CONSTRUCTION PLANS SITE IMPROVEMENTS FOR

NORTHEAST FLORIDA POOL SERVICES, INC

799 LEONARD C. TAYLOR PARKWAY GREENCOVE SPRINGS CLAY COUNTY, FLORIDA



VICINITY MAP

1'' = 1,320'

DESIGN CRITERIA: SJRWMD STORMWATER DESIGN CRITERIA CITY OF GREEN COVE SPRINGS LAND DEVELOPMENT PROCEDURES CLAY COUNTY, FLORIDA LAND DEVELOPMENT PROCEDURES

CIVIL ENGINEER:

VIKA SOUTH, LLC 2720 PARK STREET SUITE 222 JACKSONVILLE, FL 32205 RONALD J. BONGIOVANNI, P.E. 904.466.6929

LAND SURVEYOR:

VIKA SOUTH, LLC 2720 PARK STREET SUITE 222 JACKSONVILLE, FL 32205 RONALD J. BONGIOVANNI, P.E. 904.466.6929

ARCHITECT:

DENNIS M. WILLIAMS ARCHITECT, P.C. 14079 PRATER COURT JACKSONVILLE, FL 32224

ENVIRONMENTAL CONSULTANT:

904.333.2550

MATANZAS GEOSCIENCES, INC. 4475 U.S. HIGHWAY 1 SOUTH SUITE 503 ST. AUGUSTINE, FL 32086 KELLY MURRAY, CHMM, LEED AP 904.824.0488

GEOTECHNICAL CONSULTANT

STEVE WEAVER, PE 5561 FLORIDA MINING BLVD. SOUTH JACKSONVILLE, FL 32257 904.296-0757

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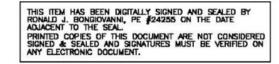


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PLAN STATUS	DATE
1st. Sub.	07/10/24
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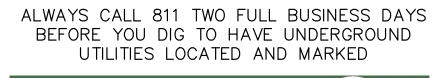


SITE ENGINEERING FOR N.E. FLORIDA POOL SERVICES, INC

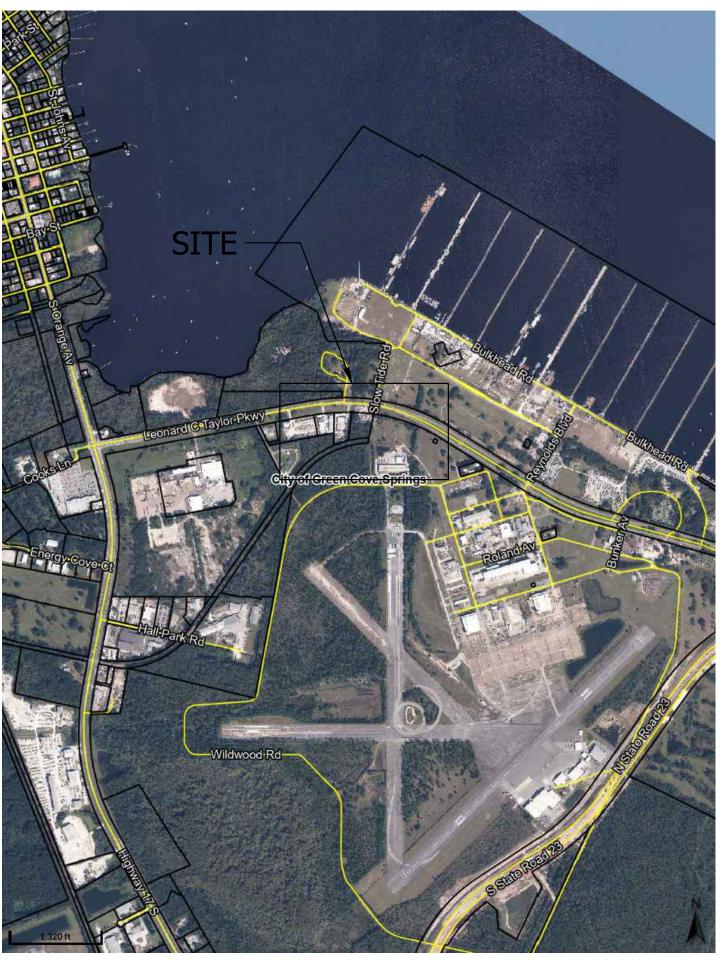
799 LEONARD C. TAYLOR PKWY GREEN COVE SPRINGS, FLORIDA

COVER SHEET

DRAWN BY:	AGS	
DESIGNED BY: DATE ISSUED:	RJB 07/10/2024	
DWG. SCALE:	AS NOTED	
VIKA NO.	VS24067A	
SHEET NO.	C-01	



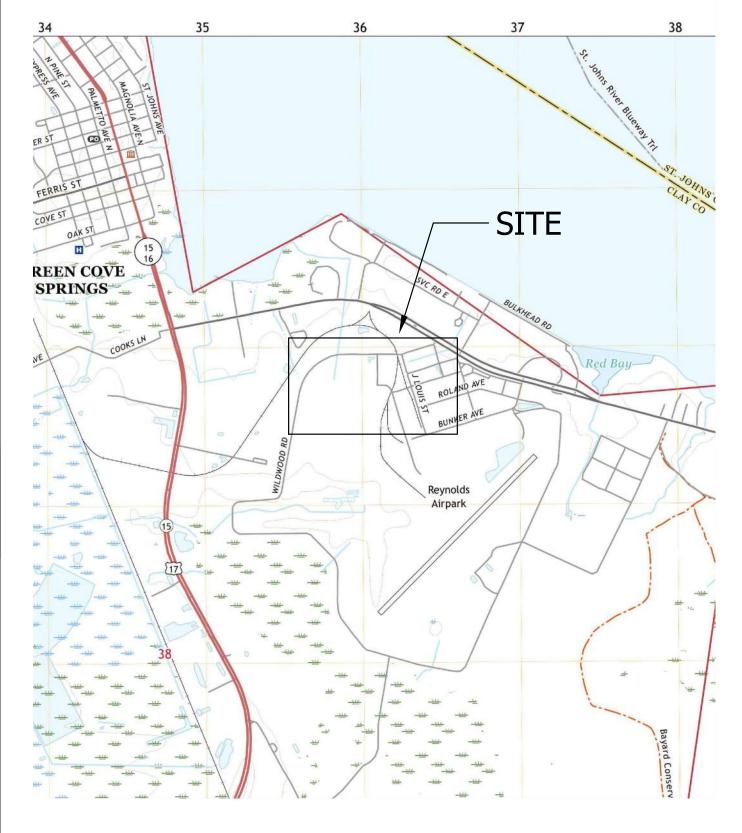








FEMA - FLOOD INSURANCE RATE MAP
MAP #12019 - PANEL 0281E- DATE 03/17/2014
SCALE: 1" = 1,000



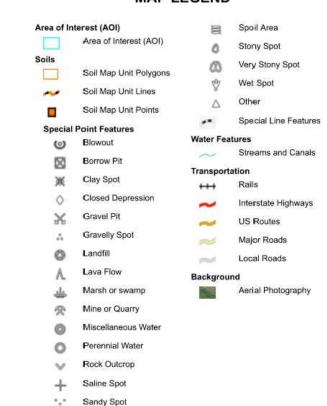
USGS QUADRANGLE MAP CITY OF GREENCOVE SPRINGS SCALE 1"=2,000'



Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
2t2v1	Cassia fine sand	27.1	83.1%
16	Hurricane-Urban land complex, 0 to 5 percent slopes	5.3	16.3%
19	Osier fine sand	0.1	0.2%
23	Sapelo-Urban land complex	0.1	0.4%
Totals for Area of Interest		32.6	100.0%

MAP LEGEND



Severely Eroded Sport

Sinkhole

Slide or Slip

Sodic Spot

NATURAL RESOURCES
CONSERVATION SERVICE
WEB SOIL SURVEY - CLAY
COUNTY, FLORIDA
SCALE 1" = 250'

GENERAL NOTES

- 1. THE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF GREEN COVE SPRINGS, CLAY COUNTY,
- AND FDOT LAND DEVELOPMENT CRITERIA.

 2. BOUNDARY, TREE AND EXISTING IMPROVEMENTS INFORMATION BASED ON SURVEY PROVIDED BY OWNER.

 SEE SOURCE NOTES
- SEE SOURCE NOTES.
 3. TOPOGRAPHIC INFORMATION BASED ON SURVEY BY OWNER. SEE SOURCE NOTES.
- 4. ELEVATIONS ARE BASED ON EXISTING MONUMENTATION DATUM. SEE SOURCE NOTES 5. SITE IS LOCATED IN FLOOD ZONE "X" BASED UPON FEMA MAP NUMBERS 120077 0364J
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING SURFACE AND SUBSURFACE
- 7. A GEOTECHNICAL REPORT HAS BEEN COMPLETED. THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR SHALL INCLUDE ALL CONSIDERATIONS FOR ADDRESSING THIS
- 8. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EITHER CONDUCT ANY FIELD EXPLORATION OR ACQUIRE ANY GEOTECHNICAL ASSISTANCE REQUIRED TO ESTIMATE THE AMOUNT OF UNSUITABLE MATERIAL THAT WILL REQUIRE REMOVAL AND/OR TO ESTIMATE THE AMOUNT OF OFF SITE BORROW THAT WILL BE
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO PREPARING THE BID FOR THE PURPOSE OF FAMILIARIZING THEMSELVES WITH THE NATURE AND THE EXTENT OF THE WORK AND LOCAL CONDITIONS, EITHER SURFACE OR SUBSURFACE, WHICH MAY AFFECT THE WORK TO BE PERFORMED AND THE EQUIPMENT, LABOR AND MATERIALS REQUIRED FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THIS CONTRACT. THE CONTRACTOR IS URGED TO TAKE COLOR PHOTOGRAPHS ALONG THE ROUTE OF THE PROJECT TO RECORD EXISTING CONDITIONS PRIOR TO CONSTRUCTION, AND TO AID IN RESOLVING POSSIBLE FUTURE COMPLAINTS THAT MAY OCCUR DUE TO THE
- CONSTRUCTION OF THE PROJECT.

 O. ALL IMPROVEMENTS SHOWN ARE TO BE WARRANTED BY THE CONTRACTOR TO THE DEVELOPER FOR A PERIOD OF TWO YEARS FROM THE DATE OF ACCEPTANCE BY THE OWNER.
- 11. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF O. S. H. A. SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ANY INJURIES OF HIS EMPLOYEES, AND ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT. ALL COSTS ASSOCIATED WITH COMPLYING WITH OSHA REGULATIONS AND THE FLORIDA TRENCH SAFETY ACT MUST BE INCLUDED IN THE CONSTRUCTION BID.
- 12. THE CONTRACTOR WILL CONTRACT WITH AN INDEPENDENT TESTING LABORATORY TO PERFORM MATERIAL TESTING AND SOIL TESTING IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, DENSITY TESTS IN ALL PAVEMENT AREAS AND IN ALL UTILITY TRENCHES LOCATED IN PAVEMENT AREAS CONCRETE TESTING AND ALL OTHER MATERIAL TESTING, PRIOR TO LIMEROCK PLACEMENT.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE REQUIRED FOR THE PROJECT INCLUDING RIGHT-OF-WAY PERMITS FOR WORK IN THE RIGHT-OF-WAY OR FASEMENT
- 14. THE CONTRACTOR SHALL COORDINATE THE WORK WITHIN CITY OR STATE RIGHT-OF-WAY WITH THE PROPER
- AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION AND REPAIR.

 15. THE CONTRACTOR SHALL COORDINATE THEIR CONSTRUCTION WITH ALL OTHER CONTRACTORS. IN THE EVENT OF ANY CONFLICT WHATSOEVER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR
- TO PROCEEDING WITH CONSTRUCTION.

 16. ALL CLEARING AND GRUBBING SHALL BE PERFORMED AS REQUIRED. ALL DEMOLITION AND DEMOLITION
- PERMIT SHALL BE PROVIDED BY THE CONTRACTOR.

 17. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL SURVEY AND PROPERTY MONUMENTS. IF A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL CONTRACT WITH THE SURVEYOR OF RECORD FOR
- REINSTALLATION OF THE MONUMENT.

 18. ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY CONTRACTOR, IN
- ACCORDANCE WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.

 19. ALL EXCESS SUITABLE AND UNSUITABLE MATERIAL SHALL BE REMOVED, PERMITTED AND COORDINATED
- WITH THE OWNER
 20. ALL EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED.
- 20. ALL EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED.21. BURNING OF TREES, BRUSH AND OTHER MATERIAL SHALL NOT BE PERMITTED.
- PLACEMENT OF ALL UNDERGROUND UTILITY LINE SHALL BE COORDINATED WITH OWNER'S REPRESENTATIVE TO ELIMINATE ANY CONFLICTS WITH LANDSCAPE DESIGN.
- 23. IF DEWATERING CAPACITY REQUIRES A CONSUMPTIVE USE PERMIT (CUP) (CUP) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT
- MANAGEMENT DISTRICT.

 24. PRIOR TO COMMENCEMENT OF CONSTRUCTION AND EXCAVATION ACTIVITIES, THE CONTRACTOR SHALL PERFORM GROUNDWATER TESTING IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY FEDERAL REGISTER, PAGE 42739, PART IA.3, TO DETERMINE PETROLEUM CONTAMINATION LEVELS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING N.P.D.E.S. PERMIT, IF REQUIRED, IN ORDER TO DISCHARGE ANY GROUNDWATER ENCOUNTERED DURING CONSTRUCTION AND DE-WATERING OPERATIONS.

 25. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND THE ENGINEER FOR APPROVAL OF ALL
- DEWATERING OPERATIONS PRIOR TO COMMENCEMENT.

 26. THE CONTRACTOR SHALL PROVIDE HANDICAP RAMPS AT ALL SIDEWALK AND CURB CONNECTIONS. HANDICAP
- RAMPS SHALL MEET ALL APPLICABLE ADA REQUIREMENTS. (SEE ACCESSIBILITY NOTES)

 27. REFER TO SEDIMENT AND EROSION CONTROL PLANS, DETAILS AND NOTES FOR ADDITIONAL INFORMATION.
- 28. ALL PRESERVATION AREAS AND UPLAND BUFFERS (DEPICTED ON PLANS) SHALL REMAIN NATURAL AND UNDISTURBED.
 29. SUBMITTAL OF ALL AS-BUILT SITE SURVEYS, INCLUDING BENCHMARKS, IS REQUIRED AND TO BE PROVIDED

BY THE CONTRACTOR.

PAVING AND DRAINAGE NOTES

- "AS-BUILT" DRAWINGS DRAINAGE AS-BUILTS PROVIDED TO THE ENGINEER AND THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT ARE REQUIRED TO BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR THEREFORE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTRACT WITH A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA FOR THE PREPARATION, FIELD LOCATIONS, CERTIFICATION AND SUBMITTAL OF "AS-BUILT" DRAWINGS IN ACCORDANCE WITH CURRENT STANDARDS AND SPECIFICATIONS AND S.J.R.W.M.D. REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROCESS THE AS-BUILT DRAWINGS IN ADDITION TO THE DRAINAGE SYSTEM THE "AS-BUILTS" SHALL SHOW THE ELEVATIONS AND LOCATION, OF THE TOP OF BANK, WATER LEVEL, TOE OF SLOPE AND POND BOTTOM AT 200' MAXIMUM INTERVALS ALONG POND BANK FOR ALL POND CONSTRUCTION. CONTRACTOR SHALL ALSO
- SHOW ALL CASING AND SLEEVE INVERTS.

