

PLANNING COMMISSION SUMMARY

ITEMS: Rezone from H-A (Holding Agriculture) to PUD (Planned Unit Development) and a Preliminary PUD Plan

FILE NUMBER: ZON2021-0009 and PUD2021-0013

PROJECT: Delantero Preliminary PUD

LOCATION: South of U.S. Highway 34, East of CR 17, and West of State Highway 257

APPLICANT: Rick Haering, LAI Design Group, on behalf of APEX VISTA, LLC

CASE PLANNER: Darrell Gesick, Planner III

PLANNING COMMISSION HEARING DATE: May 10, 2022

PLANNING COMMISSION FUNCTION:

The Planning Commission shall consider the staff report, along with testimony and comments made by the applicant and the public and shall then make a recommendation to the City Council regarding the applications in the form of a finding based on the review criteria in Sections 24-583, 24-625(c)(3) and 24-663(b) of the 1998 Development Code.

EXECUTIVE SUMMARY

The City of Greeley is considering a request to a rezone approximately 822 acres from H-A (Holding Agriculture) to PUD (Planned Unit Development) and to establish a Preliminary PUD Plan, known as the Delantero PUD, for property located south of U.S. Highway 34, east of CR 17, and west of State Highway 257 (see Attachments A, B and C).

A. REQUEST

The proposed PUD would consist of a mix of residential, commercial, and industrial uses. Parks, open space, and trails are incorporated into the project to allow for pedestrian connectivity throughout the development and to connect to future trail systems. Overall, the theme that the developer is attempting to meet is to honor the agricultural heritage of Greeley (see Attachment C).

Residential units would include single-family detached, courtyard single-family detached, two-family attached, townhomes, and multi-family throughout the development. Approximately 421 acres is intended for residential development. It is anticipated that the residential units could range from 2,418 residential units to 5,841 residential units on the subject site.

Commercial and industrial areas are planned to be next to major roadways to minimize impacts to lower density residential. Commercial and industrial areas would account for approximately 110 acres of the overall development.

A school site is planned to be centrally located within the development. Community amenities would include several parks that would provide recreation opportunities. Parks and open space would account for approximately 140 acres. The remaining acreage would be used for rights-of-way, detention ponds, and existing oil and gas facilities.

The Delantero PUD has provided a table of land uses for each planning area alongside specific development standards. A total of eight planning areas are proposed as part of the overall development. Development standards can be found on Sheets L5.0, L6.0, and L6.2 of the PUD Document. Reduced lot sizes, setbacks, and variations in building heights as proposed are supplemented by specific residential development standards to ensure a cohesive environment, as well as trail connectivity and access to parks and open spaces (see Attachment D).

B. STAFF RECOMMENDATION

Approval

C. LOCATION

Abutting Zoning

North: H-A (Holding Agriculture)

South: I-M (Industrial Medium Intensity), H-A, Weld County
A (Agricultural)

East: C-H (Commercial High Intensity), I-M, and Weld County
A (Agricultural)

West: Weld County A (Agricultural)

Abutting Land Uses

North: Undeveloped and Oil and Gas

South: Undeveloped, Oil and Gas, City of Greeley Water Storage

East: Undeveloped, Oil and Gas, Various Industrial Users

West: One Single-Family Dwelling and Undeveloped

Site Characteristics:

The site is undeveloped agricultural land. There are several oil and gas wells and tank batteries on the subject site. The subject site is currently used for dryland farming.

D. BACKGROUND

The subject site was annexed and zoned H-A (Holding Agriculture) in 2000, as part of the Goldhill Annexations 1, 2, and 3 (File Nos. A 15:00, 16:00, 17:00 and Z 31:00, Z 32:00, and Z 33:00). The site has remained as an agriculture use, primarily dryland farming, for many decades with some oil and gas drilling operations also occurring on the site.

E. APPROVAL CRITERIA

Standards for Rezoning (ZON2022-0001):

In reaching recommendations and decisions as to rezoning land to the PUD district, the Planning Commission and the City Council shall apply the following standards in addition to the standards and procedures of Section 24-625(c)(3) of the 1998 Development Code applicable to the rezoning of land:

a. Has the area changed, or is it changing to such a degree that it is in the public interest to rezone the subject property to encourage development or redevelopment of the area?

Staff Comment: Since the project was annexed into the City of Greeley in 2000, the subject property has historically been utilized for agricultural uses, primarily dryland farming. In addition, there has been several oil and gas drilling operations that have occurred on the site over time.

The immediate surrounding area and land use approvals have changed significantly in the past few years. Land uses adjacent to this development include the Highpoint Industrial Park to the east, which has been developing with both industrial and commercial uses over the last several years. In addition, properties located in the Town of Windsor to the northwest of the subject site have developed with car dealerships and the expansion of the Aims Community College Campus. The land uses in the nearby Promontory development, as approved, continue to be developed with predominately residential land uses, but also include existing large corporate uses. Recent PUD's such as Lake Bluff, The Cache, the Poudre River Ranch, and the Poudre Heights have been approved to include a mix of residential, commercial, and industrial uses.

The request complies with this criterion.

b. Has the existing zoning been in place for at least fifteen (15) years without substantial development resulting and does the existing zoning appear to be obsolete, given development trends?

Staff Comment: The existing H-A zoning has been in place since 2000, which is 22 years, without any proposed developed. Development trends appear to show development for Greeley moving west. Other nearby jurisdictions also appear to be developing, or have proposals in for review, for various properties along U.S. Highway 34 going towards I-25. The proposed development would not be inconsistent with the development trends that are occurring along the corridor.

The request complies with this criterion.

c. Are there clerical or technical errors to correct?

Staff Comment: There are no clerical or technical errors to correct.

This criterion is not applicable.

d. Are there detrimental environmental conditions, such as flood plains, presence of irrigation ditches, inadequate drainage, slopes, unstable soils, etc., that may affect future development of this site and which may not have been considered during the original zoning of the property?

Staff Comment: There are active and plugged and abandoned oil and gas facilities on the subject site. Those impediments would primarily be taken into account at the time of subdivision and should not impact the rezone request. However, the proposed PUD does take into account setbacks for development around the oil and gas facilities. Staff is unaware of any additional detrimental environmental conditions on the property.

This request complies with this criterion.

e. Is the proposed rezoning necessary in order to provide land for a community related use which was not anticipated at the time of adoption of the City's Comprehensive Plan; or have the policies of the City changed to the extent that a rezoning is warranted?

Staff Comment: The Comprehensive Plan designates the subject area primarily as “Employment, Industrial, and Commercial” for the area adjacent to U.S. Highway 34, and “Suburban” for the remainder of the land. This PUD proposes a variety of residential housing options and includes opportunities for commercial, industrial, and mixed-uses to support existing and future residents in the area which are supported by the City’s current Comprehensive Plan. In addition, the proposed PUD is consistent with an IGA (Intergovernmental Agreement) that currently exists between the City of Greeley and The Town of Windsor. The IGA consists of land uses in specific areas, which the Delantero PUD takes into account throughout the PUD design.

The request complies with this criterion.

f. What is the potential impact of the proposed rezoning upon the immediate neighborhood and the City as a whole (including potential noise and environmental impacts, visual impacts, the provision of City services such as police, fire, water, sewer, street and pedestrian systems and parks and recreation facilities)?

Staff Comment: The proposed PUD would have a greater impact on city services upon development of the site.

There are active and plugged and abandoned oil and gas facilities on the subject site. Those impediments would primarily be taken into account at the time of subdivision and should not impact the rezone request. The proposed PUD does take into account setbacks for development around the oil and gas facilities.

To mitigate visual impacts to the surrounding area, the appropriate buffering and perimeter treatment would be evaluated as part of the subdivision and site plan review process, which would lessen any potential visual impacts. This would also include the appropriate landscaping treatment along U.S. Highway 34 as called out in the 1994 City of Greeley Entryway Master Plan.

Impacts to Police and Fire due to an increased residential population and commercial centers may occur. A new fire station, Fire Station #6, was recently built approximately 1.5 miles to the northeast of the subject site.

Water and sanitary sewer lines would have to be extended from existing development to serve the subject site. Drainage, water, and sewer would be addressed at time of subdivision. For additional comments on water, sewer, and drainage, please see Section G of this report.

As part of the overall development, additional rights-of-way would be dedicated. It is anticipated that these improvements would be funded by the Metropolitan District (if approved) or other resources that would be presented to staff and City Council in the near future. Exact roadway alignments and dedication would be determined at the time of subdivision. For additional comment on transportation, please see Section F of this report.

The PUD proposes to provide parks, open space, and trail systems to support the development and provide public connectivity through safe and well-planned means. All impacts and improvements would be further addressed at the time of subdivision.

Any potential noise created by future development would be regulated by the Municipal Code. The request complies with this criterion.

g. Is there clear and convincing evidence that the proposed rezoning will be consistent with the policies and goals of the City's Comprehensive Plan and comply with applicable zoning overlay requirements?

Staff Comment: The subject property was reviewed against the policies regarding zoning overlay requirements. This criterion is similar to specific criteria governing the Preliminary PUD. The proposal generally complies with the City's Comprehensive Plan. Policies are outlined as part of the standards for PUD establishment and can be found below in this report. In addition, the proposed PUD is consistent with an IGA (Intergovernmental Agreement) that currently exists between the City of Greeley and The Town of Windsor. The IGA consists of land uses in specific areas, which the Delantero PUD takes into account throughout the PUD design.

The request complies with this criterion.

h. What is the potential impact of the proposed rezoning upon an approved zoning suitability plan for the property?

Staff Comment: The proposed Zoning Suitability Plan submitted with this application demonstrates, on a conceptual level, that the site should be able to develop in accordance with the Development Code (see Attachment F).

This request complies with the criterion.

Standards for PUD establishment (PUD2019-0007):

Per Section 24-663 of the 1998 Development Code, in reaching recommendations and decisions as to rezoning land to the PUD district, the Planning Commission and the City Council shall apply the following standards in addition to the standards and procedures of Section 24-625 applicable to the rezoning of land:

Area Requirements. *The area of a proposed PUD shall be of substantial size to permit its design and development as a cohesive unit fulfilling the stated purpose of these regulations and to establish the PUD as a meaningful part of the larger community. Each proposed PUD shall therefore be evaluated as to its adequacy in size with respect to both the nature and character of its internal design and to its specific location within the City. The minimum size of a PUD to be considered for establishment shall be two (2) acres.*

Staff Comment: The proposal meets this requirement. The area of the proposed PUD is approximately 822 acres.

Consistency with the Land Use Chapter of the Comprehensive Plan. *A PUD proposal shall be found to be consistent with all applicable elements of the Land Use Chapter of the City's adopted Comprehensive Plan with respect to its proposed internal design and use and its relationship to adjacent areas and the City as a whole before it may be zoned as a PUD.*

- The following Comprehensive Plan goals are met with this PUD proposal:
 - ED-1: Promote a healthy, progressive, and competitive local economy.
 - The proposal provides future employment and tax base opportunities while proposing commercial development to benefit residents of West Greeley.
 - EH-2: Integrate healthy living into community planning and development.
 - The proposal provides several parks and a community separator. The project's trail system would also connect to adjacent future development that would provide additional trail and open space systems. The trail network will also provide for pedestrian walkability to commercial areas, encouraging an active lifestyle.
 - EH-4: Support and collaborate with the City's school districts.
 - The applicant has worked with the Weld RE-5J School District to ensure their future school site(s) would be met. The applicant has shown a future school site on the PUD plans. Land dedication would occur at the time of subdivision.
 - GC-1: Manage growth effectively.
 - The proposed PUD has taken into account road alignments for future developments. The PUD was also reviewed against the neighboring existing development to ensure effective growth for future expansion of utilities.
 - CG-2: Promote a balanced mix and distribution of land uses.
 - The proposed PUD offers a mix of residential, commercial, industrial and mixed-uses with suitable transition between these areas. Commercial and industrial development would also provide for employment opportunities.
 - CG06: Maintain and enhance the character and inter-connectivity of Greeley's neighborhoods.
 - The Delantero PUD is envisioned as a complete neighborhood, offering a mix of uses and multi-modal connectivity while incorporating a high level of design criteria with a theme to honor the agricultural heritage of Greeley. The PUD was also designed to be cohesive with future development through land use, trail, and roadway alignments.
 - HO-2: Encourage a broad diversity of housing options.
 - The PUD would provide a variety of housing types including multi-family, single family detached, and single family attached.
 - PR-1: Develop and maintain an inter-connected system of parks, trails, and recreational facilities.
 - The Delantero PUD has planned several parks and trail systems that not only are planned to connect within the Development, but to also connect to future trail connections in the area.

F. PHYSICAL SITE CHARACTERISTICS

1. SUBDIVISION HISTORY

The property is not part of a formal subdivision at this time. A subdivision is not required as part of the rezoning process. After the PUD process, it is anticipated that the applicant would submit preliminary and final subdivisions to create the lots that the applicant proposes to develop.

2. HAZARDS

There are a number of active and plugged and abandoned well sites within the proposed development that would require additional building setbacks. Those impediments would primarily be taken into account at the time of subdivision and should not impact the rezone request. The proposed PUD plan does take into account setbacks for development around the oil and gas facilities. In addition, there are overhead powerlines adjacent to and on the subject site. Staff is unaware of any other hazards on the property.

3. WILDLIFE

A small portion of the southeast corner of the property is located within the area identified for moderate impacts to wildlife. In accordance with Section 24-1217(b) of the City's Development Code, a biologist's report will be required to be submitted at the time of subdivision for any development that may occur near the impacted area.

4. FLOODPLAIN

The intended development area is not located within the 100-year floodplain, according to the adopted Federal Emergency Management Administration (FEMA) flood data.

5. DRAINAGE AND EROSION

Increases in stormwater flows from this development would be addressed with four on-site detention ponds, which would be designed to limit runoff to the required historical flows and provide the required water quality.

Erosion control devices would be designed by the developer and reviewed by the City at time of construction to ensure that best management practices are utilized as the project progress.

6. TRANSPORTATION

The subject property is adjacent to U.S. Highway 34, Weld County Road 17, State Highway 257, and Weld County Road 56.

No direct access to the property is proposed or would be allowed to/from U.S. Highway 34. Access along Weld County Road 17 would be proposed at the northwest corner of the site. This access would be shared with the property to the north. Property owners to the north have indicated that they are agreeable to this common access.

Along State Highway 257, the primary site access would be proposed in alignment with West 24th Street. There would be a secondary access to the south along State Highway

257, and a future potential access to the north of the primary access. This future potential access is subject to approval by the Colorado Department of Transportation and the City of Greeley and will be evaluated at the time of site subdivision.

There are four secondary site accesses that are proposed along Weld County Road 56 with this submittal.

In addition, there would be an east-west spine road, along with several additional interior roads, that would serve the site and provide connectivity between the proposed planning areas.

All roadway improvements would be determined at time of development and would be routed to the appropriate agencies for review and comment.

Further subdivision of the property would require the dedication of public rights-of-way as necessary to support the development. Roadway upgrades, extensions, and realignments are also anticipated as part of the future development of the site.

Engineering Development Review, along with the Transportation Planner for the City of Greeley, reviewed the Traffic Study as part of the land use process. The City of Windsor, Colorado Department of Transportation, and Weld County also reviewed the proposal as referral agencies in the process. At this time, staff has no significant concerns. Further traffic analysis will occur at time of subdivision.

G. SERVICES

1. WATER

The City of Greeley would provide water services to the area. Potable water lines would connect to existing water mains which run along the north and east property boundaries, as well as connecting to an existing potable water main which runs north-south from the existing Gold Hill Elevated Water Tank. Non-potable water for irrigation needs would be utilized within the site. A future irrigation pond and pump station would be designed and constructed by the applicant to serve the property. Water provisions, including non-potable, within the development would be reviewed at time of subdivision.

2. SANITATION

The City of Greeley would provide sanitary services to the area. Sanitary Sewer connections would be made to an existing 15" main near the east side of the property and to a future sewer line and regional lift station which would be south of the property. The future sewer main and regional lift station are part of the City of Greeley Sanitary Sewer Master Plan. In addition, an onsite lift station on the north side of the property would be designed and constructed to pump flows to the existing main and onto the Sheep Draw trunk line.

Sanitary Sewer and any applicable agreements in relation to the IGA with the Town of Windsor would be reviewed at time of subdivision.

3. EMERGENCY SERVICES

The property is served by the City of Greeley's Police and Fire Departments. Fire Station #6 is located at the intersection of U.S. Highway 34 Bypass and Promontory Parkway, approximately 1.5 miles to the northeast of the subject site.

4. PARKS AND OPEN SPACES

The proposal includes seven potential parks and a community separator on the western portion of the development. Also proposed are various trails throughout the development. The sizes of the parks would be determined at the subdivision level.

5. SCHOOLS

The subject property is located within the Weld RE-5J School District. A school site is not required to be dedicated with this project; however, the applicant has been in discussion with the RE-5J school district about land dedication for a future school.

6. METROPOLITAN DISTRICT

The applicant intends to finance many of the on- and off-site improvements for the development by means of a Metropolitan District or other financial resources. This district is still under review and is anticipated to go before City Council in the near future (MD2021-0001).

H. NEIGHBORHOOD IMPACTS

1. VISUAL

No visual impacts are anticipated with this rezone request. Any development plan application for the property would be reviewed for compliance with the City's Development Code requirements regarding visual impacts. Visual impacts will be reviewed for at the time of subdivision against landscape and buffer requirements set forth in Code.

2. NOISE

No noise impacts are anticipated with the rezone request. Any potential noise created by future development would be regulated by the Municipal Code. Any potential noise created by future development will be regulated by the Municipal Code.

I. PUBLIC NOTICE AND COMMENT

Neighborhood notices for this meeting were mailed to surrounding property owners on April 15, 2022, per 1998 Development Code requirements. Signs were also posted on the site on April 15, 2022. As of April 29, 2022, no written comments have been received.

J. MINERAL ESTATE OWNER NOTIFICATION

Required mineral rights notifications were mailed on April 11, 2022, by the applicant. As of April 29, 2022, no comments have been received.

K. PLANNING COMMISSION RECOMMENDED MOTIONS

Based on the application received and the preceding analysis, the Planning Commission finds that the proposed rezoning from H-A (Holding Agriculture) to Planned Unit Development (PUD) is in compliance with the 1998 Development Code, Section 24-625(c)(3) a, b, d, e, f, g and h and, therefore, recommends approval *(or denial)*.

Based on the application received and the preceding analysis, the Planning Commission finds that the proposed The Delanero Preliminary PUD Plan is in compliance with the 1998 Development Code, Section 24-625(c)(3) a, b, d, e, f, g, and h, and Section 24-663(b) and, therefore, recommends approval *(or denial)*.

ATTACHMENTS

Attachment A – Zoning/Vicinity Map

Attachment B – Photo Aerial Map

Attachment C – Project Narrative

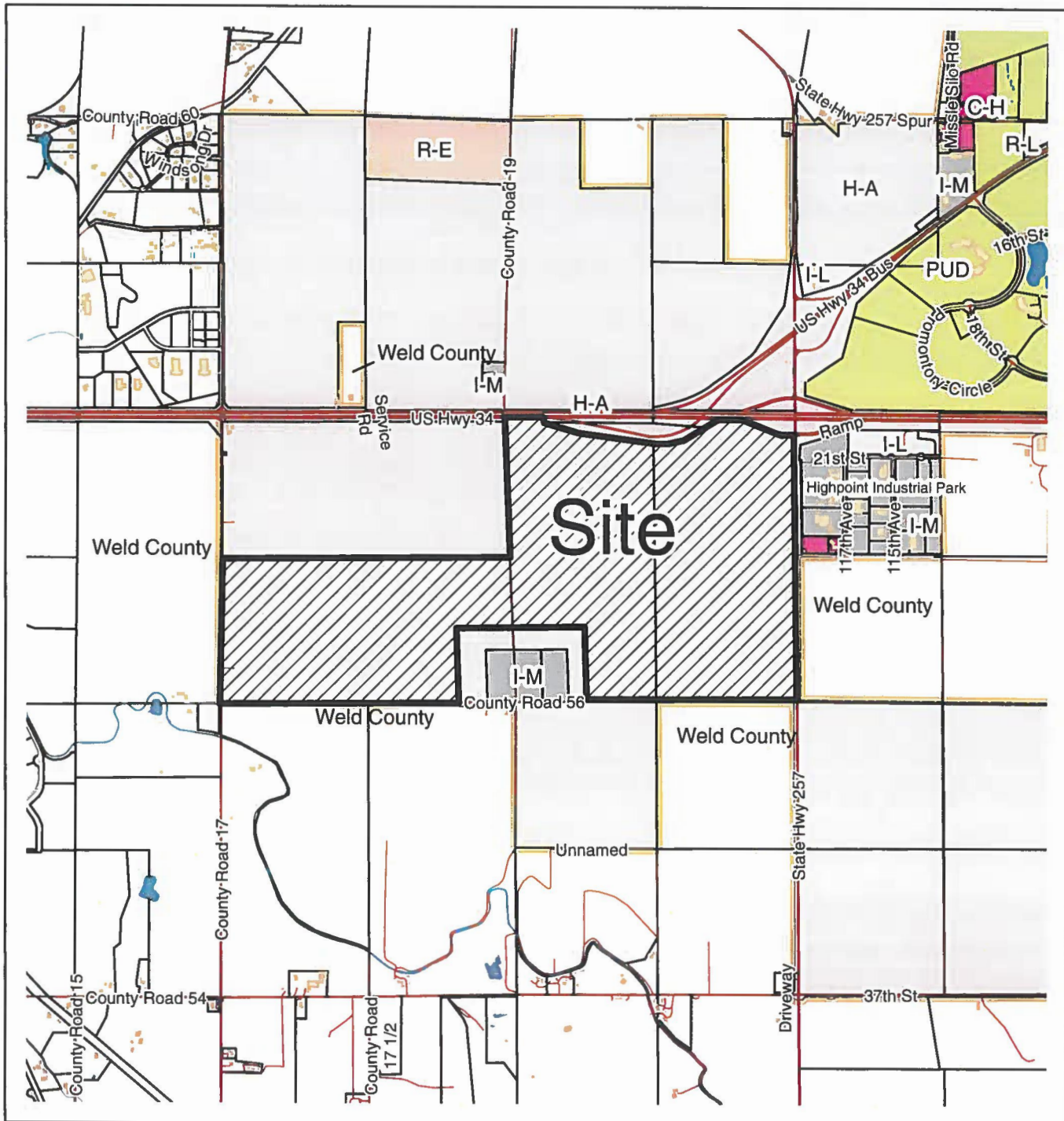
Attachment D – PUD Document

Attachment E – Intergovernmental Agreement with Windsor

Attachment F – Notification Boundary

Attachment G - Opposition Letter

Zoning/Vicinity Map Delantero PUD



Legend

- Structure
- FEATURE_SUBTYPE**
- Water Body
- Weld Parcels
- Road Centerline
- Roads

ZON2021-0009
PUD2021-0013

0 3,500 7,000
Feet





Zoning/Vicinity Map Delantero PUD



Legend

- Structure
- FEATURE_SUBTYPE**
- Water Body
- Weld Parcels
- Road Centerline
- Roads
- Origin Cache Mask

ZON2021-0009
PUD2021-0013

0 2,000 4,000
Feet





Architecture | Landscape Architecture | Real Estate Advisory | Planning & Entitlements | Visual Media

Delantero

front forward leading

FRONT

Western gateway to the City of Greeley, Delantero will be a premiere master planned community that utilizes an Agrihood model for development. This entails the creation of localized community farming areas for food production, hobby farming, and community gardens as part of over 100 acres of parks and open spaces, and in excess of 25 miles of trails, bike paths & pedestrian connectivity to future surrounding development and the great outdoors that Colorado has to offer.

FORWARD

As a forward thinking environmentally conscious community, Delantero will utilize the latest low impact development practices. These include water conservation, stormwater and water quality best practices, pervious surfaces for trails & public spaces as well as a carbon footprint sensitive approach to energy consumption for its buildings. Development techniques are intended to conserve resources, provide resiliency, and lower maintenance costs. This is done with a look to the future as well as a nod to the agricultural heritage of the land. Conservation doesn't just happen, it's by design.

LEADING

As a leader in energy conservation and environmental design, Delantero utilizes state of the art best practices and resource monitoring technology in its effort to accomplish the following community development principles:

1. Preserve natural lands,
2. Create areas for food production,
3. Program social hubs,
4. Engage residents & commerce,
5. Create housing & mixed-use development that leverage advantages of farm adjacent locations,
6. Form partnerships with the community to address health, sustainability, and social interaction thru Agrihood development and operations,
7. Provide opportunities for residents to shop internally to the community.

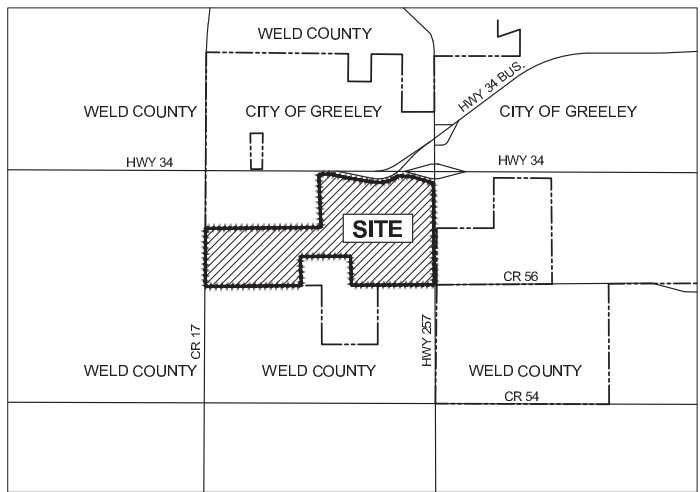
Conservation doesn't just happen, it's by design.

DELANTERO P.U.D.

A PARCEL OF LAND BEING PARTS OF SECTION 15 AND A PART OF THE SOUTH ONE-HALF OF SECTION 16,
TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD 2021-0013

Attachment D

VICINITY MAP



NORTH

ZONING

DELANTERO IS CURRENTLY ZONED AS HOLDING AGRICULTURE (H-A) AND IS PROPOSED TO BE REZONED TO PLANNED UNIT DEVELOPMENT (PUD). THE PRIMARY REASON BEHIND THE ZONE CHANGE TO PUD IS TO ALLOW FOR A VARIETY OF USES TO OCCUR WITHIN EACH PROPOSED LAND USE CATEGORY. THE PUD ZONE ALSO PROVIDES THE FLEXIBILITY TO QUICKLY RESPOND TO MARKET CHANGES WHILE PROVIDING GOVERNING PRINCIPLES THAT REGULATE DEVELOPMENT OF THE PROPERTY.

DEVELOPMENT SUMMARY

LAND USE	ACRES (APPROX)*
COMMERCIAL/MIXED USE	70
RESIDENTIAL	421
INDUSTRIAL/MIXED USE	40
SCHOOL	15
PARKS	79
AG/RANCH	17
OPEN SPACE	44
OIL & GAS	12
IRRIGATION POND	5
DETENTION	40
R.O.W.	79
TOTAL	822

*ACREAGES ARE ESTIMATES AND MAY VARY BY AS MUCH AS 20%

OPEN SPACE REQUIREMENTS

OPEN SPACE REQUIRED	126
RESIDENTIAL AREAS (421 AC.) * 30%	

OPEN SPACE PROPOSED	186
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INCLUDES OPEN SPACE (TRAILS, DRAINAGE, LANDSCAPE TRACTS, PARKS, AG/RANCH/OPEN SPACE, DETENTION POND, & IRRIGATION POND)

PARKS DEDICATION REQUIREMENTS

PARK DEDICATION REQUIREMENT WILL BE SUBJECT TO THE FOLLOWING CALCULATIONS:

NEIGHBORHOOD PARKS REQUIRED = 3.25 ACRES / 1,000 PEOPLE
MINIMUM UNITS - 2,415 MAXIMUM UNITS - 5,841
FOR EXAMPLE:
2,415 UNITS * 2.7 PEOPLE/UNIT *3.25 ACRES / 1,000 PEOPLE = 21.2 ACRES
5,841 UNITS * 2.7 PEOPLE/UNIT *3.25 ACRES / 1,000 PEOPLE = 51.3 ACRES

COMMUNITY PARKS REQUIRED = 3.5 ACRES / 1,000 PEOPLE
MINIMUM UNITS - 2,415 MAXIMUM UNITS - 5,841
FOR EXAMPLE:
2,415 UNITS * 2.7 PEOPLE/UNIT *3.5 ACRES / 1,000 PEOPLE = 22.8 ACRES
5,841 UNITS * 2.7 PEOPLE/UNIT *3.5 ACRES / 1,000 PEOPLE = 55.2 ACRES

NEIGHBORHOOD PARKS PROPOSED MIN. 40.0 ACRES
COMMUNITY PARKS PROPOSED MIN. 25.0 ACRES

NOTE: PARKS AND OPEN SPACE WILL BE BANKED AS NEEDED FOR SYSTEMATIC DEVELOPMENT PHASING.

LEGAL DESCRIPTION

SEE L2.0 PROPERTY DESCRIPTION FOR THE LEGAL DESCRIPTION.

PROJECT NARRATIVE

DELANTERO IS SPANISH AND TRANSLATES AS, "FRONT, FORWARD, LEADING." TO THAT END, THE DEVELOPMENT TEAM HAS DISSECTED ITS MEANING TO DESCRIBE THE DESIGN INTENT OF THE COMMUNITY.

FRONT

WESTERN GATEWAY TO THE CITY OF GREELEY, DELANTERO WILL BE A PREMIERE MASTER PLANNED COMMUNITY THAT UTILIZES AN AGRIHOOD MODEL FOR DEVELOPMENT. THIS ENTAILS THE CREATION OF LOCALIZED COMMUNITY FARMING AREAS FOR FOOD PRODUCTION, HOBBY FARMING, AND COMMUNITY GARDENS AS PART OF OVER 100 ACRES OF PARKS AND OPEN SPACES, AND IN EXCESS OF 25 MILES OF TRAILS, BIKE PATHS & PEDESTRIAN CONNECTIVITY TO FUTURE SURROUNDING DEVELOPMENT AND THE GREAT OUTDOORS THAT COLORADO HAS TO OFFER.

FORWARD

AS A FORWARD THINKING ENVIRONMENTALLY CONSCIOUS COMMUNITY, DELANTERO WILL UTILIZE THE LATEST LOW IMPACT DEVELOPMENT PRACTICES. THESE INCLUDE WATER CONSERVATION, STORMWATER AND WATER QUALITY BEST PRACTICES, PERVIOUS SURFACES FOR TRAILS & PUBLIC SPACES AS WELL AS A CARBON FOOTPRINT SENSITIVE APPROACH TO ENERGY CONSUMPTION FOR ITS BUILDINGS. DEVELOPMENT TECHNIQUES ARE INTENDED TO CONSERVE RESOURCES, PROVIDE RESILIENCY, AND LOWER MAINTENANCE COSTS. THIS IS DONE WITH A LOOK TO THE FUTURE AS WELL AS A NOD TO THE AGRICULTURAL HERITAGE OF THE LAND. CONSERVATION DOESN'T JUST HAPPEN, IT'S BY DESIGN

LEADING

AS A LEADER IN ENERGY CONSERVATION AND ENVIRONMENTAL DESIGN, DELANTERO UTILIZES STATE OF THE ART BEST PRACTICES AND RESOURCE MONITORING TECHNOLOGY IN ITS EFFORT TO ACCOMPLISH THE FOLLOWING COMMUNITY DEVELOPMENT PRINCIPLES:

1. PRESERVE NATURAL LANDS,
2. CREATE AREAS FOR FOOD PRODUCTION,
3. PROGRAM SOCIAL HUBS,
4. ENGAGE RESIDENTS & COMMERCE,
5. CREATE HOUSING & MIXED-USE DEVELOPMENT THAT LEVERAGE ADVANTAGES OF FARM ADJACENT LOCATIONS,
6. FORM PARTNERSHIPS WITH THE COMMUNITY TO ADDRESS HEALTH, SUSTAINABILITY, AND SOCIAL INTERACTION THRU AGRIHOOD DEVELOPMENT AND OPERATIONS,
7. PROVIDE OPPORTUNITIES FOR RESIDENTS TO SHOP INTERNALLY TO THE COMMUNITY.

GENERAL VISION

THE DELANTERO PUD IS DESIGNED TO PROMOTE A MIXED-USE MASTER PLANNED COMMUNITY WHICH WILL INCLUDE A VARIETY OF LAND USES INCLUDING RESIDENTIAL, COMMERCIAL, COMMERCIAL/MIXED USE, CIVIC, PARKS, STORMWATER DETENTION, INDUSTRIAL/MIXED USE, AND OIL & GAS OPERATIONS. THE FLEXIBILITY OF THIS PUD ALLOWS FOR CREATIVE DESIGN SOLUTIONS TO ENHANCE THE OVERALL APPEARANCE OF THIS SITE. THE DELANTERO SITE IS APPROXIMATELY 822 ACRES LOCATED ON THE SOUTH SIDE OF HIGHWAY 34 BETWEEN WELD COUNTY RD. 17 AND HIGHWAY 257. DEVELOPMENT IS PLANNED TO OCCUR IN MULTIPLE PHASES, BEGINNING ON THE EAST SIDE ADJACENT TO HIGHWAY 257 AND PROCEEDING WEST, ULTIMATELY COMPLETING THE LAST PHASE IN AND AROUND THE COMMUNITY.

RESIDENTIAL UNIT TYPES INCLUDE SINGLE FAMILY DETACHED IN A RANGE OF SIZES AND PRICE POINTS, COURTYARD SINGLE FAMILY DETACHED, TWO-FAMILY ATTACHED, TOWNHOMES, MULTI-FAMILY (APARTMENTS AND CONDOMINIUMS) AND ARE GENERALLY DISTRIBUTED THROUGHOUT THE DEVELOPMENT.

COMMERCIAL MIXED-USE AND INDUSTRIAL AREAS ARE SITED ADJACENT TO THE HIGHWAYS AND COLLECTOR ROADS TO ACTIVATE THE DEVELOPMENT YET MINIMIZE INTRUSION, TRANSITIONING TO RESIDENTIAL USES IN THE INTERIOR OF THE COMMUNITY.

A SCHOOL SITE IS CENTRALLY LOCATED ALONG THE PROJECT'S MAJOR SPINE ROAD ALLOWING EASY ACCESS FOR BUSES AND PARENTS DROPPING OFF STUDENTS. A TRAIL CORRIDOR ADJACENT TO THE SCHOOL SITE ALLOWS SAFE WALKING CORRIDORS TO SCHOOL FROM THE NEIGHBORHOODS.

COMMUNITY AMENITIES WILL INCLUDE MULTIPLE NEIGHBORHOOD PARKS AND POCKET PARKS. A CENTRAL COMMUNITY PARK WILL PROVIDE RECREATION OPPORTUNITIES AND OPEN SPACE FOR RESIDENTS AND IS PROPOSED TO BE LOCATED ADJACENT TO THE SCHOOL SITE TO CREATE A "CO-USE" SYNERGY. ADDITIONALLY, TRAILS AND OPEN SPACE CORRIDORS FOR PEDESTRIAN CIRCULATION AMONG PARKS, THE SCHOOL, AND NEARBY NEIGHBORHOODS WILL OCCUR STRATEGICALLY THROUGHOUT THE COMMUNITY.

OVERALL, THIS PUD IS DESIGNED TO CREATE A HIGH QUALITY DEVELOPMENT BY PROVIDING DESIRED COMMERCIAL AND INDUSTRIAL SPACE AND DIVERSIFIED RESIDENTIAL HOUSING PRODUCTS WHILE PRESERVING QUALITY OPEN SPACE AREAS FOR RESIDENTS AND HONORING THE AGRICULTURAL HERITAGE OF GREELEY.

GENERAL NOTES

1. TOPOGRAPHIC INFORMATION SHOWN IS DERIVED FROM EXISTING US GEOLOGICAL SURVEY DATA.
2. INFORMATION REGARDING OIL & GAS IS DERIVED FROM THE COLORADO OIL & GAS CONSERVATION COMMISSION WEBSITE (HTTPS://COGCC.STATE.CO.US/#/HOME) ACCESSED MARCH 1, 2022.
3. ALL ABANDONED OIL AND GAS FLOWLINES SHALL BE FLUSHED AND REMOVED, ALL PLUGGED AND ABANDONED WELLS SHALL BE LOCATED AND MARKED FOR ANY FUTURE LOCATION REQUIREMENTS.
4. ALL REFERENCES TO CITY OF GREELEY DEVELOPMENT CODE SHALL REFERENCE THE CODE DATED OCTOBER 1, 2021 AS AMENDED.
5. PHASING WILL BE ALLOWED WITHIN THIS P.U.D. THE SPECIFICS FOR BOUNDARY AND TECHNICAL CRITERIA TO BE DEFINED WITHIN FINAL PLATTING.
6. RAW WATER DEDICATION. RAW WATER MUST BE DEDICATED AT THE TIME OF SUBDIVISION FOR ANY PARKLAND AND/OR PUBLIC RIGHTS-OF-WAY IRRIGATION REQUIREMENTS. IN ALL OTHER CASES, RAW WATER ACCEPTABLE IN FORM TO THE CITY OF GREELEY SHALL BE DEDICATED TO THE CITY IN ACCORDANCE WITH SEC. 20-254 OF GREELEY MUNICIPAL CODE AS AMENDED.
7. ALL RECOMMENDED IMPROVEMENTS FROM THE TRANSPORTATION IMPACT STUDY, PREPARED BY LSC TRANSPORTATION CONSULTANTS, INC. AND DATED MARCH 18, 2022, WILL BE REQUIRED PER PHASE AT THE TIME OF CONSTRUCTION.
8. FUTURE DELANTERO RESIDENTS SHOULD BE AWARE THAT WELD COUNTY HAS ADOPTED A RIGHT-TO-FARM STATEMENT AND A RIGHT-TO-EXTRACT MINERAL RESOURCES STATEMENT FOR PROPERTIES IN UNINCORPORATED WELD COUNTY. THESE STATEMENTS SHALL BE INCORPORATED WITHIN EACH PLAT FILED FOR THE PROPERTY.
9. ALL DEVELOPMENT MASTER DRAINAGE BASINS SHOWN WITHIN THIS PUD AS REFLECTED ARE BASED ON EXISTING FIELD TOPOGRAPHY FOR THE PROPERTY. THE FIELD TOPOGRAPHY VARIES FROM THE TOWN OF GREELEY MASTER DRAINAGE STUDY. NO BASIN TRANSFER WILL BE ALLOWED BETWEEN THE MAJOR BASINS PER CITY OF GREELEY AND STATE OF COLORADO REQUIREMENTS.
10. MASTER DRAINAGE BASIN AND SUB DRAINAGE BASINS WITHIN THE DEVELOPMENT ARE REQUIRED PER THE STATE OF COLORADO AND CITY OF GREELEY TO PROVIDE WATER QUALITY BEFORE RELEASING FROM ANY DEVELOPMENT AREA OF THE PROPERTY.
11. FOR DEVELOPMENT STANDARDS AND SETBACKS RELATED TO OIL & GAS SEE SHEET L6.1.

PROJECT TEAM



DEVELOPER:
STRATUS COMPANIES
8480 E. ORCHARD RD, SUITE 1100
GREENWOOD VILLAGE, CO 80111
720.214.5000

OWNER:
APEX VISTA, LLC
C/O EDWARDS DEVELOPMENT
505 SHOSHONI ST.
CHEYENNE, WY 82009



PLANNER / ARCHITECT / LANDSCAPE ARCHITECT:
LAI DESIGN GROUP
88 INVERNESS CIRCLE EAST
BUILDING J, SUITE 101
ENGLEWOOD, CO 80112
303.734.1777



CIVIL ENGINEER/SURVEYOR:
CWC CONSULTING GROUP
9360 TEDDY LANE, SUITE 203
LOVE TREE, CO 80124
303.395.2700



HYDRAULIC ENGINEER:
MSK CONSULTING, LLC
7157 S. ANDES CIRCLE
CENTENNIAL, CO 80016
303.903.0918



TRAFFIC ENGINEER:
LSC TRANSPORTATION CONSULTANTS, INC.
1889 YORK ST.
DENVER, CO 80206
303.333.1105

PLANNED UNIT DEVELOPMENT CERTIFICATION BLOCK

THIS PLANNED UNIT DEVELOPMENT (PUD) HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORDANCE WITH THE CITY OF GREELEY DEVELOPMENT CODE REGULATIONS. THIS PUD SHALL BE VALID FOR 15 YEARS FROM THE DATE OF THE APPROVAL BY CITY COUNCIL.

DELANTERO PROPERTY

BY: APEX VISTA, LLC
(OWNER)

TITLE: _____

DATE: _____

PLANNING COMMISSION RECOMMENDATION

RECOMMENDED BY THE CITY OF GREELEY PLANNING

COMMISSION THIS ____ DAY OF _____,
20____.

COMMUNITY DEVELOPMENT DIRECTOR

DIRECTOR OF COMMUNITY DEVELOPMENT _____ DATE _____

AMENDMENT HISTORY

CITY FILE NUMBER	DATE APPROVED	AMENDMENT DESCRIPTION
PUD2021-0013		

SHEET INDEX

SHEET NAME	SHEET NUMBER
COVER SHEET	L1.0
PROPERTY DESCRIPTION	L2.0
PROPERTY BOUNDARY MAP	L2.1
SITE ANALYSIS MAP	L3.0
ZONING SUITABILITY MAP	L4.0
PRELIMINARY SITE PLAN	L5.0
DEVELOPMENT STANDARDS	L6.0 - L6.8
ARCHITECTURAL EXAMPLES	L7.0 - L7.8
MASTER PLAN	L8.0
PRELIMINARY LANDSCAPE PLAN	L9.0
PEDESTRIAN CIRCULATION PLAN	L10.0
VEHICULAR CIRCULATION PLAN	L11.0
UTILITY PLANS	UP1 - UP4
GRADING PLANS	GP1 - GP4
PA 5 COMMUNITY PARK VIGNETTE	V1.0
PA 2 NEIGHBORHOOD PARK VIGNETTE	V2.0
POCKET PARK VIGNETTE	V3.0
PA 1 DOG PARK VIGNETTE	V4.0
PA 8 COMMUNITY AG VIGNETTE	V5.0
STREETSCAPE VIGNETTE	V6.0
TRAILS, DRAINAGE, AND DETENTION VIGNETTE	V7.0
MONUMENTS AND SIGNAGE VIGNETTE	V8.0 - V8.1

PLANNER / ARCHITECT /
LANDSCAPE ARCHITECT
LAI DESIGN GROUP

88 INVERNESS CIR E, STE J-101
ENGLEWOOD, CO 80112
PHONE: 303.734.1777



CIVIL ENGINEER



CWC CONSULTING GROUP
CIVIL ENGINEERING - LAND SURVEYING
CONSTRUCTION SERVICES

9360 TEDDY LANE, SUITE 203
LOVE TREE, CO 80124
PHONE: 303.395.2700 - FAX: 303.395.2701

CLIENT



STRATUS COMPANIES
8480 E. ORCHARD RD, STE 1100
GREENWOOD VILLAGE, CO 80111
PHONE: (720) 214-5000



DELANTERO P.U.D.

GREELEY, CO

COVER SHEET

PROJECT #: 201048
DRAWN BY: ML, CQ, JO
CHECKED BY: RH

ISSUE RECORD

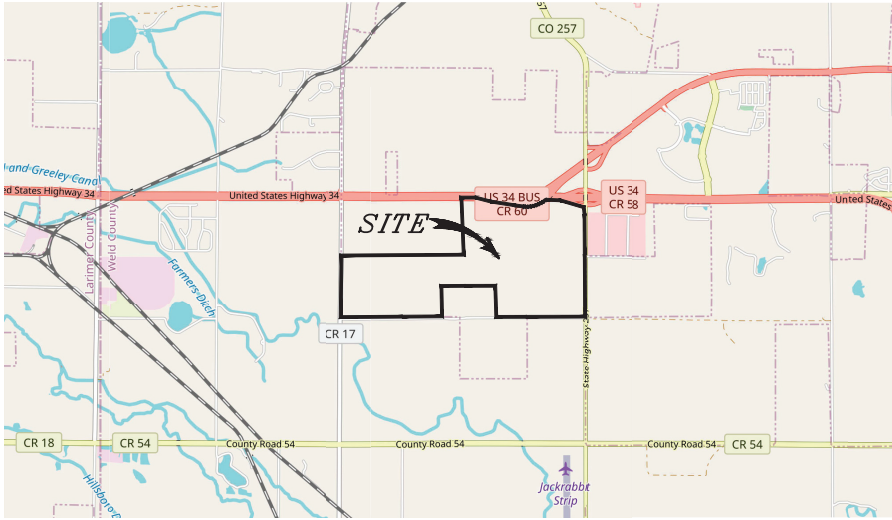
1st SUBMITTAL _____ 04-27-2021
2nd SUBMITTAL _____ 09-22-2021
3rd SUBMITTAL _____ 12-23-2021
4th SUBMITTAL _____ 03-18-2022
5th SUBMITTAL _____ 04-11-2022

SHEET NUMBER

L1.0

DELANTERO P.U.D.

A PARCEL OF LAND BEING PARTS OF SECTION 15 AND A PART OF THE SOUTH ONE-HALF OF SECTION 16,
TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD 2021-0013



LOCATION MAP

(NOT TO SCALE)



TITLE DESCRIPTION

PARCEL 1:
SECTION 15, TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF WELD, STATE OF COLORADO.

EXCLUDING THOSE PORTIONS CONVEYED IN DEED RECORDED OCTOBER 2, 1936 IN BOOK 999 AT PAGE 411 AND DEED RECORDED APRIL 27, 1961 IN BOOK 1583 AT PAGE 294 AND IN DEED RECORDED JANUARY 2, 1968 AT RECEPTION NO. 1511417 AND IN DEED RECORDED JANUARY 15, 1968 AT RECEPTION NO. 1512031 AND IN DEED RECORDED MAY 14, 1976 AT RECEPTION NO. 1688529 AND IN DEED RECORDED APRIL 5, 1977 AT RECEPTION NO. 1715553 AND IN CONSERVATOR'S DEED RECORDED JANUARY 19, 1994 AT RECEPTION NO. 02369866 AND IN WARRANTY DEED RECORDED JANUARY 19, 1994 AT RECEPTION NO. 2369867 AND IN WARRANTY DEED RECORDED JANUARY 30, 2001 AT RECEPTION NO. 2822417 AND IN WARRANTY DEED RECORDED APRIL 15, 2002 AT RECEPTION NO. 2943083.

PARCEL 2:
THE SOUTH 1/2 OF SECTION 16, TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF WELD, STATE OF COLORADO.

EXCLUDING THOSE PORTIONS CONVEYED IN DEED RECORDED FEBRUARY 16, 1936 IN BOOK 956 AT PAGE 71 AND IN WARRANTY DEED RECORDED SEPTEMBER 14, 1978 AT RECEPTION NO. 1766549 AND IN WARRANTY DEED RECORDED APRIL 15, 2002 AT RECEPTION NO. 2943083.

