

# Lake Bluff

## Preliminary Planned Unit Development Plan - Zoning

Attachment D

developer

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Denver, CO 80218  
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1842 Clarkson Street  
Denver, CO 80218  
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cover sheet

sheet 1  
January 9, 2020

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### project site background

The Lake Bluff Preliminary Planned Unit Development Plan provides land use regulations and standards for the design and development of the community comprising approximately 295 acres. The community is generally situated north of 10th Street (Hwy. 34 Bypass) with 95th Ave. running north along the Eastern edge of the community. Main access points to Lake Bluff from 10th Street will be located at 95th Ave and 101st Ave. On the North side, the community boundary is defined by the Poudre River Bluffs.

### conceptual narrative

The information presented in the accompanying package will demonstrate that the Lake Bluff community will:

- Provide a mix of land uses and connectivity consistent with comprehensive plan policies;
- Provide a community amenity in the form of neighborhood parks and open space, with potential for connection to the Poudre Regional Trail System;
- Promote the implementation of the City's Comprehensive Plan, and long range planning;
- Preserve substantial open space of regional value in the form of the Poudre River Bluffs in perpetuity; and
- Help enable the Promontory office park to continue to attract additional employers and help the existing employers by providing an excellent master-planned community for their employees across the street.

The Lake Bluff community will contain a mix of uses and tax base generation through the incorporation of mixed-use commercial zoning at the intersection of W. 10th Street and 95th Avenue, as well as W. 10th & 101st Ave, and 95th Ave and the 4th St. extension. It is anticipated that this commercial zoning will provide much needed Neighborhood Commercial for both the Lake Bluff project and surrounding neighborhoods such as Promontory, which are lacking in this regard.

Further, the Lake Bluff community will provide a master planned community capable of supporting most of the residential needs of major employers in and to the west of Greeley. Lake Bluff will include a mix of residential types ranging from Multifamily Attached units to large Single Family Detached homes and lots, and will do so in a fashion that encourages diversity and enhancement of the socioeconomic mix that will inevitably be present.

Development Code Standards, and Code Standards as amended shall prevail if PUD standards do not apply



# PROPERTY BOUNDARY MAP

## PART OF THE E 1/2 OF SECTION 1, T5N, R67W, 6TH P.M., CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO

### AS-MEASURED PERIMETER DESCRIPTION:

A TRACT OF LAND SITUATED IN THE EAST HALF (E1/2) OF SECTION ONE (1), TOWNSHIP FIVE NORTH (T.5N), RANGE SIXTY-SEVEN WEST (R.67W), OF THE SIXTH PRINCIPAL MERIDIAN (6TH P.M.), CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SECTION 1 IN TOWNSHIP FIVE NORTH (T.5N), RANGE SIXTY-SEVEN WEST (R.67W), OF THE SIXTH PRINCIPAL MERIDIAN (6TH P.M.) AND ASSUMING THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 1 AS BEARING SOUTH 87°33'22" WEST A DISTANCE OF 2583.95 FEET AND WITH ALL BEARINGS HEREIN RELATIVE THERETO;

THENCE ON THE SOUTH LINE OF THE SOUTHEAST QUARTER (SE¼) OF SAID SECTION 1 SOUTH 87°33'22" WEST A DISTANCE OF 1216.95 FEET;

THENCE NORTH 26°36'20" WEST A DISTANCE OF 165.09 FEET TO THE WEST LINE OF THE EAST HALF (E½) OF THE SOUTHEAST QUARTER (SE¼) OF SAID SECTION 1;

THENCE ON SAID WEST LINE NORTH 00°22'27" EAST A DISTANCE OF 199.55 FEET TO THE MOST SOUTHEASTERLY CORNER OF SAID TRACT 1 OF JACKSON SUBDIVISION;

THENCE ON THE SOUTHERLY BOUNDARY OF SAID TRACT 1 THE FOLLOWING FOUR (4) COURSES;

1. SOUTH 87°32'32" WEST A DISTANCE OF 133.64 FEET;
  2. NORTH 03°35'25" WEST A DISTANCE OF 43.50 FEET;
  3. SOUTH 87°32'28" WEST A DISTANCE OF 705.52 FEET;
  4. SOUTH 03°20'55" EAST A DISTANCE OF 347.26 FEET TO THE NORTHEAST CORNER OF A PARCEL DESCRIBED IN A DEED RECORDED AS RECEPTION NO. 3516969;
- THENCE ON THE NORTH LINE OF SAID PARCEL SOUTH 89°51'20" WEST A DISTANCE OF 470.39 FEET TO THE WEST BOUNDARY OF SAID TRACT 1 OF JACKSON SUBDIVISION;
- THENCE ON THE WEST AND NORTH BOUNDARY OF SAID TRACT 1 THE FOLLOWING FIVE (5) COURSES:

1. NORTH 01°41'15" EAST A DISTANCE OF 2694.74 FEET TO THE CENTER QUARTER CORNER OF SECTION 1;
2. NORTH 01°41'06" EAST A DISTANCE OF 2539.17 FEET;
3. NORTH 82°08'59" EAST A DISTANCE OF 959.07 FEET;
4. NORTH 04°44'18" EAST A DISTANCE OF 72.48 FEET TO THE NORTH LINE OF THE NORTHEAST QUARTER (NE¼) OF SAID SECTION 1;
5. SOUTH 87°19'51" EAST A DISTANCE OF 215.02 FEET ON THE NORTH LINE OF THE NORTHEAST QUARTER (NE¼) OF SAID SECTION 1 TO THE EAST SIXTEENTH CORNER OF SECTION 1, TOWNSHIP 5 NORTH (T.5N) RANGE 67 WEST (R.67W) AND SECTION 36, TOWNSHIP 6 NORTH (T.6N) RANGE 67 WEST (R.67W);

THENCE ON THE NORTH LINE OF THE NORTHEAST QUARTER (NE¼) OF SECTION 1 SOUTH 87°19'32" EAST A DISTANCE OF 1164.75 FEET TO THE NORTHEAST CORNER OF SECTION 1;

- THENCE ON THE EAST LINE OF SECTION 1 FOR THE FOLLOWING TWO (2) COURSES:
1. SOUTH 00°58'44" EAST A DISTANCE OF 2663.07 FEET TO THE EAST QUARTER CORNER OF SECTION 1;
  2. SOUTH 00°59'10" EAST A DISTANCE OF 2663.04 FEET TO THE POINT OF BEGINNING;

THE ABOVE DESCRIBED PARCEL CONTAINS 294.635 ACRES.

### BASIS OF BEARING:

THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 1, T5N, R67W BEARS S87°33'22"W FOR 2583.95 FEET BETWEEN THE SOUTHEAST CORNER OF SECTION 1, MONUMENTED WITH A 2 3/8" ALUMINUM PIPE WITH A 3 1/4" ALUMINUM CAP, PLS 25381, 2010, AND THE SOUTH QUARTER CORNER OF SECTION 1, MONUMENTED WITH A 2 3/8" ALUMINUM PIPE WITH AN ILLEGIBLE 3 1/4" ALUMINUM CAP, BASED ON THE (NAD83) COLORADO NORTH OSO1 STATE PLANE COORDINATE SYSTEM.

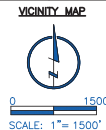
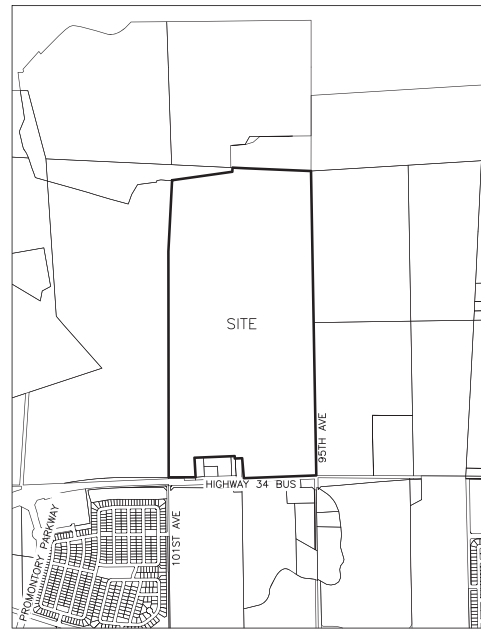
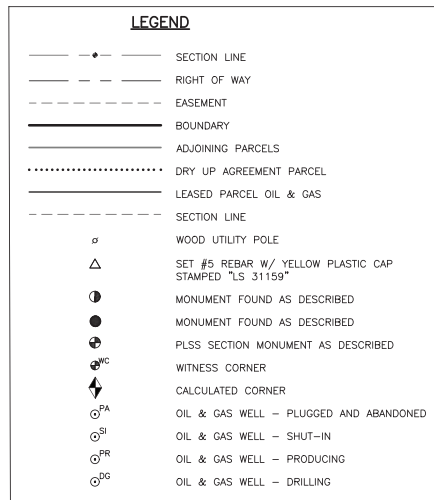
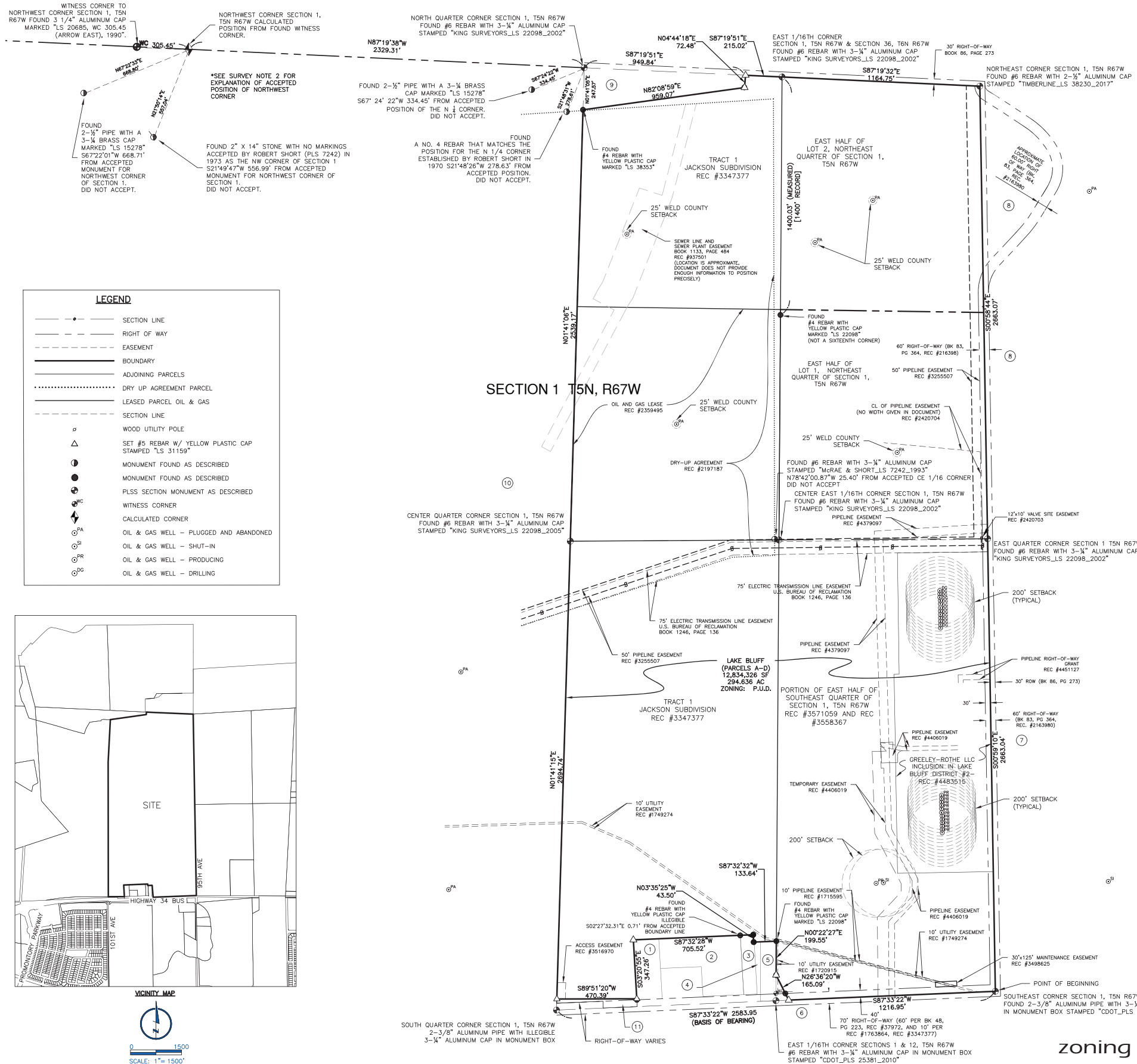
### SURVEYOR CERTIFICATE

I HEREBY CERTIFY THAT THIS PROPERTY BOUNDARY MAP OF PART OF THE EAST HALF OF SECTION 1, T5N R67W, WAS MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF COLORADO.

LAINÉ A. LANDAU COLORADO PLS 31159  
ON BEHALF OF LAMP RYNEARSON & ASSOCIATES, INC.  
EMAIL ADDRESS: LAINE.LANDAU@LAMPRYNEARSON.COM

### OWNERS OF ADJOINING PARCELS





- ① 9955 10TH STREET  
HAMDEH ABDOLMOHAMMADZADEH AND ZANDI AZIZ  
REC NO. 3379896
- ② 9873 10TH STREET A  
EVA KRISTINA EHRENFUCHT REVOCABLE TRUST  
REC NO. 4035561
- ③ 9851 10TH STREET  
JOSEPH E. MALLARD  
REC NO. 4444887
- ④ OWNER UNKNOWN
- ⑤ 9825 10TH STREET  
MARY L. OHLMANN  
REC NO. 3688550
- ⑥ GREELEY-ROTHE LLC  
BOOK 408 PAGE 230
- ⑦ 9333 10TH STREET  
ED ORR AND SUSIE ANN ORR  
REC NO. 4200718
- ⑧ 9333 10TH STREET  
ED ORR AND SUSIE ANN ORR  
REC NO. 4074028
- ⑨ 9955 10TH STREET  
ED ORR AND SUSIE ANN ORR  
REC NO. 3403871
- ⑩ 10925 HW 257 SPUR GREELEY  
DPR GREELEY LLC (43.89%)  
AL'S RENTALS LLC (35.11%)  
POUDRE BAY CAPITAL LLC (11%)  
POUDRE BAY PARTNERS LLC (10%)  
REC NO. 4369421
- ⑪ CO DEPT OF TRANSPORTATION  
REC #3516969

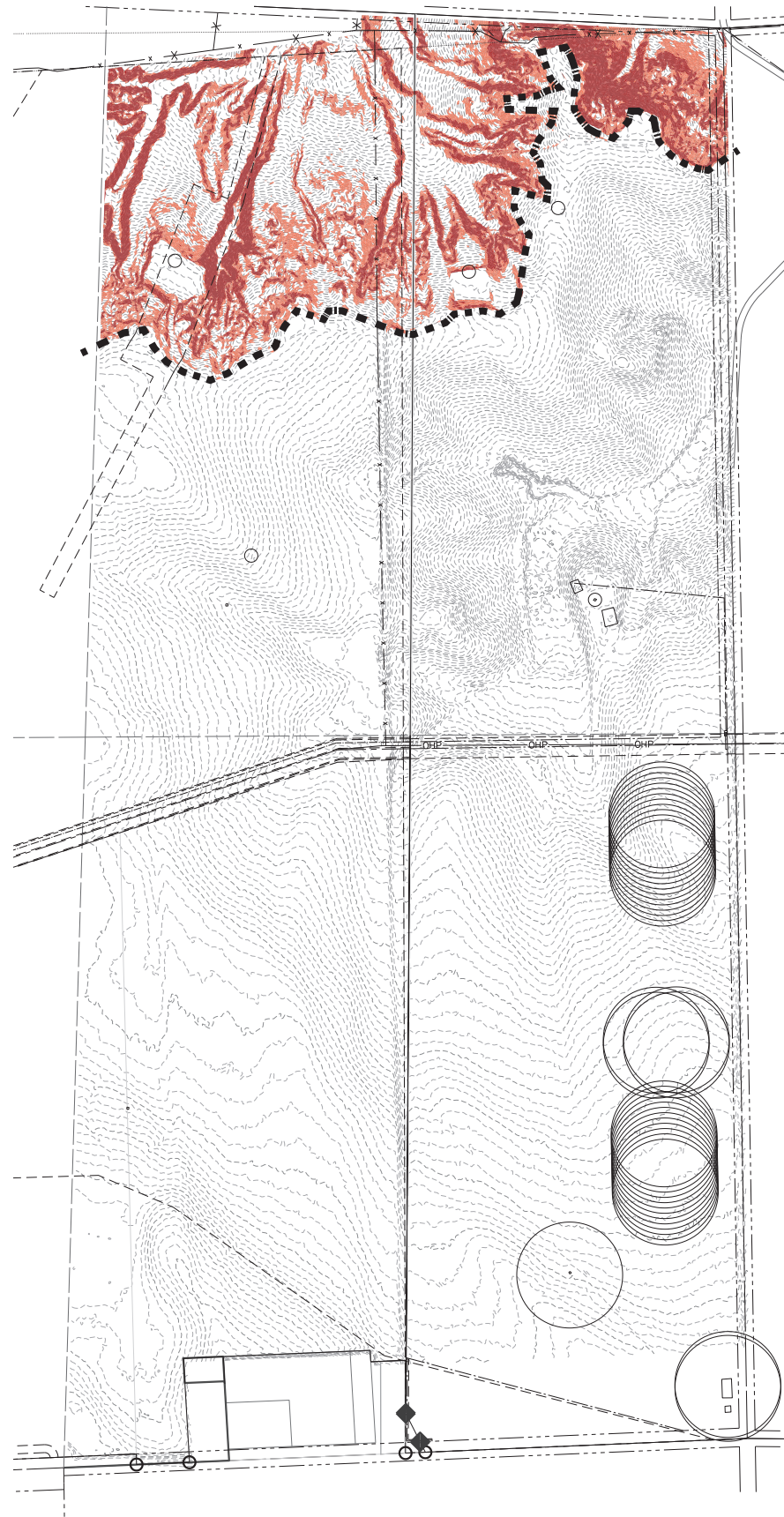


BENCHMARK:  
 DISK IN TOP OF CONCRETE MONUMENT STAMPED NN 169  
 1960, LOCATED NEAR THE INTERSECTION OF HIGHWAY 257  
 AND HIGHWAY 257 SPUR. ELEVATION 4884.32 (NAVD 1988  
 DATUM)

NOTE:  
 FOR PROPERTY BOUNDARY LINE BEARING AND LENGTH  
 INFORMATION, REFER TO THE PROPERTY BOUNDARY MAP  
 SHEET NUMBER 2 IN THIS SET.