 2. THE LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND IMPROVEMENTS SHOWN ON THE DRAWINGS IS BASED ON LIMITED INFORMATION AND MAY NOT HAVE BEEN FIELD VERIFIED. THE LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY RESPECTIVE UTILITY OWNERS AND FIELD VERIFY LOCATIONS OF EXISTING UTILITIES AND OTHER IMPROVEMENTS PRIOR TO COMMENCING ANY CONSTRUCTION. IF THE LOCATIONS SHOWN ARE CONTRARY TO THE ACTUAL LOCATIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF THE DISCREPANCY. THIS DISCREPANCY SHOULD BE RESOLVED PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS NEAR EXISTING UTILITIES AND IMPROVEMENTS AND SHALL BE RESPONSIBLE FOR AND SHALL REPAIR OR PAY FOR ALL DAMAGE MADE TO EXISTING UTILITIES OR OTHER IMPROVEMENTS. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL GRADES, INVERTS AND TYPE OF MATERIAL OF EXISTING UTILITIES TO WHICH HE SHALL CONNECT.
- 3. ALL UNSUITABLE MATERIALS UNDER PAVEMENT SHALL BE REMOVED IN ACCORDANCE WITH GEOTECHNICAL REPORT. ALL AREAS TO BE FILLED SHALL BE CLEARED AND GRUBBED IN ACCORDANCE WITH PROJECT REFERENCED GEOTECHNICAL REPORT (WHICHEVER IS MORE STRINGENT) AND SHALL BE FILLED WITH CLEAN STRUCTURAL FILL COMPACTED TO 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D 1557) IN ONE FOOT LIFTS. THE CONTRACTOR SHALL PERFORM DENSITY TEST AT A RATE OF NO LESS THAN ONE TEST PER 6000 SQUARE FEET OF AREA.
- 4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL MATERIALS TO THE ENGINEER FOR REVIEW AND APPROVAL, PRIOR TO FABRICATION SUBMITTAL TO PRIOR TO PURCHASE OR CONSTRUCTION OF ANY UTILITY
- PIPE OR STRUCTURE.
 SEE PAVING AND DRAINAGE DETAILS FOR ADDITIONAL INFORMATION.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF ALL SILT LADDEN STORMWATER RUNOFF. THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL DEVICES AS SHOWN ON THE PLANS

SUPPLEMENTAL SITE SPECIFIC NOTES

- 1. ALL UNDERGROUND STRUCTURES AND VAULTS SUBJECT TO SURFACE VEHICULAR TRAFFIC SHALL BE DESIGNED FOR A MINIMUM HS-20 LIVE LOAD UNLESS OTHERWISE SPECIFIED.
- 2. REFER TO MEP PLAN OR DRY UTILITY FOR SITE LIGHTING PLAN.

THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.

- 3. TO THE BEST OF VIKA'S KNOWLEDGE AND BELIEF THERE IS NO MARKING INDICATING GRAVE SITES ON THIS PROPERTY.
- I. UNLESS OTHERWISE SPECIFIED IN THE SOIL REPORT OR OTHER SPECIFICATIONS, ALL CONTROLLED FILLS MUST BE COMPACTED AT OPTIMUM MOISTURE PLUS OR MINUS 2%, TO DENSITY OF NOT LESS THAN 95% IN ACCORDANCE WITH ASTM D-1557. DENSITY MUST BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER AND THE RESULTS SUBMITTED TO VIKA PRIOR TO CONSTRUCTION.
- 5. UNLESS OTHERWISE SPECIFIED ALL BASE AND SUBBASE MATERIALS SHALL BE COMPACTED TO 95% OF THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557 MODIFIED PROCTOR, WITH ALLOWABLE RANGE OF OPTIMUM MOISTURE FOR THE FULL WIDTH OF ANY DEDICATED RIGHT-OF-WAY AND ALL THE COMMERCIAL, AND INDUSTRIAL PARKING LOTS; PRIVATE STREETS; PARKING BAYS; CURB AND GUTTER; AND SIDEWALKS ADJACENT TO STREETS AND PARKING LOTS
- 6. ALL EXISTING EASEMENTS ARE TO BE QUIT-CLAIMED TO THE CITY/COUNTY WITHIN ANY DEDICATED RIGHT-OF WAY.
- 7. ALL WALL HEIGHTS SHOWN ON THE PLANS ARE FROM TOP OF WALL TO FINISHED GRADE ABOVE THE FOOTING.
- 8. THE CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.

SOURCE NOTES

- 1. BOUNDARY SURVEY PROVIDED BY BOATWRIGHT LAND SURVEYORS, INC DATED 09/21/22 AND FIELD VERIFIED BY VIKA SOUTH, LLC DATED 03/28/24.
- THE SUBJECT PROPERTY LIES IN FLOOD ZONE "X" (AREA OF MINIMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 120065 0281E DATED 03/17/2014 AND PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. LOMA OR LOMR HAVE NOT BEEN REVIEWED.
- 3. THE HORIZONTAL DATUM FOR THIS SURVEY IS BASED ON NAD '83.
- 4. THE TOPOGRAPHY SHOWN HEREON HAS BEEN OBTAINED FROM A FIELD TOPOGRAPHIC SURVEY PROVIDED BY VIKA SOUTH, LLC DATED 03/28/24. THE CONTOUR INTERVAL IS ONE (1) FOOT, UNLESS OTHERWISE NOTED.
- 5. THE VERTICAL DATUM IS TIED TO NAVD '88.
- 6. THE EXISTING UTILITIES ON THIS SITE HAVE <u>NOT</u> BEEN FIELD LOCATED BY THE UTILITY PROVIDER. (SEE GENERAL CONSTRUCTION NOTE #6).

ARCHITECTURAL/MEP COORDINATION NOTES

NOTE: THE BUILDING INFORMATION (DIMENSIONS, UTILITY CONNECTIONS, ETC.) SHOWN ON THIS PLAN WAS TAKEN FROM INFORMATION PROVIDED BY

DENNIS M. WILLIAMS	03/26/24
ARCHITECT	DATED
DENNIS M. WILLIAMS	03/26/24
MEP	DATED

IT IS CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE MOST CURRENT APPROVED ARCHITECTURAL/MEP PLANS AND COORDINATE SAME WITH THE SITE PLAN, PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.

GEOTECHNICAL REPORT NOTES

NOTE: THE BUILDING INFORMATION (DIMENSIONS, UTILITY CONNECTIONS, ETC.) SHOWN ON THIS PLAN WAS TAKEN FROM INFORMATION PROVIDED BY

KELLY MURRAY	04/07/2023	M2023-028
GEOTECHNICAL ENGINEER	DATED	PROJECT #

ROADWAY NOTES

- ALL EXISTING UTILITIES IN STREETS AND SIDEWALKS SHALL BE ADJUSTED OR
 RECONSTRUCTED TO NEW GRADE AS REQUIRED, BY THE CONTRACTOR.
 A STRINGLINE SHALL BE ESTABLISHED FOR CURB AND GUTTER PRIOR TO FORMING AND
- 2. A STRINGLINE SHALL BE ESTABLISHED FÖR CURB AND GUTTER PRIOR TO FORMING AND PLACEMENT OF CONCRETE. THE STRINGLINE SHALL BE REVIEWED BY THE CONTRACTOR AND
- BY THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION.

 3. ALL DRIVEWAYS AND ACCESS TO ADJACENT PROPERTIES AND PROPERTIES LOCATED ACROSS ALL PUBLIC ROADWAYS SHALL BE MAINTAINED AT ALL TIMES.
- 4. STABLE SUBGRADE IS DEFINED AS THAT SOLID, UNDISTURBED EARTH CAPABLE OF SUPPORTING STREET LOADING WITHOUT DAMAGING SETTLEMENT AS DETERMINED BY THE
- ENGINEER.

 5. WHERE UNSTABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE MADE STABLE BY COMPACTION

 OR PERIAGENETAL AS DECLEDED BY THE GEOTESTIAN CONSULTANT.
- OR REPLACEMENT AS REQUIRED BY THE GEOTECHNICAL CONSULTANT.

 6. THE CONTRACTOR SHALL GRIND OR MILL EXISTING PAVEMENT ON ADJACENT ROADWAYS AS REQUIRED AND SHALL OVERLAY EXISTING PAVEMENT. PROVIDE HEELS AND SMOOTH FINISH SURFACE BETWEEN LIMIT OF OVERLAY AND EX. PAVEMENT SURFACE OVERLAY. LIMITS OF PAVEMENT WORK SHALL BE DETERMINED BY PUBLIC WORKS INSPECTOR AT TIME OF CONSTRUCTION. THE MINIMUM OVERLAY TO BE PROVIDED BY THE CONTRACTOR SHALL BE
- TO THE CENTERLINE OF ADJACENT ROADS UNLESS OTHERWISE INDICATED ON THE PLANS, DETAILS OR CONTRACT DOCUMENTS.

 THE CONTRACTOR SHALL VERIFY CLEARANCES BELOW EXISTING AERIAL UTILITY LINES TO
- REMAIN FOR VEHICULAR ACCESS AND STREETS AND CLEARANCES SHALL MEET JEA STANDARDS AND THE FDOT LAND USE PERMIT MANUAL.

 STANDARD GUARDRAIL SHALL BE REQUIRED BASED ON FINAL INSPECTION OF COUNTY/CITY
- INSPECTOR AND PHYSICAL CONDITIONS AND OBSTRUCTIONS IN FIELD AND/OR AS SPECIFIED ON THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PROVIDE A TEMPORARY WEDGE AT MANHOLE COVERS AND OTHER UTILITIES IN THE ROADWAY PRIOR TO SURFACE COURSE INSTALLATION.
 CONTRACTOR SHALL PROVIDE ALL MAINTENANCE OF TRAFFIC MEASURES AS REQUIRED.
- 11. ALL EXISTING UTILITY COVERS AND TOPS TO REMAIN AND SHALL BE ADJUSTED OR ARE RE-CONSTRUCTED TO NEW GRADES BY THE CONTRACTOR PRIOR TO SURFACE COURSE CONSTRUCTION
- SEPARATE SET OF PLANS.

 13. CROSSWALKS ACROSS PRIVATE STREETS SHALL PROVIDE A SPEED HUMP TO ENSURE THE

12. ANY INSTALLATION AND/OR MODIFICATION TO TRAFFIC SIGNAL SHALL BE PROVIDED WITH A

- LONGITUDINAL STREET GRADE DOES NOT EXCEED 2% THRU THE WIDTH OF THE CROSSWALK (MIN. 5 FEET). (SEE ACCESSIBILITY NOTES.)

 14. A SMOOTH GRADE SHALL BE MAINTAINED EROM CENTERLINE OF PROPOSED POADS OF
- 14. A SMOOTH GRADE SHALL BE MAINTAINED FROM CENTERLINE OF PROPOSED ROADS OR PARKING AREAS TO PROPOSED CURB AND GUTTER TO PRECLUDE THE FORMING OF FALSE GUTTER AND/OR THE PONDING OF ANY WATER ON THE ROADWAY.

EXISTING ROADWAY IMPROVEMENTS STAKEOUT SPECIFICATIONS -

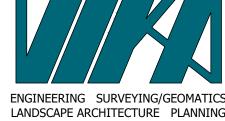
IT IS NOT TYPICAL TO HAVE EXISTING PAVEMENTS OR ROADWAYS THAT ARE CONSTRUCTED AT THE PRECISE ORIGINAL DESIGN PARAMETERS, AND AS SUCH, TYPICAL SECTIONS AND LONGITUDINAL DESIGN SLOPES MAY VARY. IT IS IMPERATIVE THAT THE FOLLOWING PROCEDURE BE FOLLOWED WHEN CONSTRUCTING ADDITIONAL LANES, TURN LANES, OR ROADWAY WIDENING OPERATIONS TO ADJUST THE DESIGN TO EXISTING CONDITIONS.

SITE CONTRACTOR SHALL PREPARE AND SUBMIT AN OVERALL STAKEOUT WORKSHEET EXHIBIT FOR THE OWNER'S REPRESENTATIVE, ENGINEER OF RECORD, AND THE INSPECTOR TO REVIEW. THE STAKEOUT OF PROPOSED CONCRETE CURB AND GUTTER SHALL INCLUDE POINTS SET AT AN APPROPRIATE OFFSET TO THE ULTIMATE FACE OF THE CURB FOR PAVEMENT WIDENING OR WITH NAILS SET DIRECTLY IN PAVEMENT AT THE POINT OF GUTTER SAWCUT INCLUDING ONE WITH AN APPROPRIATE OFFSET IN EXISTING PAVEMENT POINTS SHALL ALSO BE SET AT FEATURES, SUCH AS THE PC'S AND PT'S OF CURVES, 50' INTERVALS ALONG TANGENT SECTIONS AND 25' INTERVALS ALONG CURVED SECTIONS. THE STAKEOUT PLAN AND PROCEDURE SHALL SET ALL RADIUS POINTS OF LESS THAN 20'. POINTS SHALL ALSO BE OFFSET TO THE CENTER OF PROPOSED HANDICAP

ACCESS RAMPS, OR DIRECTLY AT THE FACE OF CURB IF AN OFFSET IS NOT PRACTICAL. HIGH AND

LOW POINTS MAY NOT BE STAKED IN THE FIELD, BUT SHALL BE INDICATED ON ALL CUTSHEETS.

DURING THE CURB STAKEOUT, THE FIELD CREW SHALL DOCUMENT THE EXISTING CROSSLOPE AND LONGITUDINAL SLOPE OF THE EXISTING PAVEMENT IN AREAS WHERE THE PROPOSED EDGE OF GUTTER PAN OR BOTTOM OF CURB FALLS WITHIN THE EXISTING PAVEMENT AND ALSO IN PAVEMENT WIDENING WHEN THE NEW CURB AND/OR CURB AND GUTTER FALLS WITHIN EXISTING PAVEMENT AREAS NAILS WILL BE SET EVERY 25' ALONG THE NEW FACE OF HEADER CURB OR AT THE NEW GUTTER LINE. THESE SHOTS WILL BE UTILIZED TO MAKE FINAL ADJUSTMENTS TO THE PROPOSED TOP OF CURB GRADES AND TO PROVIDE POSITIVE DRAINAGE PATTERNS AND ESTABLIS MINIMUM CROSSLOPES PER DESIGN STANDARDS. CUTSHEETS ESTABLISHING NEW TOP OF CURB ELEVATIONS SHALL BE COMPUTED AND ISSUED AND PROCESSED THROUGH THE INSPECTOR AS REQUIRED, PRIOR TO PLACEMENT OF CURB AND GUTTER AND/OR PAVING. THE CROSSLOPE SHALL BE ADJUSTED TO MEET THE DESIGN CRITERIA (2.08%), INCLUDED ON THE DESIGN PLAN OR SUPER ELEVATION SLOPES IN AREAS OF TRANSITION. THE LONGITUDINAL SLOPE SHALL BE ADJUSTED, AS REQUIRED, TO MEET VERTICAL DESIGN CRITERIA AND MATCH THE EXISTING ROADWAY ELEMENTS. THE CROSSLOPE AND LONGITUDINAL ADJUSTMENTS SHALL BE INDICATED ON THE STAKEOUT WORKSHEET AND THE CUTSHEET SHALL BE COORDINATED WITH THE INSPECTOR AND ENGINEER OF RECORD. THE AREAS AND LIMITS OF PAVEMENT MILLING SHALL BE IDENTIFIED ON THE WORKSHEET EXHIBIT. THE STAKEOUT WORKSHEET SHALL BE REVIEWED BY THE ENGINEER OF RECORD AND FURNISHED ALONG WITH ALL CUTSHEETS TO THE INSPECTOR, AS REQUIRED, AND THE OWNER'S REPRESENTATIVES PRIOR TO CONSTRUCTION.



