

**Habitat for Humanity
Affordable Housing Project at Gates Place
(25PLN-0020)**

Attachment List

1. Ordinance No. 839, add a RHNA combining district to the Development Code
2. Ordinance No. 840, add the RHNA combining district to the project site
 - a. Exhibit A, Zoning Map Amendment
3. Vicinity/Aerial Map Exhibits
4. Subdivision Map/Site Plan/Landscape Plan

ORDINANCE NO. 839

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRASS VALLEY ADDING SECTION 17.28.090 OF CHAPTER 17.28, TITLE 17 OF THE GRASS VALLEY MUNICIPAL CODE REGARDING A RHNA COMBINING ZONE IN THE CBP ZONING DESIGNATION

WHEREAS, Government Code sections 65583(c)(1) and 65583.2 requires the City to ensure adequate sites, zoning capacity, and development pathways for lower-income housing, and State housing laws-including SB 35, AB 1397, AB2162 and Housing Accountability Act (HAA)- to compel cities to remove constraints and facilitate affordable housing production

WHEREAS, the City's Corporate Business Park (CBP) zoning designation currently allows residential development only as part of a mixed-use configuration; and

WHEREAS, the City has determined that additional flexibility is necessary to support affordable housing development proposals; and

WHEREAS, establishing a RHNA zoning combining district that allows residential-only affordable housing in the CBP zone is consistent with the General Plan Housing Element, promotes the public welfare, and helps the City meet its Regional Housing Needs Allocation (RHNA) obligations; and

WHEREAS, the City approved Resolution 2025-48 adopting a Mitigated Negative Declaration (MND) in accordance with the California Environmental Quality Act (CEQA) for the affordable housing project proposed by Nevada County Habitat for Humanity, which included the proposed Zoning Text Amendment, among the entitlements analyzed for the Project (SCH No. 2025100774); and

WHEREAS, the Planning Commission, after considering public comment, held a duly noticed public hearing and reviewed the draft zoning text amendment at its regular meeting held on November 18, 2025 and voted 3-0 (two absent) to recommend adoption by the City Council.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF GRASS VALLEY:

SECTION 1. CODE AMENDMENT. Section 17.28.090 of Chapter 17.28 of Title 17 of the Grass Valley Municipal Code as follows is hereby amended to read as follows (deletions denoted by ~~struck through~~ text and additions denoted by underlined text):

17.28.090 – Regional Housing Needs Allocation (RHNA) combining zone.

- A. Purpose. The RHNA combining zone is intended to provide support of reaching the Regional Housing Needs Allocation (RHNA). By providing allowances for 100% deed restricted affordable housing units to be located within CBP (Corporate

Business Park) Zone and be constructed with, or without a non-residential campus/project.

B. Rezoning Requirements.

1. Criteria for Area and Standards. The following criteria shall be used in establishing regulations for an area to be rezoned with the RHNA combining zone, and the selection of the area to be rezoned:

a. Areas of CBP Zone where 100% of the proposed residential units are deed restricted for a minimum of 30 years “affordable” up to 120% AMI for Western Nevada County.

2. Findings for Rezoning. The following finding or findings shall be made a part of a rezoning ordinance to apply the RHNA combining zone to property:

a. The specific site and/or structure proposed is conducive for residential living and that the number of units does not exceed the maximum number allowed in the CBP Base Zone, or as allowed by State density bonus laws.

b. The project is designed to be residential attached multi-family or single family detached in conformance with R-2 Zone development standards per 17.22.040 Table 2-8.

C. Architectural Standards. So that buildings, structures, signs, landscaping, etc., will be keeping with the findings stipulated in Subsection B.2, the Commission shall take the following items under consideration in approving plans for a site within the RHNA combining zone.

1. The height, bulk and area of buildings;
2. Setbacks from property lines;
3. The color, textures and materials of the exterior walls;
4. The type, pitch and material of roofs;
5. The type, size and location of signs;

6. Landscaping and parking layout;
 7. The relationship to other buildings and/or uses in the area;
 8. The architectural treatment as related to any historical buildings or structures; and
 9. The location and treatment of the site as related to its natural setting, including grading, cuts and fills and preservation of trees and natural ground cover.
- D. Commission Review of Proposed Plans. No building permit shall be issued for construction within the RHNA combining zone until the proposed plans have been approved or conditionally approved by the Commission.
1. Application Requirements. The applicant shall submit required data on the items to be considered in Subsection C. for Commission approval.
 2. Referral for Advice. In its review of plans, the Commission may seek the advice of any person or organization, who, in the opinion of the Commission is qualified to give the advice. The person or organization must be devoid of any and all financial interest in the development under consideration.
 3. Changes to Project. If the Commission finds that the proposed structure or uses are incompatible to the purpose and intent of the RHNA combining zone, the Commission or its designated representative shall endeavor to have the plans changed to conform to the purpose and intent of the combining zone.
 4. Appeal. If the applicant is not satisfied with the Commission's or its representative's action, they may appeal the decision to the council in compliance with Chapter 17.91 (appeals).
- E. Destruction or Alteration of Historical Buildings. No historical building in the RHNA combining zone shall be moved or relocated, torn down, demolished, destroyed, altered, improved or otherwise changed in exterior appearance except as follows:

1. If any historical building is damaged by an act of God, including earthquake or fire, the owner may repair the building if he secures a permit from the Commission or its authorized representative.
2. An owner making any alteration to the exterior of a historical building or intending to move or relocate the building shall submit plans and secure approval from the Commission or its authorized representative prior to construction and/or issuance of a building permit.

SECTION 2. CEQA FINDINGS. This Ordinance was considered by the City as part of the overall development project analyzed in the Mitigated Negative Declaration (MND) prepared for the Project under CEQA (SCH No. 2025100774) and adopted by City Council under Resolution No 2025-48.

SECTION 3. SEVERABILITY. If any section, subsection, sentence, clause, phrase or portion of this Ordinance or its application to any person or circumstance is held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance or its application to other persons and circumstances. The City Council of the City of Grass Valley declares that it would have adopted this Ordinance and each section, subsection, sentence, clause, phrase or portion thereof despite the fact that any one or more sections, subsections, sentences, clauses, phrases, or portions be declared invalid or unconstitutional and, to that end, the provisions hereof are hereby declared to be severable.

SECTION 4. Effective Date. This Ordinance shall be in full force and effect 30 days after its adoption under Article VII, § 2 of the Grass Valley City Charter.

SECTION 5. Publication. The City Clerk shall certify to the passage and adoption of this Ordinance and shall cause the same to be published once in *The Union*, a newspaper of general circulation printed, published, and circulated within the City.

INTRODUCED and first read at a regular meeting of the City Council on the 25th day of November 2025.

FINAL PASSAGE AND ADOPTION by the City Council was at a meeting held on the _____ day of _____ 2025, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAINING:

Hilary Hodge, Mayor

APPROVED AS TO FORM:

ATTEST:

Michael G. Colantuono, City Attorney

Taylor Day, City Clerk

ORDINANCE NO. 840

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRASS VALLEY APPROVING A ZONING MAP AMENDMENT TO ADD A REGIONAL HOUSING NEEDS ALLOCATION (RHNA) ZONING COMBINING DISTRICT TO THE PROPERTY ZONED CORPORATE BUSINESS PARK (CBP) FOR PROPERTY AT ASSESSOR'S PARCEL NUMBER (APN): 035-600-015, GRASS VALLEY, CALIFORNIA

WHEREAS, a complete application was filed by Nevada County Habitat for Humanity to rezone APN: 035-600-015 to add the Regional Housing Needs Allocation (RHNA) combining district to the Corporate Business Park (CBP) zoning designation as provided in Exhibit A; and

WHEREAS, the RHNA combining district allows the property to be developed as a residential-only affordable housing project in the CBP zone, which is consistent with the General Plan Housing Element, promotes public welfare, and helps the City meet its Regional Housing Needs Allocation (RHNA) obligations; and

WHEREAS, the City approved Resolution 2025-48 adopting a Mitigated Negative Declaration (MND) in accordance with the California Environmental Quality Act (CEQA) for the affordable housing project proposed by Nevada County Habitat for Humanity which included the proposed Zoning Map Amendment, among the entitlements analyzed for the Project (SCH No 2025100774)0; and

WHEREAS, the Planning Commission, after considering public comment, held a duly noticed public hearing and reviewed the Project, which included the draft Ordinance at its regular meeting held on November 18, 2025 and voted 3 to 0 (two absent) to recommend that City Council approve the Project; and

WHEREAS, pursuant to development ordinance and statutory requirements, the City of Grass Valley made due public notification of the pending zoning map amendment.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF GRASS VALLEY:

SECTION 1. RECITALS. The recitals and findings set forth above are true and correct and incorporated herein by reference.

SECTION 2. The City of Grass Valley City Council adopts the zoning map amendment, which is shown on "Exhibit A" attached hereto.

SECTION 3. SEVERABILITY. If any section, subsection, sentence, clause, phrase or portion of this Ordinance or its application to any person or circumstance is held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance or its application to other persons and circumstances. The City Council of the City of Grass Valley declares that it would have adopted this Ordinance and each section, subsection, sentence, clause, phrase or portion thereof

despite the fact that any one or more sections, subsections, sentences, clauses, phrases, or portions be declared invalid or unconstitutional and, to that end, the provisions hereof are hereby declared to be severable.

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AYES:

NOES:

ABSENT:

ABSTAINING:

Hilary Hodge, Mayor
City of Grass Valley

APPROVED AS TO FORM:

ATTEST:

Michael G. Colantuono, City Attorney

Taylor Whittingslow, City Clerk

APN:

