

ABBREVIATIONS:

AB. ANCHOR BOLT	JAN. JANITOR
AB. AGGREGATE BASE	JT. JOINT
ABV. ABOVE	LAM. LAMINATE
ACoust. ACOUSTICAL	LAV. LAVATORY
AD. AREA DRAIN	LBS. POUNDS
ADJ. ADJUSTABLE	LVR. LOUVER
AHL. AUTHORITY HAVING JURISDICTION	MACH. MACHINE
ALUM. ALUMINUM	MATL. MATERIAL
ALT. ALTERNATE	MAX. MAXIMUM
APPROX. APPROXIMATE	M.B. MACHINE BOLT
ARCH. ARCHITECT (URAL)	M.C. MEDICINE CABINET
BITUM. BITUMINOUS	MECH. MECHANICAL
BLDG. BUILDING	MFR. MANUFACTURER
BLK. BLOCK	MIN. MINIMUM
BLKG. BLOCKING	MIR. MIRROR
BM. BEAM	MISC. MISCELLANEOUS
BTM. BOTTOM	M.O. MASONRY OPENING
BD. BOARD	MTD. MOUNTED
BUR. BUILT-UP ROOF	MTL. METAL
CAB. CABINET	(N) NEW
CB. CATCH BASIN	N. NORTH
CEM. CEMENT	N.J.C. NOT IN CONTRACT
CER. CERAMIC	NO. OR # NUMBER
CFCL. CONTRACTOR FURNISHED CONTRACTOR INSTALLED	NOM. NOMINAL
CFCL. CONTRACTOR FURNISHED OWNER INSTALLED	N.T.S. NOT TO SCALE
CJ. CONSTRUCTION (CONTROL) JOINT	O.C. ON CENTER
CL. CENTER LINE	O.D. OUTSIDE DIAMETER (DIM.)
CLG. CEILING	OFF. OFFICE
CLT. CLEAR	O.F. OWNER FURNISHED
CMU. CONCRETE MASONRY UNIT	O.J. OWNER INSTALLED
COL. COLUMN	OPNG. OPENING
CONC. CONCRETE	OPP. OPPOSITE
CONN. CONNECTION	P.D.F. POWDER DRIVEN FASTENER
CONST. CONSTRUCTION	PERF. PERFORATED
CONT. CONTINUOUS	PNL. PANEL
CORR. CORRIDOR	PL. PLATE
CSK. COUNTERSUNK	PLAS. LAM. PLASTIC LAMINATE
CNTR. COUNTER	PLYWD. PLYWOOD
CTR. CENTER	PT. POINT
DBL. DOUBLE	P.T.D./R. PAPER TOWEL DISPENSER
DEPT. DEPARTMENT	TOWEL DISPENSER & RECEPTACLE
D.F. DRINKING FOUNTAIN	PART. PARTITION
DTL. DETAIL	P.T.R. PAPER TOWEL RECEPTACLE
DIA. DIAMETER	Q.T. QUARRY TILE
DIAG. DIAGONAL	R. RISER/RADIUS
DEM. DIMENSION	R.D. ROOF DRAIN
DISP. DISPENSER	REF. REFERENCE
DN. DOWN	REFR. REFRIGERATOR
DWR. DRAWER	REINF. REINFORCE (D.)
DS. DOWNSPOUT	(ING)
DEG. DRAWING	REQD. REQUIRED
EA. EACH	REQMTS. REQUIREMENTS
E.J. EXPANSION JOINT	RESIL. RESILIENT
EL. ELEVATION	R.O. ROUGH OPENING
ELEC. ELECTRICAL	RWD. REDWOOD
ELEV. ELEVATOR	R.W.L. RAIN WATER LEADER
ENCL. ENCLOSURE	S.O. SOLED CORE
ELEC. PNL. ELECTRICAL PANEL	S.C.D. DEAR COVER
E.Q. EQUAL	DISPENSER
EQUIP. EQUIPMENT	SCHED. SCHEDULE
E.W.C. ELECTRIC WATER COOLER	S.A. SOAP DISPENSER
EXIST. (E) EXISTING	SECT. SECTION
EXP. EXPANSION	SH. SHELF
EXT. EXTERIOR	SHWR. SHOWER
F.A. FIRE ALARM	SHT. SHEET
F.D. FLOOR DRAIN	SIM. SIMILAR
FDN. FOUNDATION	S.N.D. SANITARY NAPKIN DISPENSER
F.E. FIRE EXTINGUISHER	S.N.R. SANITARY NAPKIN RECEPTACLE
F.E.C. FIRE EXTINGUISHER CABINET	SPEC. SPECIFICATION
F.F. FINISH FLOOR	SQ. SQUARE
F.H.C. FIRE HOSE CABINET	ST. STL. STAINLESS STEEL
F.H.W.S. FLAT HEAD WOOD SCREW	STL. STEEL
FIN. FINISH	STOR. STORAGE
FLASH. FLASHING	STRUCT. OR STR.
FLR. FLOOR	SUSP. SUSPEND (ED)
FLOUR. FLUORESCENT	T. TREAD
F.O.C. FACE OF CONCRETE	T.D. TRENCH DRAIN
F.O.F. FACE OF FINISH	TEL. TELEPHONE
F.O.S. FACE OF STUD	TEMP. TEMPERED
FR. FRAME	T. & G. TONGUE AND GROOVE
F.T. FIRE-RETARDANT TREATED	THK. THICKNESS
FT. FOOT OR FEET	T.O.B. TOP OF BEAM
FURR. FURRING	T.O.C. TOP OF CURB
GA. GAUGE	T.O.S. TOP OF SLAB
GALV. GALVANIZED	T.O.P. TOP OF PAVEMENT
G.I. GALVANIZED IRON	T.O.W. TOP OF WALL
GL. GLASS	T.P.D. TOILET PAPER DISPENSER
GND. GROUND	TRANS. TRANSFORMER
GW.B. GYPSUM WALLBOARD	T.S.B. TOP SET BASE
GYP. GYPSUM	T.V. TELEVISION
GYP. BD. GYPSUM BOARD	TYP. TYPICAL
H.B. HOSE BIBB	U.N.O. UNLESS NOTED
H.C. HOLLOW CORE	OTHERWISE
HOWD. HARDWOOD	UR. URINAL
H.M. HOLLOW METAL	U/S UNDERSIDE
HORIZ. HORIZONTAL	V.C.T. VINYL COMPOSITION TILE
HLR. HOUR	VERT. VERTICAL
HT. HEIGHT	VEST. VESTIBULE
I.D. INSIDE DIAMETER (DIM.)	W/ WITH
INSUL. INSULATION	W.C. WATER CLOSET
INT. INTERIOR	WD. WOOD

GENERAL NOTES:

CONTRACTOR RESPONSIBILITIES

1. THE CONTRACTOR SHALL EXAMINE THE DRAWINGS AND SPECIFICATIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES HE MAY FIND BEFORE PROCEEDING WITH THE WORK.
2. THE CONTRACTOR SHALL VERIFY CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
3. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT PRIOR TO ANY EXCAVATING.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BELOW GRADE AND RELATED SERVICE CONNECTIONS WITH UNDERGROUND SERVICE ALERT (USA), UTILITY PROVIDERS AND COUNTY.
5. THE CONTRACTOR SHALL COORDINATE REMOVAL, ABANDONMENT AND/OR RELOCATION OF EXISTING UTILITIES ABOVE OR BELOW GRAND WITH THE RESPECTIVE UTILITY PROVIDER AND FACILITY OWNER.
6. THE CONTRACTOR SHALL PERFORM ALL WORK WITHIN STREET TIGHT-OF-WAYS ACCORDING TO THE APPROVED CITY STANDARD PLANS AND SPECIFICATIONS.
7. THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACES, SHORES, AND GUYS REQUIRED TO SUPPORT ALL LOADS TO WHICH THE BUILDING STRUCTURES AND COMPONENTS, ADJACENT SOILS, AND STRUCTURES, UTILITIES, AND RIGHT -OF-WAYS MAY BE SUBJECT TO DURING CONSTRUCTION.
8. FLOOR AND WALL OPENINGS, SLEEVES, VARIATIONS IN THE STRUCTURAL SLAB ELEVATIONS, DEPRESSED AREAS, AND ALL OTHER ARCHITECTURAL, MECHANICAL, CONTRACTOR PROCEEDS WITH CONSTRUCTION.

