

SITE DEVELOPMENT PLANS

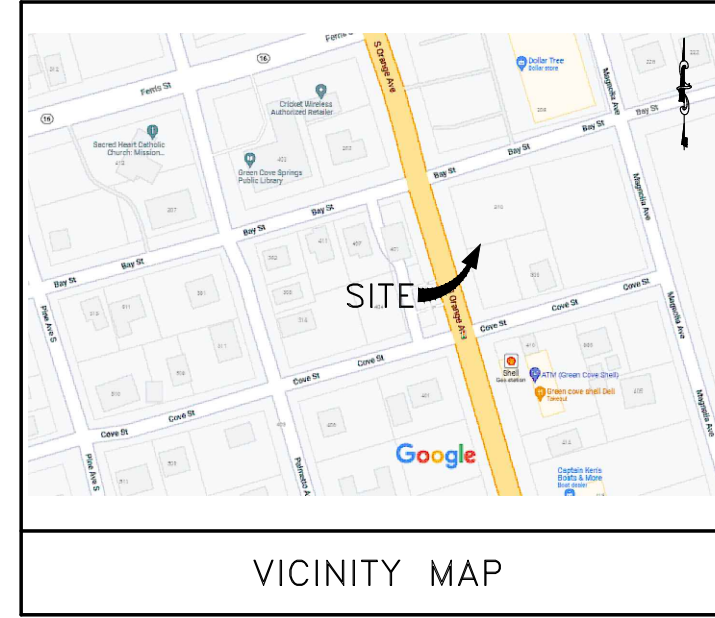
FOR

*PROPOSED MIXED USE DEVELOPMENT*

ORANGE AVENUE  
GREEN COVE SPRINGS, FLORIDA

PREPARED FOR:  
CYPRESS MANAGEMENT AND DESIGN, INC.

P.O. BOX 8880  
FLEMING ISLAND, FLORIDA 32006  
PHONE: (904) 759-9576



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JOB NO. : 21-011	SHEET
DATE: 10/5/2021	1
DRAWN BY : CdG	
CHECKED BY : CdG	
APPROVED BY : CdG	
SCALE : NTS	

**PROPOSED MIXED-USE DEVELOPMENT**  
ORANGE AVENUE, GREEN COVE SPRINGS, FL  
CYPRESS MANAGEMENT & DESIGN, INC.

**BLACK CREEK ENGINEERING, INC.**  
3900 PASO FINO ROAD  
GREEN COVE SPRINGS, FLORIDA 32043  
PHONE (904) 759-8830  
AUTHORIZATION NO. 27946

NO.	REVISIONS	BY	DATE

COLIN D. GROFF, P.E.  
REG. NO. 47609

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NOT ISSUED FOR CONSTRUCTION

**GENERAL NOTES**

- ALL WORK AND MATERIALS SHALL BE IN COMPLETE ACCORDANCE WITH ALL RELATIVE SECTIONS OF CITY STANDARDS, (LATEST REVISION) AND ALL CURRENT CITY STANDARD DETAILS.
- ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF O.S.H.A SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY INJURIES OF HIS EMPLOYEES, AND ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT. ALL COSTS ASSOCIATED WITH COMPLYING WITH O.S.H.A. REGULATIONS AND THE FLORIDA TRENCH SAFETY ACT MUST BE INCLUDED IN THE CONTRACTORS BID.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO PREPARING THE BID FOR THE PURPOSE OF FAMILIARIZING HIMSELF WITH THE NATURE AND THE EXTENT OF THE WORK AND LOCAL CONDITIONS, EITHER SURFACE OR SUB-SURFACE, WHICH MAY AFFECT THE WORK TO BE PERFORMED, AND THE EQUIPMENT, LABOR AND MATERIALS REQUIRED. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THIS CONTRACT. THE CONTRACTOR IS ALSO URGED TO TAKE COLOR PHOTOGRAPHS ALONG THE ROUTE OF THE PROJECT TO RECORD EXISTING CONDITIONS PRIOR TO CONSTRUCTION, AND TO CONSTRUCTION OF THE PROJECT.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EITHER CONDUCT ANY FIELD EXPLORATION OR ACQUIRE ANY GEOTECHNICAL ASSISTANCE REQUIRED TO ESTIMATE THE AMOUNT OF UNSUITABLE MATERIAL THAT WILL REQUIRE REMOVAL AND/OR TO ESTIMATE THE AMOUNT OF OFF SITE BORROW THAT WILL BE REQUIRED.
- ALL IMPROVEMENTS SHOWN ARE TO BE WARRANTED BY THE CONTRACTOR TO THE DEVELOPER AND THE CITY FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY THE OWNER AND THE CITY.
- ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) UNITED STATES COAST AND GEODETIC SURVEY (U.S.C. & G.S.)
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE REQUIRED FOR THE PROJECT.
- THE CONTRACTOR SHALL COORDINATE THE WORK WITHIN CITY OR STATE RIGHT-OF-WAY WITH THE PROPER AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION AND REPAIR.
- "AS-BUILT" DRAWINGS - AS-BUILTS TO THE CITY AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION ARE REQUIRED TO BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR THEREFORE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTRACT WITH A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA FOR THE PREPARATION, FIELD LOCATIONS, CERTIFICATION, AND SUBMITTAL OF "AS-BUILT" DRAWINGS IN ACCORDANCE WITH CURRENT CITY STANDARDS AND SPECIFICATIONS AND FDEP REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROCESS THE "AS-BUILT" DRAWINGS FOR APPROVAL BY THE ENGINEER.
- THE CONTRACTOR SHALL COORDINATE THEIR CONSTRUCTION WITH ALL OTHER CONTRACTORS. IN THE EVENT OF ANY CONFLICT WHATSOEVER, THE CONTRATOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- ALL CLEARING AND GRUBBING REQUIRED FOR ALL ROADWAY, UTILITIES, DITCHES, AND BERMS INCLUDED IN THIS PROJECT AND THE CLEARING AND GRUBBING OF ALL RIGHT-OF-WAY OR EASEMENTS SHALL BE CONSIDERED AS PART OF THE PROJECT.
- ALL AREAS SHOWN TO BE FILLED SHALL BE CLEARED AND GRUBBED IN ACCORDANCE WITH CITY STANDARDS AND SHALL BE FILLED WITH CLEAN STRUCTURAL FILL COMPACTED AND TESTED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
- CONTACTOR IS RESPONSIBLE FOR PROTECTION OF ALL SURVEY AND PROPERTY MONUMENTS. IF A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL CONTRACT THE SURVEYOR OF RECORD FOR REINSTALLATION OF THE MONUMENT.
- ALL DEBRIS RESULTING FROM ALL SITE WORK ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY CONTRACTOR.
- ALL EXCESS SUITABLE AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR UNLESS DIRECTED OTHERWISE BY THE ENGINEER OR OWNER.
- ALL EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED.
- BURNING OF TREES, BRUSH, AND OTHER MATERIAL SHALL BE APPROVED, PERMITTED BY AND COORDINATED WITH THE CITY OF GREEN COVE SPRINGS CITY MANAGER.
- ROADWAY UNDERDRAINS SHALL BE AS REQUIRED ON THE PLANS OR AS MAY BE DETERMINED NECESSARY BE THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF HIGH GROUND WATER CONDITIONS ARE PRESENT DURING THE PREPARTION OF THE ROADWAY SUB-BASE.
- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS NOTED OTHERWISE ON PLANS.
- THIS PROPERTY IS SITUATED IN FLOOD ZONE: X