LANDSCAPE ARCHITECTURE PLANN

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Our Site Set on the Future.

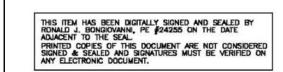
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V 12.00

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PROFESSIONAL SEAL



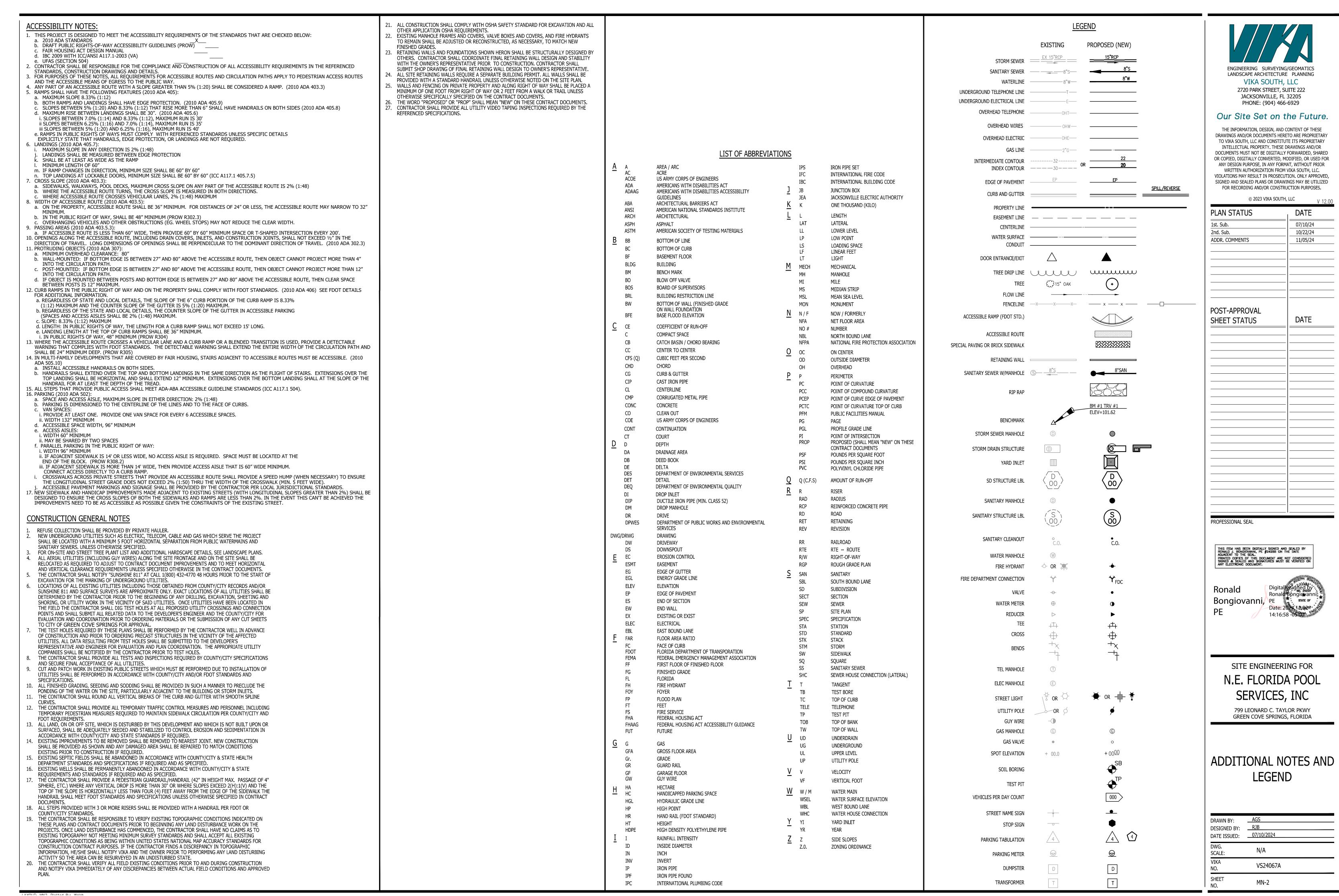


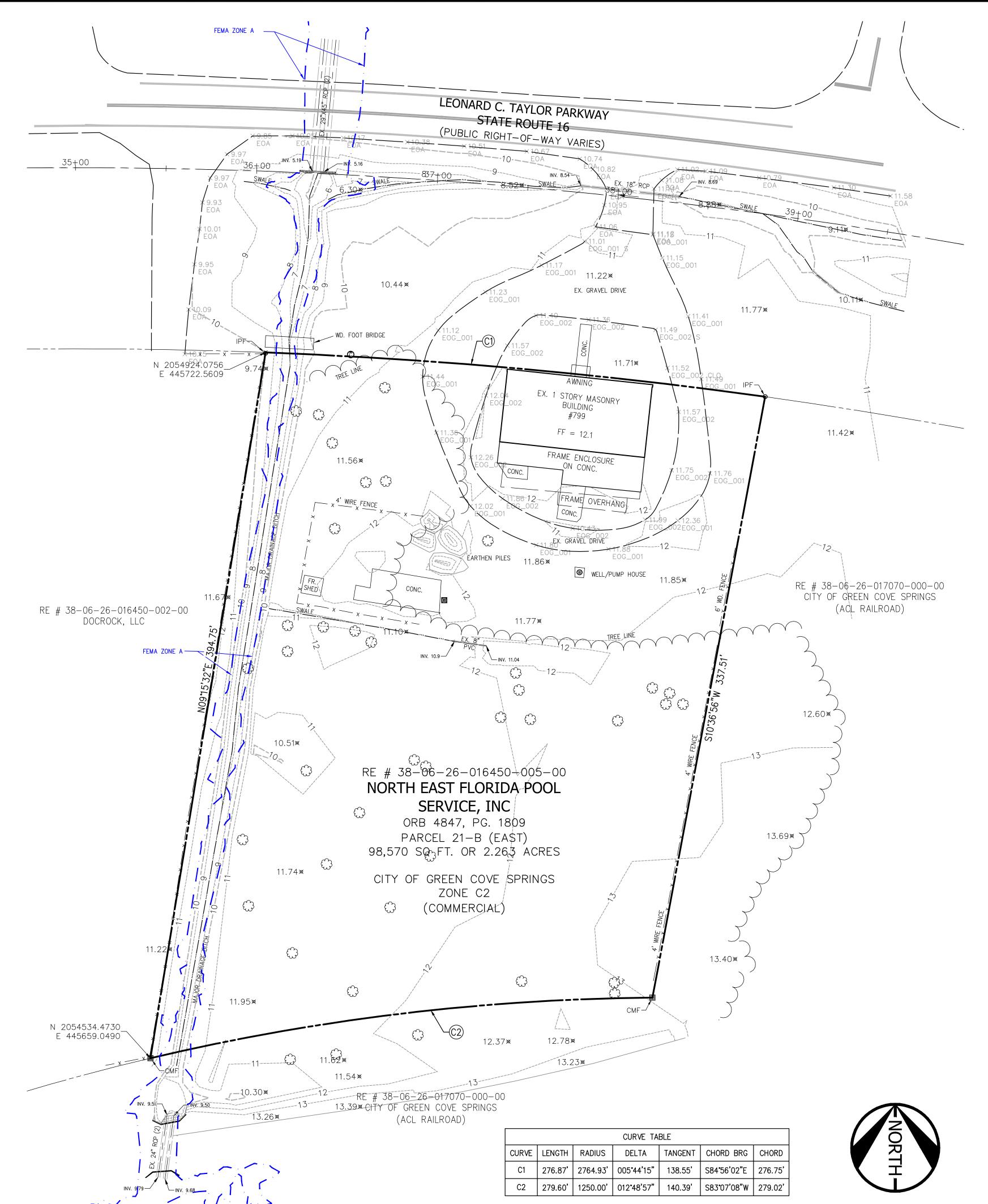
SITE ENGINEERING FOR
N.E. FLORIDA POOL
SERVICES, INC

799 LEONARD C. TAYLOR PKWY GREEN COVE SPRINGS, FLORIDA

MAPS AND NOTES

DRAWN BY: DESIGNED BY: DATE ISSUED:	AGS RJB 07/10/2024	
DWG. SCALE:	AS NOTED	
VIKA NO.	VS24067A	
SHEET NO.	MN-1	





LEGEND:

© ELECTRICAL MANHOLE STORM DRAIN MANHOLE O CATCH BASIN RIM ELECTRICAL JUNCTION BOX ■ INLETS GUY POLE ☆ LIGHT POLE

\◀ GROUND LIGHT UTILITY POLE △ ELECTRIC METER △ ELECTRIC RISER

PHONE MANHOLE PHONE PEDESTAL CABLE TELEVISION PEDESTAL **©** GAS VALVE

© GAS MANHOLE GAS MARKER TRAFFIC CONTROL BOX TRAFFIC SIGNAL POLE * PEDESTRIAN CALL SIGNAL ■ EXTERIOR DOORWAY

CURB INLET S SANITARY MANHOLE SANITARY CLEANOUT

⊕ WATER METER W WATER MANHOLE M WATER GATE VALVE -⇔ FIRE HYDRANT → FIRE DEPARTMENT CONNECTION IRRIGATION CONTROL VALVE WELL
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WATER SHUT OFF VALVE

⊗ SPOT ELEVATION

WO WATER CROCK (METER BOX)

€ TREE HANDICAP PARKING METER HVAC UNIT

→ SIGN POST

 UNKNOWN UTILITY MANHOLE BOLLARD COLUMN ♀ CENTERLINE

N NORTH SOUTH EAST W WEST

×^{x-cu1}X-CUT

(R) RECORD INFORMATION (M) MEASURED INFORMATION

IRON PIPE FOUND

• REBAR FOUND

⊕ PKN AIL FOUND

● DRILL HOLE FOUND

NOTES:

- 1. THE SUBJECT PROPERTY IS IDENTIFIED AS REAL ESTATE NUMBER 38-06-26-016450-005-000, CLAY COUNTY, AND IS ZONED C-2.
- 2. TITLE TO THE THE SUBJECT PROPERTY IS CURRENTLY VESTED IN MEXITA, LLC, BY VIRTUE OF DEED RECORDED IN BOOK OR 4719, PAGE 437.
- 3. BOUNDARY OF THE SUBJECT PROPERTY, HAS BEEN RE-ESTABLISHED PER BOUNDARY SURVEY PROVIDED BY BOATWRIGHT LAND SURVEYORS, INC., JASON D. BOATWRIGHT, P.S.M. DATED SEPT. 21, 2022.
- 4. NO TITLE REPORT FURNISHED.
- 5. THE SUBJECT PROPERTY IS LOCATED IN ZONES "X" (AREA OF MINIMAL FLOOD HAZARD) AND "A" (SPECIAL FLOOD HAZARD AREA — WITHOUT BASE FLOOD ELEVATIÓN) AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCÉ RATE MAP (FIRM) NUMBER 12019C0281E FOR CLAY COUNTY, CITY OF GREEN COVE SPRINGS, DATED MARCH 17, 2014. ZONE "X" IS (NOT) IDENTIFIED AS A SPECIAL FLOOD HAZARD ZONE AREA.
- 6. THIS SURVEY WAS COMPLETED IN THE FIELD USING A COMBINATION OF ACCEPTED LAND SURVEYING METHODOLOGIES INCLUDING TOTAL STATION, AND GPS RTK DATA
- 7. THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO FLORIDA STATE PLANE COORDINATE SYSTEM OF 1983 (FLE-83).
- 8. THE TOPOGRAPHIC INFORMATION ESTABLISHED IN THE FIELD AND DEPICTED ON THIS SURVEY IS REFERENCED TO NORTH AMERICAN VERTICAL DATUM (NAVD '88) AS ESTABLISHED FROM FLORIDA PERMANENT REFERENCE NETWORK (FPRN). THE VERTICAL ACCURACY OF ELEVATION POINTS SHOWN HEREON IN $\pm /-$ 0.1'. IF THIS TOPOGRAPHY IS UTILIZED FOR DETERMINING FLOOD ELEVATIONS AND OR FEMA COMPLIANCE, IT SHOULD BE VERTICALLY COORDINATED WITH THE DATUM OF THE APPROVED FÉMA STUDY AND/OR ANY OTHER JURISDICTIONAL REQUIREMENTS OR ESTABLISHED DATUM IF OTHER THAN NAVD '88.
- 9. THE CONTOUR INTERVAL IS 1 FOOT.
- 10. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THIS FLORIDA LICENSED SURVEYOR AND MAPPER, UNLESS PROVIDED WITH AN ELECTRONIC SIGNATURE AND ABILITY TO VALIDATE. THE SEAL APPEARING ON THIS SURVEY WAS AUTHORIZED BY FRANKLIN E. JENKINS ON THE DATE OF THE ELECTRONIC SIGNATURE.

SURVEYOR'S CERTIFICATE:

I, FRANKLIN E. JENKINS, A DULY REGISTERED SURVEYOR AND MAPPER IN THE STATE OF FLORIDA, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE BOUNDARY AND TOPOGRAPHIC SURVEY SHOWN HEREON IS CORRECT AND COMPLIES WITH THE MINIMUM PROCEDURES AND STANDARDS ESTABLISHED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS (5J-17.051 AND 5J-17.052) PURSUANT TO SECTION 472.027, FLORIDA STATUTES..

THE FIELD WORK WAS COMPLETED ON MARCH 29, 2024.



PROFESSIONAL SURVEYOR AND MAPPER LS # 7449 EMAIL ADDRESS: JENKINS@vika.com



10/22/2024 OCTOBER 22, 2024



LANDSCAPE ARCHITECTURE PLANNING VIKA SOUTH, LLC 2720 PARK STREET, SUITE 222 JACKSONVILLE, FL 32205

Our Site Set on the Future.

