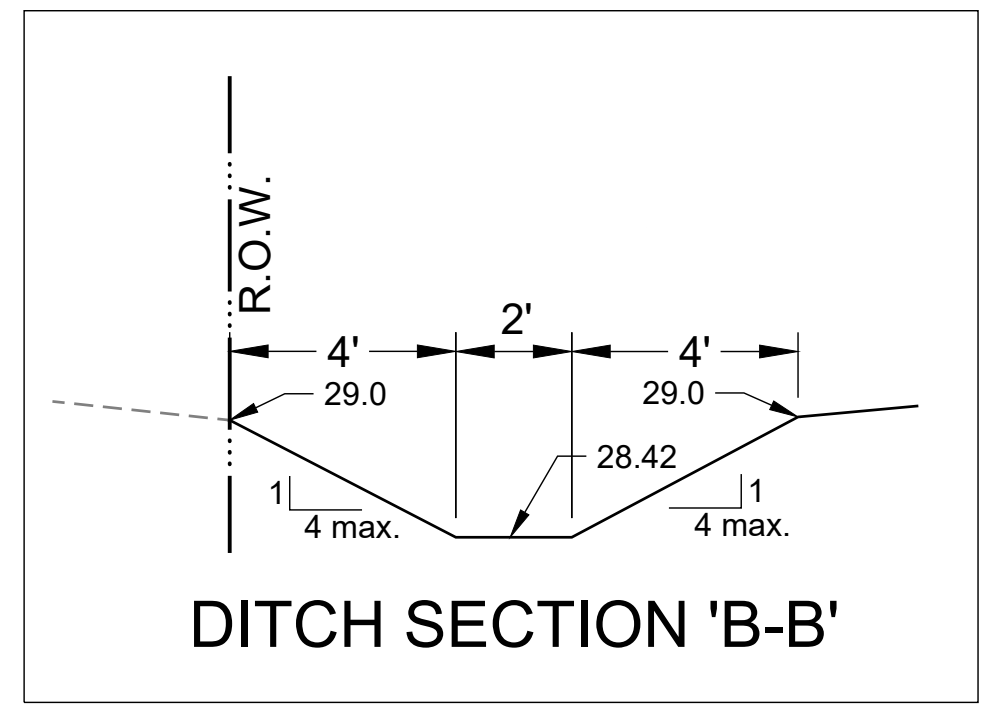
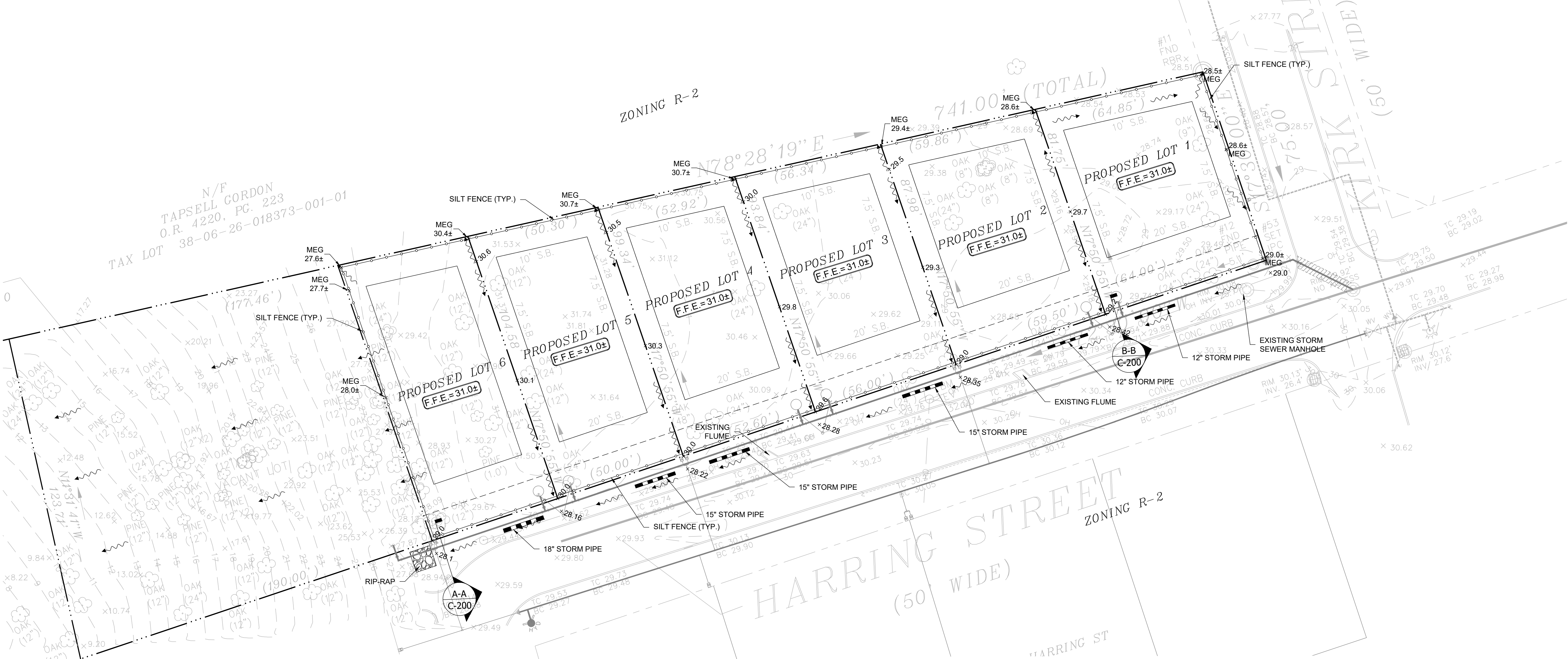
