

145 Mill Development Review, 24PLN-01

ATTACHMENT LIST

1. Vicinity and Aerial Map
2. Universal and DRC Applications
3. Improvement Plans:
 - a. Existing / Proposed Floor Plans
 - b. Existing / Proposed Front Elevation (west)
 - c. Existing / Proposed Rear (east) and north Elevations
 - d. Window and door schedule
 - e. Exterior alteration renderings

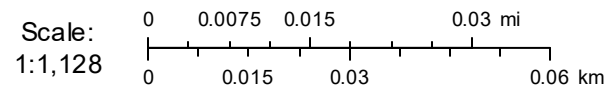
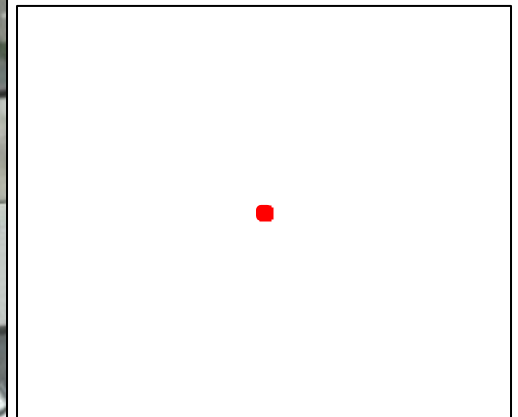
Aerial Map, 145 Mill



Parcel APN: 008-372-012
145 MILL STREET

Land Value: \$195,168.00
Improvement Value: \$227,377.00
Acreage: Unknown
Zoning: TC-H GVCity
General Plan: C GVCity
Fire District: Grass Valley
Elementary Sch. Dist: Grass Valley
Water District:
Nevada Irrigation Dist:
Public Utility:
Park District:
Service Area: Solid Waste Grass Valley - Csa 32
Snow Load: 43 lbs/sqft
Wind Exposure: C
Climate Zone: 11
Elevation: 2,414 feet

Overview



**UNIVERSAL PLANNING
 APPLICATION**
 * DUE WITH EVERY PLANNING APPLICATION *



Application Types

Administrative

- Limited Term Permit \$698.00
- Zoning Interpretation \$224.00

Development Review

- Minor Development Review – 10,000 or less sq. ft. \$1,813.00
- Major Development Review – over 10,000 sq. ft. \$3,293.00
- Conceptual Review - Minor \$459.00
- Conceptual Review – Major \$782.00
- Plan Revisions – Staff Review \$316.00
- Plan Revisions – DRC / PC Review \$831.00
- Extensions of Time – Staff Review \$282.00
- Extensions of Time – DRC / PC Review \$607.00

Entitlements

- Annexation \$7,843.00 (deposit)
- Condominium Conversion \$4,923.00 (deposit)
- Development Agreement – New \$18,463.00 (deposit)
- Development Agreement – Revision \$6,903.00
- General Plan Amendment \$7,377.00
- Planned Unit Development \$8,150.00 (minimum charge) + 100.00 / dwelling unit and / or \$100 / every 1,000 sq. ft. commercial floor area
- Specific Plan Review - New Actual costs - \$16,966.00 (deposit)
- Specific Plan Review - Amendments / Revisions Actual costs - \$6,986.00 (deposit)
- Zoning Text Amendment \$3,102.00
- Zoning Map Amendment \$5,073.00

Environmental

- Environmental Review – Initial Study \$1,713.00
- Environmental Review – EIR Preparation \$31,604.00 (deposit)
- Environmental Review - Notice of Determination \$149.00 (+ Dept. of Fish and Game Fees)
- Environmental Review - Notice of Exemption \$149.00(+ County Filing Fee)

Sign Reviews

- Minor – DRC, Historic District, Monument Signs or other districts having specific design criteria \$313.00
- Major – Master Sign Programs \$1,279.00
- Exception to Sign Ordinance \$964.00

Subdivisions

- Tentative Map (4 or fewer lots) \$3,493.00
- Tentative Map (5 to 10 lots) \$4,857.00
- Tentative Map (11 to 25 lots) \$6,503.00
- Tentative Map (26 to 50 lots) \$8,915.00
- Tentative Map (51 lots or more) \$13,049.00
- Minor Amendment to Approved Map (staff) \$1,114.00
- Major Amendment to Approved Map (Public Hearing) \$2,436.00
- Reversion to Acreage \$765.00
- Tentative Map Extensions \$1,047.00
- Tentative Map - Lot Line Adjustments \$1,200.00

Use Permits

- Minor Use Permit - Staff Review \$480.00
- Major Use Permit - Planning Commission Review \$3,035.00

Variations

- Minor Variance - Staff Review \$518.00
- Major Variance - Planning Commission Review \$2,029.00

<u>Application</u>	<u>Fee</u>
MDR	1813.00
Total:	\$1813.00

Below is the Universal Planning Application form and instructions for submitting a complete planning application. In addition to the Universal Planning Application form, a project specific checklist shall be submitted. All forms and submittal requirements must be completely filled out and submitted with any necessary supporting information.

Upon receipt of the **completed forms, site plan/maps, and filing fees**, the Community Development Department will determine the completeness of the application. This review will be completed as soon as possible, but within thirty (30) days of the submittal of the application. If the application is determined to be complete, the City will begin environmental review, circulate the project for review by agencies and staff, and then schedule the application for a hearing before the Planning Commission.

If sufficient information **has not** been submitted to adequately process your application, you will receive a notice that your application is incomplete along with instructions on how to complete the application. Once the City receives the additional information or revised application, the thirty (30) day review period will begin again.

Since the information contained in your application is used to evaluate the project and in the preparation of the staff report, it is important that you provide complete and accurate information. Please review and respond to each question. If a response is not applicable, N/A should be used in the space provided. Failure to provide adequate information could delay the processing of your application.

Additional information may be obtained at www.cityofgrassvalley.com regarding the 2020 General Plan and Zoning. You may also contact the Community Development Department for assistance.

ADVISORY RE: FISH AND GAME FEE REQUIREMENT

Permit applicants are advised that pursuant to Section 711.4 of the Fish and Game Code a fee of **\$3,539.25** for an Environmental Impact Report and **\$2,548.00** for a Negative Declaration* shall be paid to the County Recorder at the time of recording the Notice of Determination for this project. This fee is required for Notices of Determination recorded after January 1, 1991. A Notice of Determination cannot be filed and any approval of the project shall not be operative, vested, or final until the required fee is paid. This shall mean that building, public works and other development permits cannot be approved until this fee is paid. These fees are accurate at the time of printing, but **increase the subsequent January 1st** of each year.

This fee is **not** a Grass Valley fee; it is required to be collected by the County pursuant to State law for transmission to the Department of Fish and Game. This fee was enacted by the State Legislature in September 1990, to be effective January 1, 1991.

*If the City finds that the project will not have an impact on wildlife resources, through a De Minimus Impact Finding, the City will issue certificate of fee exemption. Therefore, this fee will not be required to be paid at the time an applicant files the Notice of Determination with the County Recorder. The County's posting and filing fees will still be required.

<u>Applicant/Representative</u>	<u>Property Owner</u>
Name: Russell Davidson	Name: RHF Properties
Address: 149 Crown Point Court, Suite C	Address: 10656 Alta Street
Grass Valley, CA 95945	Grass Valley, CA 95945
Phone: 530-264-5559	Phone: 530-559-3366
E-mail: russ@davidsonarch.com	E-mail: Craig@rhf.properties

<u>Architect</u>	<u>Engineer</u>
Name: Russell Davidson	Name:
Address: 149 Crown Point Court, Suite C	Address:
Grass Valley, CA 95945	
Phone: 530-264-5559	Phone: ()
E-mail: russ@davidsonarch.com	E-mail:

1. Project Information

- a. Project Name 145 Mill Street
- b. Project Address 145 Mill Street, Grass Valley, CA 95945
- c. Assessor's Parcel No(s) 008-372-012
(include APN page(s))
- d. Lot Size 3875 SF

2. Project Description

Tenant improvement with addition of two new residential units and two new commercial office spaces, all within existing building footprint.

Level 2 - 1738 GSF (same as existing)

3. General Plan Land Use: C GVCITY

4. Zoning District: TC-H GVCITY

4. **Cortese List:** Is the proposed property located on a site which is included on the Hazardous Waste and Substances List (Cortese List)? Y _____ N N

The Cortese List is available for review at the Community Development Department counter. If the property is on the List, please contact the Planning Division to determine appropriate notification procedures prior to submitting your application for processing (Government Code Section 65962.5).

5. **Indemnification:** The City has determined that City, its employees, agents and officials should, to the fullest extent permitted by law, be fully protected from any loss, injury, damage, claim, lawsuit, expense, attorney's fees, litigation expenses, court costs or any other costs arising out of or in any way related to the issuance of this permit, or the activities conducted pursuant to this permit. Accordingly, to the fullest extent permitted by law, the applicant shall defend, indemnify and hold harmless City, its employees, agents and officials, from and against any liability, claims, suits, actions, arbitration proceedings, regulatory proceedings, losses, expenses or costs of any kind, whether actual, alleged or threatened, including, but not limited to, actual attorney's fees, litigation expenses and court costs of any kind without restriction or limitation, incurred in relation to, as a consequence of, arising out of or in any way attributable to, actually, allegedly or impliedly, in whole or in part, the issuance of this permit, or the activities conducted pursuant to this permit. Applicant shall pay such obligations as they are incurred by City, its employees, agents and officials, and in the event of any claim or lawsuit, shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.

6. **Appeal:** Permits shall not be issued until such time as the appeal period has lapsed. A determination or final action shall become effective on the 16th day following the date by the appropriate review authority, where no appeal of the review authority's action has been filed in compliance with Chapter 17.91 of the City's Development Code.

The 15-day period (also known as the "appeal" period in compliance with Chapter 17.91) begins the first full day after the date of decision that the City Hall is open for business, and extends to the close of business (5:00 p.m.) on the 15th day, or the very next day that the City Hall is open for business.

I hereby certify, to the best of my knowledge, that the above statements are correct.

Property Owner/*Representative Signature: _____

****Property owner must provide a consent letter allowing representative to sign on their behalf.***

Applicant Signature: _____

--OFFICE USE ONLY--	
Application No.:	Date Filed:
Fees Paid by:	Amount Paid:
Other Related Application(s):	

DEVELOPMENT REVIEW



SUPPLEMENTAL APPLICATION INFORMATION

This document will provide necessary information about the proposed project. It will also be used to evaluate potential environmental impacts created by the project. Please be as accurate and complete as possible in answering the questions. Further environmental information could be required from the applicant to evaluate the project.

**PLEASE PRINT CLEARLY OR TYPE
 USE A SEPARATE SHEET, IF NECESSARY, TO EXPLAIN THE FOLLOWING:**

I. Project Characteristics:

A. Describe all existing buildings and uses of the property: The property currently consists of
Tenant improvement with addition of two new residential units and two new commercial office spaces, all within existing building
footprint.

B. Describe surrounding land uses:

North: Occupied building
 South: Occupied building
 East: Public parking lot
 West: Mill Street public way

C. Describe existing public or private utilities on the property: Public utilities consist of water, sewer,
electricity and natural gas.

D. Proposed building size (if multiple stories, list the square footage for each floor): _____
Basement - 3562 GSF (same as existing)
Level 1 - 3525 GSF (same as existing)
Level 2 - 1738 GSF (same as existing)

E. Proposed building height (measured from average finished grade to highest point): _____
28' at Mill Street. 29' at rear of building.

F. Proposed building site plan:

(1)	Building coverage	<u>3,591</u>	Sq. Ft.	<u>92.7</u>	% of site
(2)	Surfaced area	<u>75</u>	Sq. Ft.	<u>1.9</u>	% of site
(3)	Landscaped area	<u>209</u>	Sq. Ft.	<u>5.4</u>	% of site
(4)	Left in open space	_____	Sq. Ft.	_____	% of site
	Total	_____	Sq. Ft.	100	%

G. Construction phasing: If the project is a portion of an overall larger project, describe future phases or extension. Show all phases on site plan. _____
There is no proposed phasing on this project. _____

H. Exterior Lighting:

1. Identify the type and location of exterior lighting that is proposed for the project. _____
Any lights added will be on the rear of the building and will conform to any requirements of energy usage and historical context. _____

2. Describe how new light sources will be prevented from spilling on adjacent properties or roadways. Shielded downlighting will be not spill over the property line. _____

I. Total number of parking spaces required (per Development Code): 2 _____

J. Total number of parking spaces provided: N/A _____

K. Will the project generate new sources of noise or expose the project to adjacent noise sources? No _____

L. Will the project use or dispose of any potentially hazardous materials, such as toxic substances, flammables, or explosives? If yes, please explain. No _____

M. Will the project generate new sources of dust, smoke, odors, or fumes? If so, please explain. No _____

II. If an **outdoor use** is proposed as part of this project, please complete this section.

A. Type of use:

Sales _____ Processing _____ Storage _____
Manufacturing _____ Other _____

B. Area devoted to outdoor use (shown on site plan). _____

Square feet/acres 278 SF Percentage of site 7.8%

C. Describe the proposed outdoor use: Tenant balcony and ground floor open space. _____

SITE PLAN REQUIREMENTS DEVELOPMENT REVIEW CHECKLIST

The following list includes all the items you must submit for a complete application. Some specific types of information may not apply to your project and, as noted, some items are not normally required. If you are not sure, ask Planning Division Staff. Planning Staff will use a copy of this list to check your application for completeness after it is submitted. If your application is not complete, a copy of the list will be returned to you marked according to the legend.

A. Application Checklist:

- One completed copy of Universal Application form.
- One completed copy of the Environmental Review Checklist (if applicable).
- Preliminary Title Report dated no later than 6 months prior to the application filing date.
- The appropriate non-refundable filing fee.

B. Site Plan

- Fifteen (15) Copies of Plan Sets for **Major** Development Review or Eight (8) Copies of Plan Sets for **Minor** Development Review on standard 24" x 36" size paper fan-folded to 9" x 12", one (1) reduced copy at 8 1/2" x 11" and e-mail electronic .pdf version which includes the following information:
 - Neighborhood Site Plan showing surrounding development improvements and natural features within 200 feet of the project site.
 - Project Site Plan drawn to scale and indicating:
 - Dimensioned property lines, north arrow, and any easements on the site
 - Points of access, vehicular circulation, location and dimension of parking areas and spaces
 - Location and any existing structures (specifying building setbacks), including the location and use of the nearest structures on adjacent property, and an indication of structures to be removed
 - Location of any existing or proposed utilities such as water, wastewater and storm drainage
 - Location of any proposed structures and uses (including building setbacks)
 - Open space and buffer areas
 - Walkways, bicycle facilities (bike lanes, parking racks, etc), and ADA compliance facilities on the project site and providing connections to existing off site facilities
 - Pedestrian and bicycle connections to adjacent development (pursuant to the City's Community Design Guidelines)
 - Mailbox locations and trash enclosures
 - Other site features such as outdoor seating areas

- Preliminary Grading and Drainage Plan showing:
 - Existing and proposed contours using City datum (cut and fill slopes)
 - Existing drainage characteristics of the site and a proposed preliminary drainage improvements (including drop inlets, detention basins, etc.)
 - Creek flow lines and flow directions
 - Retaining wall locations, materials, and heights.
 - Locations of existing trees (over 8" in trunk diameter at breast height) and their status (species and to be removed or retained as part of the development (including preservation measures, such as fencing, pavers blocks, etc)
 - Rock outcroppings and other major natural site features
 - Location and construction of temporary and permanent erosion and sedimentation control measures

- Architectural Plans, including elevations of all sides of the building indicating the form and exterior treatment, overall height, roof materials, proposed exterior mechanical equipment, building lighting, building materials and colors.