**UTILITY CONTRACTOR NOTES**

1. THE LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND IMPROVEMENTS SHOWN ON THE DRAWINGS IS BASED ON LIMITED INFORMATION AND MAY NOT HAVE BEEN VERIFIED. THE LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY RESPECTIVE UTILITY OWNERS COMMENCING ANY CONSTRUCTION. IF THE LOCATIONS SHOWN ARE CONTRARY TO THE ACTUAL LOCATIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF THE DISCREPANCY. THE DISCREPANCY SHOULD BE RESOLVED PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS NEAR EXISTING UTILITIES AND IMPROVEMENTS AND SHALL BE RESPONSIBLE FOR AND SHALL REPAIR OR PAY FOR ALL DAMAGE MADE TO EXISTING UTILITIES OR OTHER IMPROVEMENTS. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL GRADES, INVERTS AND TYPE OF MATERIAL OF EXISTING UTILITIES TO WHICH HE SHALL CONNECT.

2. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL MATERIALS TO THE ENGINEER FOR REVIEW AND APPROVAL, AND PRIOR TO PURCHASE OR CONSTRUCTION OF ANY UTILITY PIPE, FITTINGS, APPURTENANCES OR STRUCTURES. 3. UNSUITABLE MATERIALS UNDER WATER, SEWER PIPE, STORM PIPE OR STRUCTURES SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL, PROPERLY COMPACTED. 4. ALL UNDERGROUND UTILITIES MUST BE INSTALLED PRIOR TO PREPARATION OF SUBGRADE FOR PAVEMENT. 5. ALL WATER AND SEWER CONSTRUCTION WITHIN THE CITY SHALL BE ACCOMPLISHED BY AN UNDERGROUND UTILITY CONTRACTOR LICENSED UNDER THE PROVISIONS OF CHAPTER 489 FLORIDA STATUTES.

6. ALL WATER LINES CROSSING SANITARY AND STORM SEWER LINES, AS WILL VALVES AND FITTINGS, MUST HAVE MINIMUM 18" VERTICAL SEPARATION. IF THIS CANNOT BE OBTAINED, THE WATER MAIN MUST BE CONSTRUCTED OF DUCTILE IRON PIPE FOR A DISTANCE OF 10' EITHER SIDE OF SANITARY OR STORM SEWER MAIN, OR INSTALL WATER MAIN IN D.I. SLEEVE MIN. LENGTH 20' CENTERED, ENDS OF SLEEVE TO BE GROUT FILLED, IN EITHER CASE, MINIMUM OF 6" OF VERTICAL SEPARATION SHALL BE MAINTAINED. 7. RESTRAINING JOINTS ARE REQUIRED IN ACCORDANCE WITH UTILITY STANDARDS WHERE WATER MAINS ARE TERMINATED AND AT ALL BENDS AND TEES. 8. UNLESS OTHERWISE NOTED, ALL WATER MAIN 2" OR SMALLER SHALL BE SCHEDULE 80 PVC AND N.F.S.P.W. RATED 9. THE CONTRACTOR SHALL OBTAIN ALL PERMITS TO COMPLETE THE CONSTRUCTION.

**GENERAL PAVING AND DRAINAGE NOTES**

- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEEDED AND MULCHED AS PER SPECIFICATIONS. ALL DISTURBED AREAS IN PUBLIC ROW SHALL BE SODDED.
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- LOCATION, EXISTENCE OR NON-EXISTENCE OF ANY UTILITY DOES NOT CONSTITUTE RESPONSIBILITY BY THE ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNER PRIOR TO CONSTRUCTION FOR VERIFICATION AND LOCATION OF ANY UTILITY.
- GRADES SHOWN ON PLANS ARE FINISHED GRADES UNLESS OTHERWISE NOTED.
- SHOULD THE SURFACE OR SUB-SURFACE CONDITIONS VARY FROM WHAT IS SHOWN ON THESE PLANS THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ALL ELEVATIONS AND GRADES REFER TO NATIONAL GEODETIC SURVEY DATUM.
- CARE SHALL BE EXERCISED TO AVOID DAMAGE TO EXISTING ABOVE AND IN-GROUND UTILITIES INCLUDING TELEPHONE, WATER, CABLE, ELECTRIC AND SEWER LINES.
- CONTRACTOR SHALL PROVIDE DRAINAGE AS-BUILT DRAWINGS BY A REGISTERED SURVEYOR TO INCLUDE THE FOLLOWING:  
A) SIDE GRADES B) PIPE INVERTS C) DRIVEWAY GRADES
- SOD ALL SIDE SLOPES GREATER THAN 4:1.
- INSTALL CONSTRUCTION SIGNS & EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION.