PHONE: (904) 466-6929

THE INFORMATION, DESIGN, AND CONTENT OF THESE DRAWINGS AND/OR DOCUMENTS HERETO ARE PROPRIETARY TO VIKA SOUTH, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE DIGITALLY FORWARDED, SHARED OR COPIED, DIGITALLY CONVERTED, MODIFIED, OR USED FOR ANY DESIGN PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA SOUTH, LLC. VIOLATIONS MAY RESULT IN PROSECUTION, ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR RECORDING AND/OR CONSTRUCTION PURPOSES.

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PLAN STATUS	_I DATE
1st. Sub.	07/10/24
2nd. Sub.	10/22/24
ADDR. COMMENTS	11/05/24
ADDR. COMMENTS	11/03/24
POST-APPROVAL	DATE
SHEET STATUS	DATE
	-

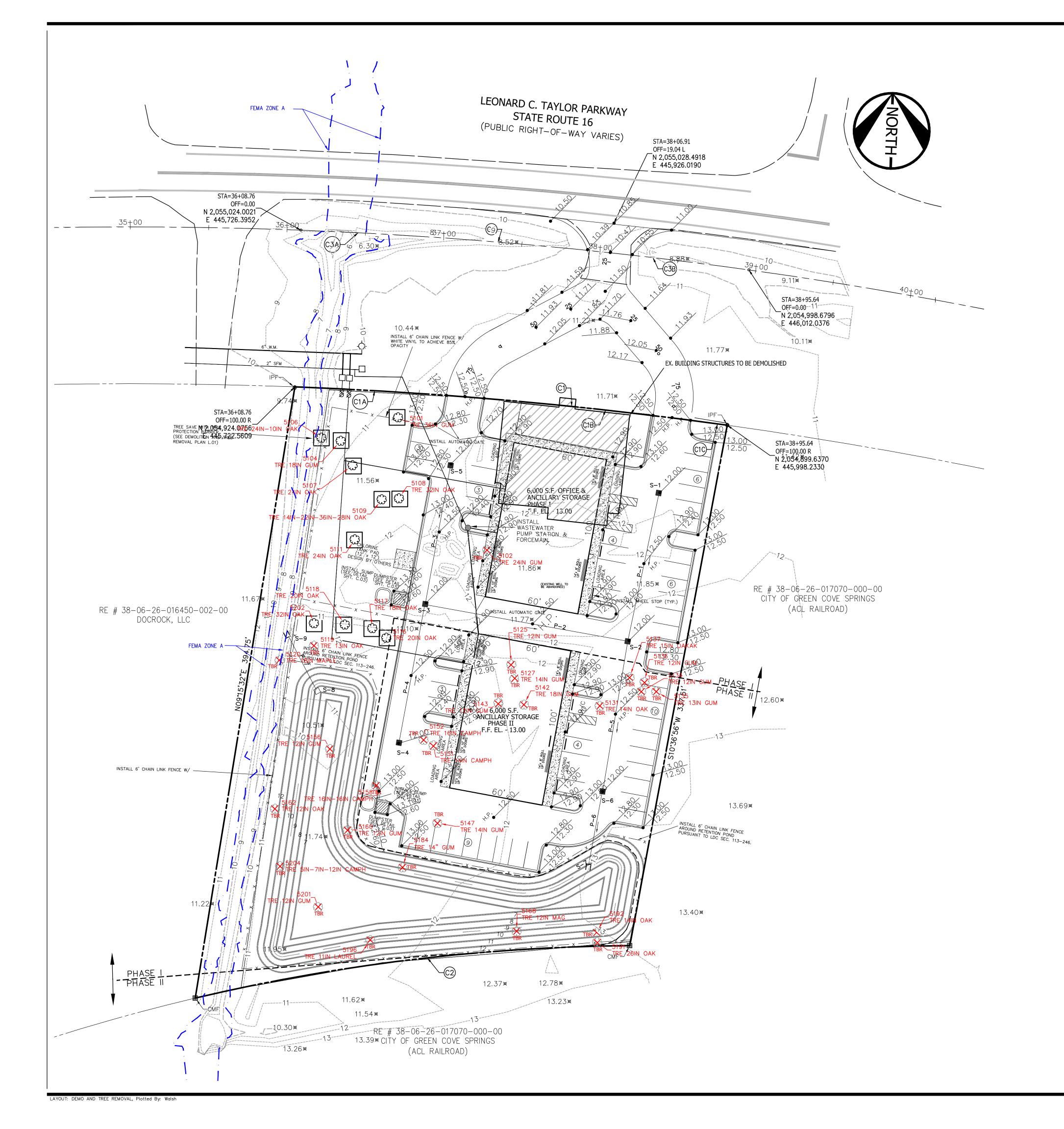
PROFESSIONAL SEAL

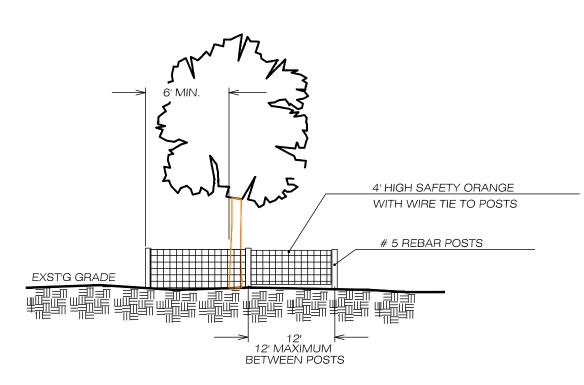
SITE ENGINEERING FOR N.E. FLORIDA POOL SERVICES, INC

799 LEONARD C. TAYLOR PKWY GREEN COVE SPRINGS, FLORIDA

EXISTING CONDITIONS SURVEY

	100	
DRAWN BY: DESIGNED BY:	AGS RJB	
DATE ISSUED:	07/10/2024	
DWG. SCALE:	1" = 30'	
VIKA NO.	VS24067A	
SHEET NO.	SV-01	





TREE PROTECTION DETAIL PLACE TREE PROTECTION BARRIER AROUND ALL TREES SHOWN TO REMAIN WITHIN CONSTRUCTION AREAS



Гаg		<u>Tree ID</u>	Saved Tree Multiplier
	5101	36in Gum	36
		24in Gum	
		18in Gum	9
		24in Oak	30
		24in Oak	30
		32in Oak	48
		14in-22in-36in-28in Oak	134
		24in Oak	30
		20in Oak	25
		18in Oak	18
		20in Oak	25
		13in Oak	
	5120	· · · · · · · · · · · · · · · · · · ·	
		12in Gum	
	5127		
		14in Oak 12in Gum	
		13in Gum	
		12in Gum	
		15in Oakak	
		18in Gum	
		12in Gum	
		14in Gum	
		12in Gum	
		12in Gum	
		12in Oak	
	5168	12in Magnolia	
	5184	14in Gum	
	5187	13in Magnolia	
	5191	26in Oak	
	5192	14in Oak	
	5196	11in Laurel	
	5197	18in Gum	
	5199	12in Laurel	
	5201	12in Gum	
		32in Oak	48
		Total Tree Diameter =	644
		Total Removed =	359
		Total Saved =	433



LANDSCAPE ARCHITECTURE PLANNING VIKA SOUTH, LLC 2720 PARK STREET, SUITE 222 JACKSONVILLE, FL 32205 PHONE: (904) 466-6929

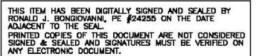
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1st. Sub.	07/10/24
2nd. Sub.	10/22/24
ADDR. COMMENTS	11/05/24
POST-APPROVAL	
SHEET STATUS	DATE

PROFESSIONAL SEAL



Bongiovann Bongiovanni

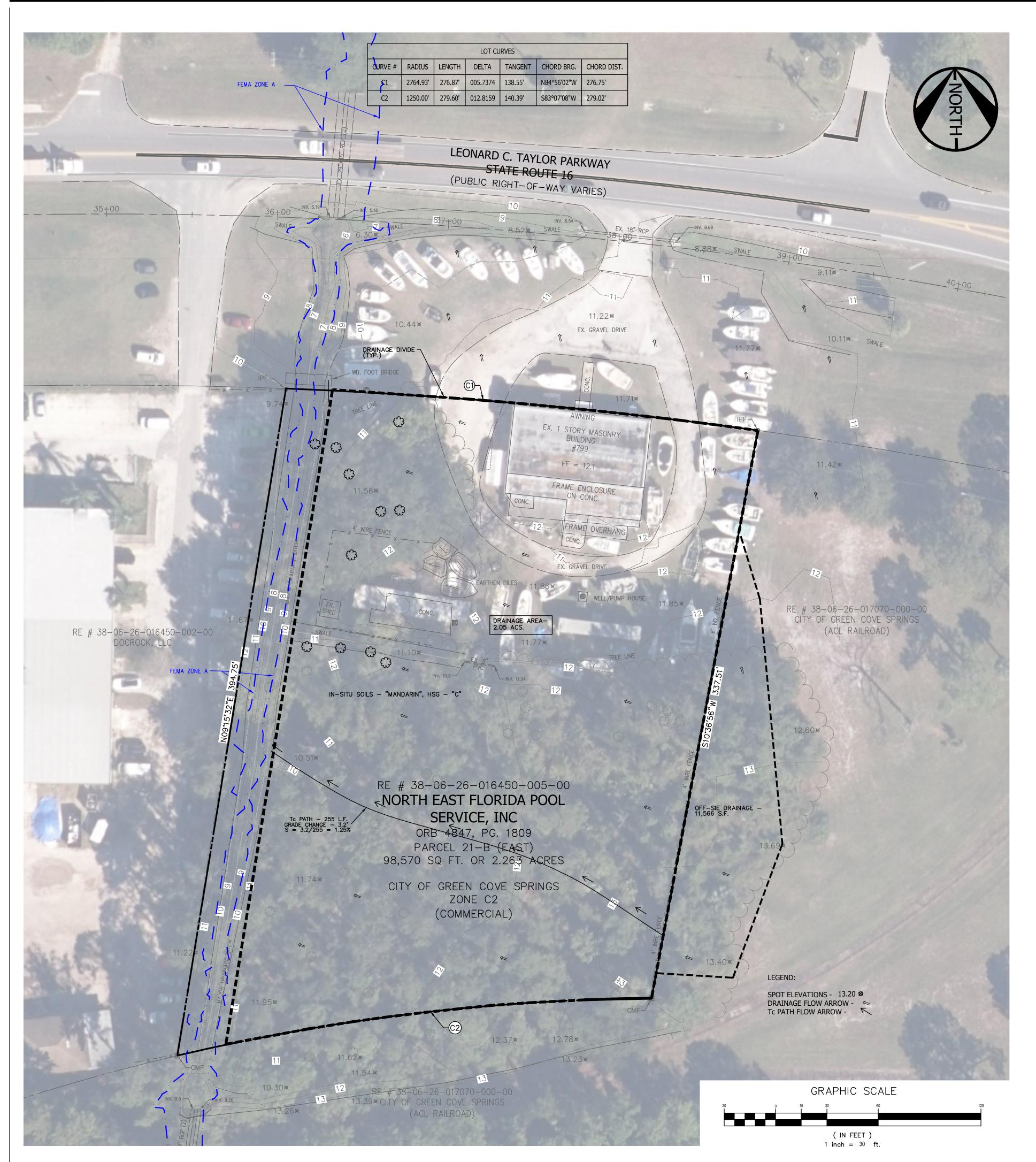


SERVICES, INC

799 LEONARD C. TAYLOR PKWY GREEN COVE SPRINGS, FLORIDA

DEMOLITION AND TREE REMOVAL PLAN

DRAWN BY:	AGS	
DESIGNED BY:	RJB	
DATE ISSUED:	07/10/2024	
DWG. SCALE:	1" = 30'	
VIKA NO.	VS24067A	
SHEET NO.	L.01	



LANDSCAPE ARCHITECTURE PLANNING

VIKA SOUTH, LLC 2720 PARK STREET, SUITE 222 JACKSONVILLE, FL 32205 PHONE: (904) 466-6929

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PLAN STATUS	_I DATE
1st. Sub.	07/10/24
2nd. Sub.	10/22/24
ADDR. COMMENTS	11/05/24
7.DOTT COTTILLTO	
POST-APPROVAL	
SHEET STATUS	DATE
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PRE-DEVELOPMENT DRAINAGE DATA:

SITE AREA - 98,838 S.F. = 2.269 ACRES

TOTAL EXIST. PERVIOUS - 88,878 S.F. PER-CENT IMPERVIOUS - 32.8%

ON-SITE DRAINAGE AREA - 89,208 S.F. OFF-SITE DRAINAGE AREA - 11,566 S.F.

IN-SITU SOILS - "MANDÁRIN", HSG - "C"

Cn (SCS CURVE NUMBER)

EXISTING BUILDINGS (TO BE DEMOLISHED) - 6,274 S.F.

TOTAL EXIST. IMPERVIOUS/SEMI IMPERVIOUS - 7,485 S.F.

Cn - OPEN SPACE (FAIR CONDITION) - SCS Cn - 79 Cn — IMPERVOIUS AREAS (ROOF AND SIDEWALKS) — 98 Cn — SEMI IMPERVOIUS AREAS (GRAVEL ROADS) — 89

EXISTING DRIVEWAY/PARKING (TO BE DEMOLISHED) - 4,475 S.F.

EXISTING ROOF OVERHANG, SIDEWALK (TO BE DEMOLISHED) - 1,211 S.F.

THE EXISTING SITE IS, PRESENTLY, DEVELOPED AS A RETAIL STORE WITH GRAVEL DRIVEWAY AND PARKING AREA.
EXISTING BUILDING AND PAVEMENT SHALL BE DEMOLISHED AND REMOVED. NO EXISTING SITE IMPROVEMENT ARE TO REMAIN.