- Conceptual Landscape Plans indicating general locations of landscaping improvements, including locations of retained trees, newly planted trees, landscape buffers and berms, retaining and/or garden walls and any hardscape areas.

- Cross sections: (If the project site has an average cross slope of greater than ten (10) percent). Two or more sectional views of the project, approximately through the middle and at right angles to each other, showing existing and proposed grades and relationship of buildings, parking and landscaping at maturity, including major features and structures on adjacent properties at the most severe grades at two foot intervals.

- Exterior Lighting Plan including locations of all light standards and placement of building lighting. This plan shall include power rating details, heights, shielding design and cut sheets lighting designs. Include a photo-metric lighting plan, overlaid onto the project site plan, showing lighting levels across the entire site and at property lines.

- Schematic Floor Plan showing interior building layouts, rooms or use areas, square footages of bedrooms, entrances and relationship to exterior use areas.

- Signs: Note if to be submitted under separate permit or include general locations of contemplated signage on building or grounds should be included. Additional details, such as sign construction and materials should also be included, if available. If a major feature of the project involves signage, then the following additional information should be included in the package:
 - Dimensions and square footage of all signs.
 - Dimensions and square footage of building walls on which signs are located.
 - Means of lighting.
 - Heights of all signs.
 - Message that will appear on each sign.
 - Description of materials and colors for letters and background.
 - A scaled drawing of each sign showing typeface and design details.

- Color Architectural Elevations: One copy reduced to 8 ½" x 11" colored architectural elevations.
- Reduced Site Plan and Architectural Elevations: One copy each reduced 8 ½" x 11".
- Materials Sample Board with colors and textures of exterior architectural materials securely mounted on a maximum 8 ½" x 14" size illustration or poster board.

C. Optional Items

- Site Photographs of the project site, including neighboring development and including a key map of where each photo has been taken.
- Perspective rendering as required by staff, the Development Review Committee, or the Planning Commission.
- Photo Articulation of proposed physical improvements overlaid onto photos of site.
- Scaled Model upon request of the Development Review Committee or Planning Commission.

VARIANCE



SUPPLEMENTAL APPLICATION INFORMATION

This document will provide necessary information about the proposed project. It will also be used to evaluate potential environmental impacts created by the project. Please be as accurate and complete as possible in answering the questions. Further environmental information could be required from the applicant to evaluate the project.

**PLEASE PRINT CLEARLY OR TYPE
USE A SEPARATE SHEET, IF NECESSARY, TO EXPLAIN THE FOLLOWING:**

- I. Provide a written response for the variance request and provide a written justification statement to support findings listed in Section 17.72.070 F of the Development Code, including the following:
 - A. There are special circumstances applicable to the property, including location, shape, size, surroundings, and topography, so that the strict application of this Development Code deprives the property of privileges enjoyed by other property in the vicinity and within the same zone;
 - B. The approval of the Variance or Minor Variance includes conditions of approval as necessary to ensure that the adjustment granted does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and within the same zone; and,
 - C. The granting of the application will not authorize an activity or use which is not otherwise expressly authorized by the zone governing the parcel of property for which the application is made.

II. Project Characteristics:

A. Describe all existing buildings and uses of the property: The property currently consists of
Tenant improvement with addition of two new residential units and two new commercial office spaces, all within existing building
footprint.
Level 2 - 1738 GSF (same as existing)

B. Describe surrounding land uses:

North: Occupied building
South: Occupied building
East: Public parking lot
West: Mill Street public way

SITE PLAN REQUIREMENTS

A site plan is a scale drawing that depicts a property's size and shape, existing improvements on the property, and improvements or additions which are intended to be added. The site plan should be as complete and accurate as possible since it will be used by several City departments to check various requirements of the development application. Please place a check or N/A on the line provided in the below checklist. Submit this page along with the map and application packet.

A. Application Checklist:

- One completed copy of Universal Application form.
- One completed copy of the Environmental Review Checklist (if applicable).
- Preliminary Title Report dated no later than 6 months prior to the application filing date.
- The appropriate non-refundable filing fee.

B. Site Plan Submittal:

- Site Plan size – one 8-1/2" x 11", 15 larger folded copies (folded to 9" x 12") with one 8.5 x 11" reduced copy and e-mail electronic .pdf file.
- Graphic scale and north arrow.
- Vicinity map (showing property location to major roads or major landmarks).
- Show location and dimensions of existing and proposed structures and walls.
- (Identify existing as a solid line and proposed as a dashed line).
- Label the use of all existing and proposed structures or area.
- Show the distance between structures and to the property lines.
- Show site access, location and dimensions of adjacent street right-of-way, property lines, building setback lines, sidewalks and easements.
- Show off-street parking facilities, including parking area and layout, loading areas trash storage areas, dimensions and numbers of individual parking spaces (including handicapped spaces) and aisles.



RUSSELL DAVIDSON
ARCHITECTURE + DESIGN

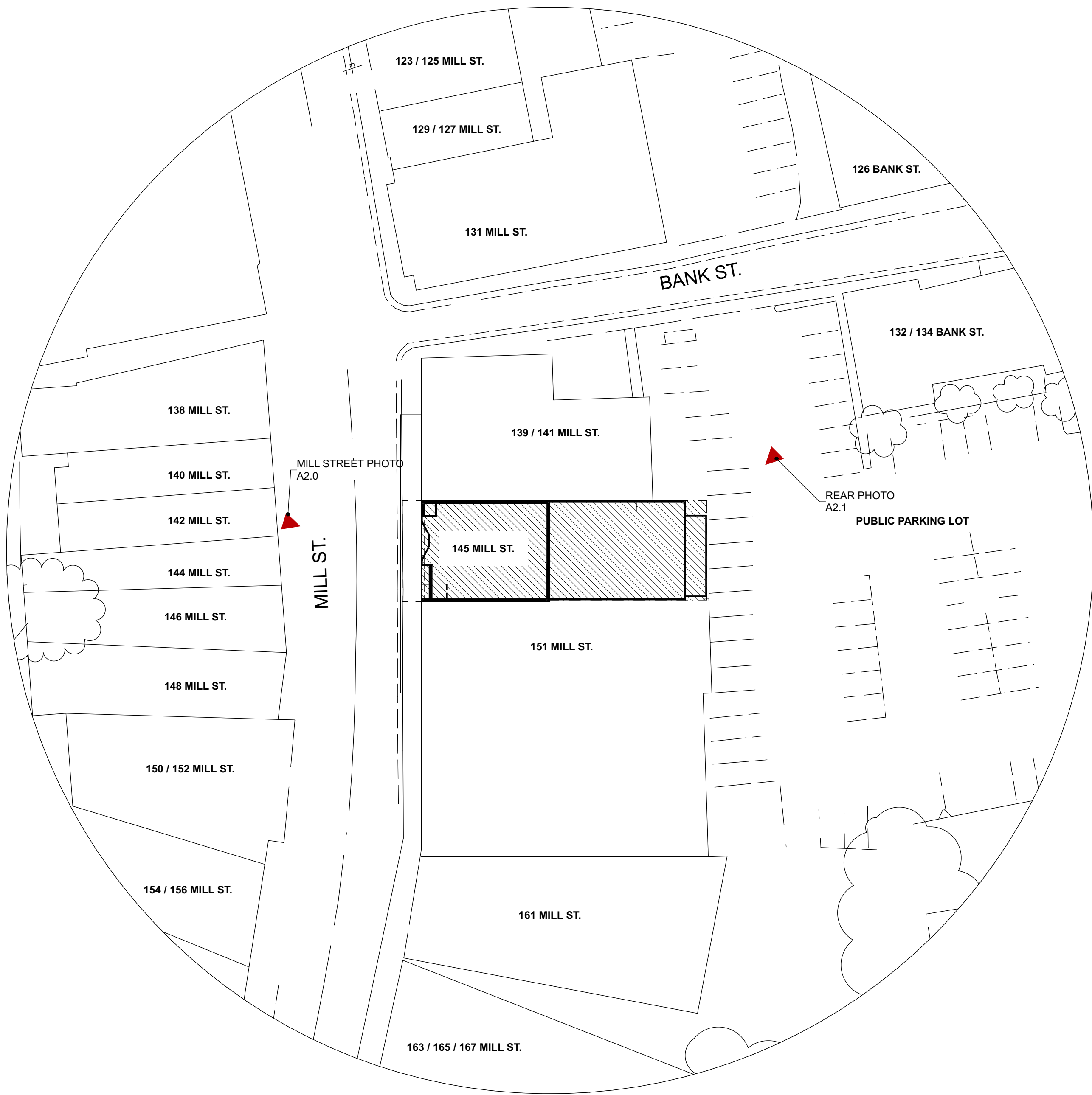
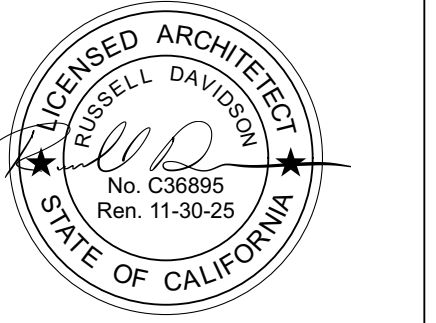
Jeff Himeline
Russell Davidson Architecture + Design
149 Crown Point Ct. Suite C
Grass Valley, CA 95945
jeff@davidsonarch.com
(530) 264-5559

February 6, 2024
Subject: Variance Request - 145 Mill Street

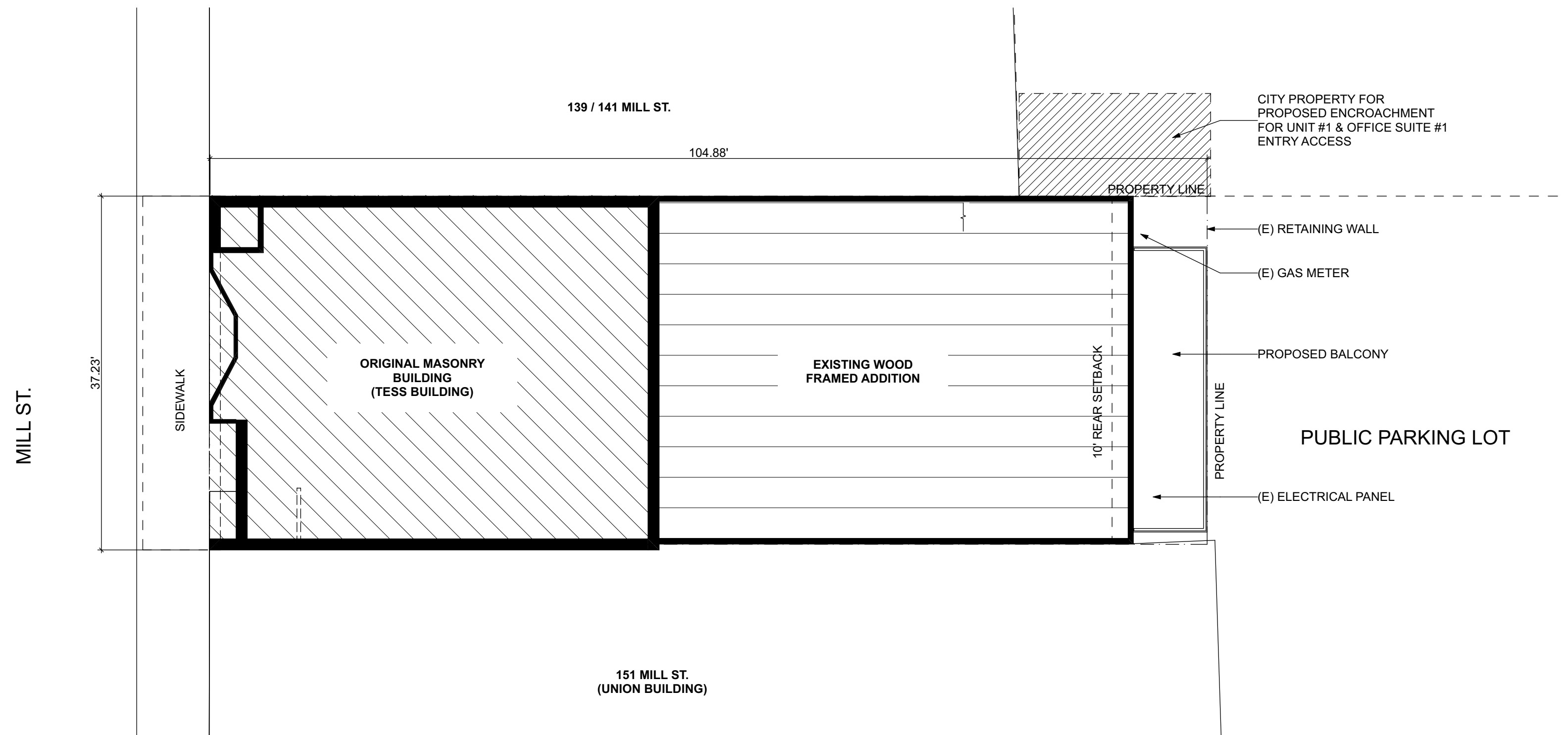
To whom it may concern,

On behalf of the building owner at 145 Mill Street, we would like to apply for a variance to allow a balcony to encroach into the 4' required setback at the rear of the property. Adhering to a 4' setback would only allow for a 3'-9" deep deck, which is functionally insufficient for our proposed occupancy. As the rear portion of the building is an addition that is not part of the original historic building, we do not feel a new balcony would affect its historic integrity. It is our opinion that a new balcony would not only add both aesthetic and functional value, but would also align with a previous use. We have discovered existing post bases on top of the existing retaining wall on the property line, indicating a former balcony in the same area we are proposing.