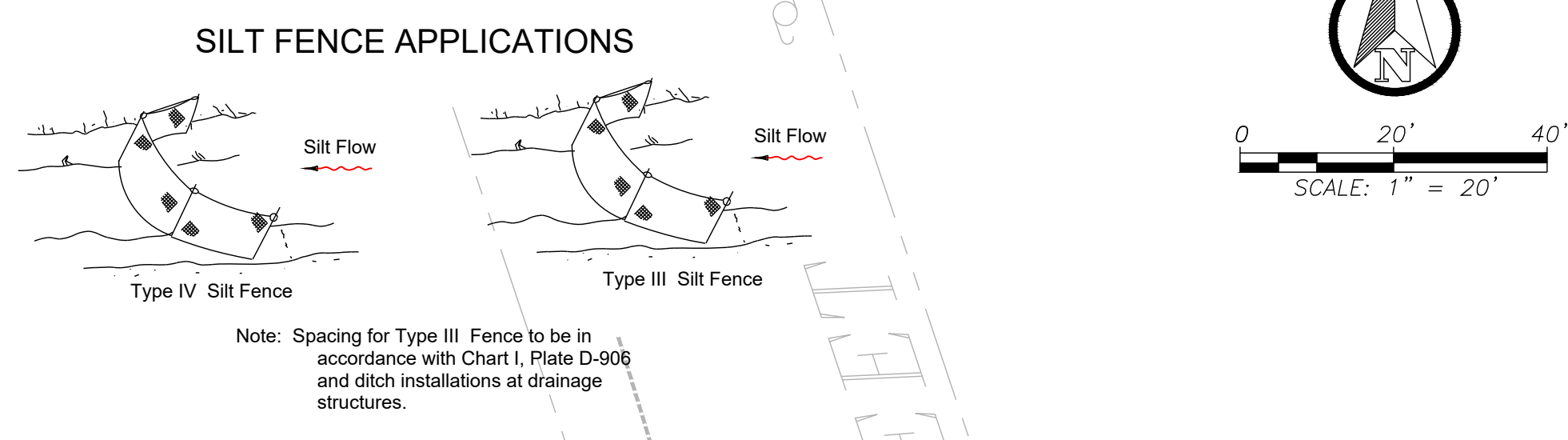
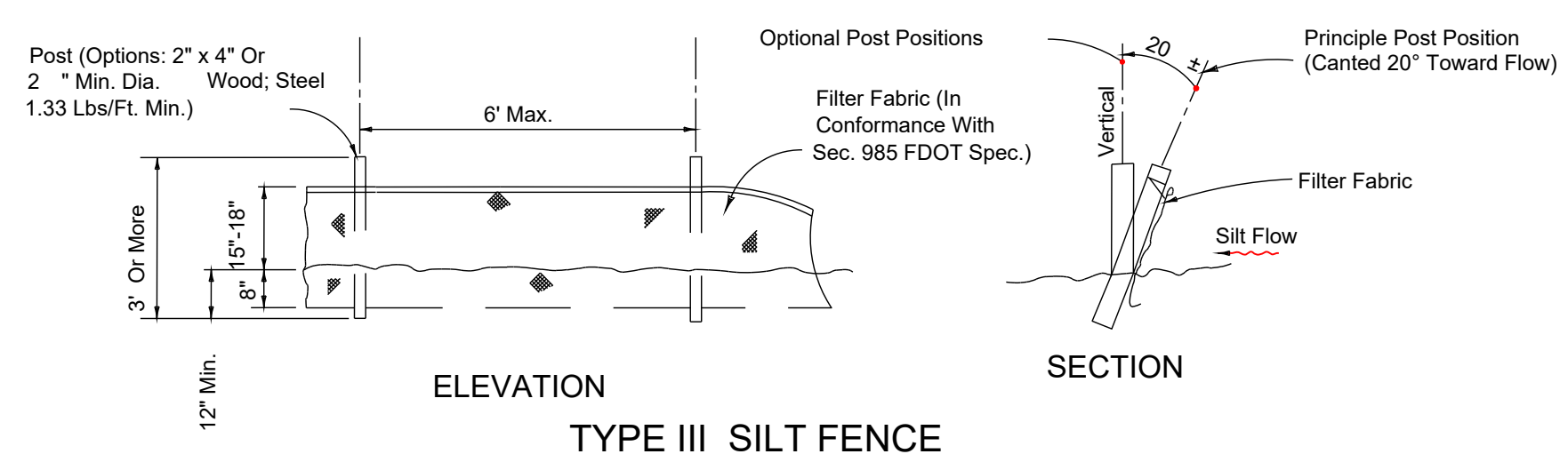
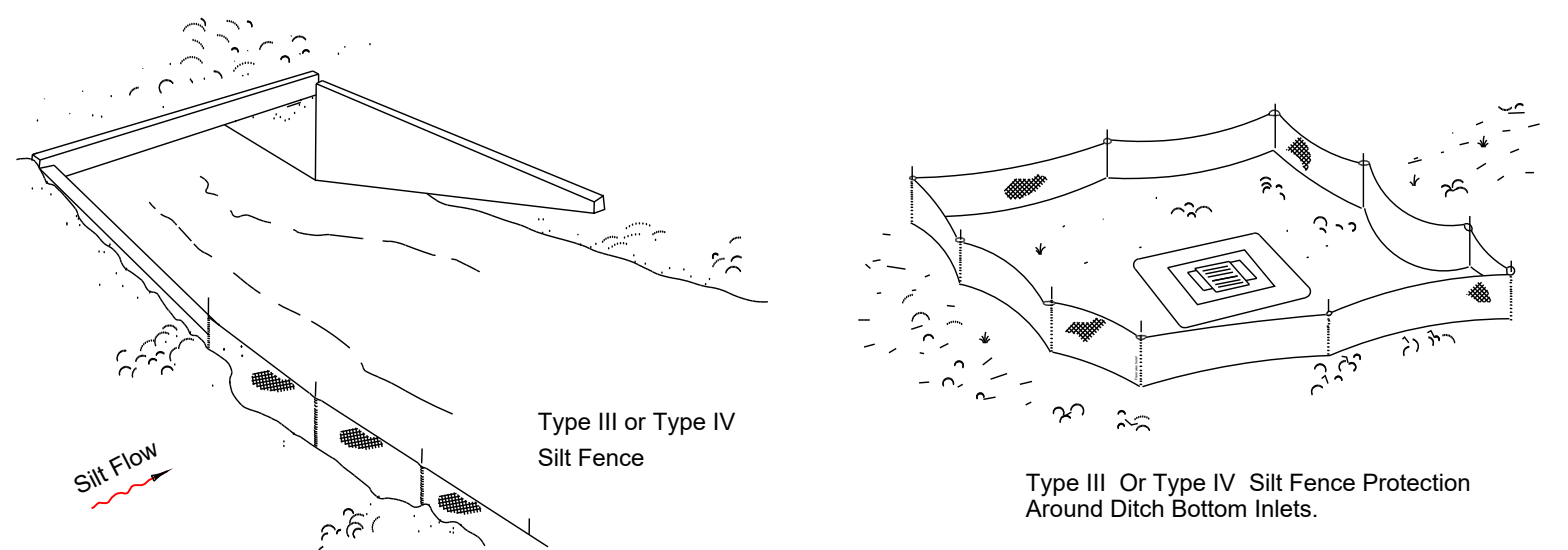
NO.	DATE	REVISION DESCRIPTION
1	01/23/2024	REVISED PER CITY OF GREEN COVE SPRINGS COMMENTS