CONSTRUCTION DOCUMENTS

1. ALL DRAWINGS, ISSUED SEPARATELY AS CONSTRUCTION PACKAGES INCLUDING ALL DETAILS, SPECIFICATIONS, AND SCHEDULES, BOUND SEPARATELY, ARE PART OF THE CONTRACT DRAWINGS.
2. ITEMS MARKED "N.I.C." ARE NOT IN CONTRACT. SUCH ITEMS ARE INCLUDING IN THE DOCUMENTS WHEN CONTRACTORS COORDINATION FOR CONSTRUCTION IS REQUIRED.
3. DIMENSIONS: A) IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON DRAWING. B) ALL DIMENSIONS TO OPENINGS ARE TO THE FINISHED FACE UNLESS NOTED OTHERWISE. C) ALL DIMENSIONS TO STUD PARTITIONS ARE TO THE FACE OF FINISH UNLESS NOTED F.O.S. (FACE OF STUD). D) CEILING HEIGHT DIMENSIONS ARE FROM FINISH FLOOR TO FINISH FACE OF CEILING. E) ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH THE WORK.
4. DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE.
5. WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING, OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THE PROJECT.
6. PROVIDE AND INSTALL U.L. APPROVED FIRE STOPPING AND WRAPS AT ALL PENETRATIONS PER CHAPTER 7 OF THE CALIFORNIA BUILDING CODE AND THE CA FIRE CODE. SEE DRAWINGS FOR TYPICAL DETAILS.
7. DOOR SIZES INDICATED ON DOOR SCHEDULE ARE DOOR DIMENSIONS. ALLOWANCES FOR THRUSH HOLDS SHALL BE TAKEN OFF DOOR HEIGHT.
8. REGARDLESS OF OCCUPANT LOAD, THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF THE DOOR. THE FLOOR LANDING SHALL NOT BE MORE THAN $\frac{1}{2}$ " LOWER THAN THE THRUSH HOLD OF THE DOORWAY.
9. THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOOR LOUVERS AND WINDOW OPENINGS SHALL BE DETERMINED FROM ARCHITECTURAL PLANS AND DETAILS. OTHER WALL AND FLOOR OPENINGS AS REQUIRED BY MECHANICAL, ELECTRICAL, OR SIMILAR REQUIREMENTS SHALL BE VERIFIED FROM SHOP DRAWINGS, EQUIPMENT DATA, ETC. AS REQUIRED.
10. DOOR OPENINGS NOT LOCATED BY DIMENSIONS SHALL BE CENTERED IN WALLS AS SHOWN OR LOCATED 5' FROM FINISH WALL TO FINISH JAMB UNLESS OTHERWISE NOTED.
11. SEE ARCHITECTURAL CEILING PLANS FOR DIMENSIONS LOCATED LIGHT FIXTURES, DIFFUSERS, AND SPEAKERS. ARCHITECTURAL REFLECTED CEILING PLANS DO NOT INDICATE WALL MOUNTED FIXTURES. REFER TO ELECTRICAL DRAWINGS FOR ALL LIGHTING FIXTURE - RECESSED, SURFACE, OR WALL MOUNTED.
12. CEILING SUSPENSION SYSTEM SHALL PROVIDE FOR CEILING SYSTEM ONLY. ADDITIONAL INDEPENDENT FRAMING FOR LIGHTING FIXTURE, EXIT SIGNS, GRILLES, AIRBARS, AND AIR CONDITIONING DIFFUSERS SHALL BE REQUIRED. ATTACHMENT OF HANGERS OR FRAMING TO DUCTWORK IS PROHIBITED.
13. WHERE LARGER STUDS OR FURRING ARE REQUIRED TO COVER DUCTS, PIPING, CONDUITS, ETC., THE LARGER STUD SIZE OR FURRING TO EXTEND FULL WIDTH OF WALL SURFACE WHERE FURRING OCCURS.
14. PROVIDE ADEQUATE ANCHORAGE, BLOCKING, BACKING, AND FRAMING FOR FIRE SPRINKLERS, PIPING, LIGHT FIXTURES, ELECTRICAL UNITS, HVAC EQUIPMENT, DRAPERY, AND CEILING TRACKS AS REQUIRED FOR A COMPLETE INSTALLATION.
15. ALL CABINETS RECESSED INTO CORRIDOR WALLS SHALL BE BACKED WITH ONE HOUR OR TWO HOURS FIRE RESISTIVE CONSTRUCTION AS REQUIRED. ELECTRICAL PANELS AND/OR WIRING SYSTEMS SHALL NOT BE LOCATED IN CORRIDOR OR SHAFT WALLS.
16. ALL STEEL STUD SIZES AND SPACING IN GYPSUM BOARD WALLS SHALL BE IN ACCORDANCE WITH UNDERWRITER LABORATORIES, INC. FOR RATED ASSEMBLIES. SUBMIT DATA FOR APPROVAL.
17. ALL SINGLE LAYER GYPSUM BOARD WALLS CONTINUOUS AND CONTIGUOUS WITH DOUBLE LAYER GYPSUM BOARD SHALL MAINTAIN ONE CONTINUOUS OUTER LAYER OF GYPSUM BOARD AT THE SAME FACE OF FINISH. METAL STUDS AND FURRING CHANNELS SHALL BE OFFSET ACCORDINGLY.
18. WALL AND COLUMN GYPSUM BOARD FACING ON OTHER THAN FIRE AND SOUND RATED WALLS SHALL EXTEND 6" MINIMUM ABLE CEILING HEIGHT.
19. GYPSUM BOARD ON INTERIOR METAL STUDS SHALL BE $\frac{5}{8}$ " THICK UNLESS NOTED OTHERWISE.

MECHANICAL AND PLUMBING

1. CEILING ACCESS PANELS SHALL BE PROVIDED BY THE MECHANICAL FIRE SPRINKLER AND PLUMBING CONTRACTORS AND LOCATED BELOW ALL VALVES, DUCTWORK, FIRE DAMPERS, ETC., AND AS REQUIRED OR AS DIRECTED BY THE ARCHITECT.
2. FIRE SPRINKLERS SHALL BE REVIEWED AND APPROVED BY THE FIRE MARSHALL AND DESIGN TEAM PRIOR TO INSTALLATION.
3. PIPE SLEEVES IN MECHANICAL EQUIPMENT ROOMS SHALL EXTEND 2" ABOVE THE FLOOR LINE. ELECTROLYSIS PROTECTION SHALL BE PROVIDED BETWEEN ALL DISSIMILAR METALS WHEREVER THE TWO ARE IN CONTACT.

TYPICAL NOTES

1. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND/OR ORIENTATIONS ON PLAN AND/OR ELEVATIONS.
2. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF ARCHITECT IN WRITING.
3. UNDERCUT ALL DOORS TO CLEAR TOP OF CARPET $\frac{1}{4}$ " MAXIMUM.

CONTINUALLY OF ABBREVIATION:

WDW. WINDOW	YD. YARD
W/O. WITHOUT	& AND
W.P. WATERPROOF	@. AT
WNSCT. WAINSCOT	¢. CENTERLINE
WT. WEIGHT	Ø. DIAMETER OR ROUND
W.W.F. WELDED WIRE FABRIC	#. ROUND OR NUMBER
W/R. WATER RESISTANT	*. SQUARE FOOT (FEET)

SYMBOLS:



OTHER

99.9999



A1.01



A1.01



A1.01



A1.01



A1.01



USE

MATERIALS:



EARTH



ROCK FILL



SAND/ MORTAR/ PLASTER



CONCRETE COST-IN-PLACE



WOOD FRAMING THROUGH MEMBERS



WOOD FRAMING INTERRUPTED MEMBERS



WOOD, FINISH



PLYWOOD



GLASS



ACOUSTICAL TILE OR BOARD



GYPSUM BOARD



INSULATION, BATT

PARKING:

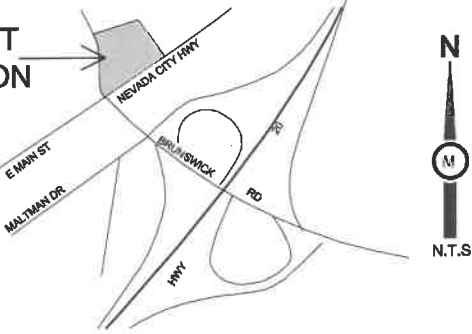
ACCESSIBLE STALLS REQUIRED -2
STANDARD STALLS -8
EV. PARKING -2
DETAIL GARAGE PARKING- 2 SPACES
EXPRESS CAR-WASH VACUUM STATION
PARKING - 8 SPACES
MPD, PARKING -12
DRIVE THRU RESTAURANT PARKING 8
TOTAL PARKING -40 STALLS

DRIVE THRU RESTAURANT STALL PARKING-- 8

C-STORE BUILDING AREA 3200/250 SF
REQUIRED PARKING 12 STALL
EXPRESS CARWASH AREA 2,400 SF
4 SPACE FOR EACH SERVICE
1 SPACE FOR OFFICE
DRIVE TRUE RESTAURANTS 1,740 SF

CITY OF GRASS VALLEY

PROJECT LOCATION



SHEET INDEX:

SHEET NUMBER	SHEET TITLE
T-1.0	TITLE AND CODE SHEET

GENERAL:	GENERAL INFORMATION
G-1.0	GENERAL INFORMATION

CIVIL:	TOPOGRAPHIC SURVEY
1 OF 1	EXISTING SITE PLAN
C-1.0	NEIGHBORHOOD SITE PLAN
C-1.1	EROSION PLAN
C-1.2	ACCESSIBLE PARKING PLAN
C-2.0	NEW PROPOSED SITE PLAN
C-2.1	ADA COMPLIANCE RESTROOM
C-3.0	ADA INFORMATIONAL NOTES
C-4.0	LANDSCAPE PLAN
L-1.0	

ARCHITECTURAL:

A-1.0	C-STORE FLOOR PLAN AND ELEVATIONS ,ROOF PLAN AND DRIVE TRUE RESTAURANT
A-2.0	EXPR.CARWASH BUILDING PLAN,ELEVATIONS & ROOF PLAN
A-3.0	DETAILING GARAGE PLAN ,ROOF PLAN & ELEVATIONS
A-4.0	GAS STATION PLAN & ELEVATIONS
A-5.0	TRASH INCLOSURE
A-6.0	COLOR ELEVATION