THE SITE STORMWATER RUN-OFF FLOWS EAST TO WEST AND INTO THAT CONVEYS STORMWATER RUN-OFF SOUTH TO NORTH, ACROSS

A MAJOR DRAINAGE DITCH EXIST ALONG THE WEST SIDE OF THE LOT THAT CONVEYS STORMWATER RUN-OFF SOUTH TO NORTH, ACROSS S.R. 16 AND, ULTIMATELY, DISCHARGES FLOWS INTO THE ST. JOHNS

BACKGROUND:

EXISTING SITE:

PROFESSIONAL SEAL

Ronald ni, PE



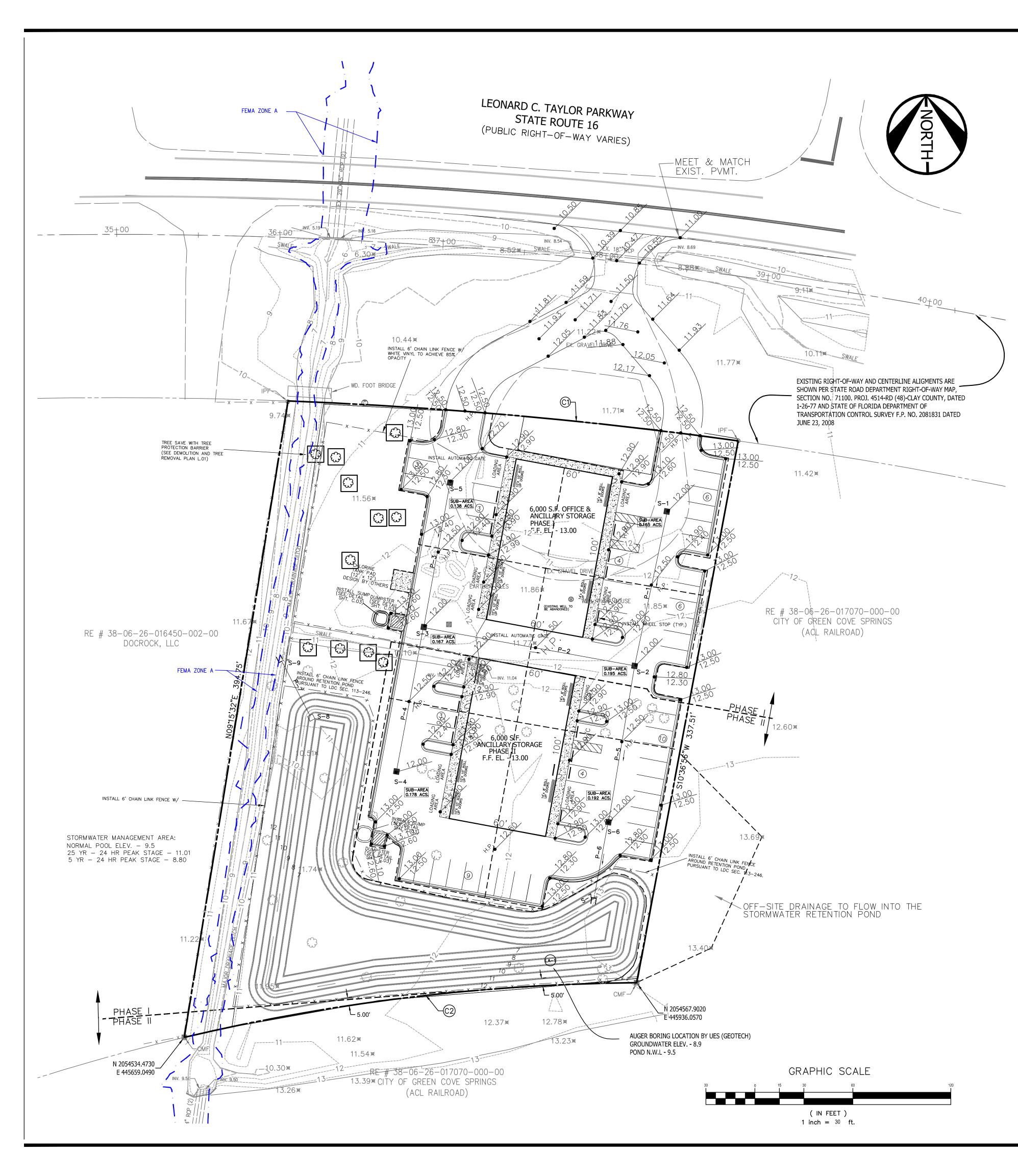
SITE ENGINEERING FOR N.E. FLORIDA POOL SERVICES, INC

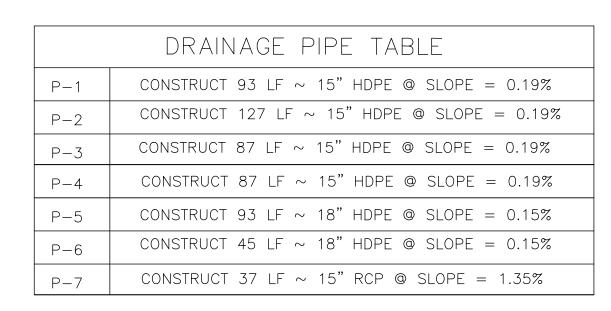
799 LEONARD C. TAYLOR PKWY GREEN COVE SPRINGS, FLORIDA

PRE-DEVELOPMENT DRAINAGE PLAN

DRAWN BY: DESIGNED BY: DATE ISSUED:	AGS RJB 07/10/2024	709 Popularia
DWG. SCALE:	1" = 30'	
VIKA NO.	VS24067A	E. Projecte () 24067
SHEET NO.	C.01	

LAYOUT: BORD, Plotted By: Walsh

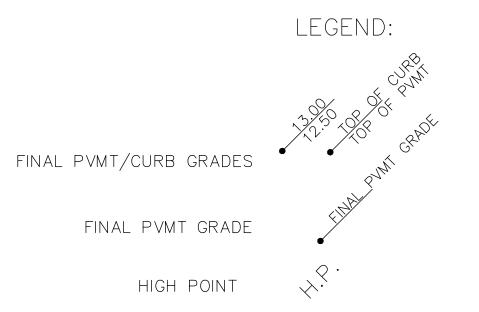




DRAINAGE STRUCTURE TABLE						
STRUCTURE	TYPE	GRATE / RIM	INVERT ELEVATIONS			
SINOCIONE		ELEVATION	NORTH	EAST	WEST	SOUTH
S-1	TYPE "C" INLET	12.00				8.52
S-2	TYPE "C" INLET	12.00	8.34		8.34	8.09
S-3	TYPE "C" INLET	12.00	8.58	8.58		8.58
S-4	TYPE "C" INLET	12.00	8.75			
S-5	TYPE "C" INLET	12.00				8.75
S-6	TYPE "C" INLET	12.00	7.95			7.95
S-7	15" MES				7.88	
S-8	CONTROL STR. (SEE DETAIL)				9.50	
S-9	15" MES				9.43	

POST-DEVELOPMENT SITE DATA:

CONSTRUCTION LIMITS AREA - 2.05 ACS. = 89,290 S.F. NEW BUILDING AREA - 12,000 S.F. NEW SIDEWALK AREA - 2,904 S.F. NEW PAVEMENT/CURB AREA - 30,941 S.F. IMPERVIOUS AREA - 57,610 S.F. PERVIOUS AREA - 31,680 S.F. PER-CENT IMPERVIOUS - 50%





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PLAN STATUS	DATE
1st. Sub.	07/10/24
2nd. Sub.	10/22/24
ADDR. COMMENTS	11/05/24
POST-APPROVAL	
SHEET STATUS	DATE

PROFESSIONAL SEAL



Ronald Bongiovar

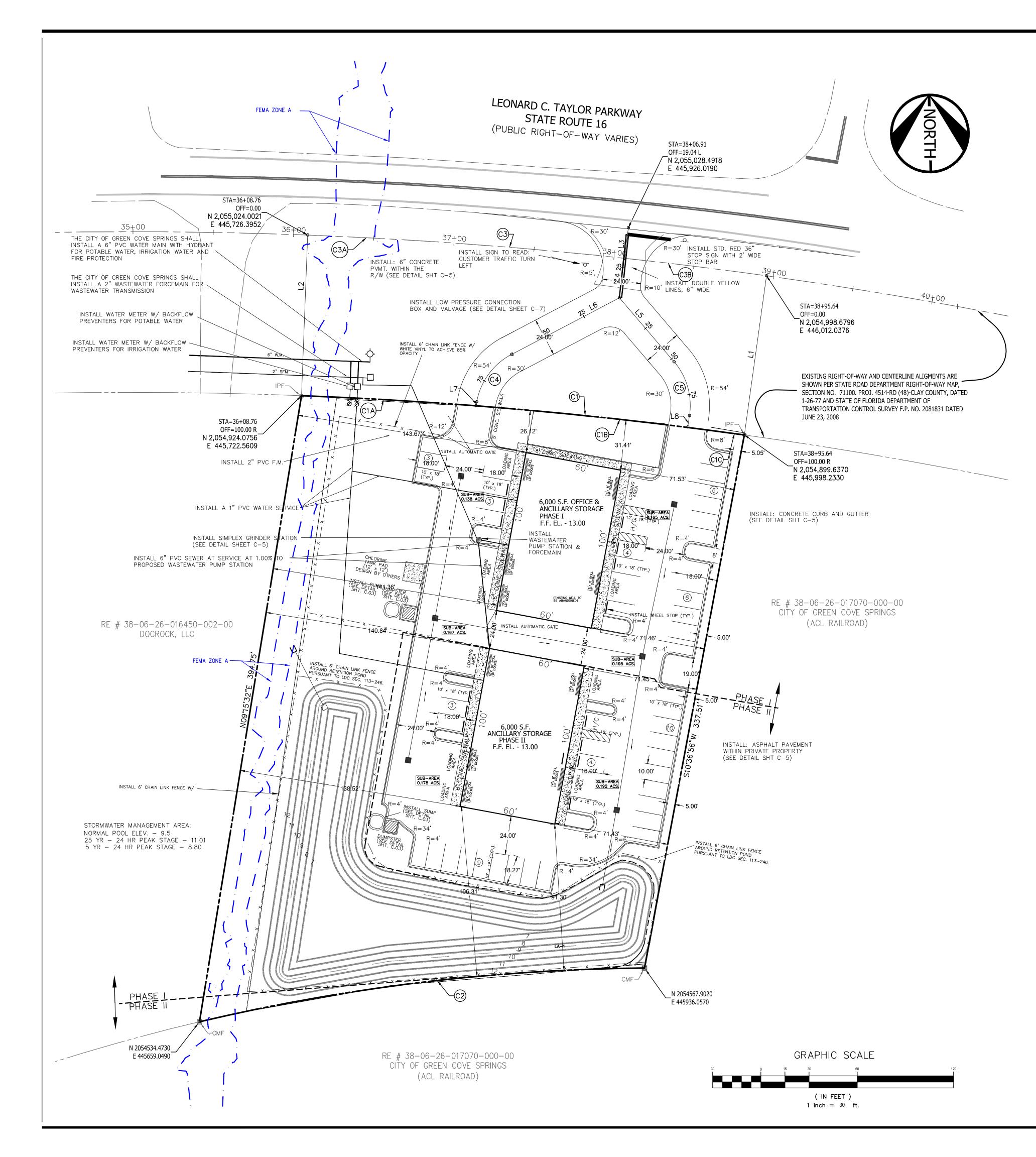


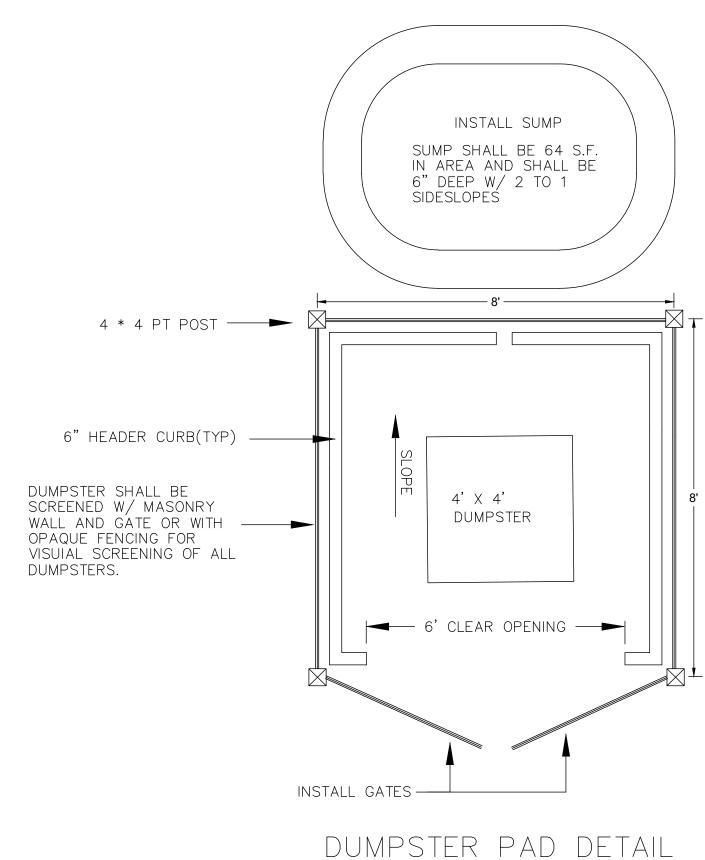
N.E. FLORIDA POOL SERVICES, INC

799 LEONARD C. TAYLOR PKWY GREEN COVE SPRINGS, FLORIDA

POST DEVELOPMENT DRAINAGE PLAN

DRAWN BY: DESIGNED BY:	AGS RJB 07/10/2024
DATE ISSUED: DWG. SCALE:	1" = 30'
VIKA NO.	VS24067A
SHEET NO.	C.02





PAVING:

ALL PAVEMENT INSTALLED WITHIN THE FDOT R/W SHALL BE CONCRETE (SEE DETAIL SHEET C-5) ALL PAVEMENT INSTALLED ON PRIVATE PROPERTY SHALL BE SHALL BE ASPHALT (SEE DETAIL SHEET C-5) ALL CURB & GUTTER SHALL BE STANDARD (DUMP) SHALL BE SHALL BE ASPHALT (SEE DETAIL SHEET C-5) ALL PAVEMENT DIMENSIONS ARE FROM FACE OF CURB

NTS

SITE DATA:

LOT AREA - 2.26 ACS. MAXIMUM ALLOWABLE BUILDING COVERAGE - 35% ACTUAL BUILDING COVERAGE - 12.2% MAXIMUM BUILDING HEIGHT - 35' PARKING: MINIMUM REQUIRED PARKING SPACES: (1) PARKING SPACE PER 250 S.F. OF BUILDING AREA MINIMUM REQUIRED PARKING SPACES: 12,000 S.F. BUILDING AREA/250 S.F./SPACE = 48 SPACES PARKING SPACES PROVIDED - 48 SPACES BUILDING SET-BACKS: FRONT - 25' REAR - 10' SIDE - NONE

	CURVE TABLE						
CURVE #	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG.	CHORD DIST.	
C1	2764.93'	276.87'	005.7374	138.55'	S84°56'02"E	276.75'	
C1A	2764.93'	108.80'	002.2546	54.41'	S86°40'31"E	108.79'	
C1B	3099.33'	132.49'	002.4493	66.26'	S84°16'44"E	132.48'	
C1C	2791.68'	35.58'	000.7303	17.79'	S82°02'53"E	35.58'	
C3	2864.93'	286.88'	005.7374	143.56'	S84°56'02"E	286.76'	
СЗА	2864.93'	197.79'	003.9555	98.93'	S85°49'29"E	197.75'	
СЗВ	2864.93'	89.10'	001.7819	44.55'	S82°57'22"E	89.09'	
C5	42.00'	35.88'	048.9428	19.12'	S16°00'20"E	34.80'	

CONSTRUCTION AREA - 1.91 ACS.