Qualifying Slopes

SYM	DESCRIPTION
	Slopes Under 15%
	Slopes 15%-25%
	Slopes Over 25%
	Approximate Top of Bluffs



The slope map is depicting Qualifying Slopes as defined within the general provisions on sheet 5 of this P.U.D., and is based upon GIS topography provided by the City of Greeley. A survey will be performed and more current topography will be utilized to determine actual Qualifying Slopes at the time of final P.U.D. and preliminary plan.

Lake Bluff

Proposed Land use Chart

PUD Submittal Plan							
Land Use Chart							
Parcel	Acreage	Unit Range	Zoned Density (DU/Ac)	Maximum Unit Cap	Maximum Density	Max F.A.R.	% of Site
<b>Lake Bluff Property</b>							
PA-2 - LDR - Low Density Residential	5.1	15 - 25	3 - 5	25	4.9		1.7%
PA-3 - LDR - Low Density Residential	1.5	4 - 7	3 - 5	7	4.7		0.5%
PA-4 - LDR - Low Density Residential	4.0	12 - 20	3 - 5	20	5.0		1.4%
PA-5 - LDR - Low Density Residential	7.8	23 - 39	3 - 5	39	5.0		2.6%
PA-6 - LDR - Low Density Residential	11.9	48 - 71	4 - 6	71	6.0		4.0%
PA-7 - LDR - Low Density Residential	7.5	30 - 45	4 - 6	45	6.0		2.5%
PA-9 - LDR - Low Density Residential	10.5	42 - 63	4 - 6	63	6.0		3.6%
PA-10 - LDR - Low Density Residential	1.2	4 - 7	4 - 6	7	5.8		0.4%
PA-11 - MDR - Medium Density Residential	5.7	22 - 46	4 - 8	46	8.1		1.9%
PA-13 - MDR - Medium Density Residential	3.2	12 - 26	4 - 8	26	8.1		1.1%
PA-17 - MDR - Medium Density Residential	4.7	18 - 38	4 - 8	38	8.1		1.6%
PA-18 - MDR - Medium Density Residential	3.8	19 - 38	5 - 10	38	10.0		1.3%
PA-20 - MDR - Medium Density Residential	1.8	9 - 18	5 - 10	18	10.0		0.6%
PA-24 - MDR - Medium Density Residential	6.3	31 - 63	5 - 10	63	10.0		2.1%
PA-25 - MDR - Medium Density Residential	9.0	45 - 90	5 - 10	90	10.0		3.1%
PA-29 - MDR - Medium Density Residential	2.6	13 - 26	5 - 10	26	10.0		0.9%
PA-31 - MDR - Medium Density Residential	2.3	11 - 23	5 - 10	23	10.0		0.8%
PA-33 - MDR - Medium Density Residential	13.8	110 - 207	8 - 15	207	15.0		4.7%
Sub-total Single Family Attached/Detached Lots	102.7	468 - 852					43.0%
PA-32 - HDR - High Density Residential	11.9	178 - 298	15 - 25	298	25.0		4.0%
Sub-total Other Residential Parcels	11.9	178 - 298					4.0%
Sub-total of all Residential Parcels	114.6	646 - 1150		1150	10.0		46.8%
PA-16 - MU/CL - Mixed Use Commercial Low	11.3					0.35	3.8%
PA-22 - MU/CL - Mixed Use Commercial Low	20.7					0.35	7.0%
PA-35 - MU/CH - Mixed Use Commercial High	15.8					0.50	5.4%
PA-36 - MU/CH - Mixed Use Commercial High	3.2					0.50	1.1%
PA-27 - Elementary School	10.9						3.7%
Sub-total Non-Residential Parcels	61.9						21.0%
Sub-total of Development Parcels	176.5						
PA-1 - Bluff Preservation & Open Space	54.7						18.6%
PA-8 - Park	4.1						1.4%
PA-12 - Park	0.2						0.1%
PA-19 - Park	0.1						0.0%
PA-23 - Park	6.1						2.1%
PA-26 - Park	0.7						0.2%
PA-28 - Park	0.2						0.1%
PA-30 - Park	0.1						0.0%
Sub-total of Parks & OS Parcels	66.2						22.5%
PA-14 - Detention	8.0						2.7%
PA-15 - Detention	2.7						0.9%
PA-21 - Detention	2.9						1.0%
PA-34 - Detention	1.8						0.6%
Sub-total of Detention Ponds	15.4						5.2%
Road Right-of-Way (outside of PA areas)	36.5						12.4%
Sub-total R.O.W.	36.5						12.4%
Property Total	294.6	646 - 1150					100%

The acreage, proposed uses, residential densities and floor area ratios (FARs) have been identified for each planning area. Planning area acreages shall be allowed to change by up to 20% as neighborhood designs are finalized, without the need to amend this PUD. (A range of unit counts for each parcel are defined in the land use chart. The goal of defining a range of different densities on parcels is to promote creativity and flexibility within the residential component of the Lake Bluff community), while still providing a relative transition of density from the commercial areas in the South to the more sensitive Bluff and open space areas to the North. Residential units that are not utilized within a defined parcel can be transferred into other land use parcels up to the maximum allowable density on the receiving parcel. There are no minimum unit requirements on a given parcel. In no event will a total unit count of 1,150 units be exceeded at Lake Bluff without an amendment of the PUD and supporting documentation.



Density & Open Space Calculations

Total Maximum Unit Count	1150
Total Residential Acreage	114.6
Residential Density	10.0
Parks and Open Space Acreage	66.2
Total Residential Acreage	114.6
Open Space as a Percentage of Residential Area	58%



land use plan  
scale: nts



Public Transit Node

## general provisions

### A. Conformance

Development of this planned community shall conform to all restrictions, regulations and procedures adopted by Ordinance by the City of Greeley, at the time of platting and building permit application, except as expressly provided otherwise in this Planned Unit Development Plan (PUD).

The provisions of this PUD shall prevail and govern the development of this planned community, except where the provisions of the PUD do not clearly address a specific subject. For subjects not addressed herein, the appropriate jurisdictional regulations and codes shall take precedence, and the most restrictive standards, and code standards as amended shall apply.

### B. Effect of the City of Greeley Zoning Ordinance

The provisions of this PUD shall prevail and govern the development of Lake Bluff provided; however, where the provisions of the PUD do not address a specific subject, the provisions of the City of Greeley Zoning Ordinance or any other applicable ordinances, resolutions or regulations of the City of Greeley Development Code standards, and code standards as amended, shall prevail.

### C. Density Variations

In no event shall the total number of 1,150 residential Dwelling Units within all Land Use Parcels as set forth in the Planned Unit Development Plan for Lake Bluff be exceeded. The total number of Dwelling Units actually developed in a Land Use Parcel may be less than the number established on the Planned Unit Development Plan. Remaining units may be transferred to other parcels in whole or in part, in support of the mixed-use concept. Any residential Land Use Parcel may contain up to the maximum density allowed for the receiving parcel as set forth in the Planned Unit Development Plan and as determined by the Developer, without the need to amend this PUD.

In support of a mixed use concept, and for parcels zoned Commercial, dwelling units may be transferred in at the Site Plan stage up to a maximum density of 25 Du/Ac. This increase in the number of permitted Dwelling Units within a commercial Land Use Parcel may be accomplished through a transfer of Dwelling Units from any other Land Use Parcel administratively.

### D. Land Use Parcel Boundaries

Parcel boundaries are shown on the PUD, and are generally determined by their relationship to roads, open space and adjacent land uses. Modifications in Land Use Parcel boundaries and streets are permitted and will occur with planning and engineering refinement. Final parcel boundaries and road alignments shall be determined and shown on a Final PUD, Site Plan or Plat, without any amendment to the PUD being required; provided the changes in the Land Use Parcel area do not exceed 20 percent of the defined parcel.

### E. Construction Standards

Construction shall comply with applicable provisions of the International Building and Mechanical Code, the National Electrical Code, the Colorado Plumbing Code, and other such Codes and the successors thereof, setting for the construction standards as promulgated by the International Conference of Building Officials or other standards-establishing bodies, as are adopted by the City of Greeley.

All future build out shall meet all applicable City of Greeley Codes, Ordinances, Resolutions, Design Criteria, etc. It is also hereby understood that all future build out is subject to additional future City of Greeley reviews and comments prior to final approval and/ or acceptance.

### F. Underground Utility Requirements

All new electrical and communications distribution lines shall be placed underground. All new transmission lines shall be underground unless same cannot be accomplished by direct burial.

### G. Soil Tests

Soil tests for building sites shall be provided at the time of building permit application for the purpose of establishing engineering criteria for building foundation design.

### H. Homeowner Associations

Homeowner Associations (HOAs) composed of property owners in residential areas may be created for the following purposes: a) to provide for the continued development, improvement and maintenance of properties and facilities which it owns or administers, and b) to protect the investment, enhance the value, and control the use of property owned by its members in perpetuity.

Homeowner's Associations shall be created in residential areas where common lands or facilities are to be owned and maintained by the Homeowner's Association.

### I. Metropolitan Districts

The District is a quasi-governmental agency, separate and distinct from the City, and, except as may otherwise be provided for by State or local law or its Service Plan, its activities are subject to review by the City only insofar as they may deviate in a material matter from the requirements of the Service Plan, the Municipal Code, or the Intergovernmental Agreement. It is intended that the District will provide a part or all of the Public Improvements for the use and benefit of all anticipated inhabitants and taxpayers of the District. The primary purpose of the District will be to finance the construction of District Improvements.

The District has also been created to provide ongoing operations and maintenance services as specifically set forth in its Service Plan and as may be stated in any applicable Intergovernmental Agreement.

### J. Administrative Changes

The graphic drawings contained within the Planned Unit Development Plan are intended to depict general locations and illustrate concepts expressed in the narrative provisions of the PUD. They are not intended to be final nor to represent the ultimate build out of Lake Bluff, but rather, they are included to depict potential design solutions that may evolve within the community.

It is the goal of this PUD to serve as a guiding document for the appropriate build out of the Lake Bluff Community. Given the scale of this project, and the associated timeline it will take to develop, it is essential that this PUD be approved with an understanding of inherent flexibility.

In granting final plan approval the City shall allow variations for the purpose of establishing:

1. Final road alignments
2. Final configuration of Lot and tract sizes and shapes;
3. Final Building envelopes;
4. Final access and parking locations;
5. Final parcel definitions;
6. Final signage / monument design; and
7. Landscaping adjustments

### K. Hillside Development

The contiguous bluff area on the northern portion of the property will be preserved in keeping with the City of Greeley Hillside Development Standards and represents approximately 54.7 acres of hillside preservation. Other areas on the property, where slopes over 15% exist, are isolated, not natural and generally related to man-made elements such as farming roads or previous oil and gas infrastructure sites. These isolated areas south of the bluffs will not be considered as qualifying slopes under the Hillside Development Standards and will be allowed to be graded during development, within the land use and open space parcels defined on this PUD.

### L. Roadway Design

The roadways shall comply with the City's current roadway standards.

### M. Amendments to Approved Plans

Major amendments to this Preliminary PUD shall be considered by the City with the subject site property owner acting as the sole applicant. Other property owners within the Lake Bluff Community shall not be required as applicants, nor shall they be required to provide prior approval for the PUD amendment application to proceed. The applicant shall notify all property owners within the Lake Bluff PUD boundaries and the adjacent owners of the proposed PUD amendment(s) under consideration. Notifications to adjacent property owners shall occur 500' from the subject property.

The logo for Lake Bluff, featuring the words "Lake Bluff" in a stylized, handwritten font. The word "Lake" is in a smaller font size than "Bluff". A blue wavy line is positioned below the text, suggesting water. The entire logo is enclosed in a thin black rectangular border.

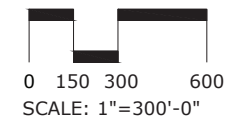
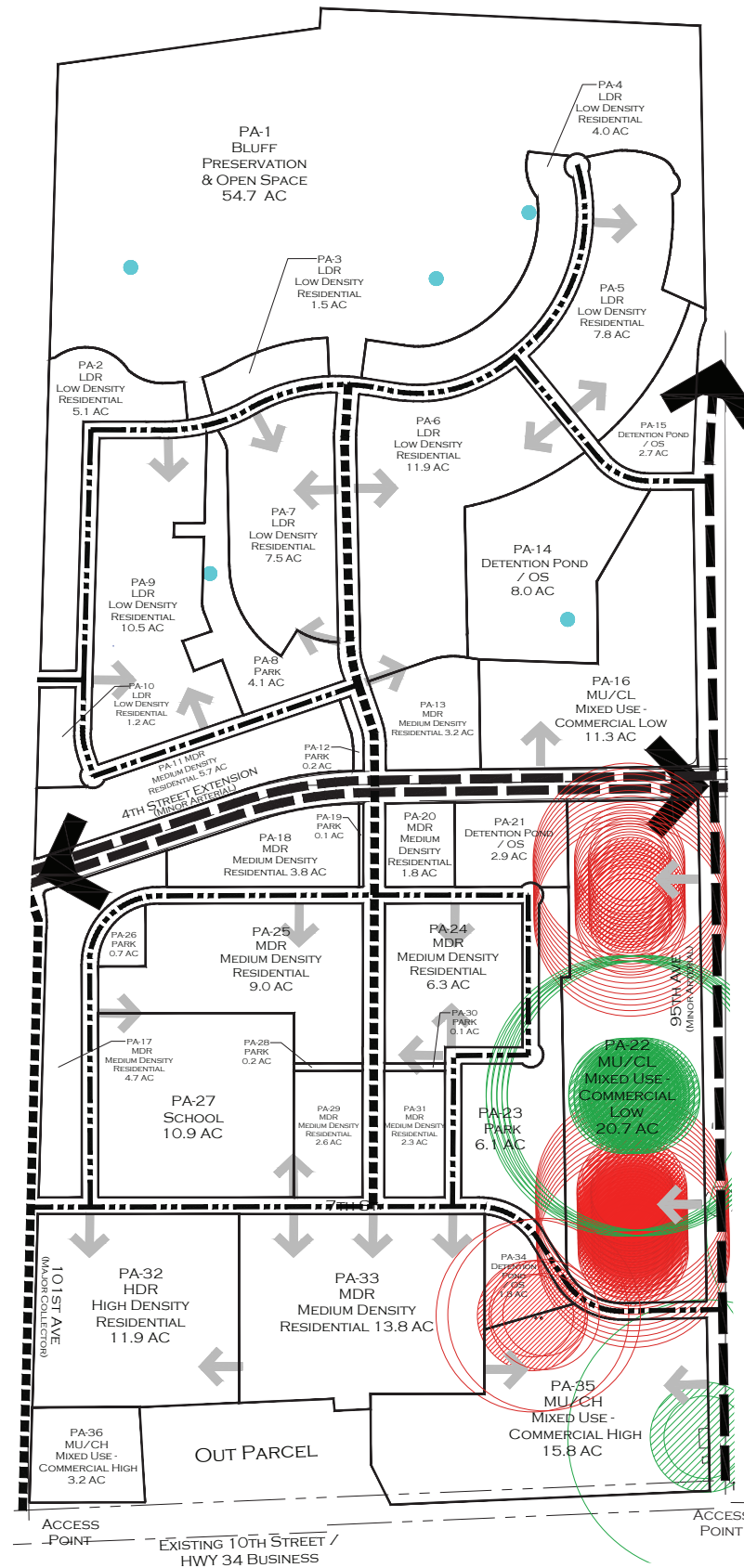
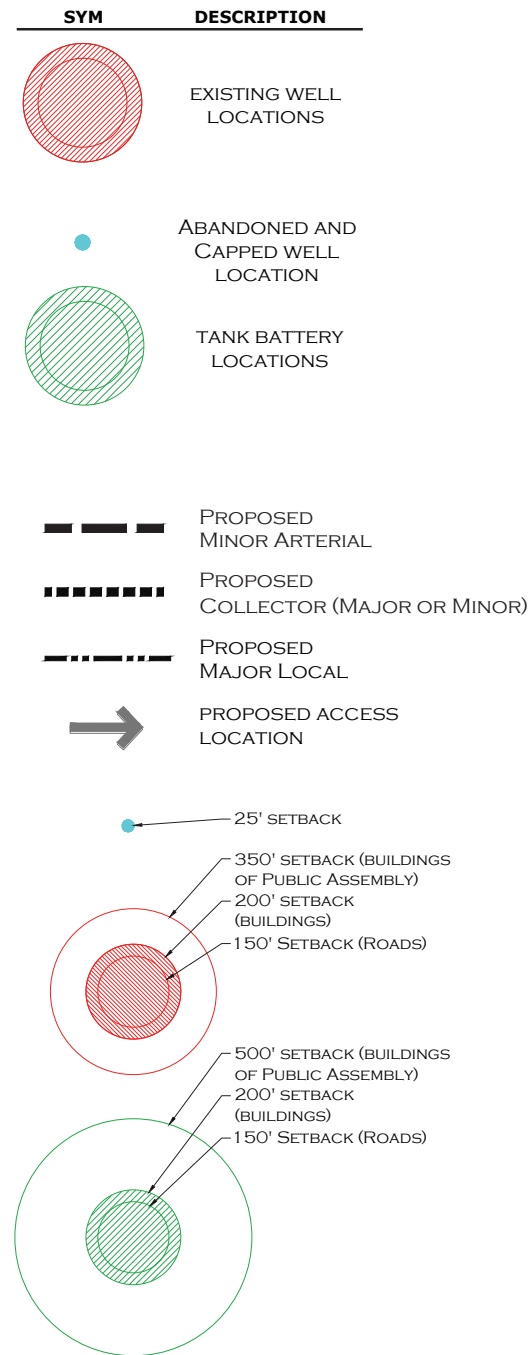
## setting of property

The Lake Bluff property is located generally north of W. 10<sup>th</sup> Street, and extends from east of 95<sup>th</sup> Avenue out to 101<sup>st</sup> Ave to the west. The southern boundary of the property is W. 10<sup>th</sup> Street.