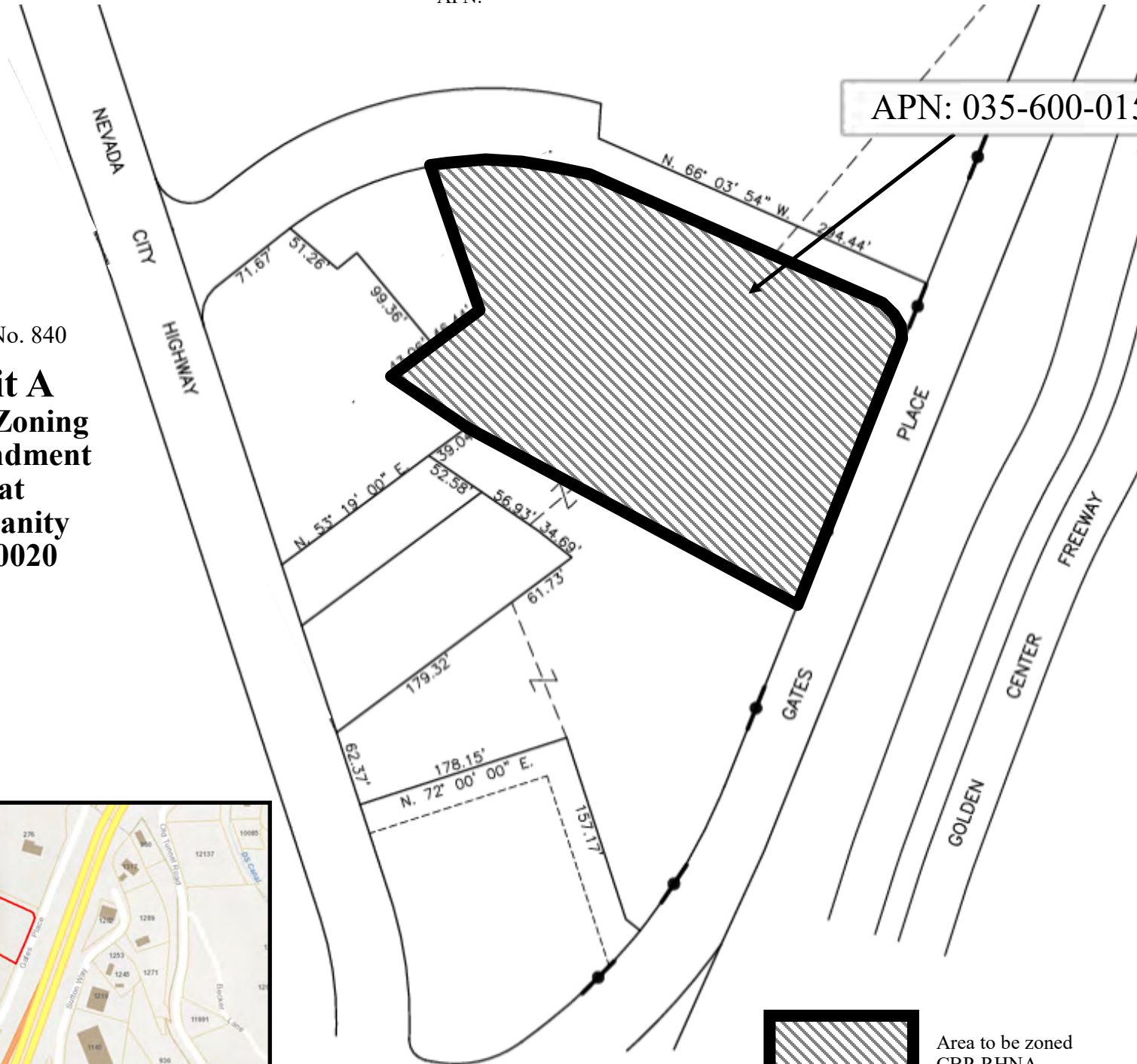
APN: 035-600-015

Ordinance No. 840

Exhibit A
Proposed Zoning
Map Amendment
Habitat
For Humanity
25PLN-0020

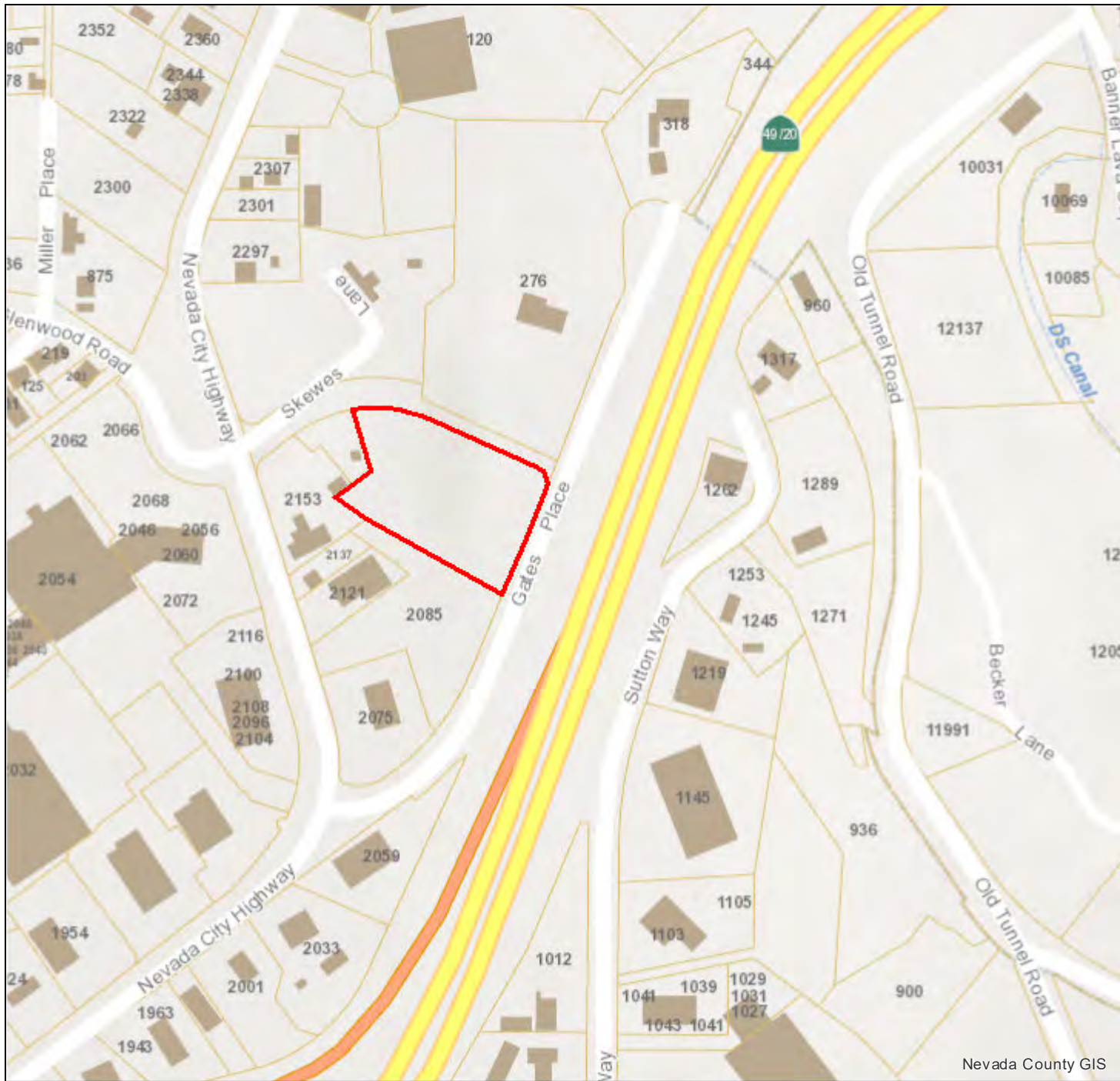


Vicinity Map



Area to be zoned
CBP-RHNA

Habitat for Humanity - Vicinity



Parcel APN: 035-600-015

UNKNOWN ADDRESS

Land Value:

Improvement Value:

Acres: Unknown

Zoning: CBP GVCity

General Plan: BP GVCity

Fire District: Grass Valley

Elementary Sch. Dist: Grass Valley

Water District:

Nevada Irrigation Dist: NID Water - Zone 1.0

Public Utility:

Park District:

Service Area: Solid Waste Grass Valley - Csa 32

Snow Load: 51 lbs/sqft

Wind Exposure: C

Climate Zone: 11

Elevation: 2,664 feet

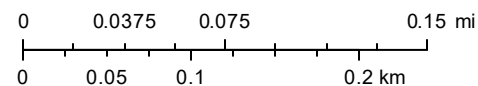
Overview Map



May 28, 2025

© 2024 Nevada County, California

Scale:
1:4,514



Habitat for Humanity - Aerial



Parcel APN: 035-600-015
UNKNOWN ADDRESS

Land Value:

Improvement Value:

Acreage: Unknown

Zoning: CBP GVCity

General Plan: BP GVCity

Fire District: Grass Valley

Elementary Sch. Dist: Grass Valley

Water District:

Nevada Irrigation Dist: NID Water - Zone 1.0

Public Utility:

Park District:

Service Area: Solid Waste Grass Valley - Csa 32

Snow Load: 51 lbs/sqft

Wind Exposure: C

Climate Zone: 11

Elevation: 2,664 feet

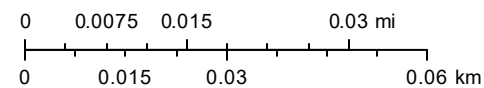
Overview Map



May 28, 2025

© 2024 Nevada County, California

Scale:
1:1,128



HABITAT FOR HUMANITY

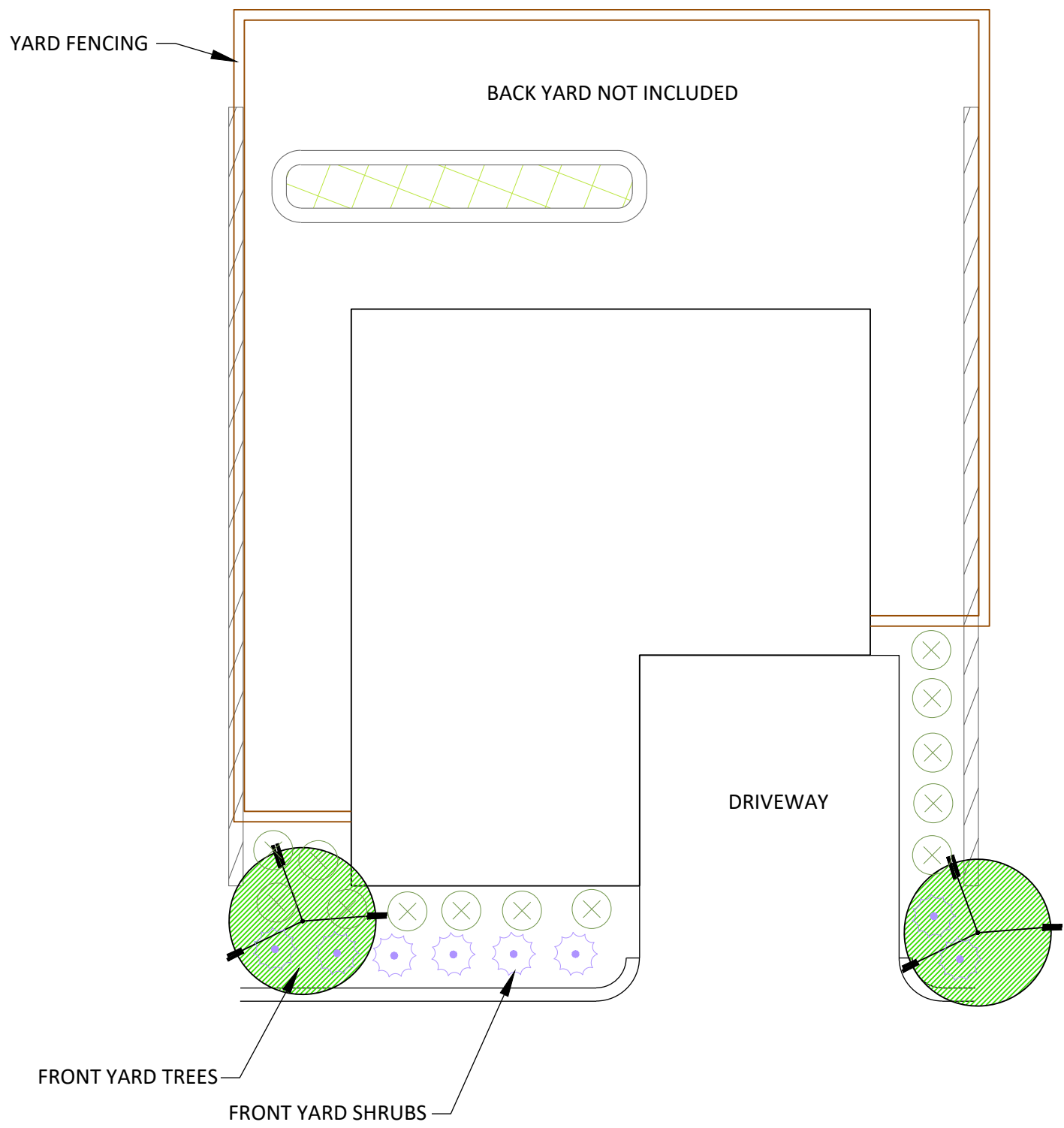
GRASS VALLEY, CALIFORNIA

PLANT LEGEND

SYM	BOTANICAL/ COMMON NAME	SIZE	QTY	WATER USE*
TREES				
	CHILOPSIS LINEARIS/ DESERT WILLOW	15 GAL	15	LOW
	CERCIS OCCIDENTALIS/ WESTERN REDBUD	15 GAL	22	V. LOW
SHRUBS				
	CISTUS LADANIFER/CRIMSON SPOT ROCKROSE	5 GAL	--	LOW
	DIETES VEGETA/ FORTNIGHT LILY	1 GAL	--	LOW
	LANTANA MONTEVIDENSIS/ TRAILING LANTANA	1 GAL	--	LOW
	LAVANDULA ANGUSTIFOLIA/ ENGLISH LAVENDER	1 GAL	--	LOW
	BERBERIS AQUIFOLIUM/ OREGON GRAPE	5 GAL	--	LOW

PRELIMINARY LANDSCAPE NOTES

1. PLANTING SHALL CONFORM TO LOCAL REQUIREMENTS FOR LANDSCAPE SITE DEVELOPMENT.
2. FINAL PLANTING AND IRRIGATION DESIGN PLANS SHALL BE PROVIDED DURING THE PERMIT PHASE OF DESIGN.
3. ALL EXISTING TREES SHALL BE PROTECTED FROM DAMAGE OR INJURY.
4. NO PARKING OR STACKING OF CONSTRUCTION MATERIAL IS ALLOWED WITHIN THE DRIPLINE OF AN EXISTING TREE.
5. ALL PLANT MATERIAL SHALL COMPLY WITH ANSI Z601 'STANDARD FOR NURSERY STOCK'.
6. ROOT BARRIERS SHALL BE PROVIDED FOR ALL TREES WITHIN ANY PLANTING AREAS THAT ARE LESS THAN 10" WIDE.
7. ALL PLANTER AREAS SHALL RECEIVE A 3" LAYER OF BARK MULCH.
8. A SOILS TEST SHALL BE PROVIDED DURING CONSTRUCTION (AFTER GRADING OPERATIONS ARE CONCLUDED) TO DETERMINE SOIL FERTILITY AND ACTUAL SOIL AMENDMENTS TO BE ADDED DURING PLANTING.
9. NO TURF IS PROPOSED.
10. NATURAL SLOPES ON SITE DO NOT EXCEED 5' IN ELEVATION.