**GENERAL SITE PLAN**

JOB NO.	JOB 2316
DATE	January 23, 2024
SCALE	AS SHOWN
SHEET	C-100

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N/F TAPSELL GORDON  
O.R. 4220, PG. 223  
TAX LOT 38-06-26-018373-001-01

N/F JOHNSON MARK L EL/E  
O.R. 4275, PG. 993  
TAX LOT 38-06-26-018301-000-00

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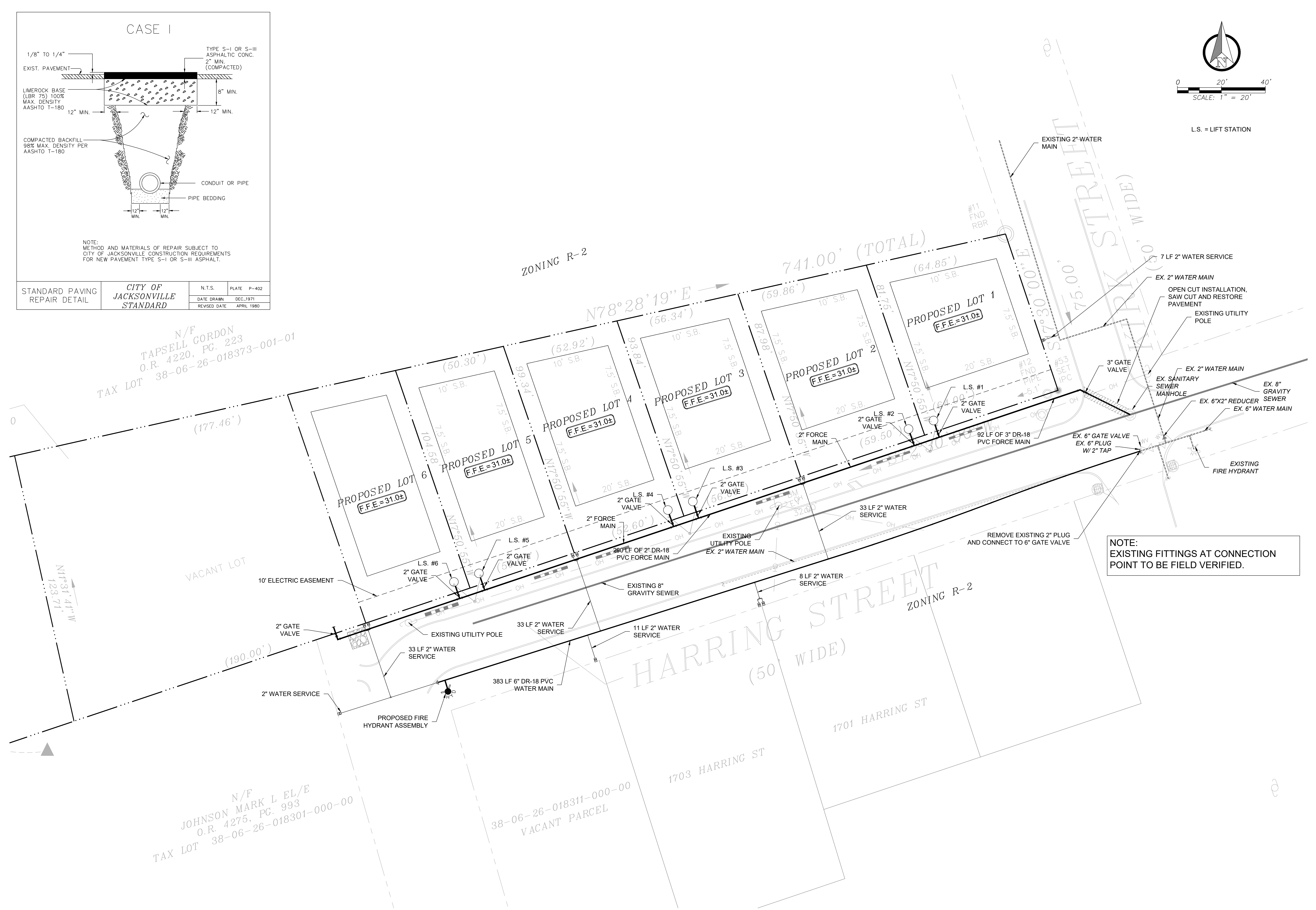
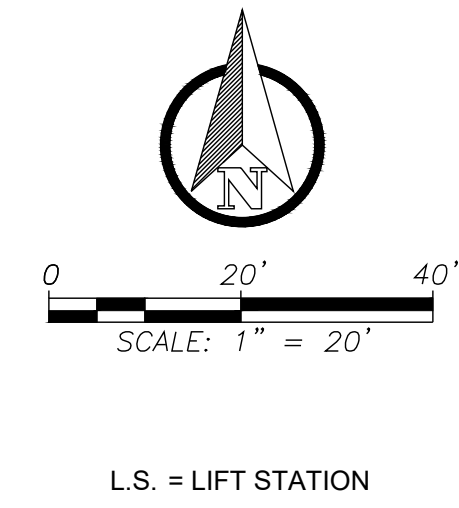
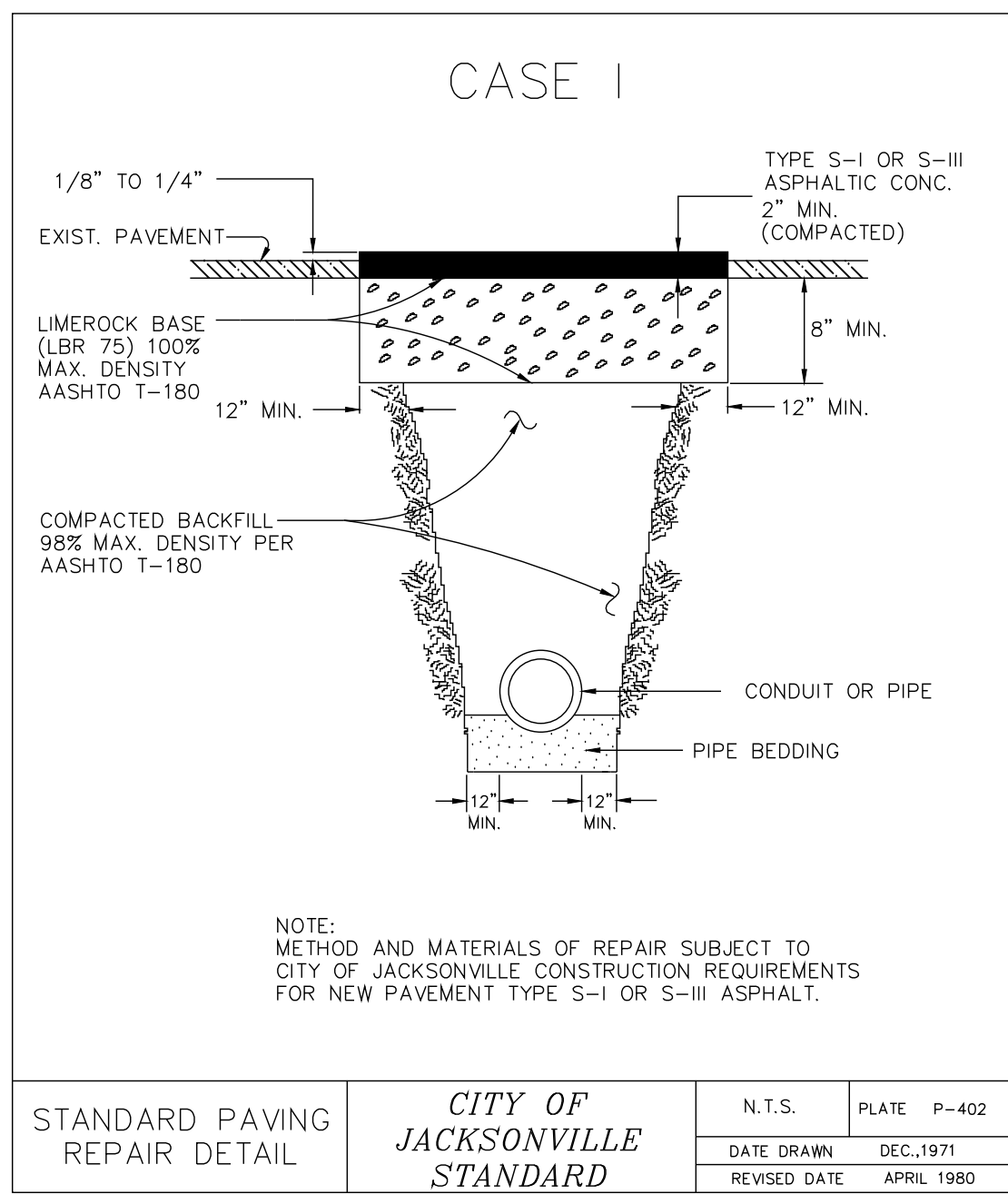
**LIFELINE LANDING**