The two main access points to Lake Bluff will occur at 95<sup>th</sup> Ave. (a 2-lane Minor Arterial) and 101<sup>st</sup> Ave. (Major Collector), with the extension of 4<sup>th</sup> Street (a 4-lane Minor Arterial) essentially bisecting the site, in the East West direction. With W. 10<sup>th</sup> Street, 95<sup>th</sup> Ave., and W. 4<sup>th</sup> Street all anticipated to be classified as arterial roadways, this site is well situated for development and extension of infrastructure. The Lake Bluff Metropolitan Districts being formed in conjunction with this application will contain all the land within the project. The District will also be the financing mechanism for extending the infrastructure to the site and construction of trunk infrastructure on site.

The Lake Bluff property is uniquely situated in North West Greeley from two other aspects as well. It is located just after the bend that essentially defines the entrance to the City along the Highway 34 Bypass road. In this regard, the project will serve as a front door to Greeley for any visitors approaching along this route. Also, the Northern boundary of the property is defined by the Poudre River Bluffs, which will be dedicated as open space in perpetuity, and include a trail system with the potential for connection to the Poudre River Trail.

## Legend



Lake Bluff

LAND USE DESIGNATION MATRIX

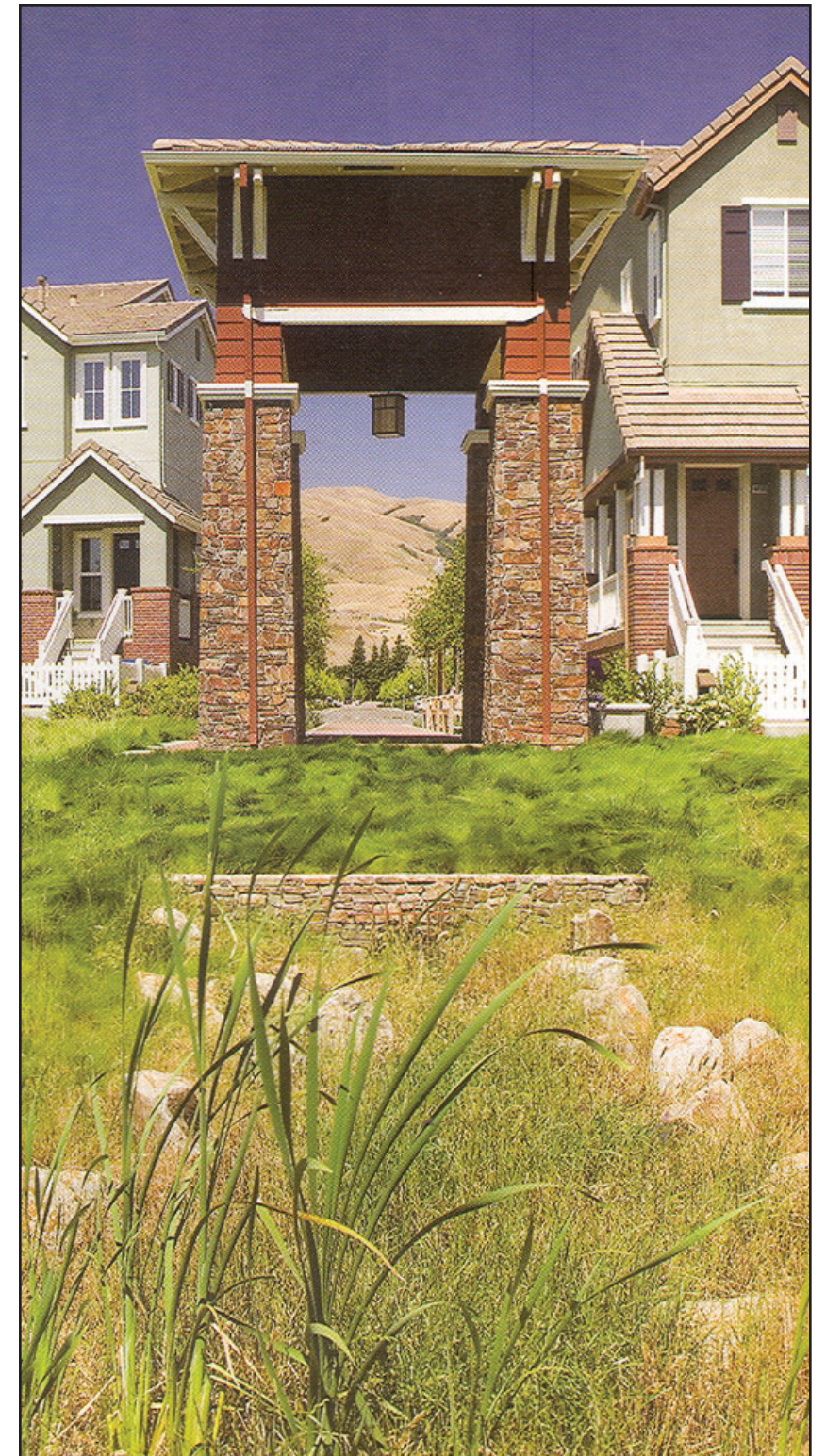
LEGEND	
P	Principal Permitted Use
A	Accessory Use
S	Special Review
•	Excluded Use

Land Use / Districts	Zone Category						
	LDR	MDR	HDR	MU/CL	MU/CH	OS	Park
<b>Residential</b>							
Single Family Dwelling Units	P	P	P	P	•	•	•
Duplexes (with minimum lot size of 2,500 sf per unit)	P	P	P	P	•	•	•
Single-family attached dwelling unit including: townhome, cluster development, patio homes	P	P	P	P	•	•	•
Multi-Family Dwellings (can include rental or for-sale units)	•	P	P	P	P	•	•
Boarding & rooming houses, Dormitories, group quarters, etc.	•	S	P	P	P	•	•
Farming	P	P	P	P	P	P	P
Group Homes	•	S	P	P	P	•	•
Assisted Living Facilities	•	S	P	P	P	•	•
Skilled Nursing Facilities	•	S	P	P	P	•	•
Live / work units	•	•	P	P	P	•	•
<b>Institutional</b>							
Child care, day care centers, preschools	S	S	P	P	P	•	•
Churches / synagogues / places of worship	P	P	P	P	P	•	•
Hospitals or other public health facilities	•	•	•	P	P	•	•
Intermediate & Long term care, assisted living units, Group Homes - more than 8 residents	•	S	P	P	P	•	•
Rehabilitation Centers	•	•	•	P	P	•	•
Libraries, museums, public or quasi-public	•	P	P	P	P	P	P
Police, fire stations, ambulance dispatch and storage	•	P	P	P	P	•	•
Recreation Buildings - community centers	P	P	P	P	P	P	P
Schools	P	P	P	P	P	•	•
Schools - adult (business, trade)	•	•	•	P	P	•	•
Universities, colleges	•	•	•	S	P	•	•
<b>Recreation</b>							
Community / neighborhood recreation center & associated indoor facilities	P	P	P	P	P	P	P
Community pool facility (indoor / outdoor)	P	P	P	P	P	P	P
Indoor intensive - Ice Arenas, bowling alleys, etc.	•	•	•	P	P	P	P
Membership clubs, health clubs, martial arts studios	•	•	•	P	P	P	P
Open space	P	P	P	P	P	P	P
Open space/pedestrian plazas	P	P	P	P	P	P	P
Outdoor recreation	P	P	P	P	P	P	P
Parks (pocket)	P	P	P	P	P	P	P
Parks (neighborhood)	P	P	P	P	P	P	P
Parks (community)	P	P	P	P	P	P	P
Sports fields - soccer, baseball, football, track & field, etc.	P	P	P	P	P	P	P
<b>Commercial</b>							
24-hour convenience retail operation	•	•	•	P	P	•	•
Administrative and executive offices	•	•	•	P	P	•	•
Animal hospital and veterinary clinic -small animal facilities (no outdoor kennels)	•	•	•	P	P	•	•
Appliance store	•	•	•	S	P	•	•
Appurtenant retail uses	•	•	•	P	P	•	•
Banks, Savings & Loans, financial institutions, ATMs, drive up windows	•	•	•	P	P	•	•
Bars, taverns, lounges, Brew pubs	•	•	•	P	P	•	•
Bed & Breakfasts	•	•	•	P	P	•	•
Big Box, Large format retail	•	•	•	•	P	•	•
Bowling alley, tennis club, skating rink, health club, etc.	•	•	•	P	P	•	•
Call center	•	•	•	•	P	•	•
Car wash and/or auto detailing	•	•	•	S	P	•	•
Wireless Communication Facilities (height and location to be reviewed)*	•	•	•	P	P	•	•
Consulting service offices	•	•	•	P	P	•	•
Convenience commercial stores (with gas sales)	•	•	•	P	P	•	•
Drive through restaurants	•	•	•	P	P	•	•
Dry cleaning (no cleaning on site)	•	•	•	P	P	•	•

Land Use / Districts	Zone Category						
	LDR	MDR	HDR	MU/CL	MU/CH	OS	Park
<b>Commercial</b>							
Entertainment facilities (indoor)	•	•	•	P	P	•	•
Farmers markets - outdoor (no more than 12 times annually for the same establishment)	•	•	•	P	P	P	P
Financial institutions	•	•	•	P	P	•	•
Furniture store (following size restrictions)	•	•	•	P	P	•	•
Gasoline service station, including car wash and small convenience store	•	•	•	P	P	•	•
Gardening (community)	P	P	P	P	P	P	P
General office	•	•	•	P	P	•	•
Greenhouses and nurseries	•	•	•	P	P	•	P
Ground floor retail commercial with multifamily housing or office space located above	•	S	P	P	P	•	•
Hotel / motel	•	•	•	•	P	•	•
Insurance and investment offices, etc.	•	•	•	P	P	•	•
Liquor stores	•	•	•	•	P	•	•
Local retail greenhouses, garden centers or fruit/vegetable stands	•	•	•	•	P	•	•
Medical, dental and small animal veterinary offices	•	•	•	P	P	•	•
Mini-warehouse/self storage/outdoor storage	•	•	•	•	P	•	•
Neighborhood retail uses (ie. dry cleaning, coin operated laundry)	•	•	•	P	P	•	•
New and used car sales and service, boat and trailer rental and sales, automobile	•	•	•	•	P	•	•
Office/Showroom/Warehouse (following size restrictions)	•	•	•	•	P	•	•
Offices	•	•	•	P	P	•	•
Outdoor storage associated with an outdoor retail/commercial use	•	•	•	•	P	•	•
Parking lots & structures	•	•	•	P	P	•	P
Pedestrian plazas or pedestrian malls	P	P	P	P	P	P	P
Personal Service Shops (beauty, barber, tanning, nail salons, shoe repair)	•	•	•	P	P	•	•
Printing, Copying shops, mail & office centers	•	•	•	•	P	•	•
Private lodges and clubs	•	•	•	P	P	•	•
Professional services/offices	•	•	•	P	P	•	•
Public transportation terminals	•	•	•	•	P	•	•
Rental Service (equipment, small tools, supplies, appliances, home furnishings)	•	•	•	•	P	•	•
Repair Shops	•	•	•	•	P	•	•
Restaurants - Cafes & other eating establishments (indoor & outdoor seating)	•	•	S	P	P	•	•
Restaurants - drive-in or drive-thru facilities (with outdoor seating areas)	•	•	•	P	P	•	•
Retail Sales - under 3000 s.f. GFA (one user)	•	•	•	P	P	•	•
Retail Sales - 3000 - 20,000 s.f. GFA (one user)	•	•	•	•	P	•	•
Retail Sales - large retail over 20,000 s.f. GFA (one user)	•	•	•	•	P	•	•
Sales from a movable structure, vacant lot or parking lot	•	•	•	P	P	•	P
Temporary construction offices subject to zoning approval	P	P	P	P	P	P	P
Temporary office subject to zoning approval	P	P	P	P	P	P	P
calendar year, per shopping center subject to zoning approval							
Temporary signage subject to zoning approval	P	P	P	P	P	P	P
Water wells	S	S	S	S	S	S	S
Wholesale business, storage or warehousing	•	•	•	•	P	•	•
Oil and Gas production wells including storage tanks and flowage lines	S	S	S	S	S	S	S

\* Per City of Greeley Standards

Legend  
 LDR = Residential Low  
 MDR = Residential Medium  
 HDR = Residential High  
 MU/CL = Mixed Use / Commercial Low  
 MU/CH = Mixed Use / Commercial High  
 OS = Open Space



Open Space Connections are an important component of the Lake Bluff Community that can be utilized for both pedestrian connection, as well as stormwater management opportunities. Such connections shall be permitted within any of the land use parcels at Lake Bluff.

Note:  
 The provisions of this PUD shall prevail and govern the development of Lake Bluff provided; however, where the provisions of the PUD do not address a specific subject, the provisions of the City of Greeley Zoning Ordinance or any other applicable ordinances, resolutions or regulations and Development Code standards as amended shall prevail.

Accessory units not defined within the scope of this Preliminary PUD document or proposed within alternative land use categories shall be governed by the City of Greeley Development Code, as amended.

Any use not listed in the land use designation matrix, shall not be permitted.



# site development standards

## Residential Land Use Development Standards Matrix

### Single Family Detached Residential

Standards	MDR	LDR
Minimum Lot Size (1)	3200	4500
Minimum Lot Frontage (5) (7)	35'	45'
Minimum Corner Lot Frontage	45'	55'
Parking Requirement (4)	2 / unit	2 / unit
Max. Height	35'	30'
Floor Area Min.	N/A	N/A
<b>Primary Use</b>		
Front Setback to Living Space (15)	10'	15'
Front Setback to Garage	18'	18'
Front Setback to Side Load Garage	10'	15'
Side Setback Minimum (14)	5'	5'
Side Setback with Access Easement (6)	0'	0'
Building Separation (6)	10'	10'
Rear Setback - Front Load (14)	15'	15'
Rear Setback - Alley Load	4'	4'
Rear Setback - Bluffs (14)	N/A	50'
Side (Corner) Setback (14)	10'	10'
Side (Corner) Setback to Garage Door	18'	18'
<b>Accessory Use (8)</b>		
Max Height	15'	15'
Front Setback	20'	20'
Side Setback	3'	5'
Rear Setback	5'	5'
Rear Setback (alley load garage)	4'	4'
Side (Corner) Setback	15'	15'

## Residential Land Use Development Standards Matrix

### Multi-Family Residential (10)

Standards	HDR	MDR	MU/CL	MU/CH
Minimum Lot Size	NONE	NONE	NONE	NONE
Lot Frontage (5)	No Minimum	No Minimum	No Minimum	No Minimum
Parking Requirement (2) (3)	(2)	(2)	(2)	(2)
Max. Height	40'	35'	35'	40'
Max. Number of Units Attached	24	16	16	24
<b>Principal Use</b>				
Setback from Local (6) (10)	10'	10'	10'	10'
Setback from Private	10'	10'	10'	10'
Setback from Parking Lot (11)	10'	10'	10'	10'
Setback from Property Line (6)	10'	10'	10'	10'
Building Separation	20'	20'	20'	20'
Open Parking Setback from ROW	15'	15'	15'	15'
<b>Accessory Use</b>				
Max Height	15'	15'	15'	15'
Setback from Local (6) (10)	15'	15'	15'	15'
Setback from Private	10'	10'	10'	10'
Setback from Parking Lot (11)	5'	5'	5'	5'
Setback from Property Line (6)	20'	20'	20'	20'
Building Separation	10'	10'	10'	10'