SURVEYOR'S DESCRIPTION

(PER QUITCLAIM DEED RECORDED 10/02/2008 AT RECEPTION NO. 3581880)

TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH P.M.
SECTION 16, S1/2
SECTION 15

EXCLUDING:

(PER RIGHT OF WAY DEED RECORDED 10/02/1936 IN BOOK 999 AT PAGE 411)

A TRACT OF LAND IN SECTION FIFTEEN (15), TOWNSHIP FIVE (5) NORTH RANGE SIXTY SEVEN (67) WEST OF THE 6TH P.M. DESCRIBED AS FOLLOWS:

COMMENCING AT THE NE CORNER OF SAID SECTION, THENCE S 89° 54' W ON THE NORTH LINE OF SAID SECTION, FOR A DISTANCE OF 40 FEET, THENCE S 0° 06' E ON A LINE PARALLEL TO THE EAST LINE OF SAID SECTION FOR A DISTANCE OF 50 FEET, TO A POINT, BEGINNING AT SAID POINT, THENCE S 0° 06' E ON A LINE PARALLEL TO THE EAST LINE OF SAID SECTION FOR A DISTANCE OF 5220 FEET, MORE OR LESS, THENCE N 89° 57' E ON A LINE PARALLEL TO THE SOUTH LINE OF SAID SECTION FOR A DISTANCE OF 40 FEET, MORE OR LESS, TO THE EAST LINE OF SAID SECTION, THENCE N 0° 06' W ON THE EAST LINE OF SAID SECTION FOR A DISTANCE OF 5220 FEET, MORE OR LESS, THENCE S 89° 54' W ON A LINE PARALLEL TO THE NORTH LINE OF SAID SECTION FOR A DISTANCE OF 40 FT, MORE OR LESS, TO THE BEGINNING POINT.

(PER SPECIAL WARRANTY DEED RECORDED 04/27/1961 IN BOOK 1583 AT PAGE 294)(R1)**
A TRACT OR PARCEL OF LAND, NO. 5 OF GRANTEE'S PROJECT NO. S 0057 (2) CONTAINING 7.11 ACRES, MORE OR LESS, IN THE E1/2 OF THE E1/2 OF SECTION 15, TOWNSHIP 5 NORTH, RANGE 67 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, IN WELD COUNTY, COLORADO, SAID TRACT OR PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE N. LINE OF SEC. 15, T. 5 N., R. 67 W., FROM WHICH THE NE CORNER OF SEC. 15 BEARS S. 89° 51' E., A DISTANCE OF 110.0 FEET;
1. THENCE S. 89° 51' E., ALONG THE N. LINE OF SEC. 15, A DISTANCE OF 110.0 FEET TO THE NE CORNER OF SEC. 15;
2. THENCE S. 0° 10' 45" E., ALONG THE E. LINE OF SEC. 15, A DISTANCE OF 5,258.3 FEET TO THE SE CORNER OF SEC. 15;
3. THENCE S. 89° 10' 30" W., ALONG THE S. LINE OF SEC. 15, DISTANCE OF 60.0 FEET;
4. THENCE N. 0° 08' W., A DISTANCE OF 4,153.2 FEET;
5. THENCE N. 0° 21' W., A DISTANCE OF 1,026.1 FEET;
6. THENCE N. 45° 06' W., A DISTANCE OF 71.0 FEET TO THE EXISTING S. RIGHT OF WAY LINE OF THE COUNTY ROAD AS LOCATED DEC., 1960;
7. THENCE S. 0° 21' W., A DISTANCE OF 30.0 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

(PER SPECIAL WARRANTY DEED RECORDED 01/02/1968 AT RECEPTION NO. 1511417)(R2)**
A TRACT OR PARCEL OF LAND NO. 44 OF THE DEPARTMENT OF HIGHWAYS, STATE OF COLORADO, PROJECT NO. F 007-1(11) SEC. 2 CONTAINING 12.969 ACRES, MORE OR LESS, IN THE N1/2 OF THE NW1/4 OF SECTION 15, TOWNSHIP 5 NORTH, RANGE 67 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, IN WELD COUNTY, COLORADO, SAID TRACT OR PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST LINE OF SECTION 15, T. 5 N., R. 67 W., FROM WHICH THE NORTHWEST CORNER OF SECTION 15 BEARS N. 1° 56' W., A DISTANCE OF 214.2 FEET;
1. THENCE S. 89° 37' 15" E., A DISTANCE OF 2,633.8 FEET TO THE EAST LINE OF THE NW1/4 OF SECTION 15;
2. THENCE, ALONG THE EAST LINE OF THE NW1/4 OF SECTION 15, N. 0° 59' 45" W., A DISTANCE OF 214.6 FEET TO THE NORTHEAST CORNER OF THE NW1/4 OF SECTION 15;
3. THENCE, ALONG THE NORTH LINE OF SECTION 15, N. 89° 37' 45" W., A DISTANCE OF 2,637.3 FEET TO THE NORTHWEST CORNER OF SECTION 15;
4. THENCE, ALONG THE WEST LINE OF SECTION 15, S. 1° 56' E., A DISTANCE OF 214.2 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

SURVEYOR'S DESCRIPTION

(PER SPECIAL WARRANTY DEED RECORDED 01/15/1968 AT RECEPTION NO. 1512031)(R3)**
A TRACT OR PARCEL OF LAND NO. 43 OF THE DEPARTMENT OF HIGHWAY, STATE OF COLORADO, PROJECT NO. F 007-1(11) SEC. 2 CONTAINING 21.441 ACRES, MORE OR LESS, IN THE N1/2 OF THE NE1/4 OF SECTION 15, TOWNSHIP 5 NORTH, RANGE 67 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, IN WELD COUNTY, COLORADO, SAID TRACT OR PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT OF THE WEST RIGHT OF WAY LINE OF S.H. 257 (JUNE 1967), FROM WHICH THE NORTHEAST CORNER OF SECTION 15, T. 5 N., R. 67 W., BEARS N. 3° 22' E., A DISTANCE OF 925.3 FEET;
1. THENCE, N. 6° 03' 30" W., A DISTANCE OF 301.5 FEET;
2. THENCE, N. 73° 16' 30" W., A DISTANCE OF 1,028.7 FEET;
3. THENCE, N. 86° 45' 30" W., A DISTANCE OF 600.7 FEET;
4. THENCE, N. 84° 17' W., A DISTANCE OF 967.7 FEET TO THE WEST LINE OF THE NE1/4 OF SECTION 15;
5. THENCE, ALONG THE WEST LINE OF THE NE1/4 OF SECTION 15, N. 0° 59' 45" W., A DISTANCE OF 214.6 FEET TO THE NORTHWEST CORNER OF THE NE1/4 OF SECTION 15;
6. THENCE, ALONG THE NORTH LINE OF SECTION 15, S. 89° 37' 45" E., A DISTANCE OF 2,527.8 FEET TO THE WEST RIGHT OF WAY LINE OF S.H. 257 (JUNE 1967);
7. THENCE, ALONG THE WEST RIGHT OF WAY LINE OF S.H. 257 (JUNE 1967), S. 0° 21' E., A DISTANCE OF 30.0 FEET TO THE SOUTH RIGHT OF WAY LINE OF THE COUNTY ROAD (JUNE 1967);
8. THENCE, ALONG THE WEST RIGHT OF WAY LINE OF S.H. 257 (JUNE 1967), S. 45° 06' E., A DISTANCE OF 71.0 FEET;
9. THENCE, ALONG THE WEST RIGHT OF WAY LINE OF S.H. 257 (JUNE 1967), S. 01° 21' E., A DISTANCE OF 844.4 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

(PER SPECIAL WARRANTY DEED RECORDED 05/14/1976 AT RECEPTION NO. 1688529)(R4)**
A TRACT OR PARCEL OF LAND NO. 28 OF THE STATE DEPARTMENT OF HIGHWAYS, DIVISION OF HIGHWAYS, STATE OF COLORADO, PROJECT NO. RF 034-1(10) CONTAINING 10.135 ACRES, MORE OR LESS, IN THEN 1/2 OF THE NW 1/4 OF SECTION 15, TOWNSHIP 5 NORTH, RANGE 67 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, IN WELD COUNTY, COLORADO, SAID TRACT OR PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF THE NW 1/4 OF SEC. 15, T. 5 N., R. 67 W., 6TH P.M., FROM WHICH THE NE CORNER OF THE NW 1/4 OF SEC. 15 BEARS N. 1° 06' 45" W., A DISTANCE OF 597.0 FEET;
1. THENCE N. 81° 36' W., A DISTANCE OF 359.3 FEET;
2. THENCE N. 80° 53' 15" W., A DISTANCE OF 1,052.9 FEET;
3. THENCE N. 75° 09' 45" W., A DISTANCE OF 675.4 FEET TO THE SOUTH RIGHT OF WAY LINE OF SH 34 (JAN. 1976);
4. THENCE S. 89° 43' 30" E., ALONG THE SOUTH RIGHT OF WAY LINE OF SH 34 (JAN. 1976), A DISTANCE OF 967.7 FEET;
5. THENCE S. 1° 06' 45" E., ALONG THE EAST LINE OF THE NW 1/4 OF SEC. 15, A DISTANCE OF 382.4 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

(PER SPECIAL WARRANTY DEED RECORDED 04/05/1977 AT RECEPTION NO. 1715553)(R5)**
A TRACT OR PARCEL OF LAND NO. 29 OF THE STATE DEPARTMENT OF HIGHWAYS, DIVISION OF HIGHWAYS, STATE OF COLORADO, PROJECT NO. RF 034-1(10) CONTAINING 5.663 ACRES, MORE OR LESS, IN THE NW 1/4 OF THE NE 1/4 OF SECTION 15, TOWNSHIP 5 NORTH, RANGE 67 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, IN WELD COUNTY, COLORADO, SAID TRACT OR PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST LINE OF THE NE 1/4 OF SEC. 15, T. 5 N., R. 67 W., 6TH P.M., FROM WHICH THE NW CORNER OF THE NE 1/4 OF SEC. 15 BEARS N. 1° 06' 45" W., A DISTANCE OF 597.0 FEET;
1. THENCE N. 1° 06' 45" W., ALONG THE WEST LINE OF THE NE 1/4 OF SEC. 15, A DISTANCE OF 382.4 FEET TO THE SOUTH RIGHT OF WAY LINE OF SH 34 (JAN. 1976);
2. THENCE S. 84° 24' 30" E., ALONG THE SOUTH RIGHT OF WAY LINE OF SH 34 (JAN. 1976), A DISTANCE OF 967.7 FEET;
3. THENCE S. 65° 57' 30" W., A DISTANCE OF 52.4 FEET;
4. THENCE ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 1,295.9 FEET, A DISTANCE OF 804.7 FEET (THE CHORD OF THIS ARC BEARS S. 71° 50' W. A DISTANCE OF 886.5 FEET);
5. THENCE N. 81° 36' W., A DISTANCE OF 66.3 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

(PER CONSERVATOR'S DEED RECORDED 01/19/1994 AT RECEPTION NO. 02369866)
A TRACT OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH P.M., WELD COUNTY, COLORADO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 15 AND CONSIDERING THE WEST LINE OF SAID SECTION TO BEAR NORTH 00°00'00" EAST WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO;
THENCE NORTH 00°00'00" EAST, 950.00 FEET ALONG SAID WEST LINE;
THENCE SOUTH 87°57'15" EAST, 485.00 FEET;
THENCE SOUTH 00°00'00" WEST, 950.00 FEET TO THE SOUTH LINE OF SAID SECTION 15;
THENCE NORTH 87°57'15" WEST, 485.00 FEET ALONG SAID SOUTH LINE TO SAID SOUTHWEST CORNER OF SAID SECTION 15 AND THE POINT OF BEGINNING;

(PER WARRANTY DEED RECORDED 01/19/1994 AT RECEPTION NO. 02369867)
A TRACT OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH P.M., WELD COUNTY, COLORADO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

SURVEYOR'S DESCRIPTION

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 15 AND CONSIDERING THE WEST LINE OF SAID SECTION TO BEAR NORTH 00°00'00" EAST WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO;
THENCE NORTH 00°00'00" EAST, 950.00 FEET ALONG SAID WEST LINE;
THENCE SOUTH 87°57'15" EAST, 485.00 FEET;
THENCE SOUTH 00°00'00" WEST, 950.00 FEET TO THE SOUTH LINE OF SAID SECTION 15;
THENCE NORTH 87°57'15" WEST, 485.00 FEET ALONG SAID SOUTH LINE TO SAID SOUTHWEST CORNER OF SAID SECTION 15 AND THE POINT OF BEGINNING;

(PER WARRANTY DEED RECORDED 01/30/2001 AT RECEPTION NO. 2822417)
A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, WELD COUNTY, COLORADO, AND BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 15 AND CONSIDERING THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 15 TO BEAR NORTH 89°41'20" EAST WITH ALL OTHER BEARINGS CONTAINED HEREIN BEING RELATIVE THERETO;
THENCE NORTH 89°41'20" EAST, 485.00 FEET ALONG SAID SOUTH LINE TO THE TRUE POINT OF BEGINNING;
THENCE NORTH 02°25'06" WEST, 950.00 FEET;
THENCE NORTH 89°44'35" EAST, 465.02 FEET;
THENCE SOUTH 02°25'06" EAST, 949.56 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 15;
THENCE SOUTH 89°41'20" WEST, 465.00 FEET ALONG SAID SOUTH LINE TO THE TRUE POINT OF BEGINNING.

(PER WARRANTY DEED RECORDED 04/15/2002 AT RECEPTION NO. 2943083)(R6)
A PARCEL OF LAND BEING ALL OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, WELD COUNTY, COLORADO EXCEPT THE WEST HALF OF THE WEST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER AND EXCEPT THAT PART OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER AS CONVEYED BY DEEDS RECORDED IN THE RECORDS OF WELD COUNTY, COLORADO AT RECEPTION NUMBER 1766549, SAID PARCEL BEING FURTHER DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 16 AND CONSIDERING THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 16 TO BEAR SOUTH 89°25'41" WEST WITH ALL OTHER BEARINGS CONTAINED HEREIN BEING RELATIVE THERETO;

THENCE SOUTH 89°25'41" WEST, 483.51 FEET ALONG SAID SOUTH LINE TO THE SOUTHWEST CORNER OF THAT TRACT PREVIOUSLY DESCRIBED AT RECEPTION NUMBER 1766549 AND THE TRUE POINT OF BEGINNING.

THENCE CONTINUING SOUTH 89°25'41" WEST, 523.60 FEET TO THE SOUTHEAST CORNER OF SAID WEST HALF OF THE WEST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER; THENCE NORTH 01°55'41" WEST, 1318.73 FEET TO THE NORTHEAST CORNER OF SAID WEST HALF OF THE WEST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER;
THENCE NORTH 89°27'07" EAST, 985.83 TO THE NORTHEAST CORNER OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER;
THENCE SOUTH 02°25'06" EAST, 368.17 FEET TO THE NORTHEAST CORNER OF THAT TRACT PREVIOUSLY DESCRIBED AT RECEPTION NUMBER 1766549;

THENCE ALONG THE NORTH AND WEST LINES OF SAID PREVIOUSLY DESCRIBED TRACT AS FOLLOWS:
THENCE 89°25'47" WEST, 485.25 FEET;
SOUTH 02°31'23" EAST, 950.53 FEET TO THE TRUE POINT OF BEGINNING.

(ALSO)
A PARCEL OF LAND BEING ALL OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, WELD COUNTY, COLORADO EXCEPT THOSE PARTS OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER AS CONVEYED BY DEEDS RECORDED IN WELD COUNTY, COLORADO AT RECEPTION NUMBERS 2369866, 2369867, AND 2822417, SAID PARCEL BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 15 AND CONSIDERING THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 15 TO BEAR NORTH 89°41'20" EAST WITH ALL OTHER BEARINGS CONTAINED HEREIN BEING RELATIVE THERETO;

THENCE NORTH 89°41'20" EAST, 950.00 FEET ALONG SAID SOUTH LINE TO THE SOUTH[EAST] CORNER OF THAT TRACT PREVIOUSLY DESCRIBED AT RECEPTION NUMBER 2822417 AND THE TRUE POINT OF BEGINNING.

THENCE ALONG THE EAST AND NORTH LINES OF SAID PREVIOUSLY DESCRIBED TRACTS AS FOLLOWS:
NORTH 02°25'06" WEST, 949.56 FEET;
SOUTH 89°44'35" WEST, 950.03 FEET TO A POINT ON THE WEST LINE OF SAID SECTION 15;
THENCE NORTH 02°25'06" WEST, 368.17 FEET TO THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 15;
THENCE NORTH 89°43'33" EAST, 1285.48 FEET TO THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 15;
THENCE SOUTH 01°56'30" EAST, 1317.44 FEET TO THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 15;
THENCE SOUTH 89°41'20" WEST, 324.48 FEET TO THE TRUE POINT OF BEGINNING.

(PER WARRANTY DEED RECORDED 09/14/1978 AT RECEPTION NO. 1766549)
THE SOUTH 950 FEET OF THE EAST 485 FEET OF THE SOUTHEAST QUARTER (SE1/4) OF SECTION 16, TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN.

SURVEYOR'S DESCRIPTION

(PER RIGHT OF WAY DEED RECORDED 02/16/1934 IN BOOK 956 AT PAGE 71)
PLEASE NOTE THAT THIS DOCUMENT LIES WITHIN THE NORTH ONE-HALF OF SAID SECTION 16 AND DOES NOT AFFECT THE SUBJECT PROPERTY.
A TRACT OF LAND TEN (10) FEET WIDE AND TWENTY FIVE HUNDRED THIRTY NINE AND ONE TENTHS (2539.1) FEET LONG LYING SOUTH OF THE PRESENT ESTABLISHED ROAD; TO BE ACQUIRED AS ADDITIONAL RIGHT OF WAY FOR FEDERAL AID PROJECT NO. 186A EXTENDING WESTERLY FROM GREELEY TO LOVELAND IN WELD COUNTY, COLORADO, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A STRIP OF LAND TEN (10) FEET WIDE AND FIVE THOUSAND SEVENTY THREE AND EIGHT TENTHS (5073.8) FEET LONG, MORE OR LESS, WITHIN THE BOUNDARIES OF SEC. 16 T5N R67W, AND LING BETWEEN FORTY AND FIFTY FEET SOUTHERLY AND PARALLEL TO THE NORTH BOUNDARY OF SAID SECTION 16 T5N R67W.
BEGINNING AT A POINT ON THE EAST SECTION LINE OF SAID SECTION 16 T5N R67W AND RUNNING N89°38'W, FIVE THOUSAND SEVENTY THREE AND EIGHT TENTHS (5073.8) FEET TO THE WEST BOUNDARY OF SAID SECTION 16 T5N R67W.

(PER 1889 RESOLUTION RECORDED 10/14/1889 IN BOOK 86 AT PAGE 273)
COUNTY ROADS 60' WIDE, BEING 30 FEET ON EACH SIDE OF THE SECTION LINES.

(EXCEPTION TO 1889 RESOLUTION-RESOLUTION ABANDONING ROAD RIGHT OF WAY RECORDED IN BOOK 1006 AT PAGE 281)
THE ROAD ALONG THE SECTION LINE BETWEEN SECTIONS 15 AND 16, AND THE SECTION LINE BETWEEN SECTIONS 15 AND 22.

***NOTE: THE ADJACENT PLATTED SUBDIVISION, WEST GREELEY TECH CENTER (RECEPTION NO. 3148893), AND ITS SUBSEQUENT AMENDMENTS, CONSULTED WITH THE COLORADO DEPARTMENT OF TRANSPORTATION TO ESTABLISH THE RIGHT-OF-WAY FOR U.S. HIGHWAY 34 CONSIDERING INCONSISTENCIES IN THE RECORDED DOCUMENTS' CALLS AS A CONSEQUENCE THE SUBDIVISION RELIED UPON COLORADO DEPARTMENT OF TRANSPORTATION COLORADO PROJECT NO. C 0342-024 RIGHT-OF-WAY PLANS. IN RESEARCHING THE PORTIONS OF U.S. HIGHWAY 34 AND STATE HIGHWAY 257 THAT ARE ADJACENT TO THE SUBJECT PROPERTY, INCONSISTENCIES WERE FOUND IN THE RECORDED DOCUMENTS' CALLS. THE RIGHTS-OF-WAY SHOWN HEREON WERE ESTABLISHED FROM THE COLORADO DEPARTMENT OF TRANSPORTATION (COLORADO DEPARTMENT OF HIGHWAYS) RIGHT-OF-WAY PLANS AS THEY ARE DESCRIBED IN THE DEEDS OF RECORD IN ORDER TO REMEDY ANY INCONSISTENCIES.

SURVEYED AREA

PARCEL 1: 23,109,738 SQUARE FEET (530.527 ACRES) MORE OR LESS
PARCEL 2: 12,478,136 SQUARE FEET (286.459 ACRES) MORE OR LESS
C.R. 56 R.O.W.: 218,410 SQUARE FEET (5.014 ACRES) MORE OR LESS
TOTAL: 35,806,320 SQUARE FEET (822.0 ACRES) MORE OR LESS

SURVEYOR'S NOTES

1. DISTANCES ARE MARKED IN U.S. SURVEY FEET AND DECIMAL PLACES THEREOF; NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON. DISTANCES AND/OR BEARINGS SHOWN IN PARENTHESIS (0.00') ARE RECORD OR DEED VALUES, NOT FIELD MEASURED.

2. THE LOCATION OF THE PROPERTY LINES SHOWN ON THE FACE OF THIS PLAT ARE BASED ON THE DESCRIPTION AND INFORMATION FURNISHED BY THE CLIENT, TOGETHER WITH THE TITLE COMMITMENT. THE PARCEL WHICH IS DEFINED MAY NOT REFLECT ACTUAL OWNERSHIP, BUT REFLECTS WHAT WAS SURVEYED FOR OWNERSHIP, CONSULT YOUR TITLE COMPANY.

3. COMPARE THIS PLAT, LEGAL DESCRIPTION AND ALL SURVEY MONUMENTS BEFORE BUILDING, AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE SURVEYOR.

4. THIS LAND SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY CWC CONSULTING GROUP, INC. TO DETERMINE OWNERSHIP OF THIS TRACT, VERIFY THE DESCRIPTION SHOWN, VERIFY THE COMPATIBILITY OF THIS DESCRIPTION WITH THAT OF ADJACENT TRACTS, OR VERIFY EASEMENTS OF RECORD. REFERENCE IS MADE TO FIRST AMERICAN TITLE INSURANCE COMPANY (ISSUING OFFICE FILE NO.: NCS-1023854-CO, WITH A COMMITMENT DATE OF FEBRUARY 19, 2021 AT 5:00 PM FROM WHICH THIS SURVEY IS BASED. THIS PROPERTY IS SUBJECT TO ALL COVENANTS AND RESTRICTIONS RELATING TO THE USE AND CHARACTER OF THE LAND AND RECENT TITLE COMMITMENT OR REPORT.

5. ALL REFERENCES HEREON TO BOOKS, PAGES, MAPS AND RECEPTION NUMBERS ARE PUBLIC DOCUMENTS FILED IN THE RECORDS OF THE WELD COUNTY CLERK AND RECORDER'S OFFICE.

6. EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED HEREON WERE EXAMINED AS TO LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESERVATIONS, RESTRICTIONS, CONDITIONS, OBLIGATIONS, TERMS, OR AS TO THE RIGHT TO GRANT THE SAME.

7. BASIS OF BEARINGS: BEARINGS ARE BASED ON THE EAST LINE OF THE SOUTHEAST ONE-QUARTER OF SECTION 15, TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, SAID TO BEAR SOUTH 00°30'20" EAST, A DISTANCE OF 2,628.83 FEET, FROM THE EAST ONE-QUARTER CORNER OF SECTION 15 BEING MONUMENTED BY A 3.25" ALUMINUM CAP 0.5" DOWN IN A RANGE BOX WITH NO LID, STAMPED "COLD. DEPT. OF TRANSPORTATION, T5N R67W, 1/4, S15 | S14, 1998, PLS 25951" TO THE SOUTHEAST CORNER OF SECTION 15 BEING MONUMENTED BY A 3.25" ALUMINUM CAP. 0.3" DOWN IN A RANGE BOX WITH A LID MARKED "SURVEY", STAMPED "FLATRONS SURVEYING, T5N R67W, S15 | S14, ---, S22 | S23, 1997, LS 16406".

PLANNER / ARCHITECT /
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CIVIL ENGINEER



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CLIENT



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8480 E. ORCHARD RD, STE 1100
GREENWOOD VILLAGE, CO 80111
PHONE: (720) 214-5000



SURVEYOR'S NOTES

8. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.

9. DEFINITION: CERTIFY, CERTIFICATION — A PROFESSIONAL'S OPINION BASED ON HIS OR HER OBSERVATION OF CONDITIONS, KNOWLEDGE, INFORMATION AND BELIEFS. IT IS EXPRESSLY UNDERSTOOD THAT THE PROFESSIONAL'S CERTIFICATION OF A CONDITION'S EXISTENCE RELIEVES NO OTHER PARTY OF ANY RESPONSIBILITY OR OBLIGATION HE OR SHE HAS ACCEPTED BY CONTRACT OR CUSTOM.

10. CWC CONSULTING GROUP, INC. DOES NOT WARRANT THAT THE PARCEL, AS DESCRIBED HEREON, COMPLIES WITH COLORADO SENATE BILL 35. (30-26-101).

11. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

DELANTERO P.U.D.

GREELEY, CO

PROPERTY DESCRIPTION

PROJECT #: 201048
DRAWN BY: ML, CQ, JO
CHECKED BY: RH

ISSUE RECORD

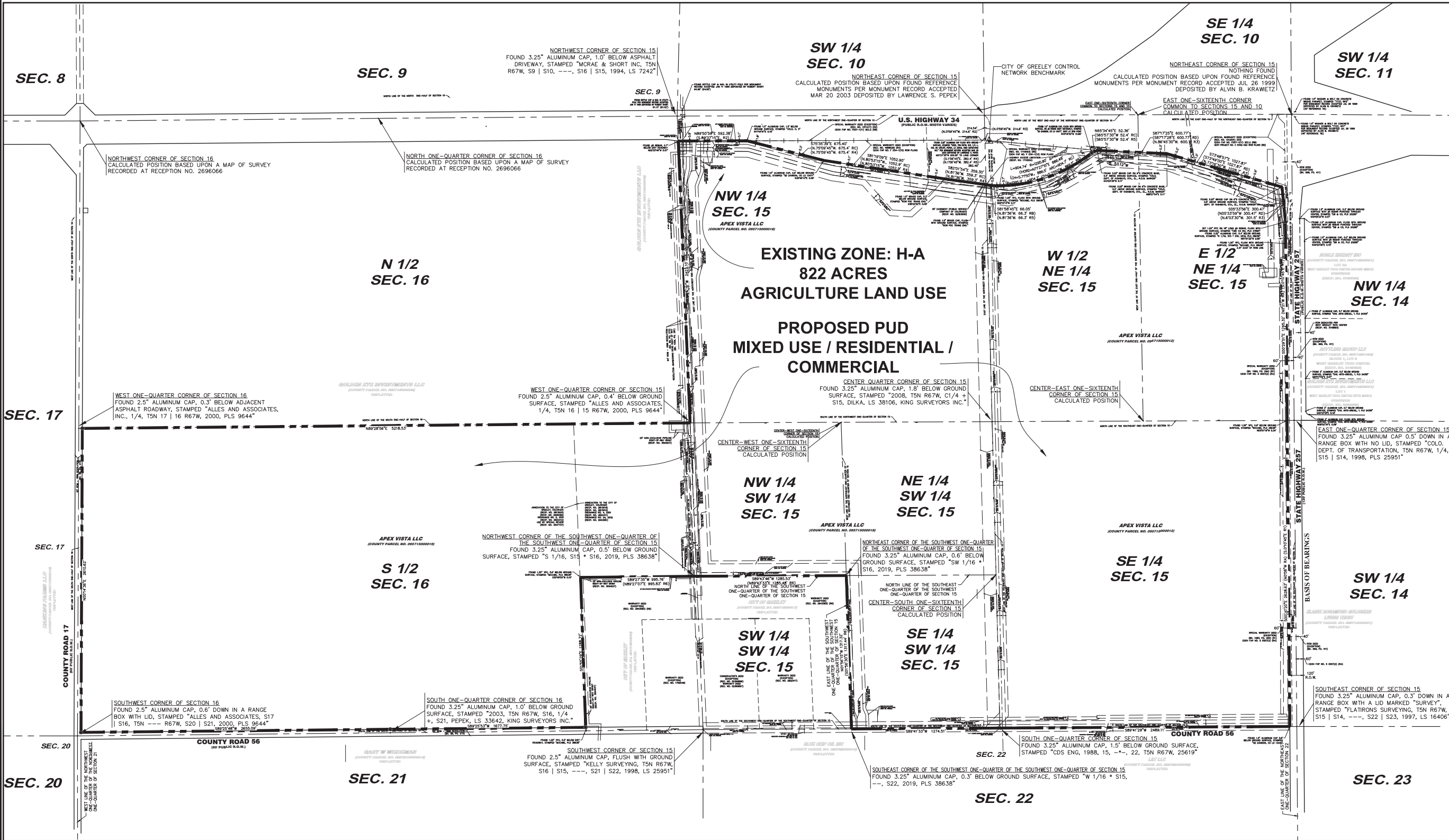
1st SUBMITTAL	04-27-2021
2nd SUBMITTAL	09-22-2021
3rd SUBMITTAL	12-23-2021
4th SUBMITTAL	03-18-2022
5th SUBMITTAL	04-11-2022

SHEET NUMBER

L2.0

DELANTERO P.U.D.

A PARCEL OF LAND BEING PARTS OF SECTION 15 AND A PART OF THE SOUTH ONE-HALF OF SECTION 16,
TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD 2021-0013



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DELANTERO P.U.D.
GREELEY, CO
PROPERTY BOUNDARY MAP

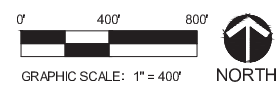
PROJECT #: 201048
DRAWN BY: ML, CQ, JO
CHECKED BY: RH

ISSUE RECORD	
1st SUBMITTAL	04-27-2021
2nd SUBMITTAL	09-22-2021
3rd SUBMITTAL	12-23-2021
4th SUBMITTAL	03-18-2022
5th SUBMITTAL	04-11-2022

SHEET NUMBER

L2.1

SURVEY INFORMATION TAKEN FROM THE ALTA SURVEY, PREPARED BY CWC CONSULTING, MARCH OF 2021



DELANTERO P.U.D.

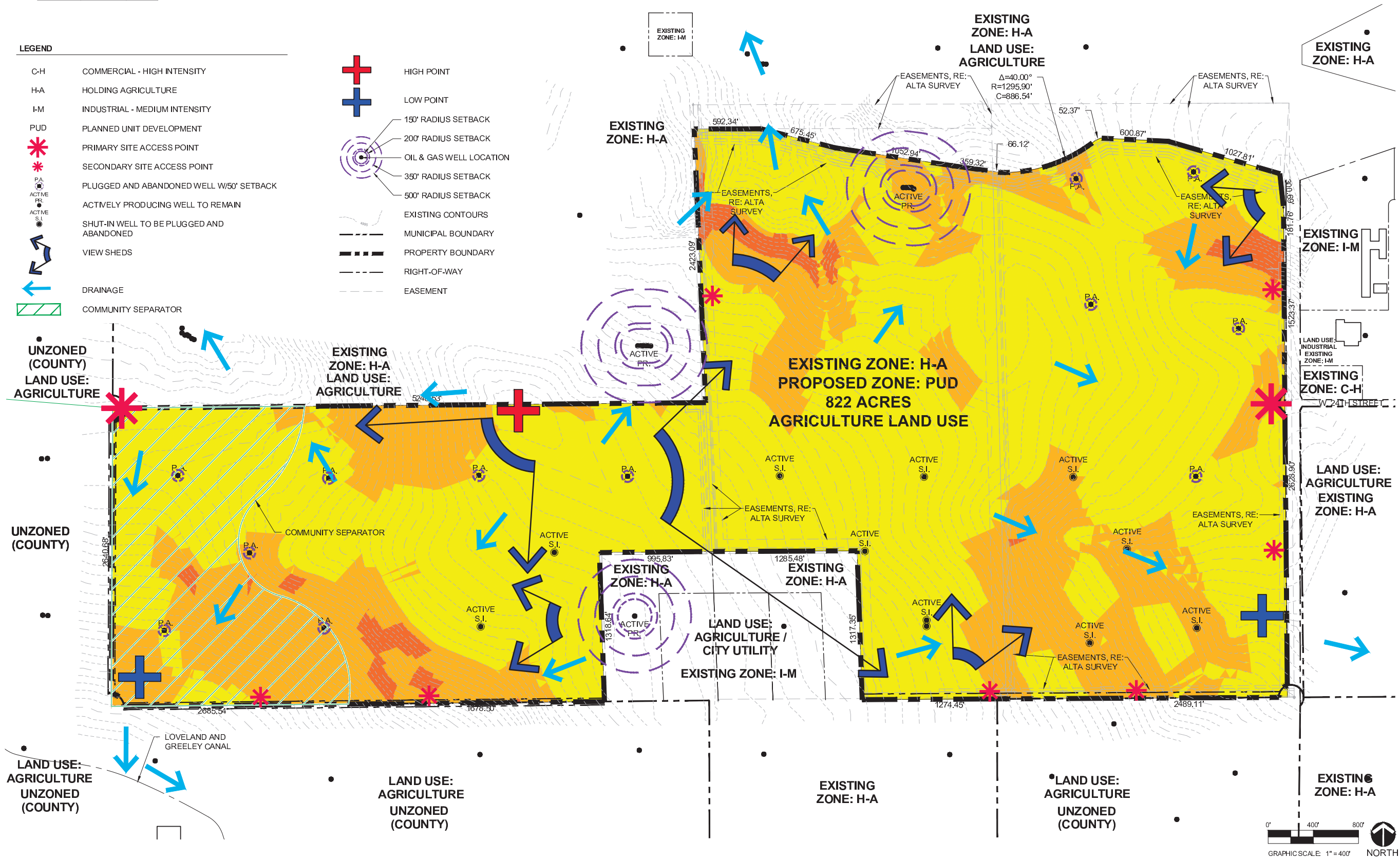
A PARCEL OF LAND BEING PARTS OF SECTION 15 AND A PART OF THE SOUTH ONE-HALF OF SECTION 16,
TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD 2021-0013

SLOPES TABLE		
MIN SLOPE	MAX SLOPE	COLOR
0.0%	2.5%	Yellow
2.5%	5.0%	Orange
5.0%	10.0%	Red

LEGEND

- C-H COMMERCIAL - HIGH INTENSITY
- H-A HOLDING AGRICULTURE
- I-M INDUSTRIAL - MEDIUM INTENSITY
- PUD PLANNED UNIT DEVELOPMENT
- * PRIMARY SITE ACCESS POINT
- * SECONDARY SITE ACCESS POINT
- PA PLUGGED AND ABANDONED WELL W/50' SETBACK
- ACTIVE PR ACTIVELY PRODUCING WELL TO REMAIN
- ACTIVE S.I. SHUT-IN WELL TO BE PLUGGED AND ABANDONED
- VIEW SHEDS
- DRAINAGE
- COMMUNITY SEPARATOR

- HIGH POINT
- LOW POINT
- 150' RADIUS SETBACK
- 200' RADIUS SETBACK
- OIL & GAS WELL LOCATION
- 350' RADIUS SETBACK
- 500' RADIUS SETBACK
- EXISTING CONTOURS
- MUNICIPAL BOUNDARY
- PROPERTY BOUNDARY
- RIGHT-OF-WAY
- EASEMENT



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DELANTERO P.U.D.
GREELEY, CO
SITE ANALYSIS MAP

PROJECT #: 201048
DRAWN BY: ML, CQ, JO
CHECKED BY: RH

ISSUE RECORD	
1st SUBMITTAL	04-27-2021
2nd SUBMITTAL	08-22-2021
3rd SUBMITTAL	12-23-2021
4th SUBMITTAL	03-18-2022
5th SUBMITTAL	04-11-2022

SHEET NUMBER
L3.0

DELANTERO P.U.D.

A PARCEL OF LAND BEING PARTS OF SECTION 15 AND A PART OF THE SOUTH ONE-HALF OF SECTION 16,
TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD 2021-0013

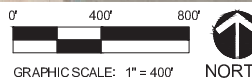
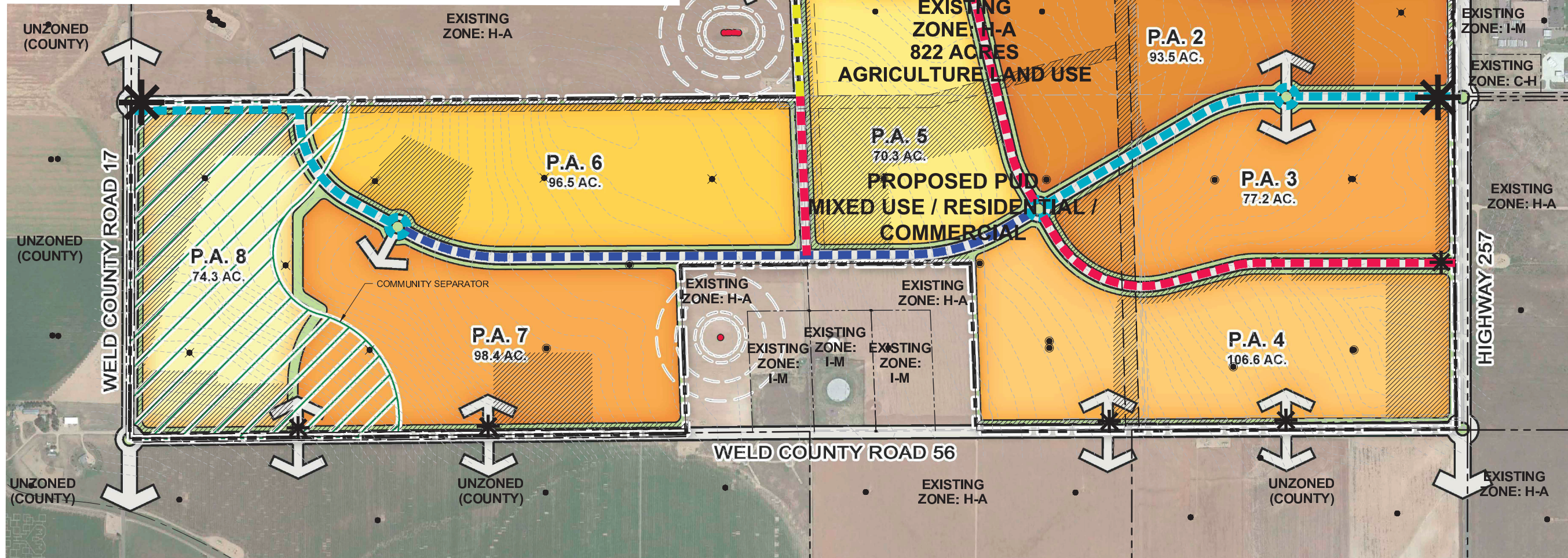
LEGEND

- | | | | |
|--|--|--|----------------------------------|
| | P.A.: PLUGGED AND ABANDONED WELL W/50' SETBACK | | PRIMARY SITE ACCESS POINT |
| | ACTIVE PR.: ACTIVELY PRODUCING WELL TO REMAIN | | SECONDARY SITE ACCESS POINT |
| | ACTIVE S.I.: SHUT-IN WELL TO BE PLUGGED AND ABANDONED | | 110' COLLECTOR STREET |
| | 150' RADIUS SETBACK | | 100' COLLECTOR STREET |
| | 200' RADIUS SETBACK | | 100' COLLECTOR STREET (OFF-SITE) |
| | OIL & GAS WELL LOCATION | | 80' COLLECTOR STREET |
| | 350' RADIUS SETBACK | | PROPERTY BOUNDARY |
| | 500' RADIUS SETBACK | | MUNICIPAL BOUNDARY |
| | OPEN SPACE / PARK AREAS; SIZE, SHAPE, & LOCATION SUBJECT TO FINAL PLAT | | RIGHT-OF-WAY |
| | | | PLANNING AREA BOUNDARY |
| | | | EASEMENT |
| | | | COMMUNITY SEPARATOR |

ZONING LEGEND

- | | |
|-----|-------------------------------|
| C-H | COMMERCIAL - HIGH INTENSITY |
| H-A | HOLDING AGRICULTURE |
| I-M | INDUSTRIAL - MEDIUM INTENSITY |
| PUD | PLANNED UNIT DEVELOPMENT |

NOTE: DENSITY INFORMATION IS PROVIDED ON SHEETS L5.0
PRELIMINARY SITE PLAN AND L6.0 DEVELOPMENT STANDARDS.



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DELANTERO P.U.D.

GREELEY, CO

ZONING SUITABILITY MAP

PROJECT #: 201048
DRAWN BY: ML, CQ, JO
CHECKED BY: RH

ISSUE RECORD

1st SUBMITTAL	04-27-2021
2nd SUBMITTAL	09-22-2021
3rd SUBMITTAL	12-23-2021
4th SUBMITTAL	03-18-2022
5th SUBMITTAL	04-11-2022

SHEET NUMBER

L4.0

DELANTERO P.U.D.

A PARCEL OF LAND BEING PARTS OF SECTION 15 AND A PART OF THE SOUTH ONE-HALF OF SECTION 16,
TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD 2021-0013

LAND USE CHART						
PARCEL LAND USE	AREA (AC.)	ZONED DENSITY (D.U./AC.)	UNIT RANGE		MAX. F.A.R.	OCCUPANCY RATE (PPL/UNIT)
			LOW	HIGH		
P.A. 1	143.5				0.4	0
COMMERCIAL / MIXED USE					0.4	
COMMERCIAL / INDUSTRIAL MIXED USE					0.4	
DOG PARK						
DETENTION						
OPEN SPACE / TRAILS						
MINOR RIGHTS-OF-WAY						
P.A. 2	93.5					3491
MULTI-FAMILY (APARTMENT OR CONDOMINIUM)	14-45	216	693		2.7	1871
PAIRED HOMES	6-12	107	213		2.7	575
SFD SMALL	5-10	194	387		2.7	1045
NEIGHBORHOOD PARK						
OPEN SPACE / TRAILS						
MINOR RIGHTS-OF-WAY						
P.A. 3	77.2					2055
PAIRED HOMES	6-12	89	177		2.7	478
TOWNHOMES	8-24	134	403		2.7	1088
SFD MEDIUM	4-6	121	181		2.7	489
NEIGHBORHOOD PARK						
OPEN SPACE / TRAILS						
MINOR RIGHTS-OF-WAY						
P.A. 4	106.6					3321
MULTI-FAMILY (APARTMENT OR CONDOMINIUM)	14-45	258	828		2.7	2236
SFD SMALL	5-10	67	134		2.7	362
SFD MEDIUM	4-6	179	268		2.7	724
DETENTION						
OPEN SPACE / TRAILS						
MINOR RIGHTS-OF-WAY						
P.A. 5	70.3					2330
MULTI-FAMILY (APARTMENT OR CONDOMINIUM)	14-45	98	549		2.7	1482
TOWNHOMES	8-24	105	314		2.7	848
PARK						
SCHOOL						
OPEN SPACE / TRAILS						
P.A. 6	96.5					2160
PAIRED HOMES	6-12	78	156		2.7	421
TOWNHOMES	8-24	100	300		2.7	810
SFD SMALL	5-10	42	83		2.7	224
SFD MEDIUM	4-6	174	261		2.7	705
PARK						
OPEN SPACE / TRAILS						
MINOR RIGHTS-OF-WAY						

PARCEL LAND USE	AREA (AC.)	ZONED DENSITY (D.U./AC.)	UNIT RANGE		MAX. F.A.R.	OCCUPANCY RATE (PPL/UNIT)	MAX (PPL)
			LOW	HIGH			
P.A. 7	98.4						1887
PAIRED HOMES		6-12	67	134		2.7	362
TOWNHOMES		8-24	76	228		2.7	616
SFD SMALL		5-10	62	123		2.7	332
SFD MEDIUM		4-6	134	214		2.7	578
OIL & GAS							
NEIGHBORHOOD PARK							
OPEN SPACE / TRAILS							
MINOR RIGHTS-OF-WAY							
P.A. 8	74.3						527
SFD LARGE / ESTATE		3-5	117	195		2.7	527
AG / RANCH OPEN SPACE							
IRRIGATION POUD							
DETENTION / STORMWATER							
MANAGEMENT FACILITIES							
SUBTOTAL ALL PLANNING AREAS	760.3						15771
MAJOR RIGHTS-OF-WAY	61.7						
PROPERTY TOTAL	822.0		2415	5841			15771

DEFINITIONS OF USES SHALL BE GOVERNED BY CITY OF GREELEY DEVELOPMENT CODE SEC. 24-402 DATED OCTOBER 1, 2021.

SFD = SINGLE FAMILY DETACHED DWELLING

FOR A LIST OF ALLOWABLE AND PROHIBITED USES, SEE L60.

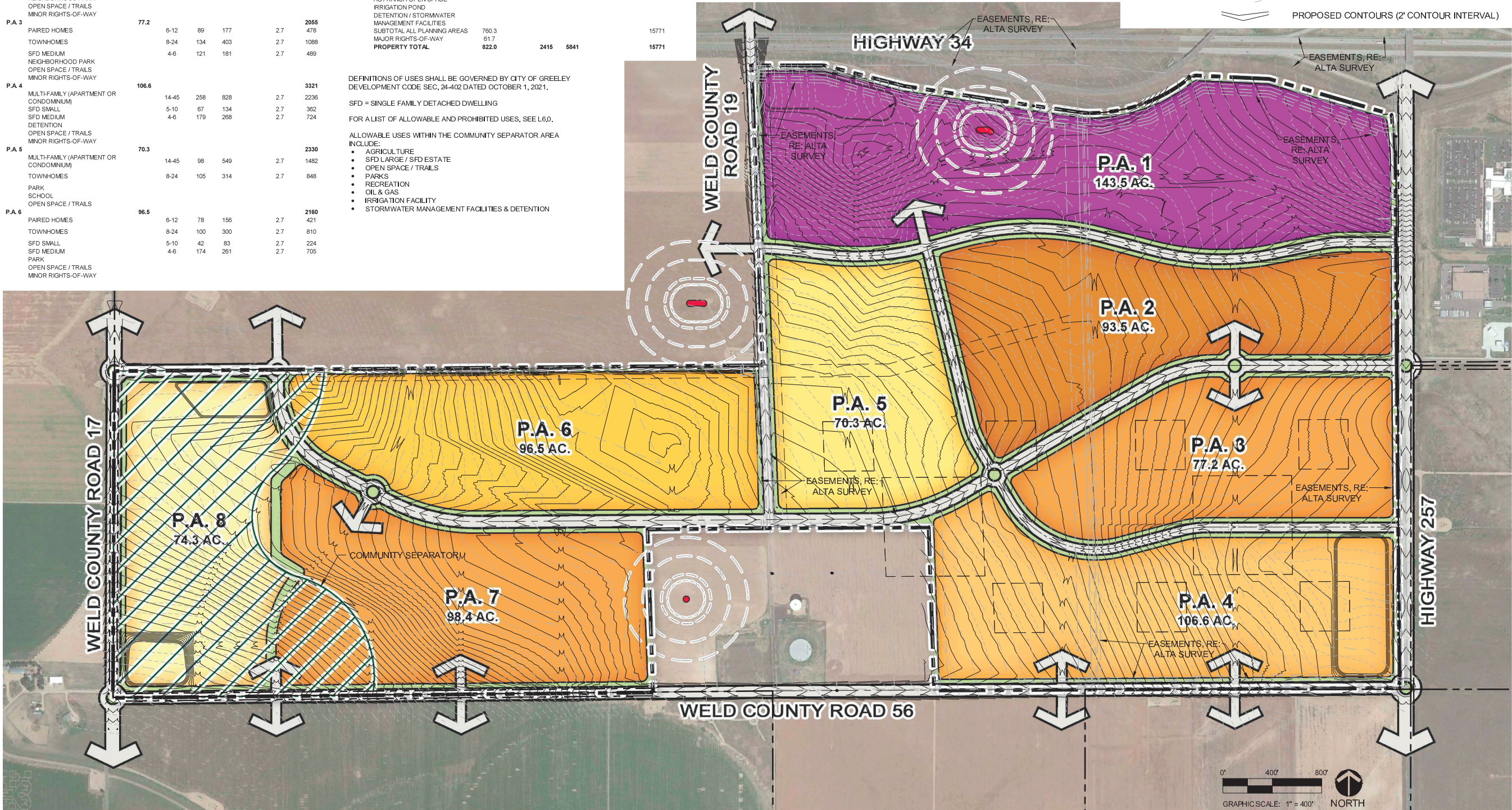
ALLOWABLE USES WITHIN THE COMMUNITY SEPARATOR AREA

INCLUDE:

- AGRICULTURE
- SFD LARGE / SFD ESTATE
- OPEN SPACE / TRAILS
- PARKS
- RECREATION
- OIL & GAS
- IRRIGATION FACILITY
- STORMWATER MANAGEMENT FACILITIES & DETENTION

LEGEND

- PROPERTY BOUNDARY
- RIGHT-OF-WAY
- PLANNING AREA BOUNDARY
- TRAIL OR DRAINAGE EASEMENT
- EXISTING EASEMENT
- MUNICIPAL BOUNDARY
- RIGHT-OF-WAY CENTERLINE
- 150' RADIUS SETBACK
- 200' RADIUS SETBACK
- OIL & GAS WELL LOCATION
- 350' RADIUS SETBACK
- 500' RADIUS SETBACK
- EXISTING CONTOURS (2' CONTOUR INTERVAL)
- PROPOSED CONTOURS (2' CONTOUR INTERVAL)



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DELANTERO P.U.D.