ELECTRICAL:

CE-1.0	OUTSIDE LIGHTING SITE PLAN
--------	----------------------------

MECHANICAL:

NOT USED

PLUMBING:

NOT USEFD

APPLICABLE CODES:

- 2021 CALIFORNIA BUILDING CODE
- 2021 CALIFORNIA MECHANICAL CODE
- 2021 CALIFORNIA ELECTRICAL CODE
- 2021 CALIFORNIA PLUMBING CODE
- 2021 CALIFORNIA FIRE CODE
- 2021 CALIFORNIA ENERGY CODE
- 2021 CALIFORNIA GREEN BUILDING STANDARDS
- 2020-0029 ORDINANCE NO. 2020-0029
- 2018 NFPA 10 STANDARDS FOR PORTABLE FIRE EXTINGUISHER
- 2016 NFPA 13 STANDARD FOR INSTALLATION OF FIRE SPRINKLERS
- 2016 EDITION NFPA 24 INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES

AUTHORITIES HAVING JURISDICTION:

CITY OF GRASS VALLEY

PROJECT TEAM:

OWNER:1
Sv Grass Valley LLC.
2649 GIOMO WAY
LOT SQ FT 18731
OWNER: 2
Dn & B Inc
1912 Nevada City Hwy, Grass Valley, CA
95945-9395, Nevada County

APPLICANT/ENGINEER:

BOULEVARD CONSTRUCTION INC.
4080 Truxel Road
Sacramento, CA 95834
Phone: 916-529-3982
pm@theboulevard.us

PROJECT INFORMATION:

APN: 035-300-007-000
035-300-050-000
ZONING: X

SUMMARY:

DEMOLITION OF EXISTING C-STORE, CAR SERVICE STATION AND EXTENSION OF MPD# FROM THREE TO SIX MPD#, EXTENSION OF CANOPY UP TO 2912 SF , EXTENSION OF C-STORE BUILDING UP TO 4266 SF , CONSTRUCTION OF NEW AUTO EXPRESS CAR WASH WITH 100FT TUNNEL ,NEW QSR.

PROJECT AREA:

EXISTING BUILDING AREA (SF):	= 2,086 SF
C-STORE BUILDING AREA	=3200 SF
DRIVE TRUE RESTAURANTS	= 1740 SF
EXPRESS CARWASH AREA	= 2400 SF
DETAILING SHOP BUILDING	= 543 SF
VACUUM PARKING CANOPY	=2875 SF
1- LOT AREA (SF):	= 18,731 SF
2- LOT AREA (SF):	= 37462 SF
TOTAL LOT AREA	=56199 SF

OCCUPANCY GROUP: M-B
CONSTRUCTION TYPE: Type -V
SPRINKLER EXIST YES
NUMBER OF STORIES: 1 AND 2



PROJECT MANAGER:
Zaman Hamim
4080 Truxel Road
Sacramento, Ca. 95834
(916) 529-3982
zaman_hamim@yahoo.com

ARCHITECT OF RECORD:

BOULEVARD Construction

4080 TRUXEL ROAD
SACRAMENTO, CA 95834
PHONE: (916) 892-9949
FAX: (916) 283-7501

pm@theboulevard.us
www.boulevard.ca.com

PROJECT:
PROPOSED GAS STATION /
EXPRESS CARWASH CENTER
1912 NEVADA CITY HWY
GRASS VALLEY, CA 95945

REVISIONS:	DATE:	DESCRIPTION	REVISION
	01/1/22		

CURRENT ISSUE DATE:
12/14/22

ISSUED FOR :

PERMIT REVIEW

JOB #

DRAWN BY: BOULEVARD

CHECKED:

APPROVED:

SHEET TITLE

TITLE AND CODE SHEET

SHEET #

T-1.0

CITY OF GRASS VALLEY
DEPARTMENT OF UTILITIES
STANDARD EROSION AND SEDIMENT
CONTROL NOTES

1. THE CONTRACTOR SHALL FOLLOW THE GUIDELINES FOR THE CITY OF SACRAMENTO'S "ADMINISTRATIVE AND TECHNICAL PROCEDURES MANUAL FOR GRADING AND EROSION AND SEDIMENT CONTROL" FOR THE MEASURES SHOWN OR STATED ON THESE PLANS.
2. CONTRACTOR MUST ENSURE THAT THE CONSTRUCTION SITE IS PREPARED PRIOR TO THE ONSET OF ANY STORM. CONTRACTOR SHALL HAVE ALL EROSION AND SEDIMENT CONTROL MEASURES IN PLACE FOR THE WINTER MONTHS PRIOR TO OCTOBER 1.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF A REPRESENTATIVE OF THE DEPARTMENT OF UTILITIES.
4. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD SUBJECT TO THE APPROVAL OF OR AT THE DIRECTION OF A REPRESENTATIVE OF THE DEPARTMENT OF UTILITIES.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED BEFORE AND AFTER ALL STORMS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
6. CONTRACTOR SHALL MAINTAIN A LOG AT THE SITE OF ALL INSPECTIONS OR MAINTENANCE OF BMPs, AS WELL AS, ANY CORRECTIVE CHANGES TO THE BMPs OR EROSION AND SEDIMENT CONTROL PLAN.
7. IN AREAS WHERE SOIL IS EXPOSED, PROMPT REPLANTING WITH NATIVE COMPATIBLE, DROUGHT-RESISTANT VEGETATION SHALL BE PERFORMED. NO AREAS WILL BE LEFT EXPOSED OVER THE WINTER SEASON.
8. THE CONTRACTOR SHALL INSTALL THE STABILIZED CONSTRUCTION ENTRANCE PRIOR TO COMMENCEMENT OF GRADING. LOCATION OF THE ENTRANCE MAY BE ADJUSTED BY THE CONTRACTOR TO FACILITATE GRADING OPERATIONS. ALL CONSTRUCTION TRAFFIC ENTERING THE PAVED ROAD MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE. THE STABILIZED CONSTRUCTION ENTRANCE SHALL REMAIN IN PLACE UNTIL THE ROAD BASE ROCK COURSE IS COMPLETED.
9. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY OR AS NECESSARY.
10. CONTRACTOR SHALL PLACE _____ AROUND ALL NEW DRAINAGE STRUCTURE OPENINGS IMMEDIATELY AFTER THE STRUCTURE OPENING IS CONSTRUCTED. THESE SHALL BE MAINTAINED AND REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED.
11. CONTRACTOR SHALL IMPLEMENT HOUSEKEEPING PRACTICES AS FOLLOWS:
 - A. SOLID WASTE MANAGEMENT:
PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS. ARRANGE FOR REGULAR REMOVAL AND DISPOSAL. CLEAR SITE OF TRASH INCLUDING ORGANIC DEBRIS, PACKAGING MATERIALS, SCRAP OR SURPLUS BUILDING MATERIALS AND DOMESTIC WASTE ONLY.
 - B. MATERIAL DELIVERY AND STORAGE:
PROVIDE A DESIGNATED MATERIAL STORAGE AREA WITH SECONDARY CONTAINMENT SUCH AS BERMING. STORE MATERIAL ON PALETTES AND PROVIDE COVERING FOR SOLUBLE MATERIALS. RELOCATE STORAGE AREA INTO BUILDING SHELL WHEN POSSIBLE. INSPECT AREA WEEKLY.
 - C. CONCRETE WASTE:
PROVIDE A DESIGNATED AREA FOR A TEMPORARY PIT TO BE USED FOR CONCRETE TRUCK WASH-OUT. DISPOSE OF HARDENED CONCRETE OFF-SITE. AT NO TIME SHALL A CONCRETE TRUCK DUMP ITS WASTE AND CLEAN ITS TRUCK INTO THE CITY STORM DRAINS VIA CURB AND GUTTER. INSPECT DAILY TO CONTROL RUNOFF, AND WEEKLY FOR REMOVAL OF HARDENED CONCRETE.
 - D. PAINT AND PAINTING SUPPLIES:
PROVIDE INSTRUCTION TO EMPLOYEES AND SUBCONTRACTORS REGARDING REDUCTION OF POLLUTANTS INCLUDING MATERIAL STORAGE, USE, AND CLEAN UP. INSPECT SITE WEEKLY FOR EVIDENCE OF IMPROPER DISPOSAL.
 - E. VEHICLE FUELING, MAINTENANCE AND CLEANING:
PROVIDE A DESIGNATED FUELING AREA WITH SECONDARY CONTAINMENT SUCH AS BERMING. DO NOT ALLOW MOBILE FUELING OF EQUIPMENT. PROVIDE EQUIPMENT WITH DRIP PANS. RESTRICT ON-SITE MAINTENANCE AND CLEANING OF EQUIPMENT TO A MINIMUM. INSPECT AREA WEEKLY.
 - F. HAZARDOUS WASTE MANAGEMENT:
PREVENT THE DISCHARGE OF POLLUTANTS FROM HAZARDOUS WASTES TO THE DRAINAGE SYSTEM THROUGH PROPER MATERIAL USE, WASTE DISPOSAL AND TRAINING OF EMPLOYEES. HAZARDOUS WASTE PRODUCTS COMMONLY FOUND ON-SITE INCLUDE BUT ARE NOT LIMITED TO PAINTS & SOLVENTS, PETROLEUM PRODUCTS, FERTILIZERS, HERBICIDES & PESTICIDES, SOIL STABILIZATION PRODUCTS, ASPHALT PRODUCTS AND CONCRETE CURING PRODUCTS.