TYPICAL FRONT YARD LAYOUT
NTS



PRELIMINARY LANDSCAPE PLAN

MAY 22, 2025



LEGEND:

- PHASING LINE
- EXISTING TREES (CONIFER & DECIDUOUS)
- PROPOSED ASPHALT (3" AC ON 8" AGG. BASE)
- PROPOSED CONCRETE

SITE INFORMATION:

PROPERTY ADDRESS

NEVADA CITY HIGHWAY/ GATES PLACE
GRASS VALLEY, CA 95945

APPLICANT

NEVADA COUNTY HABITAT FOR HUMANITY
P.O. BOX 2997
GRASS VALLEY, CA 95945

OWNER

MRP GRASS VALLEY, LLC
3100 PINEBROOK RD, STE 2600A
PARK CITY, UT, 84098

MAP PREPARED BY

SCO PLANNING & ENGINEERING, INC.
140 LITTON DRIVE, SUITE 240
GRASS VALLEY, CA 95645
(530) 272-5841
CONTACT: MARTIN WOOD, P.L.S.

ASSESSOR'S PARCEL NUMBER

035-600-004; -007

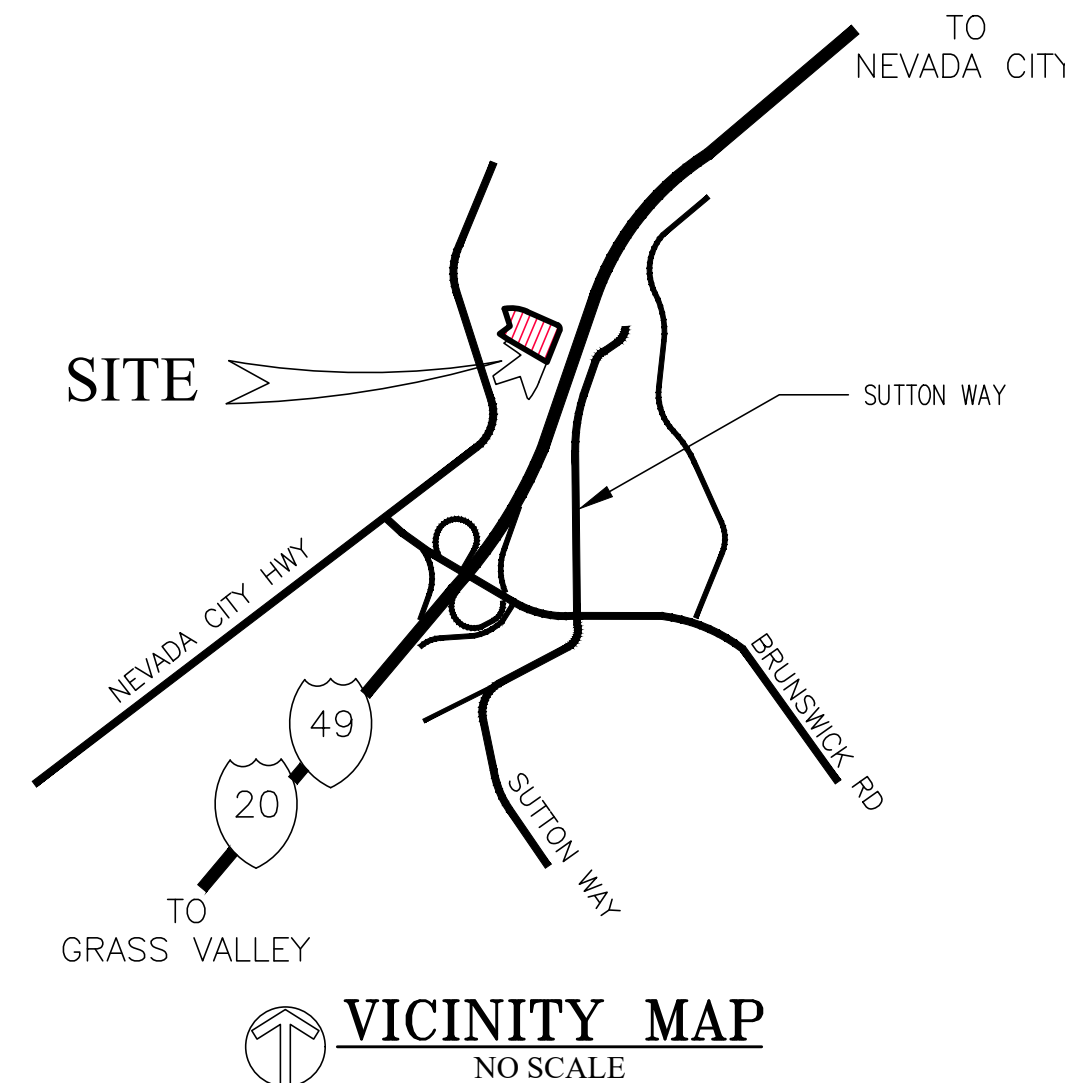
LOT AREA

87,584 SF (PER LLA)

ZONING/ GENERAL PLAN

CBP GVCity/ BP GVCity
(CORPORATE BUSINESS PARK, GRASS VALLEY)

SITE STATISTICS			
	SF	AC	%
Buildings	18,932	0.43	21.62%
AC	18,171	0.42	20.75%
Landscape HOA	14,200	0.33	16.21%
Landscape	36,281	0.83	41.42%
	87,584	2.01	100.00%



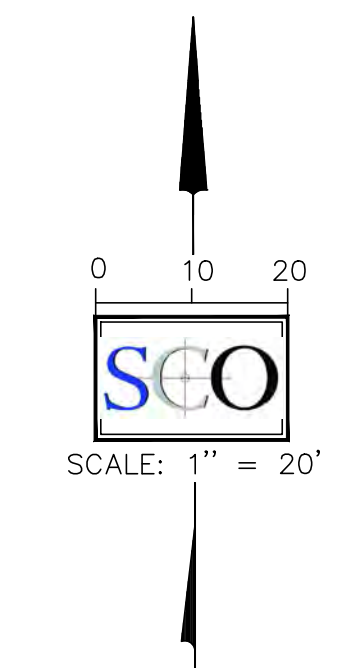
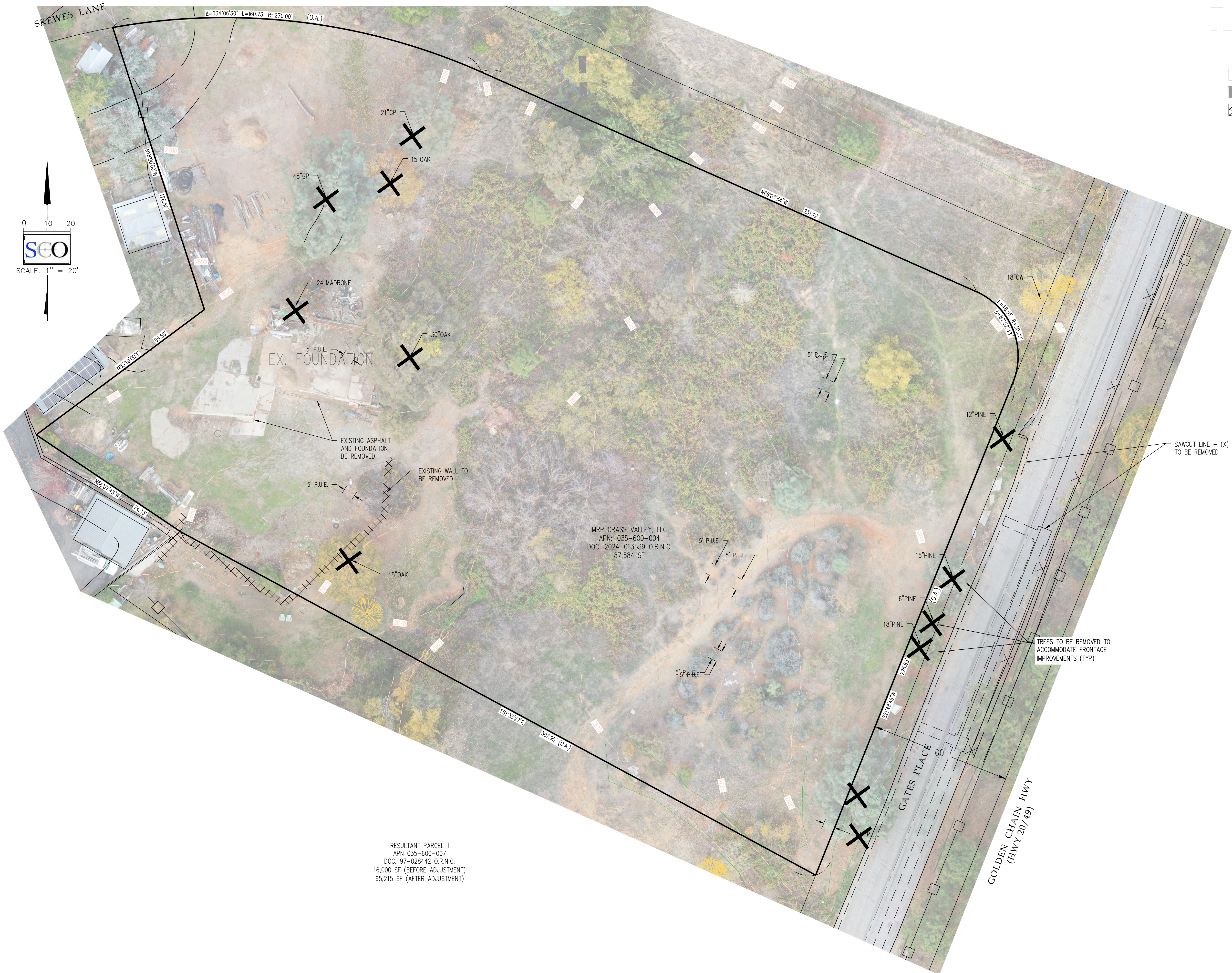
DESIGNED: MDW/ NJB	DATE	NO. REVISIONS
DRAWN: MDW		
PROJ. NO: 202458		
DATE: MAY, 2025		
DWG: SEE DAY STAMP		

DEVELOPMENT PERMIT
HABITAT FOR HUMANITY
OVERALL SITE PLAN



GRASS VALLEY
(530) 272-5841
TRUCKEE
(530) 582-4043





LEGEND

- PROPERTY LINE
- EASEMENT LINE (AS DESCRIBED)
- SETBACK LINE (AS DESCRIBED)
- MAJOR CONTOUR LINE (5' INTERVAL)
- MINOR CONTOUR LINE (1' INTERVAL)
- (DESCRIBE) PROPERTY CORNER MONUMENT
- PROPERTY CORNER NOT FOUND OR TO BE SET
- EXISTING CONCRETE SURFACE
- EXISTING ASPHALT PAVEMENT
- EXISTING ASPHALT/ HARDSCAPE TO BE REMOVED
- EXISTING CONIFER TREE (P) PINE (F) FIR, DIAMETER INDICATED
- EXISTING DECIDUOUS TREE BLACK OAK (BO), DIAMETER INDICATED
- EXISTING TREE TO BE REMOVED (P) PINE (F) FIR, DIAMETER INDICATED. (±13 TOTAL)
- COTTONWOOD
- GREY PINE

RESULTANT PARCEL 1
APN 035-600-007
DOC. 97-028442 O.R.N.C.
16,000 SF (BEFORE ADJUSTMENT)
65,215 SF (AFTER ADJUSTMENT)

MRP GRASS VALLEY, LLC
APN: 035-600-004
DOC. 2024-013539 O.R.N.C.
87,584 SF

DESIGNED: MDW/ NJB
DRAWN: MDW
PROJ. NO: 202458
DATE: MAY, 2025
DWG: SEE DAY STAMP

DATE

NO. REVISIONS

NO.