**GENERAL EROSION CONTROL NOTES:**

- THESE PLANS INDICATE THE MINIMUM EROSION & SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE FLORIDA DEVELOPMENT MANUAL A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (F.D.E.P.) CHAPTER 6. THE CONTRACTOR SHALL PROVIDE EROSION PROTECTION AND TURBIDITY CONTROL AS REQUIRED TO INSURE CONFORMANCE TO STATE AND FEDERAL WATER QUALITY STANDARDS AND MAY NEED TO INSTALL ADDITIONAL CONTROLS TO CONFORM TO AGENCIES REQUIREMENTS. IF A WATER QUALITY VIOLATION OCCURS, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL DAMAGE AND ALL COSTS WHICH MAY RESULT INCLUDING LEGAL FEES, CONSULTANT FEES, CONSTRUCTION COSTS AND FINES.
- THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS AND SPECIFICATIONS AND THE FDEP SPECIFICATIONS.
- EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.
- IF DEWATERING CAPACITY REQUIRES A CONSUMPTIVE USE PERMIT (C.U.P.) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.
- 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR WILL SUBMIT A "NOTICE OF INTENT" TO THE EPA IN ACCORDANCE WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM RULES AND REGULATIONS, IF REQUIRED. EPA IN ACCORDANCE WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM RULES AND REGULATIONS, IF REQUIRED.
- DURING CONSTRUCTION, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR THE PREVENTION OF DOWNSTREAM/TURBIDITY/SILTATION THROUGH THE USE OF HAY BALES, SCREENS, SILTATION BASINS, CHEMICAL FLOCCULATION AND/OR ANY OTHER SUITABLE MEANS REQUIRED TO MEET FLORIDA STREAM STANDARDS. SEED AND MULCH ALL DISTURBED AREAS, SOD AS REQUIRED TO CONTROL EROSION THROUGH FINAL INSPECTION AND TO PRODUCE A UNIFORM STAND OF GRASS THROUGHOUT.

**GENERAL AS-BUILT REQUIREMENTS**

- FIVE DAYS BEFORE THE FINAL INSPECTION, 2 SETS OF SIGNED AND SEALED AS-BUILTS AND 1 ELECTRONIC COPY ARE TO BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. THEY FOLLOWING ARE THE GENERAL AS BUILT REQUIREMENTS:  
2. AS-BUILTS SHALL BE SUBMITTED ON THE APPROVED GRADING/DRAINAGE PLAN PROVIDED BY THE ENGINEER OF RECORD FOR THE PROJECT.  
3. ALL DRAINAGE STRUCTURES OUTSIDE OF THE ROADWAY SHALL BE LOCATED FROM BACK OF CURB AND THE PROPERTY LINE ADJACENT TO THE STRUCTURE.  
4. ALL UNDERDRAIN AND STORM DRAIN LINES SHALL HAVE THE ELEVATIONS, SIZES, SLOPES, AND LENGTHS VERIFIED BOTH INSIDE AND OUTSIDE OF THE ROADWAY.  
5. ALL PONDS SHALL BE CROSS-SECTIONED SHOWING THE BOTTOM, MID SLOPE, NORMAL WATER LINE AS DEPICTED BY EXISTING CONDITIONS AND TOP OF BANK.  
6. ALL SWALES SHALL BE LOCATED AND CROSS-SECTIONED EVERY 25'. ELEVATIONS ARE TO BE BOTH TOP OF SLOPE AND CENTERLINE.  
7. THE ROADWAY SHALL BE CROSS-SECTIONED EVERY 100' AND 50' ON ALL CURVES. THE CROSS SECTIONS SHALL INCLUDE ALL PC'S, PVI'S, PT'S AND CURB RETURNS.  
8. ALL CUL-DE-SAC CURBING SHALL BE SURVEYED EVERY 25' AROUND STARTING AT THE BACK OF THE CUL-DE-SAC.  
9. A BENCHMARK SHALL BE LOCATED ON EACH SHEET  
10. AS-BUILTS SHALL BE SIGNED IN BY THE COMPANY DROPPING THEM OFF. IF REVISIONS ARE REQUIRED, THAT COMPANY WILL BE NOTIFIED TO PICK THEM UP FOR REVISION. ONCE REVISIONS HAVE BEEN MADE, THE DOCUMENTS SHALL BE SIGNED BACK IN.  
11. SUBMIT ONE DIGITAL AS-BUILT AS A DGN OR DXF FILE (STANDARD DIGITAL EXCHANGE FORMAT AUTOCAD ETC.) IN CD OR DVD.  
12. AS-BUILT MUST BE IN FLORIDA STATE PLANE COORDINATE SYSTEM USING THE NAD 83 DATUM AT A 1: 1 DRAWING SCALE IN US SURVEY FEET

PROJECTED COORDINATE SYSTEM: NAD\_1983\_STATEPLANE\_FLORIDA\_EAST\_FIPS\_9801\_FEET  
PROJECTION: TRANSVERSE\_MERCATOR FALSE\_BAKING: 656166.86666667 FALSE\_NORTHING: 0.00000000  
CENTRAL\_MERIDIAN: -81.00000000 SCALE\_FACTOR: 0.99994118  
LATITUDE\_OF\_ORIGIN: 24.33333333 LINEAR\_UNIT: FOOT\_US (0.304801) GEOGRAPHIC\_COORDINATE\_SYSTEM: GCS\_NORTH\_AMERICAN\_1983  
DATUM: D\_NORTH\_AMERICAN\_1983 PRIME\_MERIDIAN: 0  
STATE\_PLANE\_COORDINATES FOR AT LEAST TWO BOUNDARY CORNERS OF PROPOSED AS-BUILT DRAWING MUST BE SHOWN. THESE COORDINATES SHALL BE DERIVED FROM FIELD MEASUREMENTS IN CONFORMITY WITH F.S.CHAPTER 472 AND F.A.C. RULE 61G17-6.005(2) WHICH REFERENCES 61G17-6.003(1). FURTHER SUB-SECTIONS IN 61G17-6.003 WHICH APPLY ARE (L),(A),(B) AND (E). SURVEY ACCURATE COORDINATE DATA IS REQUIRED PREMISED UPON THE INTENDED USE (E RESOURCE GRADE DATA IS NOT ACCEPTABLE) THE INTENDED USE OF THESE COORDINATES IS FOR GIS BASE MAPPING PURPOSES.