Last updated: 09/23/21

GRADING NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS AND THE LATEST EDITION OF THE CITY OF SACRAMENTO STANDARD SPECIFICATIONS NOVEMBER 2020, WHICH IS AT CITY WEB-SITE: <http://www.cityofsacramento.org/utilities/soil-erosion-specs> AND DRAWINGS THE CONTRACTOR SHALL OBTAIN AND USE ALL APPLICABLE ADDENDUMS.
2. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH PHA STANDARDS.
3. ALL GRADING SHALL BE IN CONFORMANCE WITH THE CITY OF SACRAMENTO GRADING, EROSION AND SEDIMENT CONTROL ORDINANCE (ORD. NO. 95-068).
5. ALL GRADING SHALL COMPLY WITH THE RECOMMENDATIONS OF THE SOIL AND GEOLOGICAL INVESTIGATION PREPARED BY: _____
6. ALL APPLICABLE FEES TO BE PAID AND PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR BEFORE COMMENCEMENT OF CONSTRUCTION.
7. ALL SLOPE BANKS ARE 2:1 MAXIMUM UNLESS OTHERWISE NOTED.
8. MAXIMUM TOLERANCE FROM PAID ELEVATIONS SHALL BE +/- 0.2 FEET.
9. THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VERIFICATION AT THE CONSTRUCTION SITE OF THE LOCATIONS OF THEIR UNDERGROUND UTILITIES WHERE SUCH FACILITIES MAY POSSIBLY CONFLICT WITH THE PLACEMENT OF IMPROVEMENTS AS SHOWN ON THESE IMPROVEMENT PLANS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS PROJECT WILL BE REQUIRED TO NOTIFY MEMBERS OF UNDERGROUND SERVICE ALERT 48 HOURS IN ADVANCE OF PERFORMING WORK. BY CALLING THE TOLL FREE NUMBER 1-800-665-9444. EXCAVATIONS FOR THE PURPOSE OF THESE REQUIREMENTS SHALL BE DEFINED AS BEING 18" (1.5 FEET) OR MORE IN DEPTH.
10. ALL FILL WITHIN PAVED AREAS SHALL BE 95% COMPACTION. ALL OTHER FILL SHALL BE 90% COMPACTION. UNLESS OTHERWISE NOTED IN THE GEOTECHNICAL REPORT.
11. SOIL DENSITIES SHALL BE CERTIFIED BY THE GEOTECHNICAL ENGINEER. THE GEOTECHNICAL ENGINEER SHALL SUBMIT WRITTEN CERTIFICATION TO THE CONSULTING ENGINEER, THE OWNER AND THE CITY ENGINEER.
12. THE CONTRACTOR IS RESPONSIBLE FOR TEMPORARY EROSION CONTROL. SHOULD THE PROJECT BE UNDER CONSTRUCTION BETWEEN OCTOBER 1 AND APRIL 15, TEMPORARY EROSION CONTROL SHALL CONSIST OF, BUT NOT BE LIMITED TO, CONSTRUCTING SUCH FACILITIES AND TAKING SUCH MEASURES AS ARE NECESSARY TO PREVENT, CONTROL, AND ABATE WATER, MUD AND EROSION DAMAGE TO PUBLIC AND PRIVATE PROPERTY AS A RESULT OF THE CONSTRUCTION OF THIS PROJECT. BY OCTOBER 1ST OF EACH YEAR, SUCH TEMPORARY EROSION CONTROL FEATURES AS ARE NECESSARY TO PREVENT DAMAGE DURING THE FORTHCOMING WINTER SEASON SHALL BE CONSTRUCTED AND FUNCTIONING. MUD AND SILT SHALL BE SETTLED OUT OF THE STORM RUNOFF BEFORE SAID RUNOFF LEAVES THE CONSTRUCTION SITE, ENTERS STORM DRAIN SYSTEMS, OR ENTERS A NATURAL CHANNEL.
13. SHOULD ANY PREHISTORIC (ARROWHEADS, MORTAR, HUMAN BONES) OR HISTORIC ARTIFACTS (GLASS, CERAMICS, METALS, NAILS) BE EXPOSED DURING EXCAVATION, GRADING OR CONSTRUCTION OPERATIONS, ALL WORK SHALL CEASE IMMEDIATELY WITHIN 50 METERS OF THE FOUND MATERIAL(S) AND THE COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE IMMEDIATELY NOTIFIED. A QUALIFIED ARCHAEOLOGIST SHALL BE CONSULTED TO DETERMINE WHETHER ANY SUCH MATERIAL(S) ARE SIGNIFICANT PRIOR TO CONTINUING EXCAVATION, GRADING OR CONSTRUCTION ACTIVITIES AT THE ARCHAEOLOGICAL SITE. IF NECESSARY, FURTHER INVESTIGATION MEASURES MAY BE REQUIRED TO FURTHER REDUCE ANY ARCHAEOLOGICAL IMPACT TO A LESS THAN SIGNIFICANT LEVEL BEFORE CONSTRUCTION CONTINUES. STANDARDIZED PROCEDURES FOR EVALUATION OF ACCIDENTAL FINDS AND DISCOVERY OF HUMAN REMAINS SHALL BE FOLLOWED AS PRESCRIBED IN APPENDIX D OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.
14. GRADING, TRENCHING, CUTTING AND/OR FILLING WITHIN THE DRIP LINE OF THOSE TREES, DESIGNATED ON THE SITE PLAN FOR PRESERVATION, SHALL NOT OCCUR. NO ACTIONS SHALL BE TAKEN THAT WILL HARM THE HEALTH, VITALITY OR LONGEVITY OF THOSE TREES IDENTIFIED ON THE SITE PLAN FOR PRESERVATION.
15. NO REFUELING, LUBRICATION OR MAINTENANCE OF EARTHMOVING OR OTHER CONSTRUCTION VEHICLES SHALL BE DONE ANYWHERE ON THE SITE EXCEPT WITHIN APPROVED CONSTRUCTION STAGING AREAS.
16. ANY GRADING OPERATIONS OUTSIDE OF SUBDIVISION BOUNDARY SHALL REQUIRE A RIGHT-OF-ENTRY.