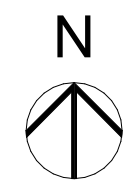
Sincerely,
Jeff Himeline
Architect



2 NEIGHBORHOOD SITE PLAN
 SCALE: 1" = 30'



1 SITE PLAN
 SCALE: 1" = 10'



145 MILL STREET

145 MILL STREET
 GRASS VALLEY, CA 95945
 APN: 008-372-012

ID	NAME	DATE

SITE NOTES

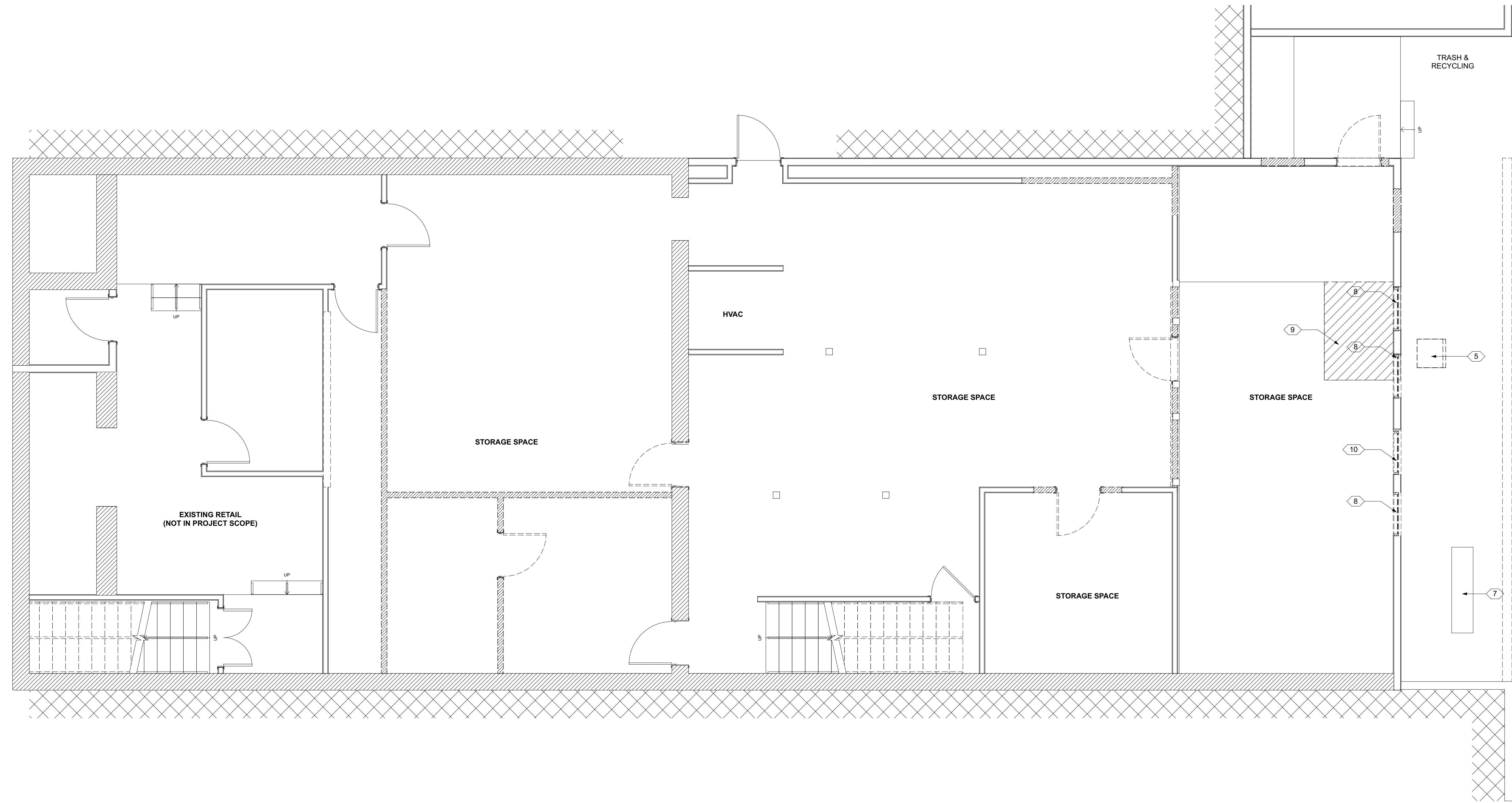
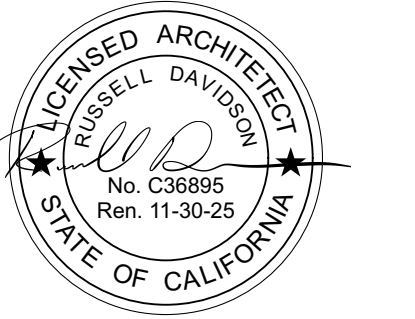
- SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET.

 EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING.
- PROJECT WILL COMPLY WITH LOCAL AHJ STORM WATER REQUIREMENTS.

SUBMITTED:	03.01.2024
SCALE:	AS NOTED
DRAWN BY:	RPD
CHECKED BY:	RPD
JOB:	---

SITE PLAN

A0.1



1 BASEMENT DEMO PLAN
SCALE: 1/4" = 1'-0"

145 MILL STREET

145 MILL STREET
GRASS VALLEY, CA 95945
APN: 008-372-012

PUBLIC PARKING LOT

J:\users\jeh\in\RD\A-D Dropbox\RD\A-D Projects\Current\2023.27 145 Mill\Arch\CAD\Current\145 Mill St.pln

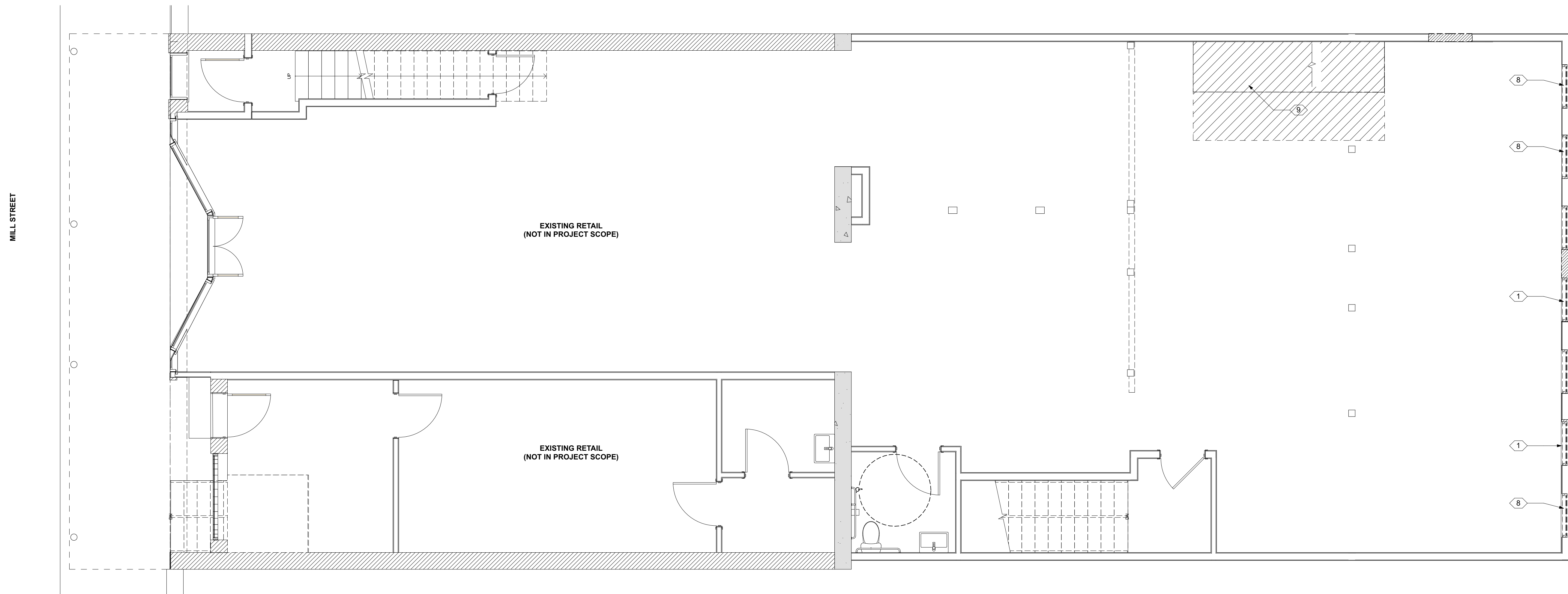
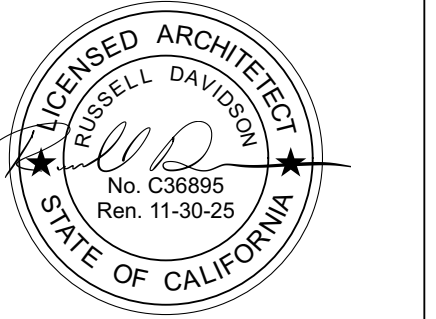
KEYNOTES	DEMO PLAN NOTES	LEGEND
<ol style="list-style-type: none"> REMOVE (E) WINDOW AND ENLARGE HEIGHT OF OPENING TO ACCOMMODATE (N) EXTERIOR DOOR (E) WALL TO BE REMOVED, FOUNDATION AND FLOOR TO REMAIN REMOVE (E) DOOR, OPENING TO REMAIN REMOVE (E) GUARDRAIL RELOCATE (E) AC COMPRESSOR (E) MASONRY WALL (E) ELECTRICAL METER PREP (E) OPENING FOR (N) WINDOW REMOVE SECTION OF (E) FLOOR (N) DOOR IN (E) WINDOW OPENING 	<ol style="list-style-type: none"> REMOVE EXISTING FINISHES AS NOTED ON PLANS & REPAIR & PREPARE ALL SURFACES FOR FINISHES MATERIAL HAVING SALVAGE VALUE SHALL BECOME THE PROPERTY OF THE OWNER ALL OTHER MATERIAL AND DEBRIS ACCUMULATED AS A RESULT OF DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES BY THE CONTRACTOR AND DISPOSED OF IN A LEGAL AND PROPER MANNER. FURNISH, INSTALL, AND MAINTAIN IN SAFE CONDITIONS AT ALL TIMES TEMPORARY PROTECTION REQUIRED TO ENSURE SAFETY FOR PERSONS AND PROPERTY DURING DEMOLITION AND REMOVAL WORK. FURNISH, INSTALL, AND MAINTAIN DUST COVERINGS TO PREVENT THE SPREAD OF DUST BEYOND THE IMMEDIATE AREA WHERE DEMOLITION IS BEING PERFORMED. REMOVE EXISTING ELECTRICAL OUTLETS AND WIRING AS REQUIRED IN WALLS, FLOORS AND FURNISHINGS TO BE DEMOLISHED. ALL ELECTRICAL, PLUMBING AND MECHANICAL WORK (DEMOLITION AND NEW) IS TO BE PERFORMED BY LICENSED, COMPETENT CONTRACTORS. 	<p>LEGEND</p> <p>—— (E) WALL TO REMAIN</p> <p>----- (E) WALL TO BE DEMOLISHED</p> <p>////// (E) FINISHES TO BE REMOVED, STRUCTURE TO REMAIN</p>
	<ol style="list-style-type: none"> PRIOR TO THE START OF DEMOLITION WORK GENERAL CONTRACTOR SHALL DETERMINE THE LOCATION OF LOAD BEARING PARTITIONS AND COLUMNS AND PROVIDE TEMPORARY SUPPORTS AS REQUIRED BY REMOVAL OR RELOCATION OF SUCH PARTITIONS. G.C. TO ENSURE ALL TEMPORARY SUPPORTS ARE CARRIED TO SUFFICIENT BEARING MATERIALS. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL DEMOLITION LOCATIONS & DETAILS. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION, CONTRACTOR SHALL NOTIFY OWNER IN WRITING IMMEDIATELY. CONTRACTOR SHALL COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES RELATIVE TO REMOVAL HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. ANY INTERRUPTION TO BUILDING UTILITIES SHALL BE CLEARED WITH OWNER 72 HOURS PRIOR TO PROPOSED INTERRUPTION. 	

ID	NAME	DATE

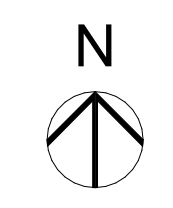
SUBMITTED:	03.01.2024
SCALE:	AS NOTED
DRAWN BY:	RPD
CHECKED BY:	RPD
JOB:	---

DEMOLITION PLAN - BASEMENT

A1.0



1 1ST FLOOR DEMO PLAN
SCALE: 1/4" = 1'-0"

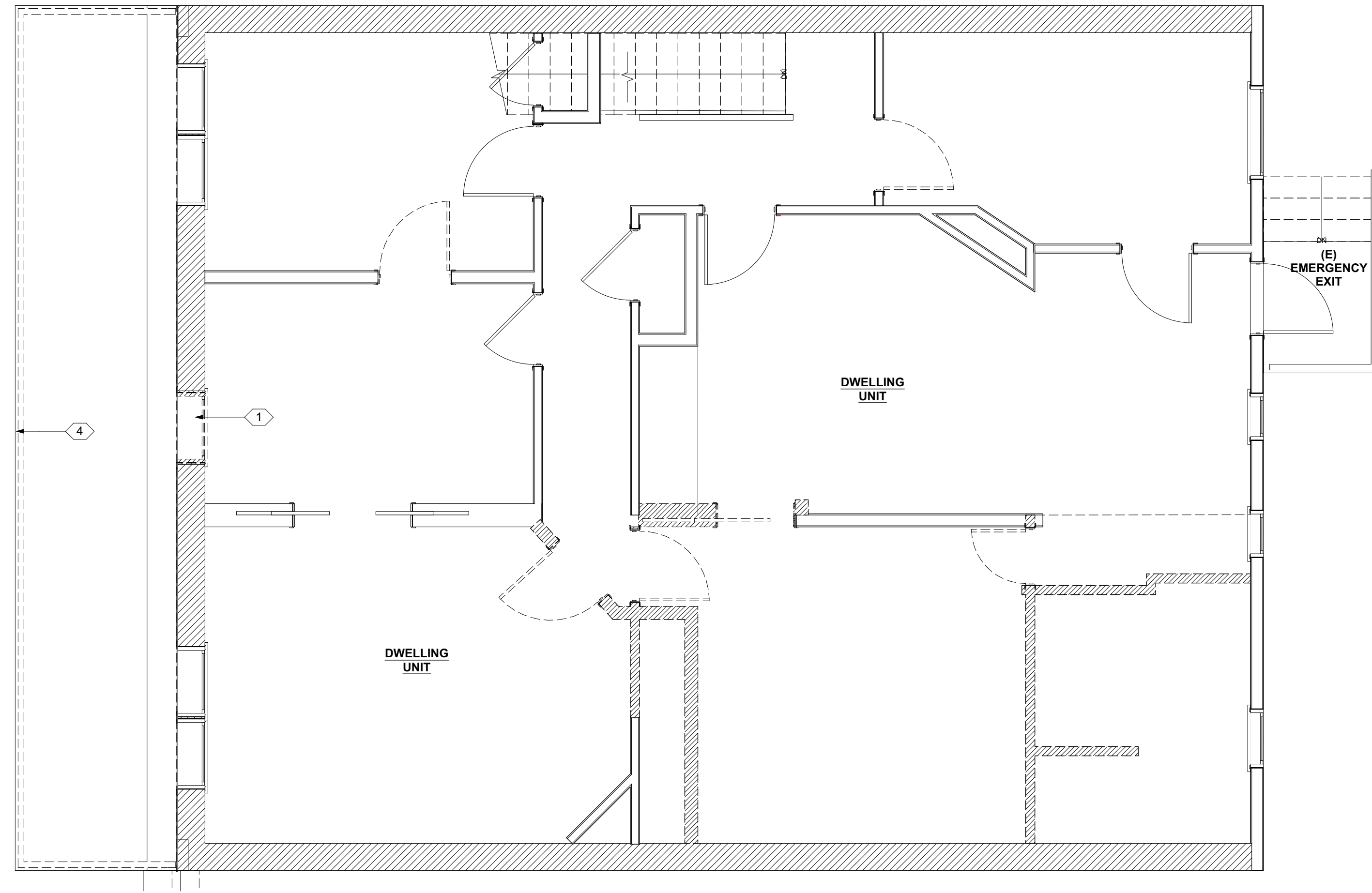
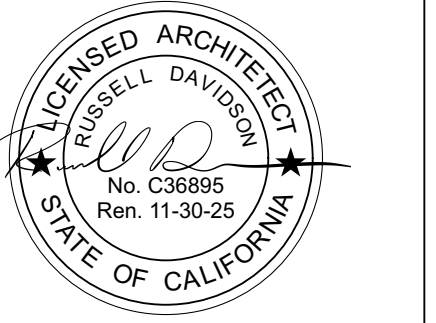


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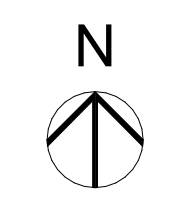
145 MILL STREET
145 MILL STREET
GRASS VALLEY, CA 95945
APN: 008-372-012