## Land Use Development Standards Matrix

### Notes:

- (1) Min. lot size shown for single family detached.
- (2) Required parking shall meet the City of Greeley Land Development Code Parking Standards, as amended, if not covered by these guidelines. Shared parking shall be allowed in instances where appropriate.
- (3) Studio and 1 bedroom units require 1.5 parking spaces per unit and .25 guest spaces per unit. 2 bedrooms units require 2.0 parking spaces per unit and .25 guest spaces per unit. 3+ bedrooms units require 2.0 parking spaces per unit and .25 guest spaces per unit.
- (4) Parking includes a minimum of one space in a garage and one space in the driveway. Guest parking spaces for SFD shall be accommodated in the driveway, in a 2-car garage, and/or on-street.
- (5) Lot frontage measured at setback.
- (6) A zero lot line may be utilized when a maintenance easement and side yard easement are executed, subject to IBC requirements.
- (7) Lot frontage on a cul-de-sac may be reduced by five feet.
- (8) An accessory use in this application of the term, shall not include a living space.
- (9) Standards are provided for duplex and townhome uses accommodating 6 - 18 Du/Ac. Higher density apartment and condo products shall follow the multi-family standards below.
- (10) Multi-family standards are provided for apartment and condo products ranging from 15 - 25 DU/AC. Standards for duplex and townhome product are provided above within the SFA standards.
- (11) Parking lot is defined as an area with contiguous spaces for ten (10) or more vehicles that is accessed by one or more drives.
- (12) Non-residential parking requirements will follow the City of Greeley Land Development Code, as amended.
- (13) All setbacks are measured from R.O.W. or property line.
- (14) Allowed side & rear encroachments: Decks, Stairs, Counterforts & Window Wells (3') - Eaves & Bay Windows (2') - Siding & Cladding (0.5')
- (15) Allowed front encroachments: Porches, Decks & Stairs (5') - Eaves & Bay Windows (2') - Siding & Cladding (0.5')

## Residential Land Use Development Standards Matrix

### Single Family Attached Residential (Townhome/Duplex) (9)

Standards	HDR	MDR	MU/CL
Minimum Lot Size	1200 sf	1200 sf	1200 sf
Lot Frontage (5)	20'	20'	20'
Corner Lot Frontage	30'	30'	30'
Parking Requirement (3) (4)	2 / unit	2 / unit	2 / unit
Guest Parking Requirement (3) (4)	0.25 / unit	0.25 / unit	0.25 / unit
Max. Height	40'	35'	35'
Floor Area Min.	750 SF	900 SF	500 SF
Max. Number of Units Attached	24	16	24
<b>Principal Use</b>			
Front Setback to Living Space (15)	10'	12'	12'
Front Setback to Garage	18'	18'	18'
Side Setback Minimum (14)	5'	5'	5'
Side Setback with Easement (6)	0'	0'	0'
Building Separation	10'	10'	10'
Rear Setback (14)	10'	10'	10'
Rear Setback - Alley Load Garage	4'	4'	4'
Side (Corner) Setback	10'	12'	12'
<b>Accessory Use (8)</b>			
Max Height	15'	15'	15'
Front Setback	20'	20'	20'
Side Setback	5'	5'	5'
Rear Setback (non-garage)	5'	5'	5'
Rear Setback (garage)	4'	4'	4'
Side (Corner) Setback	15'	15'	15'

## Non-Residential Land Use Development Standards Matrix

### Non-Residential

Standards	MU/CL(6)	MU/CH(6)
Maximum Floor Area Ratio	0.35	0.5
Unobstructed Open Space	20%	20%
Parking	(12)	(12)
<b>Principal Use</b>		
Height	40'	50'
Setback from Arterial from ROW	50'	50'
Setback from Collector from ROW	30'	30'
Setback from Local from ROW	15'	15'
Setback from Private	10'	10'
Setback from Parking Lot	10'	10'
Setback from Property Line	20'	20'
Building Separation	20'	20'
Surface Parking Setback from ROW	20'	20'
Setback from Single Family Detached	40'	40'
Setback from Single Family Attached	20'	20'
Setback from Multi-Family	20'	20'
<b>Accessory Use</b>		
Height	25'	25'
Setback from Collector	30'	30'
Setback from Local	15'	15'
Setback from Private	10'	10'
Setback from Parking Lot	10'	10'
Setback from Property Line	35'	35'

### Legend

- LDR = Residential Low
- MDR = Residential Medium
- HDR = Residential High
- MU/CL = Mixed Use / Commercial Low
- MU/CH = Mixed Use / Commercial High





## single family detached residential development standards

Lake Bluff has established an architectural scoring system to provide a vehicle for individual design while ensuring quality and compatibility with the community. All homes in Lake Bluff shall incorporate the following 4 architectural features:

1. At least two different materials on the front elevation and any elevation visible from a road. Options include brick, simulated or real stone, stucco, siding or other appropriate materials.
2. Use of at least three different colors including trim, accent for front door and shutters (if selected), and base. A minimum of four color packages shall be offered. No two adjacent houses may share the same color package.
3. Front yard irrigation and landscaping shall be installed by the builder.
  - a. Builder shall install at least one deciduous tree (2 1/2" caliper minimum) or one evergreen tree (6' tall minimum) and five 5-gallon shrubs in the front setback. Placement of trees on adjacent lots shall vary.
  - b. Wing fencing to be installed by builder with front yard landscaping and shall be consistent in style with all on lot fencing.
4. Permanent foundations shall be required.

\*Note: These graphic depictions are for illustrative purposes only and are subject to change.



elevation 1



elevation 2



elevation 3

In addition to the required architectural features, builders must select at least six (6) options from the following list of architectural features:

1. At least two different materials on all four elevations. Options include brick, simulated or real stone, stucco, vinyl siding, cedar siding or other appropriate material. Masonry may be used as an exclusive material on the front elevation, but the other three elevations must use at least two other treatments. If masonry is used on the front elevation, it must wrap around to a natural break point (with a min. of 2' of wrap) or side-yard fence.
2. Use of at least three distinct architectural styles for each product (ie: craftsman, prairie, mountain, traditional, etc.)
3. Varying locations and proportions of front porch in a series of four houses on the same block and side of a street.
4. Varying location and proportions of garage doors in a series of four houses on the same block and side of a street.
5. The width of front elevation differing by more than 2' in a series of four houses on the same block and side of a street.
6. Variations in the front plane and roofline.
7. Use of roof dormers.
8. Variation of building types: ranch, two-story and split level.
9. Walkout basements.
10. Window shapes that are substantially different, including bay windows.
11. At least one bay window on front elevation or any elevation visible from a street.
12. Windows with grids or other enhanced treatment on all four elevations.
13. At least 2 clerestory windows, or windows w/ transoms above the main window.
14. Front door w/ at least one sidelight, transom window, or double door.
15. Garage door with a minimum of 3 windows per door.

Differentiation between architectural styles (ie. craftsman, prairie, traditional, etc) should be distinct enough to ensure variety along a streetscape in which multiple elevations are chosen.

16. A home design where garage doors do not appear on the front elevation.
17. For non-alternately loaded garages; garages that do not protrude more than 5' from main facade.
18. Main roof w/ a slope of 6:12 min.
19. Front or side porch w/ a min. depth of 5' and a min. floor area of 50 SF.
20. Front or side porch w/ at least 2 columns w/ a min. cross section of 8" each.
21. Decorative shutters on 80% of the street-facing windows.
22. Second story porch, front or side porch of at least 25 SF.
23. Rear or side deck of at least 50 SF.
24. At least a 16" roof overhang on the front elevation w/ decorative brackets, beams, or exposed rafter ends.
25. Decorative material treatment on at least one gable end facing the street.
26. At least 100 SF of patterned paving on the subject property.
27. Real or simulated chimneys on elevation facing street.
28. Front porch lights with 40 watt fixtures or coach lights on posts on all houses.
29. Partial basement.
30. Rear yard landscaping installed by builder, provided that a rear yard landscape plan is provided as part of the building permit.
31. Entire yard fenced by builder prior to certificate of occupancy.
32. Additional tree or five 5-gallon shrubs for front yard landscaping.
33. 50% of all homes shall have an entry walk from porch/front door to street.
34. Minimum of two planes on rear elevations, each plane to have a min. 1' depth variation.
35. More than one treatment for the predominant siding (i.e. vinyl, cedar, or other siding material).
36. Roofs may be high profile composition shingles such as slate, clay or concrete tile, architectural metal, or dimensional asphalt shingles. No shake roofs shall be permitted. All roofs shall carry a minimum 20-year warranty.
37. 15% minimum windows and door openings on the front elevation.

On homes fronting collectors, pocket parks, schools, and entry ways to neighborhoods, at least four of the architectural features must be included on the front elevation. The other two architectural features may be on the rear or sides of the homes.

# single family attached (townhome/duplex) residential development standards

All homes shall embody the following architectural features, at a minimum:

1. At least two (2) different materials on front elevation and any elevation visible from a public street. Options include brick, simulated or real stone, stucco, siding, or other appropriate materials
2. More than one treatment for predominant siding (ie: vinyl, cedar, other)
3. Use of at least three (3) different colors, including trim (1 color), accent for front door and shutters (1 color) and base (at least two complimentary colors or contrasting shades). A minimum of four (4) color packages shall be offered. No two adjacent houses shall share the same color package.
4. Roofs shall be high profile composition shingles such as slate, clay or concrete tile, or dimensional asphalt shingles. No shake roofs shall be permitted. All roofs shall carry a minimum 30-year warranty.
5. Front yard irrigation and landscaping to be installed by builder.

In addition to the minimum architectural requirements, builders must select six (6) options from the following list of architectural features:

1. At least two (2) different materials on all four (4) elevations. Options include brick, simulated or real stone, stucco, vinyl siding, cedar siding, or other appropriate materials. Use of masonry only may be used on front elevation, but the other three (3) elevations must use at least two (2) other treatments. If masonry used on front elevation, it must wrap around until a natural break line or side yard fence. Minimum 2ft of wrap is required.
2. Varying locations and proportions of front porches for each unit within a building.
3. In a series of four (4) units or more within one building, width of front elevation of two adjacent units differing by more than 2ft
4. Variations in the front plane and roofline
5. Use of roof dormers
6. Variation of building types: i.e. one story on the ends with two-story in the center
7. Walk-out basements
8. Window shapes that are substantially different, including bay windows
9. At least one bay window on front elevation or any elevation visible from a street
10. Windows with grids on all four elevations
11. Front door w/ at least one sidelight, transom window, or double door
12. Clay or concrete tile roofs
13. Garage door w/ windows and at least 6 panels
14. A building design where garage doors do not appear on the front elevation
15. Main roof with a slope of 6:12 min.
16. Front or side porch w/ a min. depth of 5', width of 8' and a min. floor area of 40 SF.



Multiple materials and colors, along with high profile composition shingle roofs and builder installed front yard landscaping shall be required.

17. Front or side porch w/ at least 2 columns with a min. cross section of 8" each
18. Decorative shutters on all street facing windows
19. Second story porch front or side porch of at least 25 SF
20. Rear or side deck of at least 50 SF
21. At least a 16 inch roof overhang on the front elevation with decorative brackets, beams, or exposed rafter ends
22. Decorative material treatment on at least one gable end facing the street
23. At least 10 lineal feet of masonry privacy walls on the subject property
24. At least 100 SF of patterned paving on the subject property
25. Real or simulated chimneys
26. Front porch lights with 40 watt fixtures or coach lights on posts on all houses
27. Partial basement
28. 50% of all homes shall have an entry walk from porch/front door to street
29. Minimum of two planes on rear elevations, each plane to have a min. 1ft depth variation
30. Minimum private yard or courtyard of at least 80 SF.
31. Non-repetitive front elevation for adjacent units within a building.



Single family attached (townhomes/duplexes) residents that are designed to resemble large single family detached homes (such as manor homes) are encouraged to be included within the community to provide diversity; both architecturally and for varying home ownership opportunities.



Single family attached (townhomes/duplexes) architecture will include elements to provide visual interest and differentiation such as: a variety of styles and materials, varying roof lines and heights of units within the building, a variety in the width of adjacent units. Varying location and proportion of front porches, window shapes that are substantially different, front doors with sidelights or transoms, and front elevations where garage doors do not appear.



\*Note: These graphic depictions are for illustrative purposes only and are subject to change.

## multi-family residential development standards

All buildings shall embody the following architectural features, at a minimum:

1. At least two (2) different materials on front elevation and any elevation visible from a public street. Options include brick, simulated or real stone, stucco, siding, or other appropriate materials
2. More than one treatment for predominant siding (ie: vinyl, cedar, other)
3. Use of at least three (3) different complimentary colors throughout the project.
4. Roofs shall be high profile composition shingles such as slate, clay or concrete tile, or dimensional asphalt shingles. No shake roofs shall be permitted. All roofs shall carry a 30-year minimum warranty
5. A minimum of two planes for the front elevation

Builders must select four (4) options from the following list of architectural features:

1. At least two (2) different materials on all four elevations. Options include brick, simulated or real stone, stucco, vinyl siding, cedar siding, or other appropriate materials. Use of masonry only may be used on front elevation, but other three (3) elevations must use at least two other treatments. If masonry used on front elevation, it must wrap around until natural breakline or side yard fence
2. Porches and balconies for at least 50% of the units
3. Utilizing covered parking for a minimum of 50% of the required parking
4. Variations in the front plane and roofline
5. Use of roof dormers
6. Use of one (1) and two (2) story variations within the same building
7. Window shapes that are substantially different, including bay windows
8. At least one (1) bay window on front elevation or any elevation visible from a street
9. Windows with grids on all four elevations
10. Clay or concrete tile roofs
11. At least two (2) distinct roof lines
12. Decorative shutters on all street facing windows
13. At least a 16 inch roof overhang on the front elevation w/ decorative brackets, beams, or exposed rafter ends
14. Decorative material treatment on at least one gable end facing the street
15. Real or simulated chimneys
16. Minimum of two (2) planes on rear and side elevations, each plane to have a min. 1ft depth variation



A variety of different materials and color combination are encouraged within multi-family developments, as are porches and balconies to break down the scale of the buildings.



On larger multi-family buildings, architectural elements such as: variation in building elevation plane, incorporation of high profile roofing materials, real or simulated chimneys and decorative shutters shall be required.



Individual multi-family developments in excess of 200 units shall include amenities such as swimming pools and exercise facilities for their residents.



Creative architecture shall be embraced within the higher density portions of Lake Bluff to ensure interest and diversity within the community.

Lake Bluff

Note: These graphic depictions are for illustrative purposes only and are subject to change.

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At individual neighborhood entries throughout the community, the master developer / metropolitan district shall be responsible for the installation of site walls, neighborhood monumentation, landscape and median islands to ensure a consistent look throughout Lake Bluff.

The single family residential design standards included within this PUD are intended to ensure diversity and interest throughout the Lake Bluff Community. From a design standpoint, the quality of the streetscapes and the associated sense of place that they produce are equally important as the individual building standards, and are intended to work in concert with each other to create an appealing community that is comprised of unique neighborhoods that still work together.



Variety in color palettes and architectural styles shall be required within given neighborhoods.



In areas of the community where the backs of houses face collector or arterial streets, enhanced rear elevations that include elements such as: multiple colors and materials, roof line variation, the inclusion of roof dormers, and windows of substantially different shapes and sizes shall be required. Also, increased areas of builder installed community landscaping shall be encouraged as buffer zones adjacent to these residential areas.

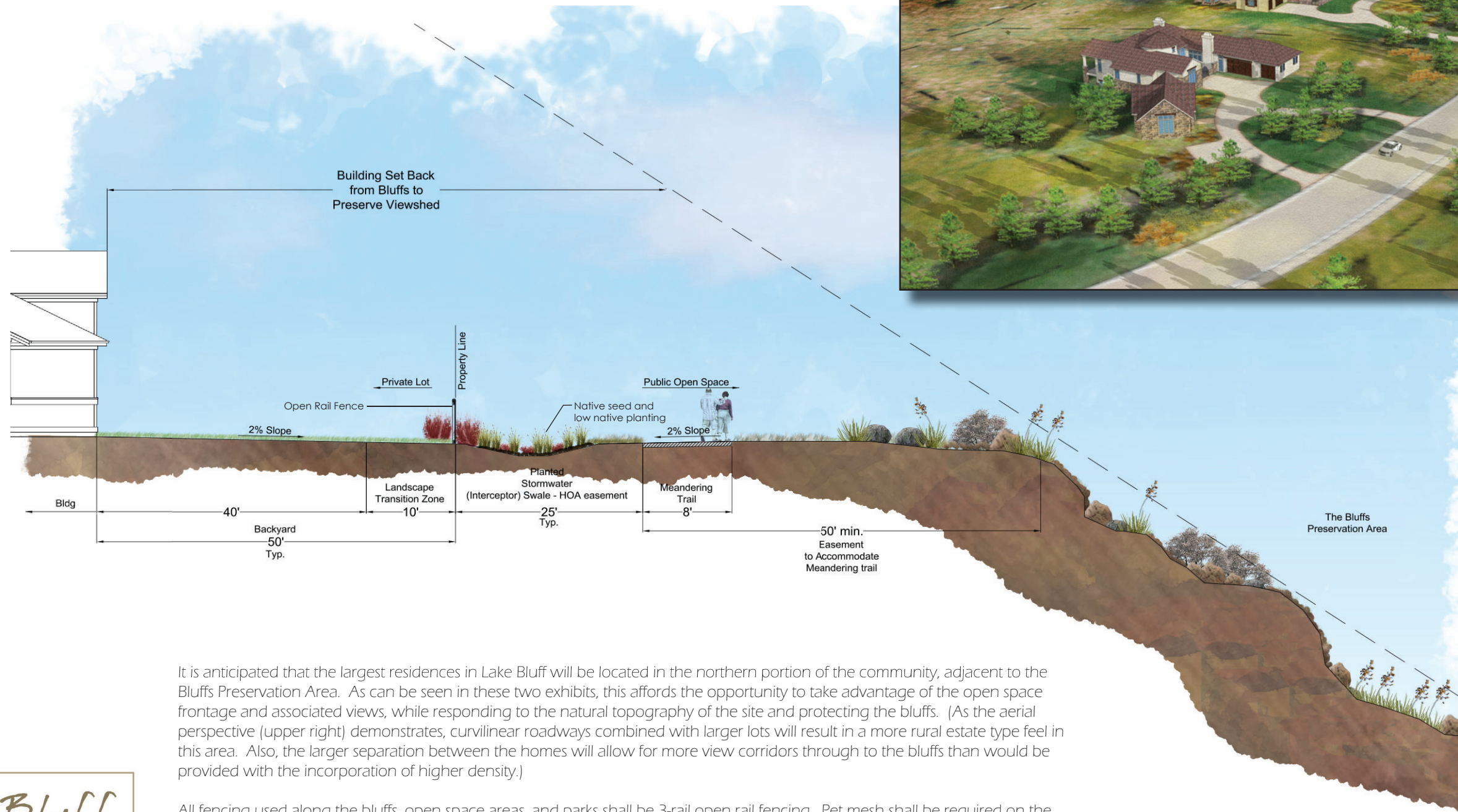
Lake Bluff

typical neighborhood  
development standards

sheet 12

January 9, 2020

# Typical Bluff Trail Cross Section



Note: This graphic depiction is for illustrative purposes only and is subject to change. It has been included to represent typical community design elements that may be used and are encouraged within Lake Bluff.