GENERAL WATER NOTES

1. TYPE OF WATER SOURCE(S) IN USE: SURFACE WATER
2. NAME & GENERAL LOCATION OF SOURCE(S): LITTLE DEER CREEK WATERSHED, NEVADA IRRIGATION DISTRICT DS CANAL
3. DRINKING WATER SOURCE ASSESSMENT INFORMATION:
4. THE CITY OF NEVADA CITY WATER SYSTEM IS LOCATED IN NEVADA COUNTY CA, SERVING A POPULATION OF 3,010, WITH
5. APPROXIMATELY 1,252 SERVICE CONNECTIONS. WATER FOR THE SYSTEM IS PROVIDED BY SURFACE WATER IN LITTLE DEER CREEK
6. WATERSHED, AND BY THE NEVADA IRRIGATION DISTRICTS DS CANAL. GENERAL LAND USES IN THE WATERSHED ARE RESIDENTIAL
7. DWELLINGS, MANAGED FORESTS AND UNDEVELOPED LAND. A SURFACE WATER SOURCE ASSESSMENT WAS COMPLETED FOR THE LITTLE
8. DEER CREEK WATERSHED IN FEBRUARY 2012. THIS SURFACE WATER SOURCE IS CONSIDERED TO BE VULNERABLE TO STORM DRAIN
9. DISCHARGE, HISTORIC MINING, PROPANE STORAGE TANKS, SEPTIC SYSTEMS, USE OF PESTICIDES AND HERBICIDES, FERTILIZERS,
10. MANAGED FORESTS, STREETS, ROADS, AND WATER SUPPLY WELLS. A COMPLETE COPY OF NID'S COMPLETE ASSESSMENT IS AVAILABLE
11. FOR REVIEW AT NEVADA CITY HALL, 317 BROAD ST., NEVADA CITY CA 89569. YOU MAY ALSO CONTACT THE STATE WATER
12. RESOURCES CONTROL BOARD, DIVISION OF DRINKING WATER, 1001 I STREET, SACRAMENTO, CA, 95814 TO REVIEW EITHER OF THE
13. SOURCE WATER ASSESSMENT REPORTS.
14. TIME AND PLACE OF REGULARLY SCHEDULED BOARD MEETINGS FOR PUBLIC PARTICIPATION: CITY COUNCIL MEETINGS ARE HELD ON THE 2ND
15. AND 4TH WEDNESDAYS OF EACH MONTH,
16. STARTING AT 6:30 PM
17. FOR MORE INFORMATION, CONTACT: MICHAEL R. FAULDOA, CHIEF PLANT OPERATOR PHONE: (530) 265-8668
18. ADDITIONAL GENERAL INFORMATION ON DRINKING WATER
19. DRINKING WATER, INCLUDING BOTTLED WATER, MAY REASONABLY BE EXPECTED TO CONTAIN AT LEAST SMALL AMOUNTS OF SOME
20. CONTAMINANTS. THE PRESENCE OF CONTAMINANTS DOES NOT NECESSARILY INDICATE THAT THE WATER POSES A HEALTH RISK MORE
21. INFORMATION ABOUT CONTAMINANTS AND POTENTIAL HEALTH EFFECTS CAN BE OBTAINED BY CALLING THE USEPA'S SAFE DRINKING WATER
22. HOTLINE (1-800-426-4791).
23. SOME PEOPLE MAY BE MORE VULNERABLE TO CONTAMINANTS IN DRINKING WATER THAN THE GENERAL POPULATION. IMMUNOCOMPROMISED PERSONS SUCH AS PERSONS WITH CANCER UNDERGOING CHEMOTHERAPY, PERSONS WHO HAVE UNDERGONE ORGAN
24. TRANSPLANTS, PEOPLE WITH HIV/AIDS OR OTHER IMMUNE SYSTEM DISORDERS, SOME ELDERLY, AND INFANTS CAN BE PARTICULARLY AT RISK
25. FROM INFECTIONS. THESE PEOPLE SHOULD SEEK ADVICE ABOUT DRINKING WATER FROM THEIR HEALTH CARE PROVIDERS. USEPA/CENTERS
26. FOR DISEASE CONTROL (CDC) GUIDELINES ON APPROPRIATE MEANS TO LESSEN THE RISK OF INFECTION BY CRYPTOSPORIDIUM AND OTHER
27. MICROBIAL CONTAMINANTS ARE AVAILABLE FROM THE SAFE DRINKING WATER HOTLINE (1-800-426-4791).
28. LEAD-SPECIFIC LANGUAGE FOR COMMUNITY WATER SYSTEMS: IF PRESENT, ELEVATED LEVELS OF LEAD CAN CAUSE SERIOUS HEALTH
29. PROBLEMS, ESPECIALLY FOR PREGNANT WOMEN AND YOUNG CHILDREN. LEAD IN DRINKING WATER IS PRIMARILY FROM MATERIALS AND
30. COMPONENTS ASSOCIATED WITH SERVICE LINES AND HOME PLUMBING. THE NEVADA CITY WATER TREATMENT PLANT IS RESPONSIBLE FOR
31. PROVIDING HIGH QUALITY DRINKING WATER, BUT CANNOT CONTROL THE VARIETY OF MATERIALS USED IN PLUMBING COMPONENTS. WHEN
32. YOUR WATER HAS BEEN SITTING FOR SEVERAL HOURS, YOU CAN MINIMIZE THE POTENTIAL FOR LEAD EXPOSURE BY FLUSHING YOUR TAP FOR 30
33. SECONDS TO 2 MINUTES BEFORE USING WATER FOR DRINKING OR COOKING. [OPTIONAL: IF YOU DO SO, YOU MAY WISH TO COLLECT THE
34. FLUSHED WATER AND REUSE IT FOR ANOTHER BENEFICIAL PURPOSE, SUCH AS WATERING PLANTS.] IF YOU ARE CONCERNED ABOUT LEAD IN YOUR
35. WATER, YOU MAY WISH TO HAVE YOUR WATER TESTED. INFORMATION ON LEAD IN DRINKING WATER, TESTING METHODS, AND STEPS YOU CAN
36. TAKE TO MINIMIZE EXPOSURE IS AVAILABLE FROM THE SAFE DRINKING WATER HOTLINE OR AT [HTTP://WWW.EPA.GOV/LEAD](http://www.epa.gov/lead)

MANDATORY NOTES: ON-SITE

GENERAL NOTES

1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF SACRAMENTO STANDARD SPECIFICATIONS, DATED NOVEMBER 2020. THE CONTRACTOR SHALL OBTAIN AND USE ALL APPLICABLE ADDENDUMS.
2. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF AND REPAIR OF DAMAGE TO THEM. CONTACT UNDERGROUND SERVICE ALERT 1-800-662-3444, 48 HOURS BEFORE WORK IS TO BEGIN.
3. FOR ALL TRENCH EXCAVATIONS 5 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF INDUSTRIAL SAFETY (2422 ARDEN WAY, SUITE 165, SACRAMENTO, PHONE 263-2866) PRIOR TO BEGINNING ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND FURNISH, INSTALL, AND MAINTAIN TEMPORARY SIGNS, BRIDGES, BARRICADES, FLAGMEN, AND OTHER FACILITIES TO ADEQUATELY SAFEGUARD THE GENERAL PUBLIC AND WORK, AND TO PROVIDE FOR THE PROPER ROUTING OF VEHICULAR AND PEDESTRIAN TRAFFIC. CONSTRUCTION OPERATIONS SHALL COMPLY WITH THE WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH).
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS OR MARKERS DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE AND SEWER FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL NEW DRAINAGE AND SEWER IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
7. IF UNUSUAL AMOUNTS OF BONE, STONE OR ARTIFACTS ARE UNCOVERED, WORK WITHIN 50 METERS OF THE AREA SHALL CEASE IMMEDIATELY AND A QUALIFIED ARCHEOLOGIST AND A REPRESENTATIVE OF THE NATIVE AMERICAN HERITAGE COMMISSION SHALL BE CONSULTED TO DEVELOP, IF NECESSARY, MITIGATION MEASURES TO REDUCE ANY ARCHAEOLOGICAL IMPACT TO A LESS THAN SIGNIFICANT EFFECT BEFORE CONSTRUCTION RESUMES IN THE AREA.
8. COST TO REMOVE AND REPLACE EXISTING PAVEMENT OVER THE WATER, STORM AND SANITARY LINE TRENCHES SHALL BE INCLUDED IN THE PRICE BID FOR PIPE IN PLACE. REPLACEMENT SHALL BE 4" AC AND 12" AB, MINIMUM, OR INDICATED ON THE PLANS.
9. PIPE AND MANHOLE DIMENSIONS ARE TO THE CENTERLINE, UNLESS OTHERWISE NOTED.
10. ALL TAPS 24 INCHES AND SMALLER INTO SEWER & DRAIN MANHOLES SHALL BE CORE BORED WITH KOR-N-SEAL TAPS OR APPROVED EQUAL. ANY WATER ENTERING THE SANITARY SEWER SYSTEM TO BE CONSTRUCTED UNDER THESE PLANS SHALL NOT BE DISCHARGED TO THE EXISTING SYSTEM. PLUGS MUST BE INSTALLED IN EXISTING MANHOLES AS NECESSARY TO PERMIT PUMPING THE NEW SYSTEM CLEAR OF WATER AND DEBRIS PRIOR TO ACCEPTANCE. CARE SHALL BE EXERCISED IN LOCATING PLUGS TO AVOID INTERRUPTING SERVICES TO EXISTING CONNECTIONS. MORTAR OR BRICK PLUGS MUST BE USED, INFLATABLE DEVICES ARE NOT SATISFACTORY.
12. DRAIN PIPE MATERIAL SHALL BE REINFORCED CONCRETE PIPE C-76 CL. III, NON-REINFORCED CONCRETE PIPE C-14 CL. III, PVC SDR 35, OR AS SPECIFIED ON PLANS. IN ALL CASES, JOINTS FOR CONCRETE PIPE SHALL BE RUBBER GASKETED JOINTS.
13. DRAIN INLET LEADS SHALL BE PVC C-900 CL. 150, RCP C-76 CL. III, OR NON-REINFORCED CONCRETE C-14 CL. III.
14. SANITARY SEWER PIPE MAINS SHALL BE CONSTRUCTED OF V.C.P., A.B.S. OR P.V.C. UNLESS OTHERWISE SPECIFIED ON THE PLANS.
15. AGGREGATE SUBBASE SHALL CONFORM TO CALTRANS SPECIFICATIONS DATED: JULY, 1992 A.S.B., SECTION 25.
16. A STORMWATER PERMIT MUST BE OBTAINED WHEN CONSTRUCTION ACTIVITY RESULTS IN SOIL DISTURBANCE OF ONE (1) OR MORE ACRES. THE STATE WATER RESOURCES CONTROL BOARD, DIVISION OF WATER QUALITY, STORMWATER PERMIT, P.O. BOX 1977, SACRAMENTO, CA 95812-1977, SHALL BE CONTACTED TO OBTAIN THE PERMIT PRIOR TO BEGINNING CONSTRUCTION.
17. IF WORK SHOWN ON THESE PLANS HAS NOT COMMENCED WITHIN TWO YEARS FROM THE DATE OF THE CITY'S ACCEPTANCE OF THE PLANS, A SUBSEQUENT PLAN REVIEW AT THE CITY'S DISCRETION AND THE DEVELOPER'S EXPENSE MAY BE NECESSARY.
18. THE CONTRACTOR SHALL COMPLY WITH THE CITY OF SACRAMENTO ADMINISTRATIVE AND TECHNICAL MANUAL FOR GRADING/EROSION AND SEDIMENT CONTROL. CONTRACTOR SHALL HAVE ALL APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES IN PLACE FOR THE WINTER MONTHS PRIOR TO OCTOBER 1 AND MUST ENSURE THAT THE CONSTRUCTION SITE IS PREPARED PRIOR TO THE ONSET OF ANY STORM.

GENERAL CONDITIONS

1. ALL WORK SHALL COMPLY WITH LOCAL CODES AND ORDINANCES. EXCLUSION OF SAID ITEMS FROM DRAWINGS OR SPECIFICATIONS DOES NOT RELEASE THE CONTRACTOR FROM COMPLIANCE WITH ABOVE MENTIONED CODES AND ORDINANCES.
2. VERIFY ALL CONDITIONS ON SITE. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCY BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON DRAWINGS.
3. ALL NAILING PER CBC CURRENT EDITION.
4. DOORS - EXTERIOR
A. HOLLOW METAL WITH PRESSED METAL FRAME.