GREELEY, CO

PRELIMINARY SITE PLAN

PROJECT #: 201048
DRAWN BY: ML, CQ, JO
CHECKED BY: RH

ISSUE RECORD

1st SUBMITTAL 04-27-2021
2nd SUBMITTAL 09-22-2021
3rd SUBMITTAL 12-23-2021
4th SUBMITTAL 03-18-2022
5th SUBMITTAL 04-11-2022

SHEET NUMBER

L5.0

DELANTERO P.U.D.

A PARCEL OF LAND BEING PARTS OF SECTION 15 AND A PART OF THE SOUTH ONE-HALF OF SECTION 16,
TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD 2021-0013

GENERAL PROVISIONS

A. CONFORMANCE

DEVELOPMENT OF THIS PLANNED COMMUNITY SHALL CONFORM TO ALL RESTRICTIONS, REGULATIONS AND PROCEDURES ADOPTED BY ORDINANCE BY THE CITY OF GREELEY AT THE TIME OF PLATTING AND BUILDING PERMIT APPLICATION, EXCEPT AS EXPRESSLY PROVIDED OTHERWISE IN THIS PLANNED UNIT DEVELOPMENT PLAN (PUD). THE PROVISIONS OF THIS PUD SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF THIS PLANNED COMMUNITY, EXCEPT WHERE THE PROVISIONS OF THE PUD DO NOT CLEARLY ADDRESS A SPECIFIC SUBJECT. FOR SUBJECTS NOT ADDRESSED HEREIN, THE APPROPRIATE JURISDICTIONAL REGULATIONS AND CODES SHALL TAKE PRECEDENCE, AND THE MOST RESTRICTIVE STANDARDS, AND CODE STANDARDS AS AMENDED SHALL APPLY.

B. EFFECT OF THE CITY OF GREELEY ZONING ORDINANCE

THE PROVISIONS OF THIS PUD SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF DELANTERO PROVIDED; HOWEVER, WHERE THE PROVISIONS OF THE PUD DO NOT ADDRESS A SPECIFIC SUBJECT, THE PROVISIONS OF THE CITY OF GREELEY ZONING ORDINANCE OR ANY OTHER APPLICABLE ORDINANCES, RESOLUTIONS OR REGULATIONS OF THE CITY OF GREELEY DEVELOPMENT CODE STANDARDS, AND CODE STANDARDS AS AMENDED, SHALL PREVAIL.

C. DENSITY VARIATIONS

IN NO EVENT SHALL THE MAXIMUM NUMBER OF RESIDENTIAL DWELLING UNITS WITHIN ALL LAND USE PARCELS AS SET FORTH IN THE PLANNED UNIT DEVELOPMENT PLAN FOR DELANTERO BE EXCEEDED. THE TOTAL NUMBER OF DWELLING UNITS ACTUALLY DEVELOPED IN A PLANNING AREA MAY BE LESS THAN THE NUMBER ESTABLISHED ON THE PLANNED UNIT DEVELOPMENT PLAN. REMAINING UNITS MAY BE TRANSFERRED TO OTHER PARCELS IN WHOLE OR IN PART, IN SUPPORT OF THE MIXED-USE CONCEPT. ANY RESIDENTIAL PLANNING AREA MAY CONTAIN UP TO THE MAXIMUM DENSITY ALLOWED FOR THE RECEIVING PARCEL AS SET FORTH IN THE PLANNED UNIT DEVELOPMENT PLAN AND AS DETERMINED BY THE DEVELOPER, WITHOUT THE NEED TO AMEND THIS PUD.

IN SUPPORT OF A MIXED-USE CONCEPT, AND FOR PARCELS DESIGNATED COMMERCIAL, DWELLING UNITS MAY BE TRANSFERRED IN AT THE SITE PLAN STAGE UP TO A MAXIMUM DENSITY OF 45 DU/AC. THIS INCREASE IN THE NUMBER OF PERMITTED DWELLING UNITS WITHIN A COMMERCIAL LAND USE PARCEL MAY BE ACCOMPLISHED THROUGH A TRANSFER OF DWELLING UNITS FROM ANY OTHER PLANNING AREA ADMINISTRATIVELY.

D. DENSITY TRANSFER

IF MAXIMUM UNIT CAP PER LAND USE CHART (SEE L5.0) IS NOT ACHIEVED FOR ANY GIVEN PLANNING AREA, THOSE UNITS CAN BE TRANSFERRED TO OTHER PLANNING AREAS.

E. PLANNING AREA BOUNDARIES

PLANNING AREA BOUNDARIES ARE SHOWN ON THE PUD, AND ARE GENERALLY DETERMINED BY THEIR RELATIONSHIP TO ROADS, OPEN SPACE, AND ADJACENT LAND USES. MODIFICATIONS IN PLANNING AREA BOUNDARIES AND STREETS ARE PERMITTED AND WILL OCCUR WITH PLANNING AND ENGINEERING REFINEMENT. FINAL PARCEL BOUNDARIES AND ROAD ALIGNMENTS SHALL BE DETERMINED AND SHOWN ON A SITE PLAN OR PLAT, WITHOUT ANY AMENDMENT TO THE PUD BEING REQUIRED; PROVIDED THE CHANGES IN THE PLANNING AREA DO NOT EXCEED 20 PERCENT OF THE DEFINED PARCEL.

F. CONSTRUCTION STANDARDS

CONSTRUCTION SHALL COMPLY WITH APPLICABLE PROVISIONS OF THE INTERNATIONAL BUILDING AND MECHANICAL CODE, THE NATIONAL ELECTRICAL CODE, THE COLORADO PLUMBING CODE, AND OTHER SUCH CODES AND THE SUCCESSORS THEREOF, SETTING FOR THE CONSTRUCTION STANDARDS AS PROMULGATED BY THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS OR OTHER STANDARDS-ESTABLISHING BODIES, AS ARE ADOPTED BY THE CITY OF GREELEY. ALL FUTURE BUILD OUT SHALL MEET ALL APPLICABLE CITY OF GREELEY CODES, ORDINANCES, RESOLUTIONS, DESIGN CRITERIA, AND RELATED. IT IS ALSO HEREBY UNDERSTOOD THAT ALL SITE DEVELOPMENT IS SUBJECT TO CITY OF GREELEY REVIEWS AND COMMENTS PRIOR TO FINAL APPROVAL AND/OR ACCEPTANCE.

G. UNDERGROUND UTILITY REQUIREMENTS

ALL NEW ELECTRICAL AND COMMUNICATIONS DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND. ALL NEW TRANSMISSION LINES SHALL BE PLACED UNDERGROUND UNLESS DIRECT BURIAL CANNOT BE ACCOMPLISHED.

H. SOIL TESTS

SOIL TESTS FOR BUILDING SITES SHALL BE PROVIDED AT THE TIME OF BUILDING PERMIT APPLICATION FOR THE PURPOSE OF ESTABLISHING ENGINEERING CRITERIA FOR BUILDING FOUNDATION DESIGN.

I. HOMEOWNER ASSOCIATIONS

HOMEOWNER ASSOCIATIONS (HOAS) COMPOSED OF PROPERTY OWNERS IN RESIDENTIAL AREAS MAY BE CREATED FOR THE FOLLOWING PURPOSES: A) TO PROVIDE FOR THE CONTINUED DEVELOPMENT, IMPROVEMENT AND MAINTENANCE OF PROPERTIES AND FACILITIES WHICH IT OWNS OR ADMINISTERS, AND B) TO PROTECT THE INVESTMENT, ENHANCE THE VALUE, AND CONTROL THE USE OF PROPERTY OWNED BY ITS MEMBERS IN PERPETUITY. HOMEOWNER'S ASSOCIATIONS SHALL BE CREATED IN RESIDENTIAL AND/OR COMMERCIAL/INDUSTRIAL AREAS WHERE COMMON LANDS OR FACILITIES ARE TO BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

J. METROPOLITAN DISTRICTS (TITLE 32)

A DISTRICT IS A QUASI-GOVERNMENTAL AGENCY, SEPARATE AND DISTINCT FROM THE CITY, AND, EXCEPT AS MAY OTHERWISE BE PROVIDED FOR BY STATE OR LOCAL LAW OR ITS CITY APPROVED SERVICE PLAN, ITS ACTIVITIES ARE SUBJECT TO REVIEW BY THE CITY ONLY INsofar AS THEY MAY DEVIATE IN A MATERIAL MATTER FROM THE REQUIREMENTS OF THE SERVICE PLAN, OR AN INTERGOVERNMENTAL AGREEMENT. IT IS INTENDED THAT THE DISTRICTS WILL PROVIDE A PART OR ALL OF THE PUBLIC IMPROVEMENTS FOR THE USE AND BENEFIT OF ALL ANTICIPATED INHABITANTS AND TAXPAYERS OF THE DISTRICT. THE PRIMARY PURPOSE OF THE DISTRICT WILL BE TO FINANCE THE CONSTRUCTION OF DISTRICT IMPROVEMENTS. THE DISTRICT HAS ALSO BEEN CREATED TO PROVIDE ONGOING OWNERSHIP OPERATIONS AND MAINTENANCE SERVICES AS SPECIFICALLY SET FORTH IN ITS SERVICE PLAN AND AS MAY BE STATED IN ANY APPLICABLE INTERGOVERNMENTAL AGREEMENT.

K. ADMINISTRATIVE CHANGES

THE GRAPHIC DRAWINGS CONTAINED WITHIN THE PLANNED UNIT DEVELOPMENT PLAN ARE INTENDED TO DEPICT GENERAL LOCATIONS AND ILLUSTRATE CONCEPTS EXPRESSED IN THE NARRATIVE PROVISIONS OF THE PUD. THEY ARE NOT INTENDED TO BE ABSOLUTE, NOR TO REPRESENT THE ULTIMATE BUILD OUT OF DELANTERO, BUT RATHER THEY ARE INCLUDED TO DEPICT POTENTIAL DESIGN SOLUTIONS THAT MAY EVOLVE WITHIN THE COMMUNITY.

IT IS THE GOAL OF THIS PUD TO SERVE AS A GUIDING DOCUMENT FOR THE APPROPRIATE BUILD OUT OF THE DELANTERO COMMUNITY. GIVEN THE SCALE OF THIS PROJECT, AND THE ASSOCIATED TIMELINE IT WILL TAKE TO DEVELOP, IT IS ESSENTIAL THAT THIS PUD BE APPROVED WITH AN UNDERSTANDING OF INHERENT FLEXIBILITY. IN GRANTING FINAL PLAN APPROVAL THE CITY SHALL ALLOW VARIATIONS FOR THE PURPOSE OF ESTABLISHING:

1. FINAL ROAD ALIGNMENTS
2. FINAL CONFIGURATION OF LOT AND TRACT SIZES AND SHAPES;
3. FINAL BUILDING ENVELOPES;
4. FINAL ACCESS AND PARKING LOCATIONS;
5. FINAL PARCEL DEFINITIONS;
6. FINAL SIGNAGE / MONUMENT DESIGN; AND
7. LANDSCAPING ADJUSTMENTS

L. ROADWAY DESIGN

THE ROADWAYS SHALL COMPLY WITH THE CITY'S CURRENT ROADWAY STANDARDS UNLESS AS SHOWN AS APPROVED HEREIN.

M. AMENDMENTS TO APPROVED PLANS

MAJOR AMENDMENTS TO THIS PRELIMINARY PUD SHALL BE CONSIDERED BY THE CITY WITH THE SUBJECT PARCEL OWNER ACTING AS THE SOLE APPLICANT. OTHER PROPERTY OWNERS WITHIN THE DELANTERO COMMUNITY SHALL NOT BE REQUIRED AS APPLICANTS, NOR SHALL THEY BE REQUIRED TO PROVIDE PRIOR APPROVAL FOR THE PUD AMENDMENT APPLICATION TO PROCEED. THE APPLICANT SHALL NOTIFY ALL PROPERTY OWNERS WITHIN THE DELANTERO PUD BOUNDARIES AND THE ADJACENT OWNERS OF THE PROPOSED PUD AMENDMENT(S) UNDER CONSIDERATION. NOTIFICATIONS TO ADJACENT PROPERTY OWNERS SHALL OCCUR 500' FROM THE SUBJECT PROPERTY.

PUD DEVELOPMENT STANDARDS

ALLOWABLE COMMERCIAL MIXED USES IN P.A. 1*

IN ADDITION TO THE PUD DEVELOPMENT STANDARDS, THE FOLLOWING LIST OF USES WILL BE ALLOWED IN PLANNING AREA 1. ANY COMMERCIAL MIXED USE NOT LISTED BELOW SHALL NOT BE PERMITTED. *EXCEPT BY SPECIAL REVIEW BY THE CITY

- CHILDCARE, DAY CARE CENTERS, PRESCHOOLS
- CHURCHES
- HOSPITALS
- INTERMEDIATE AND LONG TERM CARE, ASSISTED LIVING UNITS (8 OR FEWER RESIDENTS)
- INTERMEDIATE AND LONG-TERM CARE, ASSISTED LIVING UNITS (MORE THAN 8 RESIDENTS)
- LIBRARIES, MUSEUMS, PUBLIC OR QUASI-PUBLIC
- POLICE AND AMBULANCE DISPATCH AND STORAGE
- RECREATION BLDGS., FACILITIES, PARKS, OPEN SPACE (SEE RECREATION USES)
- SCHOOLS
 - SCHOOLS--ADULT (BUSINESS, TRADE)
 - UNIVERSITIES, COLLEGES
- ANIMAL USES
 - PET STORES
 - PET GROOMING SHOPS
 - VETERINARY CLINICS (NO OUTDOOR RUNS)
- ART, DANCE, PHOTO STUDIOS, GALLERIES
- AUTO USES
 - AUTO RENTAL (MAX 10 CARS OR VANS)
 - AUTO REPAIR, SALES
 - CAR AND TRUCK WASH
- BANKS, SAVINGS AND LOANS, FINANCIAL INSTITUTIONS, ATMS, DRIVE-UP WINDOWS ("D" REQUIRED FOR DRIVE-UP WINDOWS)
- BARS, TAVERNS, LOUNGES
- BREWPUBS
- CLEANING AND JANITORIAL SERVICES
- CONVENIENCE STORES WITH GAS SALES
- ENTERTAINMENT ESTABLISHMENTS
- FLEA AND FARMERS' MARKETS, SWAP MEETS - OUTDOOR
- GAS STATIONS GAS STATIONS WITH REPAIR, LUBE AND TIRE SHOPS--INCLUDING UNDERGROUND FUEL STORAGE
- MINIATURE GOLF
- HOTELS, MOTELS (SEE LODGING USES)
- HOSPITALS
- LAUNDROMATS
- LODGING
 - HOTELS, MOTELS

ALLOWABLE INDUSTRIAL MIXED USES IN P.A. 1*

IN ADDITION TO THE PUD DEVELOPMENT STANDARDS, THE FOLLOWING LIST OF USES WILL BE ALLOWED IN PLANNING AREA 1. ANY INDUSTRIAL USE NOT LISTED BELOW SHALL NOT BE PERMITTED. *EXCEPT BY SPECIAL REVIEW BY THE CITY

- FARM EQUIPMENT, IMPLEMENT, DIESEL AND BUS SALES AND REPAIR
- MANUFACTURING, FABRICATION, ASSEMBLY
- MARIJUANA GROW FACILITIES
- MOVING AND STORAGE COMPANIES
- NEWSPAPER AND PUBLISHING PLANTS, BINDERIES
- OFFICES
- OIL AND GAS OPERATIONS
- SCHOOLS
 - SCHOOLS--ADULT (BUSINESS, TRADE)
 - UNIVERSITIES, COLLEGES
- TRUCK, TRAILER AND LARGE EQUIPMENT RENTAL
- UTILITY SERV. FACILITIES
- WELDING, MACHINE SHOPS
- WELL DRILLING COMPANIES
- WIRELESS COMM. FACILITIES
 - ELIGIBLE FACILITIES REQUESTS
 - SMALL CELL FACILITIES, IN THE RIGHT-OF-WAY
 - SMALL CELL FACILITIES
 - BASE STATIONS
- WAREHOUSING / STORAGE
 - RECREATION VEHICLE/EQUIPMENT, BOAT AND PERSONAL VEHICLE STORAGE
 - SELF-SERVE STORAGE UNITS

* TERMS DEFINED AND DESCRIBED IN CITY OF GREELEY DEVELOPMENT CODE SEC. 24-402 OCTOBER 1, 2021 AS AMENDED

ALLOWABLE CROSSOVER USES*

IN ADDITION TO THE PUD DEVELOPMENT STANDARDS, THE FOLLOWING USES WILL BE ALLOWED IN ALL PLANNING AREAS.

- FIRE STATIONS

* TERMS DEFINED AND DESCRIBED IN CITY OF GREELEY DEVELOPMENT CODE SEC. 24-402 OCTOBER 1, 2021 AS AMENDED

ALLOWABLE COMMERCIAL MIXED USES IN P.A. 1 (CONT.)

- RETAIL SALES
- MEDICAL AND DENTAL OFFICES AND CLINICS, THERAPEUTIC MASSAGE THERAPISTS, MEDICAL SUPPLY, SALES AND RENTAL
- MORTUARIES, FUNERAL HOMES
- MOVIE THEATERS, INDOOR THEATERS (SEE THEATERS)
- MULTI-FAMILY (AS PART OF A COMMERCIAL BUILDING) VERTICAL MIXED-USE - WITH AT LEAST 2 FLOORS OF COMMERCIAL
- NURSERIES, GREENHOUSES, GARDEN SHOPS
- OFFICES
- PARKING LOTS AND STRUCTURES
- PERSONAL SERVICE SHOPS (BEAUTY, BARBER, TANNING AND NAIL SALONS, SHOE REPAIR)
- PRINTING, COPYING SHOPS, MAIL CENTERS
- RADIO AND TV STATIONS
- RECREATION USES
 - COMMUNITY REC. BLDGS.
 - INDOOR, OUTDOOR EXTENSIVE (SKATING RINKS, BOWLING ALLEYS, VIDEO ARCADES, RIDING CLUBS, TENNIS COURTS, ETC.)
 - MEMBERSHIP CLUBS, HEALTH CLUBS, MARTIAL ARTS STUDIOS
 - OPEN SPACE
 - PARK (POCKET)
 - PARK (NEIGHBORHOOD)
 - PARK (COMMREG)
- RENTAL SERVICE (EQUIPMENT, SMALL TOOLS, SUPPLIES, APPLIANCES, HOME FURNISHINGS)
- REPAIR SHOPS
- RESTAURANTS
 - CAFES, AND OTHER EATING ESTABLISHMENTS (INCLUDES INDOOR AND/OR OUTDOOR SEATING/EATING AREAS)
 - DRIVE-IN OR DRIVE-THRU FACILITIES (INCLUDING INDOOR AND/OR OUTDOOR SEATING AREAS)
 - DRIVE-UP WINDOW
- RETAIL SALES
- THEATERS
 - INDOOR, MOVIE
 - OUTDOOR AUDITORIUMS, SPORTS ARENAS, STADIUMS
- UPHOLSTERY SHOPS
- WHOLESALE GOODS AND SALES

* TERMS DEFINED AND DESCRIBED IN CITY OF GREELEY DEVELOPMENT CODE SEC. 24-402 OCTOBER 1, 2021 AS AMENDED

ALLOWABLE RESIDENTIAL USES*

- SINGLE FAMILY DETACHED (SFD) DWELLINGS
- TWO-FAMILY DWELLINGS (ALSO CALLED PAIRED HOMES)
- MULTI - FAMILY DWELLINGS
 - APARTMENTS
 - CONDOMINIUMS
- ROW HOUSES
 - TOWNHOMES
- MIXED-USE

* TERMS DEFINED AND DESCRIBED IN CITY OF GREELEY DEVELOPMENT CODE SEC. 24-402 OCTOBER 1, 2021 AS AMENDED

PROHIBITED USES*

THE FOLLOWING LAND USES LISTED BELOW ARE NOT ALLOWED IN ANY PLANNING AREAS.

- SEXUALLY ORIENTED ADULT BUSINESSES
- ASPHALT BATCH PLANT
- CORRECTIONAL, JAIL, DETENTION FACILITY
- FOUNDRY
- JUNKYARD
- RACETRACK
- REFUSE TRANSFER STATION

* TERMS DEFINED AND DESCRIBED IN CITY OF GREELEY DEVELOPMENT CODE SEC. 24-402 OCTOBER 1, 2021 AS AMENDED

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DELANTERO P.U.D.

GREELEY, CO

DEVELOPMENT STANDARDS

PROJECT #: 201048
DRAWN BY: ML, CQ, JO
CHECKED BY: RH

ISSUE RECORD

1st SUBMITTAL	04-27-2021
2nd SUBMITTAL	09-22-2021
3rd SUBMITTAL	12-23-2021
4th SUBMITTAL	03-16-2022
5th SUBMITTAL	04-11-2022

SHEET NUMBER

L6.0

DELANTERO P.U.D.

A PARCEL OF LAND BEING PARTS OF SECTION 15 AND A PART OF THE SOUTH ONE-HALF OF SECTION 16,
TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD 2021-0013

PUD DEVELOPMENT STANDARDS

1.0 RESIDENTIAL PUD DEVELOPMENT STANDARDS CHART

RESIDENTIAL UNIT TYPES	MAXIMUM DENSITY	MINIMUM LOT SIZE	MAXIMUM BLDG. HT.	REAR LOAD (ALLEY) ALLOWED	SHARED DRIVEWAY/ALLEYS ALLOWED
APARTMENTS OR CONDOMINIUMS	45.0 DU/AC	N/A	75'	N/A	N/A
TOWNHOMES	24.0 DU/AC	1,000 SF	45'	YES	YES
TWO-FAMILY HOMES (PAIRED HOMES)	12.0 DU/AC	2,000 SF	45'	YES	YES
SINGLE FAMILY DETACHED - SMALL	10.0 DU/AC	2,200 SF	45'	YES	YES
SINGLE FAMILY DETACHED - MEDIUM	6.0 DU/AC	4,000 SF	45'	YES	YES
SINGLE FAMILY DETACHED - LARGE	5.0 DU/AC	6,000 SF	45'	YES	YES
SINGLE FAMILY DETACHED - ESTATE	4.5 DU/AC	9,000 SF	45'	YES	YES

1.1 NON-RESIDENTIAL PUD DEVELOPMENT STANDARDS CHART

LAND USE	MAXIMUM FLOOR AREA RATIO	UNOBSTRUCTED OPEN SPACE	PARKING	MAXIMUM BLDG. HT.
COMMERCIAL / MIXED-USE	0.4	20%	PER CITY CODE BASED ON USE	75'
INDUSTRIAL / MIXED USE	0.4	20%	PER CITY CODE BASED ON USE	50'

1.2 OIL & GAS SETBACKS CHART^{1,2}

LOCATION	EQUIPMENT OR ELEMENT	SETBACKS	FROM	LANDSCAPING
ALL AREAS OF THE CITY OF GREELEY	WELL WELL HEADS PRODUCTION TANKS ASSOCIATED PRODUCTION EQUIPMENT	150' OR 1.5X HEIGHT, WHICHEVER IS GREATER	LOT LINE / ROW, PARKING, TRAIL, PUBLIC OR PRIVATE ROAD, MAJOR ABOVE GROUND UTILITY, RAIL LINE, ANY OCCUPIED BUILDING (LOW DENSITY AREAS)	PER CITY OF GREELEY DEVELOPMENT CODE SEC. 24-1102 OIL & GAS OCTOBER 1, 2021 AS AMENDED. ALTERNATIVELY TO SEC. 24-1102, LANDSCAPE BERMING MAY BE UTILIZED AT THE PERIMETER OF OIL & GAS PARCEL(S) TO MINIMIZE VISIBILITY FROM RIGHTS-OF-WAY, PUBLIC SPACES, OR ADJACENT PROPERTY. IF UTILIZED, BERMING MAY INCLUDE SOME OF THE THE FOLLOWING: 6' PRIVACY FENCING AND/OR TREES AND NATIVE GRASSES, OR BERMING AS A STAND-ALONE SCREEN.
	LOT LINE	50'	ANY PLUGGED AND ABANDONED WELL	
	NEW BUILDING OR STRUCTURE	50'	ANY PLUGGED AND ABANDONED WELL	
		150' OR 1.5X HEIGHT, WHICHEVER IS GREATER	ANY EXISTING WELL, WELL HEAD, PRODUCTION TANK, OR ASSOCIATED PRODUCTION EQUIPMENT	
HIGH DENSITY AREAS ²	WELL WELL HEADS PRODUCTION TANKS ASSOCIATED PRODUCTION EQUIPMENT	200'	ANY OCCUPIED BUILDING (HIGH DENSITY AREAS)	
		350' (WELL AND WELL HEADS) 500' (PRODUCTION TANKS AND ASSOCIATED PRODUCTION EQUIPMENT)	EDUCATION FACILITY, ASSEMBLY BUILDING, HOSPITAL OR CARE FACILITY, STATE DESIGNATED OUTDOOR ACTIVITY AREA	
	ANY NEW BUILDING OR STRUCTURE (OR PER ALTERNATIVE COMPLIANCE IN SECTION 24-208)	50'	ANY PLUGGED AND ABANDONED WELL	
		350' (WELL AND WELL HEADS) 500' (PRODUCTION TANKS AND ASSOCIATED PRODUCTION EQUIPMENT)	ANY EXISTING WELL, WELL HEAD, PRODUCTION TANK, OR ASSOCIATED PRODUCTION EQUIPMENT	

¹ PURSUANT TO THE CITY OF GREELEY DEVELOPMENT CODE SEC. 24-1102 OIL & GAS, OCTOBER 1, 2021 AS AMENDED, IN ALL EVENTS THIS PUD WILL GOVERN.

² DEFINITIONS OF TERMS SHALL BE GOVERNED BY THE CITY OF GREELEY DEVELOPMENT CODE SEC. 24-1102 OIL & GAS.

1.3 SETBACKS STANDARDS CHART

UNIT TYPES	MINIMUM BUILDING SETBACKS ¹							ADDITIONAL REQUIREMENTS		
	FRONT	STREET FRONT TO GARAGE	REAR	REAR TO GARAGE	SIDE	SIDE ADJ. TO ROW	INTERNAL LOT LINE	MAX. LOT COVERAGE	MIN. PARKING SPACES / UNIT	
MULTI-FAMILY	15 FT	20 FT	25 FT	N/A	N/A	25 FT	N/A	80%	VARIES ³	PER CODE SEC. 24-403
CONDOMINIUMS	15 FT	20 FT	25 FT	N/A	N/A	25 FT	N/A	80%	VARIES ³	GARAGE, ADU PER CODE SEC. 24-403
TOWNHOMES (FRONT LOADED)	15 FT	20 FT	15 FT	N/A	7 FT	15 FT	0 FT	90%	2 SPACES	PER CODE SEC. 24-403
TOWNHOMES (ALLEY LOADED)	10 FT	N/A	N/A	5 FT / 18 FT ⁴	7 FT	15 FT	0 FT	90%	2 SPACES	PER CODE SEC. 24-403
TWO-FAMILY HOMES (FRONT LOADED)	15 FT	20 FT	15 FT	N/A	5 FT	15 FT	0 FT	80%	2 SPACES	PER CODE SEC. 24-403
TWO-FAMILY HOMES (ALLEY LOADED)	10 FT	N/A	N/A	5FT / 18 FT ⁴	5 FT	15 FT	0 FT	80%	2 SPACES	PER CODE SEC. 24-403
SINGLE FAMILY DETACHED - SMALL	10 FT	20 FT	10 FT	5FT / 18 FT ⁴	5 FT	10 FT	N/A	80%	2 SPACES	ADU PER CODE SEC. 24-403
SINGLE FAMILY DETACHED - SMALL (CLUSTER)	10 FT	N/A	5 FT	N/A	5 FT	10 FT	5 FT ²	80%	2 SPACES	ADU PER CODE SEC. 24-403
SINGLE FAMILY DETACHED - MEDIUM	15 FT	20 FT	15 FT	5FT / 18 FT ⁴	5 FT	10 FT	N/A	80%	2 SPACES	ADU PER CODE SEC. 24-403
SINGLE FAMILY DETACHED - LARGE	15 FT	20 FT	20 FT	5FT / 18 FT ⁴	5 FT	10 FT	N/A	70%	2 SPACES	ADU PER CODE SEC. 24-403
SINGLE FAMILY DETACHED - ESTATE	20 FT	20 FT	20 FT	5FT / 18 FT ⁴	7 FT	10 FT	N/A	50%	2 SPACES	ADU PER CODE SEC. 24-403
COMMERCIAL	25'									
INDUSTRIAL	25'									

¹ FOR TOWNHOMES, TWO-FAMILY HOMES, AND ALL SINGLE FAMILY DETACHED PLANNING AREAS, ENCROACHMENT INTO THE SETBACKS SHALL BE ALLOWED. PORCHES, EAVES, CANTILEVERS, STEPS, WALKS, AND UTILITY EQUIPMENT (I.E. AC UNITS) CAN ENCROACH INTO THE ESTABLISHED SETBACKS. ENCROACHMENTS CANNOT BE MORE THAN 2 FEET. WINDOW WELLS MAY ENCROACH MORE THAN 3' AS NECESSARY FOR FIRE EGRESS AS LONG AS THEY DON'T CONFLICT WITH PUBLIC UTILITIES.

² HOMES IN SINGLE FAMILY DETACHED - SMALL CLUSTER AREAS MAY BE BUILT AS ZERO LOT LINE PRODUCTS WITH PROPER FIRE RATING PER BUILDING CODE OR MUST HAVE AN INTERNAL LOT LINE SETBACK OF 5'.

³ PARKING REQUIREMENTS FOR MULTI-FAMILY DWELLINGS:
EFFICIENCY UNITS 1.25 SPACE PER UNIT
ONE-BEDROOM UNITS 1.50 SPACE PER UNIT
TWO-BEDROOM UNITS 1.75 SPACE PER UNIT
THREE-BEDROOM UNITS 2.0 SPACES PER UNIT
FOUR+ BEDROOM UNITS 3.0 SPACES PER UNIT
PLUS 1 SPACE PER 10 REQUIRED RESIDENT SPACES FOR GUEST PARKING.

⁴ REAR SETBACKS FROM ALLEY TO GARAGE SHALL BE 5FT WITHOUT A DRIVEWAY OR 18 FT WITH A DRIVEWAY WITH PARKING / SETBACKS THAT ARE MORE THAN 5' AND LESS THAN 18' WILL NOT BE ALLOWED IN ORDER TO PREVENT PARKED CARS FROM BLOCKING A PORTION OF THE ALLEY.

⁵ ADU (ACCESSORY DWELLING UNIT) SHALL BE ALLOWED WITHIN ALL SINGLE FAMILY RESIDENTIAL PRODUCTS.

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PUD 2021-0013

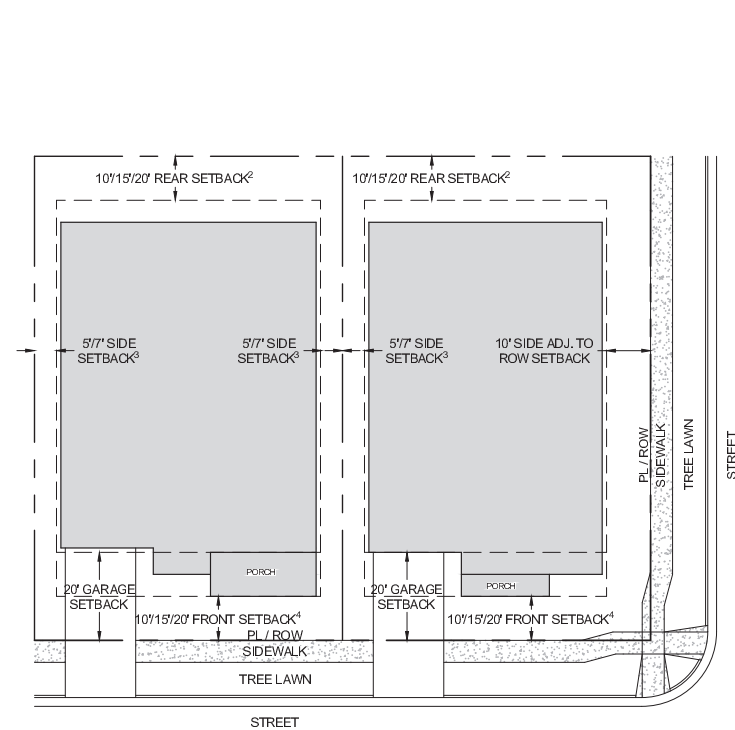
PUD DEVELOPMENT STANDARDS

2.0 LOT TYPICAL DIAGRAMS

GENERAL NOTES

- LOT TYPICAL DIAGRAMS ARE NOT TO SCALE.
- BUILDINGS / FLOORPLANS SHOWN IN THESE EXHIBITS ARE **CONCEPTUAL** ONLY AND DO NOT REPRESENT ANY FUTURE OR POTENTIAL BUILDINGS FOR THIS P.U.D.
- LAYOUTS SHOWN ARE NOT PROPOSED DESIGNS AND ONLY USED TO CLARIFY SITUATIONAL SETBACKS.
- REFER TO TABLE 1.3 SETBACKS STANDARDS CHART ON SHEET L6.1.

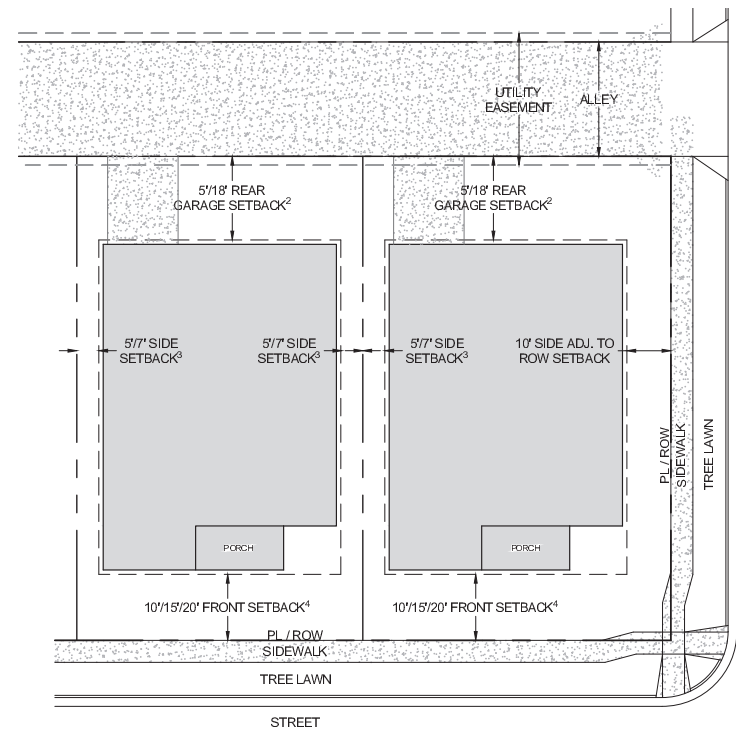
SINGLE FAMILY DETACHED - SMALL, MEDIUM, LARGE AND ESTATE - FRONT LOADED



SINGLE FAMILY DETACHED FRONT LOADED NOTES

- LOT LAYOUT DIAGRAMS ARE **CONCEPTUAL**. FINAL PRODUCT CONFIGURATION WILL BE DESIGNED AND SUBMITTED WITH THE FINAL PLAT, BUT MUST FOLLOW THE DEVELOPMENT STANDARDS PUT FORWARD IN THIS P.U.D.
- THE 10' REAR SETBACK APPLIES TO SINGLE FAMILY DETACHED - SMALL LOTS. THE 15' REAR SETBACK APPLIES TO SINGLE FAMILY DETACHED - MEDIUM. THE 20' REAR SETBACK APPLIES TO SINGLE FAMILY DETACHED - LARGE / ESTATE.
- THE 5' SIDE SETBACK APPLIES TO SINGLE FAMILY DETACHED - SMALL, MEDIUM AND LARGE LOTS. THE 7' SIDE SETBACK APPLIES TO SINGLE FAMILY DETACHED - ESTATE LOTS.
- THE 10' FRONT SETBACK APPLIES TO SINGLE FAMILY DETACHED - SMALL LOTS. THE 15' FRONT SETBACK APPLIES TO SINGLE FAMILY DETACHED - MEDIUM / LARGE LOTS. THE 20' FRONT SETBACK APPLIES TO SINGLE FAMILY DETACHED - ESTATE LOTS.

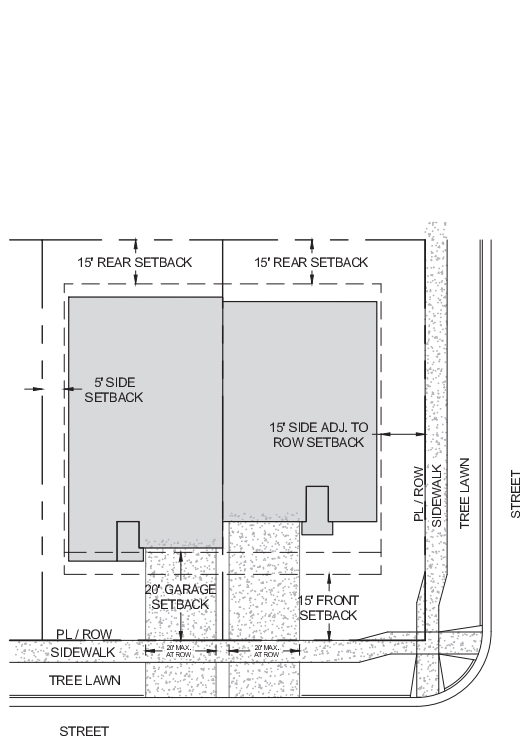
SINGLE FAMILY DETACHED - SMALL, MEDIUM, LARGE AND ESTATE - REAR LOADED



SINGLE FAMILY DETACHED - REAR LOADED NOTES

- LOT LAYOUT DIAGRAMS ARE **CONCEPTUAL**. FINAL PRODUCT CONFIGURATION WILL BE DESIGNED AND SUBMITTED WITH THE FINAL PLAT, BUT MUST FOLLOW THE DEVELOPMENT STANDARDS PUT FORWARD IN THIS P.U.D.
- REAR SETBACKS FROM ALLEY TO GARAGE SHALL BE 5' WITHOUT A DRIVEWAY OR 18' WITH A DRIVEWAY. SETBACKS THAT ARE MORE THAN 5' AND LESS THAN 18' WILL NOT BE ALLOWED IN ORDER TO PREVENT PARKED CARS FROM BLOCKING A PORTION OF THE ALLEY.
- THE 5' SIDE SETBACK APPLIES TO SINGLE FAMILY DETACHED - SMALL, MEDIUM AND LARGE LOTS. THE 7' SIDE SETBACK APPLIES TO SINGLE FAMILY DETACHED - ESTATE LOTS.
- THE 10' FRONT SETBACK APPLIES TO SINGLE FAMILY DETACHED - SMALL LOTS. THE 15' FRONT SETBACK APPLIES TO SINGLE FAMILY DETACHED - MEDIUM / LARGE LOTS. THE 20' FRONT SETBACK APPLIES TO SINGLE FAMILY DETACHED - ESTATE LOTS.

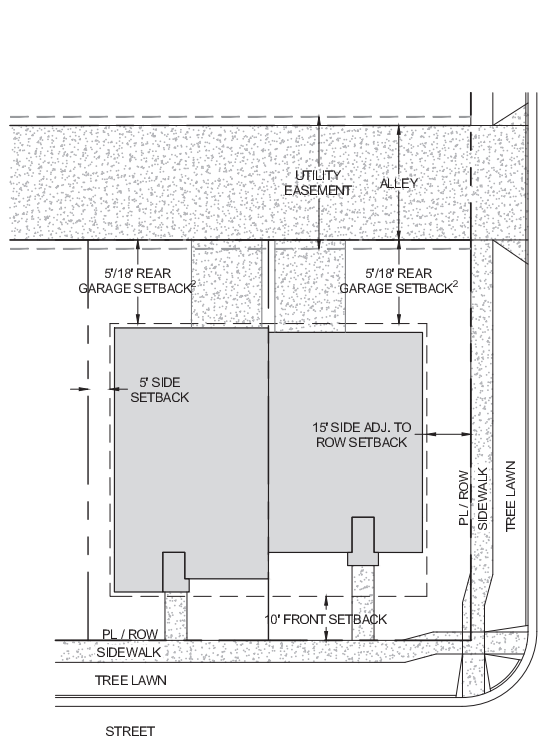
TWO FAMILY HOMES - FRONT LOADED



TWO FAMILY HOMES - FRONT LOADED NOTES

- LAYOUTS SHOWN ARE NOT PROPOSED DESIGNS AND ARE ONLY USED TO PROVIDE A **CONCEPTUAL** LAYOUT FOR A TWO FAMILY HOME. FINAL LAYOUTS SHOULD BE PROVIDED DURING THE PLAT PROCESS.
- ALTERNATIVE TWO FAMILY HOME LAYOUTS ARE ALLOWED AND SHALL BE APPROVED BY THE CITY OF GREELEY DURING THE PLAT PROCESS.

TWO FAMILY HOMES - REAR LOADED



TWO FAMILY HOMES - REAR LOADED NOTES

- LOT LAYOUT DIAGRAMS ARE **CONCEPTUAL**. FINAL PRODUCT CONFIGURATION WILL BE DESIGNED AND SUBMITTED WITH THE FINAL PLAT, BUT MUST FOLLOW THE DEVELOPMENT STANDARDS PUT FORWARD IN THIS P.U.D.
- REAR SETBACKS FROM ALLEY TO GARAGE SHALL BE 5' WITHOUT A DRIVEWAY OR 18' WITH A DRIVEWAY. SETBACKS THAT ARE MORE THAN 5' AND LESS THAN 18' WILL NOT BE ALLOWED IN ORDER TO PREVENT PARKED CARS FROM BLOCKING A PORTION OF THE ALLEY.
- ALLEY REQUIREMENTS CAN BE FOUND ON SHEET L6.4.

PLANNER / ARCHITECT /
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LAI DESIGN GROUP

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CIVIL ENGINEER



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CLIENT

STRATUS

STRATUS COMPANIES

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DELANTERO P.U.D.

GREELEY, CO

DEVELOPMENT STANDARDS

PROJECT #: 201048
DRAWN BY: ML, CQ, JO
CHECKED BY: RH

ISSUE RECORD

1st SUBMITTAL 04-27-2021
2nd SUBMITTAL 09-22-2021
3rd SUBMITTAL 12-23-2021
4th SUBMITTAL 03-18-2022
5th SUBMITTAL 04-11-2022

SHEET NUMBER

L6.2

A PARCEL OF LAND BEING PARTS OF SECTION 15 AND A PART OF THE SOUTH ONE-HALF OF SECTION 16,
TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD 2021-0013

2.0 LOT TYPICAL DIAGRAMS

1. LOT TYPICAL DIAGRAMS ARE NOT TO SCALE.
2. BUILDINGS/FLOORPLANS SHOWN IN THESE EXHIBITS ARE **CONCEPTUAL** ONLY AND DO NOT REPRESENT ANY FUTURE OR POTENTIAL BUILDINGS FOR THIS P.U.D.
3. LAYOUTS SHOWN ARE NOT PROPOSED DESIGNS AND ONLY USED TO CLARIFY SITUATIONAL SETBACKS.
4. REFER TO TABLE 1.3 SETBACKS STANDARDS CHART ON SHEET L6.1.

This diagram illustrates a four-unit residential development layout. The units are arranged in two rows, with two units per row. Key features and setbacks include:

- Setbacks:**
 - 5' SIDE SETBACK² (Left side of the left unit)
 - 5' REAR SETBACK (Top of the left unit)
 - 5' INTERNAL LOT LINE SETBACK (Between units in the top row)
 - 5' INTERNAL LOT LINE SETBACK (Between units in the bottom row)
 - 5' INTERNAL LOT LINE SETBACK (Right side of the right unit)
 - 10' FRONT SETBACK (Bottom of the left unit)
 - 10' FRONT SETBACK (Bottom of the right unit)
 - 10' SIDE ADJ. TO ROW SETBACK (Right side of the right unit)
- Easements and Access:**
 - ACCESS AND UTILITY EASEMENT (Central area between the two rows of units)
- Landscaping and Infrastructure:**
 - PL / ROW (Public Right of Way) SIDEWALK (Along the front of the units)
 - TREE LAWN (Area between the sidewalk and the street)
 - PL / ROW SIDEWALK (Along the right side of the units)
 - TREE LAWN (Area between the sidewalk and the street)
 - STREET (Bottom edge of the diagram)
 - ADDRESS MARKER (Bottom center of the diagram)

1. LAYOUT SHOWN IS NOT A PROPOSED DESIGN AND ONLY USED TO PROVIDE A **CONCEPTUAL** LAYOUT FOR A CLUSTER STYLE HOME. ALTERNATIVE CLUSTER HOME LAYOUTS ARE ALLOWED AND SHALL BE APPROVED BY THE CITY OF GREELEY DURING THE PLAT PROCESS.
2. SIDEYARD SETBACKS APPLY BETWEEN ONE CLUSTER OF HOMES AND THE NEXT. INTERNAL LOT LINE SETBACKS APPLY UNITS WITHIN THE SAME CLUSTER.
3. SHARED USE EASEMENTS SHALL BE ALLOWED. LOCATION TO BE DETERMINED AT TIME OF FINAL PLAT.