DEVELOPMENT PERMIT
HABITAT FOR HUMANITY
TOPOGRAPHY AND DEMOLITION PLAN

TOWN/CITY/COUNTY
CALIFORNIA

PLANNING • ENGINEERING • SURVEYING

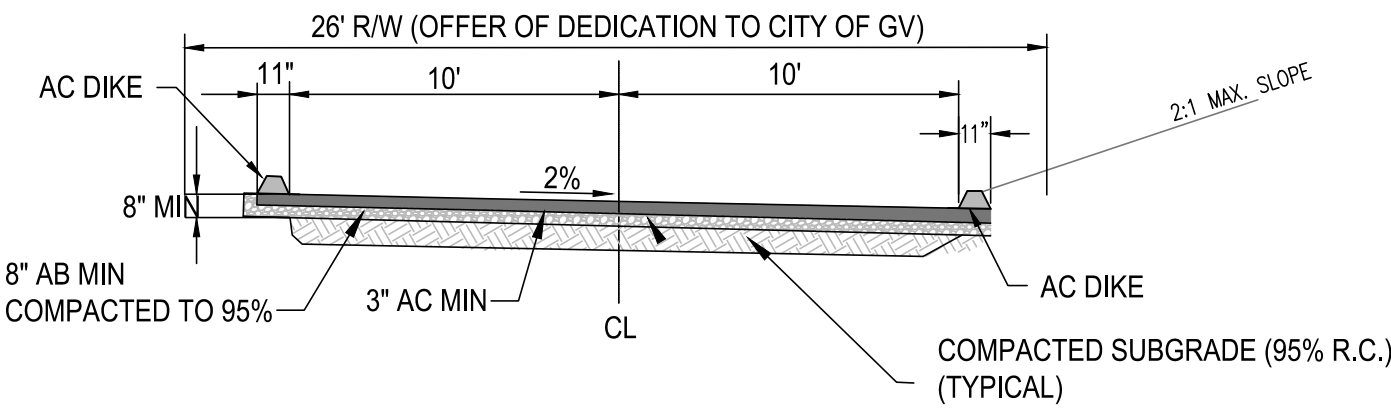
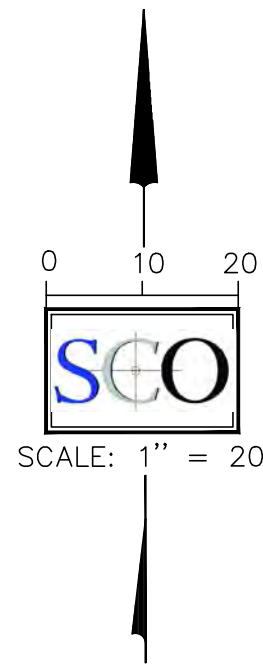
GRASS VALLEY
(530) 272-5841
TRUCKEE
(530) 582-4043

REGISTERED PROFESSIONAL ENGINEER
NATHAN J. BLACK
C 95657
CIVIL
STATE OF CALIFORNIA

2 OF 6

EARTHWORK QUANTITIES

3476 C.Y. CUT
5366 C.Y. FILL
1890 C.Y. IMPORT



A- DRIVEWAY
CROSS-SECTION
N.T.S.

LEGEND

- 8"W WATER LINE PIPE
- 15"SD STORM DRAIN PIPE (SIZE AS NOTED)
- 8"SS SEWER LINE (SIZE AS NOTED)
- GAS GAS
- JOINT TRENCH (DRY UTILITIES)
- E ELECTRIC LINE
- FENCE LINE
- FLOW LINE
- DOUBLE WATER SERVICE
- SINGLE WATER SERVICE
- FIRE HYDRANT
- DRAINAGE INLET
- STORM DRAIN MANHOLE
- 4" SINGLE SEWER LATERAL CLEAN OUT TO GRADE (S1)
- SEWER MANHOLE
- ELECTRIC TRANSFORMER
- ELECTRIC VAULT
- COMMUNICATION BOX
- ROADWAY SECTION DELINEATION, SEE SECTION DETAILS SIGN
- CONCRETE HARDSCAPE
- ASPHALT PAVEMENT
- FLOW LINE / ROCK LINED DITCH
- BIO RETENTION TREATMENT AREA/POND
- SF SE-1-SILT FENCE SD#71, SEE STORM DRAIN DETAILS
- FR SE-5-FIBER ROLLS

DRAINAGE NOTES

- D1 - RETENTION POND
- D2 - BIO RETENTION AREA
- D3 - TYPE 1R V-DITCH
- D4 - HDPE STORM DRAIN (SIZE AS SHOWN)
- D5 - 36" CMP IMLET
- D6 - STORM DRAIN INLET

SEWER NOTES

- S1 - 6" SEWER MAIN
- S2 - NOT USED
- S3 - SANITARY SEWER MANHOLE
- S4 - SERVICE LATERAL
- S5 - CLEANOUT TO GRADE WITHIN 5' OF BUILDING

WATER NOTES

- W1 - CONNECT TO EXISTING MAIN
- W2 - IRRIGATION METER AND BACKFLOW DEVICE
- W3 - DOMESTIC METER
- W4 - DOUBLE DOMESTIC WATER METER
- W5 - FIRE HYDRANT
- W6 - EXTENSION OF EXISTING MAIN
- W7 - END OF LINE AIR RELEASE VALVE
- W8 - BUNDLED DOMESTIC WATER SERVICE

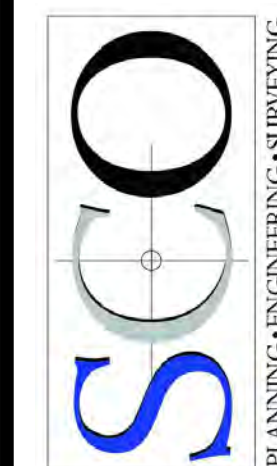
DRY UTILITY NOTES

- U1 - JOINT UTILITY TRENCH
- U2 - TRANSFORMER
- U3 - SERVICE BOXES

GENERAL NOTES

- G1 - ASPHALT CONCRETE PAVING
- G2 - 5' CONCRETE SIDEWALK
- G3 - CONCRETE CURB AND GUTTER
- G4 - CONCRETE OR BLOCK WALL TO EXPOSED HEIGHTS - 2'-3'
- G5 - ROCKERY RETAINING WALL - UP TO 6' ±

DEVELOPMENT PERMIT
HABITAT FOR HUMANITY
PRELIMINARY GRADING, DRAINAGE, UTILITY PLAN



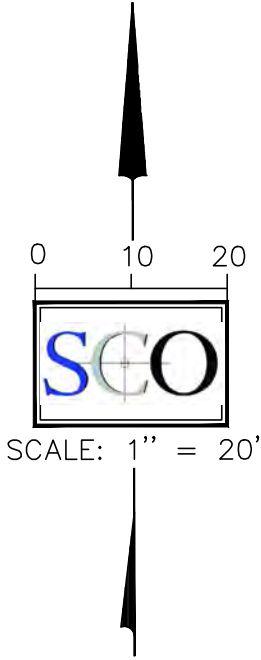
GRASS VALLEY
(530) 272-5841
TRUCKEE
(530) 582-4043





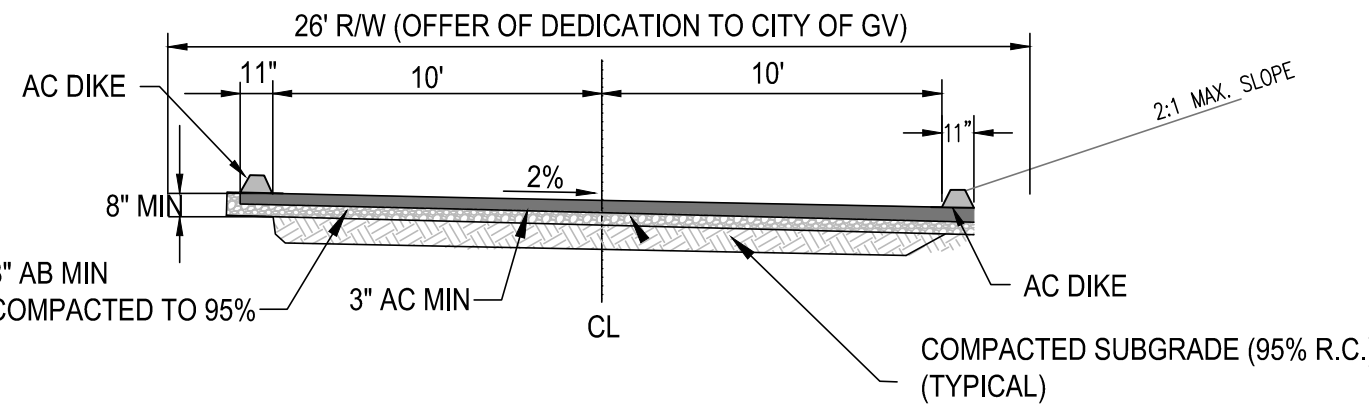
LEGEND:

PROPERTY LINE
PHASING LINE

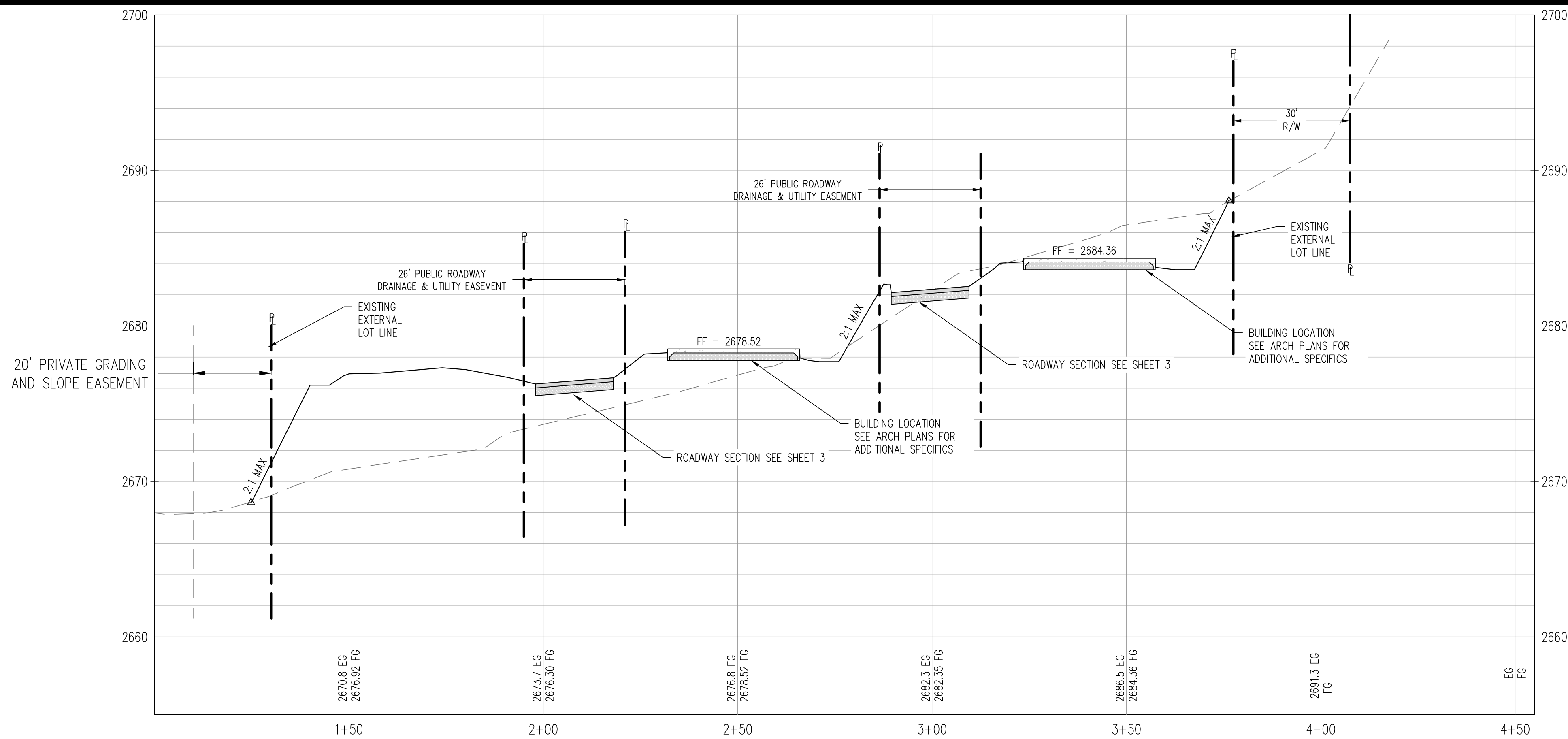


GOLDEN CHAIN HWY
(HWY 20/49)