ALL EXTERIOR DOORS TO BE WEATHERSTRIPPED.

DOORS - INTERIOR:
A. PRE-HUNG VERTICAL GRAIN DOUGLAS FIR SOLID STYLE AND RAIL MULTIPLE PANEL.
5. CASEWORK
PROVIDE ALL WOOD CASEWORK AND CABINETS AS INDICATED COMPLYING WITH WIC MANUAL OF MILLWORK, LATEST EDITION FOR CUSTOM GRADE. FINISH AS DETERMINED BY OWNER. PARTICLE BOARD AND HARDWOOD PLYWOOD SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
6. FLOOR TILE
INSTALLATION PER MANUFACTURERS RECOMMENDATIONS.
7. WOOD - INTERIOR TRIM
INCLUDES ALL STANDING AND RUNNING WOOD TRIM MEMBERS WHICH ARE NOT STRUCTURAL IN NATURE, MILLWORK, INTERIOR JAMBS, AND RAILINGS. SPECIES: PINE, WIC GRADE CUSTOM, FINISH AS DETERMINED BY OWNER. MINIMUM STANDARDS FOR FINISH CARPENTRY AND MILLWORK SHALL COMPLY WITH MANUAL OF MILLWORK STANDARDS OF INDUSTRY ADOPTED BY WIC, LATEST EDITION. PARTICLE BOARD HARDWOOD PLYWOOD SHALL COMPLY WITH LOW FORMALDEHYDE EMISSIONS STANDARDS.
8. EXISTING HVAC
SELECT EQUIPMENT PER ACCA 36-S AND SIZE DUCTS PER ACCA 29-D. VERIFY LOCATION OF REGISTERS PRIOR TO INSTALLATION. PROVIDE CERTIFICATION OF TITLE 24 ENERGY COMPLIANCE.
9. PAINT
WOOD, AND RESTROOM WALLS AND CEILINGS: ALKYD ENAMEL, ALL OTHER WALLS AND CEILINGS: LATEX ENAMEL. ALL PAINTS, STAINS AND OTHER COATINGS SHALL COMPLY WITH VOC LIMITS.

OAK
OIL AND WAX SHALL COMPLY WITH VOC LIMITS.
10. VERIFY ALL ELECTRICAL FIXTURE LOCATIONS PRIOR TO INSTALLATION.
11. THE CONTRACTOR SHALL GUARANTEE ALL WORK IN GENERAL FOR ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. DEGREE OF DEFECTIVES TO BE DETERMINED BY THE OWNER.
14. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK AND SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT CORDANCE WITH THE CONTRACT DOCUMENTS.

ACCESSIBILITY NOTES

1. THE ARCHITECT HAS VERIFIED THAT THE ENTIRE IS GRADED/PAVED TO FULLY COMPLAINT WITH THE CODE ACCESSIBILITY REQUIREMENTS, INCLUDING THE MAXIMUM SLOPE IN ANY DIRECTIONS BEING 1:5% OR LESS. THEREFORE, SUCH SITE IS CONSTRUED TO HAVE ACCESSIBLE ROUTES THROUGHOUT THE ENTIRE AREAS.
2. POT INDICATED ON THE SITE PLAN IS THE MOST PRACTICAL AND DIRECT ROUTE BETWEEN SITE ARRIVAL POINT AND ALL EXTERIOR PEDESTRIAN DOORS AT NEW BUILDING. EXACT LOCATION OF POT MUST BE FIELD VERIFIED, RELOCATED OR RECONFIGURED IF NEEDED.
3. POT INDICATED ON THE SITE PLAN IS ALSO THE MOST PRACTICAL AND DIRECT ROUTE BETWEEN ACCESSIBLE PARKING AND ALL EXTERIOR PEDESTRIAN DOORS AT NEW BUILDING. EXACT LOCATION OF POT MUST BE FIELD VERIFIED, RELOCATED OR RECONFIGURED IF NEEDED.
4. POT MUST BE MIN. 50 INCHES WIDE WITH MIN. 80 INCHES HEAD CLEARANCE.
5. IF ANY POT IS LESS THAN 60 INCHES WIDE, THEN PASSING SPACE AT LEAST 80 INCHES X 60 INCHES MUST BE LOCATED AT REASONABLE INTERVALS NOT TO EXCEED 200 FEET.
6. ANY POT WITH CONTINUOUS GRADIENTS MUST HAVE CLEAR LEVEL AREA WITH MAX. 2% SLOPE IN ALL DIRECTIONS AT LEAST 5 FEET IN LENGTH AT INTERVALS OF 400 FEET MAX.
7. EXCEPT FOR ANY REQUIRED CLEAR AREAS, POT MAY HAVE MAX. 6% SLOPE IN THE DIRECTION OF TRAVEL AND MAX. 2% CROSS SLOPE.
8. POT MAY HAVE MAX. $\frac{1}{4}$ INCH LEVEL CHANGE WITH THE MAX. 1:2 SLOPE. LEVEL CHANGE NOT EXCEEDING $\frac{1}{4}$ INCH MAY BE VERTICAL ANY LEVEL CHANGES EXCEEDING $\frac{1}{4}$ OR ANY SLOPE IN THE DIRECTION OF TRAVEL EXCEEDING 6% MUST BE ACCOMMODATED BY CODE-COMPLAINT CURB RAMP OR RAMP.
9. POT SURFACES MUST BE FIRM, STABLE, SLIP-RESISTANT, W/O LOOSE GRAVELS, SAND, CHIPS, ETC.
10. IF ANY GRATINGS ARE LOCATED IN POT, GRID OPENINGS IN GRATINGS MUST BE LIMITED TO $\frac{1}{2}$ INCH IN THE DIRECTION OF TRAFFIC FLOW.
11. ABRUPT CHANGE IN LEVEL EXCEEDING 4 INCHES BETWEEN POT AND ADJACENT SURFACES (EXCLUDING STREET AND DRIVEWAY) OR FEATURE MUST BE IDENTIFIED BY MIN. 6-INCH HIGH WARNING CURBS, OR BY A GUARD OR HANDRAIL WITH A GUIDE RAIL CENTERED MIN. 2 INCHES AND MAX. 4 INCHES ABOVE THE SURFACE OF POT.
12. ALL BLDG. DOORS MUST HAVE CLEAR, UNOBSTRUCTED LEVEL AREAS ON BOTH SIDES WITH MAX. 2.5% SLOPE IN ANY DIRECTION. CLEAR LEVEL AREA AT DOOR FRONT APPROACH IN THE DIRECTION OF DOOR SWING MUST BE MIN. 60 INCHES DEEP X 60 INCHES WIDE (INCLUDING MIN. 24 INCHES PASS DOOR STRIKE EDGE) ON THE EXTERIOR SIDE OF EXTERIOR DOOR, AND MIN. 80 INCHES DEEP X 64 INCHES WIDE (INCLUDING MIN. 18 INCHES PASS DOOR STRIKE EDGE) AT OTHER LOCATIONS FOR SINGLE DOOR, OR MIN. 60 INCHES DEEP X DOUBLE-DOOR WIDTH FOR DOUBLE DOORS.
13. CLEAR LEVEL AREA AT DOOR FRONT APPROACH IN THE DIRECTION OPPOSITE DOOR SWING MUST BE MIN. 48 INCHES DEEP X 36 INCHES WIDE, OR MIN. 48 INCHES DEEP X 48 INCHES WIDE (INCLUDING MIN. 12 INCHES PASS DOOR STRIKE EDGE) IF DOOR HAS BOTH LATCHES AND CLOSER FOR SINGLE DOOR, OR MIN. 48 INCHES DEEP X DOUBLE-DOOR WIDTH FOR DOUBLE DOOR.
14. ANY LEVEL CHANGES AT THE DOORWAY, INCLUDING THRESHOLD THICKNESS, MUST BE MAX. $\frac{1}{4}$ INCH W/ MAX. 1:2 SLOPE. ANY LEVEL CHANGE NOT EEDING $\frac{1}{4}$ INCH MAY BE VERTICAL.