ID	NAME	DATE

KEYNOTES	DEMO PLAN NOTES	LEGEND
<ol style="list-style-type: none"> 1. REMOVE (E) WINDOW AND ENLARGE HEIGHT OF OPENING TO ACCOMMODATE (N) EXTERIOR DOOR 2. (E) WALL TO BE REMOVED, FOUNDATION AND FLOOR TO REMAIN 3. REMOVE (E) DOOR, OPENING TO REMAIN 4. REMOVE (E) GUARDRAIL 5. RELOCATE (E) AC COMPRESSOR 6. (E) MASONRY WALL 7. (E) ELECTRICAL METER 8. PREP (E) OPENING FOR (N) WINDOW 9. REMOVE SECTION OF (E) FLOOR 10. (N) DOOR IN (E) WINDOW OPENING 	<ol style="list-style-type: none"> 1. REMOVE EXISTING FINISHES AS NOTED ON PLANS & REPAIR & PREPARE ALL SURFACES FOR FINISHES 2. MATERIAL HAVING SALVAGE VALUE SHALL BECOME THE PROPERTY OF THE OWNER ALL OTHER MATERIAL AND DEBRIS ACCUMULATED AS A RESULT OF DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES BY THE CONTRACTOR AND DISPOSED OF IN A LEGAL AND PROPER MANNER. 3. FURNISH, INSTALL, AND MAINTAIN IN SAFE CONDITIONS AT ALL TIMES TEMPORARY PROTECTION REQUIRED TO ENSURE SAFETY FOR PERSONS AND PROPERTY DURING DEMOLITION AND REMOVAL WORK. 4. FURNISH, INSTALL, AND MAINTAIN DUST COVERINGS TO PREVENT THE SPREAD OF DUST BEYOND THE IMMEDIATE AREA WHERE DEMOLITION IS BEING PERFORMED. 5. REMOVE EXISTING ELECTRICAL OUTLETS AND WIRING AS REQUIRED IN WALLS, FLOORS AND FURNISHINGS TO BE DEMOLISHED. 6. ALL ELECTRICAL, PLUMBING AND MECHANICAL WORK (DEMOLITION AND NEW) IS TO BE PERFORMED BY LICENSED, COMPETENT CONTRACTORS. 	<p>LEGEND</p> <p>———— (E) WALL TO REMAIN</p> <p>----- (E) WALL TO BE DEMOLISHED</p> <p>/////// (E) FINISHES TO BE REMOVED, STRUCTURE TO REMAIN</p>
<ol style="list-style-type: none"> 7. PRIOR TO THE START OF DEMOLITION WORK GENERAL CONTRACTOR SHALL DETERMINE THE LOCATION OF LOAD BEARING PARTITIONS AND COLUMNS AND PROVIDE TEMPORARY SUPPORTS AS REQUIRED BY REMOVAL OR RELOCATION OF SUCH PARTITIONS. G.C. TO ENSURE ALL TEMPORARY SUPPORTS ARE CARRIED TO SUFFICIENT BEARING MATERIALS. 8. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL DEMOLITION LOCATIONS & DETAILS. 9. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION, CONTRACTOR SHALL NOTIFY OWNER IN WRITING IMMEDIATELY. CONTRACTOR SHALL COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES RELATIVE TO REMOVAL HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. 10. ANY INTERRUPTION TO BUILDING UTILITIES SHALL BE CLEARED WITH OWNER 72 HOURS PRIOR TO PROPOSED INTERRUPTION. 		<p>SUBMITTED: 03.01.2024</p> <p>SCALE: AS NOTED</p> <p>DRAWN BY: RPD</p> <p>CHECKED BY: RPD</p> <p>JOB: ---</p> <p style="text-align: center;">DEMOLITION PLAN - LEVEL 1</p>
A1.1		



1 2ND FLOOR DEMO PLAN
SCALE: 1/4" = 1'-0"



145 MILL STREET

145 MILL STREET
GRASS VALLEY, CA 95945
APN: 008-372-012

ID	NAME	DATE

KEYNOTES

- REMOVE (E) WINDOW AND ENLARGE HEIGHT OF OPENING TO ACCOMMODATE (N) EXTERIOR DOOR
- (E) WALL TO BE REMOVED, FOUNDATION AND FLOOR TO REMAIN
- REMOVE (E) DOOR, OPENING TO REMAIN
- REMOVE (E) GUARDRAIL
- RELOCATE (E) AC COMPRESSOR
- (E) MASONRY WALL
- (E) ELECTRICAL METER
- PREP (E) OPENING FOR (N) WINDOW
- REMOVE SECTION OF (E) FLOOR
- (N) DOOR IN (E) WINDOW OPENING

DEMO PLAN NOTES

- REMOVE EXISTING FINISHES AS NOTED ON PLANS & REPAIR & PREPARE ALL SURFACES FOR FINISHES
- MATERIAL HAVING SALVAGE VALUE SHALL BECOME THE PROPERTY OF THE OWNER ALL OTHER MATERIAL AND DEBRIS ACCUMULATED AS A RESULT OF DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES BY THE CONTRACTOR AND DISPOSED OF IN A LEGAL AND PROPER MANNER.
- FURNISH, INSTALL, AND MAINTAIN IN SAFE CONDITIONS AT ALL TIMES TEMPORARY PROTECTION REQUIRED TO ENSURE SAFETY FOR PERSONS AND PROPERTY DURING DEMOLITION AND REMOVAL WORK.
- FURNISH, INSTALL, AND MAINTAIN DUST COVERINGS TO PREVENT THE SPREAD OF DUST BEYOND THE IMMEDIATE AREA WHERE DEMOLITION IS BEING PERFORMED.
- REMOVE EXISTING ELECTRICAL OUTLETS AND WIRING AS REQUIRED IN WALLS, FLOORS AND FURNISHINGS TO BE DEMOLISHED.
- ALL ELECTRICAL, PLUMBING AND MECHANICAL WORK (DEMOLITION AND NEW) IS TO BE PERFORMED BY LICENSED, COMPETENT CONTRACTORS.

- PRIOR TO THE START OF DEMOLITION WORK GENERAL CONTRACTOR SHALL DETERMINE THE LOCATION OF LOAD BEARING PARTITIONS AND COLUMNS AND PROVIDE TEMPORARY SUPPORTS AS REQUIRED BY REMOVAL OR RELOCATION OF SUCH PARTITIONS. G.C. TO ENSURE ALL TEMPORARY SUPPORTS ARE CARRIED TO SUFFICIENT BEARING MATERIALS.
- REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL DEMOLITION LOCATIONS & DETAILS.
- IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION, CONTRACTOR SHALL NOTIFY OWNER IN WRITING IMMEDIATELY. CONTRACTOR SHALL COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES RELATIVE TO REMOVAL HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
- ANY INTERRUPTION TO BUILDING UTILITIES SHALL BE CLEARED WITH OWNER 72 HOURS PRIOR TO PROPOSED INTERRUPTION.

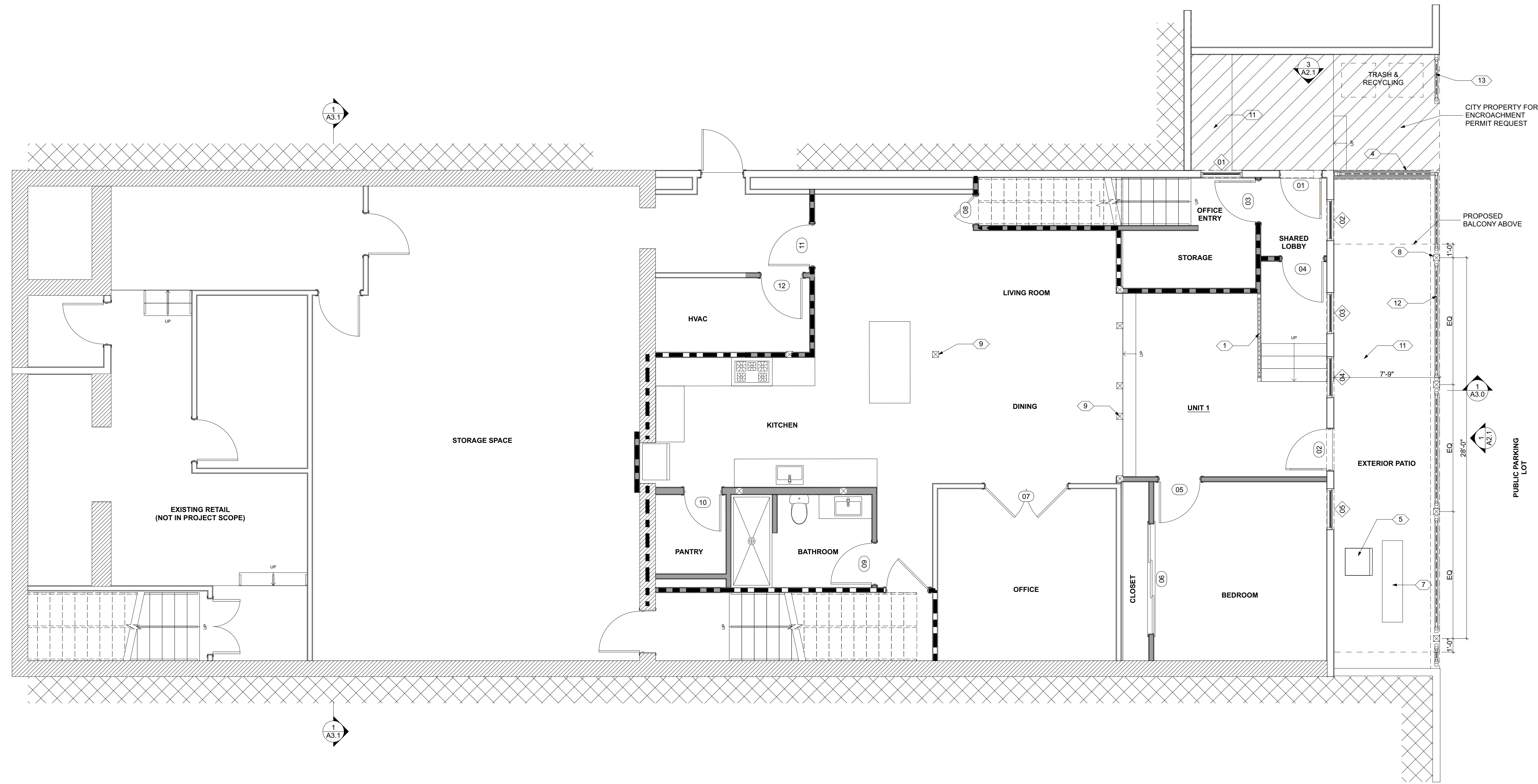
LEGEND

- (E) WALL TO REMAIN
- (E) WALL TO BE DEMOLISHED
- (E) FINISHES TO BE REMOVED, STRUCTURE TO REMAIN

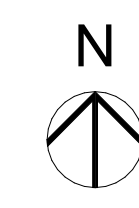
SUBMITTED:	03.01.2024
SCALE:	AS NOTED
DRAWN BY:	RPD
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JOB:	---

DEMOLITION PLAN - LEVEL 2

A1.2



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



KEYNOTES

1. (E) STEEL GUARDRAIL REPURPOSED TO MEET CODE REQ.
2. (N) CONC. LANDING
3. (N) CONC. PAD
4. (N) RETAINING WALL, MATCH HEIGHT OF (E) RETAINING WALL
5. RELOCATED AC COMPRESSOR
6. (E) MASONRY WALL
7. (E) ELECTRICAL METER
8. (N) WOOD POST, S.S.D.
9. (E) WOOD POST
10. (N) WOOD FRAMED DECK, S.S.D.
11. LANDSCAPED AREA
12. (N) WOOD PRIVACY FENCE
13. (N) WOOD TRASH ENCLOSURE SCREEN
14. (N) 42" STEEL GUARDRAIL, PTD

GENERAL NOTES

- REFERENCES**
1. REFER TO SHEET A5.01 FOR PARTITION ASSEMBLIES. ALL EXTERIOR WALLS K6 U.N.O. ALL INTERIOR WALLS A4 U.N.O.
 2. REFER TO SHEET A6.0 FOR WINDOW & DOOR SCHEDULES.
 3. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING NOTES ON SHEET A6.1
 4. INSTALL WINDOWS PER SCHEDULE ON A6.0
 5. INSTALL INTERIOR AND EXTERIOR DOOR PER SCHEDULE ON A6.0

NOTES

1. WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. SUBCONTRACTOR TO VERIFY ALL DIM. PRIOR TO CONSTRUCTION
2. EXTERIOR DIMENSIONS ARE MEASURED TO FACE OF STRUCTURAL SHEATHING / SLAB EDGE OR CENTERLINE OF STRUCTURE U.N.O.
3. INTERIOR DIMENSIONS ARE MEASURED TO FACE OF STUD, U.N.O.
4. DOORS AND WINDOWS ARE MEASURED TO CENTERLINE OF OPENINGS.
5. ALL ANGLED WALLS ARE AT 45 DEGREES U.N.O.
6. SET JAMB AT HINGE SIDE OF:
EXTERIOR DOORS @ 4.5" U.N.O.
INTERIOR DOORS @ 4.5" U.N.O.
7. PROVIDE MIN. 36"x36" LEVEL LANDINGS OUTSIDE AT ALL EXTERIOR DOORS PER CRC SECTION R311.3, WITH LANDINGS NOT MORE THAN 7.75" BELOW INSIDE FINISHED FLOORS AT INWARD SWINGING (OR SLIDING) DOORS AND 1.5" AT OUTWARD SWINGING PER CRC SECTION R311.3.1. ALL LANDINGS SHALL SLOPE 1/4" FT AWAY FROM DOORS MIN. TYP. PROVIDE MIN. 12" CLASS 2 AGGREGATE BASEROCK UNDER SLABS AT ALL DOORWAY LANDINGS, TYP.

8. GLASS DOORS & PANELS OF SHOWER & BATHTUB ENCLOSURES & ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE OR DRAIN INLET SHALL BE TEMPERED SAFETY GLASS, AS PER CRC SECTION R308.4.5.
9. BATHROOM FLOORS TO HAVE SKID-RESISTANT SURFACE.
10. BASE LINING MATERIAL BENEATH SHOWER PAN SLOPED TO DRAIN AS PER CPC SECTION 408.7.
11. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH.
12. PROVIDE FIREBLOCKING IN CONCEALED SPACES PER CRC R302.11.