GATES PLACE

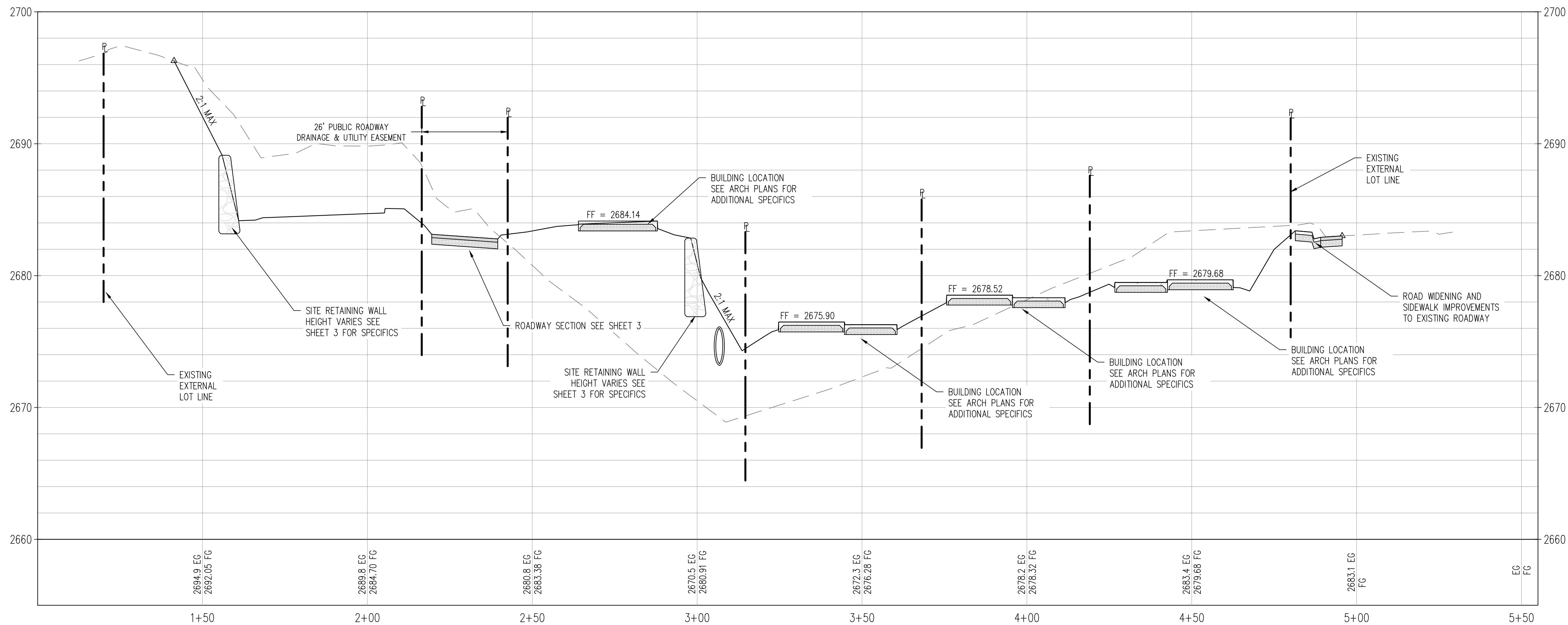


DESIGNED: MDW/ NUB	DATE	NO. REVISIONS	TOWN/CITY/COUNTY CALIFORNIA	DEVELOPMENT PERMIT HABITAT FOR HUMANITY TENTATIVE SUBDIVISION MAP	SCS PLANNING • ENGINEERING • SURVEYING	GRASS VALLEY (530) 272-5841 TRUCKEE (530) 582-4043	REGISTERED PROFESSIONAL ENGINEER MATTHEW J. BLACK C 95657 CIVIL STATE OF CALIFORNIA	4 OF 6
DRAWN: MDW								
PROJ. NO: 202458								
DATE: MAY, 2025								
DWG: SEE DAY STAMP								



PROFILE VIEW
SECTION 1, STA: 1+00 - 4+55

SCALE: 1"=20' HORIZ.
1"=5' VERT.



PROFILE VIEW
SECTION 2, STA: 1+00 - 5+55

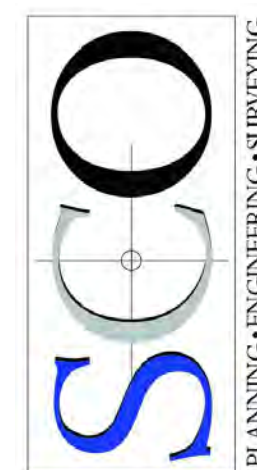
SCALE: 1"=20' HORIZ.
1"=5' VERT.

LEGEND

- PROPERTY LINE
- CONCRETE HARDSCAPE
- ASPHALT PAVEMENT

DEVELOPMENT PERMIT HABITAT FOR HUMANITY SITE SECTIONS

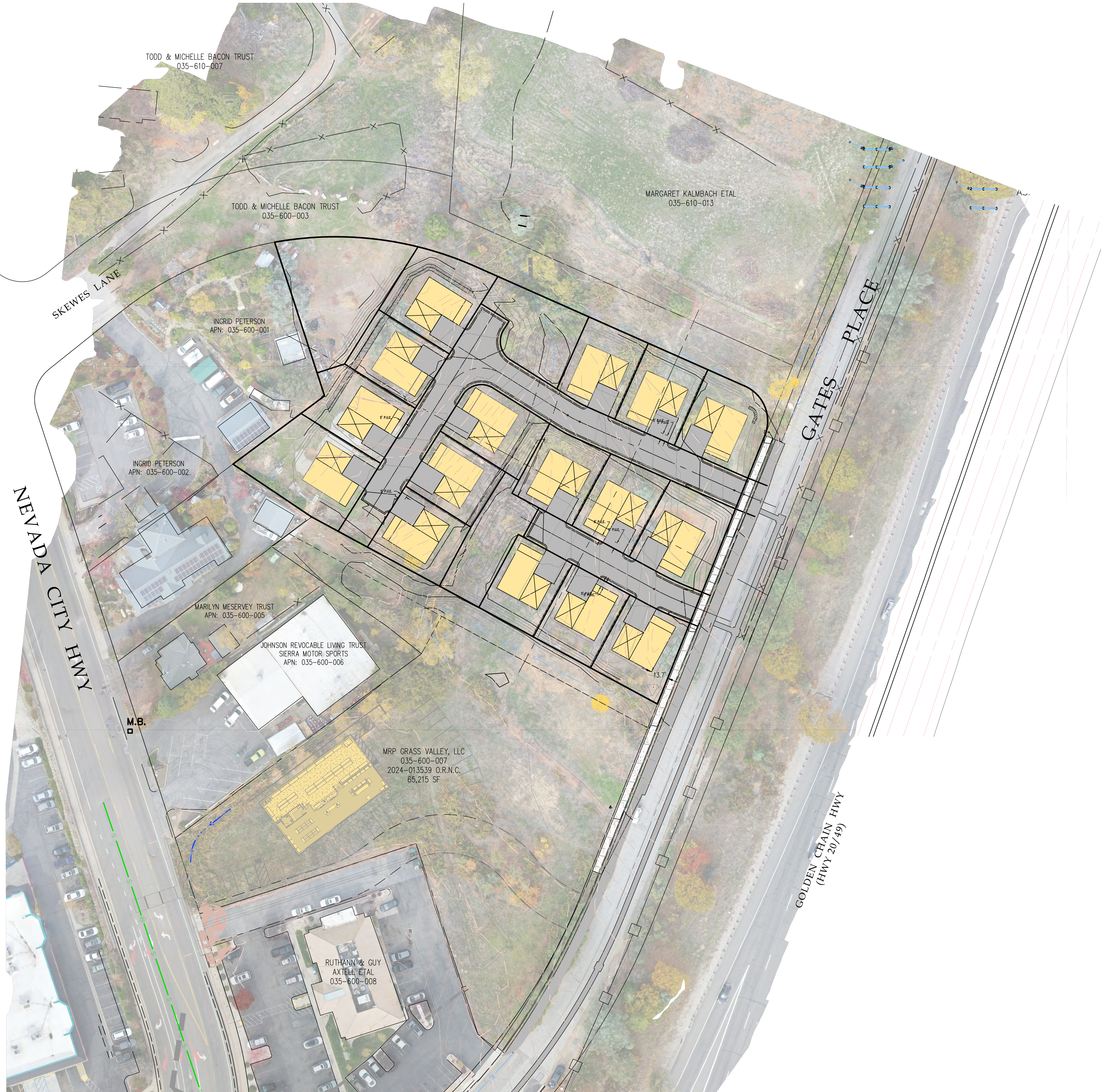
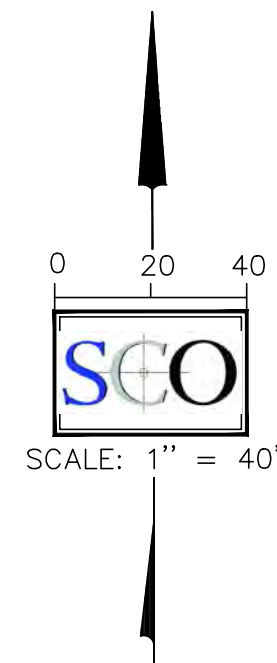
TOWN/CITY/COUNTY



PLANNING • ENGINEERING • SURVEYING

GRASS VALLEY
(530) 272-5841
TRUCKEE
(530) 582-4043





SITE INFORMATION:

PROPERTY ADDRESS
NEVADA CITY HIGHWAY/ GATES PLACE
GRASS VALLEY, CA 95945

APPLICANT
NEVADA COUNTY HABITAT FOR HUMANITY
P.O. BOX 2997
GRASS VALLEY, CA 95945

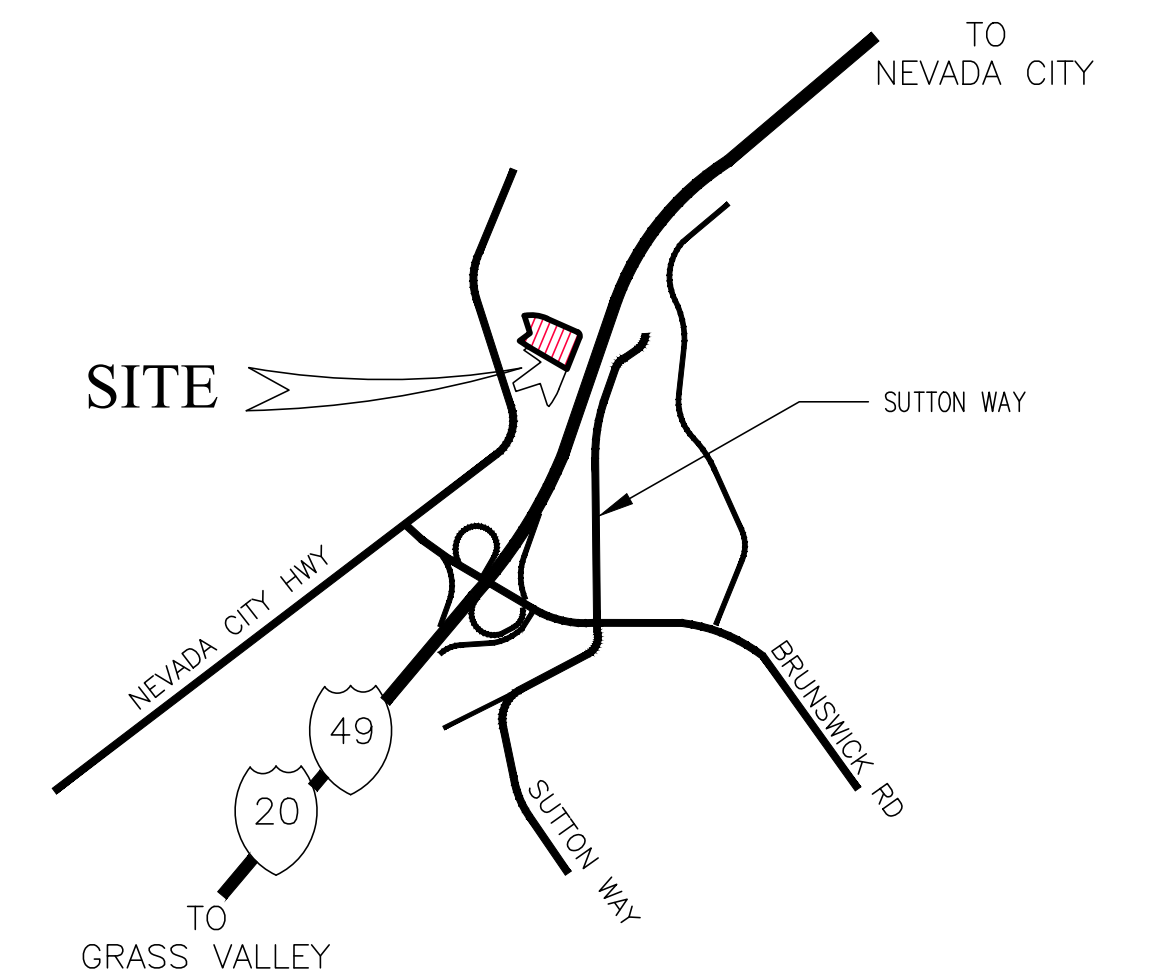
OWNER
MRP GRASS VALLEY, LLC
3100 PINEBROOK RD, STE 2600A
PARK CITY, UT, 84098

MAP PREPARED BY
SCO PLANNING & ENGINEERING, INC.
140 LITTON DRIVE, SUITE 240
GRASS VALLEY, CA 95645
(530) 272-5841
CONTACT: MARTIN WOOD, P.L.S.