**Lighting:**  
All lighting used along the bluffs including the rear yards of the adjoining homes shall be International Dark Sky Association certified in-order to reduce the impacts of wildlife.

It is anticipated that the largest residences in Lake Bluff will be located in the northern portion of the community, adjacent to the Bluffs Preservation Area. As can be seen in these two exhibits, this affords the opportunity to take advantage of the open space frontage and associated views, while responding to the natural topography of the site and protecting the bluffs. (As the aerial perspective (upper right) demonstrates, curvilinear roadways combined with larger lots will result in a more rural estate type feel in this area. Also, the larger separation between the homes will allow for more view corridors through to the bluffs than would be provided with the incorporation of higher density.)

All fencing used along the bluffs, open space areas, and parks shall be 3-rail open rail fencing. Pet mesh shall be required on the interior side of the fence.

The Bluff Preservation Area shall incorporate an average of 50' trail easement and a 25' HOA maintained stormwater swale easement with a meandering trail along the top of the bluffs, as can be seen in this section. This provides an average of 75' from the rear yard line to the top of the bluffs. This setback combined with the 50' rear yard setback to the homes will ensure that any possible "ridgeline effect" associated with the home building envelope in this area will be minimized. Landscape shall be added between the trail and the home in conjunction with a stormwater swale to catch any runoff from the lots before the top of the bluffs. The landscape located in the 25' stormwater swale and in the 10' Landscape Transition Zone shall be made up of native, non-invasive plant material.



# landscape standards

## SUSTAINABLE LANDSCAPE DESIGN GUIDELINES

These landscape guidelines are intended to compliment the Neighborhood and Architectural Standards included in this PUD document. It is the goal of these standards to help promote sustainable development at Lake Bluff by outlining essential landscape components that complement and enhance community character. Where not specified differently herein, specific planting requirements shall adhere to the City of Greeley Development Code, as amended.

### Guiding Principles

The landscape design standards have been created within the context of the western high-plains semi-arid climate in which Lake Bluff is located. The responsible use of natural resources and native materials within this geographic context is important as we develop visually appealing landscape designs to grow with the Lake Bluff community over time. Due to the semi-arid nature of the western high plains, the responsible use of water is essential.

**Stewardship** – Demonstrate a water conservation landscape approach that successfully blends aesthetic appeal with ecological constraints through a commitment to the use of appropriate plant materials and site sensitive design.

**Innovation** – Continue to encourage new and flexible landscape solutions that foster sustainable landscapes within the community.

**Cost effectiveness** – implement design strategies that respect the use of drought tolerant / native plant materials that are



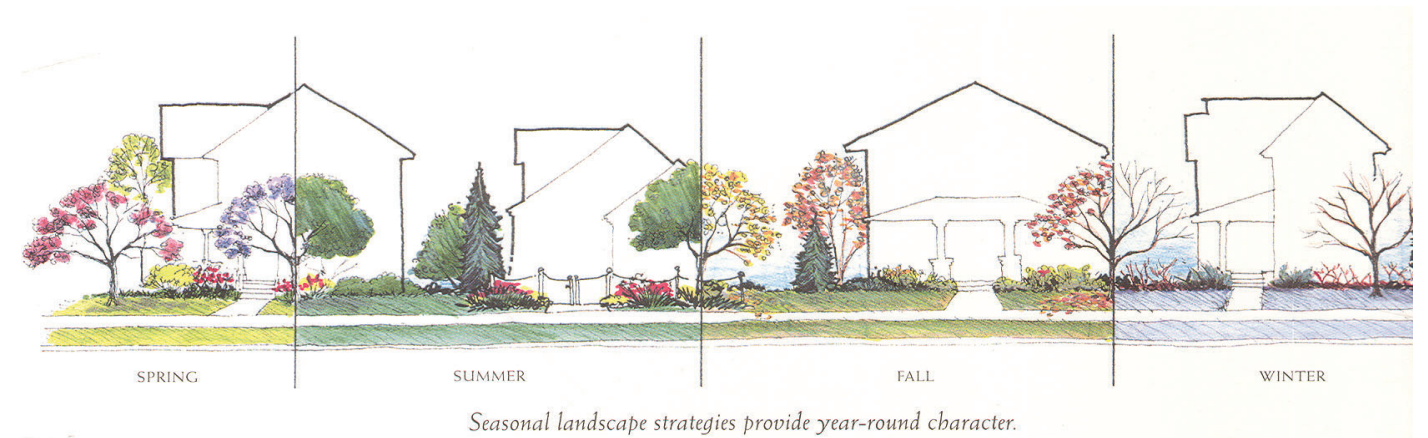
also to ensure diversity within the plant communities as a means of ensuring resistance to pests commonly associated with monocultures.

As a design inspiration that can be pulled from the prairie, large groupings of native and ornamental



grasses, shrubs, perennials, wildflowers and ground covers are encouraged to be used at Lake Bluff.

These plantings should be arranged to provide strong images of texture, color and contrast in response to their specific setting. In addition, the landscape design utilized throughout the community should reinforce the transitions that occur with respect to both land use and open space. For instance, in areas of higher density and commercial use, a more cultivated formal approach to planting design will provide a complimentary arrangement to the architecture. This approach emphasizes structured and geometric planting patterns that correspond to the site design while creating year round impact. As the community transitions to areas of lower density, a more informal or naturalized landscape pattern shall be encouraged. This approach is characterized by the loose and organic nature of the planting design; while still considering the integration of plant size and texture, as well as seasonal interest and color.



### Design Techniques

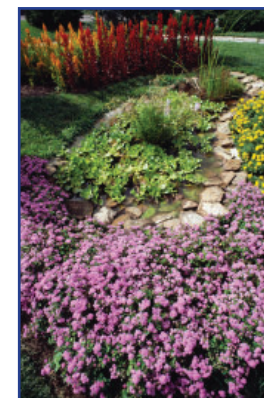
These design techniques are intended to provide a framework for the implementation of the desired sustainable landscape character.

- Turf grass should be used responsibly to serve a functional purpose as part of a front yard composition. As such, usable lawn areas shall



be designed in combination with planter beds and native ground covers, as opposed to yards that are exclusively composed of turf grass.

- The planter beds used to frame turf grass areas should be predominantly drifts of color and texture with a layered effect from smaller ground covers in the front, to larger shrubs in the back. These planters should be utilized in both front and side yards that are visible



from the street.

- Architecture should be framed by locating trees in the front yards between houses, or along architectural breaks in continuous facades.
- Planting should enhance architectural features such as entrances and bay windows; ornamental trees and perennials should be used to punctuate the entrance sequence; and evergreen vegetation should be utilized



adaptable to the site conditions in which they are used as a means of conserving water and reducing on going maintenance costs.

Generally speaking, the use of native and naturalized plant communities commonly associated with the western high plains region are encouraged. While it is important that we respect this baseline community, it is also essential that additional plant variety be incorporated, not only for aesthetic purposes but

# landscape standards

## Community Wide Standards

- Planting plans should respond to the architectural style of the associated building, both in terms of plant palette and design style, while not sacrificing the overall streetscape / community feel.

### Horizontal Layering:

Horizontal layering shall be encouraged in the landscape design



of Lake Bluff to respond to the differences between the private and public realms. In essence, it should be used to ensure that public space expresses neighborhood identity and safety, while private space relates to the architecture and creates spaces for outdoor living. Through the use of horizontal layering a series of layers can be created to provide clear distinction between public, semi-public and semi-private space. This strategy will also act to create a pedestrian friendly environment through understandable way-finding and the clear articulation of entrances to buildings and public spaces.

### Vertical Layering:

Vertical layering in the landscape can also be used to define outdoor spaces and the transition between private and public realms; as well as enhancing the pedestrian experience. Large deciduous trees provide spatial structure and shade. Their canopies provide a sense of enclosure within the street and create the framework for the neighborhoods in which they are planted. Eye level elements provide a second layer and add human scaled definition through the incorporation of ornamental trees, shrubs, hedges, walls and fences. They are used to provide accents in the landscape

and to create outdoor rooms, spaces and sequences. They also help to link buildings to the ground and can be used as important components in architectural and site entrance sequences. Ground level elements such as paving, ground cover, perennials and turf grass provide the final component in the vertical layering process. They are a critical component in the functioning of outdoor space and their detailing can add to the success of both public and private spaces, as well as the tying of landscape and architecture together.

### Water Considerations:

- Rain gardens are encouraged to be integrated into residential landscapes to accommodate the infiltration of rainwater runoff into the landscape.
- Plants should be grouped into planting areas with similar water requirements to promote efficiency with respect to irrigation and management.
- Low water use and native plants shall be used within all plant palettes.
- Plan for efficient irrigation systems, using drip systems whenever feasible.
- Design for a low water, low-maintenance approach.
- Select plant material that will naturalize requiring water on an as-needed basis.
- The use of mulches to retain moisture in the soil shall be required.
- Plants must be selected from [www.watersmartplants.com/gre](http://www.watersmartplants.com/gre)



### Street tree requirements

Street tree planting is required along all public streets, with spacing of 40' on center, and a minimum size of 2" caliper. Builders must provide deciduous canopy trees aligned parallel to the curb and centered in tree lawn, planter, or median as applicable. Tree species should be chosen for the location in which they are being placed. For instance, median trees should be more tolerant of harsh and dryer conditions, while trees located within storm water improvement areas should be tolerant of moist conditions.

An overall street tree planting plan shall be designed for each neighborhood at Lake Bluff to ensure that an appropriate mix of character and species diversity is achieved throughout the community. Builders shall be required to plant trees in accordance with the applicable neighborhood planting plan. The builder is required to notify all utility companies prior to excavation and installation of street trees. When feasible, street trees shall be located at least 10' away from adjacent light poles and utility structures.

Drip irrigation shall be provided to all street trees in tree lawns and medians, that do not receive overspray from turf grass areas.



In an effort to reinforce the important open space areas integrated throughout the community, in areas with public streets adjacent to naturalized open space, variety in the street tree spacing shall be encouraged. Groupings of trees shall be placed in random patterns in groups of odd numbered quantities to correspond to the interface between the street and the open space area. The number of trees required in such groupings shall be determined by dividing the linear frontage of street adjacent to the open space by 40.

### Massing & Order

In public spaces at Lake Bluff, trees, shrubs, perennials, ornamental grasses, ground covers and vines should be massed to define outdoor spaces, reinforce the primary entry and enhance the architectural design, the street and the neighborhood. Massing of plants into cohesive groups is highly recommended to provide strong images of texture, color and contrast throughout the community. In private residential spaces and courtyards, the planting design may be more diverse



and varied in response to the scale and intimacy of the space. Generally speaking, larger outdoor spaces should use massing of plant species to create drifts of form, color and texture, while smaller spaces should utilize more detailed planting design, in response to the scale of the space.

### Seasonal Landscape

Public space planting zones should be designed to provide seasonal color and interest throughout the year. In making proper plant selections, ensure that plant groupings have the maximum amount of bloom coverage throughout each season. Refer to the included plant list for blooming / seasonal interest information. Use evergreen plant material as accents to punctuate entrances, screen utilities and provide year color and interest.



# landscape standards

## Soils

Along with proper plant selection and watering schedule, soil preparation is essential for success of newly installed landscapes. Planting beds must be treated and prepared before installation of landscape and irrigation system. Generally speaking, proper soil preparation includes the following:

- Test existing soil in landscape area for mineral and organic matter content to determine proper soil amendments based on results of soil test.
- Till existing soil in landscape area to approximately 6" (inch) depth to aerate soil compacted during construction.
- Apply soil amendments evenly over landscape area to a depth of 2"-3" (inches) of compost, fertilizer or appropriate organic material. Till soil amendments into the existing soil to a depth of 3"-5" (inches).
- Modify non-percolating tree pits in order to provide adequate drainage.

Site specific soil preparation specifications will be provided on individual landscape plans that respond to the conditions of the site.



## Mulching

Mulching is required to assist with moisture retention in planting beds. Mulching also helps to establish healthy root systems in newly planted landscapes, reduce weeds, and protect plants for maintenance damage.



Due to the organic composition and water retention capabilities, fibrous wood mulch is the preferred mulching material for planting beds. However, it is recognized that various site conditions such as drainage and wind, not to mention aesthetic reasons, may preclude the use of wood mulch in all areas. As such, some

landscape areas may be better suited to alternative mulching applications such as natural colored rock mulch, river cobble mulch, and recycled rubber mulch. Use of these materials should be considered only in areas not well suited for fibrous wood mulch, since they are less hospitable to plant growth.

A continuous edger shall be installed between all planting beds and adjacent turf grass areas. When a lawn is not present, an edger is not required.

Continuous commercial grade weed barrier shall be installed in planting beds at the time of planting, where appropriate.

Canopy, ornamental and evergreen trees shall have a mulch ring installed at the base of the tree at the time of planting. This mulch ring shall have a minimum radius of 2 feet as measured from the center of the tree trunk, and it should be of organic material to a minimum depth of 3 inches.

## Irrigation

All properties at Lake Bluff shall be equipped with an automatic irrigation system. On residential properties this irrigation system shall be builder installed in conjunction with the front yard landscaping. The system shall include an automatic irrigation controller and shall be expandable to include any side and rear lot landscaping added by the homeowner.

All trees, shrub and perennial beds and ground cover areas shall be irrigated with a drip or sub-surface drip irrigation system. Lawn areas shall be irrigated with a pop up spray system, but should be minimized as much as is practicable.

Use of rain / moisture sensors with automatic control systems shall be utilized for the irrigation of all public spaces.

If it is determined that a non-potable irrigation system is a feasible option for inclusion within the Lake Bluff community, such integration shall be used.

Materials required by local codes shall be utilized for installation of all potable and non-potable water meter and vault, tap and associated piping.



## Property Definition

a) Hedges - Hedges are optional for use in defining property at Lake Bluff. When used, they must be continuous along the front and side property lines along a street. In portions of the property in front of the architectural plane of the house closest to the street, the maximum allowable height of any hedge is 36" (inches). Along side and rear property lines (behind the front plane of the house), the maximum allowable height of any hedge is 60" (inches).



b) Walls - Walls may be used to create privacy and extend architectural character elements into the landscape. The use of walls are optional at Lake Bluff, but may be utilized to create courtyard spaces both in association with commercial and residential applications. Also, they may be used define property ownership under certain conditions

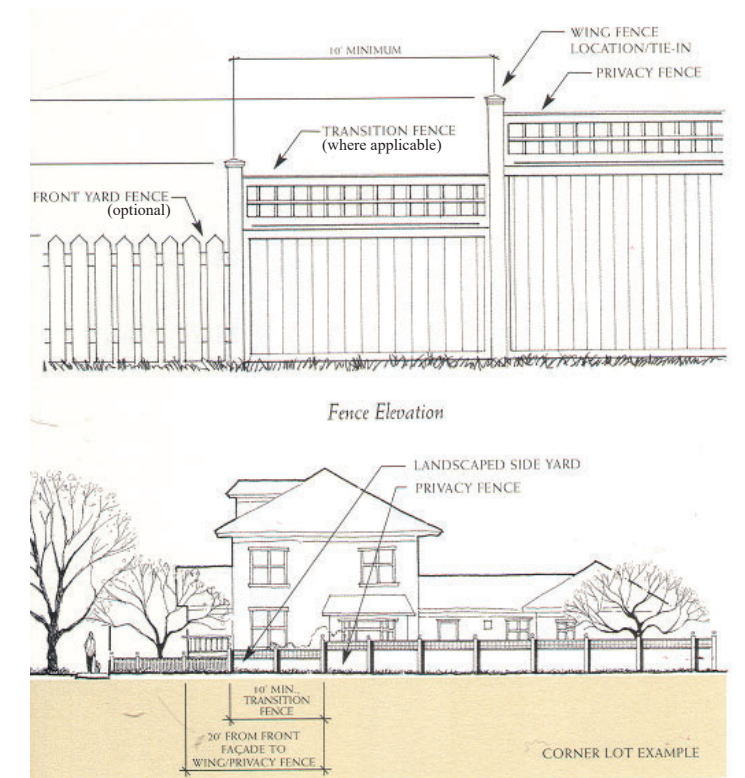
In residential applications on portions of the property in front of the architectural plane of the house closest to the street, the maximum allowable height of any wall is 36" (inches). Decorative metal fencing may be added to the top of the low wall to define the public and semi-public realm, but the combined height of the wall and fencing shall not exceed 36" (inches) in height. Along side property lines (adjacent to the principal structure of the house), the maximum allowable height of any wall is 54" (inches). Along the side and rear

property lines (behind the rear façade of the principal structure), the maximum allowable height of any wall is 72" (inches).