LEGEND

	(E) WALL TO REMAIN		THERMOSTAT
	(N) WALL		GARAGE DOOR OPENER
	1 HR. FIRE WALL		HOSE BIB
ROOM #	ROOM IDENTIFICATION		GAS
	WINDOW NUMBER		
	DOOR NUMBER		
	PARTITION TYPE		

145 MILL STREET

145 MILL STREET
GRASS VALLEY, CA 95945
APN: 008-372-012

ID	NAME	DATE

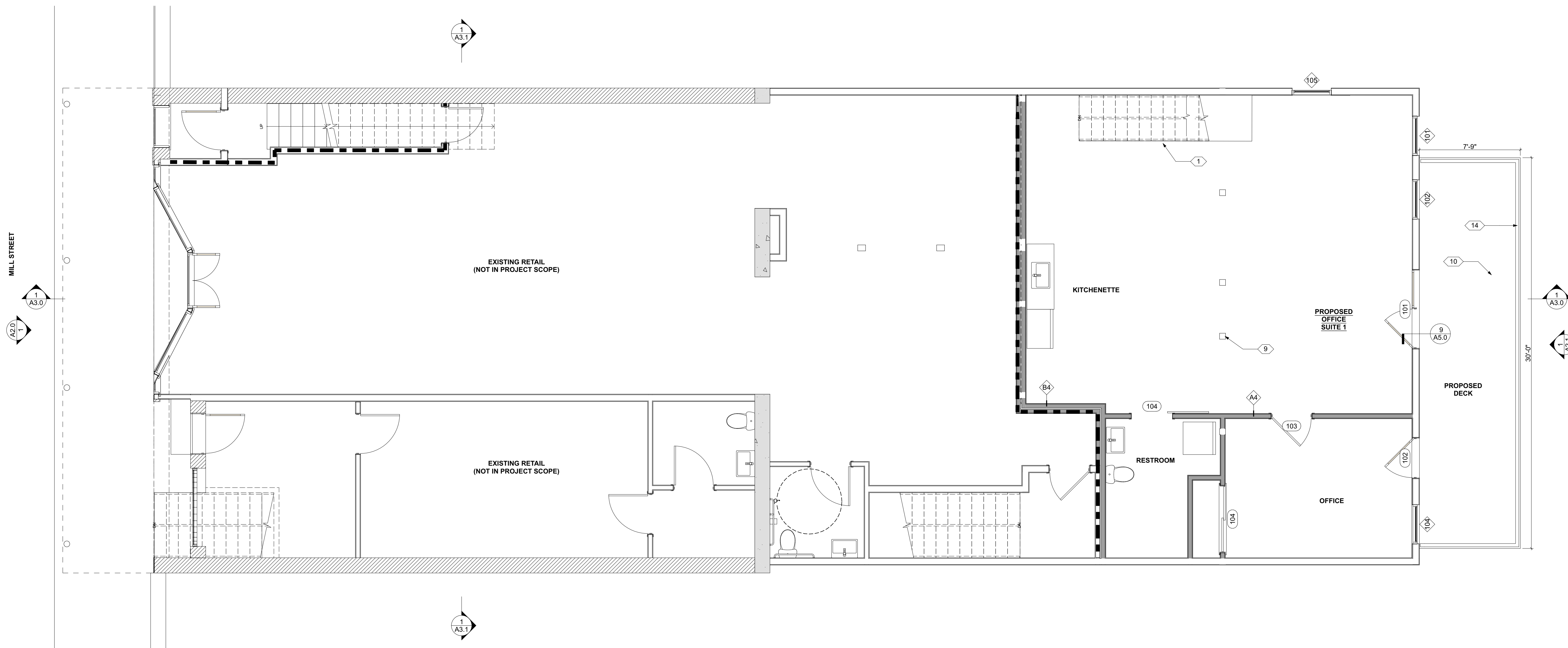
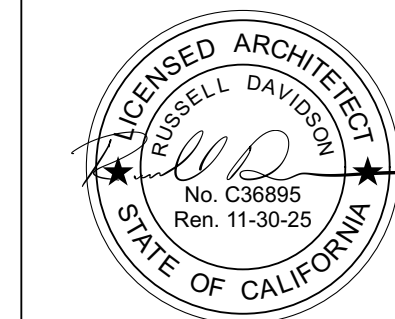
SUBMITTED:	03.01.2024
SCALE:	AS NOTED
DRAWN BY:	RPD
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JOB:	---

FLOOR PLAN - BASEMENT

A1.3



RUSSELL DAVIDSON
ARCHITECTURE + DESIGN



1 NEW 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"



KEYNOTES

- (E) STEEL GUARDRAIL REPURPOSED TO MEET CODE REQ.
- (N) CONC. LANDING
- (N) CONC. PAD
- (N) RETAINING WALL, MATCH HEIGHT OF (E) RETAINING WALL
- RELOCATED AC COMPRESSOR
- (E) MASONRY WALL
- (E) ELECTRICAL METER
- (N) WOOD POST, S.S.D.
- (E) WOOD POST
- (N) WOOD FRAMED DECK, S.S.D.
- LANDSCAPED AREA
- (N) WOOD PRIVACY FENCE
- (N) WOOD TRASH ENCLOSURE SCREEN
- (N) 42" STEEL GUARDRAIL, PTD

GENERAL NOTES

REFERENCES

- REFER TO SHEET A5.01 FOR PARTITION ASSEMBLIES. ALL EXTERIOR WALLS K6 U.N.O. ALL INTERIOR WALLS A4 U.N.O.
- REFER TO SHEET A6.0 FOR WINDOW & DOOR SCHEDULES.
-
- INSTALL WINDOWS PER SCHEDULE ON A6.0
- INSTALL INTERIOR AND EXTERIOR DOOR PER SCHEDULE ON A6.0

NOTES

- WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. SUBCONTRACTOR TO VERIFY ALL DIM. PRIOR TO CONSTRUCTION
- EXTERIOR DIMENSIONS ARE MEASURED TO FACE OF STRUCTURAL SHEATHING / SLAB EDGE OR CENTERLINE OF STRUCTURE U.N.O.
- INTERIOR DIMENSIONS ARE MEASURED TO FACE OF STUD, U.N.O.
- DOORS AND WINDOWS ARE MEASURED TO CENTERLINE OF OPENINGS.
- ALL ANGLED WALLS ARE AT 45 DEGREES U.N.O.
- SET JAMB AT HINGE SIDE OF:
EXTERIOR DOORS @ 4.5" U.N.O.
INTERIOR DOORS @ 4.5" U.N.O.
- PROVIDE MIN. 36"x36" LEVEL LANDINGS OUTSIDE AT ALL EXTERIOR DOORS PER CRC SECTION R311.3, WITH LANDINGS NOT MORE THAN 7.75" BELOW INSIDE FINISHED FLOORS AT INWARD SWINGING (OR SLIDING) DOORS AND 1.5" AT OUTWARD SWINGING PER CRC SECTION R311.3.1. ALL LANDINGS SHALL SLOPE 1/4"/FT AWAY FROM DOORS MIN. TYP. PROVIDE MIN. 12" CLASS 2 AGGREGATE BASEROCK UNDER SLABS AT ALL DOORWAY LANDINGS, TYP.

- GLASS DOORS & PANELS OF SHOWER & BATHTUB ENCLOSURES & ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE OR DRAIN INLET SHALL BE TEMPERED SAFETY GLASS, AS PER CRC SECTION R308.4.5.
- BATHROOM FLOORS TO HAVE SKID-RESISTANT SURFACE.
- BASE LINING MATERIAL BENEATH SHOWER PAN SLOPED TO DRAIN AS PER CPC SECTION 408.7.
- OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH.
- PROVIDE FIREBLOCKING IN CONCEALED SPACES PER CRC R302.11.

LEGEND

- | | | | |
|---------------|----------------------------|--|--------------------|
| | (E) WALL TO REMAIN | | THERMOSTAT |
| | (N) WALL | | GARAGE DOOR OPENER |
| | 1 HR. FIRE WALL | | HOSE BIB |
| | GAS | | GAS |
| ROOM # | ROOM IDENTIFICATION | | |
| | WINDOW NUMBER | | |
| | DOOR NUMBER | | |
| | PARTITION TYPE | | |

145 MILL STREET

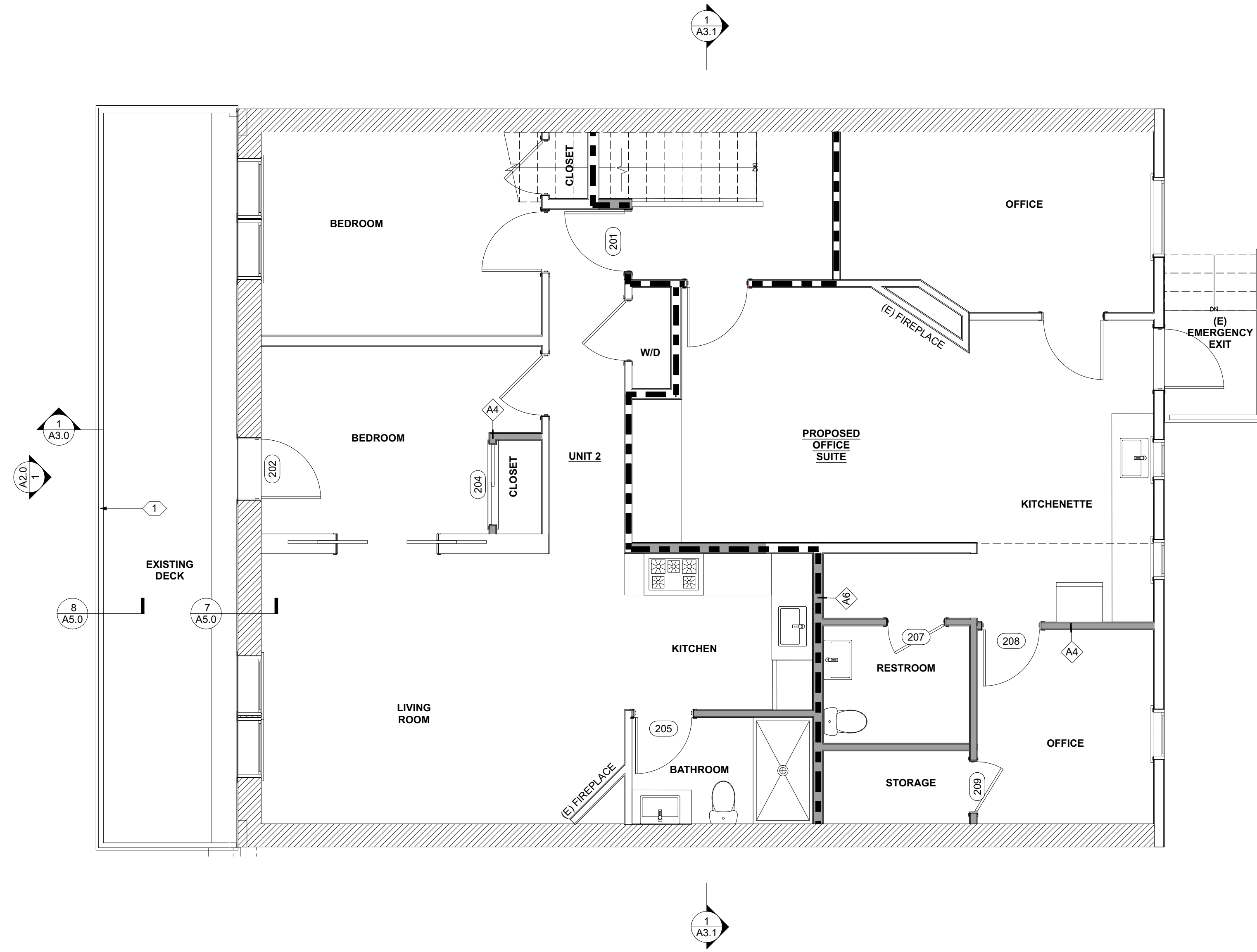
145 MILL STREET
GRASS VALLEY, CA 95945
APN: 008-372-012

ID	NAME	DATE

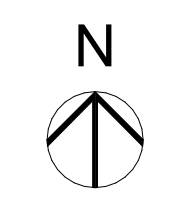
SUBMITTED:	03.01.2024
SCALE:	AS NOTED
DRAWN BY:	RPD
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JOB:	---

FLOOR PLAN -
LEVEL 1

A1.4



1 NEW 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



KEYNOTES

1. (E) STEEL GUARDRAIL REPURPOSED TO MEET CODE REQ.
2. (N) CONC. LANDING
3. (N) CONC. PAD
4. (N) RETAINING WALL, MATCH HEIGHT OF (E) RETAINING WALL
5. RELOCATED AC COMPRESSOR
6. (E) MASONRY WALL
7. (E) ELECTRICAL METER
8. (N) WOOD POST, S.S.D.
9. (E) WOOD POST
10. (N) WOOD FRAMED DECK, S.S.D.
11. LANDSCAPED AREA
12. (N) WOOD PRIVACY FENCE
13. (N) WOOD TRASH ENCLOSURE SCREEN
14. (N) 42" STEEL GUARDRAIL, PTD

GENERAL NOTES

- REFERENCES**
1. REFER TO SHEET A5.01 FOR PARTITION ASSEMBLIES. ALL EXTERIOR WALLS K6 U.N.O. ALL INTERIOR WALLS A4 U.N.O.
 2. REFER TO SHEET A6.0 FOR WINDOW & DOOR SCHEDULES.
 3. -
 4. INSTALL WINDOWS PER SCHEDULE ON A6.0
 5. INSTALL INTERIOR AND EXTERIOR DOOR PER SCHEDULE ON A6.0

NOTES

1. WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. SUBCONTRACTOR TO VERIFY ALL DIM. PRIOR TO CONSTRUCTION
2. EXTERIOR DIMENSIONS ARE MEASURED TO FACE OF STRUCTURAL SHEATHING / SLAB EDGE OR CENTERLINE OF STRUCTURE U.N.O.
3. INTERIOR DIMENSIONS ARE MEASURED TO FACE OF STUD, U.N.O.
4. DOORS AND WINDOWS ARE MEASURED TO CENTERLINE OF OPENINGS.
5. ALL ANGLED WALLS ARE AT 45 DEGREES U.N.O.
6. SET JAMB AT HINGE SIDE OF:
EXTERIOR DOORS @ 4.5" U.N.O.
INTERIOR DOORS @ 4.5" U.N.O.
7. PROVIDE MIN. 36"x36" LEVEL LANDINGS OUTSIDE AT ALL EXTERIOR DOORS PER CRC SECTION R311.3, WITH LANDINGS NOT MORE THAN 7.75" BELOW INSIDE FINISHED FLOORS AT INWARD SWINGING (OR SLIDING) DOORS AND 1.5" AT OUTWARD SWINGING PER CRC SECTION R311.3.1. ALL LANDINGS SHALL SLOPE 1/4" FT AWAY FROM DOORS MIN. TYP. PROVIDE MIN. 12" CLASS 2 AGGREGATE BASEROCK UNDER SLABS AT ALL DOORWAY LANDINGS, TYP.