ASSESSOR'S PARCEL NUMBER
035-600-004; -007

LOT AREA
87,584 SF (PER LLA)

ZONING/ GENERAL PLAN
CBP GVCity/ BP GVCity
(CORPORATE BUSINESS PARK, GRASS VALLEY)



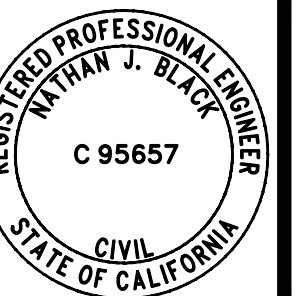
VICINITY MAP
NO SCALE

DESIGNED: MDW/ NUB	DATE	NO. REVISIONS
DRAWN: MDW		
PROJ. NO: 202458		
DATE: MAY, 2025		
DWG: SEE DAY STAMP		

DEVELOPMENT PERMIT
HABITAT FOR HUMANITY
NEIGHBORHOOD EXHIBIT
TOWN/CITY/COUNTY
CALIFORNIA



GRASS VALLEY
(530) 272-5841
TRUCKEE
(530) 582-4043





Nevada County Habitat for Humanity: Gates Place Project Description

The proposed project consists of sixteen (16) single family deed restricted affordable detached homes with a interchangeable building footprint to accommodate 2-4 bedroom houses 1, or 2 story with 1-car garages. Applications required for the project include a Zoning Text Amendment, Major Development Review, a Tentative Subdivision Map and a Planned Development Application. The project proposes frontage improvements along Gates Places including extension of both water and sewer and installation of onsite alley streets to access the deed restricted affordable units. Proposed access roads will include all utility mains along with service lines, storm drainage conveyance lines and retention ponds. A Zoning Text Amendment will be required creating a -AHRA combining district to allow CBP properties to develop with 100% deed restricted affordable housing single family detached homes, consistent with the R-2 zoning regulations and that the residential component can be built without the construction of the CBP business park. The Planned Development request is to allow for the following reductions from R-2 zoning as follows:

R-2 Residential Zoning Standards

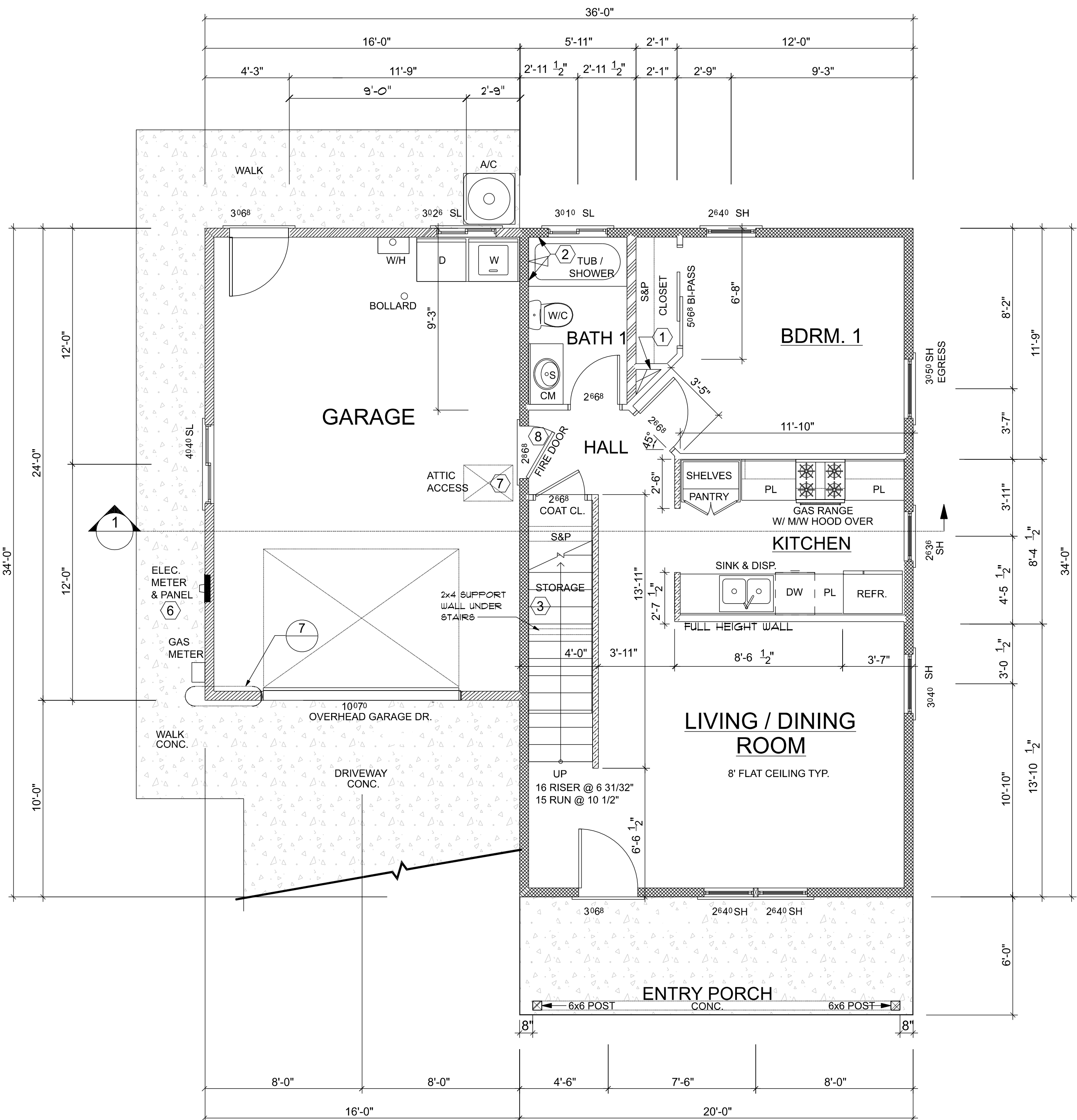
Proposed per PD

Min. Lot Area:	5,000 square feet	3,000 square feet
Min. Lot Width:	60 feet; 70 feet for corner Lot	50'
Min. Front Setback:	5' Porch/15' to Bldg. Façade	5' Porch/10' to Bldg.
Min. Street side Setback:	20% lot width/15' Max.	7'

The project also includes a tentative map creating the various sixteen (16) residential parcels along with letter lots for common areas to be maintained by the project.

The proposed project site was created as part of a lot line adjustment that was recorded for the adjacent new Sherwin Williams building. The existing site is primarily undeveloped with remnants of an old house foundation, minor grading and more recent stockpiles of soil from the adjacent Sherwin Williams project. The site generally slopes inward to an existing seasonal swale that runs south and southwest through the existing parcel.

The site is conducive to development with existing roadway access and nearby connections to water, sewer and other public facilities. Most importantly this Habitat for Humanity project will bring forth another successful project with sixteen (16) residents having home ownership.



1st LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

SHEARWALL SCHEDULE

	SHEATHING TYPE	SHEATHING NAILING	ANCHOR BOLTING	REMARKS
1	3/8" CDX APA 24/0	8d BOX at 6"E - 12"F	5/8"x10" at 48" O.C.	2 (v=200PLF)
2	3/8" CDX APA 24/0	8d BOX at 4"E - 12"F	5/8"x10" at 48" O.C.	(v=300PLF)
3	3/8" CDX APA 24/0	8d BOX at 3"E - 12"F	5/8"x10" at 48" O.C.	(v=350PLF)

NOTE: TYPICAL WALL SHEATHING - 3/8" CDX / OSB APA 24/0 W/ 8d BOX (6d COMMON) AT 6" O.C. EDGE NAIL 8d BOX (6d COMMON) AT 12" O.C. FIELD NAIL. ALL NAILS DRIVEN INTO PRESSURE TREATED LUMBER, INCLUDING MUD SILLS / SOLE PLATES, TO BE GALVANIZED.
THIS SITE IN SEISMIC DESIGN CATEGORY "D". ALL WALLS TO BE ANCHORED WITH 5/8"Ø x10" A.B. AT 48" O.C. W/ 3"x3"x0.229" WASHERS, U.O.N. WASHERS AND ARCHOR BOLTS USED WITH PRESSURE TREATED LUMBER TO BE HEAVY DUTY GALVANIZED.

- ALL SHEAR WALLS TO EXTEND TO ROOF SHEATHING. AT GABLE END WALLS EXTEND WALL TYPE AND NAILING TO ROOF SHEATHING.
- SHEAR PANELS ARE CONTINUOUS AS NOTED. APPLY PANEL SHEATHING BEFORE ERECTING INTERSECTING WALLS.
- THE SHEAR WALL SIZE NOTED IS THE MINIMUM PANEL LENGTH REQUIRED.
- ALL FRAMING TO BE DOUG FIR LARCH, STUDS AT 16" OC MAXIMUM.

HOLDOWN SCHEDULE 1,2

HOLDOWN	ANCHOR INTO CONCRETE 3,5	ANCHOR EMBEDMENT	HOLDOWN POST	FASTENER INTO POST	CAPACITY
HDU2-SDS2.5	SSTB16	13"	DOUBLE 2X 4	6-SDS1"x2 1/2"	3075 LB

NOTES:

- ITEM NUMBERS LISTED ARE SIMPSON PRODUCTS
- ALLOWABLE LOADS BASED ON SIMPSON WOOD CONSTRUCTION CONNECTORS MANUAL C-2015
- SSTB LENGTH BASED ON MONO-POUR. FOR DOUBLE POUR USE LONGER CONCRETE ANCHORS.
- DOUBLE 2X STUDS w/ 16d'S @ 6" OC STAGGERED. EDGE NAIL SHEAR PLY TO BOTH STUDS or 4x POST AT HOLDOWN LOCATIONS.