- ADJOINING/EXISTING STREETS MUST BE CLEARLY SHOWN AND LABELED.
- NO EXTERNAL REFERENCE FILES ATTACHED
- RECORDED SUBDIVISION NAME AS PER PLAT SHALL BE LABELED ON THE AS-BUILT.
- ALL STORM SEWERS, PONDS AND OUTFALL AND STRUCTURES ARE TO BE CLEARLY LABELED.
- THE ENGINEER WILL BE RESPONSIBLE FOR ANY ROTATION AND/OR TRANSLATION, BASE ON THE COORDINATE DATA SUBMITTED.

**GENERAL FIRE DEPARTMENT REQUIREMENTS**

Call Fire Prevention@ (904) 284-7703 at least Forty Eight hours in advance for all inspections

Fire protection line shall be install with a license Fire Protection Contractor.

Fire department connection for fire sprinkler system shall not be located on the building and shall be 5' Storz Connection.

The Back Flow Preventor Shall Be Protected from Freezing Weather.

Fire Protection Line shall be installed as per NFPA 24.

All joints accessories to Fire Protection Line shall be thoroughly coated with an Asphalt or other Corrosion retarding material after installation NFPA 24- 10.3.6.2

Notify Fire Prevention for inspection after completion of assembly of Fire Protection Line in trench

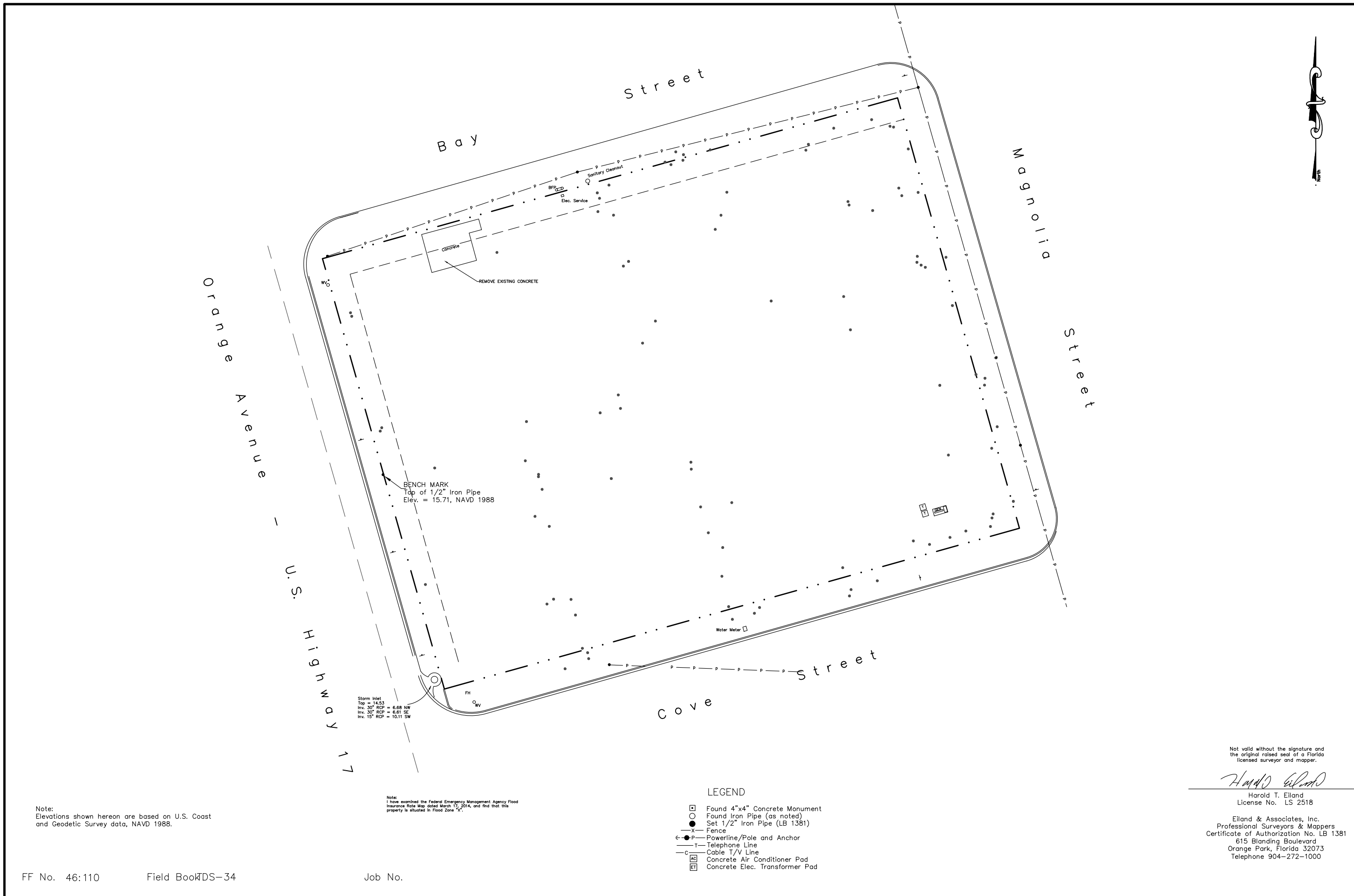
Fire Protection Line installing Contractor shall have Contractors Material and Test Certificate(s) readily available after completion of Fire Protection Line Hydrostatic Test NFPA 24-10.10.2

Fire Prevention shall witness flushing of Fire Protection Line

Clearances of 7½ ft. in front of and to the sides of the fire hydrant and fire protection appliance, and with 4ft. to the rear of the hydrant and fire protection appliance.

Contact Fire Prevention Bureau for permit card.

JOB NO. : 21-011		DATE: 10/05/2021		DRAWN BY : C4G		CHECKED BY : C4G		APPROVED BY : C4G		SCALE : N.T.S.	
PROPOSED MIXED-USE DEVELOPMENT		ORANGE AVENUE, GREEN COVE SPRINGS		CYPRESS MANAGEMENT & DESIGN, INC		GENERAL NOTES		BLACK CREEK ENGINEERING, INC		3900 PASO FINO ROAD GREEN COVE SPRINGS, FLORIDA 32043 PHONE (904) 759-8830	
SHEET		2		BY		DATE		REVISIONS		NO.	
COLIN D. GROFF, P.E.		REG. NO. 47609									



Note:  
Elevations shown hereon are based on U.S. Coast and Geodetic Survey data, NAVD 1988.