LEGEND

- (E) WALL TO REMAIN
- (N) WALL
- 1 HR. FIRE WALL
- ROOM # ROOM IDENTIFICATION
- (A) WINDOW NUMBER
- (01) DOOR NUMBER
- (A4) PARTITION TYPE
- T THERMOSTAT
- GD GARAGE DOOR OPENER
- HB HOSE BIB
- G GAS

145 MILL STREET

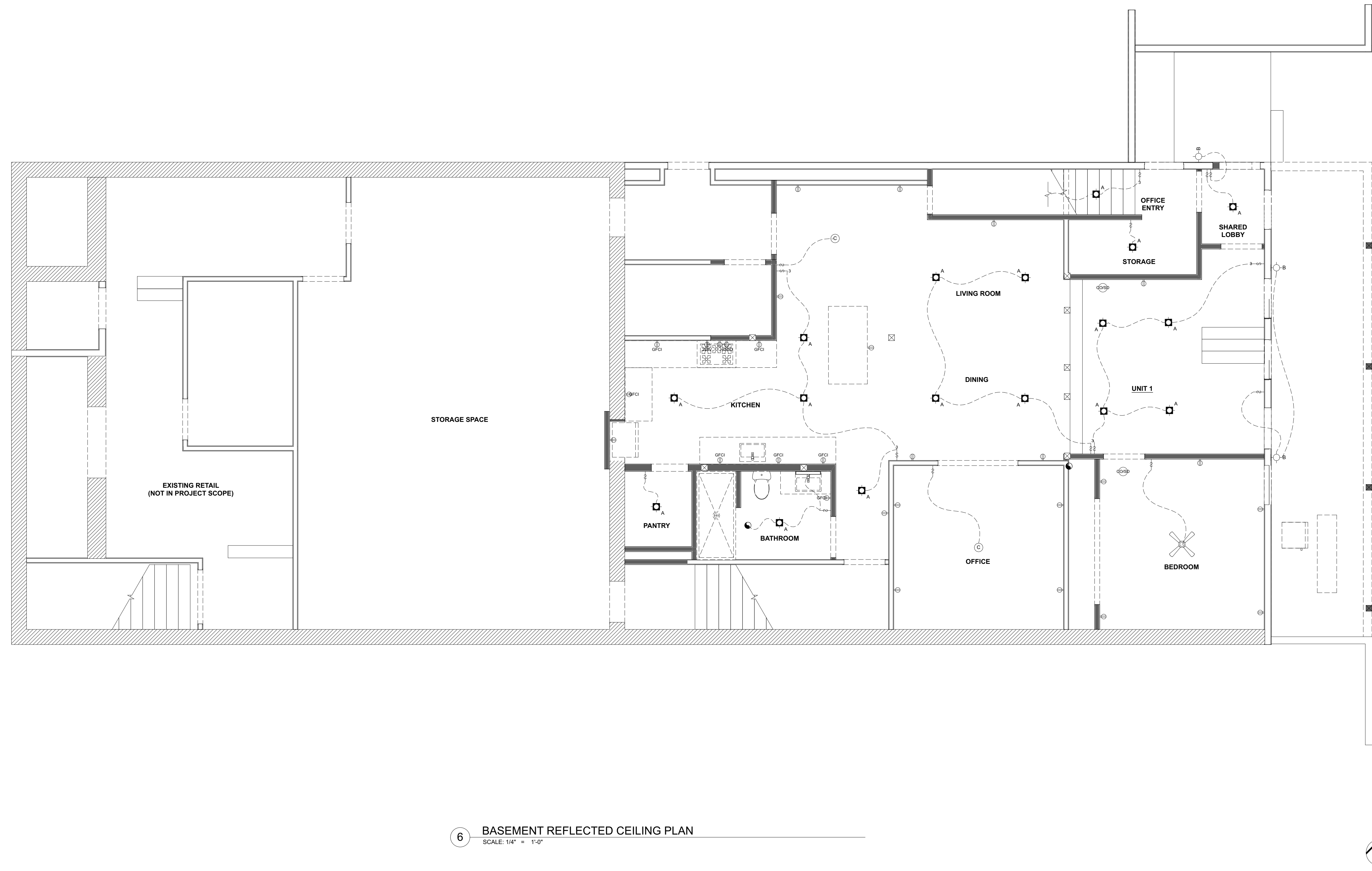
145 MILL STREET
GRASS VALLEY, CA 95945
APN: 008-372-012

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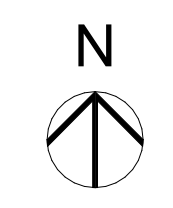
SUBMITTED:	03.01.2024
SCALE:	AS NOTED
DRAWN BY:	RPD
CHECKED BY:	RPD
JOB:	---

FLOOR PLAN - LEVEL 2

A1.5



6 BASEMENT REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



145 MILL STREET

145 MILL STREET
GRASS VALLEY, CA 95945
APN: 008-372-012

ID	NAME	DATE

KEYNOTES

- 22"x30" ATTIC ACCESS, 30" HEAD CLEARANCE MIN. ABV. OPENING

PLAN NOTES

- WHERE BEAMS, PIPES AND OR OTHER CONSTRUCTION DETAILS PREVENT THE USE OF STANDARD RECESSED FIXTURES, SHALLOW RECESSED FIXTURES SHALL BE USED. (FIXTURE CUTS SHALL BE SUBMITTED FOR APPROVAL BY ARCHITECT OR ENGINEER.)
- LAYOUT REQUIREMENTS: CONTRACTOR SHALL COORDINATE ALL STRUCTURAL FRAMING WITH ARCHITECTURAL LIGHTING, REFLECTED CEILING PLANS, MECHANICAL, PLUMBING, AND ELECTRICAL INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO, RECESSED AND SEMI- RECESSED LIGHTING, ROOF DRAINS, FIRE SPRINKLER PIPES AND HEADS, AND PLUMBING DRAINS, WASTE AND SUPPLY LINES.
- CEILING HEIGHTS SHALL BE AS SHOWN ON ARCHITECTS REFLECTED CEILING PLAN AND ANY DEVIATION FROM HEIGHTS SHOWN SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL
- PRIOR TO ENCLOSING ANY CEILING, ANY PLENUM SYSTEMS (HVAC, PLUMBING & ELECTRICAL) SHALL BE INSPECTED AND WHERE REQUIRED, TESTED BY CONTRACTORS, ENGINEERS AND PROPER AUTHORITIES HAVING JURISDICTION TO INSURE THEIR PROPER INSTALLATION AND FUNCTION.
- WHERE CALIFORNIA FRAMING OCCURS PROVIDE MIN. 22" x 30" ACCESS THROUGH EXISTING ROOF SHEATHING.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE SPACE FOR MAINTENANCE ACCESS TO ALL LIGHT FIXTURES AS PER MANUFACTURER'S RECOMMENDATIONS AND LOCAL CODES.

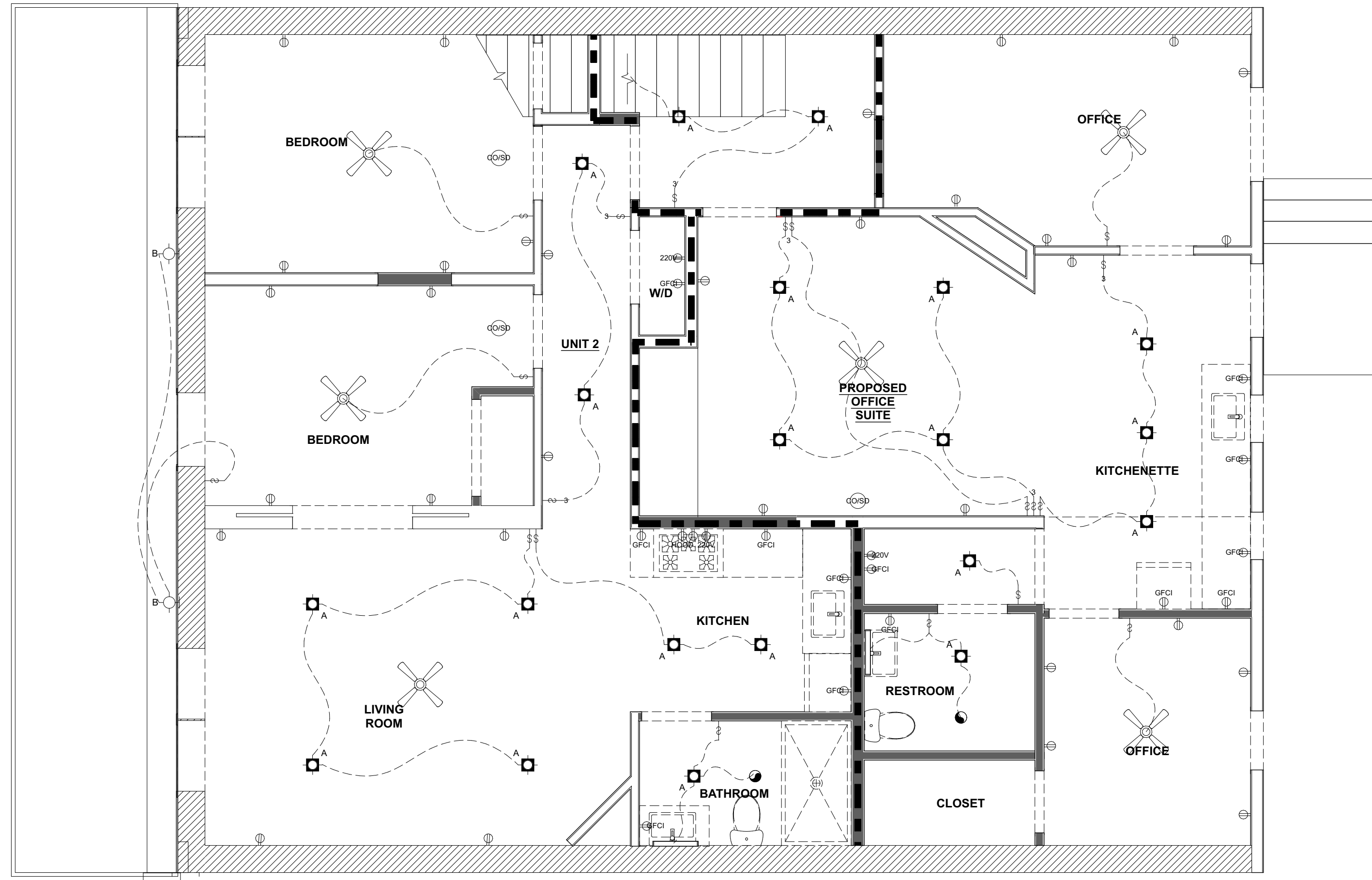
LEGEND

- | | | | |
|--|-----------------------------|--|-----------------------------|
| | DUPLEX OUTLET | | FAN / LIGHT COMBO |
| | GFCI DUPLEX OUTLET | | RECESSED LIGHT |
| | OVERHEAD GFCI DUPLEX OUTLET | | PENDANT FIXTURE |
| | FLOOR OUTLET | | CEILING MOUNT FIXTURE |
| | WATERPROOF DUPLEX OUTLET | | WALL MOUNTED FIXTURE |
| | 220V DUPLEX OUTLET | | UNDERCOUNTER LIGHT |
| | SWITCHED DUPLEX OUTLET | | VANITY FIXTURE |
| | SWITCH | | CEILING FAN & LIGHT FIXTURE |
| | 3-WAY SWITCH | | |
| | DIMMER SWITCH | | |
| | VACANCY SWITCH | | |
| | ELECTRICAL PANEL (200A UNO) | | |
| | SMOKE DETECTOR | | |
| | CO DETECTOR | | |
| | CO/SD COMBO DETECTOR | | |

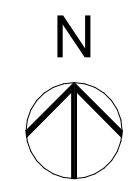
SUBMITTED:	03.01.2024
SCALE:	AS NOTED
DRAWN BY:	RPD
CHECKED BY:	RPD
JOB:	---

REFLECTED CEILING PLAN - BASEMENT

A1.7



6 2ND FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



145 MILL STREET

145 MILL STREET
GRASS VALLEY, CA 95945
APN: 008-372-012

ID	NAME	DATE

KEYNOTES

- 22"x30" ATTIC ACCESS, 30" HEAD CLEARANCE MIN. ABV. OPENING

PLAN NOTES

- WHERE BEAMS, PIPES AND OR OTHER CONSTRUCTION DETAILS PREVENT THE USE OF STANDARD RECESSED FIXTURES, SHALLOW RECESSED FIXTURES SHALL BE USED. (FIXTURE CUTS SHALL BE SUBMITTED FOR APPROVAL BY ARCHITECT OR ENGINEER.)
- LAYOUT REQUIREMENTS: CONTRACTOR SHALL COORDINATE ALL STRUCTURAL FRAMING WITH ARCHITECTURAL LIGHTING, REFLECTED CEILING PLANS, MECHANICAL, PLUMBING, AND ELECTRICAL INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO, RECESSED AND SEMI- RECESSED LIGHTING, ROOF DRAINS, FIRE SPRINKLER PIPES AND HEADS, AND PLUMBING DRAINS, WASTE AND SUPPLY LINES.
- CEILING HEIGHTS SHALL BE AS SHOWN ON ARCHITECTS REFLECTED CEILING PLAN AND ANY DEVIATION FROM HEIGHTS SHOWN SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL
- PRIOR TO ENCLOSING ANY CEILING, ANY PLENUM SYSTEMS (HVAC, PLUMBING & ELECTRICAL) SHALL BE INSPECTED AND WHERE REQUIRED, TESTED BY CONTRACTORS, ENGINEERS AND PROPER AUTHORITIES HAVING JURISDICTION TO INSURE THEIR PROPER INSTALLATION AND FUNCTION.
- WHERE CALIFORNIA FRAMING OCCURS PROVIDE MIN. 22" x 30" ACCESS THROUGH EXISTING ROOF SHEATHING.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE SPACE FOR MAINTENANCE ACCESS TO ALL LIGHT FIXTURES AS PER MANUFACTURER'S RECOMMENDATIONS AND LOCAL CODES.

LEGEND

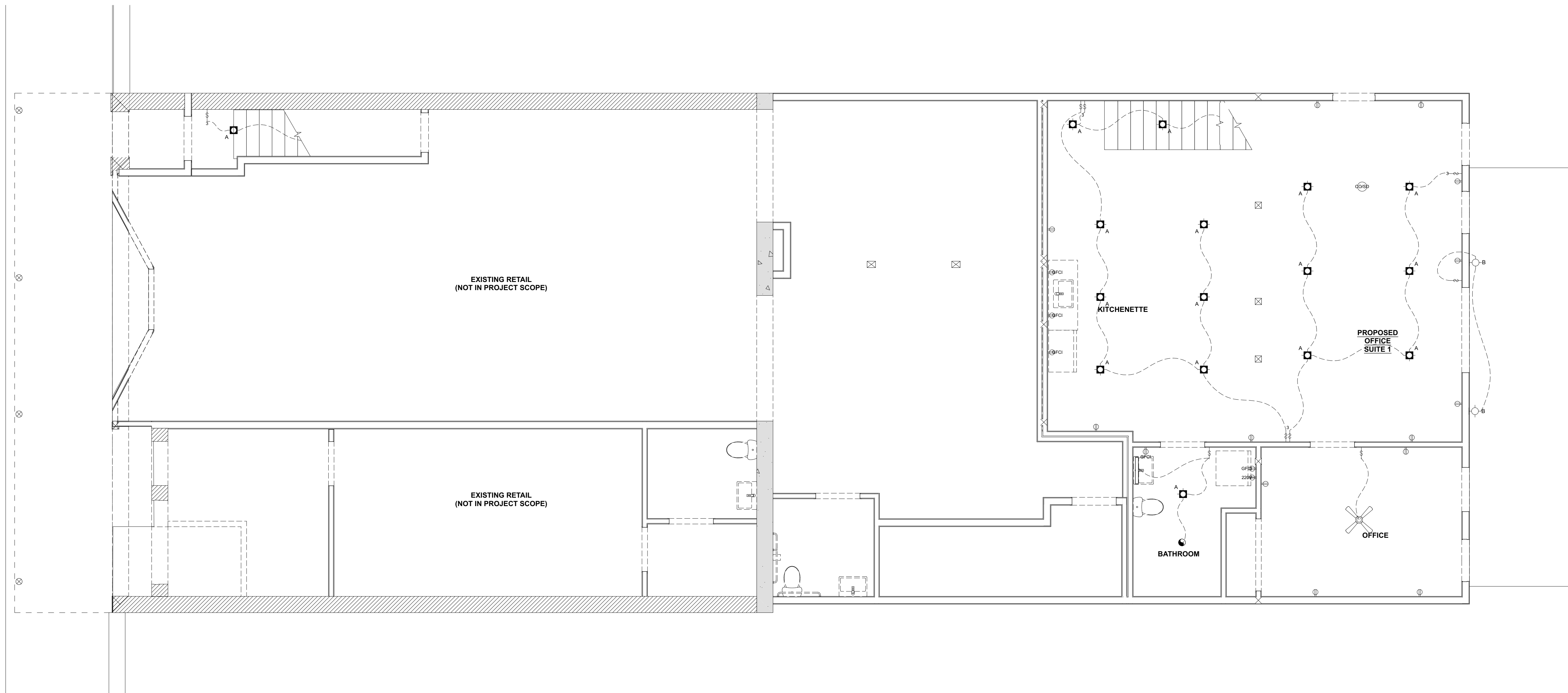
- DUPLEX OUTLET
- GFCI DUPLEX OUTLET
- OVERHEAD GFCI DUPLEX OUTLET
- FLOOR OUTLET
- WATERPROOF DUPLEX OUTLET
- 220V DUPLEX OUTLET
- SWITCHED DUPLEX OUTLET
- SWITCH
- 3-WAY SWITCH
- DIMMER SWITCH
- VACANCY SWITCH
- ELECTRICAL PANEL (200A UNO)
- SMOKE DETECTOR
- CO DETECTOR
- CO/SD COMBO DETECTOR