PROJECT MANAGER:

Zoran Hamim

4080 Truxel Road

Sacramento, Ca. 95834

(916) 529-3982

zoran.hamim@yahoo.com

ARCHITECT OF RECORD:

BOULEVARD
Construction

4080 TRUXEL ROAD

SACRAMENTO, CA 95834

PHONE: (916) 892-9949

FAX: (916) 283-7501

pm@theboulevard.us

www.boulevardj.com

PROJECT:

PROPOSED GAS STATION /
EXPRESS CARWASH CENTER
1912 NEVADA CITY HWY
GRASS VALLEY, CA 95945

REVISIONS:	DATE:	BY:	DESCRIPTION	REVISION #
	01/12/22	gh/gh		

CURRENT ISSUE DATE:

12/12/22

ISSUED FOR :

PERMIT REVIEW

JOB#

DRAWN BY: BOULEVARD

CHECKED:

APPROVED:

SHEET TITLE

GENERAL INFORMATION

SHEET #

G-1.0

TOPOGRAPHIC SURVEY 1912 & 1924 NEVADA CITY HWY, GRASS VALLEY

COUNTY OF NEVADA
STATE OF CALIFORNIA
APN: 035-300-050 & -007

LEGEND

- BOLLARD
- CURB INLET WITH GRATE
- DIMENSION POINT
- NOTHING FOUND, NOTHING SET
- DRAIN INLET
- FIRE HYDRANT
- FOUND MONUMENT AS NOTED
- GATE
- GATE VALVE
- GROUND SHOTS
- LIGHT
- MONITORING WELL
- POWER POLE
- PULL BOX
- ROLL UP DOOR
- SANITARY SEWER MANHOLE
- SIGN
- STORM DRAIN MANHOLE
- TRAFFIC SIGNAL
- TRUNCATED DOME
- UTILITY AS NOTED
- WATER METER
- CONCRETE
- ADJACENT PROPERTY
- EASEMENT
- EDGE OF PAVEMENT
- FENCE
- MAJOR CONTOUR
- MINOR CONTOUR
- OVERHANG ROOF
- OVERHEAD POWER LINES
- PROPERTY LINE
- RIGHT OF WAY

ABBREVIATIONS

- | | |
|--------|--------------------------|
| AC | - ASPHALT CONCRETE |
| AC | - ACRE |
| APN | - ASSESSOR PARCEL NUMBER |
| DOC# | - DOCUMENT NUMBER |
| BLDG. | - BUILDING |
| ELEC. | - ELECTRICAL |
| EXIST. | - EXISTING |
| FND | - FOUND |
| GV | - GATE VALVE |
| IP | - IRON PIPE |
| MON | - MONUMENT |
| PB | - PULL BOX |
| PED | - PEDESTAL |
| ROS | - RECORD OF SURVEY |
| TS | - TRAFFIC SIGNAL |
| UST | - UNDERGROUND GAS TANK |
| VLT | - VAULT |

NO.	DESCRIPTION	DIAMETER	NO.	DESCRIPTION	DIAMETER	NO.	DESCRIPTION	DIAMETER
1	PINE	30"	8	REDWOOD	30"	14	TREE	6"
2-3	PINE	36"	9	TREE	18"	15	X2 TREE	12"
4	TREE	10"	10	OAK	18"	16	TREE	16"
5	TREE	24"	11	REDWOOD	36"	17	TREE	24"
6	PINE	16"	12	TREE	20"	18	PINE	14"
7	X2 REDWOOD	18"	13	TREE	8"			

BENCHMARK:

BM ID: KS0833
ELEV. = 2413.88' (NAVD 88)

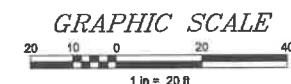
A STANDARD DISK, STAMPED GRASS VALLEY 1934 AND SET VERTICALLY. THE BUILDING THE MARK IS SET IN IS NO LONGER THE POST OFFICE. IS IT NOW MARKED "OLD POST OFFICE" AND "JBS PAINE WEBBER" AND IS LOCATED AT THE NE CORNER OF BANK STREET AND S. AUBURN STREET IN GRASS VALLEY. TO REACH FROM THE NEW POST OFFICE, PROCEED WEST ON THE MAIN STREET, TURN LEFT ON S. AUBURN, MARK IN ON THE LEFT. GRAVITY BASE STATION "GRASS VALLEY", C 95, WAS 1.4 FEET BELOW DISK UNTIL INSTALLATION OF HANDICAP RAMP.

BASIS OF BEARINGS:

THE BASIS OF BEARINGS OF THIS SURVEY IS IDENTICAL TO THAT CERTAIN RECORD OF SURVEYS RECORDED IN BOOK 8 OF SURVEY AT PAGE 55 NEVADA COUNTY RECORDS.

NOTE:

SOUTHWEST PROPERTY BOUNDARY IS NOT SHOWN ON RECORD MAP. BOUNDARY AND EASEMENT SHOWN ARE BEST INTERPRETATION OF PROVIDED TITLE REPORTS AND DEEDS. A RECORD OF SURVEY & FURTHER RESEARCH WILL BE REQUIRED TO RESOLVE AND LOCATE PRECISE POSITION OF BOUNDARY AND EASEMENTS.



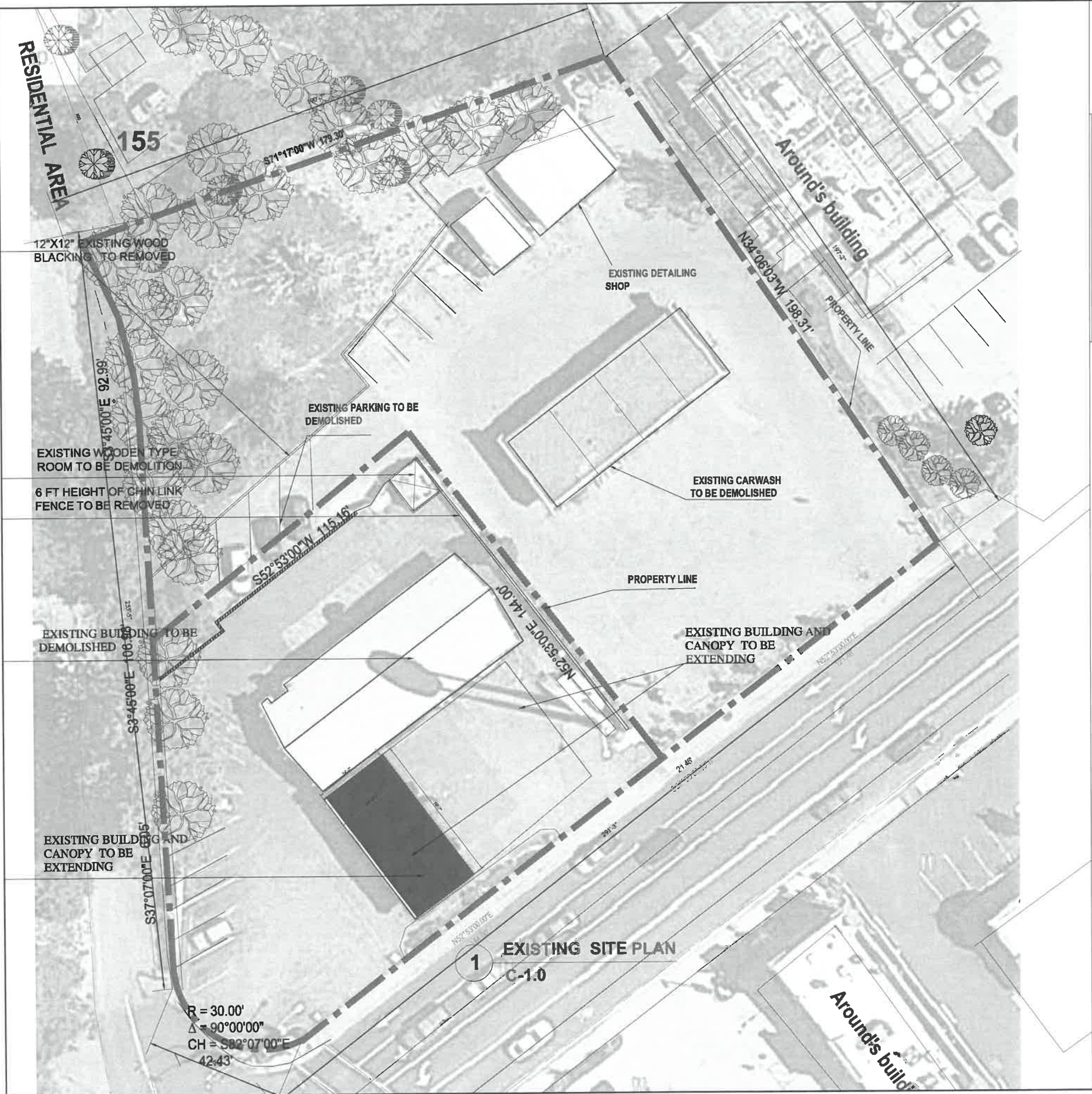
SURVEYED	R. O'CONNOR
DRAWN	J. VIRAY
CHECKED	T. BLAIR
DATE	06-17-2022
SCALE	1" = 20'

REV NO	REVISION DESCRIPTION	DATE	BY

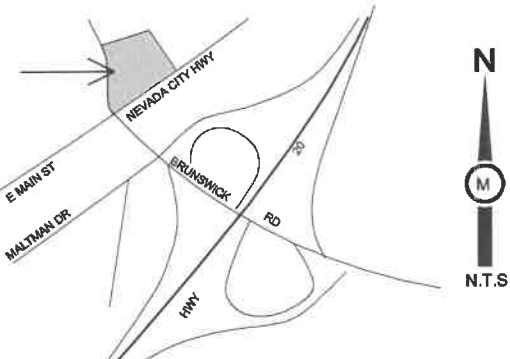
1912 & 1924 NEVADA CITY HWY, GRASS VALLEY
TOPOGRAPHIC SURVEY
APN: 035-300-050 & -007
COUNTY OF NEVADA,
CALIFORNIA

SGI COMPANIES
SGI CIVIL • SGI 3D • SURVEYORS GROUP, INC.
9001 Piedmont Blvd., Suite 170
Grass Valley, CA 95945
(530) 796-0822 (FAX) 796-0824 (FAX)
www.sgicompanies.com