KEYNOTES:

- CAP TOP OF CHASE WITH SOLID AIR BARRIER SEALED AT PERIMETER.
- ONE PIECE TUB SHOWER UNIT. INSULATE AND INSTALL SOLID AIR BARRIER (THERMO-PLY OR EQ.) AT EXTERIOR WALL BEFORE INSTALLING UNIT.
- BEFORE CONSTRUCTING STAIRS INSULATE AND INSTALL SOLID AIR BARRIER (THERMO-PLY OR EQ.) AT EXTERIOR WALL AREAS IN CONCEALED SPACES AT STAIRS.
- 7'-0" HEAD HEIGHT AT SECOND FLOOR EGRESS WINDOWS, TYP. OF THREE.
- ATTIC ACCESS HATCH TO BE AIR-TIGHT AND INSULATED, BATTIC DOOR AT RECESSED POWER PANEL, BLOCK TOP AND BOTTOM, EDGE NAIL PERIMETER OF OPENING.
- 24"x30" ATTIC ACCESS
- 1-3/8" 20 min RATED SOLID CORE DOOR, SELF-CLOSING & SELF-LATCHING

COMPLIANCE NOTES:

- AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IS TO BE INSTALLED IN ACCORDANCE WITH NFPA 13D.
- PROJECT IS LOCATED IN VERY HIGH FIRE SEVERITY ZONE. STRUCTURE TO COMPLY WITH PROVISIONS OF 2019 CRC SECTION 327

GREEN BUILDING

PROJECT TO COMPLY WITH 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE. SEE SHEET CG-1 FOR ADDITIONAL INFORMATION

- PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION, ONE OR MORE OF THE FOLLOWING MEASURES SHALL BE IMPLEMENTED TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE (CGBSC 4.106.2):
 - RETENTION BASINS OF SUFFICIENT SIZE SHALL BE UTILIZED TO RETAIN STORM WATER ON SITE
 - WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, COLLECTION POINT, GUTTER OR SIMILAR DISPOSAL METHOD, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER METHOD APPROVED BY THE ENFORCING AGENCY.
- RESIDENTIAL PROJECTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SQUARE FEET SHALL COMPLY WITH EITHER A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE (MWELO), WHICHEVER IS MORE STRINGENT. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS INSTALLED AT TIME OF FINAL INSPECTION SHALL HAVE WEATHER OR SOIL BASED CONTROLLERS AND/OR WEATHER BASED CONTROLLERS WITH RAIN SENSORS. SOIL MOISTURE BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT. (CGBSC 4.304)
- AT TIME OF FINAL INSPECTION, A BUILDING OPERATION AND MAINTENANCE MANUAL, COMPACT DISC, ETC SHALL BE PROVIDED CONTAINING THE FOLLOWING: (CGBSC 4.410)
 - DIRECTIONS THAT MANUAL SHALL REMAIN ONSITE FOR THE LIFE OF THE BUILDING
 - OPERATION AND MAINTENANCE INSTRUCTIONS FOR EQUIPMENT, APPLIANCES, ROOFTOP DRAINAGE, IRRIGATION SYSTEMS, ETC
 - INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS
 - PUBLIC TRANSPORTATION AND CARPOOL OPTIONS
 - MATERIAL REGARDING IMPORTANCE OF KEEPING HUMIDITY LEVELS BETWEEN 30-60 PERCENT
 - INFORMATION REGARDING ROUTINE MAINTENANCE PROCEDURES
 - STATE SOLAR ENERGY INCENTIVE PROGRAM INFORMATION
 - A COPY OF ANY REQUIRED SPECIAL INSPECTION VERIFICATIONS THAT WERE REQUIRED (IF ANY)

STAIR NOTES:

- DOORS, OTHER THAN THE MAIN EXIT DOOR, MAY OPEN TO A STAIRWAY WITH 2 RISERS (MAX) WITHOUT A LANDING AT THE TOP. DOOR CAN NOT SWING OVER THE LANDING.
- MINIMUM HEADROOM AT STAIRS IS 6' - 8" MEASURED VERTICALLY FROM THE PLANE OF THE TREADS.
- 7 3/4" MAXIMUM RISE AND 10" MINIMUM RUN. 2019 CRC R311.7.5.
- RISERS MUST BE SOLID UNLESS THE OPENING DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE
- A NOSING NOT LESS THAN 3/4" BUT NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS WHERE THE TREAD DEPTH IS LESS THAN 11" (CONC. / MASONRY EXCL.)
- MIN CLEAR WIDTH OF STAIRWAY IS 36".
- A CONTINUOUS FLIGHT OF STAIRS WITH FEWER THAN FOUR RISERS DOES NOT REQUIRE HANDRAILS. 2019 CRC R311.7.8
- IF FOUR OR MORE RISERS, STAIRWAYS MUST HAVE A HANDRAIL ON AT LEAST ONE SIDE, STAIRS WITH ONE OR BOTH SIDES OPEN SHALL HAVE HANDRAILS ON THE OPEN SIDE AND RAILINGS SPACED SO THAT A 4 3/8" SPHERE CANNOT PASS THRU AT ANY POINT. CRC R312.1
- HANDRAIL HEIGHT TO BE 34" TO 38" ABOVE THE NOSE OF THE TREADS. HANDRAILS MUST HAVE A GRASPABLE DESIGN, 1 1/2" TO 2" WIDTH, AND BE 1 1/2" CLEAR FROM THE ADJACENT WALL. HANDRAIL AND WALL ADJACENT TO HANDRAIL TO BE FREE OF SHARP OR ABRASIVE ELEMENTS. THE ENDS OF THE HANDRAIL MUST RETURN TO THE WALL OR NEWEL POST, HANDRAILS MAY ENCR OACH 3 1/2", AND STRINGERS 1 1/2" ON EACH SIDE.
- PROVIDE GUARDRAILS AT OPEN-SIDED WALKING SURFACES THAT ARE LOCATED MORE THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE.
- GUARDRAILS SHALL BE AT A HEIGHT OF 42" WITH INTERMEDIATE BALUSTER SPACING SUCH THAT A 4" DIAMETER SPHERE SHALL NOT PASS THROUGH.

WALL LEGEND:

- 2x6 STUD WALL 16" OC EXTERIOR W/ INSULATION
- 2x6 STUD WALL 16" OC EXTERIOR
- 2x4 STUD WALL 16" OC INTERIOR
- 2x4 STUD WALL 16" OC INTERIOR LOAD BEARING

SHEAR WALL PANEL W/ HOLDOWNS

COUNTERTOP MATERIAL:
PLASTIC LAMINATE - PL.
CULTURED MARBLE - CM.

WINDOW TYPE:
SINGLE HUNG - SH
SLIDER - SL

SQUARE FOOTAGE:
FIRST FLOOR 680 SF
SECOND FLOOR 644 SF
TOTAL 1324 SF
GARAGE 384 SF

GENERAL NOTES:

SEE COVER SHEET AND CAL-GREEN SHEET (CG-1) FOR ADDITIONAL CODE REQUIREMENTS

- 8'-0" CEILING HEIGHT TYPICAL, U.N.O.
- INSULATION:
EXTERIOR WALLS - R-21 FIBERGLASS BATT
CEILING - R-38 FIBERGLASS BATT INSULATION
HEADERS: AT 4x EXTERIOR HEADERS - 2" RIGID FOAM
HEADERS: AT 2x EXTERIOR HEADERS - R-13 FIBERGLASS BATT or 4" RIGID FOAM
- INTERIOR FINISH:
PROVIDE 2x2" SAMPLE OF WALL FINISH FOR APPROVAL BY OWNER
WALLS: 1/2" GYPSUM BOARD, BULL-NOSE CORNERS.
CEILING: 1/2" CEILING GRADE GYPSUM BOARD or 5/8" GYP. BD.
GYPSUM FINISH: KNOCK-DOWN SPRAY, PAINTED W/ ONE COLOR TYPICAL WINDOW OPENING
THREE WAY GYP. BOARD WRAP AND MDF SILL
FLOORS: LOW-PILE CARPET W/ 1/2" PAD
or LAMINATE FLOORING -
VERIFY STYLE AND LOCATIONS W/ OWNER
BATHROOMS: VINYL - VERIFY STYLE W/ OWNER
- WINDOWS: VINYL - DOUBLE INSULATED, LOW-E, WUI SINGLE TEMPER MINIMUM, CONFIRM ROUGH OPENING SIZES WITH MANUFACTURER
U-VALUE 0.3, SHGC 0.23
- ENTRY DOOR: 1 3/4" 2-LITE INSULATED STEEL PANEL DOOR, WITH PRE-PRIMED FINGER-JOINT PINE FRAME.
- GARAGE REAR DOOR: 1 3/8" 6-PANEL STEEL DOOR, WITH PRE-PRIMED FINGER-JOINT PINE FRAME.
- INTERIOR DOORS: 1 3/8", 6-PANEL, TEXTURED FINISH HARDBOARD, PAINT GRADE WITH PRE-PRIMED FINGER-JOINT PINE FRAME AND PRE-PRIMED 2-1/4" MOULDED FINGER-JOINT PINE CASING
DOORS TO BE INSTALLED AT CENTER OF WALL OR 6" FROM NEAREST WALL AS SHOWN ON PLANS, U.N.O.
- BASEBOARD: PRE-PRIMED MDF, 3-1/4" CORONADO BASE - PAINT FINISH
- CABINETS: WOOD w/ CLEAR FINISH, PANEL DESIGN, FACE-FRAME CABINETS. ADJUSTABLE SHELVES.
COUNTERTOPS: KITCHEN - POST-FORMED PLASTIC LAMINATE
BATH - CULTURED MARBLE
- SHOWER AND TUB ENCLOSURES SHALL HAVE A SMOOTH, HARD, NON-ABSORBENT SURFACE TO A MIN HEIGHT OF 72" ABOVE THE DRAIN INLET, UNO.
- SHOWER ENCLOSURE SHALL BE APPROVED SHATTER RESISTANT MATERIAL.
- SHOWER HEADS TO 80" AFF
- SET BLOCKING FOR TOWEL BARS AT 54" AFF, PROVIDE BLOCKING AT SHOWERS FOR FUTURE GRAB BARS.
- BATHROOMS: EACH BATH SHALL HAVE AN EXHAUST VENTILATION FAN VENTED TO EXTERIOR AND SIZED AT 1 CFM PER SQUARE FOOT, 50 CFM MINIMUM. DUCT SIZE AND MAXIMUM DUCT LENGTH SHALL COMPLY WITH PRESCRIPTIVE DUCT SIZING REQUIREMENTS.
- KITCHEN: RANGE HOOD EXHAUST VENTILATION FAN SHALL BE A MINIMUM OF 100 CFM AND VENT TO EXTERIOR. DUCT SIZE AND MAXIMUM DUCT LENGTH TO COMPLY WITH PRESCRIPTIVE DUCT SIZING REQUIREMENTS.

GLAZING and WINDOW NOTES:

- ALL GLAZING TO CONFORM TO R308.4 OF THE CRC.
- WINDOWS SHALL BE INSTALLED AND FLASHED ACCORDING TO MANUFACTURE'S INSTRUCTIONS. CRC R612.1
- TEMPERED GLASS TO COMPLY WITH FEDERAL, STATE AND LOCAL CODES. PATIO DOORS, SHOWER DOORS, GLASS WITHIN 18" OF FLOOR SHALL BE TEMPERED GLASS. GLASS WITHIN 24" ARC OF EITHER DOOR EDGE IN A CLOSED POSITION WHERE WINDOW IS LESS THAN 60" ABOVE FLOOR SHALL BE TEMPERED. SEE 2019 CRC R308.4 FOR ADDITIONAL REQUIREMENTS.
- BEDROOM WINDOWS SHALL COMPLY WITH 2019 CRC R310 FOR WINDOW EXITS. ALL ESCAPE OR RESCUE WINDOWS FROM BEDROOMS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.
MINIMUM CLEAR HEIGHT = 24 INCHES
MINIMUM CLEAR WIDTH = 20 INCHES
MINIMUM HEIGHT TO BOTTOM OF CLEAR OPENING = 44 INCHES
- IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM. SEE R312.2.1 FOR EXCEPTIONS
- ALL WINDOWS TO BE DUAL PANE, LOW-E GLASS, AT LEAST ONE PANE TO BE TEMPERED PER WILDLAND FIRE REGULATIONS. CRC R327.8
- SKYLIGHTS TO COMPLY WITH CRC R308.6.