- FAN / LIGHT COMBO
- RECESSED LIGHT
- PENDANT FIXTURE
- CEILING MOUNT FIXTURE
- WALL MOUNTED FIXTURE
- UNDERCOUNTER LIGHT
- VANITY FIXTURE
- CEILING FAN & LIGHT FIXTURE

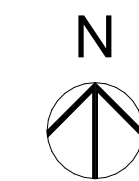
SUBMITTED:	03.01.2024
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**REFLECTED
CEILING PLAN -
LEVEL 1**

A1.8



6 1ST FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



KEYNOTES

- 22"x30" ATTIC ACCESS, 30" HEAD CLEARANCE MIN. ABV. OPENING

PLAN NOTES

- WHERE BEAMS, PIPES AND OR OTHER CONSTRUCTION DETAILS PREVENT THE USE OF STANDARD RECESSED FIXTURES, SHALLOW RECESSED FIXTURES SHALL BE USED. (FIXTURE CUTS SHALL BE SUBMITTED FOR APPROVAL BY ARCHITECT OR ENGINEER.)
- LAYOUT REQUIREMENTS: CONTRACTOR SHALL COORDINATE ALL STRUCTURAL FRAMING WITH ARCHITECTURAL LIGHTING, REFLECTED CEILING PLANS, MECHANICAL, PLUMBING, AND ELECTRICAL INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO, RECESSED AND SEMI- RECESSED LIGHTING, ROOF DRAINS, FIRE SPRINKLER PIPES AND HEADS, AND PLUMBING DRAINS, WASTE AND SUPPLY LINES.
- CEILING HEIGHTS SHALL BE AS SHOWN ON ARCHITECTS REFLECTED CEILING PLAN AND ANY DEVIATION FROM HEIGHTS SHOWN SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL
- PRIOR TO ENCLOSING ANY CEILING, ANY PLENUM SYSTEMS (HVAC, PLUMBING & ELECTRICAL) SHALL BE INSPECTED AND WHERE REQUIRED, TESTED BY CONTRACTORS, ENGINEERS AND PROPER AUTHORITIES HAVING JURISDICTION TO INSURE THEIR PROPER INSTALLATION AND FUNCTION.
- WHERE CALIFORNIA FRAMING OCCURS PROVIDE MIN. 22" x 30" ACCESS THROUGH EXISTING ROOF SHEATHING.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE SPACE FOR MAINTENANCE ACCESS TO ALL LIGHT FIXTURES AS PER MANUFACTURER'S RECOMMENDATIONS AND LOCAL CODES.

LEGEND

- DUPLEX OUTLET
- GFCI DUPLEX OUTLET
- OVERHEAD GFCI DUPLEX OUTLET
- FLOOR OUTLET
- WATERPROOF DUPLEX OUTLET
- 220V DUPLEX OUTLET
- SWITCHED DUPLEX OUTLET
- SWITCH
- 3-WAY SWITCH
- DIMMER SWITCH
- VACANCY SWITCH
- ELECTRICAL PANEL (200A UNO)
- SMOKE DETECTOR
- CO DETECTOR
- CO/SD COMBO DETECTOR
- FAN / LIGHT COMBO
- RECESSED LIGHT
- PENDANT FIXTURE
- CEILING MOUNT FIXTURE
- WALL MOUNTED FIXTURE
- UNDERCOUNTER LIGHT
- VANITY FIXTURE
- CEILING FAN & LIGHT FIXTURE

145 MILL STREET

145 MILL STREET
GRASS VALLEY, CA 95945
APN: 008-372-012

ID	NAME	DATE

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**REFLECTED
CEILING PLAN -
LEVEL 2**

A1.9

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145 MILL STREET VIEW



GENERAL NOTES

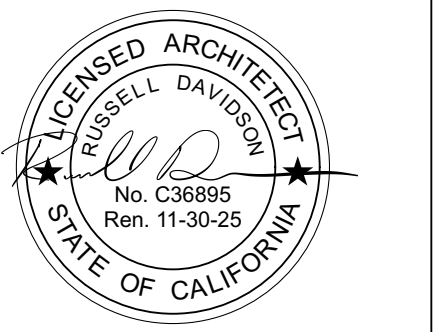
- 1. REFER TO SHEET A6.0 FOR WINDOW & DOOR SCHEDULES.
- 2. INSTALL ALL FINISHES PER MANUFACTURER SPECIFICATIONS

FINISH KEYNOTES

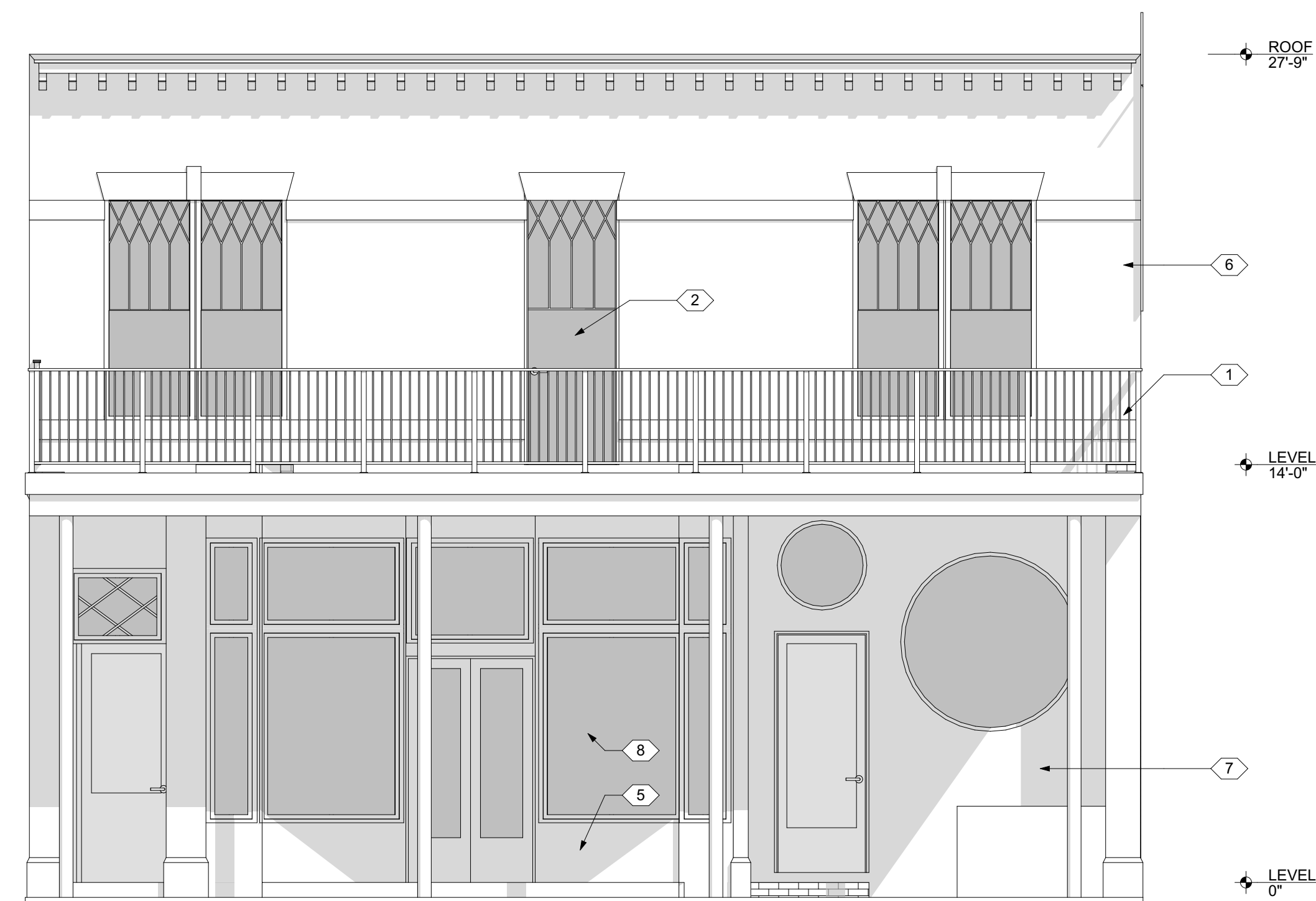
- F1 ROOF MANUFACTURE: GAF ASPHALT SHINGLES, MATCH (E)
TYPE: ASPHALT SHINGLES, MATCH (E)
PRODUCT: MATCH (E)
FINISH: MATCH (E)
- F2 WALL - TYPICAL MANUFACTURE: TAYLOR METALS CORRUGATED METAL SHEET
TYPE: CORRUGATED METAL SHEET
PRODUCT: BONDERIZED
FINISH: NA
COLOR: NA
- F3 GUTTER AND DOWNSPOUT MANUFACTURE: TBD
PROFILE: *O/G* STYLE, MATCH (E)
SIZE: MATCH (E)
COLOR: MATCH (E)

KEYNOTES

- 1. (E) STEEL GUARDRAIL REPURPOSED TO MEET CODE REQ.
- 2. (N) DOOR IN (E) WINDOW OPENING, DOOR PROFILE TO MATCH (E) WINDOW PROFILE
- 3. (E) CONC. RETAINING WALL
- 4. (E) AIR CONDITIONING COMPRESSOR
- 5. (E) TILE FACADE
- 6. (E) BRICK FACADE
- 7. (E) STUCCO FACADE
- 8. ALL (E) STOREFRONT TO REMAIN, U.O.N.
- 9. (N) WOOD POST, S.S.D.
- 10. (N) WOOD FRAMED DECK, S.S.D.
- 11. (N) WOOD PRIVACY FENCE
- 12. (N) WINDOW IN (E) OPENING
- 13. (N) DOOR IN (E) WINDOW OPENING, MODIFY SILL HEIGHT
- 14. (E) ELECTRICAL PANEL
- 15. REMOVE (E) CORRUGATED METAL CLADDING
- 16. REMOVE (E) DOOR & LOWER SILL
- 17. (N) 42" STEEL GUARDRAIL, PTD



4 WEST ELEVATION (MILL ST.) - EXISTING
SCALE: 1/4" = 1'-0"



1 WEST ELEVATION (MILL ST.) - PROPOSED
SCALE: 1/4" = 1'-0"

145 MILL STREET

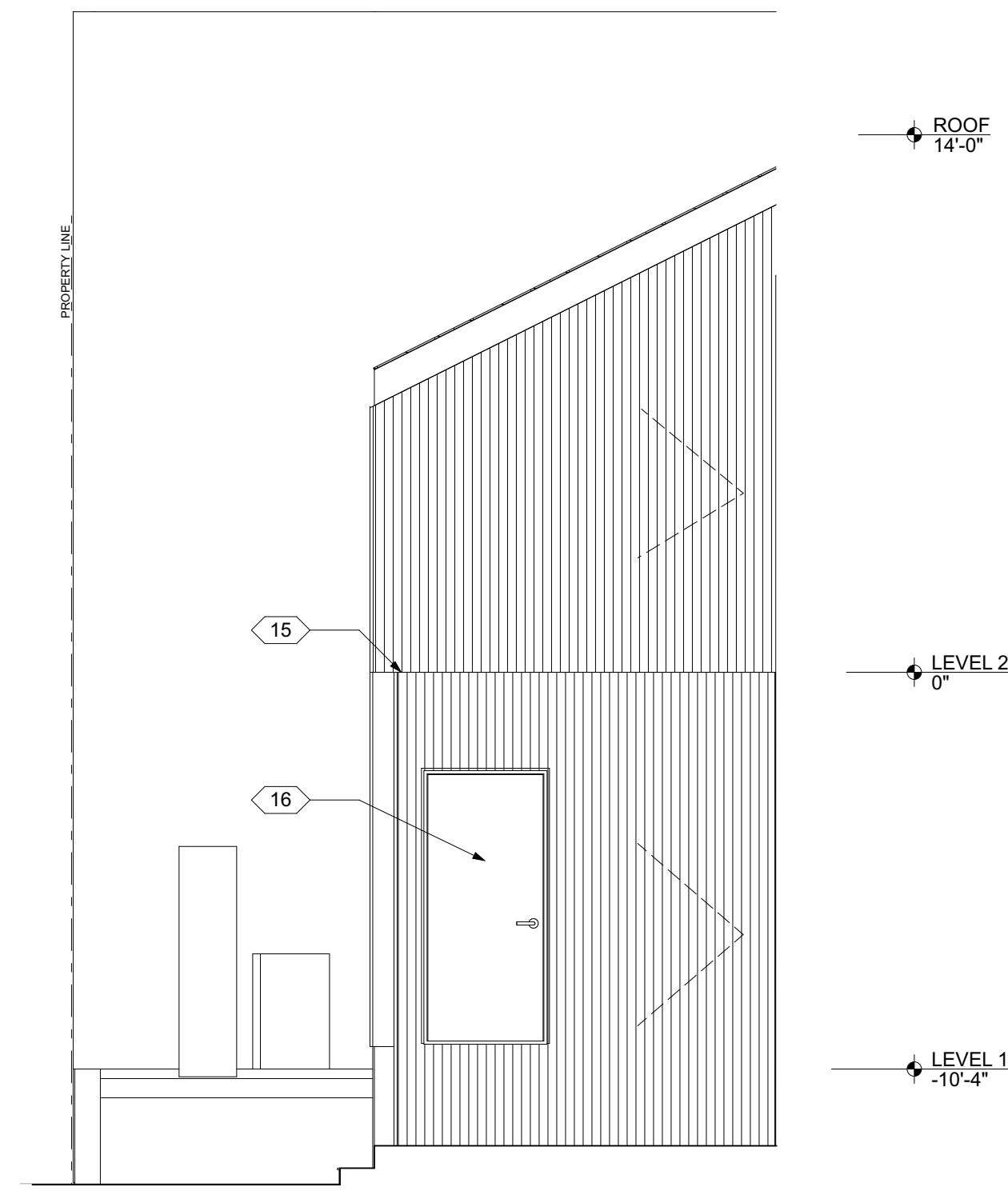
145 MILL STREET
GRASS VALLEY, CA 95945
APN: 008-372-012