NO.	DATE	REVISION DESCRIPTION
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**PAVING GRADING AND DRAINAGE PLAN**

JOB NO. **JOB 2316**  
DATE **January 23, 2024**  
SCALE **AS SHOWN**  
SHEET **C-200**





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ENGINEER'S SEAL

**ADKINSON ENGINEERING**

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**LIFELINE LANDING**

NO.	DATE	REVISION DESCRIPTION
1	01/23/2024	REVISED PER CITY OF GREEN COVE SPRINGS COMMENTS

**UTILITY PLAN**

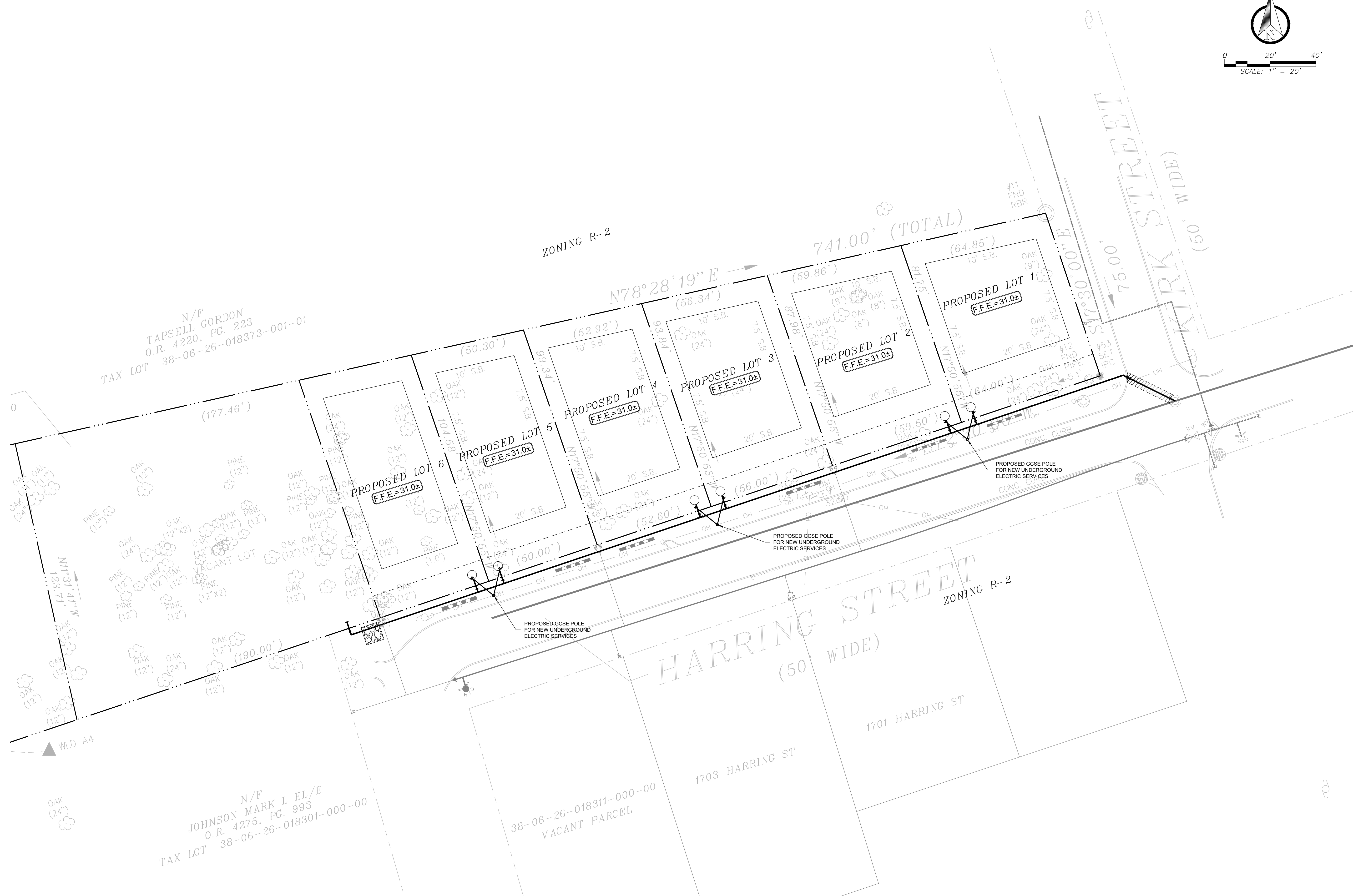
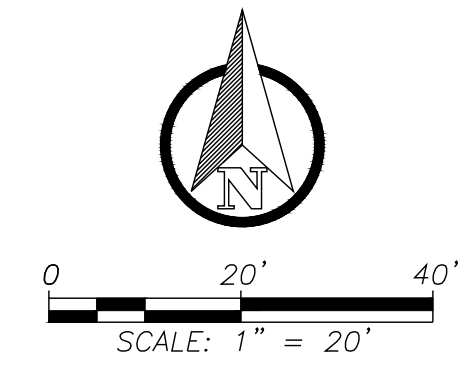
JOB NO. JOB 2316

DATE January 23, 2024

SCALE AS SHOWN

SHEET C-300





N/F  
TAPSELL GORDON  
O.R. 4220, PG. 223  
TAX LOT 38-06-26-018373-001-01

N/F  
JOHNSON MARK L EL/E  
O.R. 4275, PG. 993  
TAX LOT 38-06-26-018301-000-00

38-06-26-018311-000-00  
VACANT PARCEL

**ADKINSON**  
ENGINEERING  
6550 ST. AUGUSTINE ROAD, SUITE 203  
JACKSONVILLE, FLORIDA 32217  
PHONE (904) 881-4206  
LICENSE NUMBER 28982

**LIFELINE LANDING**

NO.	DATE	REVISION DESCRIPTION
1	01/23/2024	REVISED PER CITY OF GREEN COVE SPRINGS COMMENTS

**ELECTRICAL EXHIBIT**

JOB NO.	JOB 2316
DATE	January 23, 2024
SCALE	AS SHOWN
SHEET	C-301

S:\2316\0000\C3D\Plans\Design\WS2316-ELEC.dwg, February 14, 2024 9:25 AM, Adkinson Engineering, P.A.