LINE TABLE					
LINE #	BEARING	DISTANCE			
L1	N07°56'05"E	100.00'			
L2	N02°11'51"E	100.00'			
L3	N07°14'58"E	19.04'			
L4	N07°14'58"E	24.82'			
L5	S40°28'37"E	52.35'			
L6	N62°17'19"E	75.79'			
L7	N10°34'38"E	2.54'			
L8	N08°27'57"E	7.23'			



LANDSCAPE ARCHITECTURE PLANNING VIKA SOUTH, LLC 2720 PARK STREET, SUITE 222 JACKSONVILLE, FL 32205 PHONE: (904) 466-6929

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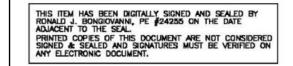
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PLAN STATUS	DATE
1st. Sub.	07/10/24
2nd. Sub.	10/22/24
ADDR. COMMENTS	11/05/24

OST-APPROVAL HEET STATUS	DATE

PROFESSIONAL SEAL



Ronald

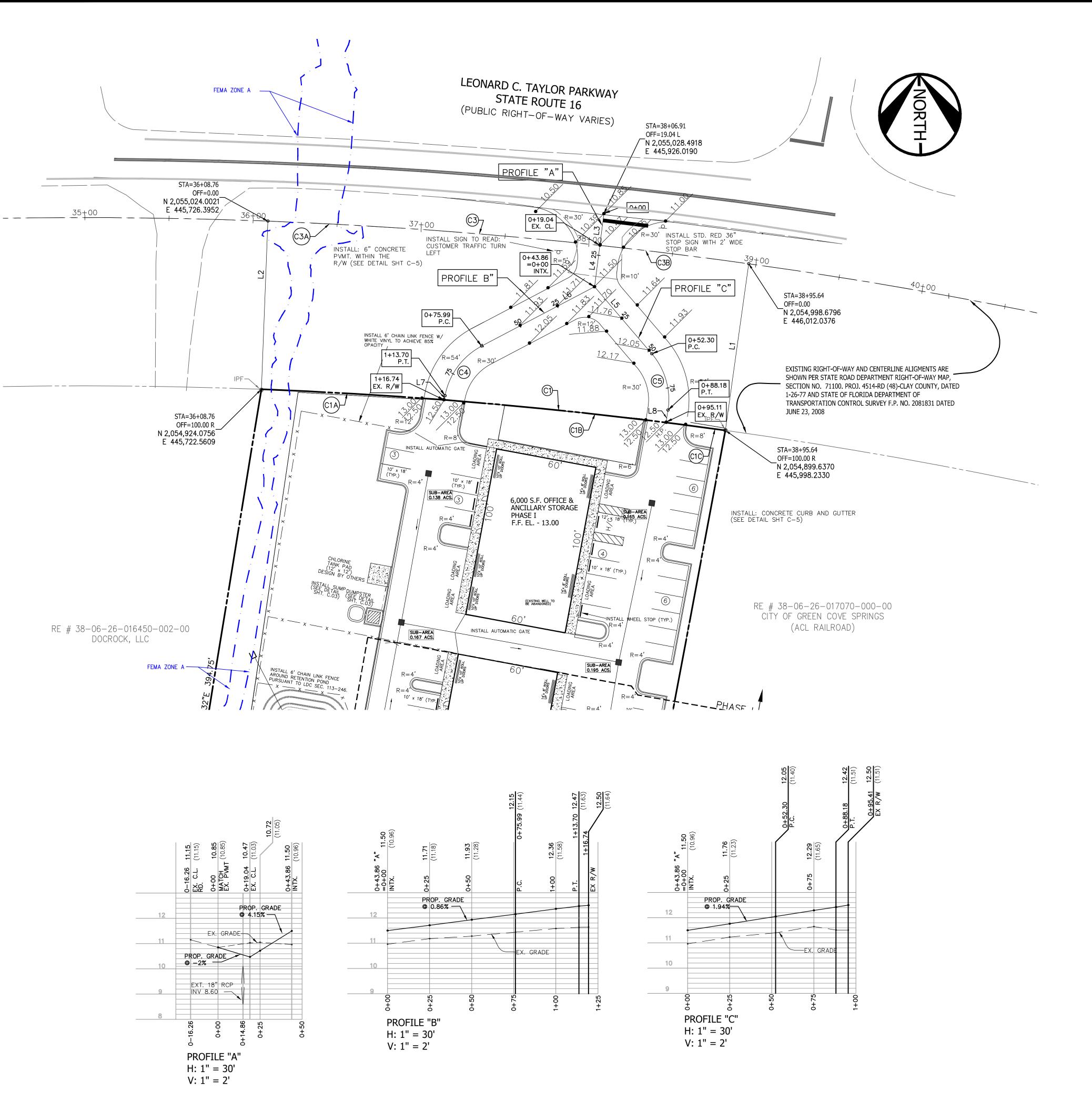


SITE ENGINEERING FOR N.E. FLORIDA POOL SERVICES, INC

799 LEONARD C. TAYLOR PKWY GREEN COVE SPRINGS, FLORIDA

GEOMETRY/UTILITIES PLAN

DRAWN BY: DESIGNED BY: DATE ISSUED:	AGS RJB 07/10/2024	_
DWG. SCALE:	1" = 30'	
VIKA NO.	VS24067A	
SHEET NO.	C.03	



CURVE TABLE						
CURVE #	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG.	CHORD DIST.
C1	2764.93'	276.87'	005.7374	138.55'	S84°56'02"E	276.75'
C1A	2764.93'	108.80'	002.2546	54.41'	S86°40'31"E	108.79'
C1B	3099.33'	132.49'	002.4493	66.26'	S84°16'44"E	132.48'
C1C	2791.68'	35.58'	000.7303	17.79'	S82°02'53"E	35.58'
СЗ	2864.93'	286.88'	005.7374	143.56'	S84°56'02"E	286.76'
СЗА	2864.93'	197.79'	003.9555	98.93'	S85°49'29"E	197.75'
СЗВ	2864.93'	89.10'	001.7819	44.55'	S82°57'22"E	89.09'
C5	42.00'	35.88'	048.9428	19.12'	S16°00'20"E	34.80'

	LINE TABLE	
LINE #	BEARING	DISTANCE
L1	N07°56'05"E	100.00'
L2	N02°11'51"E	100.00'
L3	N07°14'58"E	19.04'
L4	N07°14'58"E	24.82'
L5	S40°28'37"E	52.35'
L6	N62°17'19"E	75.79'
L7	N10°34'38"E	2.54'
L8	N08°27'57"E	7.23'

GENERAL NOTES:

METHOD.

ALL WORK PERFORMED WITHIN THE ROW SHALL CONFORM TO THE FOLLOWING: STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION FDOT STANDARDS (2024)

FDOT PLANS PREP MANUAL FDOT FLEXIBLE PAVEMENT DESIGN MANUAL FOR NEW CONSTRUCTION AND PAVEMENT REHABILITATION. ALL LATEST VERSIONS SHALL APPLY.

SHOULD A CONFLICT ARISE BETWEEN THE DETAILS SHOWN IN THE PLANS AND THE DEPARTMENT OF TRANSPORTATION STANDARDS THE ENGINEER/PERMITTEE SHALL IMMEDIATELY CONFER WITH THE DEPARTMENT'S ENGINEER IN ORDER TO RESOLVE THE

DISCREPANCY. IN NO CASE WILL ANYTHING LESS THAT THE DEPARTMENT'S MINIMUM

STANDARD BE ALLOWED. ALL TRAFFIC STRIPING AND MARKING ARE TO BE LEAD-FREE, NON-SOLVENT BASED THERMOPLASTIC. REMOVAL OF EXISTING STRIPING SHALL BE ACCOMPLISHED USING THE "HYDRO-BLAST"

ALL DISTURBED AREA WITH THE RIGHT OF WAY WILL

RESTORED TO ORIGINAL OR BETTER CONDITION BY GRADING AND SODDING THE AREA DISTURBED (BERMUDA IN RURAL, CENTIPEDE IN UTILITY STRIPS).

DETECTABLE WARNING TEXTURES ON SURFACES SHALL CONSIST OF EXPOSED AGGRIGATE CONCRETE.

CUSHIONED SURFACES MADE OF RUBBER OR PLASTIC RAISED STRIPS OR GROOVES. TEXTURES SHALL CONTRAST WITH THAT OF THE SURROUNDING SURFACE. RAISED STRIPS OR GROOVES SHALL COMPLY WITH THE CURRENT ISSUE OF FLORIDA ACCESSABILITY CODE FOR

BUILDING CONSTRUCTION. (REQUIRED WHEN ENTERING HAZARDOUS V.U.A. AND ALL RAMPS)

NO EXISTING OR PROPOSED JOINT ACCESS OR OR CROSS ACCESS CONNECTION FEATURES

MAINTENANCE OF TRAFFIC:

SEE FDOT INDEX 102-603 - "TWO-LANE, TWO-WAY" WORK WITHIN THE TRAVEL WAY

MEDIAN OR OUTSIDE LANE" LANE CLOSURE RESTRICTIONS FOR SR-16:

EASTBOUND TRAVEL LANES:

NO LANE CLOSURES ALLOWED FROM 2:00 PM TO 8:00 PM MONDAY THRU SUNDAY WHEN WORKING GREATER THAN 600' FROM A TRAFFIC SIGNAL STOP BAR.

NO DOUBLE OR TRIPLE LANE CLOSURES ALLOWED.

ASPHALT PAVEMENT: WITHIN PRIVATE PROPERTY - 1-1/2" S-1 ASPHALT

(SEE DETAIL SHT. C-7)

CONCRETE PAVEMENT:

WITHIN FDOT R/W - 6" CONCRETE PVMT. (SEE DETAIL SHT. C-7)

INSTALL TYPE CR-E CURB RAMPS
W/ DETECTABLE WARNING PER FDOT INDEX 522-002

INSTALL 36" "STOP" SIGN AND STOP BAR 4' BEHIND EDGE OF PVMT.. NEW SIGN, POST, SLIP BASE AND FOUNDATION SHALL BE IN ACCORDANCE WITH INDEX 700-010



LANDSCAPE ARCHITECTURE PLANNING VIKA SOUTH, LLC 2720 PARK STREET, SUITE 222 JACKSONVILLE, FL 32205

Our Site Set on the Future.

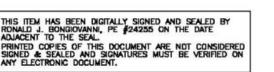
PHONE: (904) 466-6929

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ADDR. COMMENTS	11/05/24
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PROFESSIONAL SEAL



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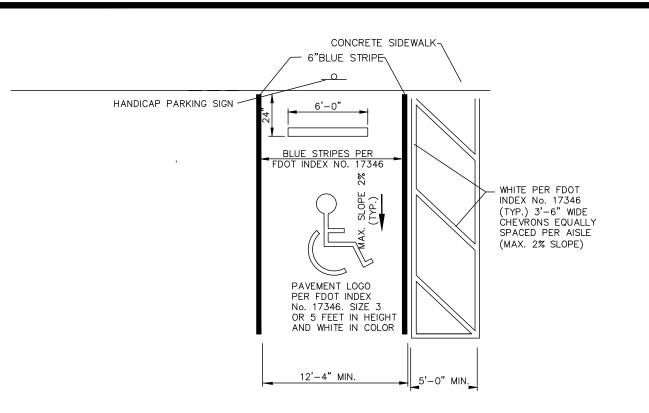
SITE ENGINEERING FOR N.E. FLORIDA POOL SERVICES, INC

799 LEONARD C. TAYLOR PKWY GREEN COVE SPRINGS, FLORIDA

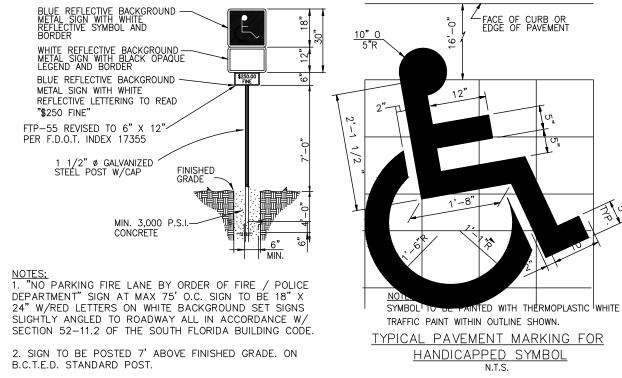
DRIVEWAY PLAN

DRAWN BY: DESIGNED BY: DATE ISSUED:	AGS RJB 07/10/2024	700 population
DWG. SCALE:	1" = 30'	74067
VIKA NO.	VS24067A	E. Projecte () 24067
SHEET NO.	C.04	d

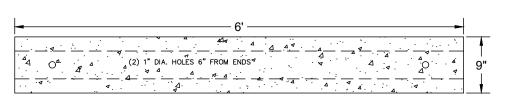
GRAPHIC SCALE (IN FEET) 1 inch = 30 ft.

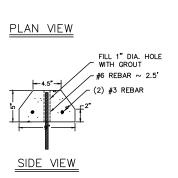


TYPICAL HANDICAP PARKING SPACE DETAIL

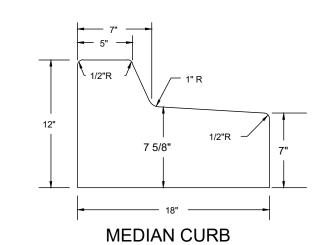


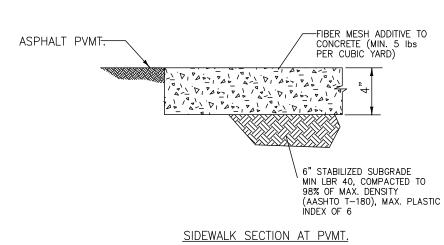
TYPICAL HANDICAP PARKING SIGN N.T.S.





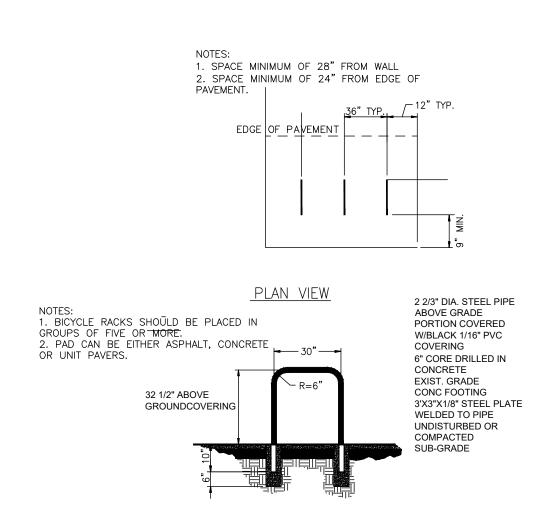
TYPICAL WHEEL STOP DETAIL



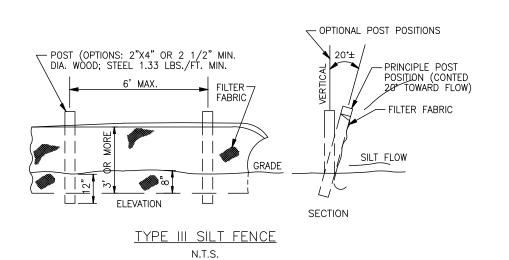


NOTE:
AN EXPANSION JOINT SHALL BE
USED TO SEPARATE THE NEW
CONCRETE SIDEWALK FROM OTHER
NEW OR EXISTING CONSTRUCTION. NOTE:
THE CONCRETE AROUND THE BICYCLE
RACK SHALL BE CONSTRUCTED
TO THE SAME SPECIFICATIONS AS THE
SIDEWALK ADJOINING IT.

SIDEWALK DETAILS N.T.S.