STREET

TREE LAWN

SIDEWALK

PL/ROW

15' FRONT SETBACK

20' GARAGE SETBACK

7' SIDE SETBACK

15' REAR SETBACK

15' SIDE ADJ. TO ROW SETBACK

PUL/ROW

SIDEWALK

TREE LAWN

STREET

15' REAR SETBACK

7' SIDE SETBACK

15' FRONT SETBACK

20' GARAGE SETBACK

PL/ROW

SIDEWALK

TREE LAWN

STREET

1. TOWNHOUSE UNITS / BUILDINGS SHOWN IN THESE EXHIBITS ARE **CONCEPTUAL** ONLY AND DO NOT REPRESENT ANY FUTURE OR POTENTIAL TOWNHOUSE UNITS / BUILDINGS FOR THIS P.U.D.. LAYOUTS SHOWN ARE NOT PROPOSED DESIGNS AND ONLY USED TO CLARIFY SITUATIONAL SETBACKS.
2. ALTERNATIVE TOWNHOUSE LAYOUTS ARE ALLOWED AND SHALL BE APPROVED BY THE CITY OF GREELEY DURING THE PLAT PROCESS.
3. SIDEYARD SETBACKS ONLY APPLY TO END UNITS OF TOWNHOUSE BUILDINGS.

The diagram illustrates the minimum setbacks for two types of residential buildings. The top section shows a two-story residential building with a driveway, and the bottom section shows a two-story residential building without a driveway. The setbacks are defined as follows:

- 10' FRONT SETBACK:** The minimum distance from the front of the building to the street.
- 7' SIDE SETBACK:** The minimum distance from the side of the building to the side of the lot.
- 18' REAR GARAGE SETBACK WITH DRIVEWAY:** The minimum distance from the rear of the building to the rear of the lot.
- 5' REAR GARAGE SETBACK WITHOUT DRIVEWAY:** The minimum distance from the rear of the building to the rear of the lot.
- UTILITY EASEMENT:** A designated area for utility lines.
- ALLEY:** A narrow path for access to the rear of the lot.
- 15' SIDE ADJ. TO ROW SETBACK:** The minimum distance from the side of the building to the side of the lot.
- PLU ROW SIDEWALK:** A designated area for a sidewalk.
- TREE LAWN:** A designated area for a lawn.
- STREET:** The main thoroughfare.

1. TOWNHOUSE UNITS / BUILDINGS SHOWN IN THESE EXHIBITS ARE **CONCEPTUAL ONLY** AND DO NOT REPRESENT ANY FUTURE OR POTENTIAL TOWNHOUSE UNITS / BUILDINGS FOR THIS P.U.D. LAYOUTS SHOWN ARE NOT PROPOSED DESIGNS AND ONLY USED TO CLARIFY SITUATIONAL SETBACKS.
2. ALTERNATIVE TOWNHOUSE LAYOUTS ARE ALLOWED AND SHALL BE APPROVED BY THE CITY OF GREELEY DURING THE PLAT PROCESS.
3. REAR SETBACKS FROM ALLEY TO GARAGE SHALL BE 5' WITHOUT A DRIVEWAY OR 18' WITH A DRIVEWAY. SETBACKS THAT ARE MORE THAN 5' AND LESS THAN 18' WILL NOT BE ALLOWED IN ORDER TO PREVENT PARKED CARS FROM BLOCKING A PORTION OF THE ALLEY.
4. ALLEY REQUIREMENTS CAN BE FOUND ON SHEET L6.4.
5. SIDEYARD SETBACKS ONLY APPLY TO END UNITS OF TOWNHOUSE BUILDINGS.



CLIENT



DEVELOPMENT STANDARDS

ISSUE RECORD

SHEET NUMBER

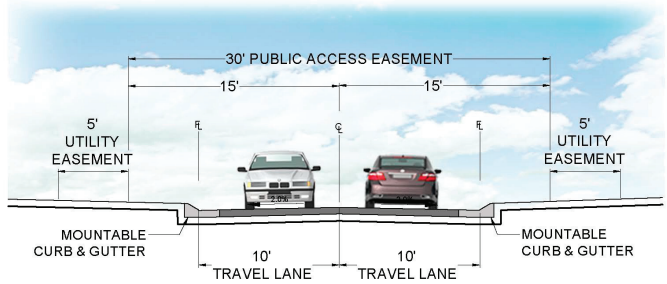
L6.3

DELANTERO P.U.D.

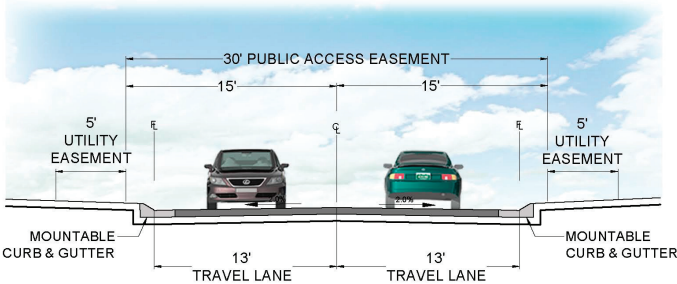
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CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD 2021-0013

GENERAL NOTES:

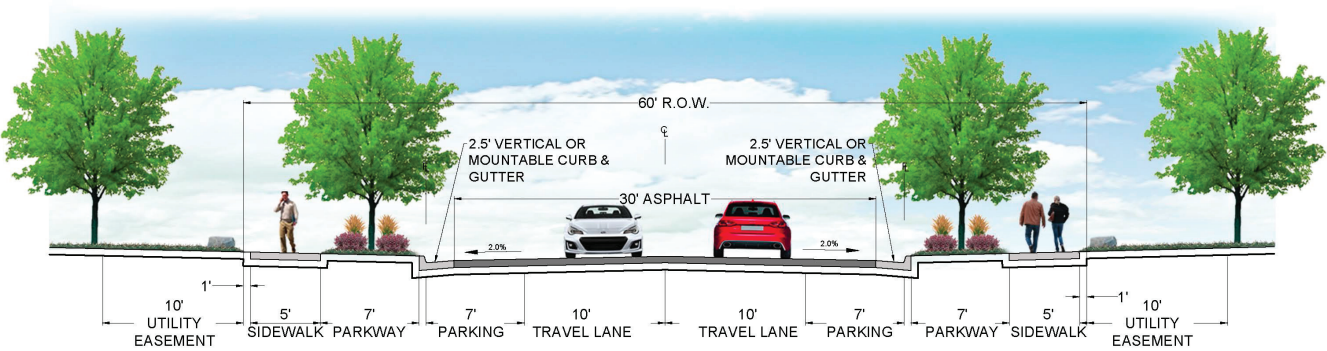
- 1. ALL SIDEWALKS WITHIN DELANTERO SHALL BE DETACHED.
- 2. PRIVATE DRIVES SHALL BE USED FOR ALLEYS AN / OR COMMERCIAL DRIVES THAT MAY BE SHARED ONLY.



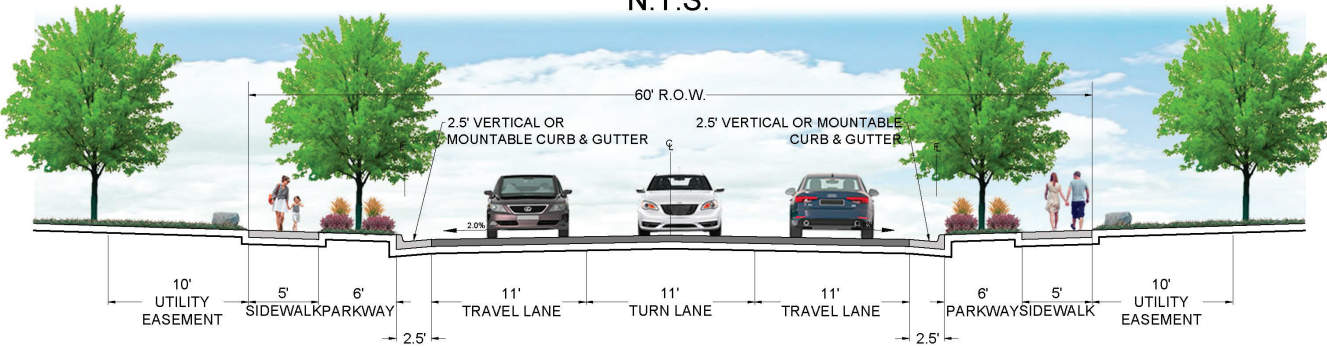
30' PRIVATE DRIVE W/ 20' DRIVE LANE (NO PARKING)
COMMERCIAL / RESIDENTIAL N.T.S.



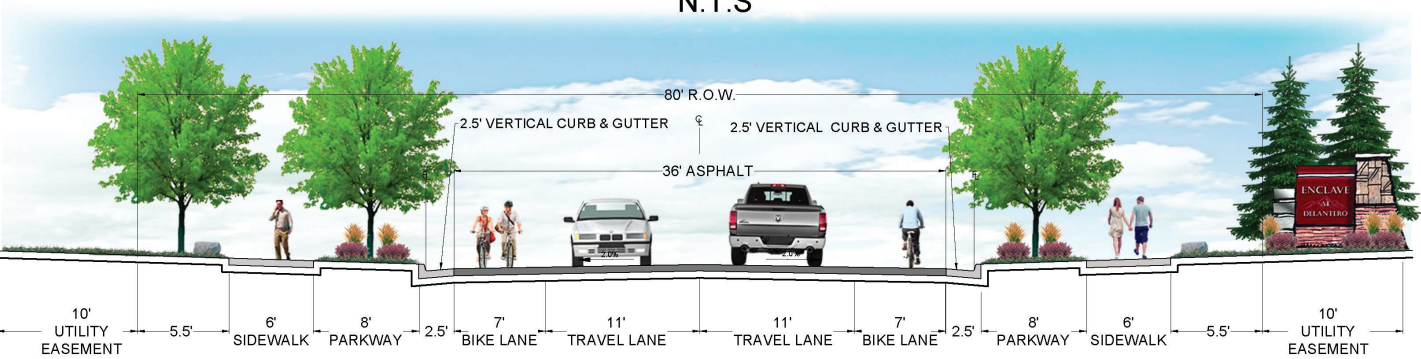
30' PRIVATE DRIVE W/ 26' DRIVE LANE (NO PARKING)
COMMERCIAL / RESIDENTIAL N.T.S.



60' LOCAL RESIDENTIAL
N.T.S.



60' LOCAL INDUSTRIAL 2-LANE WITH TURN LANE
N.T.S.



80' COLLECTOR - WITHOUT PARKING
N.T.S.

PLANNER / ARCHITECT /
LANDSCAPE ARCHITECT
LAI DESIGN GROUP

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CIVIL ENGINEER



CWC CONSULTING GROUP

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PHONE: (720) 214-5000



DELANTERO P.U.D.

GREELEY, CO

DEVELOPMENT STANDARDS

PROJECT #: 201048
DRAWN BY: ML, CQ
CHECKED BY: RH

ISSUE RECORD

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SHEET NUMBER

L6.4

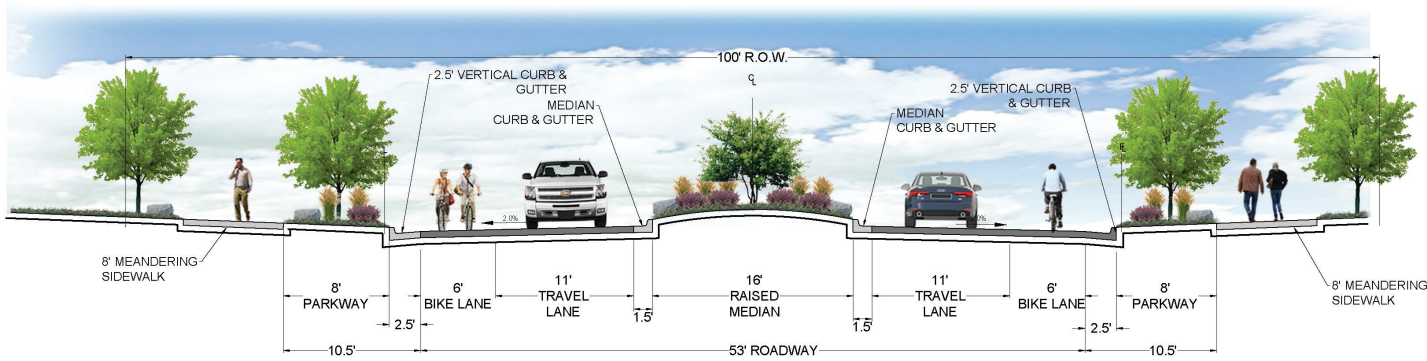
DELANTERO P.U.D.

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TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
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PUD 2021-0013

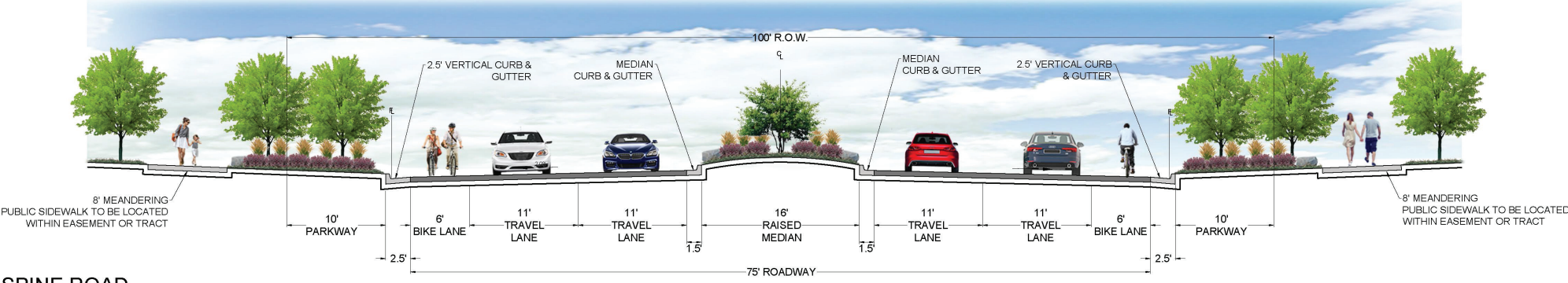
GENERAL NOTES:

- 1. ALL SIDEWALKS WITHIN DELANTERO SHALL BE DETACHED.
- 2. PRIVATE DRIVES SHALL BE USED FOR ALLEYS AND / OR COMMERCIAL DRIVES THAT MAY BE SHARED ONLY.

2 LANES WITH MEDIAN
EXPANDABLE TO 4 LANES
N.T.S.



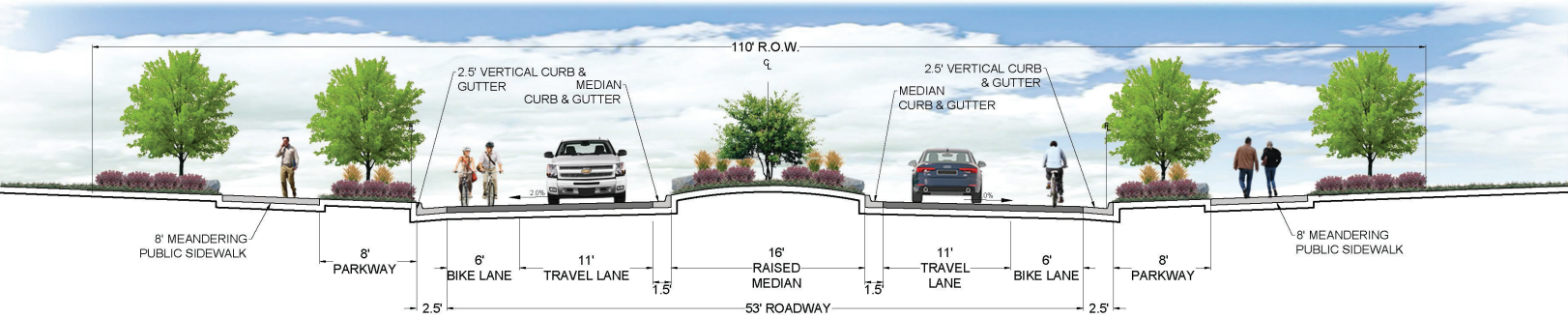
4 LANES WITH MEDIAN
N.T.S.



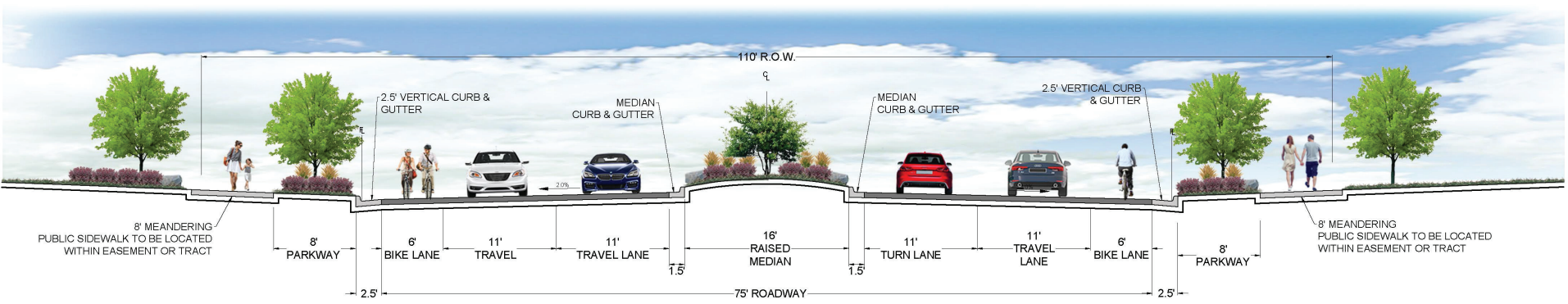
100' ROW COLLECTOR - SPINE ROAD

110' ROW ARTERIAL - SPINE ROAD

2 LANES WITH MEDIAN
EXPANDABLE TO 4 LANES
N.T.S.



4 LANES WITH MEDIAN
N.T.S.



PLANNER / ARCHITECT /
LANDSCAPE ARCHITECT
LAI DESIGN GROUP

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GREELEY, CO

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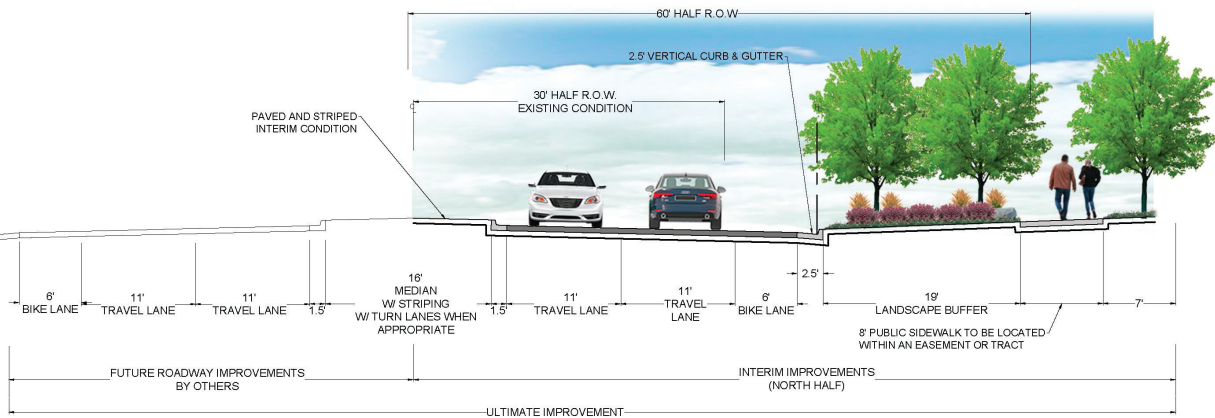
L6.5

DELANTERO P.U.D.

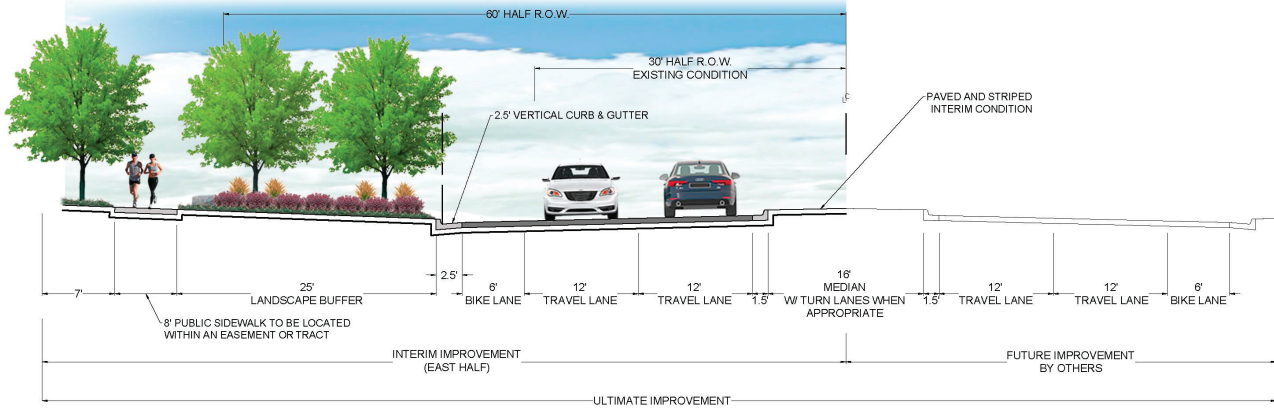
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PUD 2021-0013

GENERAL NOTES:

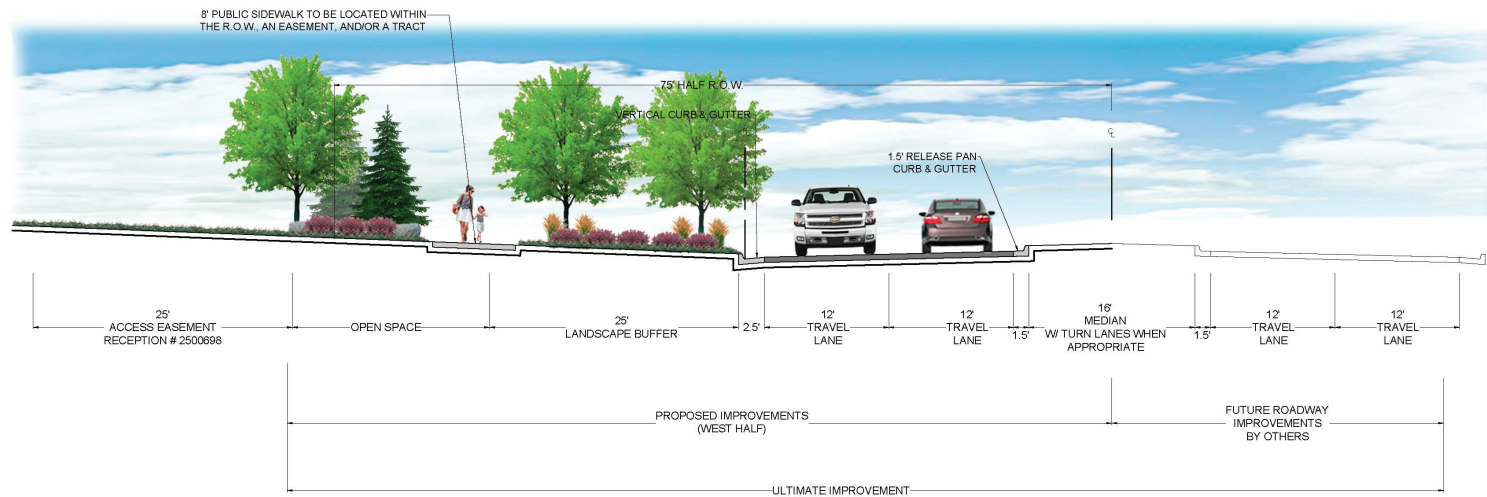
- 1. ALL SIDEWALKS WITHIN DELANTERO SHALL BE DETACHED.
- 2. PRIVATE DRIVES SHALL BE USED FOR ALLEYS AN / OR COMMERCIAL DRIVES THAT MAY BE SHARED ONLY.



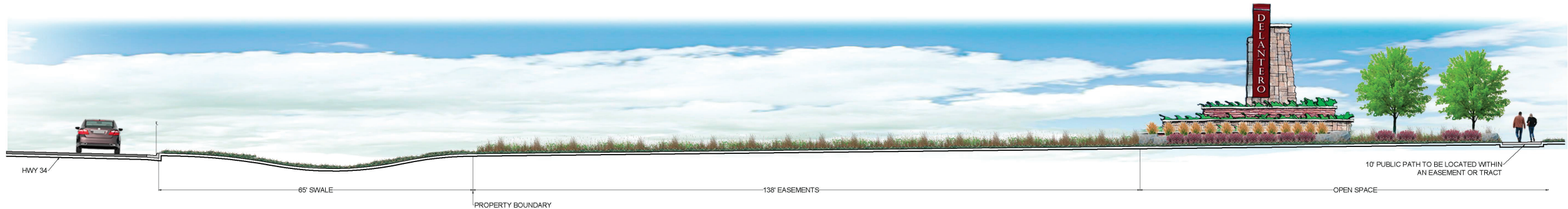
WELD COUNTY ROAD 56
120' ROW ARTERIAL - 4 LANES
LOOKING WEST N.T.S.



WELD COUNTY ROAD 17
120' ROW ARTERIAL - 4 LANES
LOOKING SOUTH N.T.S.



HIGHWAY 257
120' ROW ARTERIAL - 4 LANES
LOOKING NORTH N.T.S.



HIGHWAY 34 GATEWAY
LOOKING EAST N.T.S.

PLANNER / ARCHITECT /
LANDSCAPE ARCHITECT
LAI DESIGN GROUP

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DELANTERO P.U.D.
GREELEY, CO

DEVELOPMENT STANDARDS

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L6.6

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CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD 2021-0013

GENERAL NOTES:

- 1. SIMILAR ITEMS MAY BE SUBMITTED FOR APPROVAL AT PRELIMINARY PLAT / FINAL PLAT.
- 2. IMAGES AND GRAPHICS ARE ILLUSTRATIVE ONLY AND SOLELY FOR REFERENCE PURPOSES.

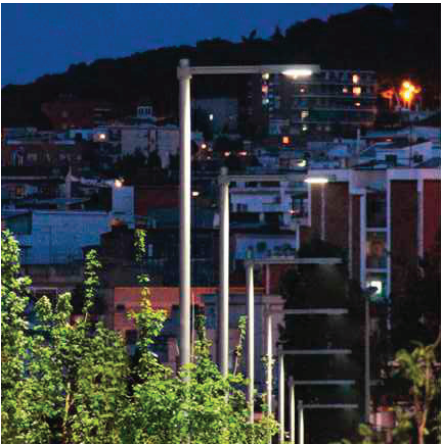
PUD DEVELOPMENT STANDARDS

3.0 FURNISHINGS

BENCH
MANUFACTURER: LANDSCAPE FORMS
MODEL: STAY



AREA LIGHTING
MANUFACTURER: LANDSCAPE FORMS
MODEL: CANDELA
HT: 8 M, 10 M



TRASH RECEPTACLE
MANUFACTURER: LANDSCAPE FORMS
MODEL: LAKESIDE LITTER
SIZE: 30 GAL, 35 GAL



PEDESTRIAN LIGHTING
MANUFACTURER: LANDSCAPE FORMS
MODEL: FGP
HT: 3.7 M, 4.3 M, 4.9 M



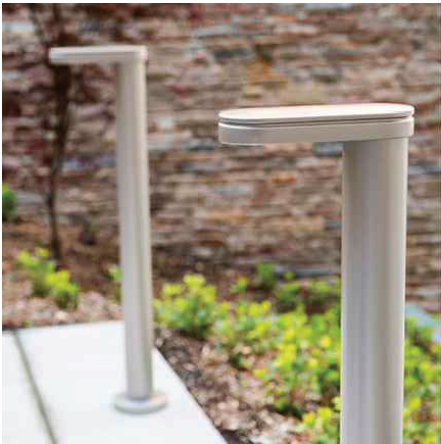
TRASH ENCLOSURE

NOTES

- 1. TRASH ENCLOSURES SHOWN IN THIS EXHIBIT ARE **GRAPHICAL** ONLY AND DO NOT REPRESENT ANY FUTURE OR POTENTIAL TRASH ENCLOSURE FOR THIS P.U.D. ENCLOSURES SHOWN ARE NOT PROPOSED DESIGNS AND ONLY USED TO CLARIFY DESIGN INTENT.
- 2. TRASH AND STORAGE AREAS SHALL BE SCREENED FROM ALL PUBLIC RIGHTS-OF-WAY AND NEIGHBORING PROPERTIES.
- 3. SCREENING SHALL CONSIST OF SOLID FENCING AS WELL AS LANDSCAPING OF EVERGREEN PLANT MATERIAL.



PATH LIGHTING
MANUFACTURER: LANDSCAPE FORMS
MODEL: TORRES
HT: 37", 40"



PLANNER / ARCHITECT /
LANDSCAPE ARCHITECT
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GREELEY, CO
DEVELOPMENT STANDARDS

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L6.7

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CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD 2021-0013

PUD DEVELOPMENT STANDARDS

4.0 TABLE OF COMMITMENTS

AREA/IMPROVEMENT	PLAN PREPARATION AND APPROVAL	CONSTRUCTION TIMING	CONSTRUCTION RESPONSIBILITY	MAINTENANCE RESPONSIBILITY	OWNERSHIP
DETENTION PONDS AND RELATED FACILITIES	AREAS SHALL BE DESIGNED PER CITY OF GREELEY STANDARDS. EXTENT AND LOCATION SHALL BE DETERMINED AT THE TIME OF FINAL PLANT FOR THE AFFECTED AREA	PONDS AND RELATED FACILITIES SHALL BE CONSTRUCTED PER APPROVED CONSTRUCTION PLANS PRIOR TO ISSUANCE OF THE INITIAL BUILDING PERMIT IN THE BASIN SERVED BY THE APPROVED LOCAL POND	DELANTERO METROPOLITAN DISTRICT, DISTRICT AUTHORITY OR PRIVATE DEVELOPER	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY WITH AND OVERLAY EASEMENT TO THE CITY
IRRIGATION PONDS	AREAS SHALL BE DESIGNED PER CITY OF GREELEY STANDARDS. EXTENT AND LOCATION SHALL BE DETERMINED AT THE TIME OF FINAL PLANT FOR THE AFFECTED AREA	IRRIGATION PONDS SHALL BE CONSTRUCTED PER APPROVED CONSTRUCTION PLANS PRIOR TO ISSUANCE OF THE INITIAL BUILDING PERMIT IN THE AREA SERVED BY THE APPROVED IRRIGATION SYSTEM	DELANTERO METROPOLITAN DISTRICT, DISTRICT AUTHORITY OR PRIVATE DEVELOPER	CITY OF GREELEY	CITY OF GREELEY
DRAINAGE CHANNELS	AREAS SHALL BE DESIGNED PER CITY OF GREELEY STANDARDS. EXTENT AND LOCATION SHALL BE DETERMINED AT THE TIME OF FINAL PLANT FOR THE AFFECTED AREA	DRAINAGE CHANNELS SHALL BE CONSTRUCTED PER APPROVED CONSTRUCTION PLANS PRIOR TO ISSUANCE OF THE INITIAL BUILDING PERMIT IN THE AREA SERVED BY THE APPROVED LOCAL CHANNEL / CORRIDOR	DELANTERO METROPOLITAN DISTRICT, DISTRICT AUTHORITY OR PRIVATE DEVELOPER	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY WITH AND OVERLAY EASEMENT TO THE CITY
INTERNAL COMMUNITY TRAILS	EXTENT AND ROUTING TO BE DETERMINED BY FINAL LANDSCAPE PLANS IN CONFORMANCE WITH THE PUD	COMMUNITY TRAILS WILL BE CONSTRUCTED CONCURRENTLY WITH DEVELOPMENT OF ADJOINING PARCELS	DELANTERO METROPOLITAN DISTRICT, DISTRICT AUTHORITY OR PRIVATE DEVELOPER	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY
REGIONAL TRAIL	AREAS TO BE DETERMINED BY FINAL LANDSCAPE PLANS PER CITY OF GREELEY DEVELOPMENT CODE AND THE PUD	THE PORTION OF THE REGIONAL TRAIL EAST OF WCR 19 WILL BE CONSTRUCTED CONCURRENTLY WITH DEVELOPMENT OF THE COLLECTOR ROADWAY ADJOINING THE SOUTHERN BOUNDARY OF PA 3; THE PORTION OF THE REGIONAL TRAIL WEST OF WCR 19 WILL BE CONSTRUCTED CONCURRENTLY WITH DEVELOPMENT OF THE COLLECTOR ROADWAY DIVIDING PA 6	DELANTERO METROPOLITAN DISTRICT, DISTRICT AUTHORITY OR PRIVATE DEVELOPER	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY	DELANTERO METROPOLITAN DISTRICT(S)
LANDSCAPING TRACTS	AREAS TO BE DETERMINED BY FINAL LANDSCAPE PLANS PER CITY OF GREELEY DEVELOPMENT CODE AND THE PUD	LANDSCAPING TRACTS WILL BE CONSTRUCTED PER RELATED DEVELOPMENT AGREEMENT AS REQUIRED TO SERVE THE AREA OF THE COMMUNITY THEY ARE LOCATED IN	DELANTERO METROPOLITAN DISTRICT, DISTRICT AUTHORITY OR PRIVATE DEVELOPER	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY OR HOA	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY OR HOA
PARK A	AREA TO BE DETERMINED BY FINAL LANDSCAPE PLANS PER THE PUD	PARKS WILL BE CONSTRUCTED PER RELATED DEVELOPMENT AGREEMENT AS REQUIRED TO SERVE THE AREA OF THE COMMUNITY THEY ARE LOCATED IN	DELANTERO METROPOLITAN DISTRICT, DISTRICT AUTHORITY OR PRIVATE DEVELOPER	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY OR HOA	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY OR HOA
PARK B	AREA TO BE DETERMINED BY FINAL LANDSCAPE PLANS PER THE PUD	PARKS WILL BE CONSTRUCTED PER RELATED DEVELOPMENT AGREEMENT AS REQUIRED TO SERVE THE AREA OF THE COMMUNITY THEY ARE LOCATED IN	DELANTERO METROPOLITAN DISTRICT, DISTRICT AUTHORITY OR PRIVATE DEVELOPER	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY OR HOA	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY OR HOA
PARK C	AREA TO BE DETERMINED BY FINAL LANDSCAPE PLANS PER THE PUD	PARKS WILL BE CONSTRUCTED PER RELATED DEVELOPMENT AGREEMENT AS REQUIRED TO SERVE THE AREA OF THE COMMUNITY THEY ARE LOCATED IN	DELANTERO METROPOLITAN DISTRICT, DISTRICT AUTHORITY OR PRIVATE DEVELOPER	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY OR HOA	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY OR HOA
PARK D	AREA TO BE DETERMINED BY FINAL LANDSCAPE PLANS PER THE PUD	PARKS WILL BE CONSTRUCTED PER RELATED DEVELOPMENT AGREEMENT AS REQUIRED TO SERVE THE AREA OF THE COMMUNITY THEY ARE LOCATED IN	DELANTERO METROPOLITAN DISTRICT, DISTRICT AUTHORITY OR PRIVATE DEVELOPER	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY OR HOA	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY OR HOA
PARK E	AREA TO BE DETERMINED BY FINAL LANDSCAPE PLANS PER THE PUD	PARKS WILL BE CONSTRUCTED PER RELATED DEVELOPMENT AGREEMENT AS REQUIRED TO SERVE THE AREA OF THE COMMUNITY THEY ARE LOCATED IN	DELANTERO METROPOLITAN DISTRICT, DISTRICT AUTHORITY OR PRIVATE DEVELOPER	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY OR HOA	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY OR HOA
PARK F	AREA TO BE DETERMINED BY FINAL LANDSCAPE PLANS PER THE PUD	PARKS WILL BE CONSTRUCTED PER RELATED DEVELOPMENT AGREEMENT AS REQUIRED TO SERVE THE AREA OF THE COMMUNITY THEY ARE LOCATED IN	DELANTERO METROPOLITAN DISTRICT, DISTRICT AUTHORITY OR PRIVATE DEVELOPER	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY OR HOA	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY OR HOA
PARK G	AREA TO BE DETERMINED BY FINAL LANDSCAPE PLANS PER THE PUD	PARKS WILL BE CONSTRUCTED PER RELATED DEVELOPMENT AGREEMENT AS REQUIRED TO SERVE THE AREA OF THE COMMUNITY THEY ARE LOCATED IN	DELANTERO METROPOLITAN DISTRICT, DISTRICT AUTHORITY OR PRIVATE DEVELOPER	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY OR HOA	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY OR HOA
POCKET PARKS	AREA TO BE DETERMINED BY FINAL LANDSCAPE PLANS PER CITY OF GREELEY DEVELOPMENT CODE AND THE PUD	INDIVIDUAL POCKET PARKS WILL BE CONSTRUCTED WHEN 50% OF BUILDING PERMITS ARE APPROVED FOR THE NEIGHBORHOOD THEY ARE LOCATED IN	DELANTERO METROPOLITAN DISTRICT, DISTRICT AUTHORITY OR PRIVATE DEVELOPER	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY OR HOA	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY OR HOA
STORM SEWER FACILITIES	STORM SEWER FACILITIES SHALL BE DESIGNED PER CITY OF GREELEY STANDARDS AND SHALL BE DETERMINED AT FINAL PLAT	STORM SEWERS SHALL BE CONSTRUCTED PER APPROVED CONSTRUCTION PLANS PRIOR TO ISSUANCE OF THE INITIAL BUILDING PERMIT IN THE BASIN SERVED BY THE APPROVED LOCAL SEWER	DELANTERO METROPOLITAN DISTRICT, DISTRICT AUTHORITY OR PRIVATE DEVELOPER	CITY OF GREELEY	CITY OF GREELEY
WET UTILITIES	UTILITIES SHALL BE DESIGNED PER CITY OF GREELEY STANDARDS. EXTENT AND LOCATION SHALL BE DETERMINED AT THE TIME OF FINAL PLAT FOR THE AFFECTED AREA	UTILITIES WILL BE CONSTRUCTED PER APPROVED FINAL CONSTRUCTION PLANS PRIOR TO ISSUANCE OF THE INITIAL BUILDING PERMIT FOR THE PARCEL CONTAINING THE UTILITY	DELANTERO METROPOLITAN DISTRICT, DISTRICT AUTHORITY OR PRIVATE DEVELOPER	CITY OF GREELEY	CITY OF GREELEY
UNDERDRAIN SYSTEMS	UNDERDRAIN SYSTEMS SHALL BE DESIGNED TO HANDLE SUBSURFACE WATER INTRUSTION AND SHALL BE CONSTRUCTED WITH THE RELATED DEVELOPMENT AREA AND HAVE A POSITIVE DISCHARGE INTO THE DRAINAGE SYSTEM	UNDERDRAINS WILL BE CONSTRUCTED PER APPROVED FINAL CONSTRUCTION PLANS PRIOR TO ISSUANCE OF THE INITIAL BUILDING PERMIT FOR THE PARCEL CONTAINING THE SYSTEM	DELANTERO METROPOLITAN DISTRICT, DISTRICT AUTHORITY OR PRIVATE DEVELOPER	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY OR HOA	DELANTERO METROPOLITAN DISTRICT OR AUTHORITY OR HOA
DRY UTILITIES	AREAS SHALL BE DESIGNED PER CITY OF GREELEY STANDARDS AND GUIDELINES FROM THE UTILITY PROVIDER. EXTENT AND LOCATION SHALL BE DETERMINED AT THE TIME OF FINAL PLAT FOR THE AFFECTED AREA	UTILITIES WILL BE CONSTRUCTED PER APPROVED FINAL CONSTRUCTION PLANS PRIOR TO ISSUANCE OF THE INITIAL BUILDING PERMIT FOR THE PARCEL CONTAINING THE UTILITY	DELANTERO METROPOLITAN DISTRICT, DISTRICT AUTHORITY OR PRIVATE DEVELOPER	UTILITY PROVIDER	UTILITY PROVIDER
ROADWAYS	AREAS SHALL BE DESIGNED PER CITY OF GREELEY STANDARDS. EXTENT AND LOCATION SHALL BE DETERMINED AT THE TIME OF FINAL PLAT FOR THE AFFECTED AREA	ROADWAYS WILL BE CONSTRUCTED PER APPROVED FINAL CONSTRUCTION PLANS PRIOR TO ISSUANCE OF THE INITIAL BUILDING PERMIT FOR THE PARCEL CONTAINING THE ROADWAY	DELANTERO METROPOLITAN DISTRICT(S)	CITY OF GREELEY	CITY OF GREELEY
SCHOOLS	SCHOOLS SHALL BE DESIGNED PER SCHOOL DISTRICT STANDARDS AND SHALL BE DETERMINED AT FINAL PLAT	SCHOOL SHALL BE CONSTRUCTED AT THE TIME DESIRED BY THE SCHOOL DISTRICT	DELANTERO METROPOLITAN DISTRICT, DISTRICT AUTHORITY OR PRIVATE DEVELOPER SHALL BRING INFRASTRUCTURE TO THE BOUNDARY OF THE SCHOOL SITE	SCHOOL DISTRICT	SCHOOL DISTRICT
ROUNDBOUTS OR TRAFFIC SIGNALIZATIONS AT INTERSECTIONS OF PROJECT ARTERIAL AND COLLECTOR ROADS AND ADJACENT HIGHWAYS	INTERSECTIONS SHALL BE DESIGNED PER CITY AND CDOT STANDARDS AND SHALL BE DETERMINED PER APPROVED TRANSPORTATION IMPACT ANALYSIS AND/OR AS IDENTIFIED BY CDOT	ROADWAYS WILL BE CONSTRUCTED PER APPROVED FINAL CONSTRUCTION PLANS PER TRIGGERS IN THE TRANSPORTATION IMPACT ANALYSIS AND AS DEFINED IN THE RELEVANT DEVELOPMENT AGREEMENT	DELANTERO METROPOLITAN DISTRICT OR DISTRICT AUTHORITY	CITY OF GREELEY	CITY OF GREELEY

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DELANTERO P.U.D.
GREELEY, CO

DEVELOPMENT STANDARDS

PROJECT #: 201048
DRAWN BY: ML, CQ, JO
CHECKED BY: RH

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L6.8

DELANTERO P.U.D.

A PARCEL OF LAND BEING PARTS OF SECTION 15 AND A PART OF THE SOUTH ONE-HALF OF SECTION 16,
TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD 2021-0013

ARCHITECTURAL EXAMPLES

THE ILLUSTRATIONS EMPHASIZE THE ARCHITECTURAL ELEMENTS THAT SHAPE THE BUILDINGS' APPEARANCE FROM THE STREET, NEIGHBORS, AND ADJACENT PROPERTIES. THE OVERALL HEIGHT, SCALE, AND BULK RELATIONSHIPS BETWEEN BUILDINGS ARE THE PRIMARY VISUAL ELEMENTS THAT ESTABLISH AND REINFORCE THE ARCHITECTURAL SETTING OR CONTEXT OF THE NEIGHBORHOOD. THESE VISUAL ELEMENTS DEAL WITH PROPORTIONAL RELATIONSHIPS AND PATTERNS WITHIN THE BUILDING FACADE AND STYLISTIC DECORATIVE DETAILING, MATERIALS, AND COLORS.

RESIDENTIAL ARCHITECTURAL DESIGN ELEMENT	BRIEF DESCRIPTION OF THE FEATURE		
MATERIALS PALETTE	ALL LOTS ADJACENT TO MAJOR RIGHT OF WAYS ARE ENCOURAGED TO HAVE 15% MASONRY ON THE HOME IN ADDITION TO OTHER SIDING MATERIALS ROUNDING OUT THE ARCHITECTURAL FACADE. TO ACHIEVE ATTAINABLE HOUSING GOALS AND OBJECTIVES OF COST CONTROL, ALL REMAINING HOMES WITHIN THE DEVELOPMENT WILL BE ALLOWED TO HAVE THE OPTION OF MASONRY ON THE FRONT FACADE ONLY, BUT MUST FOLLOW THE COLOR AND FEATURE GUIDELINES TO ACHIEVE THE RESPECTIVE ARCHITECTURAL STYLE PROPOSED. FACADE MATERIALS MAY INCLUDE LAP SIDING, BOARD & BATTEN, SHINGLE, STUCCO, SYNTHETIC STONE OR BRICK AS WELL AS REAL BRICK.		
COLOR PALETTE	EACH HOME SHOULD HAVE AT LEAST 3 COLORS, BUT UP TO 5 AS FOLLOWS:		
	• BASE (MASONRY OR BASE WAINSCOT COLOR)	• TRIM (FASCIA, GUTTERS, DOWNSPOUTS)	
	• BASE (MAIN COLOR)	• ACCENT (SHUTTERS & DOORS)	
	• SOFFIT (ROOF OVERHANG)		
	APPROVED COLORS		
	• EARTH TONES SUCH AS IN THE BEIGES, GRAYS & BROWNS		
	• HIGH CHROME OR FLUORESCENT COLORS ARE STRICTLY PROHIBITED		
	• OTHER ACCEPTABLE COLOR FAMILIES INCLUDE GREENS, YELLOWS, BLUE, RED, PALETTES WITH DRC APPROVAL		
	• ROOF COLOR SHALL COMPLEMENT THE COLOR PALETTE SELECTED		
ARCHITECTURAL FEATURES	IN ADDITION TO PROVIDING A DEFINED FRONT & REAR ENTRY TO EACH HOME, THE DESIGNER MAY PROVIDE UP TO 5 BUT NO LESS THAN 3 OF THE FOLLOWING ELEMENTS DEPENDING ON THE ARCHITECTURAL STYLE:		
	• FRONT PORCHES (6 FT DEPTH)	• ACCENT GABLES	• CONCRETE TILE ROOF
	• FIREPLACE CHIMNEY	• BAY OR FEATURE ACCENT WINDOW	• 3-SIDING TEXTURES
	• ROOF DORMER	• GARAGE DOOR DETAILING PATTERN	• WINDOW GRILLS
	• CUPOLAS	• SOFFIT OVERHANGS GREATER THAN 12-INCHES	• ADDITIONAL MASONRY
	• ARCHES AT DORWAYS OR WINDOWS	• TRUSS GABLE ENDS OR ACCENT SHINGLES IN GABLE ENDS	
	• TRANSOM LIGHTS ABOVE DOORS	• DETAILED COLUMNS FOR PORCHES OR ENTRYWAYS	
ARCHITECTURAL STYLE	MASTER PLANNED COMMUNITIES TYPICALLY HAVE A RANGE OF STYLES. THIS MAY INCLUDE THE FOLLOWING: POSTMODERN, CONTEMPORARY, CRAFTSMAN, FARM HOUSE, RUSTIC, BUNGALOW, COTTAGE, TRADITIONAL; AND ECLECTIC. THE LANDSCAPE, STREETScape, PARK AND OPEN SPACE IMPROVEMENTS ARE ANTICIPATED TO UNIFY THE COMMUNITY REGARDLESS OF ARCHITECTURAL STYLE DEVELOPED IN EACH NEIGHBORHOOD.		
BUILDING FORM	BUILDINGS SHALL BE INTEGRAL COMPONENTS OF THE DEVELOPMENT AND CONSTRUCTED OF HUMAN SCALED, DURABLE MATERIALS. NOT THINLY APPLIED TRIM OR SURFACE TREATMENTS. PROVIDE 4 SIDED ARCHITECTURE AND SHIELD BACK-OF-HOUSE FUNCTIONS FROM PUBLIC STREETS. FOCUS SHALL BE PLACED ON UTILIZING THE SCALING OF ELEMENTS LISTED TO CREATE FACADES, TREATMENTS, AND FEATURES ON ALL COMPONENTS OF THE PROJECT.		
BUILDING LIGHTING	ILLUMINATE ELEMENTS AND SURFACES AT LEVELS APPROPRIATE TO EACH USE AND MINIMIZE GLARE AND TRESPASS TO ABUTTING USES. ALL FIXTURES SHALL EMPLOY CUTOFF TECHNOLOGY OR BE SHIELDED OR CAPTURED TO MINIMIZE LIGHT TRESPASS DIRECTLY TO THE SKY.		
BUILDING SIGNAGE	OVERALL DEVELOPMENT: SIGNAGE SHALL BE PRESENTED AS BRANDING ELEMENTS ON COMPLIANT FACADES, NOT FACADES OR ROOFS AS BRANDING ELEMENTS. BUILDING SIGNAGE WILL BE APPROVED PER SEPARATE PERMIT.		