All proposed wall designs must use stone, masonry, or appropriate principal building materials and are subject to review and approval by the Design Review Committee.

c) Fencing - Fencing further defines private space around residential structures, and should be designed to coordinate with the architectural style, color, and materials of the house as much as possible.

Ensure that the design and installation of front, side, and rear yard fencing, as well as low walls and hedges does not interfere with intersection site distance triangles or AASHTO's stopping site distance requirements.



No plant material with mature growth greater than three (3) feet in height shall be planted within potable water, sanitary sewer, or non-potable irrigation easements. [Volume III, Section 2.05(A)]

No shrubs shall be planted within five (5) feet or trees within ten (10) feet of potable and non-potable water meters, fire hydrants, sanitary sewer manholes, or potable water, sanitary sewer, and non-potable irrigation mains and services. [Volume III, Section 2.05(B)]

Automatic irrigation system shall be equipped with an automatic rain detection device. [Chapter 18.44.100.3.b]



# landscape standards

## Fencing Location & Specifications:

- Wing Fencing – at least 3’ back from the front building façade; or at an appropriate architectural feature perpendicular to the house.
- Wing Fencing on Corner Lot – at least 5’ back from the front building façade; or at an appropriate architectural feature perpendicular to the house.
- Rear Yard – on property line or within 4’ of property line.
- Side Yard – on property line or where appropriately located in conjunction with zero lot line product and associated shared use easements.
- Maximum Height
  - Front yard fence = 36” maximum
  - Wing & Transition fence = 54” maximum
  - Rear and side yard fence = 72” maximum
- Material – Wood, Vinyl, Masonry or Iron
- Finish – semi-transparent or solid color stain, latex acrylic stain, or suitable outdoor paint.
- Privacy fencing must incorporate a gate to access the rear yard on front loaded lots, and an additional gate to access the alley on alley loaded lots.
- Incorporation of an articulation change in the top 12” – 18” of a fence facing a public street or alley is encouraged.
- On sloping sites, fencing shall be level along the top of the fence with adjustment for grades being made either along the bottom rail, or by stepping fence sections.
- Open rail fencing shall be utilized adjacent to all open space and parks.
- A 10’ min. fence transition shall be provided between rear yard fencing and front yard fencing where applicable.

## Bike Racks:



Bike racks should be located through out the community especially at gathering locations such as parks, schools and commercial areas.

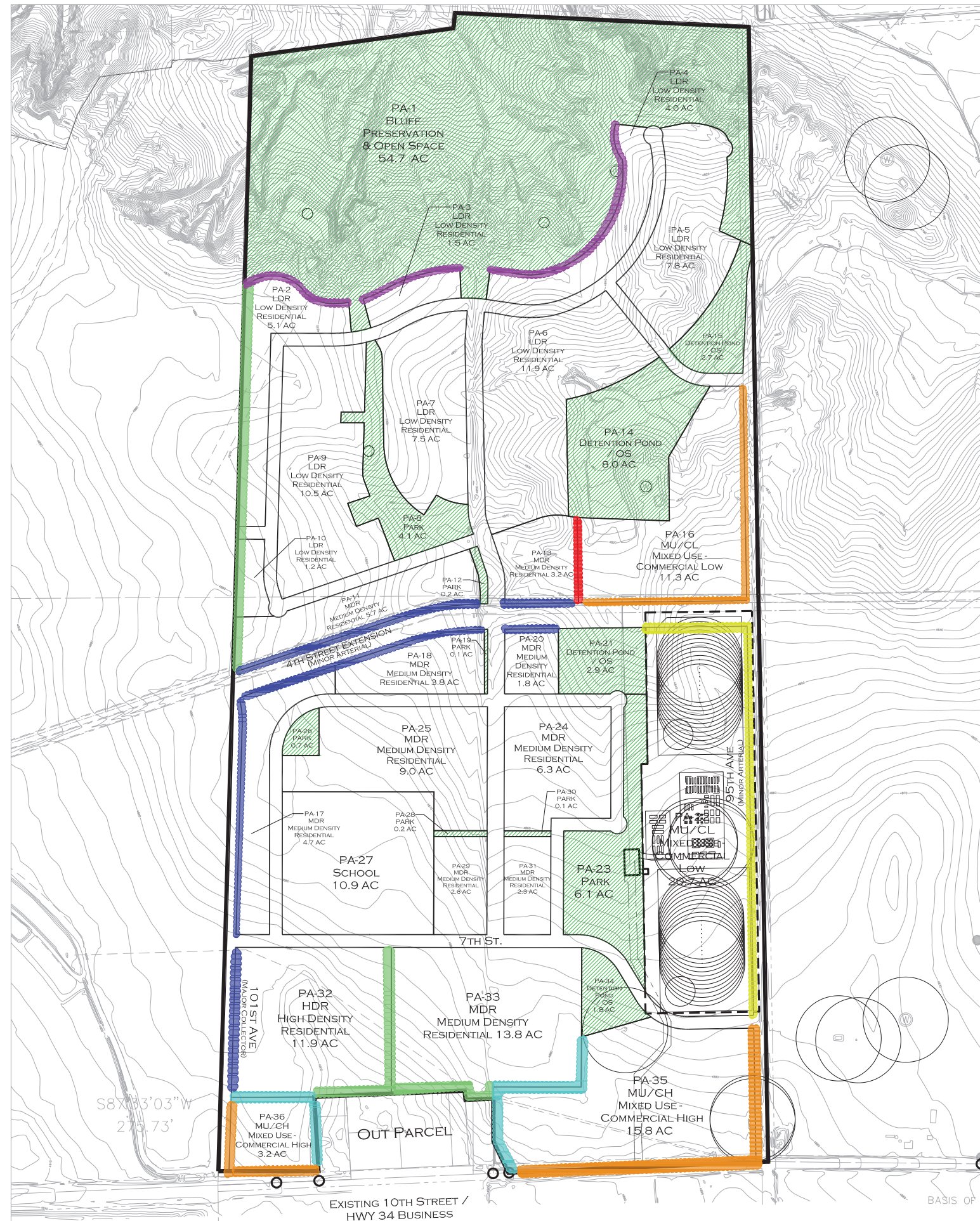
Bike racks will be required at programed activity areas located in parks. Quantities and location of bike racks to be determined with the City of Greeley Parks Department.

The location and quantity of bike racks at school locations will be coordinated with the Windsor School District.

Commercial buildings under 50,000sq ft. shall have 1 bike parking space per 5,000 sq. ft. GFA. Commercial buildings 50,000sq ft. or grater hall have 1 bike parking space per 7,000 sq ft. GFA. Minimum requirement is 2 spaces.

Development Commitments Matrix					
Area / Improvement	Plan Preparation and Approval	Construction Timing	Construction Responsibility	Maintenance Responsibility	Ownership
Bluff Preservation Open Space	Area to be dedicated will be determined in conjunction with the final plan / final plat for this area.	T.B.D	T.B.D	City of Greeley	City of Greeley
Regional Trail in Bluff Preservation Area (8' Soft Surface)	Area to be dedicated will be determined in conjunction with the final plan / final plat for this area.	The Regional Trail should be constructed when 50% of the lots in PA-3 & PA-4 have building permits in place.	T.B.D	City of Greeley	City of Greeley
City Park PA-23	Area to be dedicated will be determined in conjunction with the final plan / final plat for this area.	The Neighborhood Park in PA-23 should be constructed when 50% of the lots in PA-24 & PA-31 have building permits in place.	T.B.D	City of Greeley	City of Greeley
City Park PA-8	Area to be dedicated will be determined in conjunction with the final plan / final plat for this area.	The Neighborhood Park in PA-8 should be constructed when 50% of the lots in PA-7 & PA-9 have building permits in place.	T.B.D	City of Greeley	City of Greeley
Pocket Parks	Final landscape plans will be completed in conjunction with the final plan as required for each specific portion of Lake Bluff being developed at that time.	Pocket parks will be constructed when 50% of the building permits are in place within the PA parcel where the respective pocket park exists.	Greeley-Rothe LLC, its successors & assigns or the Lake Bluff Metropolitan District(s)	Lake Bluff Metropolitan District(s) or H.O.A.	Lake Bluff Metropolitan District(s) or H.O.A.
Internal Community Trails	Final landscape plans will be completed in conjunction with the final plan as required for each specific portion of Lake Bluff being developed at that time.	Internal community trails will be constructed concurrent with the parks and adjacent infrastructure to them.	Greeley-Rothe LLC, its successors & assigns or the Lake Bluff Metropolitan District(s)	Lake Bluff Metropolitan District(s) or H.O.A.	Lake Bluff Metropolitan District(s) or H.O.A.
10th Street Road and Signal Improvements	Final roadway plans will be prepared per CDOT standards for the 10th St. ROW.	Work to be completed per the triggers specified in the Traffic Impact Study and/or as identified by CDOT.	Greeley-Rothe LLC, its successors & assigns or the Lake Bluff Metropolitan District(s)	City of Greeley	City of Greeley
Roadways	Final roadway plans will be prepared per City of Greeley standards as required for each specific portion of Lake Bluff being developed at that time.	Roadways shall be constructed per approved final construction plans prior to issuance of the 1st building permit for the specific portion of Lake Bluff being developed at that time.	Greeley-Rothe LLC, its successors & assigns or the Lake Bluff Metropolitan District(s)	City of Greeley	City of Greeley
Utilities	Utilities will be designed per City of Greeley standards as required for each specific portion of Lake Bluff being developed at that time.	Utilities shall be constructed per approved final construction plans prior to issuance of the 1st building permit for the specific portion of Lake Bluff being developed at that time.	Greeley-Rothe LLC, its successors & assigns or the Lake Bluff Metropolitan District(s)	City of Greeley	City of Greeley
Storm Sewer Facilities	Storm Sewer will be designed per City of Greeley standards as required for each specific portion of Lake Bluff being developed at that time.	Storm Sewer shall be constructed per approved final construction plans prior to issuance of the 1st building permit for the specific portion of Lake Bluff being developed at that time.	Greeley-Rothe LLC, its successors & assigns or the Lake Bluff Metropolitan District(s)	City of Greeley	City of Greeley
Storm Sewer Facilities (Ponds)	Ponds will be designed per City of Greeley standards as required for each specific portion of Lake Bluff being developed at that time.	Ponds shall be constructed per approved final construction plans prior to issuance of the 1st building permit for the specific portion of Lake Bluff being developed at that time.	Greeley-Rothe LLC, its successors & assigns or the Lake Bluff Metropolitan District(s)	Lake Bluff Metropolitan District(s) or H.O.A.	Lake Bluff Metropolitan District(s) or H.O.A.









- BUFFER 'A' PER CHAPTER 18.44
- BUFFER 'B' PER CHAPTER 18.44
- BUFFER 'D' PER CHAPTER 18.44
- BUFFER 'BLUFFS' PER PUD
- BUFFER BY OTHERS
- PERIMETER TREATMENT COMMERCIAL PER CHAPTER 18.44
- PERIMETER TREATMENT 'RESIDENTIAL' PER CHAPTER 18.44
- PARK & OPEN SPACE

preliminary landscape plan  
scale: nts

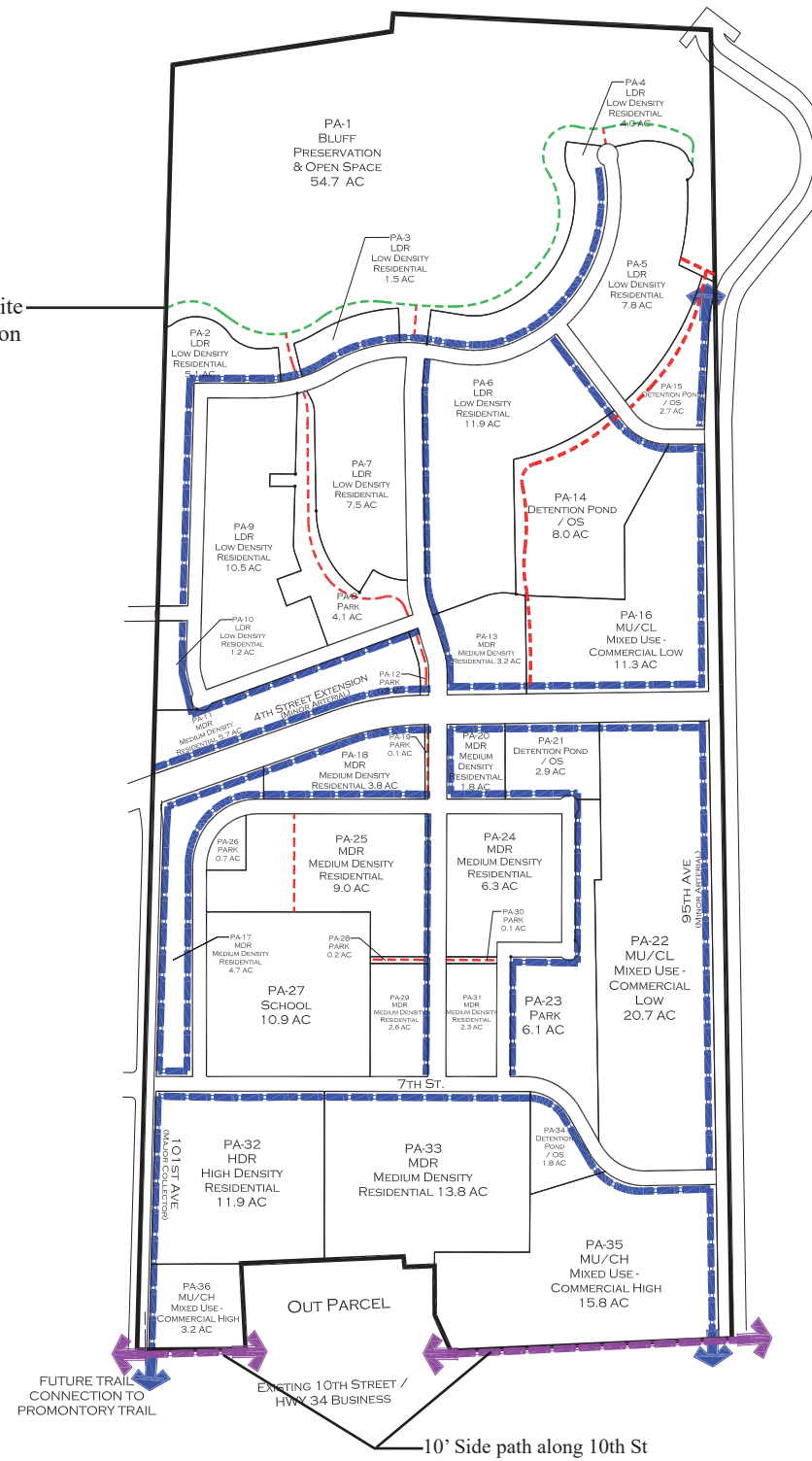


Note: Specific buffer and perimeter planting requirements shall adhere to the City of Greeley Development Code, as amended.

Lake Bluff

SYM	DESCRIPTION
	TRAIL CIRCULATION (6' TYP)
	TRAIL CIRCULATION (8' TYP, SOFT SURFACE)
	PEDESTRIAN SIDEWALK CIRCULATION (SEE STREET SECTIONS)
	10' SIDE PATH

Possible off site trail connection



### pedestrian circulation system

Planning for a successful vehicular and pedestrian circulation system is a fundamental component of the design of Lake Bluff. The creation of active, pedestrian friendly streets is instrumental in the success of this project. The circulation system is made up of an interconnected network of streets and walks that create multiple routes for cars, bikes, and pedestrians to move throughout the community. Sidewalks, walkways, and trails are the most basic element of pedestrian friendly environments, and we have worked to ensure a connectedness between all of these elements at Lake Bluff. The proposed street sections accommodate generous sidewalks and bike lane connections at many levels. The open space system and planned trail corridors add a further layer of pedestrian connectivity to the community. At Lake Bluff we realize that vehicular travel will play an important role in our resident's lives, but we are also striving to provide a pleasant and safe environment for alternative modes of travel that are supportive of the mix of uses present within the community. Trails will be dedicated per the Commitment Matrix.