Note:  
I have examined the Federal Emergency Management Agency Flood Insurance Rate Map dated March 17, 2014, and find that this property is situated in Flood Zone "X".

- LEGEND**
- Found 4"x4" Concrete Monument
  - Found Iron Pipe (as noted)
  - Set 1/2" Iron Pipe (LB 1381)
  - x- Fence
  - ←-P- Powerline/Pole and Anchor
  - T- Telephone Line
  - C- Cable T/V Line
  - AC Concrete Air Conditioner Pad
  - ET Concrete Elec. Transformer Pad

Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

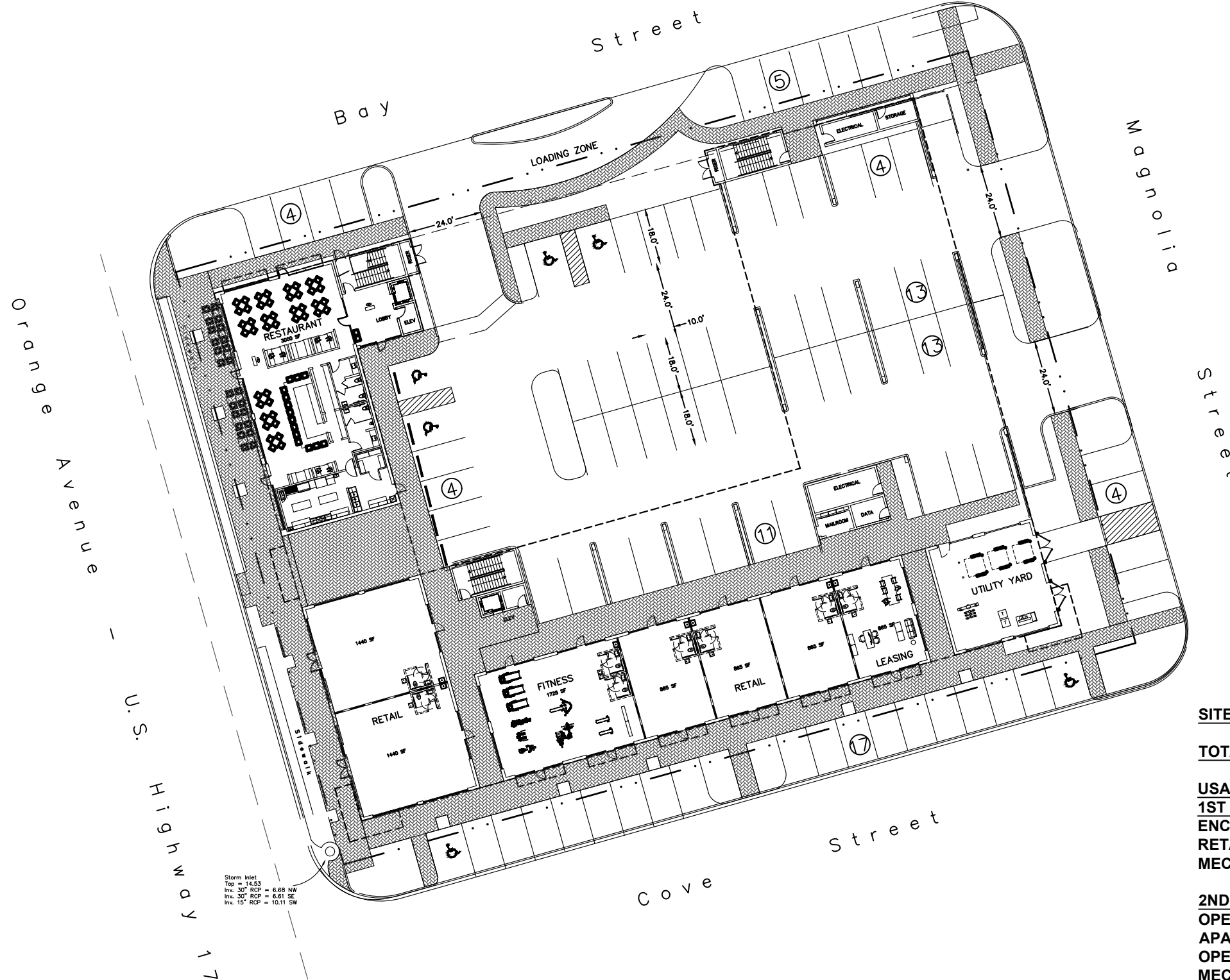
*Harold T. Eiland*  
Harold T. Eiland  
License No. LS 2518

Eiland & Associates, Inc.  
Professional Surveyors & Mappers  
Certificate of Authorization No. LB 1381  
615 Blanding Boulevard  
Orange Park, Florida 32073  
Telephone 904-272-1000

FF No. 46:110      Field Book DS-34      Job No.

JOB NO. : 21-011 DATE: 10/05/2021 DRAWN BY : CdG CHECKED BY : CdG APPROVED BY : CdG SCALE : 1"=40'	<b>PROPOSED MIXED-USE DEVELOPMENT</b> ORANGE AVENUE, GREEN COVE SPRINGS CYPRESS MANAGEMENT & DESIGN, INC.	<b>EXISTING CONDITIONS</b>	<b>BLACK CREEK ENGINEERING, INC.</b> <small>3900 PASO FINO ROAD 32043 GREEN COVE SPRINGS, FLORIDA PHONE (904) 759-8830</small>	COLIN D. GROFF, P.E. REG. NO. 47609	REVISIONS BY    DATE
	<b>SHEET</b> <div style="font-size: 2em; font-weight: bold; margin: 10px 0;">3</div>				

NOT ISSUED FOR CONSTRUCTION



Storm Inlet  
 Top = 14.53  
 Inv. 30' RCP = 6.68 NW  
 Inv. 30' RCP = 6.61 SE  
 Inv. 15' RCP = 10.11 SW