**PERSPECTIVE
DRAFTING
DESIGNS**
Rick A. Brumfield
RICK A. BRUMFIELD
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EMAIL TO: brumfield@brumfield.com 530-935-5044

REVISIONS	DATE:

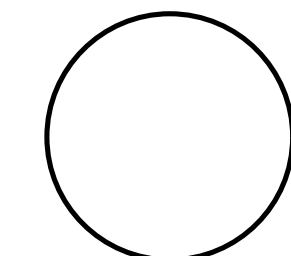
**FLOOR PLAN,
MAIN LEVEL**

DRAWN FOR: SITE ADDRESS
**HABITAT FOR HUMANITY
HERITAGE OAKS-II
ADDRESS:**

APN

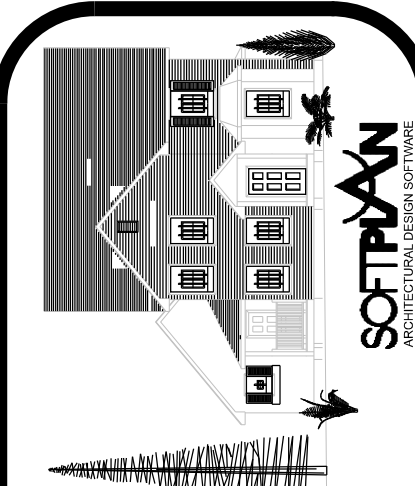
DATE: 7/xx/21

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OF SHEETS

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**PERSPECTIVE
DRAFTING
DESIGNS**
Debbie
RICK A. BRUMFIELD
GRASS VALLEY, CA. 95949
EMAIL TO: PerspectiveDrafting@Sotplan.com 530-935-5044

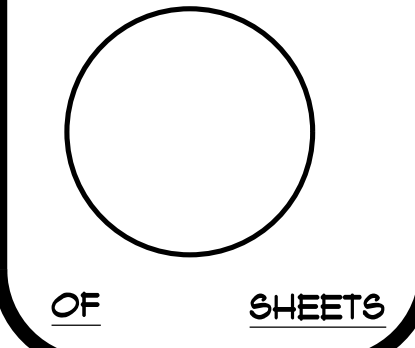
REVISIONS	DATE:

**FLOOR PLAN
UPPER LEVEL**

DRAWN FOR: SITE ADDRESS
**HABITAT FOR HUMANITY
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ADDRESS:**
APN

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PAGE #



4 BEDROOM PLAN SET

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KEYNOTES:

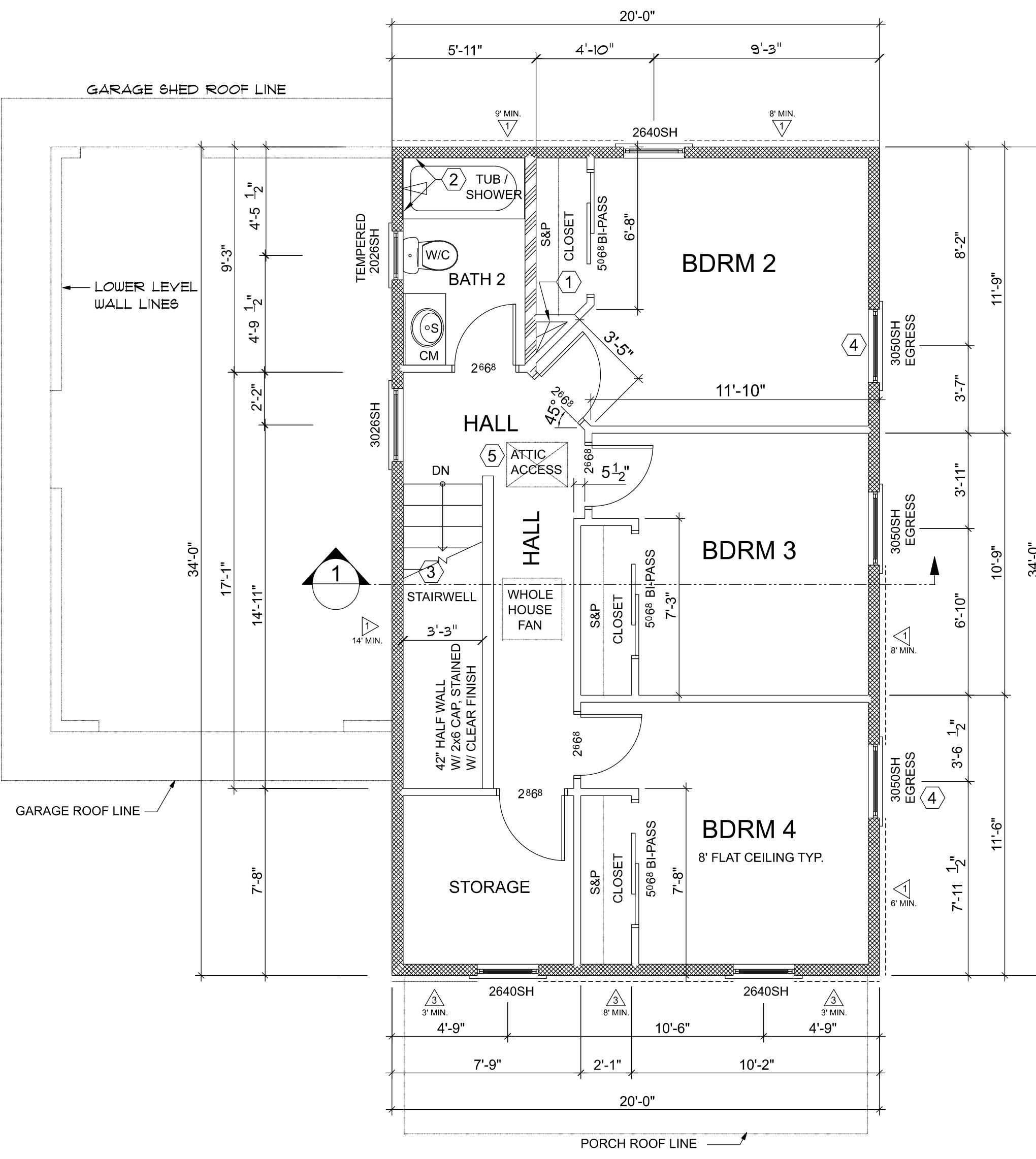
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- 7'-0" HEAD HEIGHT AT SECOND FLOOR EGRESS WINDOWS, TYP. OF THREE.
- ATTIC ACCESS HATCH TO BE AIR-TIGHT AND INSULATED, BATTIC DOOR 24x30 EZ HATCH or EQ.

COMPLIANCE NOTES:

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 - PROJECT IS LOCATED IN VERY HIGH FIRE SEVERITY ZONE. STRUCTURE TO COMPLY WITH PROVISIONS OF 2019 CRC SECTION 327
- GREEN BUILDING**
PROJECT TO COMPLY WITH 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE. SEE SHEET CG-1 FOR ADDITIONAL INFORMATION
- PROJECTS WHICH DISTURBS LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION, ONE OR MORE OF THE FOLLOWING MEASURES SHALL BE IMPLEMENTED TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE (CGBSC 4.106.2):
 - RETENTION BASINS OF SUFFICIENT SIZE SHALL BE UTILIZED TO RETAIN STORM WATER ON SITE
 - WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, COLLECTION POINT, GUTTER OR SIMILAR DISPOSAL METHOD, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER METHOD APPROVED BY THE ENFORCING AGENCY.
 - RESIDENTIAL PROJECTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SQUARE FEET SHALL COMPLY WITH EITHER A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MVELD), WHICHEVER IS MORE STRINGENT. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS INSTALLED AT TIME OF FINAL INSPECTION SHALL HAVE WEATHER OR SOIL BASED CONTROLLERS AND/OR WEATHER BASED CONTROLLERS WITH RAIN SENSORS. SOIL MOISTURE BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT. (CGBSC 4.304)
 - AT TIME OF FINAL INSPECTION, A BUILDING OPERATION AND MAINTENANCE MANUAL, COMPACT DISC, ETC SHALL BE PROVIDED CONTAINING THE FOLLOWING: (CGBSC 4.410)
 - DIRECTIONS THAT MANUAL SHALL REMAIN ONSITE FOR THE LIFE OF THE BUILDING
 - OPERATION AND MAINTENANCE INSTRUCTIONS FOR EQUIPMENT, APPLIANCES, ROOF/YARD DRAINAGE, IRRIGATION SYSTEMS, ETC
 - INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS
 - PUBLIC TRANSPORTATION AND CARPOOL OPTIONS
 - MATERIAL REGARDING IMPORTANCE OF KEEPING HUMIDITY LEVELS BETWEEN 30-60 PERCENT
 - INFORMATION REGARDING ROUTINE MAINTENANCE PROCEDURES
 - STATE SOLAR ENERGY INCENTIVE PROGRAM INFORMATION
 - A COPY OF ANY REQUIRED SPECIAL INSPECTION VERIFICATIONS THAT WERE REQUIRED (IF ANY)

SHEARWALL SCHEDULE				
	SHEATHING TYPE	SHEATHING NAILING	ANCHOR BOLTING	REMARKS
1	3/8" CDX APA 24/0	8d BOX at 6"E - 12"F	5/8"x10" at 48" O.C.	2 (v=200PLF)
2	3/8" CDX APA 24/0	8d BOX at 4"E - 12"F	5/8"x10" at 48" O.C.	(v=300PLF)
3	3/8" CDX APA 24/0	8d BOX at 3"E - 12"F	5/8"x10" at 48" O.C.	(v=350PLF)
NOTE: TYPICAL WALL SHEATHING - 3/8" CDX / OSB APA 24/0 W/ 8d BOX (8d COMMON) AT 6" O.C. EDGE NAIL 8d BOX (8d COMMON) AT 12" O.C. FIELD NAIL. ALL NAILS DRIVEN INTO PRESSURE TREATED LUMBER, INCLUDING MUD SILLS / SOLE PLATES, TO BE GALVANIZED. THIS SITE IN SEISMIC DESIGN CATEGORY "D". ALL WALLS TO BE ANCHORED WITH 5/8"x10" A.B. AT 48" O.C. W/ 3"x3"x0.229" WASHERS, U.O.N. WASHERS AND ARCHOR BOLTS USED WITH PRESSURE TREATED LUMBER TO BE HEAVY DUTY GALVANIZED.				
1.	ALL SHEAR WALLS TO EXTEND TO ROOF SHEATHING. AT GABLE END WALLS EXTEND WALL TYPE AND NAILING TO ROOF SHEATHING.			
2.	SHEAR PANELS ARE CONTINUOUS AS NOTED. APPLY PANEL SHEATHING BEFORE ERECTING INTERSECTING WALLS.			
3.	THE SHEAR WALL SIZE NOTED IS THE MINIMUM PANEL LENGTH REQUIRED.			
4.	ALL FRAMING TO BE DOUG FIR LARCH, STUDS AT 16" OC MAXIMUM.			

HOLDOWN SCHEDULE 1,2						
	HOLDOWN	ANCHOR INTO 3,5 CONCRETE	ANCHOR EMBEDMENT	HOLDOWN POST	FASTENER INTO POST	CAPACITY
1	HDU2-SD52.5	SSTB16	13"	DOUBLE 2X 4	6-SDS1/4"x2 1/2"	3075 LB
NOTES: 1. ITEM NUMBERS LISTED ARE SIMPSON PRODUCTS 2. ALLOWABLE LOADS BASED ON SIMPSON WOOD CONSTRUCTION CONNECTORS MANUAL C-2015 3. SSTB LENGTH BASED ON MONO-POUR. FOR DOUBLE POUR USE LONGER CONCRETE ANCHORS. 4. DOUBLE 2X STUDS w/ 16d's @ 8" OC STAGGERED. EDGE NAIL SHEAR PLY TO BOTH STUDS or 4x POST AT HOLDOWN LOCATIONS.						



2nd LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND:

- 2x6 STUD WALL 16" OC EXTERIOR W/ INSULATION
- 2x6 STUD WALL 16" OC EXTERIOR
- 2x4 STUD WALL 16" OC INTERIOR
- 2x4 STUD WALL 16" OC INTERIOR LOAD BEARING
- SHEAR WALL PANEL W/ HOLDOWNS

COUNTERTOP MATERIAL:
PLASTIC LAMINATE - PL.
CULTURED MARBLE - CM.

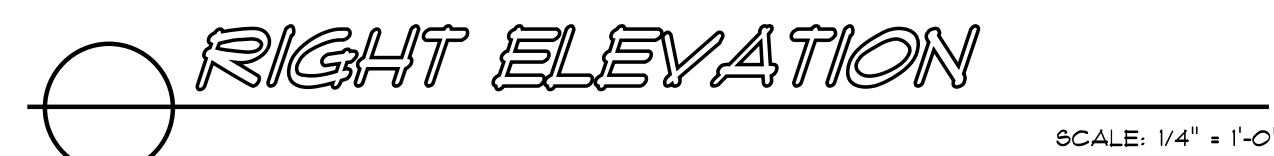
WINDOW TYPE:
SINGLE HUNG - SH
SLIDER - SL

SQUARE FOOTAGE:	
FIRST FLOOR	680 SF
SECOND FLOOR	644 SF
TOTAL	1324 SF
GARAGE	384 SF

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- ## ELEVATION KEYNOTES:
1. ALL CUTS IN FASCIA AND BELLY BAND TO BE PAINTED WITH 100% ACRYLIC PRIMER, 5" FASCIA GUTTER WITH LEAF GUARD - PAINTED
 2. METAL ROOFING:
METAL SLATS 1/2" CORRUGATED, 24 GA.; GALVANIZED FINISH (UL 2218 CLASS 4 IMPACT RESISTANCE, UL 790 CLASS A FIRE RESISTANCE RATING)
INSTALL ACCORDING TO MANUFACTURE'S SPECIFICATIONS
 3. SEE GUARD RAIL NOTES ON SHEET 2.



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REVISIONS	DATE:

3 BEDROOM PLAN SET

ELEVATIONS

DRAWN FOR: SITE ADDRESS
HABITAT FOR HUMANITY
HERITAGE OAKS-II
ADDRESS:

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DATE: 7/xx/21

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OF SHEETS