## street and circulation system

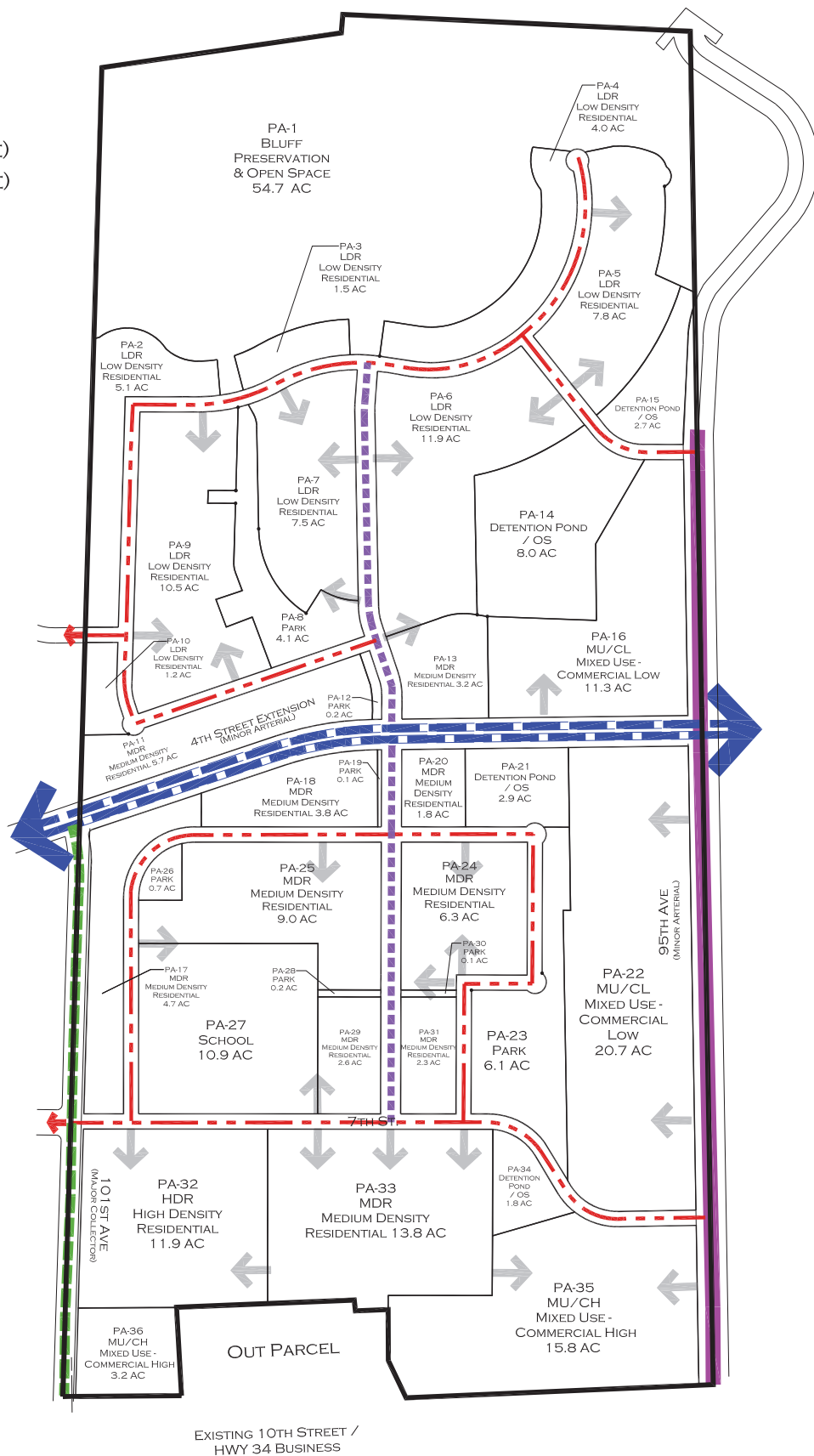
The street and vehicular circulation system at Lake Bluff will be a modified grid system. In this regard, it will provide the benefits associated with a grid system while responding to the natural topography of the site.

Also, there will be a definitive hierarchy present within the street system. Per the North Front Range Metropolitan Planning Organization's long range traffic and planning study, Lake Bluff will contain an east-west minor arterial in the form of the 4th Street extension from 10th Street; as well as a north-south minor arterial in 95th Avenue. The project will also include an anticipated collector roadway in 101st Ave, which will connect to the eastern most Promontory entrance. In this regard, the network of local streets utilized throughout the Lake Bluff community will have multiple points of connection and outstanding access to the greater Greeley and Weld County area.

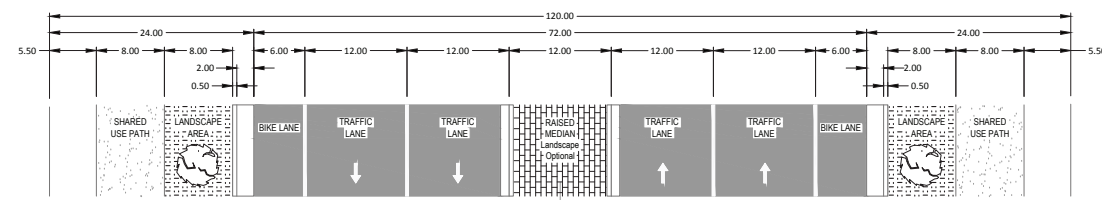
Connection of 7th Street east to 95th Ave may require abandonment of existing oil & gas facilities, and as such, may occur well into the future.



SYM	DESCRIPTION
	MINOR ARTERIAL (4-LANE)
	MINOR ARTERIAL (2-LANE)
	MAJOR COLLECTOR
	MINOR COLLECTOR
	LOCAL RESIDENTIAL (MAIN LOCAL ROADS)



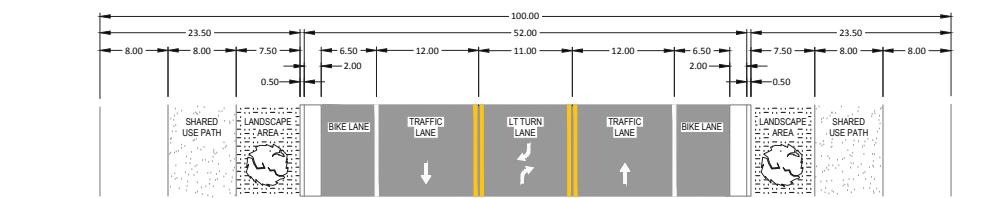
Max cross slopes for roads to be 2%  
 Road centerline slopes: Min = 0.7%, Max = 7%



Minor Arterial 4-Lane with Raised Median  
R.O.W. IMPROVEMENT

### NOTES:

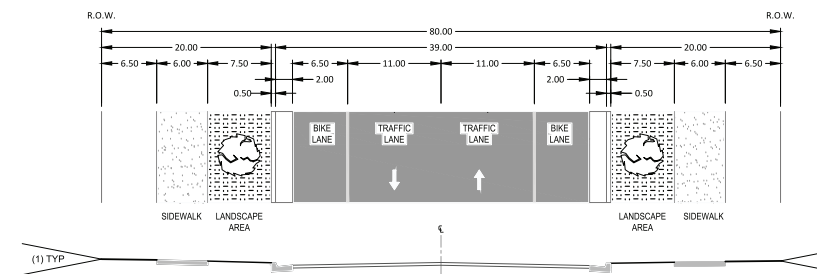
1. ADDITIONAL RIGHT-OF-WAY NEEDED IF MEDIAN WIDTH IS INCREASED.
2. MEDIAN SHALL HAVE A BREAK EVERY 500 FEET FOR VEHICULAR TRAFFIC.
3. CUT AND FILL SLOPES SHALL BE A MAXIMUM OF 4:1.
4. RIGHT-OF-WAY AND EASEMENT AREAS SHALL BE GRADED (CUT AND FILL) TO SUBGRADE (+/-0.5') PRIOR TO AND AFTER UTILITY INSTALLATION.
5. NORMAL CROWN SLOPE IS 2% WITH SPECIAL DESIGN REVIEW, 1% TO 5% IS ALLOWABLE AT TRANSITION AND OTHER NON-NORMAL SECTIONS.
6. ADDITIONAL RIGHT-OF-WAY WILL BE NEEDED FOR RIGHT TURN LANES WHERE WARRANTED.



Minor Arterial 2-Lane With Continuous Left Turn  
R.O.W. IMPROVEMENT

### NOTES:

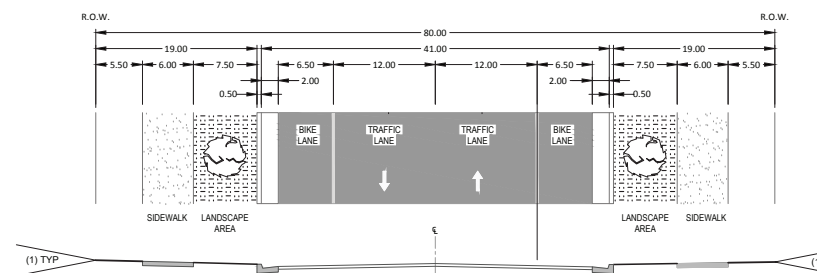
1. CUT AND FILL SLOPES SHALL BE A MAXIMUM OF 4:1.
2. RIGHT-OF-WAY AND EASEMENT AREAS SHALL BE GRADED (CUT AND FILL) TO SUBGRADE (+/-0.5') PRIOR TO AND AFTER UTILITY INSTALLATION.
3. NORMAL CROWN SLOPE IS 2% WITH SPECIAL DESIGN REVIEW, 1% TO 5% IS ALLOWABLE AT TRANSITION AND OTHER NON-NORMAL SECTIONS.
4. ADDITIONAL RIGHT-OF-WAY WILL BE NEEDED FOR RIGHT TURN LANES WHERE WARRANTED.



Major Collector 2-Lane Without Parking  
R.O.W. IMPROVEMENT

### NOTES:

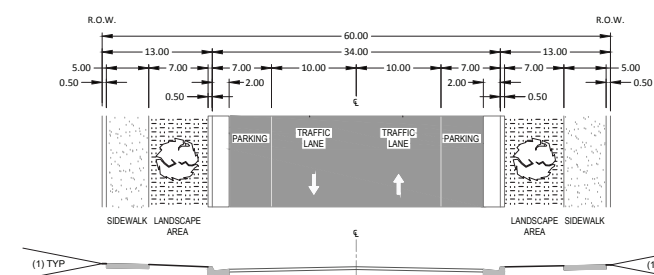
1. CUT AND FILL SLOPES SHALL BE A MAXIMUM OF 4:1.
2. RIGHT-OF-WAY AND EASEMENT AREAS SHALL BE GRADED (CUT AND FILL) TO SUBGRADE (+/-0.5') PRIOR TO AND AFTER UTILITY INSTALLATION.
3. NORMAL CROWN SLOPE IS 2% WITH SPECIAL DESIGN REVIEW, 1% TO 5% IS ALLOWABLE AT TRANSITION AND OTHER NON-NORMAL SECTIONS.



Minor Collector 2-Lane Without Parking  
R.O.W. IMPROVEMENT

### NOTES:

1. CUT AND FILL SLOPES SHALL BE A MAXIMUM OF 4:1.
2. RIGHT-OF-WAY AND EASEMENT AREAS SHALL BE GRADED (CUT AND FILL) TO SUBGRADE (+/-0.5') PRIOR TO AND AFTER UTILITY INSTALLATION.
3. NORMAL CROWN SLOPE IS 2% WITH SPECIAL DESIGN REVIEW, 1% TO 5% IS ALLOWABLE AT TRANSITION AND OTHER NON-NORMAL SECTIONS.



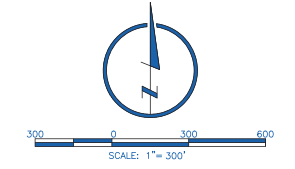
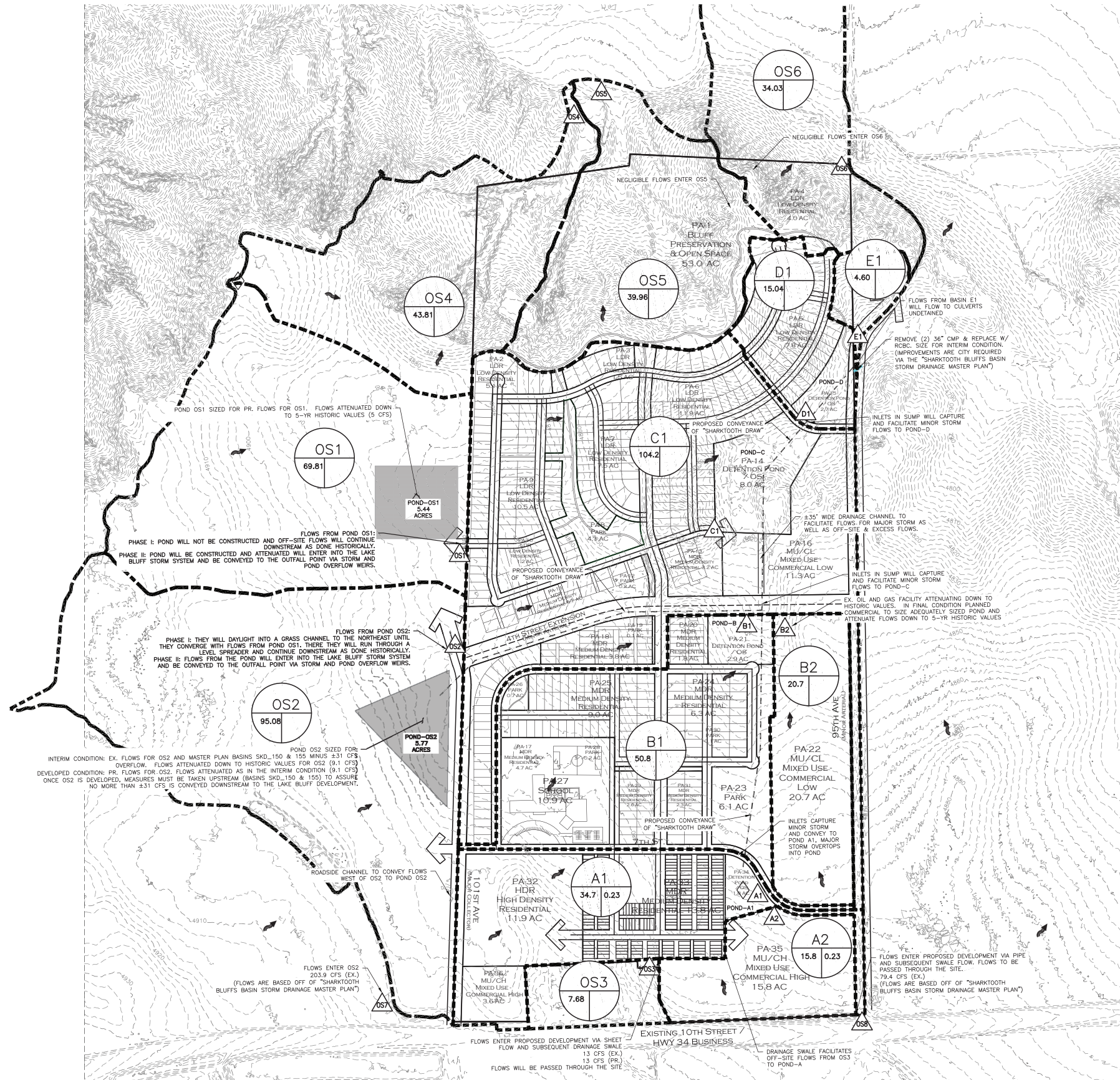
Local Residential - Up to 1,500 Vehicles Per Day  
R.O.W. IMPROVEMENT

### NOTES:

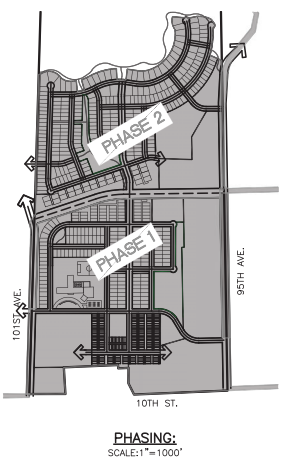
1. CUT AND FILL SLOPES SHALL BE A MAXIMUM OF 4:1.
2. RIGHT-OF-WAY AND EASEMENT AREAS SHALL BE GRADED (CUT AND FILL) TO SUBGRADE (+/-0.5') PRIOR TO AND AFTER UTILITY INSTALLATION.
3. NORMAL CROWN SLOPE IS 2% WITH SPECIAL DESIGN REVIEW, 1% TO 5% IS ALLOWABLE AT TRANSITION AND OTHER NON-NORMAL SECTIONS.
4. VERTICAL FACE CURB AND GUTTER IS REQUIRED ON ALL NEW LOCAL STREETS IN NEW SUBDIVISIONS.