**SITE DETAILS;**

**TOTAL AREA OF SITE- 53,540 SF**

**USABLE SPACE:**

<b>1ST FLOOR</b>	
ENCLOSED RESTAURANT	3461 SF
RETAIL-BUSINESS	8064 SF
MECH-SERVICE-ELEV	1,726 SF
<b>2ND FLOOR</b>	
OPEN AIR RESTAURANT/BAR	3,220 SF
APARTMENTS 21 UNITS	18,932 SF
OPEN HALLWAYS	4967 SF
MECH-SERVICE-ELEV	2608 SF
<b>3RD FLOOR</b>	
RESTAURANTS LOFT	500 SF
APARTMENTS 21 UNITS	18,932 SF
OPEN HALLWAYS	4967 SF
MECH-SERVICE-ELEV	2608 SF



COLIN D. GROFF, P.E.  
 REG. NO. 47609

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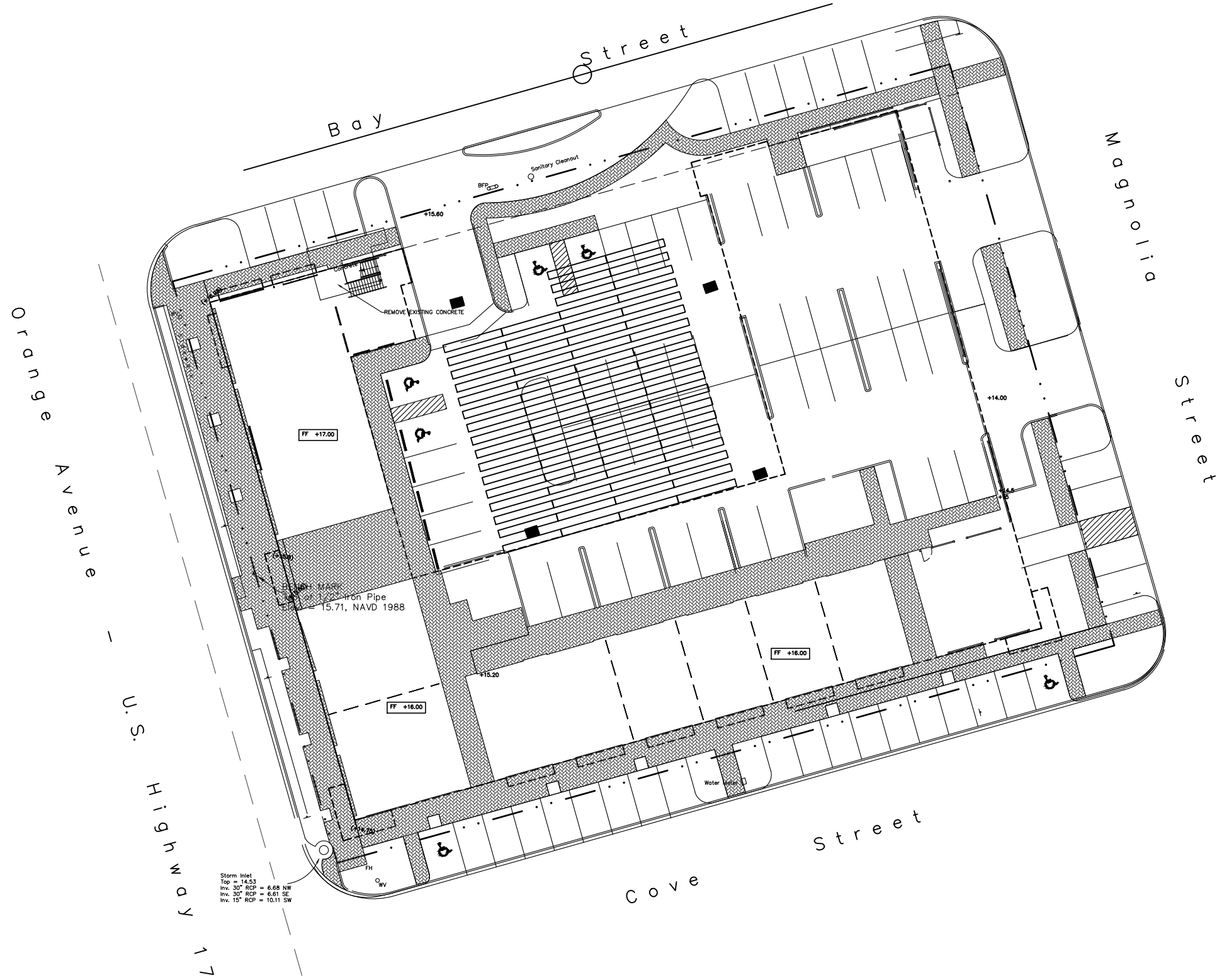
**BLACK CREEK ENGINEERING, INC.**  
 3900 PASO FINO ROAD  
 GREEN COVE SPRINGS, FLORIDA 32043  
 PHONE (904) 759-8830  
 AUTHORIZATION NO. 27946

**PROPOSED MIXED-USE DEVELOPMENT**  
 ORANGE AVENUE, GREEN COVE SPRINGS  
 CYPRESS MANAGEMENT & DESIGN, INC.  
**GEOMETRIC LAYOUT**

JOB NO. : 21-011  
 DATE: 10/05/2021  
 DRAWN BY : CdG  
 CHECKED BY : CdG  
 APPROVED BY : CdG  
 SCALE : 1"=40'

SHEET  
**4**

NOT ISSUED FOR CONSTRUCTION



Storm Inlet  
 Top = 14.53  
 Inv. 30" RCP = 6.68 NW  
 Inv. 30" RCP = 6.61 SE  
 Inv. 15" RCP = 10.11 SW

EXISTING MARK:  
 12" Iron Pipe  
 Elevation = 15.71, NAVD 1988

JOB NO. : 21-011  
 DATE: 10/05/2021  
 DRAWN BY : CdG  
 CHECKED BY : CdG  
 APPROVED BY : CdG  
 SCALE : 1"=40'

**PROPOSED MIXED-USE DEVELOPMENT**  
 ORANGE AVENUE, GREEN COVE SPRINGS  
 CYPRESS MANAGEMENT & DESIGN, INC.  
**PAVING & DRAINAGE PLAN**