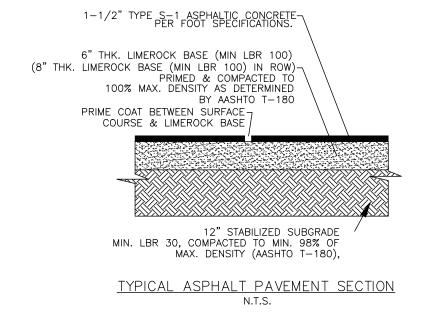


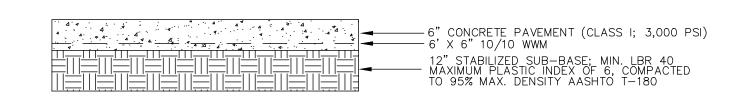
DERO 42 1/2" X 30" STANDARD BICYCLE RACK NOT TO SCALE



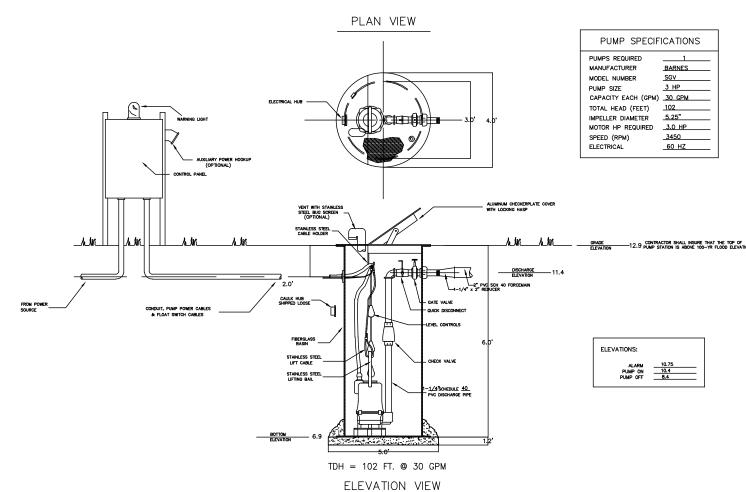
EROSION CONTROL NOTES:

- 1. ALL AREAS DISTURBED AND LEFT FOR MORE THAN 30 DAYS MUST BE SEEDED AND MULCHED UNLESS OTHERWISE NOTED. CONTRACTOR MUST MAINTAIN NEWLY GRADED AREAS AND REPAIR AREAS WHERE SETTLING AND EROSION HAVE OCCURRED.
- 2. CONTRACTOR MUST PROVIDE ALL MATERIALS AND TAKE WHATEVER MEANS NECESSARY TO PREVENT THE EROSION OF AND DEPOSIT OF SEDIMENT ON ADJACENT AND DOWNSTREAM PROPERTIES. CONTRACTOR MUST IMPLEMENT AND PROVIDE SUITABLE EROSION CONTROL MEASURES (I.E. SEDIMENTATION BARRIERS, HAYBALES, SILTATION CURTAINS, TEMPORARY DETENTION DISTILLING BASINS, ETC.) TO ENSURE THE CONTROL OF STORMWATER RUNOFF. THIS PLAN DESCRIBES THE MINIMUM AMOUNT OF EROSION PROTECTION REQUIRED BY PROPOSED ACTIVITIES. IN THE EVENT OF UNFORSEEN EROSION, OTHER MEASURES OF EROSION CONTROL (EROSION CONTROL ACTIVITIES SUCH AS THOSE LISTED ABOVE) WILL BE REQUIRED.
- 3. TURBIDITY BARRIERS MUST BE INSTALLED AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATERBODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST REMAIN IN PLACE AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED. THEREAFTER THE PERMITTEE WILL BE RESPONSIBLE FOR THE REMOVAL OF THE BARRIERS.
- 4. PERMANENT VEGETATIVE COVER MUST BE ESTABLISHED ON ALL EXPOSED LAND SURFACES WITHIN ONE YEAR FROM THE DATE THE CONSTRUCTION IS COMPLETE



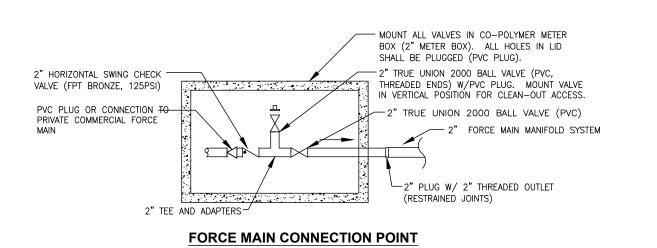


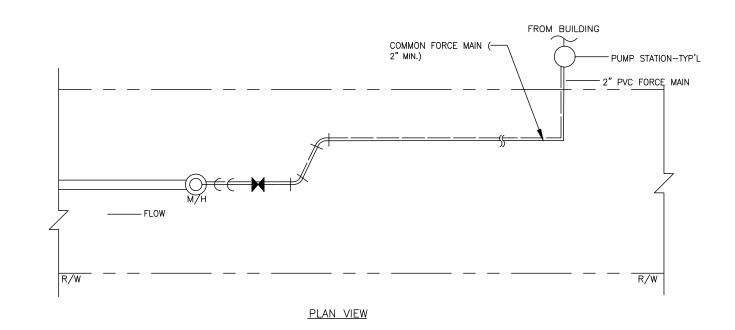
TYPICAL PAVEMENT SECTION



PUMP STATION DETAILS

N.T.S.





SEWER FORCE MAIN CONNECTION



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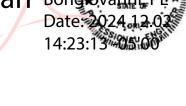
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2nd. Sub.	10/22/24
ADDR. COMMENTS	11/05/24
POST-APPROVAL SHEET STATUS	DATE

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IS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
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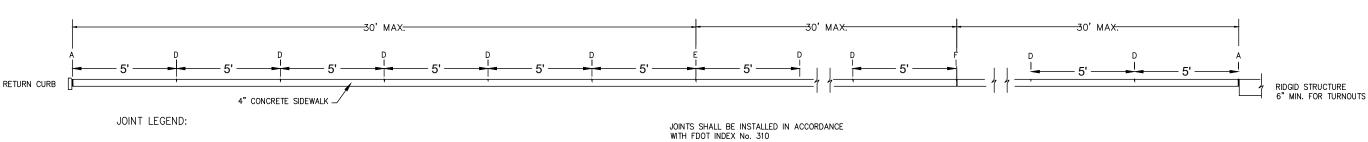


SITE ENGINEERING FOR N.E. FLORIDA POOL SERVICES, INC

> 799 LEONARD C. TAYLOR PKWY GREEN COVE SPRINGS, FLORIDA

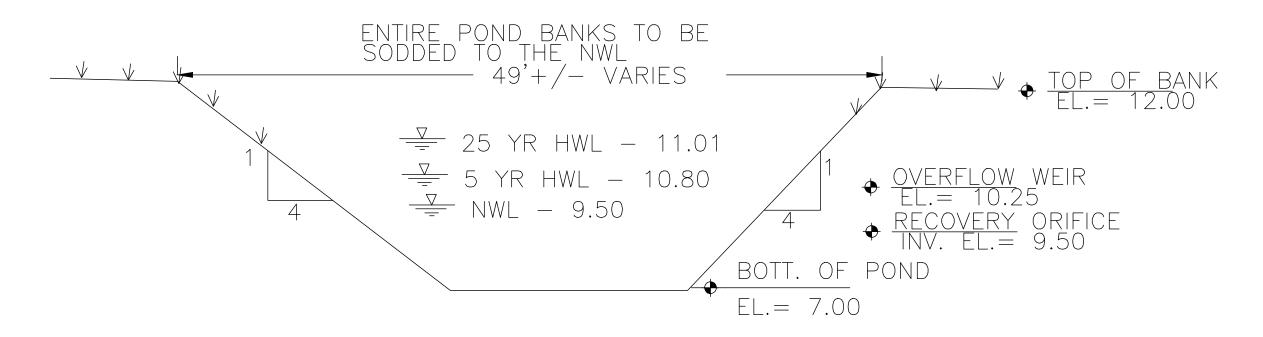
SITE/UTILITY **DETAILS**

DRAWN BY: DESIGNED BY: DATE ISSUED:	AGS RJB7/10/2024
OWG. SCALE:	1" = 30'
/IKA IO.	VS24067A
SHEET IO.	C.05

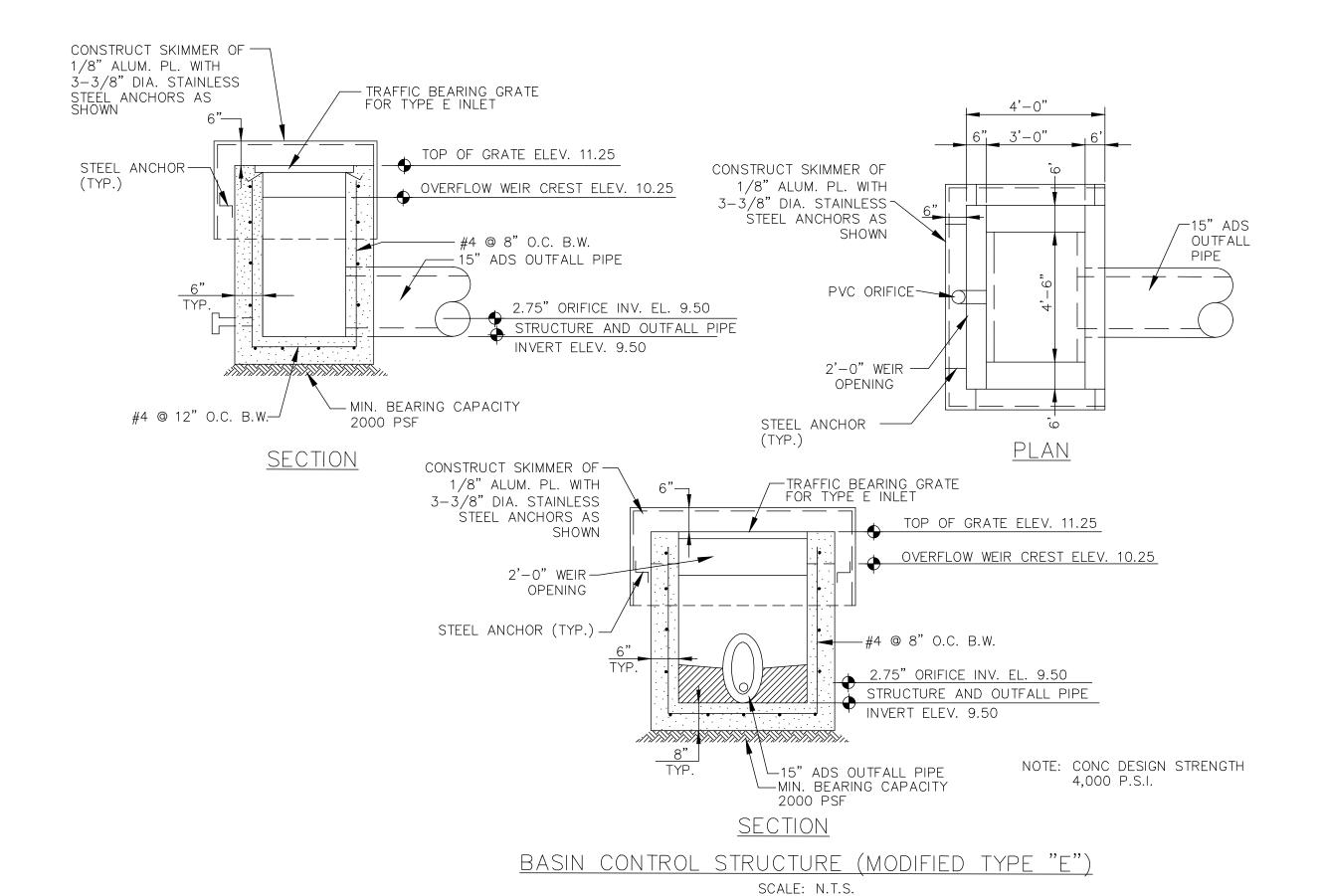


- A 1/2" EXPANSION JOINT (PREFORMED JOINT FILLER)
- D 3/16' SAW-CUT JOINTS, 1-1/2" DEEP, MAX. SPACING 5' O.C.
- E 3/16' SAW-CUT JOINTS, 1-1/2'' DEEP, MAX. SPACING 30' O.C.
- F 1/2" EXPANSION JOINT WHEN RUN OF SIDEWALK EXCEEDS 120'

SIDEWALK JOINTS



TYPICAL POND SECTION SCALE: N.T.S.



& PIPE JOINT NOTE: ALL STORM DRAINAGE PIPE

PIPE

-POLYESTER, NON-WOVEN GEOTEXTILE

W/MIN. 70 MIL. THICKNESS. LAP

FÁBRIC A MINIMUM OF 12"

STORM DRAINAGE

(DIAMETER)

CONTROL STRUCTURE-

2.0' x 2.0' x 4"

LOCATED UNDER

THE BLEED DOWN

CONCRETE PAD

ORIFICE

WEIR EL.

BLEED DOWN ORIFICE CONCRETE PAD

SCALE: N.T.S.

OVERLAP= OVERLAP=

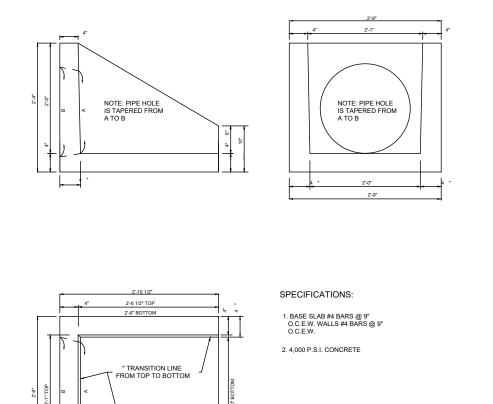
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JOINTS SHALL BE WRAPPED

JOINT WRAPPING DETAIL

SCALE: N.T.S.

WITH FILTER FABRIC.



PRECAST MITERED END SECTION SCALE: N.T.S.