NOTE: THE DESIGN STANDARDS LISTED IN THIS MATRIX IMPLEMENT THE DESIGN THEMES OF THE PUD AND ARE INTENDED TO COMPLEMENT THE CITY OF GREELEY CODE, AND OTHER APPLICATIONS, MANUALS, AND DESIGN STANDARDS. IF A CONFLICT SHOULD EXIST BETWEEN ANY SPECIFIC PROVISIONS OF THIS MATRIX AND ANY CITY OF GREELEY STANDARDS, **THIS SHALL GOVERN**, UNLESS A WAIVER HAS BEEN SPECIFICALLY REQUESTED AND GRANTED. ALL THE PHOTOS AND ILLUSTRATIONS REFERENCED BY THIS MATRIX ARE REPRESENTATIVE OF THE LEVEL OF DESIGN QUALITY ANITICIPATED BY THIS PUD. FINAL DESIGNS TO BE SUBMITTED AT THE PRELIMINARY PLAT / FINAL PLAT.

1.0 SINGLE FAMILY DETACHED ESTATE



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DELANTERO P.U.D.

GREELEY, CO

ARCHITECTURAL EXAMPLES

PROJECT #: 201048
DRAWN BY: ML, CQ, JO
CHECKED BY: RH

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L7.0

DELANTERO P.U.D.

A PARCEL OF LAND BEING PARTS OF SECTION 15 AND A PART OF THE SOUTH ONE-HALF OF SECTION 16,
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PUD 2021-0013

ARCHITECTURAL EXAMPLES

2.0 SINGLE FAMILY DETACHED LARGE



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DELANTERO P.U.D.
GREELEY, CO
ARCHITECTURAL EXAMPLES

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SHEET NUMBER

L7.1

DELANTERO P.U.D.

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PUD 2021-0013

ARCHITECTURAL EXAMPLES

3.0 SINGLE FAMILY DETACHED MEDIUM



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DELANTERO P.U.D.
GREELEY, CO
ARCHITECTURAL EXAMPLES

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SHEET NUMBER

L7.2

DELANTERO P.U.D.

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ARCHITECTURAL EXAMPLES

4.0 SINGLE FAMILY DETACHED SMALL



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SHEET NUMBER

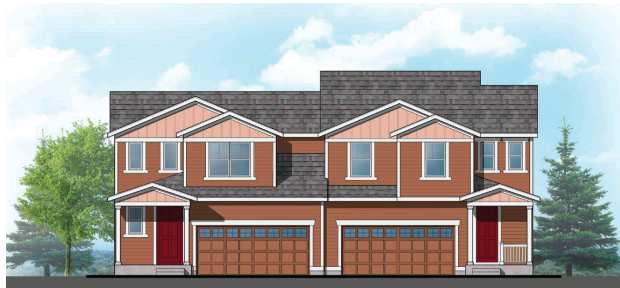
L7.3

DELANTERO P.U.D.

A PARCEL OF LAND BEING PARTS OF SECTION 15 AND A PART OF THE SOUTH ONE-HALF OF SECTION 16,
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ARCHITECTURAL EXAMPLES

5.0 TWO-FAMILY HOMES (PAIRED HOMES)



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L7.4

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PUD 2021-0013

ARCHITECTURAL EXAMPLES

6.0 MULTI-FAMILY (APARTMENTS, CONDOMINIUMS) & TOWNHOMES



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ARCHITECTURAL EXAMPLES

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PUD 2021-0013

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ALL COMMERCIAL BUILDINGS SHALL BE DESIGNED AND MAINTAINED USING THE FOLLOWING BUILDING ELEMENTS, WITH A MINIMUM OF ONE SELECTED FROM EACH OF THE GROUPINGS BELOW; ACCEPTABLE COLORS INCLUDE SOFT PASTELS IN A NEUTRAL HUE OR AS APPROVED BY THE DEVELOPER'S ARCHITECTURE REVIEW COMMITTEE.

- A. GROUP 1--EXTERIOR WALL ARTICULATION.
1. CHANGES IN BUILDING PLANE OR ARTICULATION (RECESSES, PROJECTIONS) SPACED PROPORTIONATELY AROUND THE BUILDING EXTERIOR WALLS, WITH RECESSES AND PROJECTIONS DEFINED AS FOLLOWS;
(A) WALL MASS SHALL BE PROPORTIONATE TO THE AREA THE WALL IS INTENDED TO CARRY OR OCCUPY AND SHALL BE DESIGNED TO AVOID BLANK WALL EXPANSES. OPENINGS SUCH AS WINDOWS AND DOORWAYS SHALL CREATE A SENSE OF CONTINUITY AND RHYTHM TO A BUILDING DESIGN. OPENINGS OR ARCHITECTURAL ELEMENTS SIMULATING FENESTRATION-LIKE FEATURES SHALL OCCUPY AT LEAST 20 PERCENT OF THE WALL SURFACE AREA OF THE FIRST FLOOR OF THE FRONT FACADE AND WALLS ADJACENT TO PUBLIC RIGHTS-OF-WAY, OR VISIBLE FROM ADJACENT PROPERTIES;
 2. BUILDINGS BAYS CREATED BY COLUMNS, RIBS, PILASTERS OR PIERS OR AN EQUIVALENT ELEMENT THAT DIVIDES A WALL INTO SMALLER PROPORTIONS OR SEGMENTS WITH ELEMENTS BEING AT LEAST ONE FOOT IN WIDTH AND SPACED AT INTERVALS OF NO MORE THAN 30 PERCENT OF THE EXTERIOR BUILDING WALLS;
 3. SOME OTHER ARCHITECTURAL FEATURE OR TREATMENT WHICH BREAKS UP THE EXTERIOR HORIZONTAL AND VERTICAL MASS OF THE BUILDING; AND
- B. GROUP 2--ROOF ARTICULATION.
1. CHANGES IN ROOF LINES, INCLUDING THE USE OF STEPPED CORNICE PARAPETS, A COMBINATION OF FLAT AND SLOPED ROOFS, OR PITCHED ROOFS WITH AT LEAST TWO ROOF LINE ELEVATION CHANGES;
 2. SOME OTHER ARCHITECTURAL FEATURE OR TREATMENT WHICH BREAKS UP THE EXTERIOR HORIZONTAL AND VERTICAL MASS OF THE BUILDING; AND
- C. GROUP 3--BUILDING OPENINGS, WALKWAYS AND ENTRANCES.
1. CANOPIES OR AWNINGS OVER AT LEAST 30 PERCENT OF THE OPENINGS OF THE BUILDING;
 2. COVERED WALKWAYS, PORTICOS AND/OR ARCADES COVERING AT LEAST 30 PERCENT OF THE HORIZONTAL LENGTH OF THE FRONT FACADE;
 3. TRIM BOARDS OR LINTELS, LEDGES OR SIMILAR ARCHITECTURAL ACCENT FEATURES BETWEEN TWO INCHES AND SIX INCHES IN WIDTH AROUND ALL WINDOWS AND DOORWAYS;
 4. RAISED CORNICE PARAPETS OVER ENTRIES;
 5. SOME OTHER ARCHITECTURAL FEATURE OR TREATMENT WHICH ADDS DEFINITION TO THE BUILDING OPENINGS, WALKWAYS OR ENTRANCES; AND
- D. GROUP 4--BUILDING MATERIALS.
1. AT LEAST TWO KINDS OF MATERIALS DISTINCTIVELY DIFFERENT IN TEXTURE OR MASONRY PATTERN, WITH EACH OF THE REQUIRED MATERIALS COVERING AT LEAST 25 PERCENT OF THE EXTERIOR WALLS OF THE BUILDING;
 2. BRICK OR STONE COVERING AT LEAST 50 PERCENT OF THE EXTERIOR WALLS OF THE BUILDING; AND
- E. GROUP 5--OTHER ARCHITECTURAL DEFINITION.
1. OVERHANGING EAVES EXTENDING AT LEAST 18 INCHES PAST THE SUPPORTING WALLS, OR WITH FLAT ROOFS, CORNICE PARAPETS OR CAPSTONE FINISH;
 2. ORNAMENTAL LIGHTING FIXTURES (EXCLUDING NEON) USED FOR ALL EXTERIOR BUILDING LIGHTING; OR
 3. AN ADDITIONAL FEATURE WHICH ADDS ARCHITECTURAL DEFINITION TO THE BUILDING.

ARCHITECTURAL CASES NOT COVERED BY THESE EXAMPLES SHALL BE GOVERNED BY CITY OF GREELEY DEVELOPMENT CODE.

7.0 COMMERCIAL / MIXED USE



NOTE: IMAGES AND GRAPHICS ARE ILLUSTRATIVE ONLY AND SOLELY FOR REFERENCE PURPOSES.

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DELANTERO P.U.D.
GREELEY, CO
ARCHITECTURAL EXAMPLES

PROJECT #: 201048
DRAWN BY: ML, CQ, JO
CHECKED BY: RH

ISSUE RECORD

1st SUBMITTAL	04-27-2021
2nd SUBMITTAL	09-22-2021
3rd SUBMITTAL	12-23-2021
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SHEET NUMBER

L7.6

DELANTERO P.U.D.

A PARCEL OF LAND BEING PARTS OF SECTION 15 AND A PART OF THE SOUTH ONE-HALF OF SECTION 16,
TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD 2021-0013

ARCHITECTURAL EXAMPLES

THE ILLUSTRATIONS EMPHASIZE THE ARCHITECTURAL ELEMENTS THAT SHAPE THE BUILDINGS' APPEARANCE FROM THE STREET, NEIGHBORS, AND ADJACENT PROPERTIES. THE OVERALL HEIGHT, SCALE, AND BULK RELATIONSHIPS BETWEEN BUILDINGS ARE THE PRIMARY VISUAL ELEMENTS THAT ESTABLISH AND REINFORCE THE ARCHITECTURAL SETTING OR CONTEXT OF THE INDUSTRIAL AREAS. THESE VISUAL ELEMENTS DEAL WITH PROPORTIONAL RELATIONSHIPS AND PATTERNS WITHIN THE BUILDING FACADE AND STYLISTIC DECORATIVE DETAILING, MATERIALS, AND COLORS.

ALL INDUSTRIAL BUILDINGS SHALL BE DESIGNED AND MAINTAINED USING THE FOLLOWING BUILDING ELEMENTS, WITH A MINIMUM OF ONE SELECTED FROM EACH OF THE GROUPINGS BELOW; ACCEPTABLE COLORS INCLUDE SOFT PASTELS OF A NEUTRAL HUE OR AS APPROVED BY THE DEVELOPER'S ARCHITECTURE REVIEW COMMITTEE.

A. GROUP 1--EXTERIOR WALL ARTICULATION.

1. CHANGES IN BUILDING PLANE OR ARTICULATION (RECESSES, PROJECTIONS) SPACED PROPORTIONATELY AROUND THE BUILDING EXTERIOR WALLS, WITH RECESSES AND PROJECTIONS DEFINED AS FOLLOWS;
(A) WALL MASS SHALL BE PROPORTIONATE TO THE AREA THE WALL IS INTENDED TO CARRY OR OCCUPY AND SHALL BE DESIGNED TO AVOID BLANK WALL EXPANSES. OPENINGS SUCH AS WINDOWS AND DOORWAYS SHALL CREATE A SENSE OF CONTINUITY AND RHYTHM TO A BUILDING DESIGN. OPENINGS OR ARCHITECTURAL ELEMENTS SIMULATING FENESTRATION-LIKE FEATURES SHALL OCCUPY AT LEAST 20 PERCENT OF THE WALL SURFACE AREA OF THE FIRST FLOOR OF THE FRONT FACADE AND WALLS ADJACENT TO PUBLIC RIGHTS-OF-WAY, OR VISIBLE FROM ADJACENT PROPERTIES;
2. BUILDINGS BAYS CREATED BY COLUMNS, RIBS, PILASTERS OR PIERS OR AN EQUIVALENT ELEMENT THAT DIVIDES A WALL INTO SMALLER PROPORTIONS OR SEGMENTS WITH ELEMENTS BEING AT LEAST ONE FOOT IN WIDTH AND SPACED AT INTERVALS OF NO MORE THAN 30 PERCENT OF THE EXTERIOR BUILDING WALLS;
3. SOME OTHER ARCHITECTURAL FEATURE OR TREATMENT WHICH BREAKS UP THE EXTERIOR HORIZONTAL AND VERTICAL MASS OF THE BUILDING; AND

B. GROUP 2--ROOF ARTICULATION.

1. CHANGES IN ROOF LINES, INCLUDING THE USE OF STEPPED CORNICE PARAPETS, A COMBINATION OF FLAT AND SLOPED ROOFS, OR PITCHED ROOFS WITH AT LEAST TWO ROOF LINE ELEVATION CHANGES;
2. SOME OTHER ARCHITECTURAL FEATURE OR TREATMENT WHICH BREAKS UP THE EXTERIOR HORIZONTAL AND VERTICAL MASS OF THE BUILDING; AND

C. GROUP 3--BUILDING OPENINGS, WALKWAYS AND ENTRANCES.

1. CANOPIES OR AWNINGS OVER AT LEAST 30 PERCENT OF THE OPENINGS OF THE BUILDING;
2. COVERED WALKWAYS, PORTICOS AND/OR ARCADES COVERING AT LEAST 30 PERCENT OF THE HORIZONTAL LENGTH OF THE FRONT FACADE;
3. TRIM BOARDS OR LINTELS, LEDGES OR SIMILAR ARCHITECTURAL ACCENT FEATURES BETWEEN TWO INCHES AND SIX INCHES IN WIDTH AROUND ALL WINDOWS AND DOORWAYS;
4. RAISED CORNICE PARAPETS OVER ENTRIES;
5. SOME OTHER ARCHITECTURAL FEATURE OR TREATMENT WHICH ADDS DEFINITION TO THE BUILDING OPENINGS, WALKWAYS OR ENTRANCES; AND

D. GROUP 4--BUILDING MATERIALS.

1. AT LEAST TWO KINDS OF MATERIALS DISTINCTIVELY DIFFERENT IN TEXTURE OR MASONRY PATTERN, WITH EACH OF THE REQUIRED MATERIALS COVERING AT LEAST 25 PERCENT OF THE EXTERIOR WALLS OF THE BUILDING;
2. A SINGLE MATERIAL AS LONG AS DESIGN TREATMENTS SUCH AS DIFFERENT ROOF LINES, NUMBER OF STORIES, WINDOW AND DOOR STYLE AND PLACEMENT, AND/OR GARAGE PLACEMENT ARE USED TO CREATE AN INTERESTING AND VARIED EXTERIOR;
3. BRICK OR STONE COVERING AT LEAST 50 PERCENT OF THE EXTERIOR WALLS OF THE BUILDING; AND

E. GROUP 5--OTHER ARCHITECTURAL DEFINITION.

1. OVERHANGING EAVES EXTENDING AT LEAST 18 INCHES PAST THE SUPPORTING WALLS, OR WITH FLAT ROOFS, CORNICE PARAPETS OR CAPSTONE FINISH;
2. ORNAMENTAL LIGHTING FIXTURES (EXCLUDING NEON) USED FOR ALL EXTERIOR BUILDING LIGHTING; OR
3. AN ADDITIONAL FEATURE WHICH ADDS ARCHITECTURAL DEFINITION TO THE BUILDING.

ARCHITECTURAL CASES NOT COVERED BY THESE EXAMPLES SHALL BE GOVERNED BY CITY OF GREELEY DEVELOPMENT CODE.

8.0 INDUSTRIAL / MIXED USE



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DELANTERO P.U.D.
GREELEY, CO
ARCHITECTURAL EXAMPLES

PROJECT #: 201048
DRAWN BY: ML, CQ, JO
CHECKED BY: RH

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SHEET NUMBER

L7.7

DELANTERO P.U.D.

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PUD 2021-0013

RESIDENTIAL ARCHITECTURAL EXAMPLES

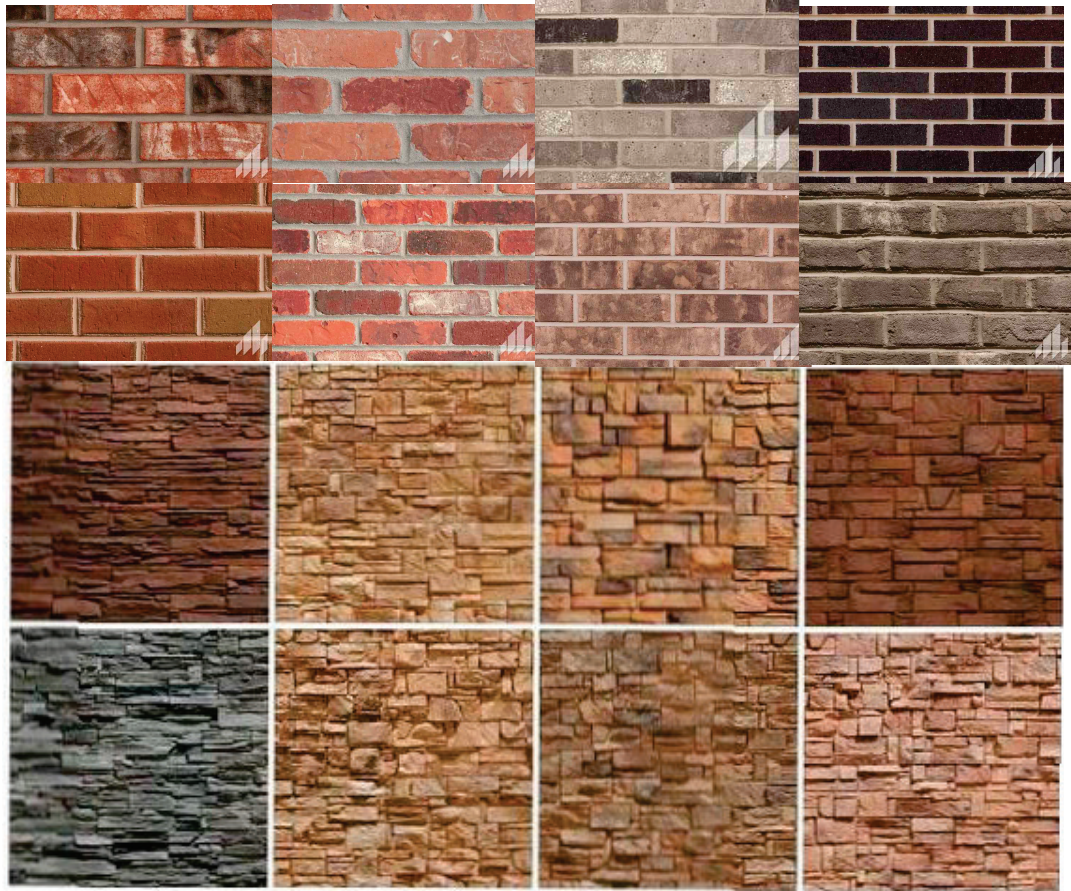
9.0 PALETTES AND FEATURES

THESE DESIGN EXAMPLES SERVE AS A NON-INCLUSIVE GUIDE FOR DESIGN OF ALL ELEMENTS THROUGHOUT THE DELANTERO DEVELOPMENT AND PROMOTE CONSISTENCY AND QUALITY IN MATERIALS AND FORM IN ALL ASPECTS OF THE COMMUNITY. THROUGH CONSISTENCY IN DESIGN, THE ATMOSPHERE OF AN ESTABLISHED COMMUNITY CAN BE REACHED. THE DESIGN STANDARDS CREATE THE FRAMEWORK FOR THE DELANTERO COMMUNITY, PROVIDING MINIMUM STANDARDS AS A SUPPLEMENT TO THE CITY OF GREELEY ZONING STANDARDS AND ALL OTHER RELEVANT CITY CODES.



SAMPLE (OVERALL) COLOR PALETTE (EARTH TONES)

COLORS SHOWN ABOVE ARE NOT INCLUSIVE OF ACCEPTABLE COLORS, WHICH MAY ALSO INCLUDE SOFT PASTELS OF A NEUTRAL HUE OR AS APPROVED BY THE DEVELOPER'S ARCHITECTURE REVIEW COMMITTEE.



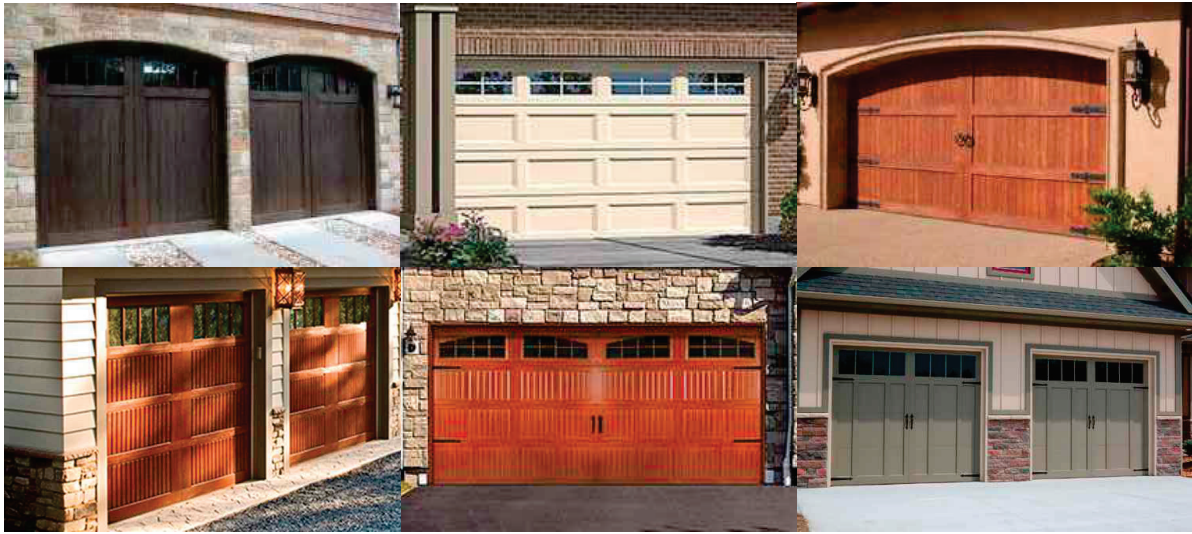
SAMPLE MASONRY AND STONE



SAMPLE SIDING STYLES



SAMPLE ARCHITECTURAL ASPHALT SHINGLES



SAMPLE GARAGE DOORS

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DELANTERO P.U.D.
GREELEY, CO
ARCHITECTURAL EXAMPLES

PROJECT #: 201048
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SHEET NUMBER

L7.8

DELANTERO P.U.D.

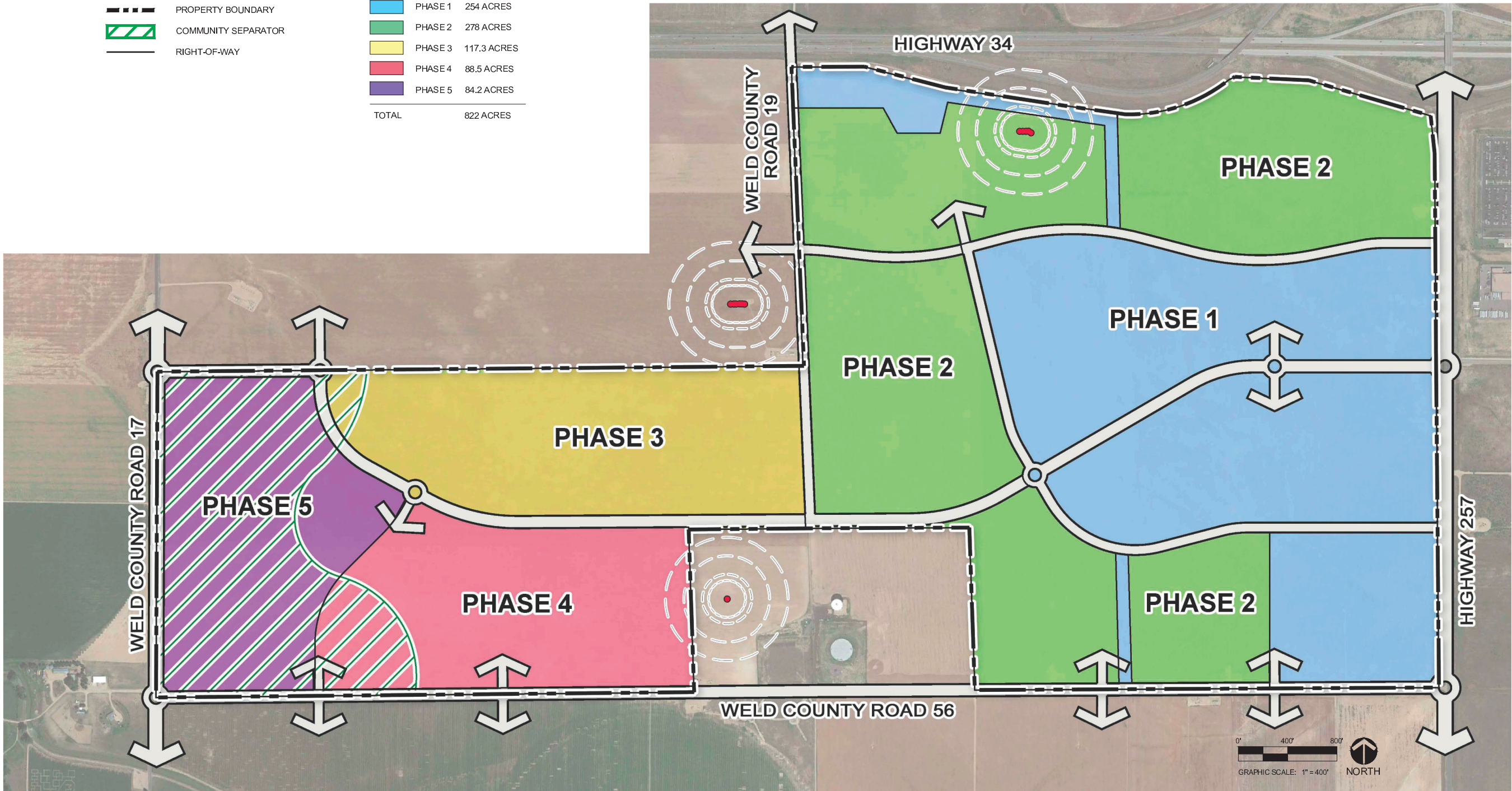
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CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD 2021-0013

LEGEND

- PROPERTY BOUNDARY
- COMMUNITY SEPARATOR
- RIGHT-OF-WAY

PHASING SUMMARY

PHASE 1	254 ACRES
PHASE 2	278 ACRES
PHASE 3	117.3 ACRES
PHASE 4	88.5 ACRES
PHASE 5	84.2 ACRES
TOTAL	822 ACRES



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DELANTERO P.U.D.
GREELEY, CO
MASTER PLAN

PROJECT #: 201048
DRAWN BY: ML, CQ, JO
CHECKED BY: RH

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SHEET NUMBER

L8.0

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PUD 2021-0013

LANDSCAPING REQUIREMENTS

1. PROPOSED LANDSCAPING FOR BUFFER/PERIMETER TREATMENT YARDS, STREET TREES, RESIDENTIAL STREETS, AND ROADWAYS SHALL COMPLY WITH THE DEVELOPMENT CODE THAT IS IN PLACE AT TIME OF DEVELOPMENT.
2. LANDSCAPE DEVELOPMENT THAT REFLECTS THE PREVAILING SEMIARID CONDITIONS REINFORCES THE REGIONAL CHARACTER, CLIMATE, AND HABITAT OF THE CITY OF GREELEY AND ITS LOCAL ENVIRONMENT.
3. LANDSCAPING SHALL INCORPORATE WATER CONSERVATION PRACTICES IN DESIGN, INSTALLATION, AND MANAGEMENT TO REDUCE WATER DEMAND, REDUCE WATER LOSS, LIMIT EROSION, LIMIT HIGH-IRRIGATION TURF AND PLANTINGS, AND UTILIZE NATIVE PLANTS AND PLANTS APPROPRIATE FOR THE LOCAL CLIMATIC AND SOIL CONDITIONS. PLANTS SHALL BE SELECTED FROM THE CITY OF GREELEY LANDSCAPE MANUAL; ALTERNATIVES MAY BE PROPOSED PROVIDED THEY FOLLOW THE CITY OF GREELEY CODE FOR APPROVAL. NON-IRRIGATED LANDSCAPE TREATMENTS ARE ENCOURAGED.

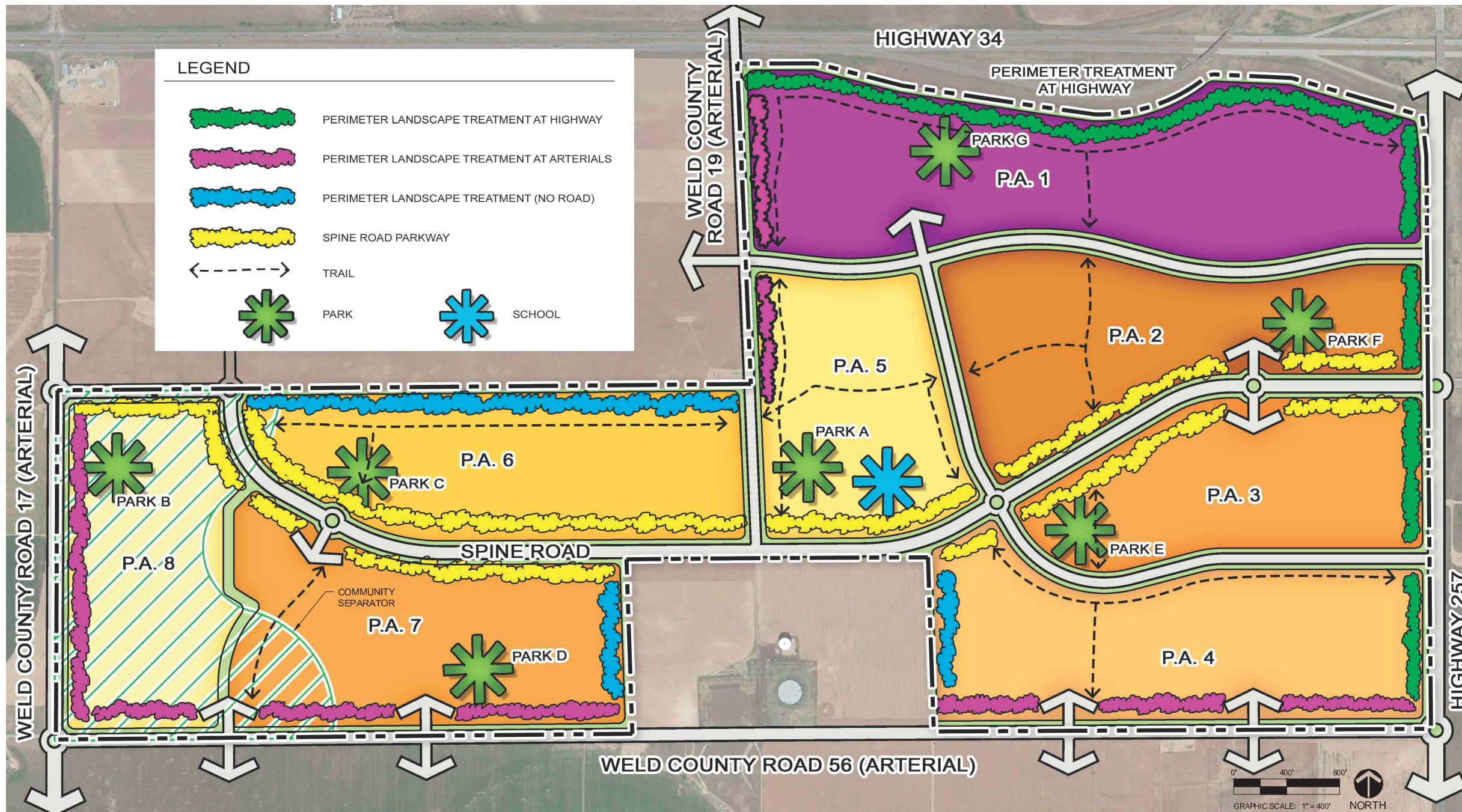
TREATMENT AREA	STREET CLASSIFICATION	LANDSCAPE TREATMENT	MINIMUM WIDTH
RESIDENTIAL	COLLECTOR	4 TREES & 14 SHRUBS / 100 LF	15 FEET
RESIDENTIAL	ARTERIAL	4 TREES & 16 SHRUBS / 100 LF	25 FEET
RESIDENTIAL	HIGHWAY / EXPRESSWAY / FREEWAY	4 TREES & 24 SHRUBS / 100 LF	35 FEET
RESIDENTIAL	NO PERIMETER ROADS	4 TREES & 8 SHRUBS / 100 LF	20 FEET

4. IRRIGATION PRACTICES SHALL UTILIZE HIGH-EFFICIENCY AUTOMATIC IRRIGATION SYSTEMS THAT INCORPORATE WATER CONSERVATION MEASURES. ALTERNATIVE SOURCES OF IRRIGATION FOR ALL LANDSCAPE AREAS IS ENCOURAGED. NON-POTABLE IRRIGATION WILL SERVE OPEN SPACE AND PARKS WITHIN ALL PLANNING AREAS OF THE SITE.
5. STORMWATER TREATMENTS FOR AREAS THAT ARE PART OF THE STORMWATER SYSTEM SHALL ADHERE TO THE CITY OF GREELEY STORM DRAINAGE DESIGN CRITERIA AND CONSTRUCTION SPECIFICATIONS AND THE URBAN DRAINAGE CRITERIA MANUAL PUBLISHED BY THE URBAN DRAINAGE AND FLOOD CONTROL DISTRICT.
6. PERIMETER TREATMENT AREAS SHALL CONTAIN THE FOLLOWING PLANTINGS OR AN ACCEPTABLE MIX OF TREES AND SHRUBS THAT PROVIDE COMPARABLE SCREENING. PLANT QUANTITIES INDICATED SHALL BE INCLUDED FOR EVERY 100 LINEAR FEET.

TREATMENT AREA	STREET CLASSIFICATION	LANDSCAPE TREATMENT	MINIMUM WIDTH
COMMERCIAL / INDUSTRIAL	COLLECTOR / ARTERIAL	3 TREES & 5 SHRUBS / 100 LF	15 FEET
COMMERCIAL INDUSTRIAL	HIGHWAY / EXPRESSWAY / FREEWAY	4 TREES & 10 SHRUBS / 100 LF	20 FEET
COMMERCIAL INDUSTRIAL	NO PERIMETER ROADS	4 TREES & 5 SHRUBS / 100 LF	20 FEET
SPINE ROAD PARKWAY	ARTERIAL / COLLECTOR	8 TREES IN A DOUBLE ROW EACH SIDE OF THE STREET / 100 LF	N/A

PARK DEDICATIONS

PARK NAME	PARK TYPE	QTY	MIN. AREA (ACRES)	SUBTOTAL (ACRES)
PARK A	COMMUNITY PARK	1	25.0	25.0
PARK B	NEIGHBORHOOD PARK	1	8.0	8.0
PARK C	NEIGHBORHOOD PARK	1	8.0	8.0
PARK D	NEIGHBORHOOD PARK	1	8.0	8.0
PARK E	NEIGHBORHOOD PARK	1	8.0	8.0
PARK F	NEIGHBORHOOD PARK	1	8.0	8.0
PARK G	DOG PARK	1	8.0	8.0
TOTAL				73.0



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DELANTERO P.U.D.

GREELEY, CO

PRELIMINARY LANDSCAPE PLAN

PROJECT #: 201048
DRAWN BY: ML, CQ, JO
CHECKED BY: RH

ISSUE RECORD

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SHEET NUMBER

L9.0

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PUD 2021-0013

PEDESTRIAN CIRCULATION SYSTEM

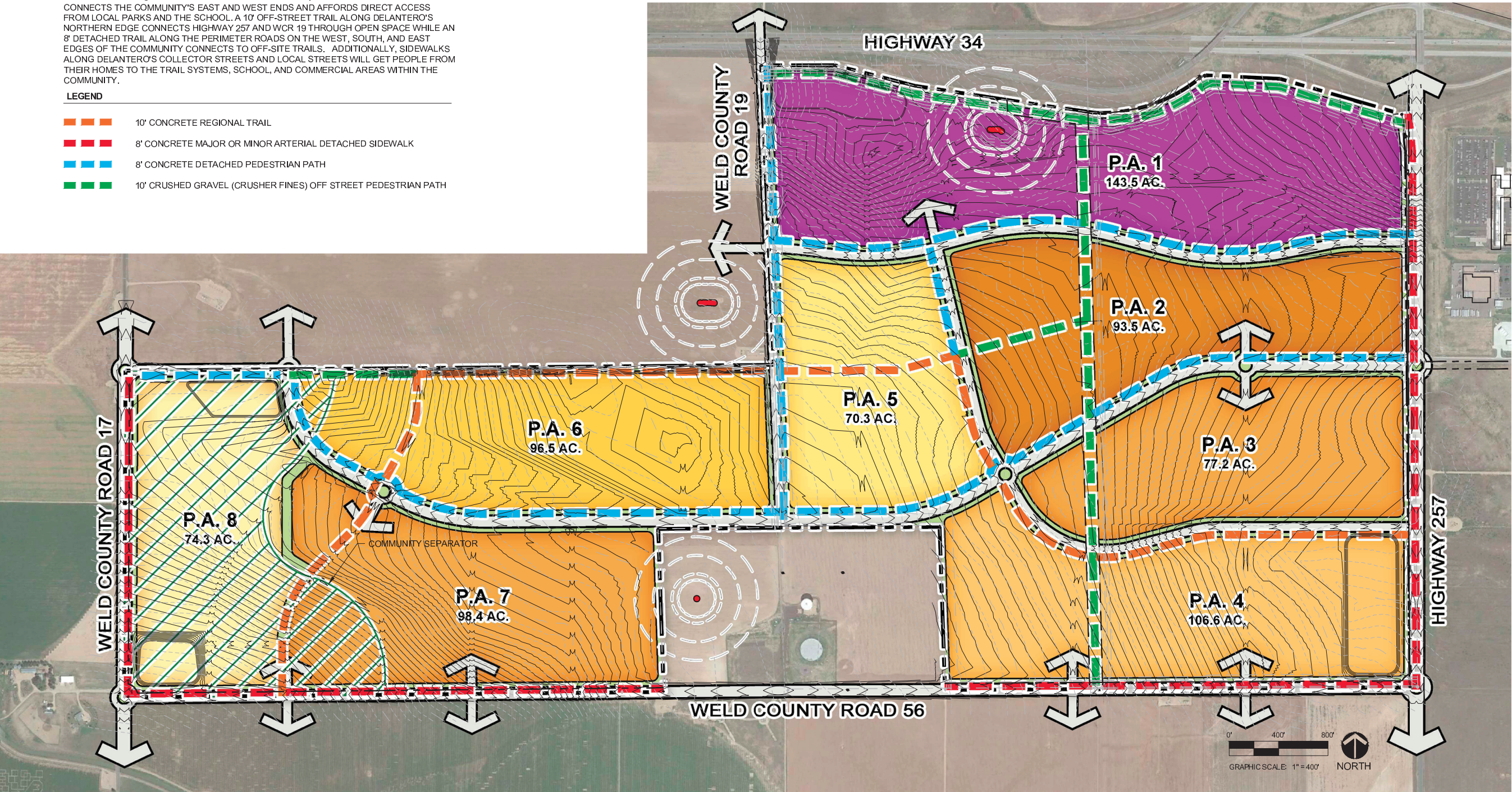
THE PEDESTRIAN CIRCULATION NETWORK AT DELANTERO IS DESIGNED TO AFFORD UNIVERSAL ACCESS AND BROAD CONNECTIVITY THROUGHOUT THE COMMUNITY AND TO PROVIDE CONNECTIONS TO NEARBY REGIONAL TRAIL SYSTEMS WHILE CONFORMING TO THE CITY OF GREELEY DEVELOPMENT CODE FOR PATH AND SIDEWALK WIDTHS AND LOCATIONS.

THE CIRCULATION SYSTEM IS MADE UP OF AN INTERCONNECTED NETWORK OF TRAILS, STREETS AND WALKS THAT OFFER MULTIPLE ROUTES FOR CARS, BIKES, AND PEDESTRIANS TO MOVE THROUGHOUT THE COMMUNITY.

SIDEWALKS AND TRAILS ARE THE MOST BASIC ELEMENT OF PEDESTRIAN FRIENDLY ENVIRONMENTS. EACH OF THE VARIOUS TRAILS WITHIN AND SURROUNDING THE COMMUNITY OFFERS A GENEROUSLY PAVED AND LANDSCAPED TRAIL CORRIDOR TO PROVIDE EASY ROUTES ACROSS THE ENTIRE PROPERTY. A 10' REGIONAL TRAIL CONNECTS THE COMMUNITY'S EAST AND WEST ENDS AND AFFORDS DIRECT ACCESS FROM LOCAL PARKS AND THE SCHOOL. A 10' OFF-STREET TRAIL ALONG DELANTERO'S NORTHERN EDGE CONNECTS HIGHWAY 257 AND WCR 19 THROUGH OPEN SPACE WHILE AN 8' DETACHED TRAIL ALONG THE PERIMETER ROADS ON THE WEST, SOUTH, AND EAST EDGES OF THE COMMUNITY CONNECTS TO OFF-SITE TRAILS. ADDITIONALLY, SIDEWALKS ALONG DELANTERO'S COLLECTOR STREETS AND LOCAL STREETS WILL GET PEOPLE FROM THEIR HOMES TO THE TRAIL SYSTEMS, SCHOOL, AND COMMERCIAL AREAS WITHIN THE COMMUNITY.

LEGEND

- 10' CONCRETE REGIONAL TRAIL
- 8' CONCRETE MAJOR OR MINOR ARTERIAL DETACHED SIDEWALK
- 8' CONCRETE DETACHED PEDESTRIAN PATH
- 10' CRUSHED GRAVEL (CRUSHER FINES) OFF STREET PEDESTRIAN PATH



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DELANTERO P.U.D. GREELEY, CO PEDESTRIAN CIRCULATION PLAN

PROJECT #: 201048
DRAWN BY: ML, CQ, JO
CHECKED BY: RH

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SHEET NUMBER

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PUD 2021-0013

VEHICULAR CIRCULATION SYSTEM

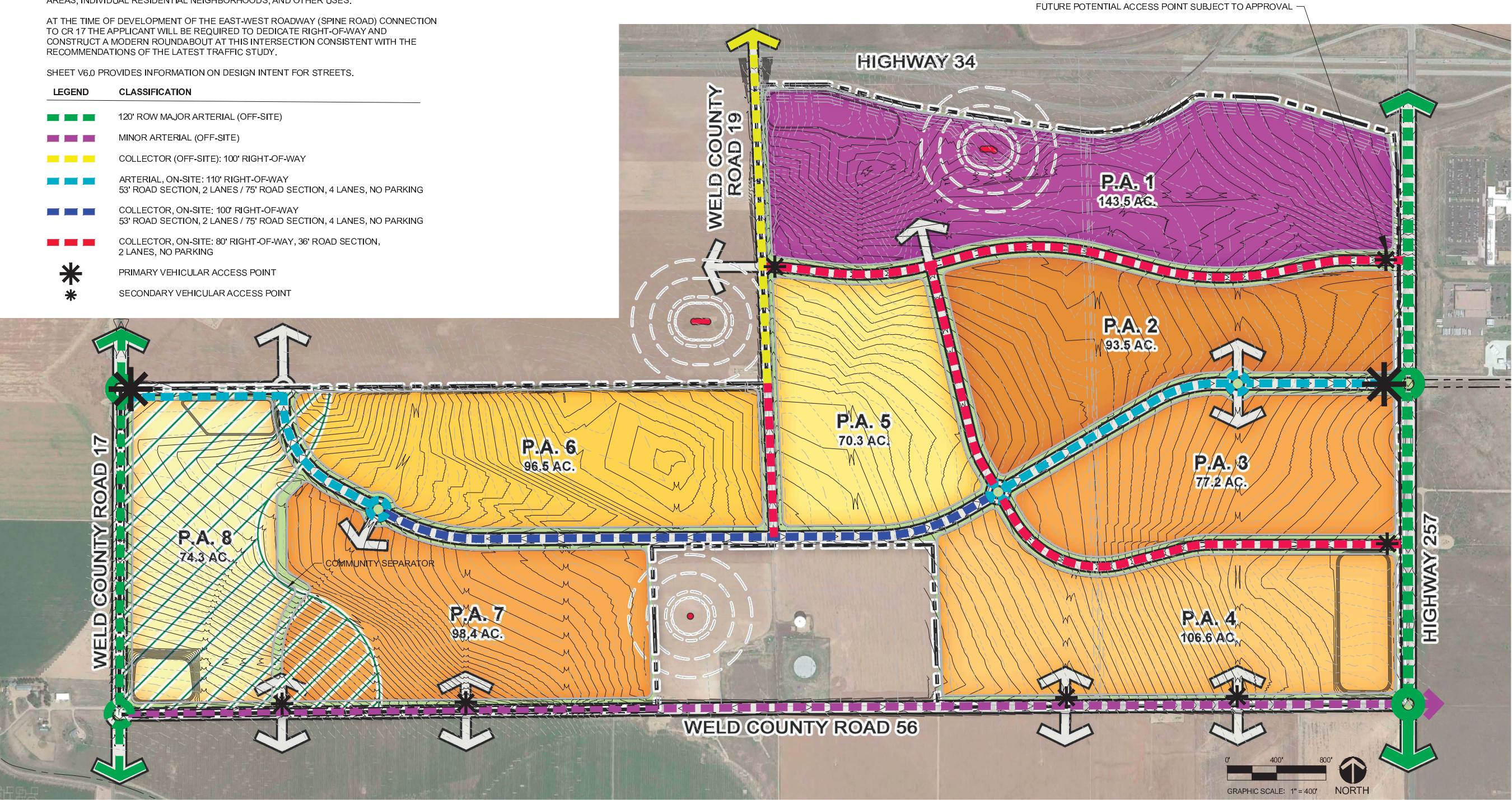
THE STREET AND VEHICULAR CIRCULATION SYSTEM AT DELANTERO WORKS WITH THE NATURAL TOPOGRAPHY AND IRREGULAR SHAPE OF THE SITE. ACCESS TO THE SITE WILL INITIALLY BE AVAILABLE FROM HIGHWAY 257 ON THE EASTERN BOUNDARY OF THE PROJECT. FUTURE PHASES OF THE COMMUNITY WILL PROVIDE ACCESS TO COUNTY ROAD 17 TO THE WEST, COUNTY ROAD 19 TO THE NORTH AND COUNTY ROAD 56 TO THE SOUTH.