Lake Bluff

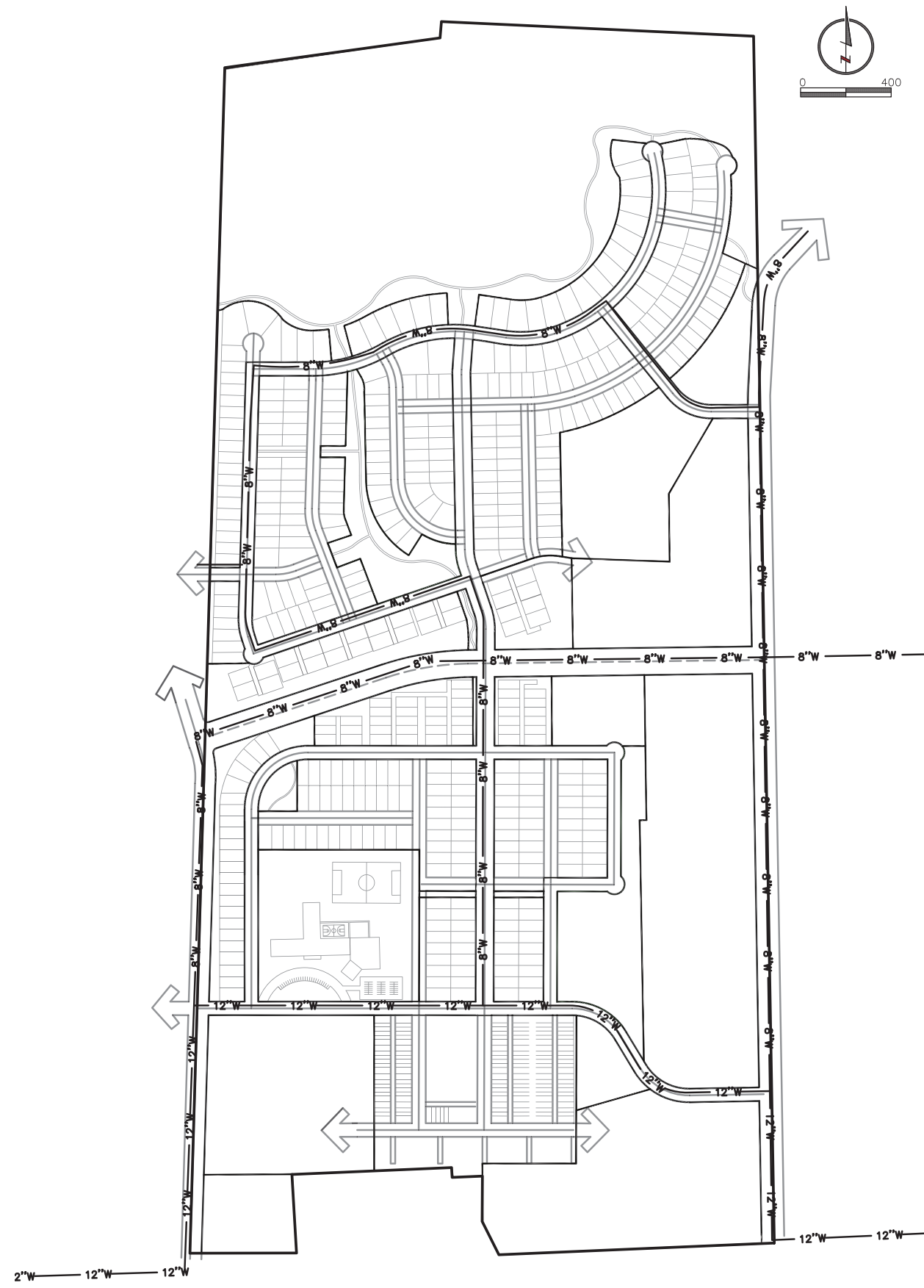


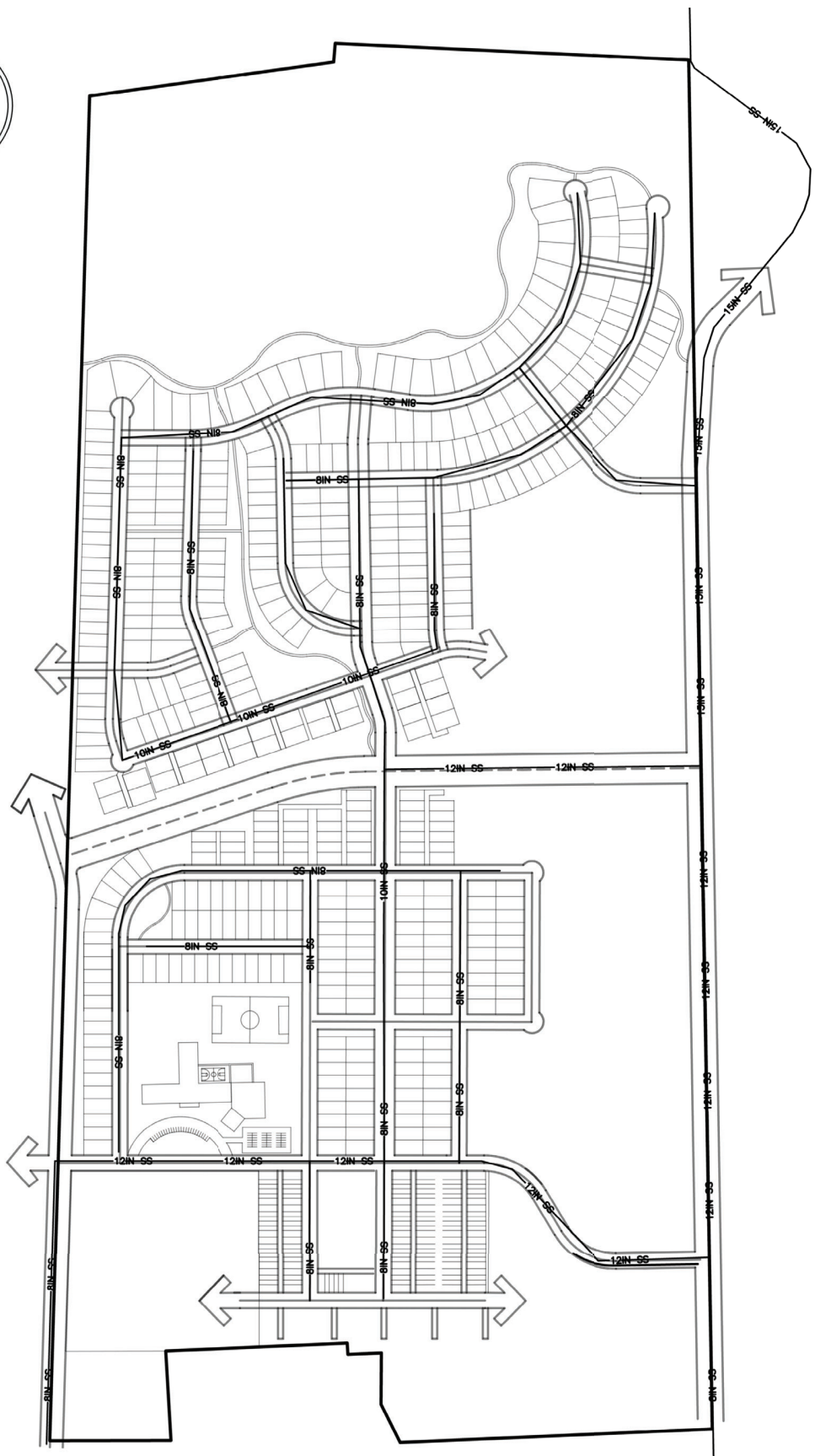
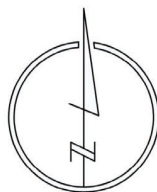
- DRAINAGE LEGEND:**
- DRAINAGE SUBBASIN BOUNDARY
  - PR. CONVEYANCE OF "SHARKTOOTH DRAW" FLOW UTILIZES DESIGNED STORMWATER CONVEYANCES INCLUDING STORM PIPE, STREET FLOW, CHANNELS AND DETENTION PONDS.
  - △ B4 DRAINAGE BASIN DESIGN POINT
  - B4 DRAINAGE SUBBASIN NAME DRAINAGE BASIN AREA
  - CHANNEL FLOW ARROW
  - OVERLAND FLOW ARROW
  - 1100 PROPOSED CONTOUR
  - 1100 EXISTING CONTOUR





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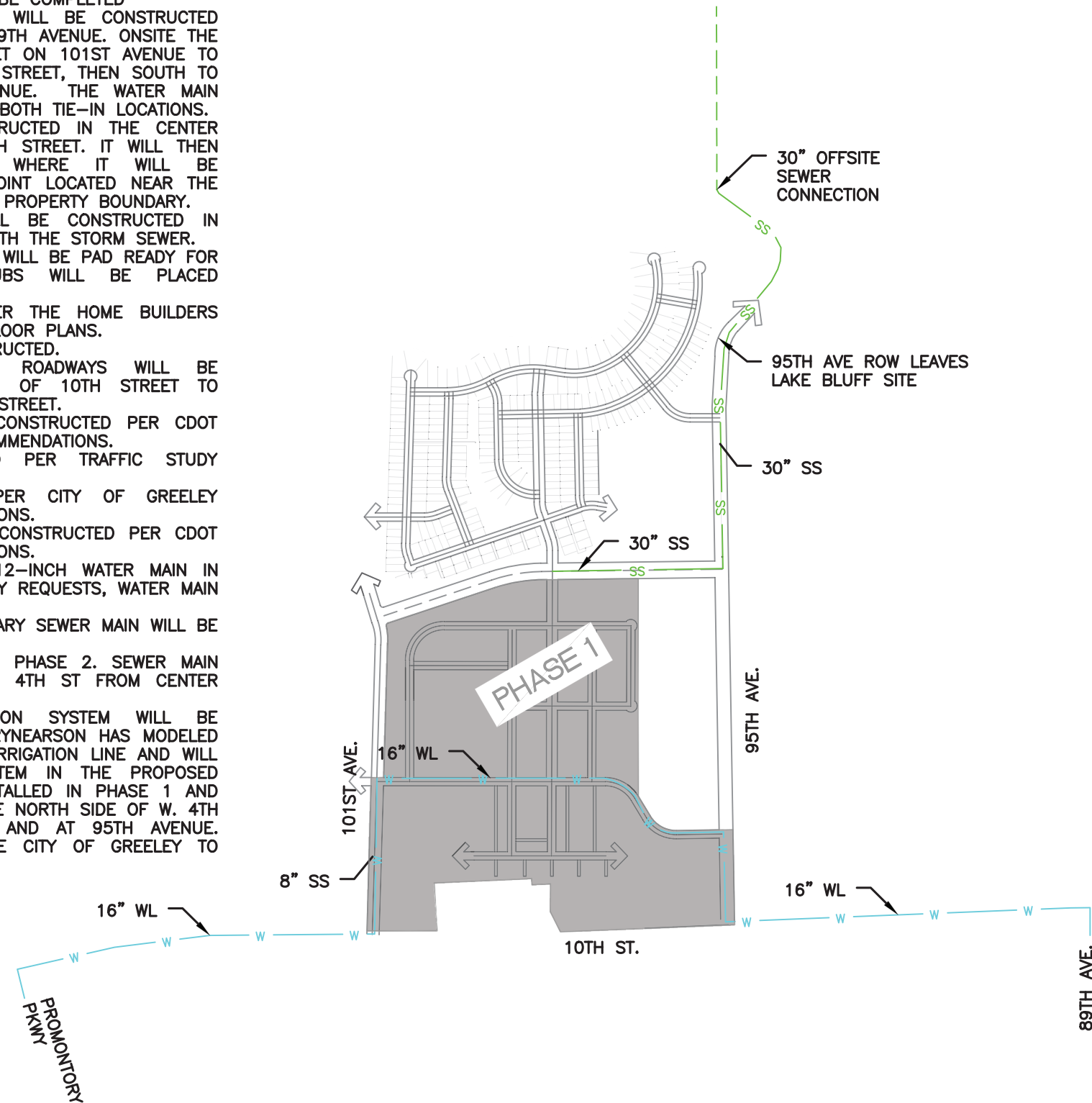




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**PHASE 1 EXPLANATION OF DESIGN WORK TO BE COMPLETED**

1. 16-INCH WATER MAIN IN 10TH STREET WILL BE CONSTRUCTED FROM PROMONTORY PARKWAY EAST TO 89TH AVENUE. ONSITE THE MAIN WILL GO NORTH FROM 10TH STREET ON 101ST AVENUE TO 7TH STREET, ALONG 7TH EAST TO 95TH STREET, THEN SOUTH TO 10TH STREET THEN EAST TO 89TH AVENUE. THE WATER MAIN WILL BE BORED UNDER 10TH STREET AT BOTH TIE-IN LOCATIONS.
2. SANITARY SEWER MAIN WILL BE CONSTRUCTED IN THE CENTER ROAD FROM 7TH STREET NORTH TO 4TH STREET. IT WILL THEN CONNECT OVER TO 95TH AVENUE WHERE IT WILL BE CONSTRUCTED NORTH TO THE TIE-IN POINT LOCATED NEAR THE NORTHEAST CORNER OF THE LAKE BLUFF PROPERTY BOUNDARY.
3. ALL UTILITY MAINS AND SERVICES WILL BE CONSTRUCTED IN PHASE 1 AND ANY PONDS ASSOCIATED WITH THE STORM SEWER.
4. COMMERCIAL SITES WILL BE GRADED AND WILL BE PAD READY FOR FUTURE LAND OWNERS. UTILITY STUBS WILL BE PLACED APPROXIMATELY 5- FEET INTO THE LOTS.
5. RESIDENTIAL LOTS WILL BE GRADED PER THE HOME BUILDERS REQUEST TO ACCOMMODATE PROPOSED FLOOR PLANS.
6. ALL INTERNAL ROADWAYS WILL BE CONSTRUCTED.
7. 101ST AVENUE AND 95TH AVENUE ROADWAYS WILL BE CONSTRUCTED FROM THE INTERSECTION OF 10TH STREET TO APPROXIMATELY 10 FEET NORTH OF 7TH STREET.
8. INTERSECTIONS ON 10TH ST WILL BE CONSTRUCTED PER CDOT REQUIREMENTS AND TRAFFIC STUDY RECOMMENDATIONS.
9. TRAFFIC SIGNALS WILL BE INSTALLED PER TRAFFIC STUDY RECOMMENDATIONS.
10. ALL WORK TO BE CONSTRUCTED PER CITY OF GREELEY ENGINEERING STANDARDS AND SPECIFICATIONS.
11. WORK IN ROW ON 10TH ST WILL BE CONSTRUCTED PER CDOT ENGINEERING STANDARDS AND SPECIFICATIONS.
12. CALCULATIONS FOR SITE DETERMINED 12-INCH WATER MAIN IN 10TH ST REQUIRED. PER CITY OF GREELEY REQUESTS, WATER MAIN WILL BE UPSIZED TO 16-INCH LINE.
13. PER CITY OF GREELEY REQUESTS, SANITARY SEWER MAIN WILL BE UPSIZED TO 30-INCH LINE.
14. 4TH STREET WILL BE CONSTRUCTED IN PHASE 2. SEWER MAIN WILL BE CONSTRUCTED IN PHASE 1 IN 4TH ST FROM CENTER ROAD TO 95TH AVE.
15. A SEPARATE NON-POTABLE IRRIGATION SYSTEM WILL BE DESIGNED FOR THE ENTIRE SITE. LAMP RYNEARSON HAS MODELED THE LINE TO BE A PROPOSED 8-INCH IRRIGATION LINE AND WILL RUN PARALLEL TO THE POTABLE SYSTEM IN THE PROPOSED ROADWAYS. THE IRRIGATION WILL BE INSTALLED IN PHASE 1 AND THE STUB-OUTS WILL BE PLACED ON THE NORTH SIDE OF W. 4TH STREET AT THE CENTER LOCAL ROAD AND AT 95TH AVENUE. COORDINATION WILL BE DONE WITH THE CITY OF GREELEY TO ENSURE PROPER CRITERIA IS MET.





**PHASE 2 EXPLANATION OF DESIGN WORK TO BE COMPLETED**

1. 12-INCH WATER MAIN IN 4TH STREET WILL BE CONSTRUCTED FROM 101ST AVENUE EAST TO THE PROJECTED INTERSECTION OF 83RD AVENUE AND 4TH STREET. STUBS WILL BE PROVIDED AT BOTH ENDS FOR FUTURE EXTENSIONS.
2. ALL UTILITY MAINS AND SERVICES WILL BE CONSTRUCTED IN PHASE 2 AND ANY PONDS ASSOCIATED WITH THE STORM SEWER.
3. RESIDENTIAL LOTS WILL BE GRADED PER THE HOME BUILDERS REQUEST TO ACCOMMODATE PROPOSED FLOOR PLANS.
4. 101ST AVENUE WILL BE CONSTRUCTED FROM 7TH STREET NORTH TO 4TH STREET
5. 95TH AVENUE WILL BE CONSTRUCTED FROM 7TH STREET NORTH TO THE NE CORNER OF THE SITE WHERE 95TH ST VEERS EAST FROM SITE.
6. ALL INTERNAL ROADWAYS WILL BE CONSTRUCTED.
7. ALL WORK TO BE CONSTRUCTED PER CITY OF GREELEY ENGINEERING STANDARDS AND SPECIFICATIONS.
8. CALCULATIONS FOR SITE DETERMINED 8-INCH WATER MAIN IN 4TH ST REQUIRED. PER CITY OF GREELEY REQUIREMENTS, WATER MAIN WILL BE UPSIZED TO 12-INCH LINE.
9. PER CITY OF GREELEY REQUIREMENTS, SEWER MAIN WILL BE UPSIZED TO 30-INCH LINE.
10. 4TH STREET WILL BE CONSTRUCTED INCLUDING WATER AND SEWER MAINS IN PHASE 2. WATER MAIN WILL ALSO BE CONSTRUCTED IN PHASE 2 FROM 7TH ST TO 4TH ST IN 101ST AVE.
11. LAMP RYNEARSON HAS MODELED THE NON-POTABLE IRRIGATION LINE TO BE A PROPOSED 8-INCH LINE, AND WILL RUN PARALLEL TO THE POTABLE SYSTEM IN THE PROPOSED ROADWAYS. THE IRRIGATION WILL BE INSTALLED IN PHASE 2 AND TIE INTO THE STUBS FROM PHASE 1. STUB-OUTS WILL BE PROVIDED AT THE WEST PROPERTY LINE IN THE LOCAL ROADWAY AND AT THE EAST PROPERTY LINE AT THE INTERSECTION OF 95<sup>TH</sup> AVENUE AND THE PROPOSED LOCAL ROAD.