ID	NAME	DATE
SUBMITTED:	03.01.2024	
SCALE:	AS NOTED	
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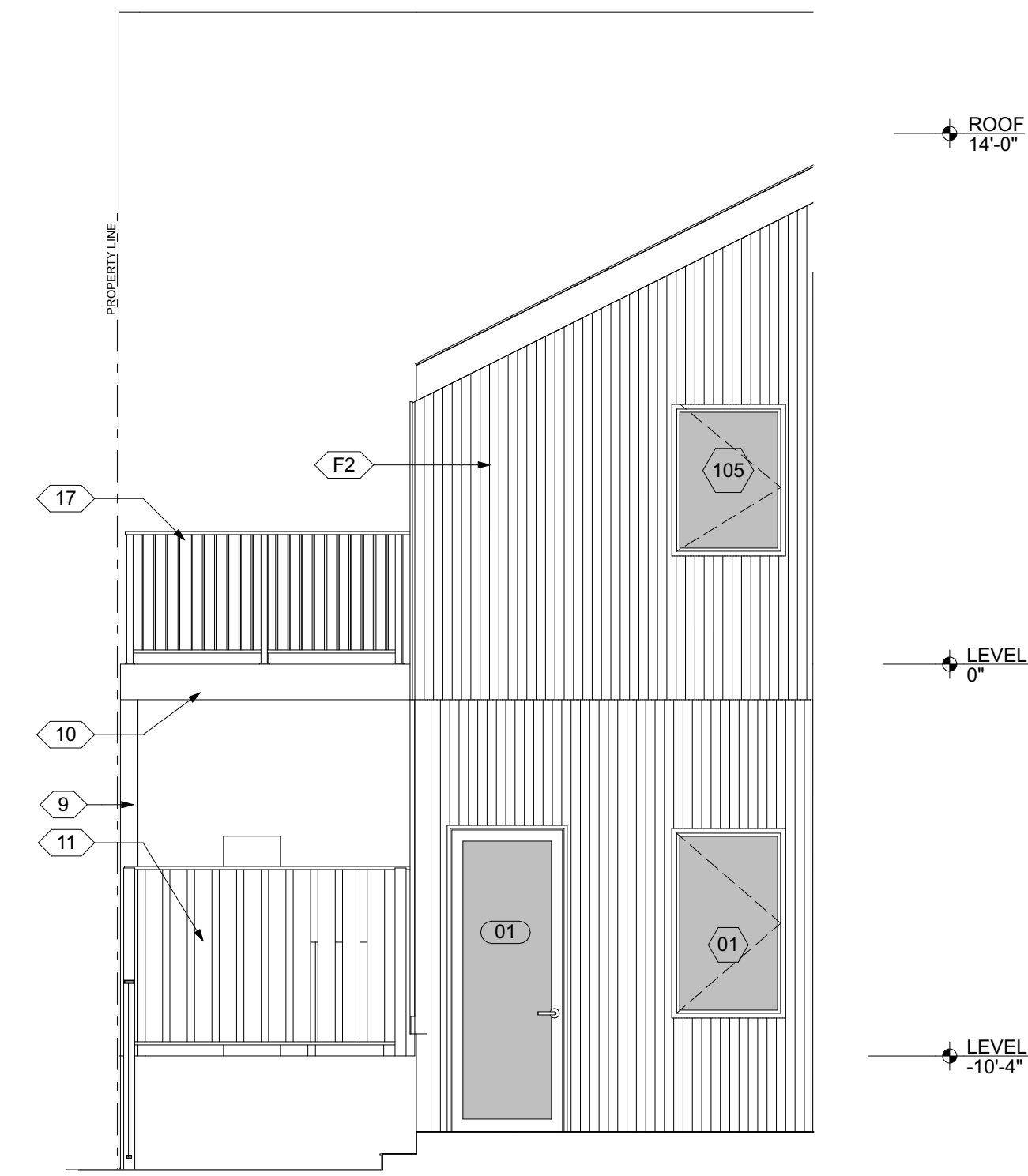
BUILDING ELEVATIONS



145 MILL STREET VIEW - REAR OF BUILDING



4 NORTH ELEVATION (REAR) - EXISTING
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION (REAR) - PROPOSED
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. REFER TO SHEET A6.0 FOR WINDOW & DOOR SCHEDULES.
2. INSTALL ALL FINISHES PER MANUFACTURER SPECIFICATIONS

FINISH KEYNOTES

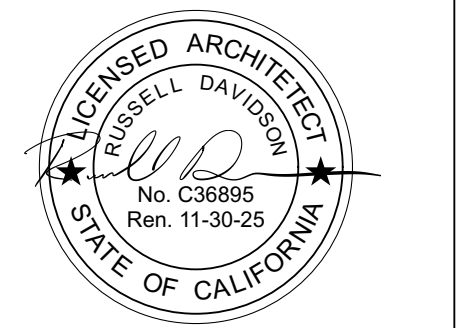
- F1** ROOF MANUFACTURE: GAF ASPHALT SHINGLES, MATCH (E)
TYPE: MATCH (E)
PRODUCT: MATCH (E)
FINISH: MATCH (E)
- F2** WALL - TYPICAL MANUFACTURE: TAYLOR METALS CORRUGATED METAL SHEET
TYPE: CORRUGATED METAL SHEET
PRODUCT: BONDERIZED
FINISH: NA
COLOR: NA
- F3** GUTTER AND DOWNSPOUT MANUFACTURE: TBD
PROFILE: *O/G* STYLE, MATCH (E)
SIZE: MATCH (E)
COLOR: MATCH (E)

PRIMARY CLADDING
BONDERIZED CORRUGATED METAL

ACCENT COLOR
FASCIA
WINDOW & DOOR TRIM
DECK POSTS & EDGE BOARDS
METAL RAILING
KENDALL CHARCOAL HC-166

KEYNOTES

1. (E) STEEL GUARDRAIL REPURPOSED TO MEET CODE REQ.
2. (N) DOOR IN (E) WINDOW OPENING, DOOR PROFILE TO MATCH (E) WINDOW PROFILE
3. (E) CONC. RETAINING WALL
4. (E) AIR CONDITIONING COMPRESSOR
5. (E) TILE FACADE
6. (E) BRICK FACADE
7. (E) STUCCO FACADE
8. ALL (E) STOREFRONT TO REMAIN, U.O.N.
9. (N) WOOD POST, S.S.D.
10. (N) WOOD FRAMED DECK, S.S.D.
11. (N) WOOD PRIVACY FENCE
12. (N) WINDOW IN (E) OPENING
13. (N) DOOR IN (E) WINDOW OPENING, MODIFY SILL HEIGHT
14. (E) ELECTRICAL PANEL
15. REMOVE (E) CORRUGATED METAL CLADDING
16. REMOVE (E) DOOR & LOWER SILL
17. (N) 4" STEEL GUARDRAIL, PTD



145 MILL STREET

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BUILDING ELEVATIONS



2 EAST ELEVATION (REAR) - EXISTING
SCALE: 1/4" = 1'-0"

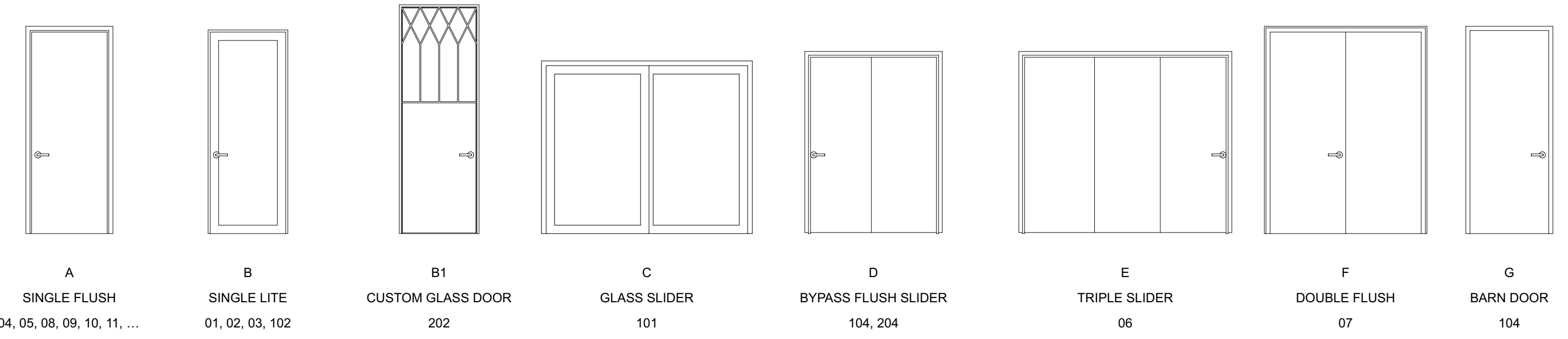


1 EAST ELEVATION (REAR) - PROPOSED
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE - BASEMENT												
DOOR #	LOCATION	TYPE	EXPOSURE	W	H	TH	MFG	MATERIAL	FINISH	HARDWARE	CLOSURE	FIRE RATING
01	LOBBY	B	INT	1	2	0						UNRATED
02	PATIO	B	INT	1	2	0						UNRATED
03	ENTRY	B	INT	1	2	0						20 MIN.
04	ENTRY	A	INT	1	2	0						20 MIN.
05	BEDROOM	A	INT	1	2	0						UNRATED
06	CLOSET	E	EXT	2	2	0						UNRATED
07	OFFICE	F	INT	2	2	0						UNRATED
08	CLOSET	A	INT	1	2	0						UNRATED
09	BATHROOM	A	INT	1	2	0						UNRATED
10	PANTRY	A	INT	1	2	0						UNRATED

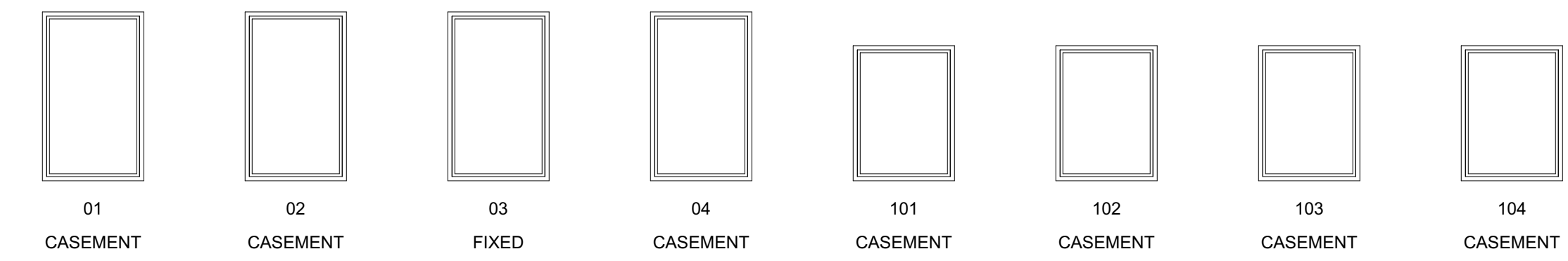
DOOR SCHEDULE - LEVEL 1												
DOOR #	LOCATION	TYPE	EXPOSURE	W	H	TH	MFG	MATERIAL	FINISH	HARDWARE	CLOSURE	FIRE RATING
101	BALCONY	C	INT	8'-0"	6'-8"	1-3/4"						UNRATED
102	BALCONY	B	INT	3'-0"	6'-8"	1-3/8"						UNRATED
104	CLOSET	D	EXT	5'-0"	7'-0"	1-5/8"						UNRATED
104	RESTROOM	G	INT	3'-0"	8'-0"	1-3/8"						UNRATED

DOOR SCHEDULE - LEVEL 2												
DOOR #	LOCATION	TYPE	EXPOSURE	W	H	TH	MFG	MATERIAL	FINISH	HARDWARE	CLOSURE	FIRE RATING
201	ENTRY	A	INT	1	2	0						20 MIN.
202	BALCONY	B1	INT	1	3	0						UNRATED
203	WD	A	INT	1	2	0						UNRATED
204	CLOSET	D	EXT	2	2	0						UNRATED
205	BATHROOM	A	INT	1	2	0						UNRATED
206	OFFICE	A	INT	1	2	0						UNRATED
207	RESTROOM	A	INT	1	2	0						UNRATED
208	OFFICE	A	INT	1	2	0						UNRATED



2 DOOR TYPES
SCALE: 1" = 1'-0"

WINDOW SCHEDULE						
ID	TYPE	W	H	MFG	FRAME MATL	REMARKS
01	CASEMENT	3'-0"	5'-0"		ALUM.	
02	CASEMENT	3'-0"	5'-0"		ALUM.	
03	FIXED	3'-0"	5'-0"		ALUM.	
04	CASEMENT	3'-0"	5'-0"		ALUM.	
101	CASEMENT	3'-0"	4'-0"		ALUM.	
102	CASEMENT	3'-0"	4'-0"		ALUM.	
103	CASEMENT	3'-0"	4'-0"		ALUM.	
104	CASEMENT	3'-0"	4'-0"		ALUM.	



1 WINDOW TYPES
SCALE: 1" = 1'-0"

DOOR NOTES

- ALL GLASS IN DOORS SHALL BE TEMPERED. TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED AND VISIBLE WHEN THE UNIT IS GLAZED.
- ALL GLAZING WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE "U" VALUE.
- REFER TO FLOOR PLANS FOR DIRECTION OF DOOR SWING.
- DOORS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 116 E.E.S.
- VENTILATION SHALL COMPLY WITH C.B.C. 1203.4 AND R303.
- ALL EXTERIOR WINDOW AND EXTERIOR DOOR ASSEMBLIES TO HAVE AN STC RATING OF 36 OR GREATER.
- DOORS MAY OPEN TO THE EXTERIOR ONLY IF THE FLOOR OR LANDING IS NOT MORE THAN 11/2 INCH LOWER THAN THE DOOR THRESHOLD. SECTION R311.3.1 CRC
- GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE.

WINDOW NOTES

- SEE EXTERIOR ELEVATION FOR DIRECTION OF OPERATION OF WINDOWS (ALL OPERABLE WINDOWS TO HAVE SCREENS).
- ALL WINDOW DIMENSIONS PERTAIN TO ROUGH OPENINGS (R.O.), CONTRACTOR TO FIELD VERIFY ACTUAL DIMENSIONS FOR WINDOWS.
- ALL GLAZING WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE NFRC LABEL.
- ALL GLAZING SHALL BE SPECTRALLY SELECTIVE LOW E COATED TO MEET TITLE 24 ENERGY REQUIREMENTS.
- WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 116 E.E.S.D
- VENTILATION SHALL COMPLY WITH C.B.C. 1203.4 AND R303
- EVERY SLEEPING ROOM SHALL HAVE ONE OPERABLE WINDOW FOR EMERGENCY ESCAPE OR RESCUE WITH A MIN. NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. MIN. NET CLEAR OPENABLE HEIGHT OF 24" MIN., NET CLEAR WIDTH OF 20" AND A FIN. SILL HEIGHT OF NOT MORE THAN 44" A.F.F. PER CRC SECTION 3101
- ALL EXTERIOR WINDOW AND EXTERIOR DOOR ASSEMBLIES TO HAVE AN STC RATING OF 30 OR GREATER.
- TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED AND VISIBLE WHEN THE UNIT IS GLAZED.
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL VENTILATION AND NATURAL LIGHT BY MEANS OF VENTILATION / ARTIFICIAL LIGHT. CBC SECTIONS 1203.4 AND 1205.1 AND R303
 - A) THE MINIMUM NET GLAZED AREA FOR NATURAL LIGHT SHALL NOT BE LESS THAN 8% OF THE FLOOR AREA OF THE ROOM SERVED. CBC SECTION 1205.2
 - B) THE MINIMUM OPENABLE AREA TO THE OUTDOORS FOR NATURAL VENTILATION SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED. SECTION 1203.4
- EXTERIOR WINDOWS AND EXTERIOR GLAZED DOOR ASSEMBLIES SHALL BE CONSTRUCTED OF MULTIPANE GLAZING WITH ONE TEMPERED PANE. HAVE A FIRE RESISTANCE RATINGS OF 20 MINUTES OR MEET THE REQUIREMENTS OF SFM 12-7A-2.

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DOOR & WINDOW SCHEDULES

A6.0