WITHIN THE COMMUNITY THERE WILL BE A CLEAR HIERARCHY FOR CIRCULATION. A MAJOR COLLECTOR SPINE ROAD PROVIDES EASY ACCESS FROM HIGHWAY 257 ALL THE WAY THROUGH THE SITE TO COUNTY ROAD 17. ROUNDABOUTS WILL BE CREATED ALONG THE SPINE ROAD AT KEY POINTS TO KEEP TRAFFIC FLOWING SMOOTHLY. ADDITIONAL MINOR COLLECTOR ROADS WILL BRANCH OFF TO PROVIDE ACCESS TO COMMERCIAL AREAS, INDIVIDUAL RESIDENTIAL NEIGHBORHOODS, AND OTHER USES.

AT THE TIME OF DEVELOPMENT OF THE EAST-WEST ROADWAY (SPINE ROAD) CONNECTION TO CR 17 THE APPLICANT WILL BE REQUIRED TO DEDICATE RIGHT-OF-WAY AND CONSTRUCT A MODERN ROUNDABOUT AT THIS INTERSECTION CONSISTENT WITH THE RECOMMENDATIONS OF THE LATEST TRAFFIC STUDY.

SHEET V6.0 PROVIDES INFORMATION ON DESIGN INTENT FOR STREETS.

LEGEND	CLASSIFICATION
	120' ROW MAJOR ARTERIAL (OFF-SITE)
	MINOR ARTERIAL (OFF-SITE)
	COLLECTOR (OFF-SITE): 100' RIGHT-OF-WAY
	ARTERIAL, ON-SITE: 110' RIGHT-OF-WAY 53' ROAD SECTION, 2 LANES / 75' ROAD SECTION, 4 LANES, NO PARKING
	COLLECTOR, ON-SITE: 100' RIGHT-OF-WAY 53' ROAD SECTION, 2 LANES / 75' ROAD SECTION, 4 LANES, NO PARKING
	COLLECTOR, ON-SITE: 80' RIGHT-OF-WAY, 36' ROAD SECTION, 2 LANES, NO PARKING
	PRIMARY VEHICULAR ACCESS POINT
	SECONDARY VEHICULAR ACCESS POINT



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VEHICULAR CIRCULATION PLAN

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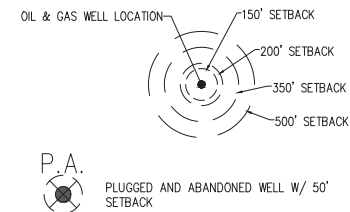
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PUD2021-0013



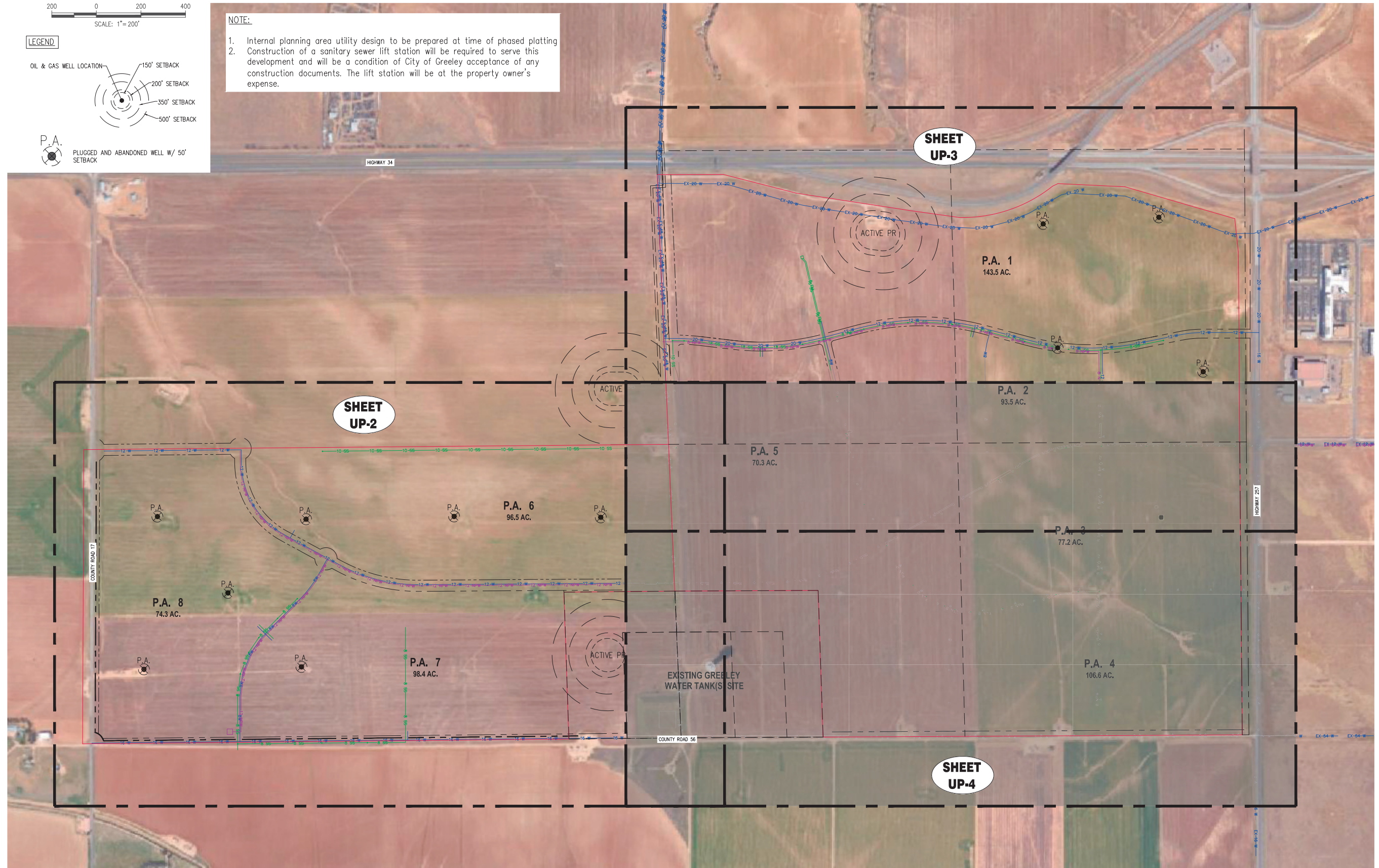
200 0 200 400
SCALE: 1"=200'

LEGEND



NOTE:

1. Internal planning area utility design to be prepared at time of phased platting
2. Construction of a sanitary sewer lift station will be required to serve this development and will be a condition of City of Greeley acceptance of any construction documents. The lift station will be at the property owner's expense.



PLANNER
LAI DESIGN GROUP
88 INVERNESS CIR E, STE J-101
ENGLEWOOD, CO 80112
PHONE: 303.734.1777



CIVIL ENGINEER
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9380 TEDDY LANE, SUITE 203
LOVE TREE, CO 80124
PHONE 303.395.2700 • FAX 303.395.2701

CLIENT
STRATUS COMPANIES
252 CLAYTON STREET
DENVER, CO 80206
PHONE: (303) 398-0401



DELANTERO P.U.D.
GREELEY, CO
MASTER UTILITY PLAN INDEX MAP

PROJECT #: 201048
DRAWN BY: ML
CHECKED BY: RH

ISSUE RECORD	
1st SUBMITTAL	04-27-2021
2nd SUBMITTAL	08-22-2021
3rd SUBMITTAL	12-23-2021
4th SUBMITTAL	03-18-2022
5th SUBMITTAL	04-11-2022

SHEET NUMBER
UP-1

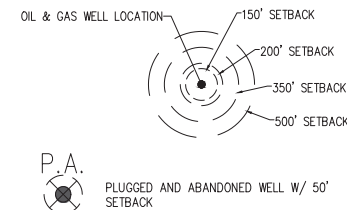
DELANTERO P.U.D.

BEING A PART OF SECTION 15 AND A PART OF THE SOUTH ONE-HALF OF SECTION 16, TOWNSHIP 5 NORTH,
RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD2021-0013



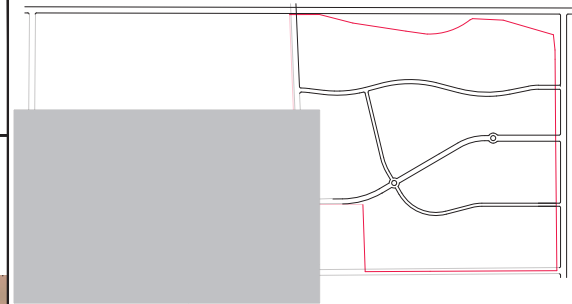
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LEGEND



NOTE:

1. Internal planning area utility design to be prepared at time of phased platting.
2. Construction of a sanitary sewer lift station will be required to serve this development and will be a condition of City of Greeley acceptance of any construction documents. The lift station will be at the property owner's expense.



KEY MAP

PLANNER
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SEE SHEET UP-4

DELANTERO P.U.D.
GREELEY, CO
MASTER UTILITY PLAN

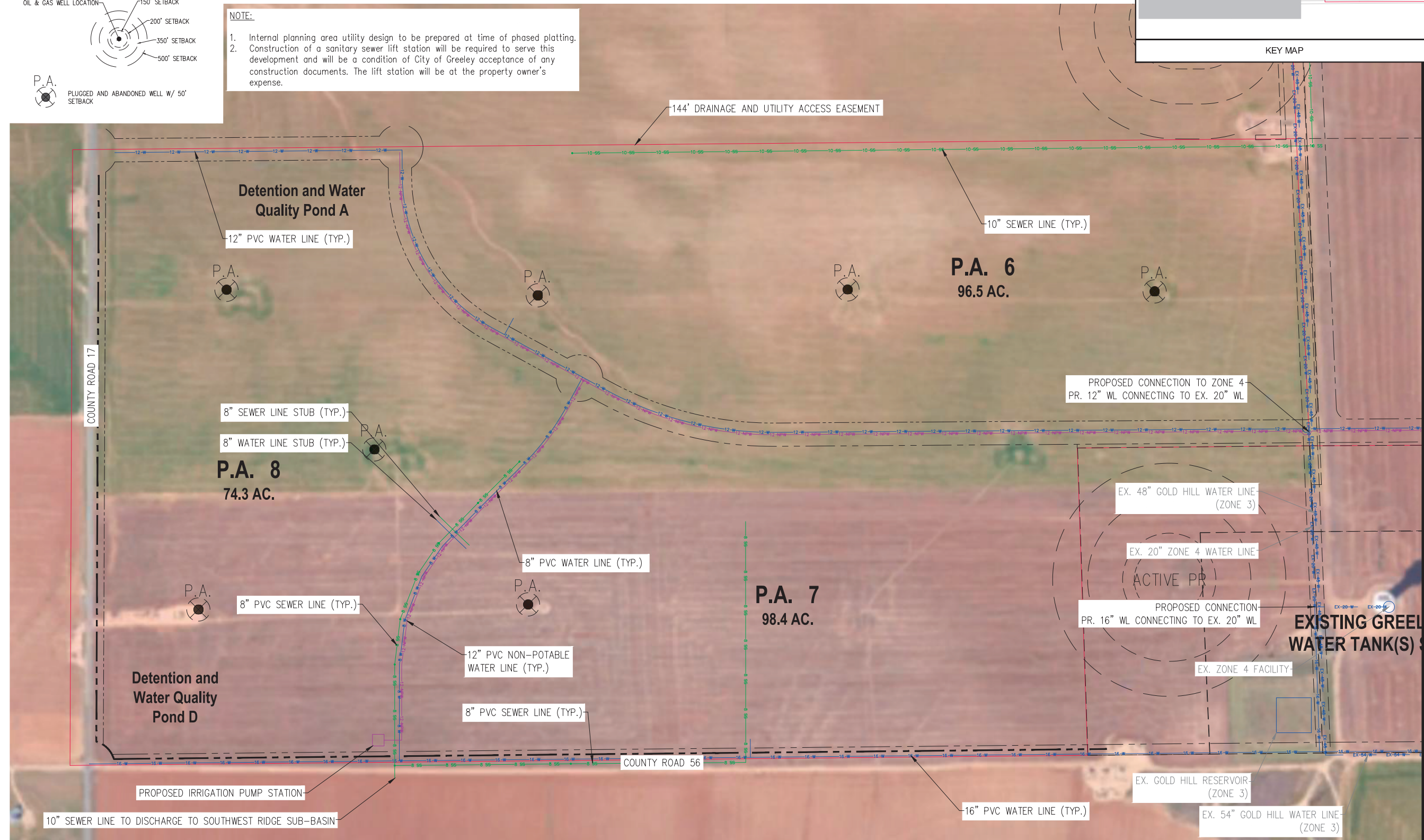
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5th SUBMITTAL	04-11-2022

SHEET NUMBER

UP-2



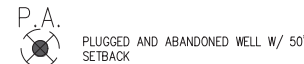
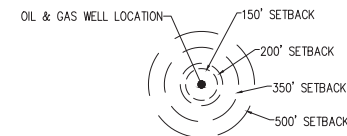
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PUD2021-0013



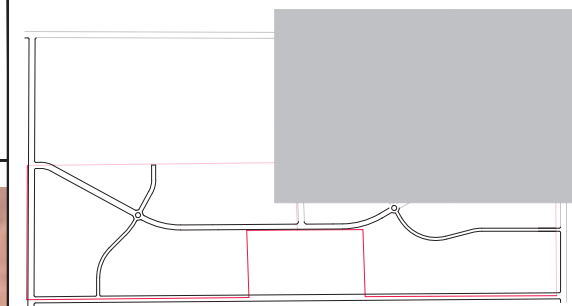
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LEGEND



NOTE:

1. Internal planning area utility design to be prepared at time of phased plotting.
2. Construction of a sanitary sewer lift station will be required to serve this development and will be a condition of City of Greeley acceptance of any construction documents. The lift station will be at the property owner's expense.



KEY MAP

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DELANTERO P.U.D. GREELEY, CO MASTER UTILITY PLAN

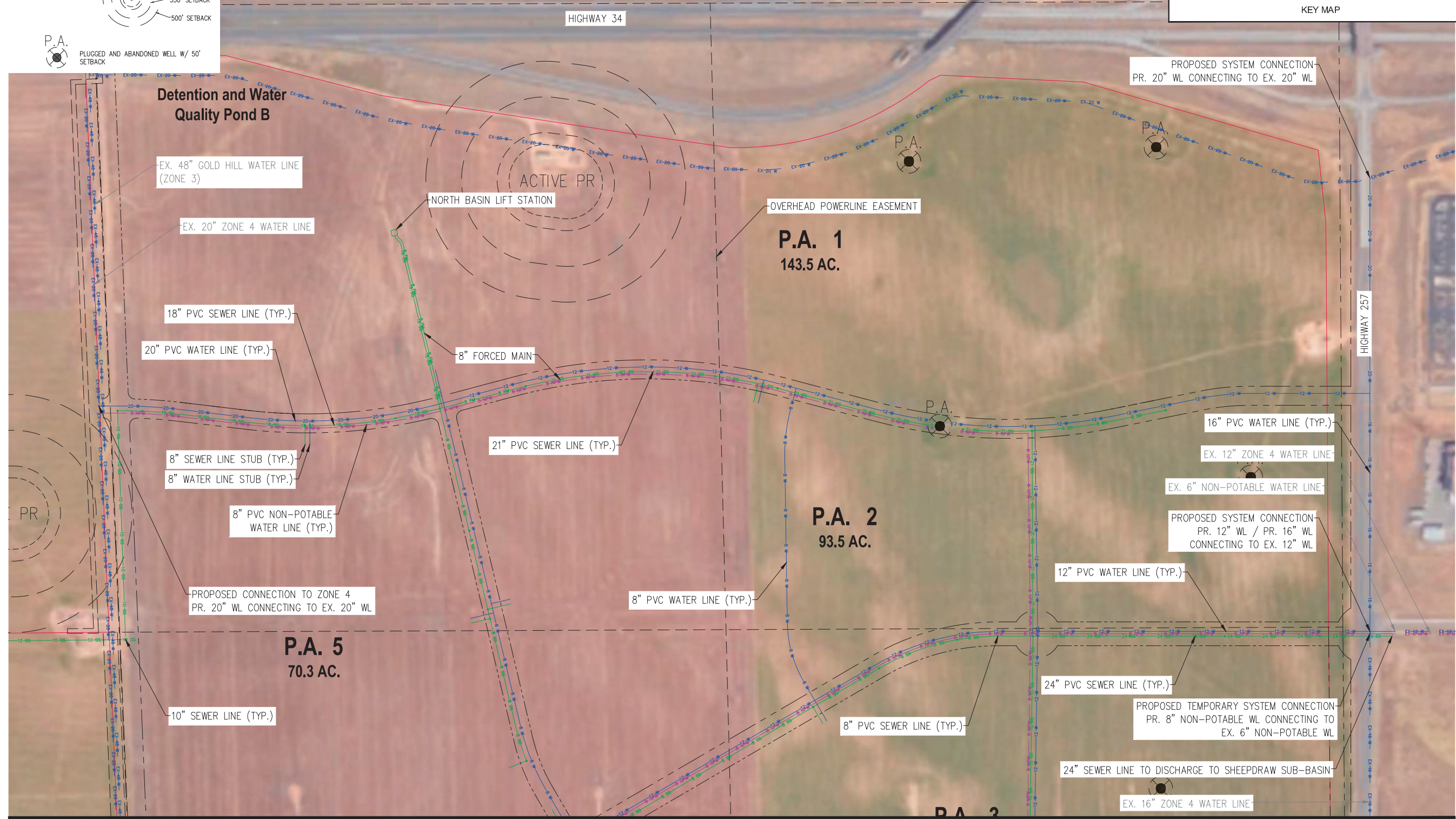
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5th SUBMITTAL	04-11-2022

SHEET NUMBER

UP-3



SEE SHEET UP-4



200 0 200 400
SCALE: 1"=200'

DELANTERO P.U.D.

BEING A PART OF SECTION 15 AND A PART OF THE SOUTH ONE-HALF OF SECTION 16, TOWNSHIP 5 NORTH,
RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD2021-0013

SEE SHEET UP-3

P.A. 2
93.5 AC.

8" PVC WATER LINE (TYP.)

21" PVC SEWER LINE (TYP.)

P.A. 5
70.3 AC.

10" PVC SEWER LINE (TYP.)

24" PVC SEWER LINE (TYP.)

PROPOSED SYSTEM CONNECTION
PR. 8" NON-POTABLE WL CONNECTING TO
EX. 6" NON-POTABLE WL

24" SEWER LINE TO DISCHARGE TO SHEEPDRAW SUB-BASIN

EX. 16" ZONE 4 WATER LINE

P.A. 3
77.2 AC.

8" PVC NON-POTABLE
WATER LINE (TYP.)

OVERHEAD POWERLINE EASEMENT

PROPOSED CONNECTION TO ZONE 4
PR. 12" WL CONNECTING TO EX. 20" WL

EX. 48" GOLD HILL WATER LINE
(ZONE 3)

12" PVC NON-POTABLE
WATER LINE (TYP.)

8" PVC SEWER LINE (TYP.)

12" PVC WATER LINE (TYP.)

PROPOSED SYSTEM CONNECTION
PR. 12" WL CONNECTING TO EX. 16" WL

PROPOSED CONNECTION
PR. 16" WL CONNECTING TO EX. 20" WL

EXISTING GREELEY
WATER TANK(S) SITE

EX. ZONE 4 FACILITY

EX. GOLD HILL RESERVOIR
(ZONE 3)

P.A. 4
106.6 AC.

Detention and
Water Quality
Pond C

PROPOSED SYSTEM CONNECTION
PR. 16" WL CONNECTING TO EX. 16" WL

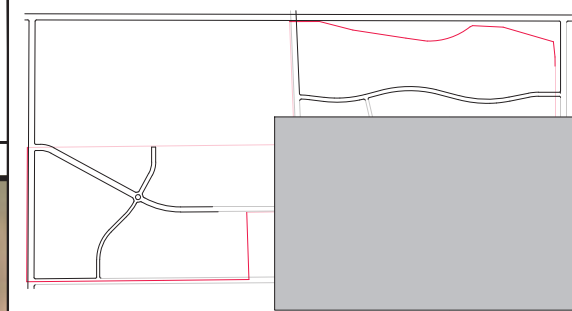
COUNTY ROAD 56

EX. 54" GOLD HILL WATER LINE
(ZONE 3)

16" PVC WATER LINE (TYP.)

EXISTING SYSTEM CONNECTION
ZONE 3 CONNECTING TO ZONE 4

EX. 16" MILIKEN WATER LINE
(ZONE 3)



KEY MAP

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DELANTERO P.U.D.
GREELEY, CO
MASTER UTILITY PLAN

PROJECT #: 201048
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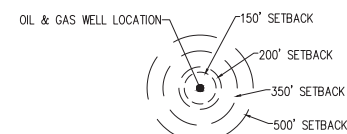
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SHEET NUMBER

UP-4

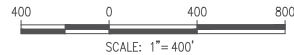
LEGEND



P.A.
PLUGGED AND ABANDONED WELL W/ 50'
SETBACK

NOTE:

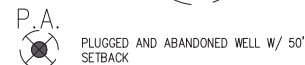
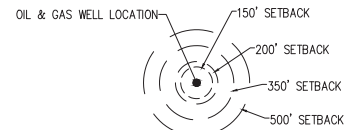
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NOTE:

1. CONTOURS DEPICTED ON THIS PLAN ARE AT 2' AND 10' INTERVALS

LEGEND



DELANTERO P.U.D.

BEING A PART OF SECTION 15 AND A PART OF THE SOUTH ONE-HALF OF SECTION 16, TOWNSHIP 5 NORTH,
RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD2021-0013



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DELANTERO P.U.D. GREELEY, CO GRADING PLAN INDEX MAP

PROJECT #: 201048
DRAWN BY: ML
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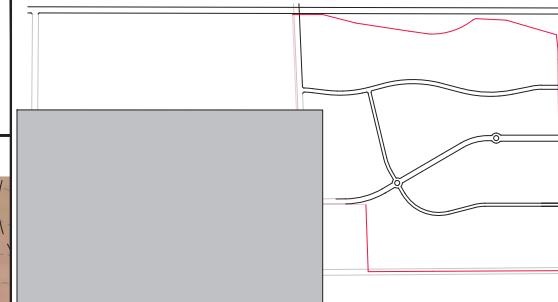
GP-1



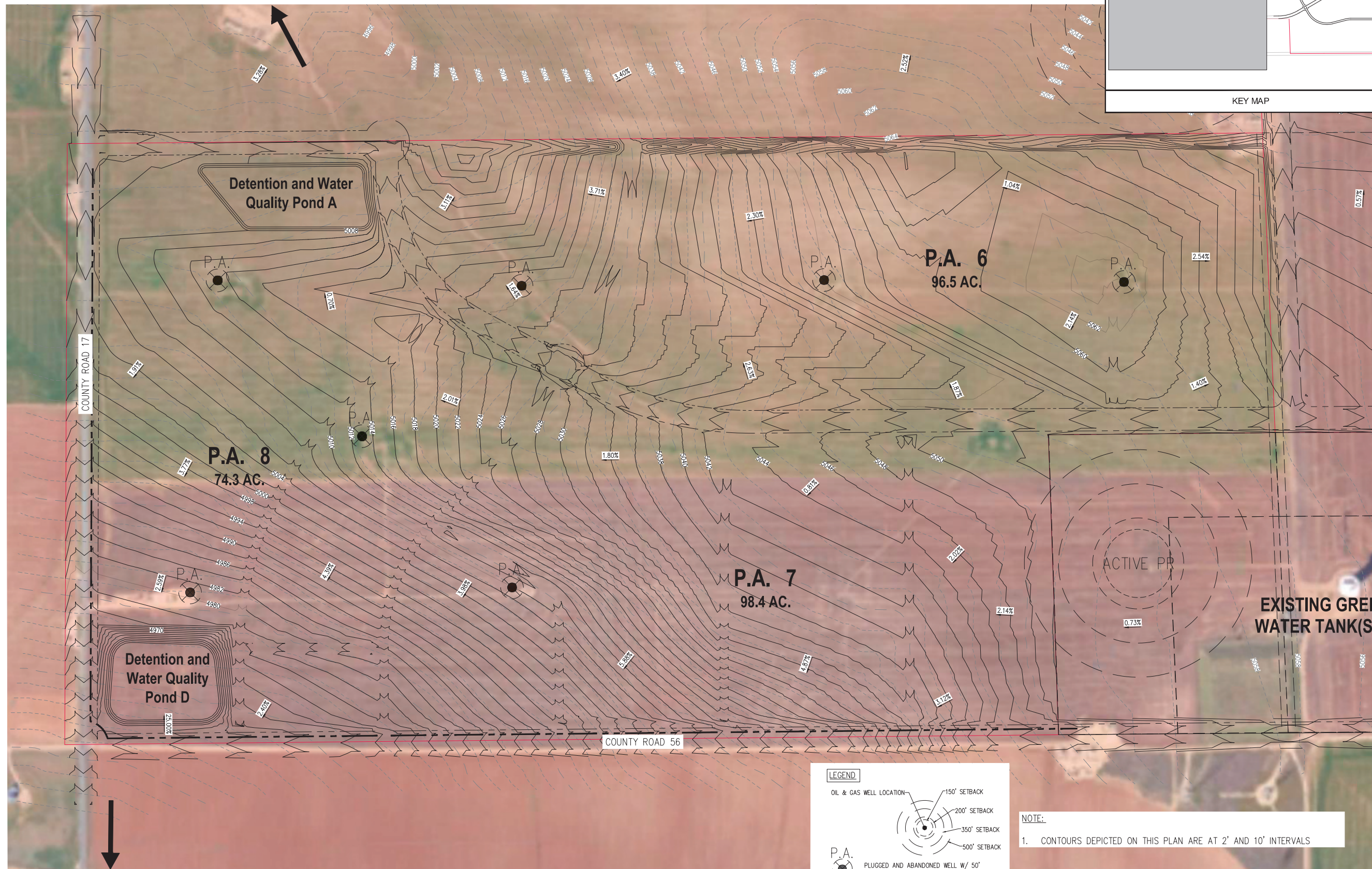
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RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD2021-0013

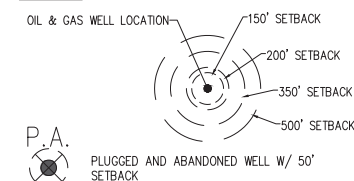


KEY MAP



SEE SHEET GP-4

LEGEND



NOTE:

1. CONTOURS DEPICTED ON THIS PLAN ARE AT 2' AND 10' INTERVALS

PLANNER
LAI DESIGN GROUP
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DELANTERO P.U.D.
GREELEY, CO
GRADING PLAN

PROJECT #: 201048
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5th SUBMITTAL	04-11-2022

SHEET NUMBER

GP-2

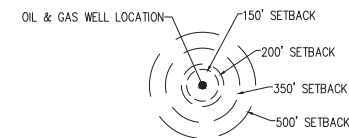
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RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD2021-0013



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SCALE: 1"=200'

LEGEND

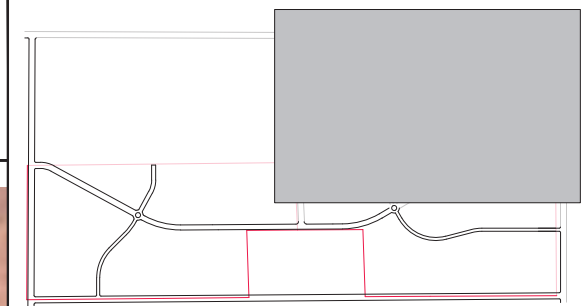
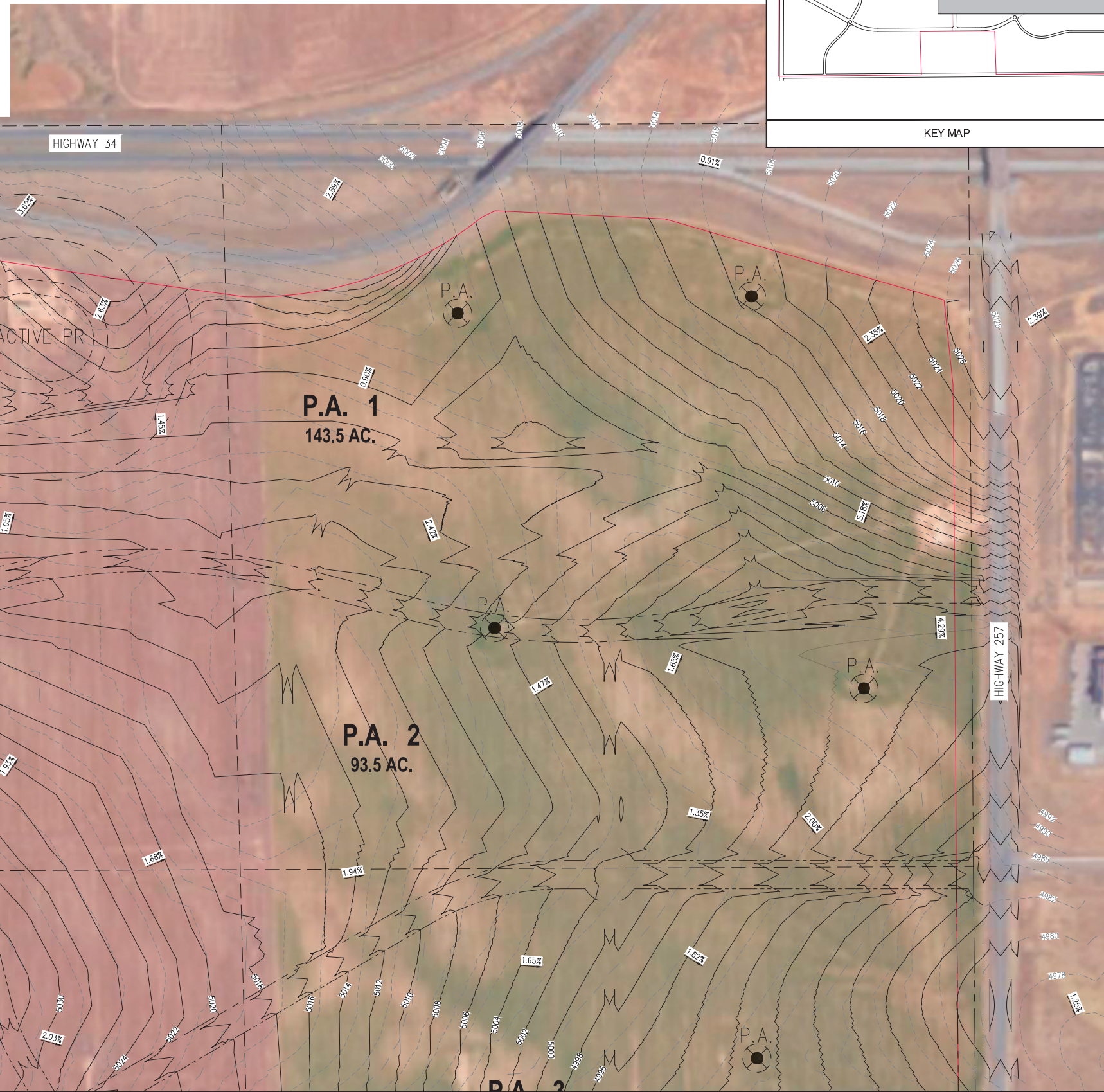


NOTE:

1. CONTOURS DEPICTED ON THIS PLAN ARE AT 2' AND 10' INTERVALS



P.A.
PLUGGED AND ABANDONED WELL W/ 50'
SETBACK



KEY MAP

PLANNER
LAI DESIGN GROUP
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GREELEY, CO
GRADING PLAN

PROJECT #: 201048
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SHEET NUMBER

GP-3

SEE SHEET GP-4

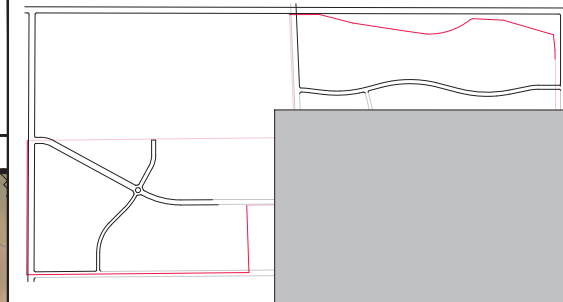
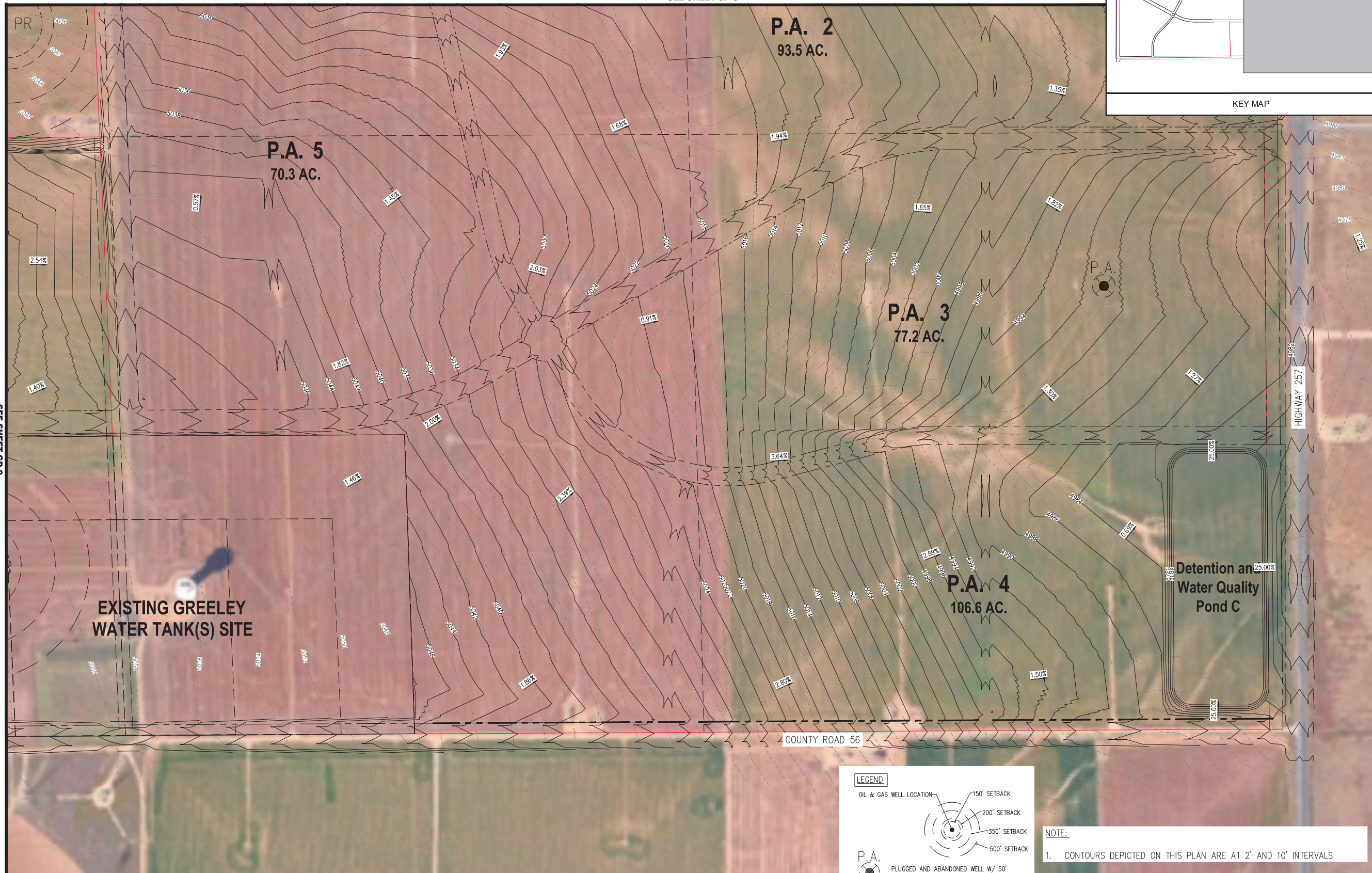


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PUD2021-0013

SEE SHEET GP-3



KEY MAP

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GREELEY, CO
GRADING PLAN

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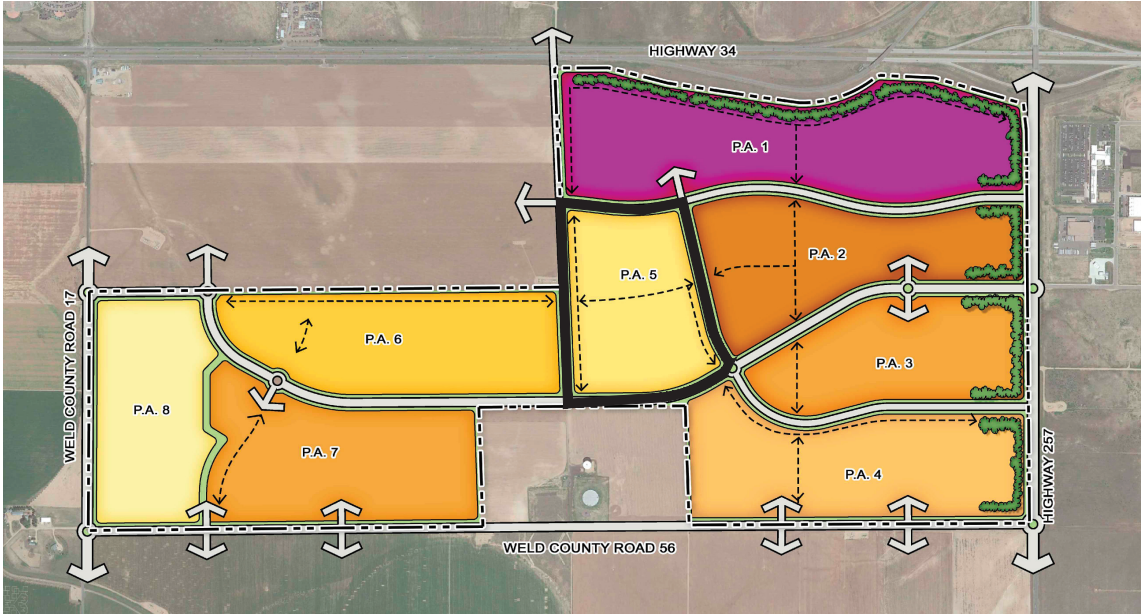
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SHEET NUMBER

GP-4

DELANTERO P.U.D.

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TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD 2021-0013



COMMUNITY PARK THEME

THE PA 5 COMMUNITY PARK SHALL BE DESIGNED AS A COMMUNITY-WIDE RECREATION RESOURCE TO ENCOURAGE A WIDE RANGE OF PROGRAMS AND ACTIVITIES THAT SUPPORT HEALTHY LIFESTYLES AND SOCIAL INTERACTION OF THE DELANTERO COMMUNITY AND BEYOND.

PARK ELEMENTS SHALL PROVIDE OPPORTUNITIES FOR A DIVERSE MIX OF RECREATIONAL ACTIVITIES, INCLUDING ORGANIZED FIELD AND COURT SPORTS, SWIMMING, WALKING, JOGGING, BICYCLING, PICNICKING AND CHILDREN'S PLAY. THE COMMUNITY PARK'S WILL BE IN A CENTRAL LOCATION WITHIN THE DELANTERO DEVELOPMENT TO PROVIDE EASY ACCESS FROM THE PRIMARY ROAD AND COMMUNITY TRAIL NETWORK. OFF-STREET PARKING ACCOMMODATES DAILY USE AS WELL AS ORGANIZED AND SPECIAL EVENTS.

PA 5 COMMUNITY PARK IMPLEMENTATION

- THE PA 5 COMMUNITY PARK SHALL BE A MINIMUM OF 25.0 ACRES.
- THE PARK MUST INCLUDE ALL THE REQUIRED ELEMENTS LISTED.
- THE PARK MUST INCLUDE AT LEAST 5 OF THE OPTIONAL ELEMENTS LISTED.
- ADDITIONAL PARK ELEMENTS NOT LISTED SHALL BE ALLOWED IN THE DESIGN OF THE PARK AND MAY BE SUBSTITUTED FOR OPTIONAL ELEMENTS WITH CITY OF GREELEY PLANNING APPROVAL.

COMMUNITY PARK DESIGN ELEMENTS

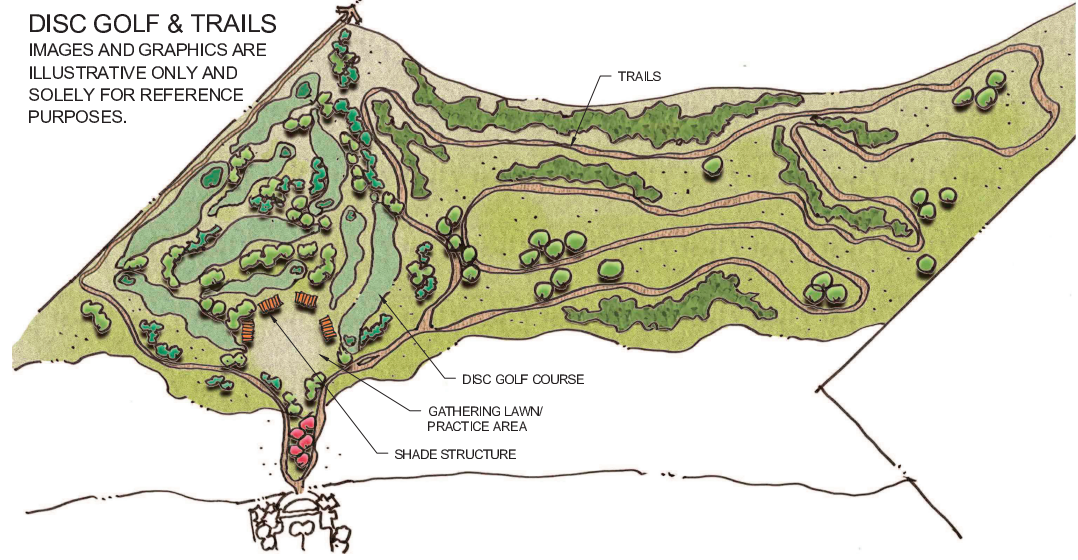
1. REQUIRED ELEMENTS

- 1.1. BENCHES: 1 PER $\frac{1}{4}$ MILE OF PAVED OR GRAVEL TRAIL. 2 PER FIRST $\frac{1}{2}$ ACRE AND 1 ADDITIONAL PER ACRE.
- 1.2. BIKE RACKS
- 1.3. COMMUNITY EVENTS BOARD
- 1.4. DOG WASTE STATIONS
- 1.5. FAMILY PICNIC FACILITIES: ONE FACILITY. MINIMUM 6 TABLES, 2 BARBEQUES, SHADE, HARD SURFACING
- 1.6. GROUP PICNIC STRUCTURE/PAVILION: 2 FACILITIES. MINIMUM 4 TABLES, 1 BARBEQUE, SHADE, HARD SURFACING
- 1.7. LIGHTING
- 1.8. MEANDERING TRAILS/PATHS: DIRECTIONAL SIGNAGE AT ALL TRAIL INTERSECTIONS MINIMUM
- 1.9. PARKING - 25 SPACES
- 1.10. PLAYGROUND - 5-12 YEARS OLD: ONE FACILITY
- 1.11. PLAYGROUND - TOT LOT (2-6 YEARS OLD): TWO FACILITIES
- 1.12. SPORTS FIELDS: 1 BASEBALL, 2 MULTI-SPORT
- 1.13. TRASH RECEPTACLES
- 1.14. TURF AREA: WELL GRADED $\frac{1}{4}$ ACRE OF TURF GRASS LAWN WITH 5-10 LARGE PARK TREES PER ACRE
- 1.15. 1 AC COMMUNITY GARDEN

2. OPTIONAL ELEMENTS

- 2.1. BOTANICAL GARDENS
- 2.2. COMMUNITY CENTER
- 2.3. COMMUNITY SWIMMING POOL
- 2.4. CONCESSIONS
- 2.5. DISC GOLF COURSE
- 2.6. FESTIVAL / FARMER'S MARKET FACILITY
- 2.7. FITNESS LOOP
- 2.8. INTERACTIVE WATER FEATURE
- 2.9. INTERPRETIVE SIGNAGE
- 2.10. NATURE PLAY AREA
- 2.11. NATURE TRAILS
- 2.12. OBSTACLE COURSE
- 2.13. PUBLIC ART / SCULPTURE
- 2.14. PUMP TRACK/BMX
- 2.15. SKATEBOARD PARK
- 2.16. SPORTS COURTS: TENNIS/ PICKLEBALL OR BASKETBALL
- 2.17. STAGE/AMPHITHEATER
- 2.18. WATER PLAY PARK
- 2.19. WIFI
- 2.20. ADDITIONAL OR EXPANDED REQUIRED ELEMENTS
- 2.21. RESTROOMS

CONCEPTUAL DESIGNS ILLUSTRATED HEREIN EXPRESS INTENT FOR PARK AND OPEN SPACE IMPROVEMENTS WITHIN THIS PUD. ACTUAL SITE DEVELOPMENT PLANS AND SPECIFIC IMPROVEMENTS SHALL COMPLY WITH THEME, DESIGN ELEMENTS AND IMPLEMENTATION REQUIREMENTS OF THE PUD. ALL IMPROVEMENTS WITHIN PLANNING AREAS SHALL BE CARRIED OUT OVER MULTIPLE PHASES AND FINAL PLATS AS DEVELOPMENT OCCURS.



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PHONE: (720) 214-5000



DELANTERO P.U.D.
GREELEY, CO
PA 5 COMMUNITY PARK

PROJECT #: 201048
DRAWN BY: ML, CQ, JO
CHECKED BY: RH

ISSUE RECORD

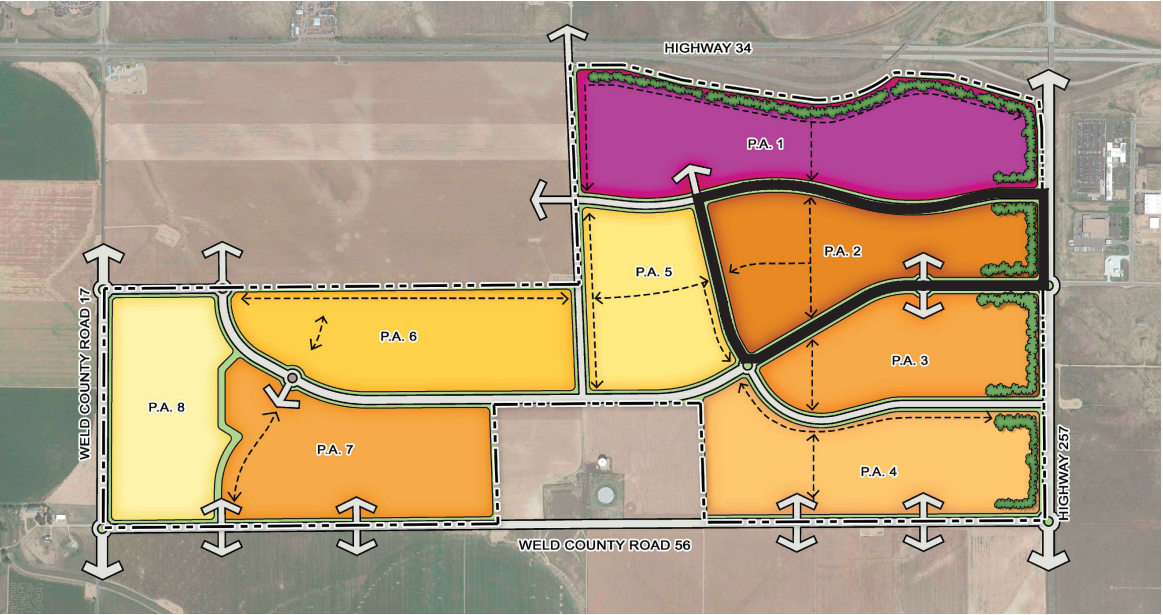
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PUD 2021-0013



NEIGHBORHOOD PARK THEME

THE PA 2 NEIGHBORHOOD PARK WILL BE LOCATED FOR ACCESS AND USE BY DELANTERO RESIDENTS, DESIGNED TO ENCOURAGE HEALTH, FITNESS, AND SOCIAL ACTIVITIES FOR THE NEIGHBORHOOD. THIS WILL ACCOMMODATE BOTH DAYTIME AND NIGHTTIME ACTIVITIES SUCH AS PICNICKING, BAR-B-QUES, AND FAMILY GATHERINGS. PARKING AND BIKE RACKS ENCOURAGE PEDESTRIAN AND BICYCLE ACCESS. A PERIMETER TRAIL CONNECTS TO THE COMMUNITY PATH NETWORK AND ENABLES A FITNESS LOOP FOR EXERCISE.