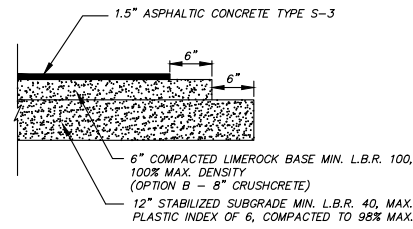
**BLACK CREEK ENGINEERING, INC.**  
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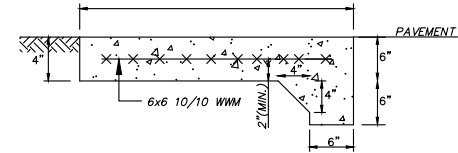
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SHEET  
 5

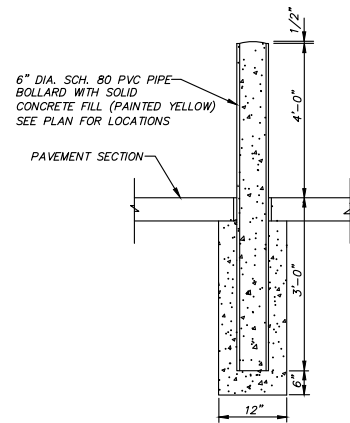
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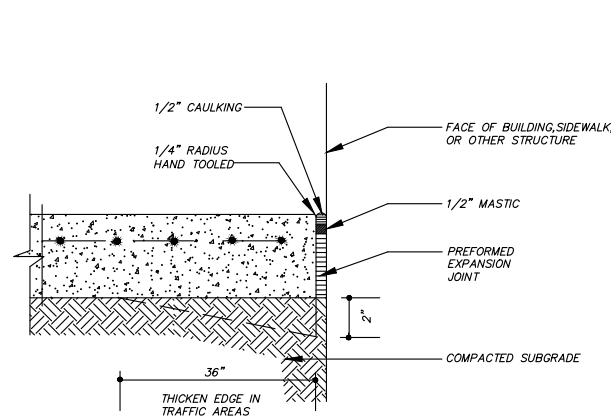
PAVEMENT #1 - ALL INTERNAL PAVEMENT & ACCESS DRIVES  
**ASPHALT PAVEMENT DETAILS**  
 NOT TO SCALE



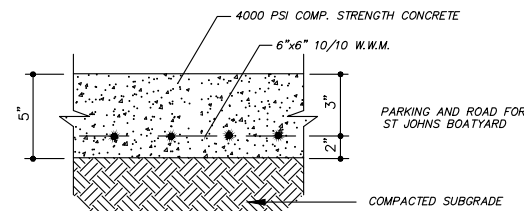
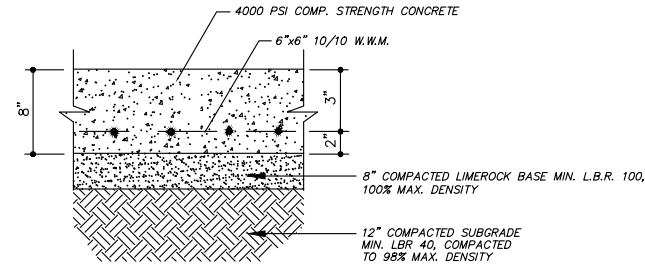
**SIDEWALK W/O TURNDOWN SECTION**



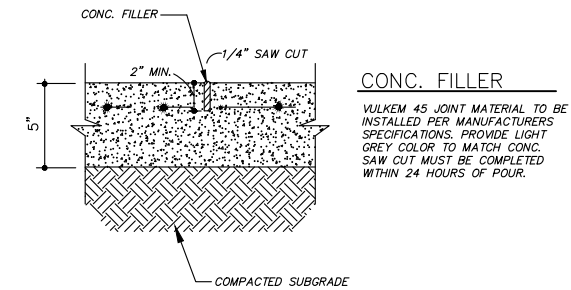
**BOLLARD DETAIL**  
 NOT TO SCALE



**ISOLATION JOINT DETAIL**

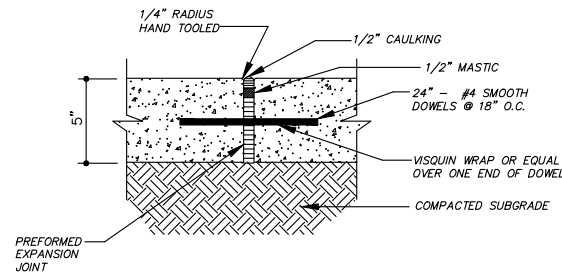


**HEAVY DUTY**  
**STANDARD PAVEMENT SECTIONS**



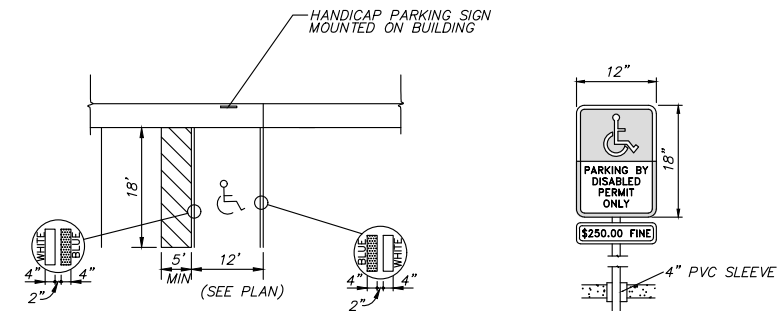
NOTE: THOROUGHLY CLEAN JOINT OF ALL SAND, SOIL AND MISCELLANEOUS DEBRIS. APPLY MASKING TAPE ALONG SIDES OF JOINT FOR TEMPORARY PROTECTION. DURING SEALANT APPLICATIONS APPLY FULL BEAD OF VULKEM 45 POURABLE SEALANT AND TOOL LIGHTLY. REMOVE TAPE IMMEDIATELY. SEE PLAN FOR LOCATIONS.