А В

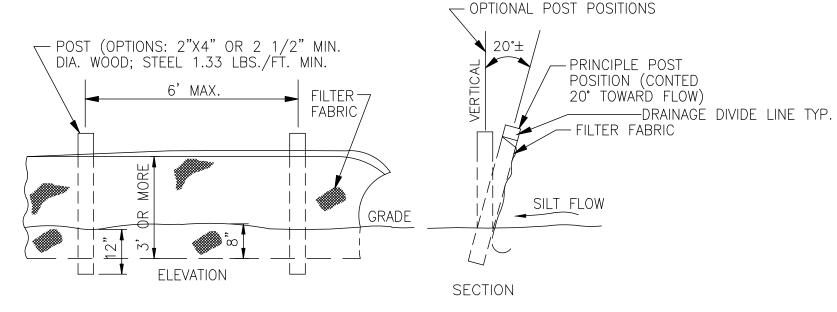
15" RCP 20" 21"

15" CMP 15 " 17"

18" RCP 25" 26"

18" CMP 18" 19 "

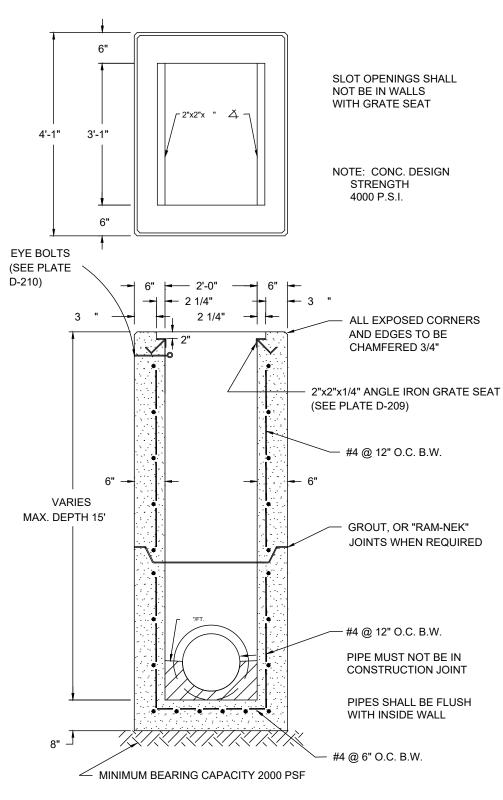
24" CMP 25" 26"



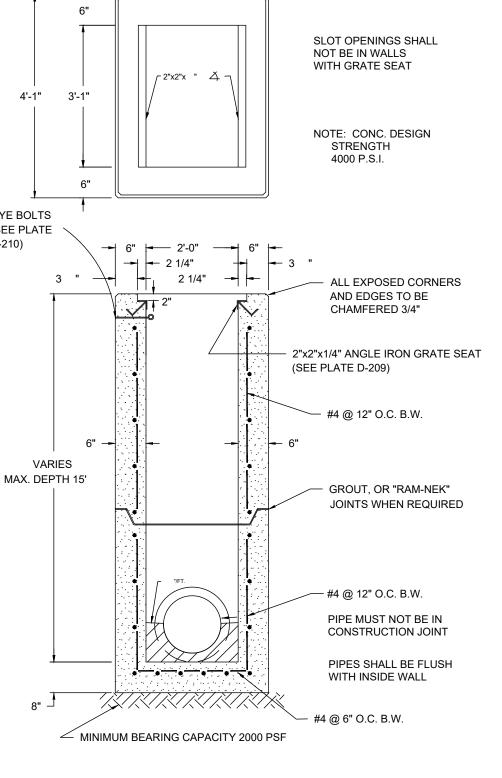
TYPE III SILT FENCE SCALE: N.T.S.

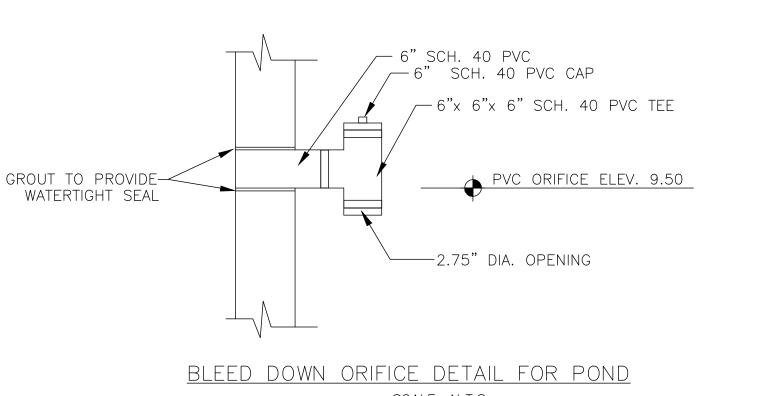
EROSION CONTROL NOTES:

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- 4. PERMANENT VEGETATIVE COVER MUST BE ESTABLISHED ON ALL EXPOSED LAND SURFACES WITHIN ONE YEAR FROM THE DATE THE CONSTRUCTION IS COMPLETE.
- 5. CONTRACTOR SHALL PLACE SILT FENCE ALONG PROPERTY LINE AROUND THE ENTIRE SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION.



STORM SEWER TYPE "C" INLET SCALE: N.T.S.





SCALE: N.T.S.

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	DATE
SHEET STATUS	DATE

LANDSCAPE ARCHITECTURE PLANNING

VIKA SOUTH, LLC 2720 PARK STREET, SUITE 222

JACKSONVILLE, FL 32205

PHONE: (904) 466-6929

PROFESSIONAL SEAL

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Ronald	Digitally signed by Banald 4255	
Bongiovan	Bongiovanni, P	
ni, PE	Date: 2024.12.02 14:23:48'**05'00'	

SITE ENGINEERING FOR N.E. FLORIDA POOL SERVICES, INC

799 LEONARD C. TAYLOR PKWY GREEN COVE SPRINGS, FLORIDA

DRAINAGE **DETAILS**

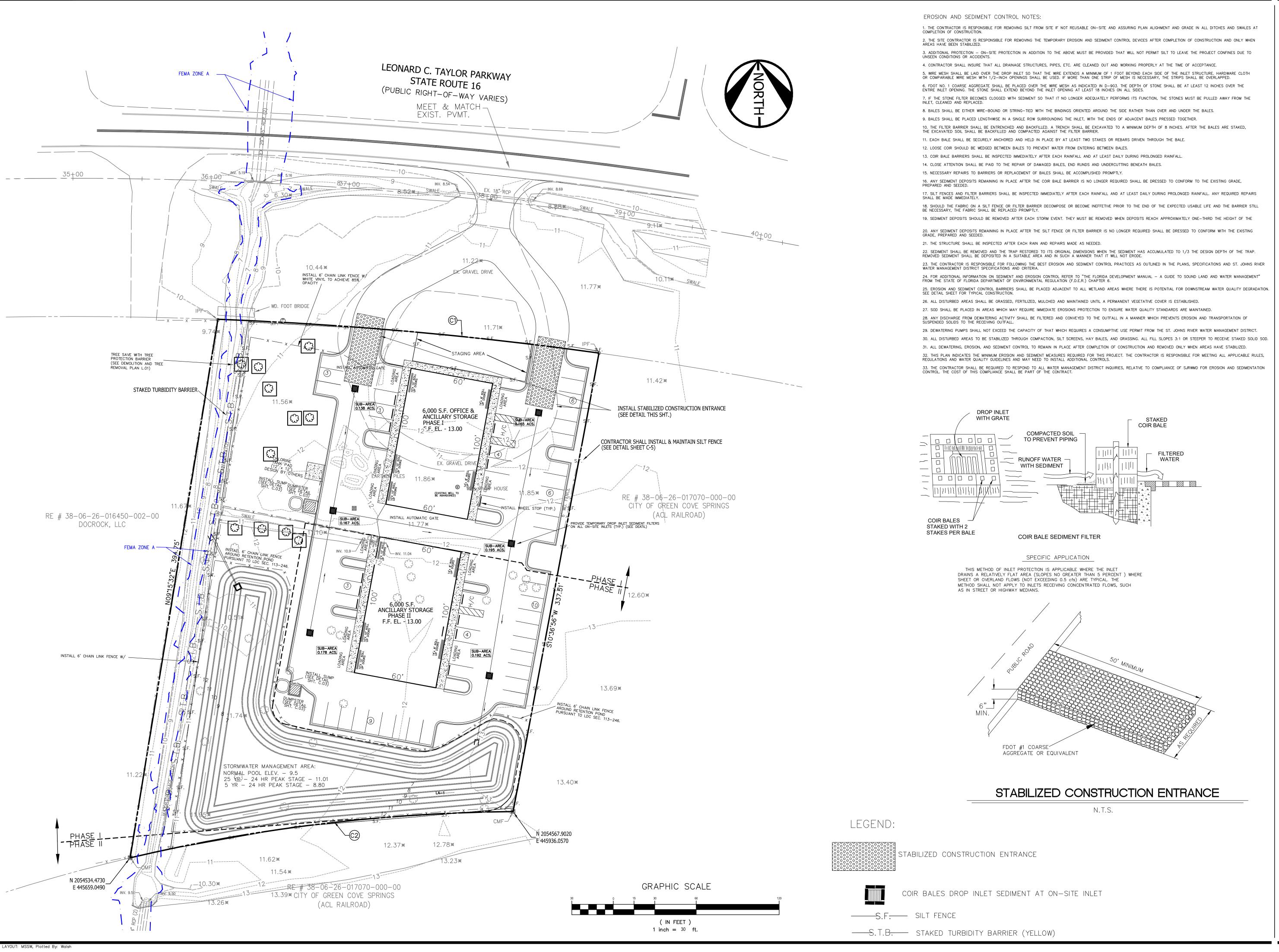
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CALE: 1" = 30' IKA O. VS24067A HEET	ESIGNED BY:		- -
IKA O. VS24067A HEET		1" = 30'	
^			_
C.Ub	HEET O.	C.06	

NOTE:

MAXIMUM OVERLAP LENGTH

SHALL BE 36" REGARDLESS

OF PIPE DIAMETER.





ENGINEERING SURVEYING/GEOMATICS LANDSCAPE ARCHITECTURE PLANNING VIKA SOUTH, LLC 2720 PARK STREET, SUITE 222 JACKSONVILLE, FL 32205

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PHONE: (904) 466-6929

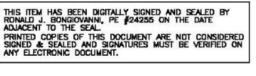
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PROFESSIONAL SEAL



Ronald
Bongiovann Bongiovanni Plate: 2024/12.0

SITE ENGINEERING FOR
N.E. FLORIDA POOL

SERVICES, INC
799 LEONARD C. TAYLOR PKWY

799 LEONARD C. TAYLOR PKWY GREEN COVE SPRINGS, FLORIDA

MSSW PLAN

DRAWN BY: DESIGNED BY: DATE ISSUED:	AGS RJB 07/10/2024	
DWG. SCALE:	1" = 30'	
VIKA NO.	VS24067A	
SHEET NO.	C.07	





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POST-APPROVAL		
SHEET STATUS	DATE	
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PROFESSIONAL SEAL		

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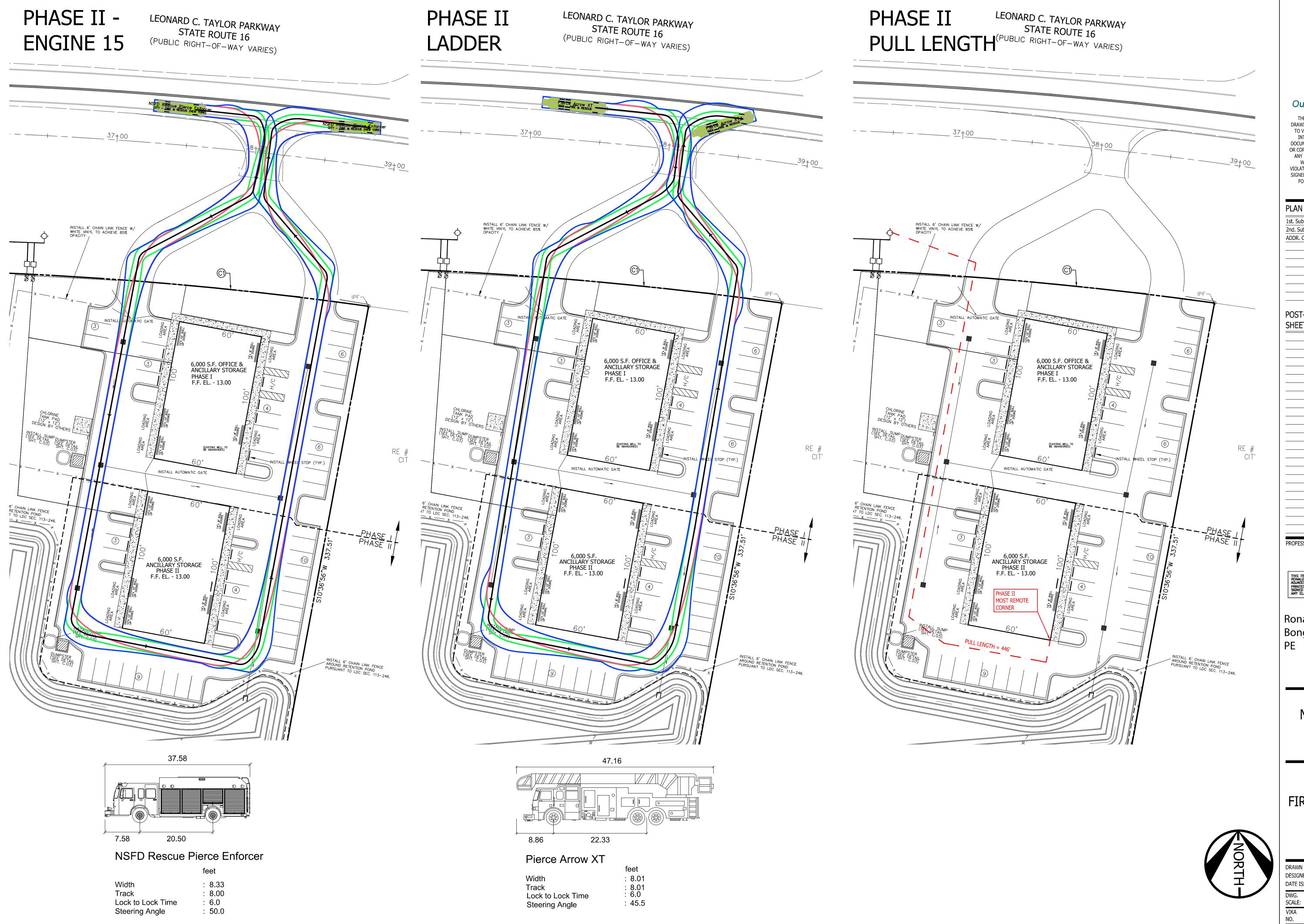
SITE ENGINEERING FOR N.E. FLORIDA POOL SERVICES, INC

799 LEONARD C. TAYLOR PKWY GREEN COVE SPRINGS, FLORIDA

FIRE PROTECTION PLAN (PHASE I)

		_
	DRAWN BY: DESIGNED BY: DATE ISSUED:	AGS
		_ RJB
		07/10/2024
	DWG. SCALE:	1" = 30'
	VIKA NO.	VS24067A
	SHEET	C.08







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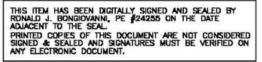
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ADDR. COMMENTS	11/05/24
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POST-APPROVAL	
SHEET STATUS	DATE
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PROFESSIONAL SEAL



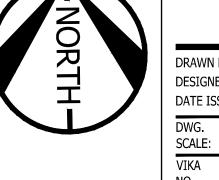
Ronald Bongiovanni, Ronald Bongiovani Date: 2024. 12.02



SITE ENGINEERING FOR N.E. FLORIDA POOL SERVICES, INC

799 LEONARD C. TAYLOR PKWY GREEN COVE SPRINGS, FLORIDA

FIRE PROTECTION PLAN (PHASE II)



DRAWN BY: DESIGNED BY: DATE ISSUED:	AGS RJB 07/10/2024	
DWG. SCALE:	1" = 30'	
/IKA VO.	VS24067A	
SHEET NO.	C.09	