OPTIONAL DESIGN ELEMENTS SUCH AS SPORTS COURTS AND FIELDS, A DISC GOLF COURSE, OBSTACLE COURSE, PLAYGROUNDS, AND SWIMMING POOL, FACILITATE ACTIVE RECREATION AND EXERCISE FOR HEALTHY LIFESTYLES OF ALL AGES. OTHER OPTIONS, SUCH AS AN AMPHITHEATER, COMMUNITY GARDENS, FARMER'S MARKET AREA, AND INTERPRETIVE SIGNAGE (WHICH COMMUNICATES INFORMATION OF SCIENTIFIC, HISTORIC, CULTURAL, OR GEOGRAPHIC INTEREST), ACCOMMODATE PASSIVE ACTIVITIES.

PA 2 NEIGHBORHOOD PARK IMPLEMENTATION

- THE PA 2 NEIGHBORHOOD PARK SHALL BE A MINIMUM OF 8.0 ACRES.
- THE PARK MUST INCLUDE ALL THE REQUIRED ELEMENTS LISTED.
- THE PARK MUST INCLUDE AT LEAST 4 OF THE OPTIONAL ELEMENTS LISTED.
- ADDITIONAL PARK ELEMENTS NOT LISTED SHALL BE ALLOWED IN THE DESIGN OF THE PARK AND MAY BE SUBSTITUTED FOR OPTIONAL ELEMENTS WITH CITY OF GREELEY PLANNING APPROVAL.

NEIGHBORHOOD PARK DESIGN ELEMENTS

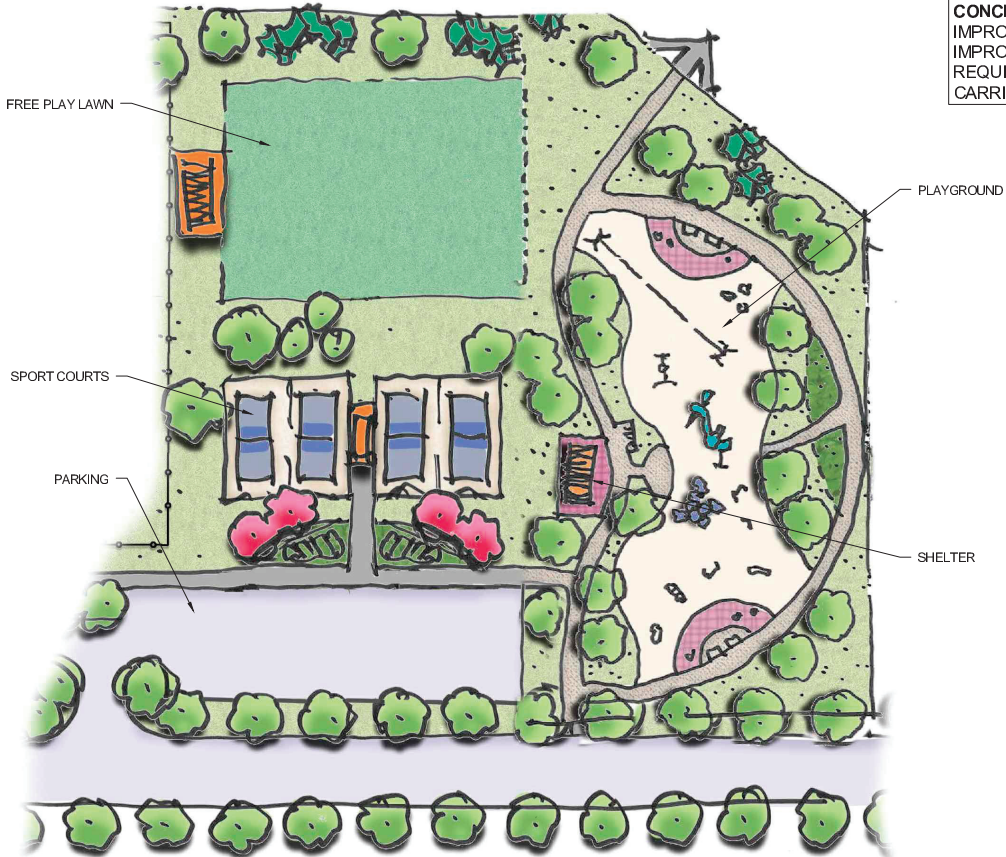
1. REQUIRED ELEMENTS

- 1.1. BENCHES: 1 PER $\frac{1}{4}$ MILE OF PAVED OR GRAVEL TRAIL. 2 PER FIRST $\frac{1}{2}$ ACRE AND 1 ADDITIONAL PER ACRE
- 1.2. BIKE RACKS
- 1.3. DOG WASTE STATIONS
- 1.4. FAMILY EVENT / GROUP PICNIC FACILITIES: ONE FACILITY. MINIMUM 4 TABLES, 6 BARBEQUES, SHADE, HARD SURFACING
- 1.5. LIGHTING
- 1.6. LINKS TO NEIGHBORHOOD TRAILS
- 1.7. MEANDERING TRAILS/PATHS: DIRECTIONAL SIGNAGE AT ALL TRAIL INTERSECTIONS
- 1.8. PICNIC TABLES: MINIMUM 4
- 1.9. PLAYGROUND - 5-12 YEARS OLD: ONE FACILITY
- 1.10. PLAYGROUND - TOT LOT (2-6 YEARS OLD): ONE FACILITY
- 1.11. TRASH RECEPTACLES
- 1.12. TURF AREA: WELL GRADED $\frac{1}{2}$ ACRE OF TURF GRASS LAWN WITH 5-10 LARGE PARK TREES PER ACRE

2. OPTIONAL ELEMENTS

- 2.1. AMPHITHEATER
- 2.2. COMMUNITY GARDENS
- 2.3. FARMER'S MARKET FACILITY
- 2.4. FITNESS LOOP: 1 PER $\frac{1}{4}$ MILE INCLUDES A COMBINATION OF PHYSICAL/ACTIVE STATIONS AND ACTIVITY SIGNS
- 2.5. INTERPRETIVE SIGNAGE
- 2.6. NATURE TRAILS
- 2.7. OBSTACLE COURSE
- 2.8. PARKING
- 2.9. PUBLIC ART/SCULPTURE
- 2.10. SPORTS COURTS: TENNIS / PICKLEBALL OR BASKETBALL
- 2.11. SPORTS FIELDS: 1 MULTI-SPORT
- 2.12. SWIMMING POOL: 1 OUTDOOR POOL
- 2.13. WIFI
- 2.14. COMMUNITY CENTER
- 2.15. RESTROOM
- 2.16. ADDITIONAL OR EXPANDED REQUIRED ELEMENTS

NEIGHBORHOOD PARK
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DELANTERO P.U.D.

GREELEY, CO
PA 2 NEIGHBORHOOD PARK

PROJECT #: 201048
DRAWN BY: ML, CQ, JO
CHECKED BY: RH

ISSUE RECORD

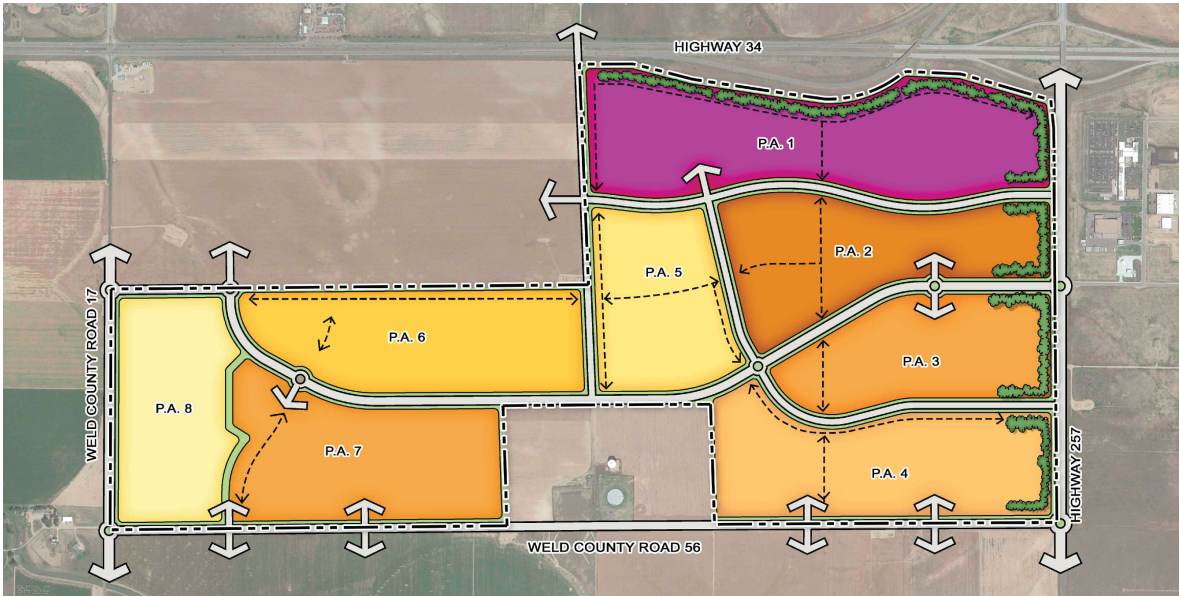
1st SUBMITTAL	04-27-2021
2nd SUBMITTAL	09-22-2021
3rd SUBMITTAL	12-23-2021
4th SUBMITTAL	03-18-2022
5th SUBMITTAL	04-11-2022

SHEET NUMBER

V2.0

DELANTERO P.U.D.

A PARCEL OF LAND BEING PARTS OF SECTION 15 AND A PART OF THE SOUTH ONE-HALF OF SECTION 16,
TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD 2021-0013



POCKET PARK THEME

POCKET PARKS (PA 2, PA 3, PA 4, PA 5, PA 6, PA 7, PA 8) LOCATED IN RESIDENTIAL AREAS SHALL PROVIDE RECREATION, PLAY, AND SOCIALIZING OPPORTUNITIES FOR PARENTS, TODDLERS, AND YOUNG CHILDREN WITHIN THEIR NEIGHBORHOODS. A POCKET PARK SHALL ALONE.

HE PLAYGROUND IS A REQUIRED DESIGN ELEMENT, INTENDED TO PROVIDE SUFFICIENT OPPORTUNITIES FOR PLAY WITHIN ONE GIVEN AGE RANGE OF CHILDREN. THE REST OF THE REQUIRED DESIGN ELEMENTS PROVIDE COMFORT, SAFETY, AND WELFARE FOR THE RESIDENTS. THE OPTIONAL ELEMENTS PROVIDE MORE OPPORTUNITIES FOR POCKET PARKS TO ENGAGE RESIDENTS ON A BROADER LEVEL.

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POCKET PARK IMPLEMENTATION

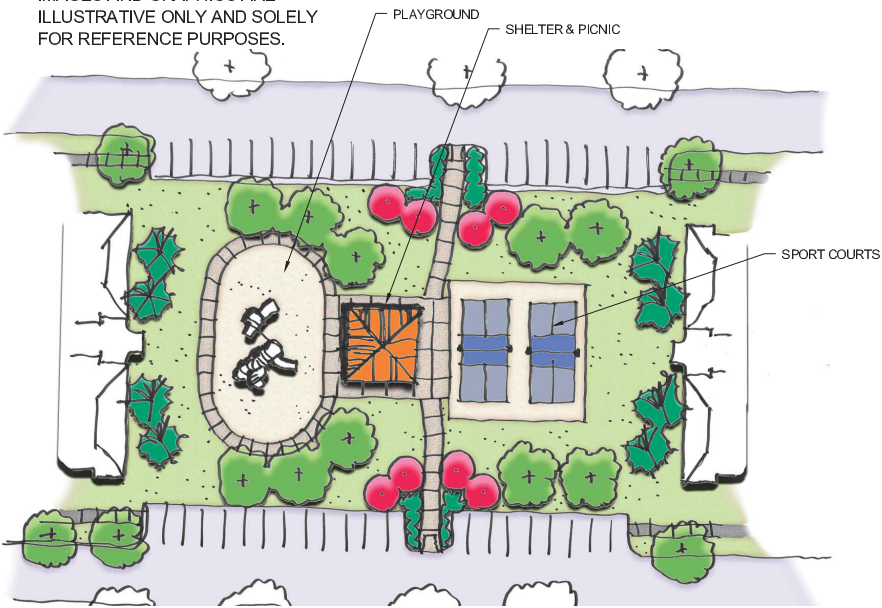
- POCKET PARKS SHALL EACH BE A MINIMUM OF 0.3 ACRES AND MAXIMUM OF 1.0 ACRES.
- EACH PARK MUST INCLUDE ALL THE REQUIRED ELEMENTS LISTED.
- EACH PARK MUST INCLUDE AT LEAST 1 OF THE OPTIONAL ELEMENTS LISTED.
- ADDITIONAL PARK ELEMENTS NOT LISTED SHALL BE ALLOWED IN THE DESIGN OF THE PARK WITH CITY OF GREELEY PLANNING APPROVAL AND MAY BE SUBSTITUTED FOR OPTIONAL ELEMENTS.

POCKET PARK DESIGN ELEMENTS

- 1. REQUIRED ELEMENTS** (INCLUDING LEVEL OF SERVICE MINIMUM REQUIREMENTS)
 - 1.1. BIKE RACKS
 - 1.2. LIGHTING
 - 1.3. PICNIC TABLES: MINIMUM 1
 - 1.4. BENCHES: MINIMUM 2
 - 1.5. PLAYGROUND: MINIMUM 1
 - 1.6. TRASH RECEPTACLES
- 2. OPTIONAL ELEMENTS**
 - 2.1. COMMUNITY GARDEN
 - 2.2. SPORTS COURTS: TENNIS / PICKLEBALL, AND/OR BASKETBALL
 - 2.3. SHELTER: 1 MINIMUM
 - 2.4. 2ND PLAYGROUND

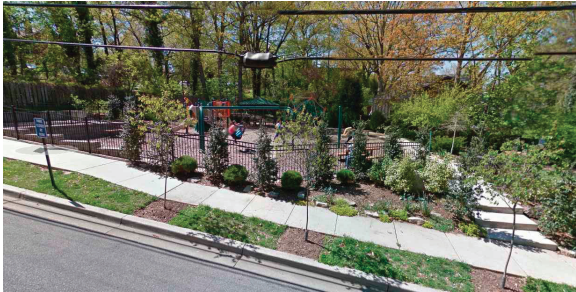
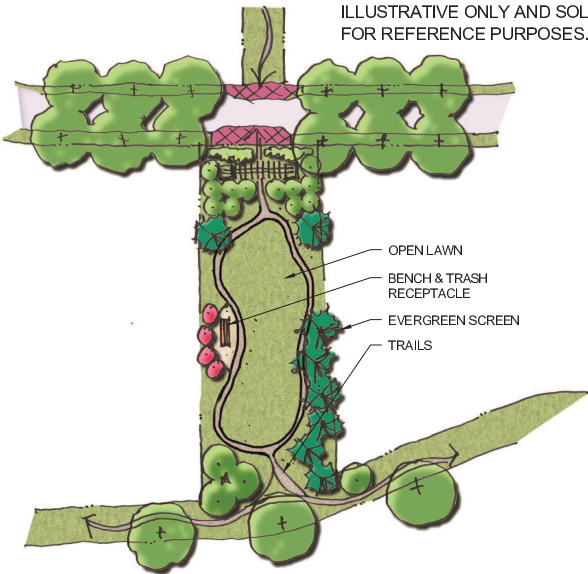
POCKET PARK

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POCKET PARK

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GREELEY, CO

POCKET PARK

PROJECT #: 201048
DRAWN BY: M.L., C.Q., JO
CHECKED BY: RH

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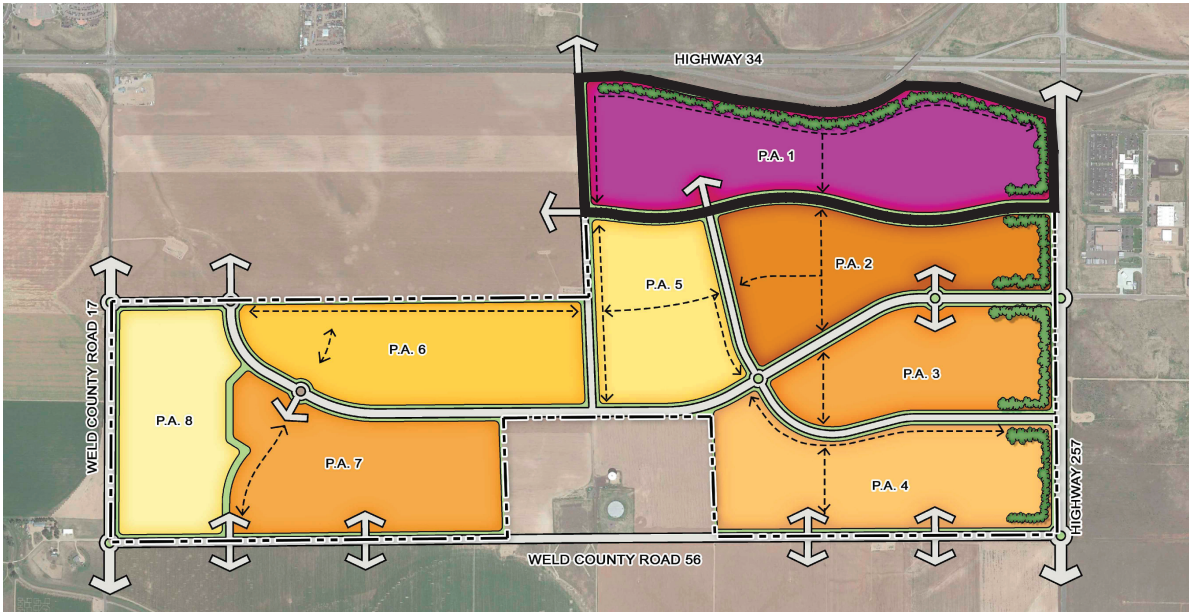
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5th SUBMITTAL	04-11-2022

SHEET NUMBER

V3.0

DELANTERO P.U.D.

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CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD 2021-0013



DOG PARK THEME

THE PA 1 DOG PARK IS ENVISIONED AS AN ACCOMMODATING RECREATIONAL PLAY AREA FOR DOGS AND THEIR OWNERS. OFF-STREET PARKING AND BIKE RACKS ACCOMMODATE RESIDENTS ARRIVING THROUGH MULTIPLE WAYS OF TRANSPORTATION. A FENCED ENCLOSURE WILL BE SURE TO KEEP DOGS SAFELY WITHIN THE PARK. A BUFFER OF TREES AND VEGETATION PROVIDES SHADE AND SEPARATION FROM HIGHWAY 34. THE PARK WILL HAVE BENCHES AND STRUCTURES FOR RESIDENTS TO RELAX WHILE THEIR DOGS RUN FREE. IT WILL PROVIDE TRASH RECEPTACLES AND DOG WASTE STATIONS TO MAKE IT CONVENIENT FOR RESIDENTS TO DISPOSE OF THEIR WASTE AND KEEP IT CLEAN FOR THE COMMUNITY.

IMPLEMENTATION OF THE OPTIONAL ELEMENTS SUCH AS A DOG WASH STATION ELEVATES THE FUN FACTOR AND ENABLES DOGS TO LEAVE THE PARK CLEAN. LIGHTING, SHELTER, AND A MAP PROVIDE SAFETY AND CONVENIENCE.

PA 1 DOG PARK IMPLEMENTATION

- THE PA 1 DOG PARK SHALL BE A MINIMUM OF 8.0 ACRES.
- THE PARK MUST INCLUDE ALL THE REQUIRED ELEMENTS LISTED.
- THE PARK MUST INCLUDE AT LEAST 1 OF THE OPTIONAL ELEMENTS LISTED.
- ADDITIONAL PARK ELEMENTS NOT LISTED SHALL BE ALLOWED IN THE DESIGN OF THE PARK AND MAY BE SUBSTITUTED FOR OPTIONAL ELEMENTS WITH CITY OF GREELEY PLANNING APPROVAL.

CONCEPTUAL DESIGNS ILLUSTRATED HEREIN EXPRESS INTENT FOR PARK AND OPEN SPACE IMPROVEMENTS WITHIN THIS PUD. ACTUAL SITE DEVELOPMENT PLANS AND SPECIFIC IMPROVEMENTS SHALL COMPLY WITH THEME, DESIGN ELEMENTS AND IMPLEMENTATION REQUIREMENTS OF THE PUD. ALL IMPROVEMENTS WITHIN PLANNING AREAS SHALL BE CARRIED OUT OVER MULTIPLE PHASES AND FINAL PLATS AS DEVELOPMENT OCCURS.

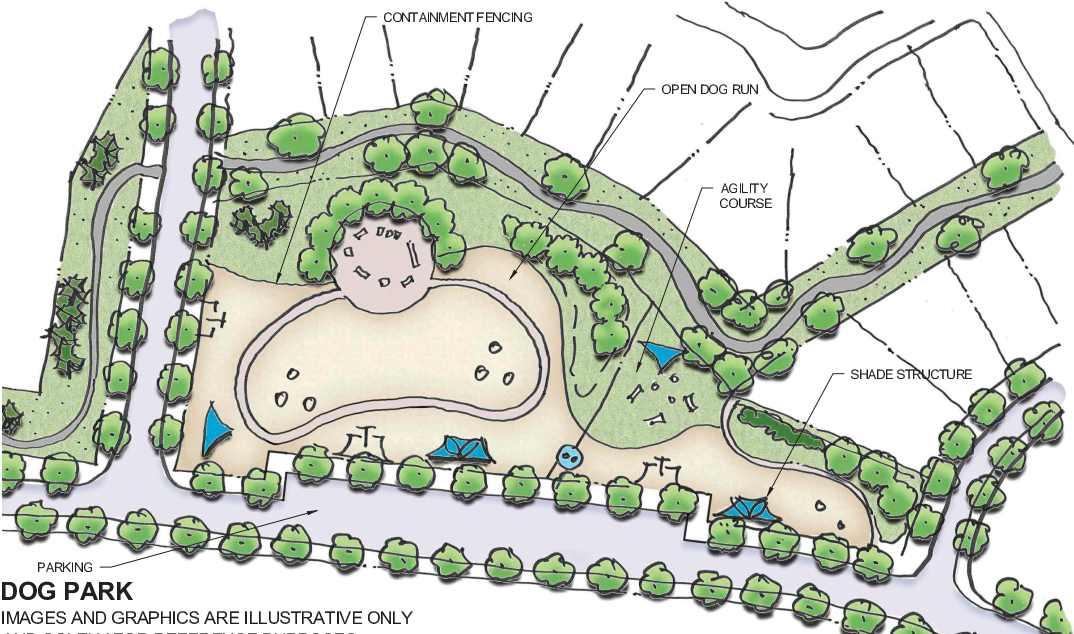
DOG PARK DESIGN ELEMENTS

1. REQUIRED ELEMENTS

- 1.1. 4 BENCHES
- 1.2. BIKE RACKS
- 1.3. 4 DOG WASTE STATIONS
- 1.4. FENCED DOG RUN AREA
- 1.5. TRASH RECEPTACLES

2. OPTIONAL ELEMENTS

- 2.1. DOG WASH STATION
- 2.2. LIGHTING
- 2.3. POND
- 2.4. SHELTER
- 2.5. MAP
- 2.6. WIFI



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DELANTERO P.U.D.

GREELEY, CO
PA 1 DOG PARK

PROJECT #: 201048
DRAWN BY: ML, CQ, JO
CHECKED BY: RH

ISSUE RECORD

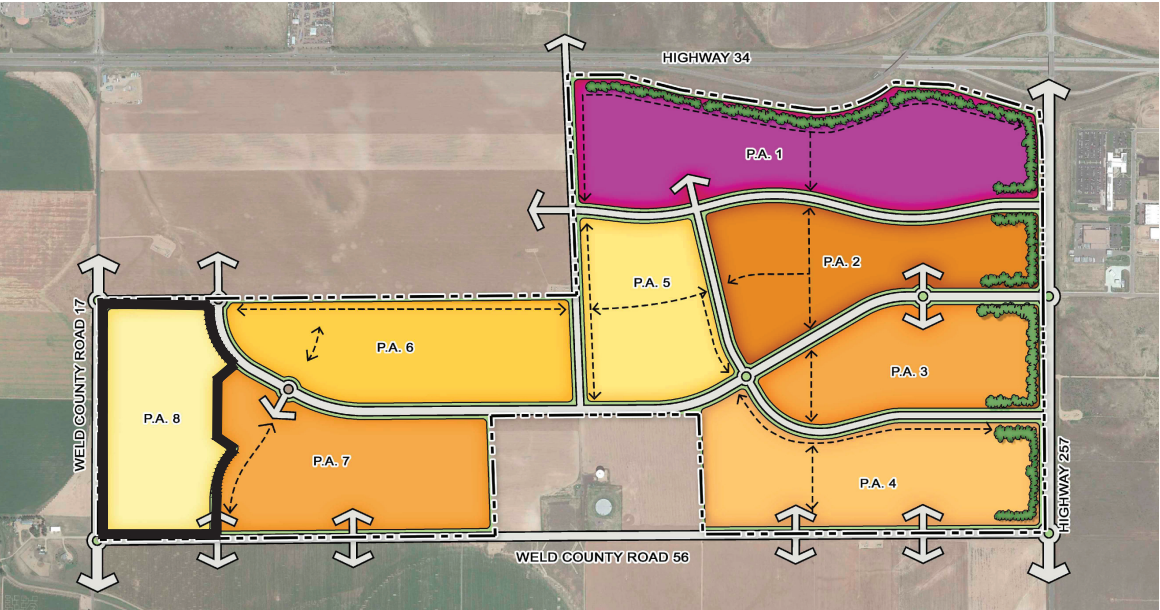
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SHEET NUMBER

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DELANTERO P.U.D.

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CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD 2021-0013



COMMUNITY AGRICULTURE THEME

THE VISION FOR PA 8 COMMUNITY AG IS TO PROVIDE RECREATION FOR A HEALTHY LIFESTYLE AND SOCIALIZING OPPORTUNITIES FOR THE DELANTERO COMMUNITY THAT ARE CONSISTENT WITH THE AGRICULTURE-CENTERED CONTEXT OF GREELEY. COMMUNITY AG TAKES ADVANTAGE OF ITS LOCATION AT THE WEST END OF DELANTERO TO ACT AS AN OPEN SPACE BUFFER TO HIGHWAY 17 TO THE WEST.

DESIGN ELEMENTS WITHIN COMMUNITY AG SHALL BE CONSISTENT IN CHARACTER AND SCALE WITH THE AGRICULTURAL CONTEXT. REQUIRED ELEMENTS SUCH AS PICNIC TABLES, BENCHES, SHELTER, RESTROOMS, AND AN OPEN-AIR PAVILION SUPPORT RECREATION AND FAMILY GATHERING OPPORTUNITIES, WHILE OPTIONAL ELEMENTS SUPPORT MORE ACTIVE ACTIVITY AND COMMUNITY ENGAGEMENT.

PA 8 COMMUNITY AGRICULTURE IMPLEMENTATION

- THE PA 8 COMMUNITY AG SHALL BE A MINIMUM OF 8.0 ACRES.
- THE PARK MUST INCLUDE ALL THE REQUIRED ELEMENTS LISTED.
- THE PARK MUST INCLUDE AT LEAST 1 OF THE OPTIONAL ELEMENTS LISTED.
- ADDITIONAL PARK ELEMENTS NOT LISTED SHALL BE ALLOWED IN THE DESIGN OF THE PLANNING AREA WITH CITY OF GREELEY PLANNING APPROVAL AND MAY BE SUBSTITUTED FOR OPTIONAL ELEMENTS.

CONCEPTUAL DESIGNS ILLUSTRATED HEREIN EXPRESS INTENT FOR PARK AND OPEN SPACE IMPROVEMENTS WITHIN THIS PUD. ACTUAL SITE DEVELOPMENT PLANS AND SPECIFIC IMPROVEMENTS SHALL COMPLY WITH THEME, DESIGN ELEMENTS AND IMPLEMENTATION REQUIREMENTS OF THE PUD. ALL IMPROVEMENTS WITHIN PLANNING AREAS SHALL BE CARRIED OUT OVER MULTIPLE PHASES AND FINAL PLATS AS DEVELOPMENT OCCURS.

COMMUNITY AGRICULTURE DESIGN ELEMENTS

1. REQUIRED ELEMENTS

- 1.1. BENCHES
- 1.2. COMMUNITY GARDEN
- 1.3. INTERPRETIVE SIGNAGE
- 1.4. OPEN AIR SEASONAL PAVILION / FARM STAND: MINIMUM 1
- 1.5. SHELTER: MINIMUM 4 TABLES, 2 BARBEQUES, SHADE, HARD SURFACING
WATER SOURCE(S): MINIMUM 1 PER PAVILION/SHELTER.

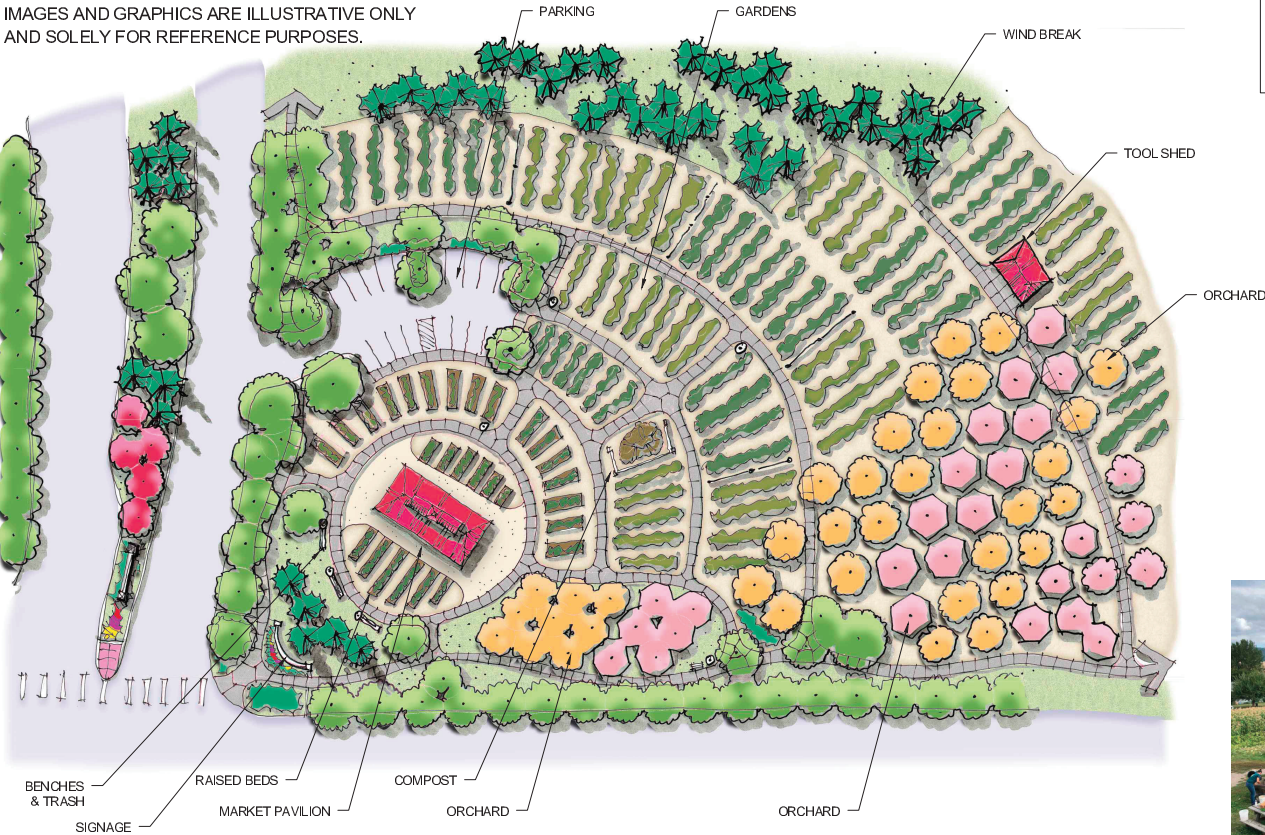
2. OPTIONAL ELEMENTS

- 2.1. FARMER'S MARKET FACILITY
- 2.2. NATURE PLAY AREA
- 2.3. STAGE
- 2.4. TRAILS: DIRECTIONAL SIGNAGE AT ALL TRAIL INTERSECTIONS MINIMUM
- 2.5. WIFI
- 2.6. RESTROOMS



COMMUNITY GARDEN & FARMER'S MARKET

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GREELEY, CO

PA 8 COMMUNITY AGRICULTURE

PROJECT #: 201048
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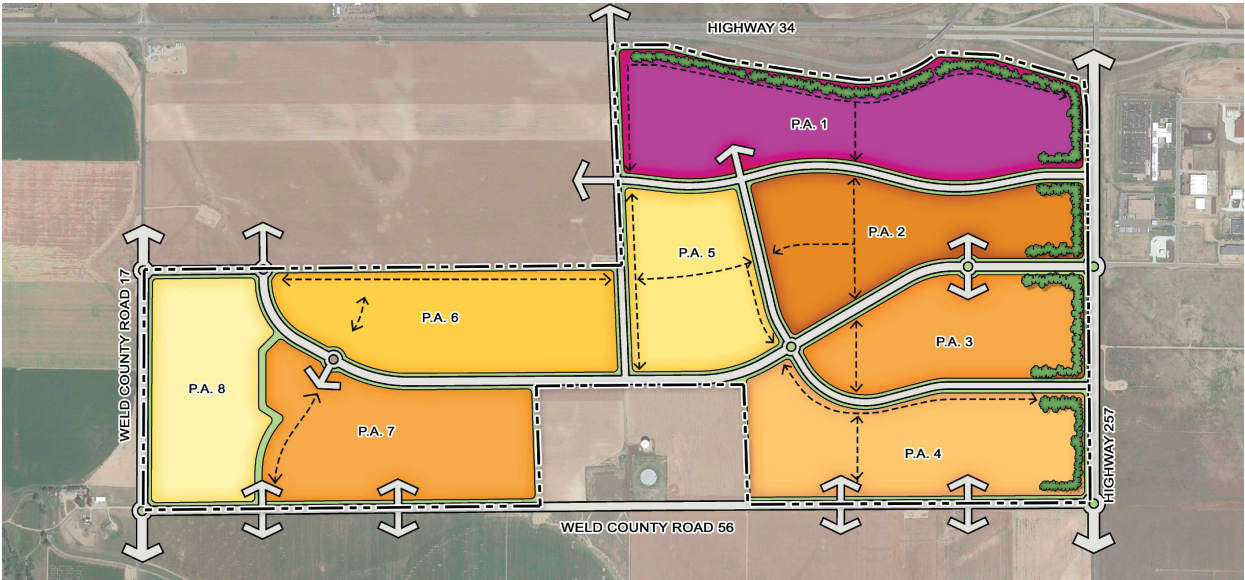
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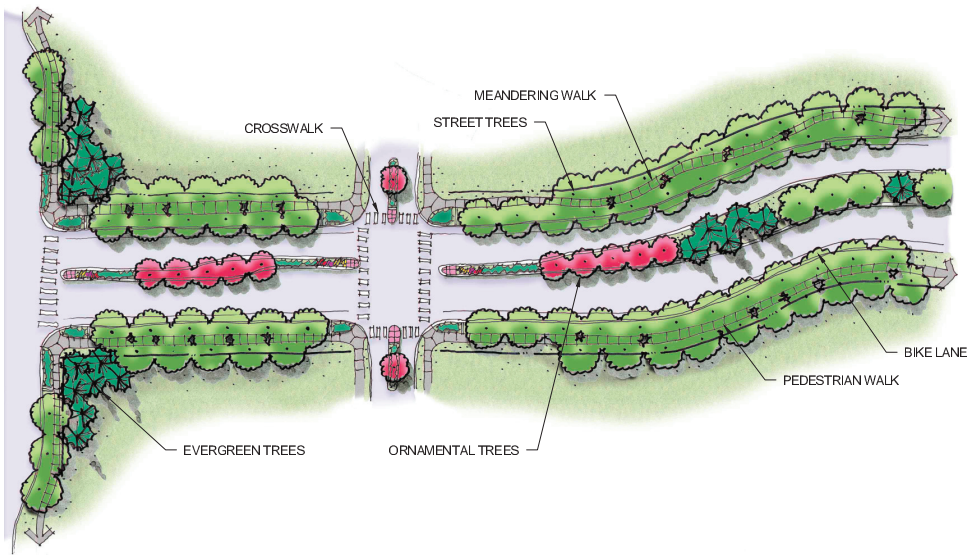
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DELANTERO P.U.D.

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PUD 2021-0013



BOULEVARD & PARKWAY (COLLECTOR RIGHT-OF-WAY)
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STREETSCAPE THEME

DELANTERO'S VISION FOR STREETSCAPES IS TO MAKE SURE THAT THE STREETS DO NOT HINDER BUT WELCOME THE COMMUNITY TO INTERACT AND FEEL A SENSE OF 'HOME.' THE DESIGN OF THE STREETS PLAYS A SIGNIFICANT ROLE IN THE COMMUNITY, AND IT IS IMPORTANT FOR DELANTERO TO MAKE THIS EXPERIENCE GREAT FOR RESIDENTS AND VISITORS. DELANTERO'S STREETS PROVIDE A BUFFER TO HOMES AND CONNECT NEIGHBORHOODS IN A SHARED PUBLIC SPACE AND CREATE A STRONG SENSE OF COMMUNITY.

IN KEEPING WITH THE CITY OF GREELEY ENTRYWAY MASTER PLAN, THE HIGHWAY 34 INTERCHANGE IMMEDIATELY NORTH OF DELANTERO SHALL INCLUDE STREETSCAPE ELEMENTS THAT MARK IT AS THE WESTERN GATEWAY INTO GREELEY. A SIMPLE PALETTE OF DESIGN ELEMENTS SUCH AS TREES AND PLANTS, PATHS, AND ART WILL SYMBOLICALLY LINK GREELEY'S PRESENT TO ITS HISTORIC ROOTS WHILE ELEVATING THE AESTHETIC BEAUTY OF THE GATEWAY. DELANTERO'S IMAGE WILL FOLLOW AS GREELEY'S GATEWAY COMMUNITY. HWY 34 ENTRYWAY LANDSCAPE PLANS SHALL BE PROVIDED WITH THE ADJACENT COMMERCIAL PLAT AND VETTED THROUGH CDOT DURING THE REFERRAL PROCESS. ONGOING MAINTENANCE OF HWY 34 ENTRY WAY LANDSCAPE SHALL BE THE RESPONSIBILITY OF THE CITY OF GREELEY.

WITHIN DELANTERO, EACH TYPE OF COLLECTOR STREET SHALL BEAR COMMON DESIGN ELEMENTS THAT LINK AND UNIFY NEIGHBORHOODS WITHIN THE COMMUNITY, CONTRIBUTING TO AN OVERALL ATTRACTIVE IMAGE FOR THE COMMUNITY. THE STREETS WILL PROVIDE THE NEIGHBORHOOD SCALE AND CHARACTER AS WELL AS EXPRESS IDENTITY AND HIERARCHY THROUGH DISTINCTIVE DESIGN.

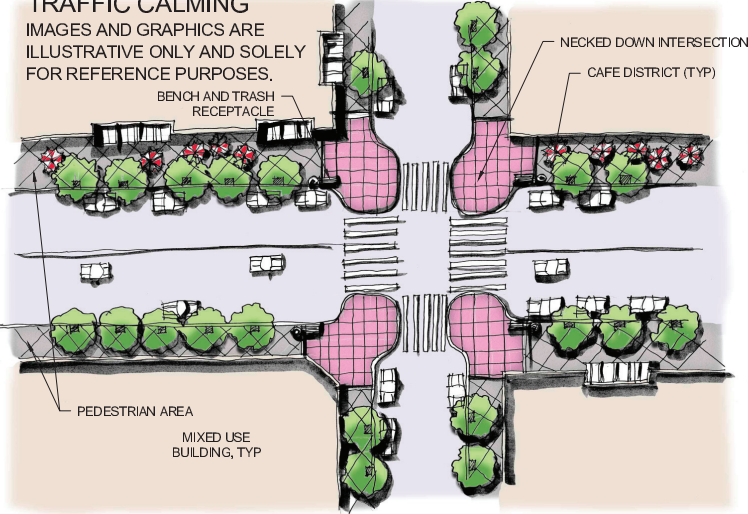
DESIGN ELEMENTS WILL PROVIDE COMFORT AND WALKABILITY, SECURE SAFETY FOR PEDESTRIANS, FOSTER SOCIAL ACTIVITY, ENCOURAGE HEALTHY LIFESTYLE CHOICES, AND ENHANCE AESTHETIC APPEAL. THE VISION IS TO TREAT STREETS AS ECOSYSTEMS THAT BLEND NATURAL AND HUMAN PROCESSES, PROVIDE SHADE, AND ENABLE DRIVERS TO SEE PEDESTRIANS. ELEMENTS THAT DELANTERO MAY INCLUDE ARE STREET LIGHTING AND PEDESTRIAN LIGHTING, LANDSCAPING, SITE FURNISHINGS, STORMWATER BEST MANAGEMENT PRACTICES, SIGNAGE, PUBLIC TRANSPORTATION SHELTERS, PEDESTRIAN CROSSWALKS, AND TRAFFIC CALMING MEASURES.

COMMERCIAL STREETS WILL PROVIDE AMENITIES FOR SHOPPERS SUCH AS PEDESTRIAN LIGHTING, SEATING AND TRASH RECEPTACLES, BICYCLE PARKING, EASY-TO-READ SIGNS, ART, AND DISTINCTIVE ZONES FOR PLANTS AND PEDESTRIAN ACCOMMODATION. DESIGN ELEMENTS OF RESIDENTIAL STREETS WILL BE FOCUSED ON ENHANCING THE BEAUTY AND WALKABILITY OF NEIGHBORHOODS AND WILL INCLUDE DETACHED SIDEWALKS WITH LAWNS AND STREET TREES.

STREETS IN INDUSTRIAL AREAS WILL PROVIDE A MIXTURE OF PEDESTRIAN AMENITIES SUCH AS PEDESTRIAN LIGHTING, SITE FURNISHINGS, SIGNAGE, AND DETACHED SIDEWALKS WITH LAWNS AND STREET TREES.

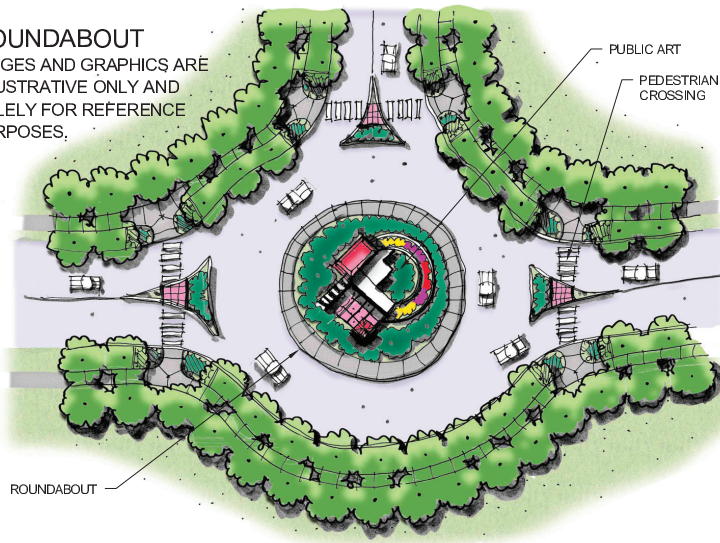
TRAFFIC CALMING

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GREELEY, CO

STREETSCAPE

PROJECT #: 201048
DRAWN BY: M.L., CQ, JO
CHECKED BY: RH

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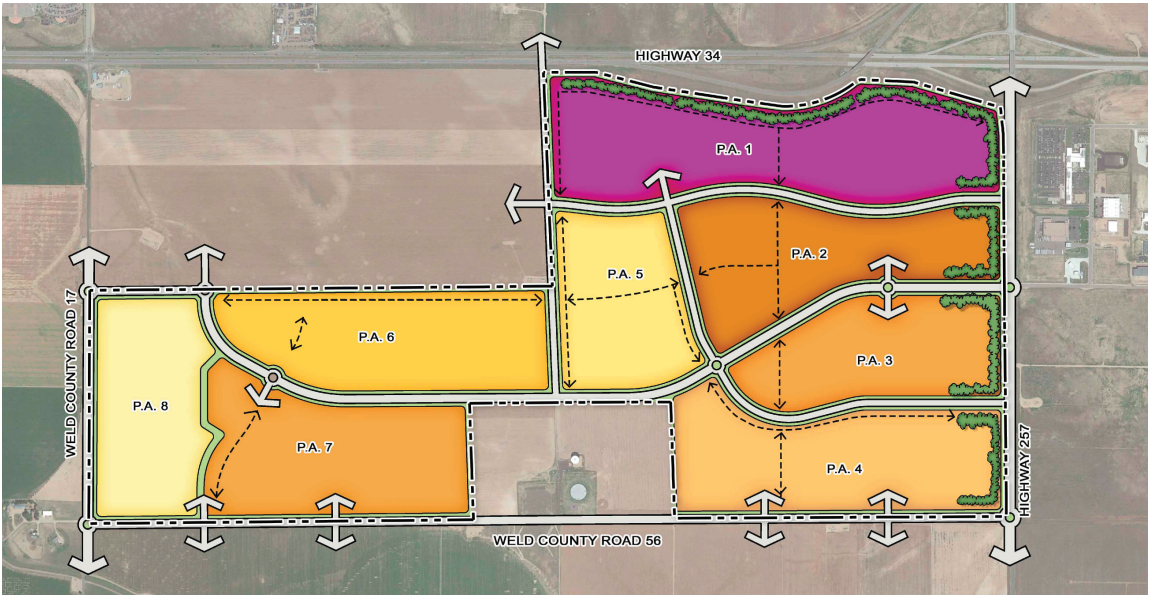
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PUD 2021-0013



TRAILS, DRAINAGE, & DETENTION THEME

TRAILS, DRAINAGE, AND DETENTION ARE ENVISIONED TO BE AESTHETIC ENHANCEMENTS WHICH ARE INTEGRATED MULTI-FUNCTIONAL OPEN SPACE CORRIDORS, PEDESTRIAN CONNECTIVITY OPPORTUNITIES, AND STORMWATER AND WATER QUALITY FACILITIES. TRAILS ARE SITED WITHIN UTILITY EASEMENTS, DRAINAGE CORRIDORS, AND LANDSCAPE BUFFERS AND OFFER OPPORTUNITIES FOR RESIDENTS TO ENJOY NATURE AND TRAVEL THROUGH DELANTERO OUTSIDE OF THE ROAD NETWORK. THE DRAINAGE NETWORK AND DETENTION FACILITIES PROVIDE NECESSARY DRAINAGE AND STORMWATER MANAGEMENT FUNCTIONS, BUT ALSO REDUCE POLLUTION IN THE LOCAL WATERSHED, INCREASE GROUNDWATER RECHARGE, REDUCE FLOODING DURING SEVERE STORMS, AND REDUCE COST OF ENGINEERED INFRASTRUCTURE.