**SAWCUT JOINT DETAIL**  
 SAWCUT JOINTS AT 10' O.C. (MAX.)



**EXPANSION JOINT DETAIL**  
 EXPANSION JOINTS AT 25' O.C. (MAX.)

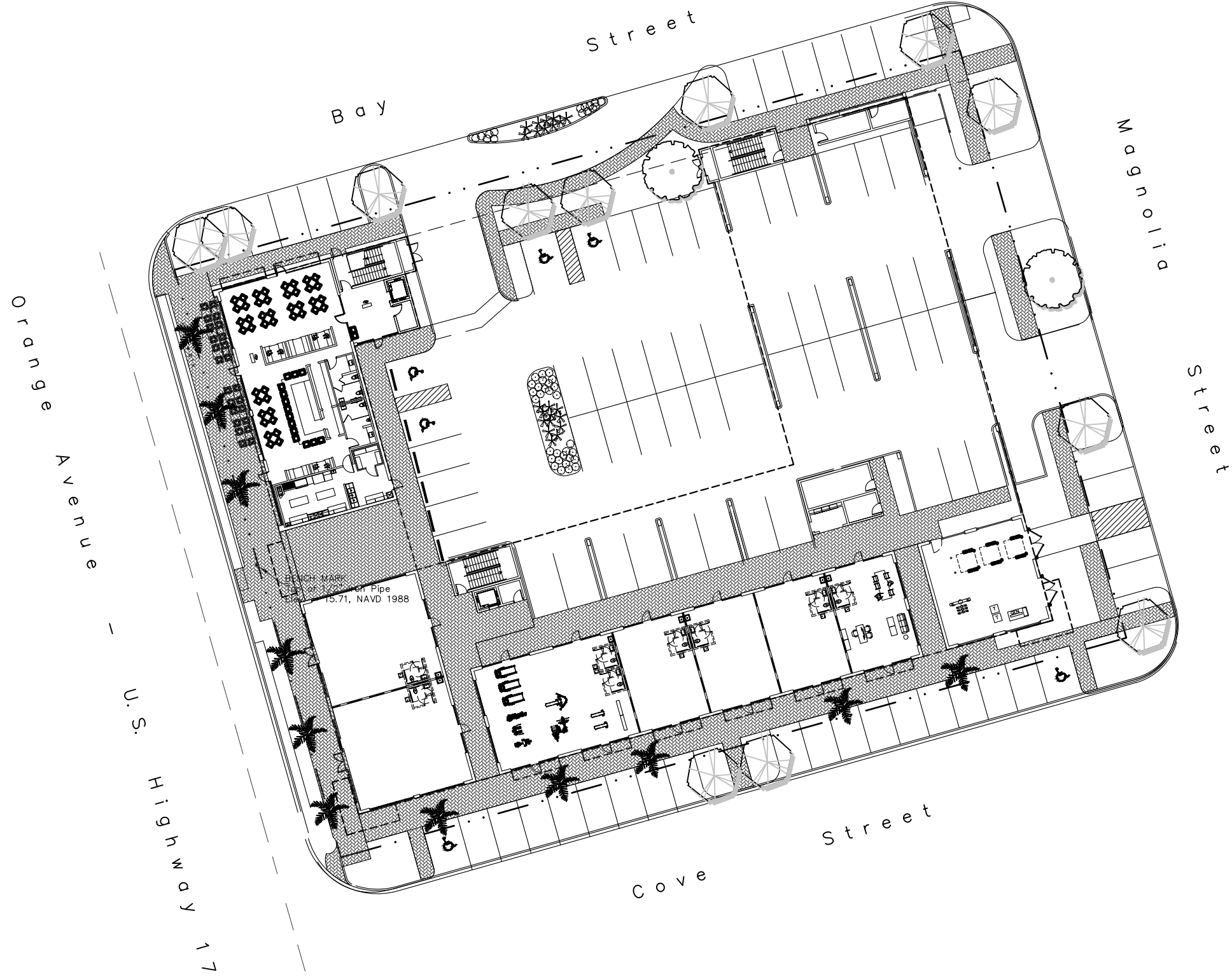
**OPTIONAL CONCRETE PAVEMENT DETAILS**  
 NOT TO SCALE



NOTE: EACH SUCH PARKING SPACE SHALL BE CONSPICUOUSLY OUTLINED IN BLUE PAINT, AND SHALL BE POSTED AND MAINTAINED WITH A PERMANENT, ABOVE-GRADE SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY OR THE CAPTION "PARKING BY DISABLED PERMIT ONLY", OR BEARING BOTH SUCH SYMBOLS AND CAPTION. SUCH SIGNS SHALL NOT BE OBTAINED BY A VEHICLE PARKED IN THE SPACE. ALL HANDICAPPED PARKING SPACES MUST BE DESIGNED AND MARKED IN ACCORDANCE WITH THE STANDARDS ADOPTED BY THE DEPARTMENT OF TRANSPORTATION.

**HANDICAP PARKING DETAIL**  
 NOT TO SCALE

COLIN D. GROFF, P.E. REG. NO. 47609	
NO.	REVISIONS
BY	DATE
<b>PROPOSED MULTI-USE DEVELOPMENT</b> ORANGE AVENUE, GREEN COVE SPRINGS CYPRESS MANAGEMENT & DEVELOPMENT, INC.	
<b>CONSTRUCTION DETAILS</b>	
JOB NO. : 21-011	DATE : 10/05/2021
DRAWN BY : C4G	CHECKED BY : C4G
APPROVED BY : C4G	SCALE : 1"=40'
<b>SHEET</b> <b>6</b>	
NOT ISSUED FOR CONSTRUCTION	



JOB NO. : 21-011	NO.	REVISIONS	BY	DATE
DATE: 10/05/2021				
DRAWN BY : C4G				
CHECKED BY : C4G				
APPROVED BY : C4G				
SCALE : 1"=40'				

**PROPOSED MIXED-USE DEVELOPMENT**  
 ORANGE AVENUE, GREEN COVE SPRINGS  
 CYPRESS MANAGEMENT & DEVELOPMENT, INC.  
**LANDSCAPE PLAN**

**BLACK CREEK ENGINEERING, INC.**  
 3900 PASO FINO ROAD  
 GREEN COVE SPRINGS, FLORIDA 32043  
 PHONE (904) 759-8830  
 AUTHORIZATION NO. 27946

COLIN D. GROFF, P.E.  
 REG. NO. 47609

SHEET

7

NOT ISSUED FOR CONSTRUCTION