REQUIRED DESIGN ELEMENTS, SUCH AS SEATING, SIGNAGE, WASTE RECEPTACLES, AND WATER STATIONS, PROVIDE ACCOMMODATION, NAVIGATION, AND INFORMATION FOR THE SAFETY AND COMFORT OF USERS. OPTIONAL DESIGN ELEMENTS ELEVATE USERS' EXPERIENCES AND PROVIDE ENHANCED OPPORTUNITIES FOR GATHERING AND RECREATION THROUGH SHELTER, VEHICULAR AND BICYCLE PARKING, LIGHTING, PICNIC TABLES, EXERCISE STATIONS, AND GARDENS.

TRAILS, DRAINAGE, & DETENTION IMPLEMENTATION

- TRAILS, DRAINAGE & DETENTION ARE SIZED TO ACCOMMODATE THE NEED OF THE USE.
- THEY MUST INCLUDE ALL THE REQUIRED ELEMENTS AS LISTED FOR EACH USE.
- THEY MUST INCLUDE AT LEAST 3 OF THE OPTIONAL ELEMENTS LISTED.
- ADDITIONAL ELEMENTS NOT LISTED SHALL BE ALLOWED IN THE DESIGN OF TRAILS, DRAINAGE & DETENTION AND MAY BE SUBSTITUTED FOR THE OPTIONAL ELEMENTS WITH CITY OF GREELEY PLANNING APPROVAL.

TRAILS, DRAINAGE, & DETENTION DESIGN ELEMENTS

1. REQUIRED ELEMENTS

- BENCHES: 1 PER $\frac{1}{4}$ MILE OF PAVED OR GRAVEL TRAIL. 4 PER FIRST $\frac{1}{2}$ ACRE AND 2 ADDITIONAL PER ACRE.
- BIKE / HIKE TRAILS
- BOULDER SEATING
- CRUSHER FINES TRAILS
- DOG WASTE STATIONS: MINIMUM 1
- INTERPRETIVE SIGNAGE
- MONUMENT SIGN
- TRASH RECEPTACLES

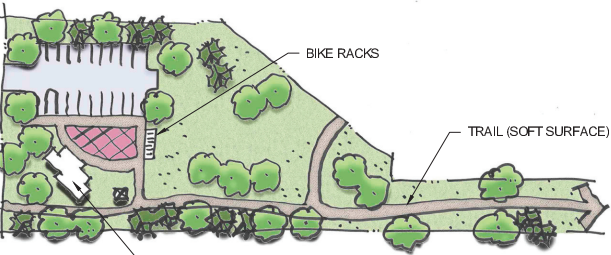
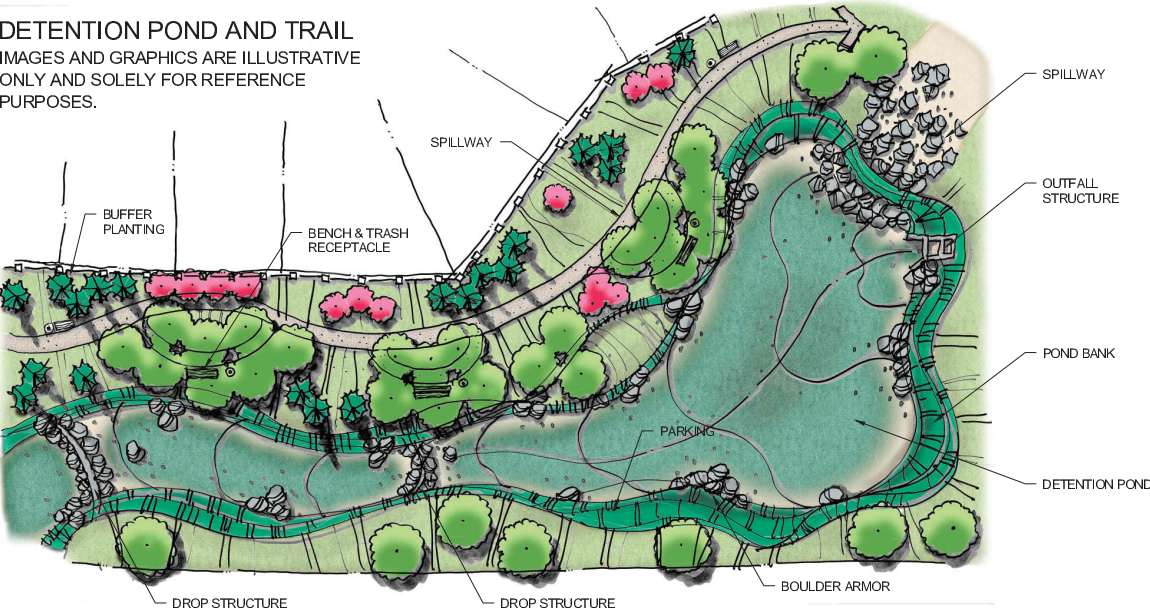
2. OPTIONAL ELEMENTS

- BIKE RACKS
- CONCRETE / ASPHALT TRAILS
- EXERCISE STATIONS: MINIMUM 1 PER MILE INCLUDES A COMBINATION OF PHYSICAL/ACTIVE STATIONS AND ACTIVITY SIGNS
- LIGHTING
- PICNIC TABLES: MINIMUM 4
- FENCING (OPEN RAIL)
- RESPITE GARDENS
- SHELTERS: MINIMUM 1 PER 3 MILES OF TRAIL
- TRAILHEAD PARKING: MINIMUM 1 TRAILHEAD SIGN AND 10 PARKING STALLS. 1 WATER STATION
- WATER STATIONS: MINIMUM 1 PER TRAILHEAD. MINIMUM 1 FOR EQUESTRIAN ACCESS.

CONCEPTUAL DESIGNS ILLUSTRATED HEREIN EXPRESS INTENT FOR PARK AND OPEN SPACE IMPROVEMENTS WITHIN THIS PUD. ACTUAL SITE DEVELOPMENT PLANS AND SPECIFIC IMPROVEMENTS SHALL COMPLY WITH THEME, DESIGN ELEMENTS AND IMPLEMENTATION REQUIREMENTS OF THE PUD. ALL IMPROVEMENTS WITHIN PLANNING AREAS SHALL BE CARRIED OUT OVER MULTIPLE PHASES AND FINAL PLATS AS DEVELOPMENT OCCURS.

DETENTION POND AND TRAIL

IMAGES AND GRAPHICS ARE ILLUSTRATIVE ONLY AND SOLELY FOR REFERENCE PURPOSES.



TRAILHEAD

IMAGES AND GRAPHICS ARE ILLUSTRATIVE ONLY AND SOLELY FOR REFERENCE PURPOSES.



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STRATUS COMPANIES
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GREENWOOD VILLAGE, CO 80111
PHONE: (720) 214-5000



DELANTERO P.U.D.

GREELEY, CO

TRAILS, DRAINAGE, AND DETENTION

PROJECT #: 201048
DRAWN BY: ML, CQ, JO
CHECKED BY: RH

ISSUE RECORD

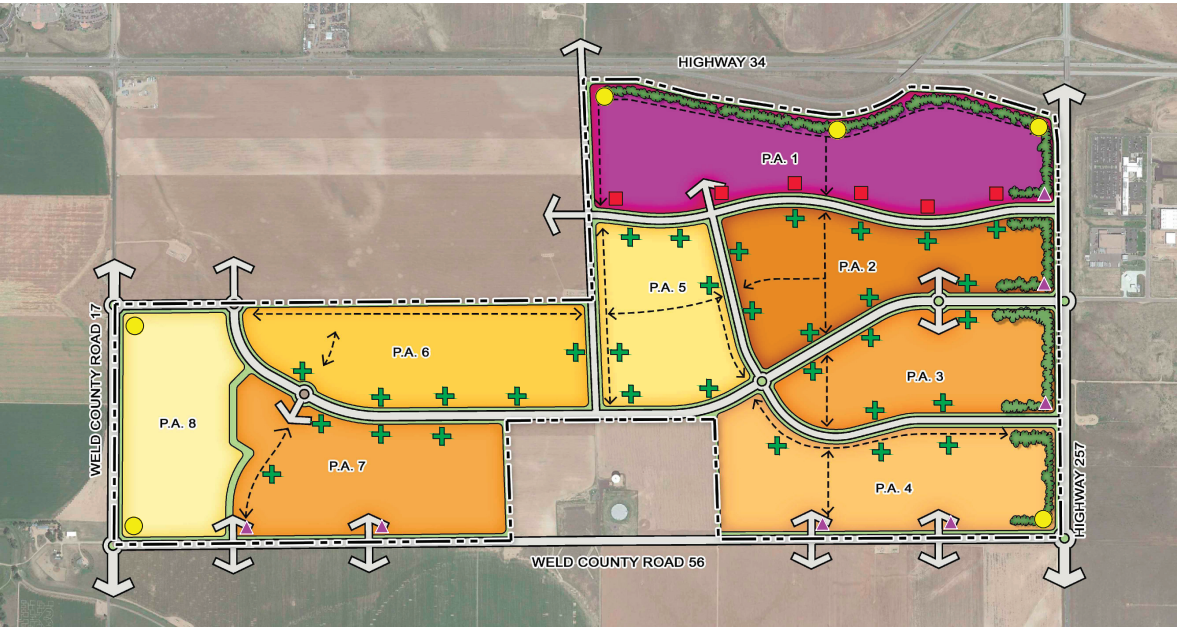
1st SUBMITTAL	04-27-2021
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5th SUBMITTAL	04-11-2022

SHEET NUMBER

V7.0

DELANTERO P.U.D.

A PARCEL OF LAND BEING PARTS OF SECTION 15 AND A PART OF THE SOUTH ONE-HALF OF SECTION 16,
TOWNSHIP 5 NORTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
PUD 2021-0013



LEGEND

- POTENTIAL GATEWAY MONUMENT LOCATION
- POTENTIAL COMMUNITY MONUMENT LOCATION
- POTENTIAL COMMERCIAL MONUMENT LOCATION
- QUANTITIES AND LOCATIONS OF NEIGHBORHOOD MONUMENTS WILL BE DETERMINED AT PRELIMINARY PLAT/FINAL PLAT

MONUMENTS AND SIGNAGE THEME

WITHIN DELANTERO, MONUMENTS AND SIGNAGE FUNCTION TO PROVIDE INFORMATION FOR NAVIGATION, LOCATION, IDENTIFICATION, EDUCATION, AND SAFETY TO RESIDENTS AND VISITORS OF DELANTERO; AND TO HELP UNIFY NEIGHBORHOODS INTO A COHESIVE COMMUNITY WITH CONSISTENT USE OF MATERIALS AND COLORS.

GATEWAY MONUMENTS AND SIGNAGE IDENTIFY THE DELANTERO COMMUNITY TO THE REGIONAL DRIVERS AND PEDESTRIANS BY VIRTUE OF ITS PROMINENT SIZE, LOCATION, AND DESIGN ALONG HIGHWAYS 34, 257, AND 17. COMMUNITY, COMMERCIAL, AND NEIGHBORHOOD SIGNAGE ECHO THE CHARACTER, MATERIALS, AND THEME OF THE GATEWAY MONUMENT AT SCALED-DOWN SIZES. SIGNAGE FOR TRAILS AND PARKS WILL IDENTIFY AND PROVIDE IMPORTANT INFORMATION ABOUT COMMUNITY OPEN SPACE. INTERPRETIVE SIGNS WILL COMMUNICATE INFORMATION OF SCIENTIFIC, HISTORIC, CULTURAL, OR GEOGRAPHIC INTEREST. DELANTERO WILL MAKE SURE TO CONVEY INFORMATION ABOUT LOCAL RULES AND REGULATIONS TO ENSURE THE HEALTH, SAFETY, AND WELFARE FOR EVERYONE WITHIN THE DELANTERO COMMUNITY.

MONUMENTS AND SIGNAGE IMPLEMENTATION

- DESIGNS FOR SIGNAGE AND MONUMENTATION SHALL BE INTEGRATED IN CHARACTER AND SCALE WITHIN THE DELANTERO COMMUNITY.
- THE DELANTERO COMMUNITY SHALL BE MARKED BY A SINGLE GATEWAY MONUMENT SIGN IN PROXIMITY TO HIGHWAY 34.
- A COMMUNITY MONUMENT SIGN SHALL BE LOCATED AT EACH OF THE MAJOR VEHICULAR ENTRIES FROM HIGHWAYS 257 AND 17 INTO DELANTERO.
- COMMERCIAL/TENANT, DIRECTIONAL, NEIGHBORHOOD, TRAILS/PARKS, INTERPRETIVE, AND RULES & POSTING SIGNAGE SHALL BE LOCATED AS NECESSARY IN SUFFICIENT QUANTITIES, HEIGHTS, AND SIZES TO PROVIDE ADEQUATE NAVIGATION, INFORMATION, IDENTIFICATION, AND SAFETY TO RESIDENTS AND VISITORS.
- SETBACKS FOR SIGNAGE AND MONUMENTATION SHALL FOLLOW EXISTING CODE.
- ADDITIONAL ELEMENTS NOT LISTED SHALL BE ALLOWED WITH CITY OF GREELEY PLANNING APPROVAL.

CONCEPTUAL DESIGNS ILLUSTRATED HEREIN EXPRESS INTENT FOR PARK AND OPEN SPACE IMPROVEMENTS WITHIN THIS PUD. ACTUAL SITE DEVELOPMENT PLANS AND SPECIFIC IMPROVEMENTS SHALL COMPLY WITH THEME, DESIGN ELEMENTS AND IMPLEMENTATION REQUIREMENTS OF THE PUD. ALL IMPROVEMENTS WITHIN PLANNING AREAS SHALL BE CARRIED OUT OVER MULTIPLE PHASES AND FINAL PLATS AS DEVELOPMENT OCCURS.

GATEWAY CORNER
IMAGES AND GRAPHICS ARE
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FOR REFERENCE PURPOSES.



MONUMENTS AND SIGNAGE DESIGN INTENT

REQUIRED ELEMENTS	LOCATION	HEIGHT	SIZE ¹
GATEWAY	ALONG HIGHWAY 34	35' HT	80 SF SIGN FACE EACH SIDE, 250 SF OVERALL SIGN AREA
COMMUNITY	LOCATED AT COMMUNITY ENTRANCES ALONG HIGHWAY 257, CR 56, AND CR 17	11' HT	18 SF SIGN FACE EACH SIDE, 120 SF OVERALL SIGN AREA EACH SIDE, DOUBLE SIDED
NEIGHBORHOOD	LOCATED ALONG COLLECTOR ROADS AT NEIGHBORHOOD ENTRANCES (INTERNAL MONUMENTS NOT SHOWN ON GRAPHIC)	6-8' HT	14 SF SIGN FACE EACH SIDE, 52 SF OVERALL SIGN AREA EACH SIDE, DOUBLE SIDED
COMMERCIAL/TENANT	DETERMINED BY DEVELOPER AND SUBJECT TO APPROVAL BY CITY AT THE TIME OF FINAL PLAT AND SITE PLAN.	FOR COMMERCIAL/MIXED USES, 12' HT. FOR COMMERCIAL ONLY USES, 35' HT.	FOR COMMERCIAL/MIXED USES, 33 SF. FOR COMMERCIAL ONLY USES, 50 SF.
DIRECTIONAL	DETERMINED BY DEVELOPER AND SUBJECT TO APPROVAL BY CITY AT THE TIME OF FINAL PLAT AND SITE PLAN.	6-8' HT	PER EXISTING CITY CODE.
TRAILS/PARKS	DETERMINED BY DEVELOPER AND SUBJECT TO APPROVAL BY CITY AT THE TIME OF FINAL PLAT AND SITE PLAN.	6-8' HT	PER EXISTING CITY CODE.
INTERPRETIVE	DETERMINED BY DEVELOPER AND SUBJECT TO APPROVAL BY CITY AT THE TIME OF FINAL PLAT AND SITE PLAN.	4-8' HT	PER EXISTING CITY CODE.
RULES & POSTING (HOA/CITY/USE)	DETERMINED BY DEVELOPER AND SUBJECT TO APPROVAL BY CITY AT THE TIME OF FINAL PLAT AND SITE PLAN.	4-6' HT	PER EXISTING CITY CODE.
¹ TERMS PER CITY OF GREELEY SIGN CODE DEFINITIONS			

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GREELEY, CO

MONUMENTS AND SIGNAGE

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GREELEY, CO

MONUMENTS AND SIGNAGE

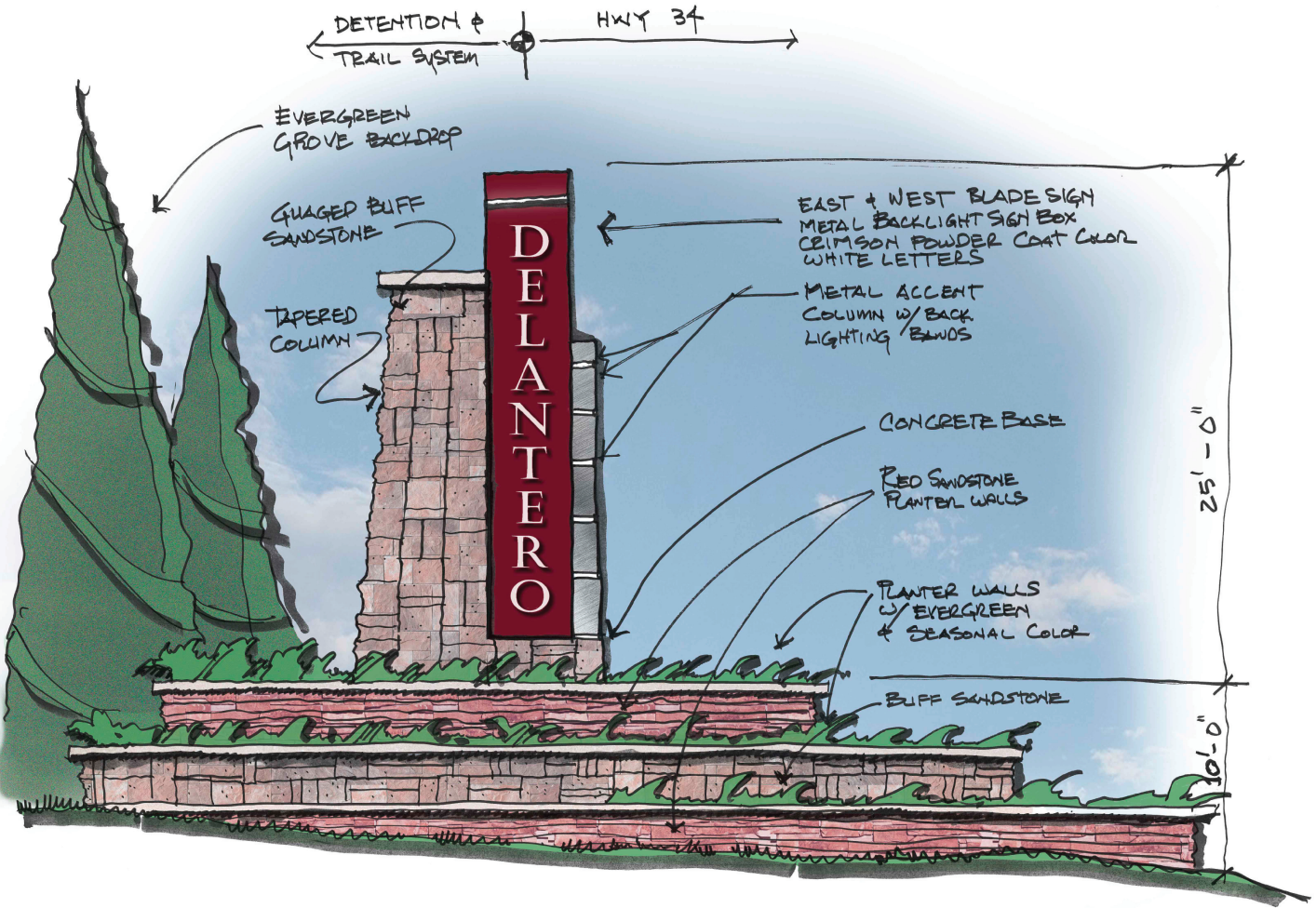
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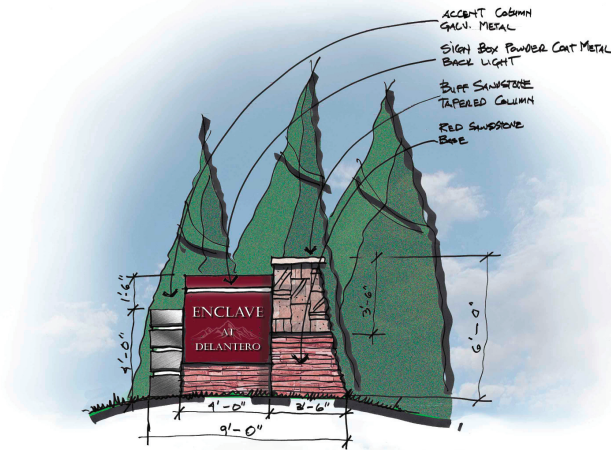
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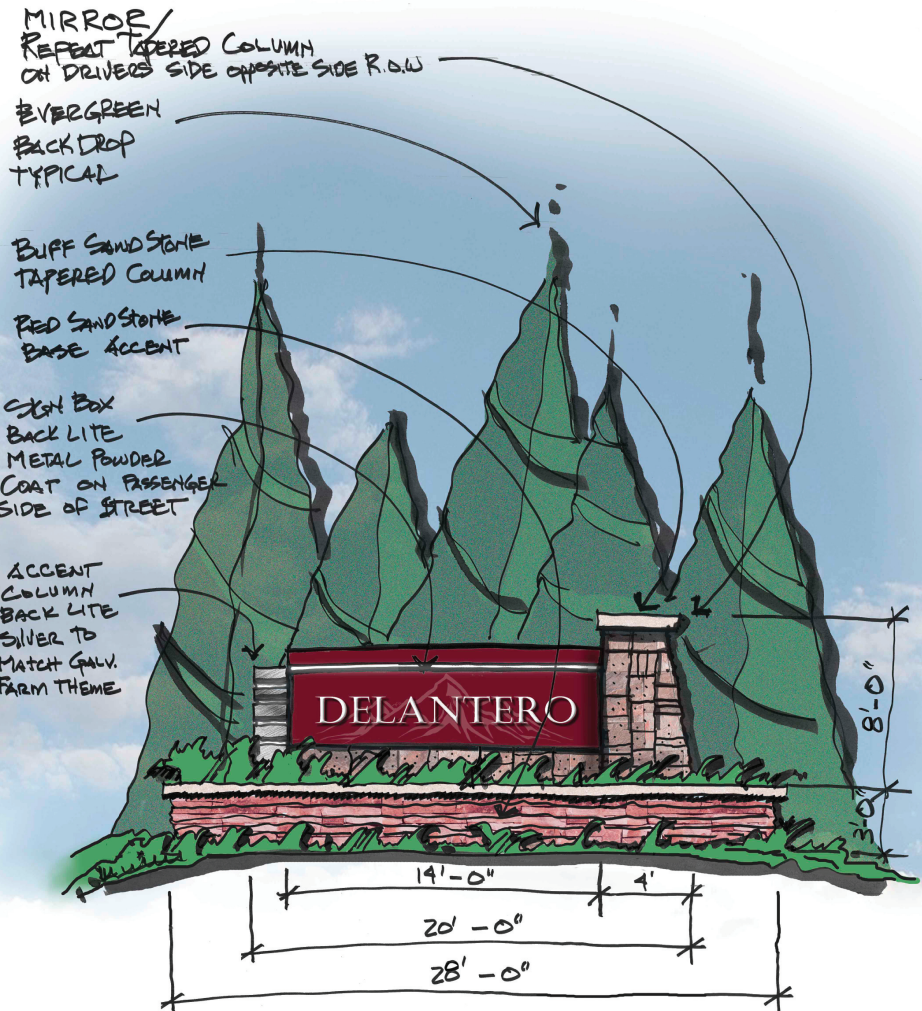


GATEWAY CORNER MONUMENT AND SIGNAGE
LOCATED ALONG HIGHWAY 34

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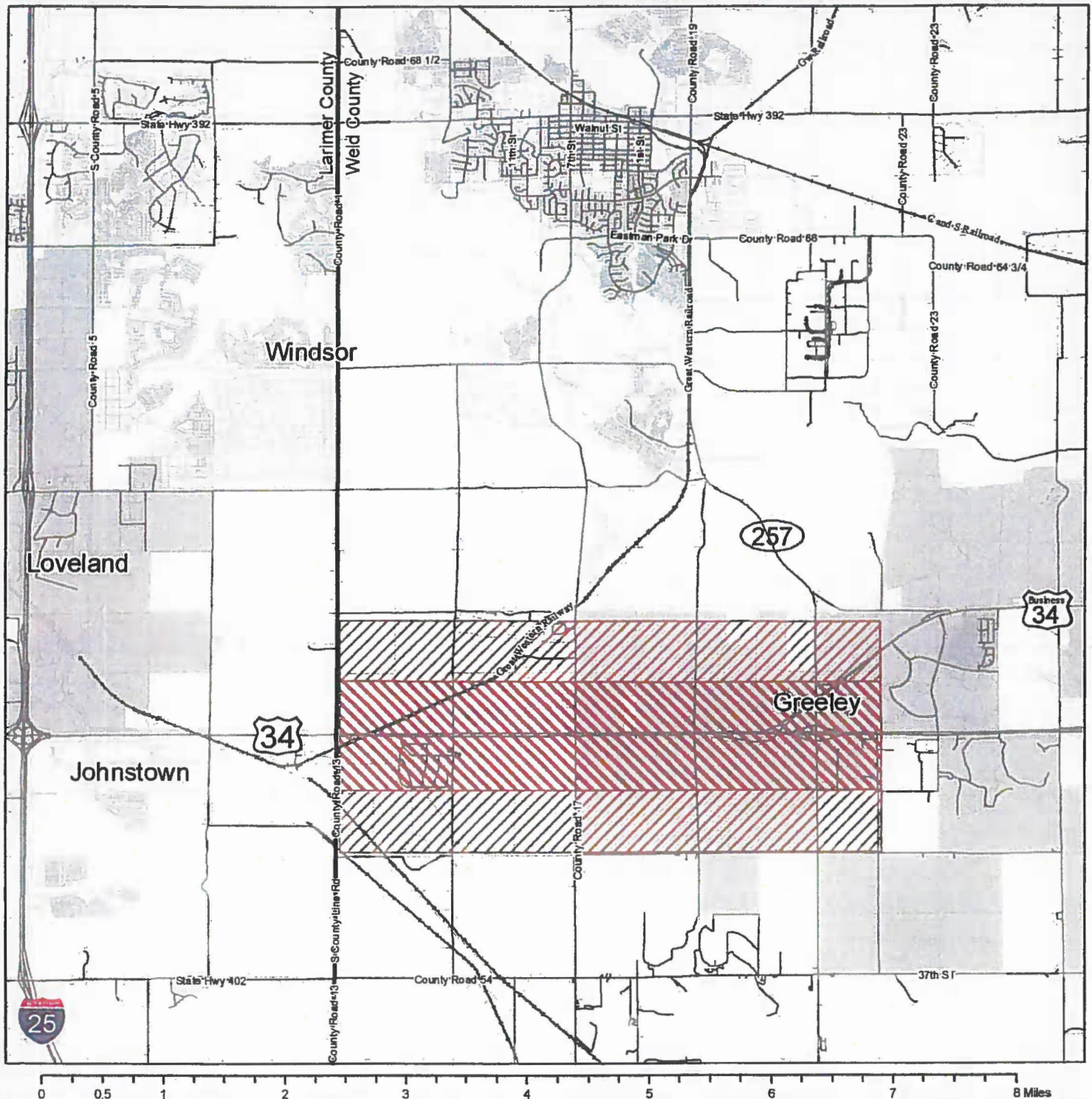


NEIGHBORHOOD MONUMENT AND SIGNAGE
LOCATED ALONG THE COLLECTOR ROADS AT NEIGHBORHOOD ENTRANCES





COMMUNITY MONUMENT AND SIGNAGE
LOCATED AT COMMUNITY ENTRANCES ALONG HIGHWAY 257, CR 56, AND CR 17

Exhibit A - Cooperative Land Use Annexation and Utility Areas (CLUA)



Greeley

Created: September 24th 2007
By: City of Greeley, GIS

-  Primary Cooperative Land Use Annexation and Utility Area
-  Secondary Cooperative Land Use Annexation and Utility Area



County Line

— Rail

 Parcels

— Street Centerlines

} City Limits





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Exhibit "B"

US HWY 34 LAND USE, SITE AND BUILDING STANDARDS

The following land use and development standards are blended elements of the City of Greeley and Town of Windsor Development Codes and provide Overlay Development Standards for a portion of that area known as the "Strategic Employment Development Corridor (SEDC)" as described in the City of Greeley 2020 Comprehensive Plan west of State Hwy 257 (SH 257) as illustrated on the attached Exhibit A and hereinafter referred to as "Greeley/Windsor Employment Corridor (G/WEC)."

I. LAND USE

A. PRINCIPAL EMPLOYMENT CORRIDOR

1. Physical Area Defined:

The boundary of the principal G/WEC is ½ mile north and south of the US Hwy 34 west of SH 257 and east of WCR 13 (County Line Road);

2. Allowed Land Uses:

As described in the Comprehensive Planning documents for Greeley and Windsor the US Hwy 34 travel corridor is the preferred location for a mix of regional employment and community separator types of land uses. The principal land uses allowed in this corridor shall relate to principal employment functions, such as professional business park uses (e.g. "FIRE: Finance, Insurance, Real Estate"), light industrial and select medium industrial uses and special regional destination uses. Outside storage is not permitted in this area unless fully screened from all rights-of-way and adjacent non-industrially zoned lands, and where incidental clearly subordinate to the principal land use. The following land uses are considered principal uses in this corridor; further subject to the zoning district standards and review processes in the governing jurisdiction.

- * adult schools, e.g. college or university facility, trade or business school
- * amusement park
- * arena or auditorium
- * assembly
- * beverage processing
- * driving range
- * fabrication
- * farming
- * financial institution



3556256 05/23/2008 02:46P Weld County, CO
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- * food processing (fully-enclosed facilities with no adverse environmental impacts)
- * golf course
- * greenhouse or nursery
- * hospital
- * kennels and animal care facilities
- * mail center
- * manufacturing (fully enclosed, light manufacturing activities)
- * medical supply
- * office
- * open space
- * publishing firms
- * quasi-public facilities (museum, fire & police, zoo, aquarium)
- * radio station
- * research/development lab
- * sports arena
- * stable
- * studios
- * television station
- * testing lab
- * theme park
- * transportation facilities (light rail stations and public transportation depots are permitted. Truck terminals and truck stops are prohibited)
- * veterinary clinics
- * warehouse
- * wholesale goods

Other accessory and supportive land uses, such as restaurants, are allowed only if incidental to the principal land use and located within an established employment, business or industrial park setting.

Retail operations representing "destination commercial" uses may be allowed on a case by case basis following the development referral process as described in this Exhibit and when mutually agreed upon by Greeley and Windsor in writing.

B. SECONDARY CORRIDOR AREA

1. Physical Area Defined:

The boundary of the secondary G/WEC area begins ½ mile back of the Principal Employment Corridor boundaries north and south of the US Hwy 34.



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2. Allowed Land Uses:

Allowed land uses are those permitted within the annexing jurisdiction and may include residential, retail, restaurant, neighborhood commercial and other institutional uses as may be defined by the annexing jurisdiction.

II. SITE DESIGN

A. BUILDING ORIENTATION:

All portions of buildings facing a right-of-way shall be designed and oriented to offer a "front door" level of design to the traveling public (criteria for architectural treatments defined in Section III, below).

B. BUILDING AND STRUCTURE SETBACK:

All buildings and other structures, such as parking lots, shall be setback at least 100' from US Hwy 34. Setbacks from other rights-of-way shall be in accord with the jurisdiction within which the site is located.

C. LANDSCAPING:

Landscaping and buffering shall be designed and approved in accordance with the landscaping requirements of the jurisdiction within which the site is located and shall be designed in such a way as to present a coordinated entryway treatment along US Hwy 34 and WCR 17.

D. FENCING

Fencing used as part of a landscape treatment shall be designed and approved in accordance with the fencing requirements associated with landscaping of the jurisdiction within which the site is located and shall be designed in such a way as to present a coordinated entryway treatment along US Hwy 34 and WCR 17. No chain link fencing shall be permitted within the principal corridor area. Any proposals for chain link fencing within the secondary corridor area (1) shall meet all any chain link fencing requirements of the jurisdiction within which the site is located, and (2) must be approved by the municipalities.

E. VEHICULAR ACCESS:

Site access will be provided in limited locations from adjacent arterial roadways and provide inter-connectivity between internal and adjacent land uses.

F. PARKING, LOADING, STORAGE:

The location and design of parking, loading and storage operations shall be designed and approved in accordance with the parking, loading and storage requirements of the jurisdiction within which the site is located.



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III. BUILDING DESIGN

A. ARCHITECTURAL REVIEW STANDARDS:

The design of all buildings and structures in the Principal Employment Corridor shall be designed and approved in accordance with the corridor architectural requirements of the jurisdiction within which the site is located.

B. BUILDING HEIGHT:

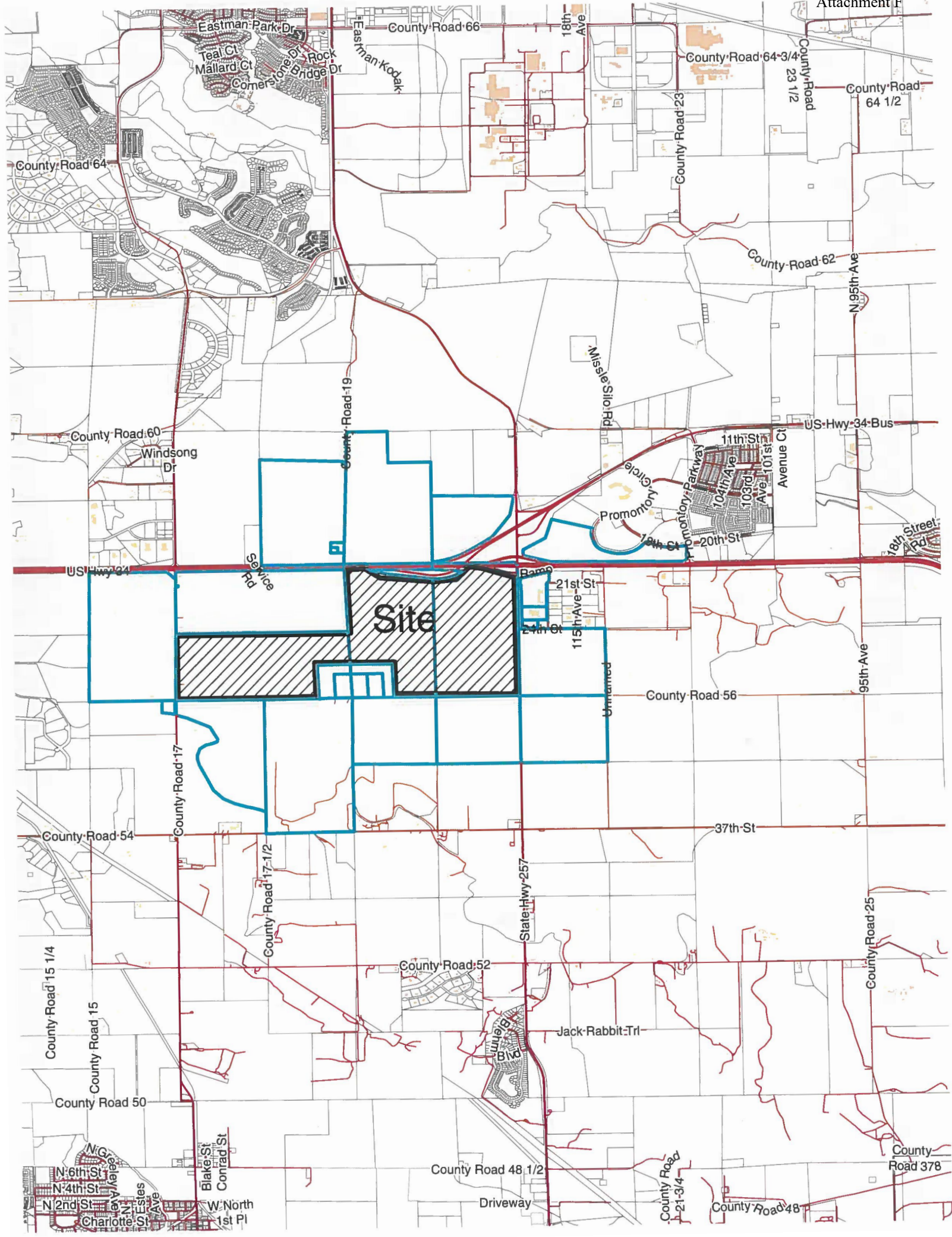
The heights of all buildings and other structures shall be designed and approved in accordance with the height requirements of the jurisdiction within which the site is located.

C. SIGNS:

Allowed signage shall be limited to wall or monument signs and shall be designed and approved in accordance with the sign regulations of the jurisdiction within which the site is located. Pole signs are prohibited.

IV. DEVELOPMENT MANAGEMENT & REFERRAL SYSTEM

The Overlay Character Zone standards for the G/WEC shall be administered by the jurisdiction within which the site is located. Greeley and Windsor shall employ a Development Referral System wherein any project proposed for a land use action including development, redevelopment, subdivision or variance is automatically referred to the other jurisdiction for review and comment in a manner as established herein



May 4, 2022

VIA E-MAIL

City of Greeley
Planning and Zoning
1100 10th Street
Greeley, CO 80631
Planning@greeleygov.com

**NOTICE OF MINERAL INTERESTS AND OIL AND GAS LEASEHOLD
INTERESTS OWNED BY ANADARKO LAND CORP., ANADARKO E&P
ONSHORE LLC AND KERR-McGEE OIL & GAS ONSHORE LP AND
OBJECTION**

Re: Delantero PUD Rezone (ZON2021-0009) and Preliminary PUD Plan
(PUD20210013)
Stratus Companies, LLC – Property Owner or “Applicant”
Township 5 North, Range 67 West, 6th P.M.
Section 15: S/2 and Part of the N/2
Section 16: Part of the S/2
Weld County, Colorado, as more particularly described on attached “Exhibit A”
 (“Property”)

To Whom it may concern:

This objection and notice letter is submitted to Town of Greeley (“Town”) on behalf of Anadarko Land Corp. (“ALC”), Anadarko E&P Onshore LLC (“AEP”), and Kerr-McGee Oil & Gas Onshore LP (“KMOG”) with respect to the application for PUD rezoning and the application for Preliminary PUD Plan that has been filed with the Town by Stratus Companies, LLC (“Applicant”) for the property shown and listed above.

ALC and AEP (together the “Anadarko entities”) own the minerals that underlie the property located in Section 15. KMOG owns oil and gas leasehold interests in the Property.

The Anadarko entities and KMOG wish to give notice to the Town of the mineral interests and oil and gas leasehold interests they own under the Property and make the Town aware that the approval of a final application for zoning and preliminary PUD Plan may significantly impact the prospective development of the minerals and oil and gas interests that underlie the Property. The Anadarko Entities and KMOG object to the approval of a final application for development until agreements on surface use are reached among the Anadarko entities, KMOG and the Applicant covering the Property.

The following are comments in support of this Notice and Objection:

1. The Mineral Resources Owned by ALC

ALC owns all of the hard rock minerals, including the coal, that underlies Section 15. ALC has reviewed the Property for coal resource potential and determined that the Property is underlain with Laramie Formation coal.

2. The Oil and Gas Resources Owned by the Anadarko Entities.

The Anadarko entities together own all of the oil and gas that underlies Section 15, and Kerr-McGee owns oil and gas leasehold interests for the Property.

3. There is Clear Statutory Authority and Direction for the Town to Take Into Account the Rights of Mineral Interest Owners in Its Consideration of Applications for Development.

The State of Colorado recognizes the important rights of mineral owners and lessees in C.R.S. § 30-28-133(10) which states and acknowledges that both the mineral estate and the surface estate are interests in land and that the two interests are “separate and distinct.” The subsection specifically recognizes that the owners of subsurface mineral interests and their lessees have “the same rights and privileges as surface owners.”

4. Owners of Split Estates Must Exercise Their Rights in a Way that Gives Due Regard to the Rights of the Other.

Colorado law provides that the mineral owner has the right of reasonable access to and use of the surface estate to extract minerals and that the mineral estate owner and the surface estate owner are to give due regard to the rights of the other and reasonably accommodate each other’s rights.

5. The Anadarko Entities and KMOG Have Entered into Many Agreements with Developers With Respect to the Disposition of the Minerals at the Time that the Developer Proposes to Develop the Surface Estate, and the Public Interest is Served by the Parties Entering into Such an Agreement.

The mineral assets have significant value and consequently the Anadarko entities and KMOG are concerned that the approval by the Town of an application for development of the Property and the subsequent build-out of the Property may impair their ability to develop their minerals and oil and gas interests.

Any future surface development plans approved by the Town should incorporate and designate lands to be set aside for oil and gas development and expressly provide protection for future wells, pipelines, gathering lines and related oil and gas facilities and equipment.

Approval of any surface development plan that forecloses the rights of mineral and leasehold owners may be a compensable taking.

The Anadarko entities and KMOG have extensive mineral and oil and gas leasehold interests throughout the State of Colorado and have successfully worked with many parties who wish to develop the surface estate in order to assure the compatible development of the surface estate and the oil and gas estate or some other disposition of the minerals.

The practice of the Anadarko entities and KMOG is to meet with surface owners to reach a mutually acceptable surface agreement and agreement for the disposition of the hard rock mineral interests. The Anadarko entities and KMOG have been in discussions with the Applicant on this matter; however, no agreement has been reached to date. Because no agreement has been reached between the parties that covers the Property, and in order to protect their mineral and oil and gas interests and private property rights, the Anadarko entities and KMOG object to the application and request that the Town make any approval of a final application for development of the Property conditioned upon an agreement among the Anadarko entities, KMOG and the Applicant.

Please contact me at 720-929-3205 if you have any questions or comments about this matter. KMOG hopes to conclude a mutually acceptable agreement with the surface owner of the property, and we look forward to working with the City to accomplish its land use planning goals.

Sincerely,
KERR-MCGEE OIL & GAS ONSHORE LP

Evan Johnson
Land Negotiator

cc: Matt Hartford, Counsel
Dave Haertel
Don Jobe

Exhibit A

DESCRIPTION

A parcel of land in Section 15 and the South One-Half of Section 16, Township 5 North, Range 67 West, of the Sixth Principal Meridian, in the City of Greeley, County of Weld, State of Colorado, said parcel being more particularly described as follows:

Basis of Bearings: Bearings are based upon the East line of the Southeast One-Quarter of Section 15, said to bear South 00°30'20" East, a distance of 2628.83 Feet between the monuments listed below:

East One-Quarter Corner of Section 15 - monumented by a 3.25" Aluminum Cap, 0.5' down in a range box with no lid, stamped "COLO. DEPT. OF TRANSPORTATION, T5N R67W, ¼, S15 | S14, 1998, PLS 25951".

Southeast Corner of Section 15 - monumented by a 3.25" Aluminum Cap, 0.3' down in a range box with a lid marked "SURVEY", stamped "FLATIRONS SURVEYING, T5N R67W, S15 | S14, ---, S22 | S23, 1997, LS 16406".

BEGINNING (P.O.B.) at the West One-Quarter Corner of Section 15, monumented by a 2.5" Aluminum Cap, 0.4' below ground surface, stamped "ALLES AND ASSOCIATES, 1/4, T5N 16 | 15 R67W, 2000, PLS 9644", whence said East One-Quarter Corner of Section 15 bears North 89°45'46" East, a distance of 5186.11 Feet; Thence North 02°24'32" West along the West Line of Section 15, a distance of 2423.10 Feet to the South Right-of-Way Line of US Highway 34;

Thence along said South Right-of-Way Line of US Highway 34 the following ten (10) courses:

- 1) North 89°50'59" East, a distance of 592.38 Feet;
- 2) South 75°35'39" East, a distance of 675.40 Feet;
- 3) South 81°19'09" East, a distance of 1052.90 Feet;
- 4) South 82°01'54" East, a distance of 359.30 Feet;
- 5) South 81°58'45" East, a distance of 66.05 Feet to a point of non-tangent curve;
- 6) Northeasterly 904.74 Feet along the arc of a curve to the left, having a radius of 1295.90 Feet and a central angle of 40°00'05", subtended by a chord which bears North 71°27'15" East, a distance of 886.48 Feet;
- 7) North 65°34'45" East, a distance of 52.36 Feet;
- 8) South 87°17'25" East, a distance of 600.77 Feet;
- 9) South 73°48'57" East, a distance of 1027.87 Feet;
- 10) South 05°33'56" East, a distance of 300.47 Feet to the West Right-of-Way Line of Colorado State Highway 257;

Thence South 00°29'51" East along said West Right-of-Way Line (60' West of the East Line of said Section 15), a distance of 1705.32 Feet;

Thence South 00°30'20" East continuing along said West Right-of-Way Line, a distance of 2628.63 Feet to the South Line of said Section 15;

Thence South 89°41'29" West along said South Line of Section 15, a distance of 2489.11 Feet;

Thence South 89°41'33" West continuing along said South Line of Section 15, a distance of 1274.51 Feet to the East Line of a parcel of land described in the Warranty Deed recorded at Reception No. 2943083;

Thence along the East, North and West Lines of said parcel of land described in the Warranty Deed, the following four (4) courses:

- 1) North 01°56'51" West, a distance of 1317.32 Feet;
- 2) South 89°43'46" West, a distance of 1285.53 Feet;
- 3) South 89°27'35" West, a distance of 995.76 Feet;

- 4) South $01^{\circ}55'29''$ East, a distance of 1288.72 Feet to the North Right-of-Way Line of County Road 56 (30' North of the South Line of said Section 16)

Thence South $89^{\circ}25'53''$ West along said North Right-of-Way Line, a distance of 1677.75 Feet;

Thence South $89^{\circ}25'48''$ West continuing along said North Right-of-Way Line, a distance of 2655.09 Feet to the East Right-of-Way Line of County Road 17 (30' East of the West Line of said Section 16);

Thence North $00^{\circ}14'36''$ East along said East Right-of-Way Line, a distance of 2610.62 Feet to the North Line of said South One-Half of Section 16;

Thence North $89^{\circ}28'56''$ East along said North Line of the South One-Half of Section 16, a distance of 5218.53 Feet to the **POINT OF BEGINNING (P.O.B.)**.

The above-described parcel description contains 35,587,874 Square Feet (816.985 Acres), more or less.