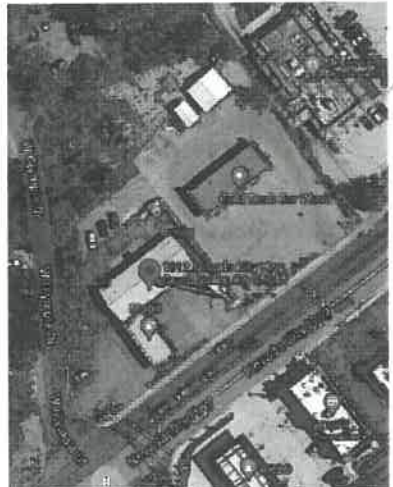
SHEET 1 OF 1
JOB NO. BDC 22-86



CITY OF GRASS VALLEY



- NEW P.C.C. PAVEMENT
- NEW P.C.C. SIDEWALK
- NEW TRASH ENCLOSURE
- NEW LANDSCAPE AREA
- EXISTING MONUMENT/PRICE SIGN TO BE RELOCATED
- NEW PROTECTIVE BOLLARD
- NEW BIKE RACK
- EXISTING UNDERGROUND FUEL TANKS TO REMAIN
- NEW VACUUM STATION
- NEW PAY STATION
- NEW PAY FOR ORDER FOODS
- NEW OVERHEAD CANOPY. NOTE, SOLAR PANELS WILL BE MOUNTED ON TOP OF CANOPIES.
- NEW FUEL PUMP (4 MPD)
- ADJUST EXISTING LOT LINE
- REAR WALL OF PROPOSED C-STORE TO BE A RETAINING WALL
- TACTILE
- ACCESSIBLE PARKING
- INSTALL NEW CURB RAMP TO LEAD PEDESTRIANS ACROSS WEST OLYMPIA DRIVE
- EXISTING +90 FT PYLON SIGN TO BE REMOVED
- NEW CMU BLOCK VACUUM EQUIPMENT ENCLOSURE
- NEW EV CHARGING SPACES.
- NEW DECORATIVE PAVING AT NEW DRIVEWAY ENTRANCE.
- VEHICLE DETAILING SHOP
- PROPOSED EXPRESS CAR WASH 2400 SF 24'X100'
- CONCRETE CRAB DRAINAGE



PROPERTY LINE

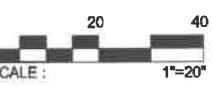
STORE FINISHES:

WALLS: WATERPROOF MEMBRANE, SHEATHING, WOOD STUD, AND GYPSUM WALL, PAINTED PLASTER,
FLOOR: STORE, TILE Vinyl Plank
Flooring / SEALED CONCRETE
CEILING: PAINTED PLASTER APPLIED TO STRUCTURE/DRY WALL

WALLS: 240 IN' HIGH DRYWALL
WALL: PAINTED PLASTER
RESTROOM, CERAMIC TILE
WALL: KITCHEN, CERAMIC TILE

CEILING: STRUCTURAL TRUSS UNDER TO BE SOOTHE PAINTED

UNLESS OTHERWISE NOTED, LINEAR DIMENSIONS SHOWN ARE IN INCHES (IN)



REALLY MAP



VICINITY MAP



PROJECT MANAGER:
Zaman Hamim
4080 Truxel Road
Sacramento, Ca. 95834
(916) 529-3582
zaman_hamim@yahoo.com

ARCHITECT OF RECORD:
BOULEVARD
Construction
4080 TRUXEL ROAD
SACRAMENTO, CA 95834
PHONE: (916) 892-9949
FAX: (916) 283-7501
pm@theboulevard.us
www.theboulevard.us

PROJECT:
PROPOSED GAS STATION /
EXPRESS CARWASH CENTER
1912 NEVADA CITY HWY
GRASS VALLEY, CA 95945

REVISIONS:	DATE:	DESCRIPTION:	BY:
	01/15/2023	REVISION 4	

CURRENT ISSUE DATE:
02/07/2023
ISSUED FOR:
02/07/2023

DRAWN BY: BOULEVARD
CHECKED:
APPROVED:

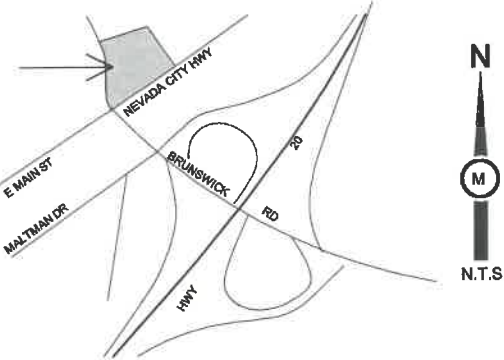
SHEET TITLE:
EXISTING SITE PLAN

SHEET #:
C-1.0



NEIGHBORHOOD SITE PLAN
Scale :1"=50'

CITY OF GRASS VALLEY



- NEW P.C.C. PAVEMENT
- NEW P.C.C. SIDEWALK
- NEW TRASH ENCLOSURE
- NEW LANDSCAPE AREA
- EXISTING MONUMENT/PRICE SIGN TO BE RELOCATED
- NEW PROTECTIVE BOLLARD
- NEW BIKE RACK
- EXISTING UNDERGROUND FUEL TANKS TO REMAIN
- NEW VACUUM STATION
- NEW PAY STATION
- NEW PAY FOR ORDER FOODS
- NEW OVERHEAD CANOPY. NOTE, SOLAR PANELS WILL BE MOUNTED ON TOP OF CANOPIES.
- NEW FUEL PUMP (4 MPD)
- ADJUST EXISTING LOT LINE
- REAR WALL OF PROPOSED C-STORE TO BE A RETAINING WALL

- TACTILE
- ACCESSIBLE PARKING
- INSTALL NEW CURB RAMP TO LEAD PEDESTRIANS ACROSS WEST OLYMPIA DRIVE
- EXISTING 490 FT PYLON SIGN TO BE REMOVED
- NEW CMU BLOCK VACUUM EQUIPMENT ENCLOSURE
- NEW EV CHARGING SPACES.
- NEW DECORATIVE PAVING AT NEW DRIVEWAY ENTRANCE.
- VEHICLE DETAILING SHOP
- PROPOSED EXPRESS CAR WASH 2400 SF 24"x100"

- CONCRETE CRAB DRAINAGE



PROPERTY LINE

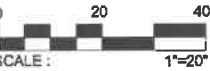
STORE FINISHES:

WALLS: WATERPROOF MEMBRANE, SHEATHING, WOOD STUD, AND GYPSUM WALL, PAINTED PLASTER.
FLOOR: STORE, TILE Vinyl Plank Flooring / SEALED CONCRETE
CEILING: PAINTED PLASTER APPLIED TO STRUCTURE/DRY WALL

WALLS: 240 IN HIGH DRYWALL
WALLT: PAINTED PLASTER
RESTROOM, CERAMIC TILE
WALLU: KITCHEN, CERAMIC TILE

CEILING: STRUCTURAL TRUSS UNDER TO BE SOOTHE PAINTED

UNLESS OTHERWISE NOTED, LINEAR DIMENSIONS SHOWN ARE IN INCHES (IN)



REALLY MAP



VICINITY MAP



PROJECT MANAGER:
Zaman Hamim
4080 Truxel Road
Sacramento, Ca. 95834
(916) 529-3982
zaman.hamim@yahoo.com

ARCHITECT OF RECORD:
BOULEVARD
Construction
4080 TRUXEL ROAD
SACRAMENTO, CA 95834
PHONE: (916) 892-9949
FAX: (916) 283-7501
pm@theboulevard.us
www.boulevard.com

PROJECT:
**PROPOSED GAS STATION /
EXPRESS CARWASH CENTER
1912 NEVADA CITY HWY
GRASS VALLEY, CA 95945**

REVISIONS:	DATE:	DESCRIPTION:	BY:
	01/10/2022	REVISION 4	

CURRENT ISSUE DATE:

02/07/2023

ISSUED FOR :

02/07/2023

DRAWN BY: BOULEVARD

CHECKED:

APPROVED:

SHEET TITLE
**NEIGHBORHOOD
SITE PLAN**

SHEET #

C-1.1

[illegible]

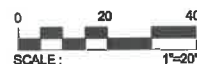
STORE FINISHES:

WALLS: WATERPROOF MEMBRANE,
SHEATHING, WOOD STUD, AND GYPSUM
WALL, PAINTED PLASTER,
FLOOR: STORE, TILE Vinyl Plank
Flooring / SEALED CONCRETE
CEILING: PAINTED PLASTER APPLIED
TO STRUCTURE/DRY WALL

WALLS: 240 IN HIGH DRYWALL
WALLS: PAINTED PLASTER
RESTROOM, CERAMIC TILE
WALLU: KITCHEN, CERAMIC TILE

CEILING: STRUCTURAL TRUSS UNDER
TO BE SOOTHE PAINTED

UNLESS OTHERWISE NOTED, LINEAR
DIMENSIONS SHOWN ARE IN INCHES (IN)



ARCHITECT OF RECORD

BOULEVARD
Construction

4080 TRUXEL ROAD
SACRAMENTO, CA 95834
PHONE: (916) 892-9949
FAX: (916) 283-7501

pm@theboulevard.us
www.boulevard.com

PROJECT: PROPOSED GAS STATION /
EXPRESS CARWASH CENTER
1912 NEVADA CITY HWY
GRASS VALLEY, CA 95945

PROJECT:

[illegible]

CURRENT ISSUE DATE:

ISSUED FOR :
02 /07 /2023

JOH

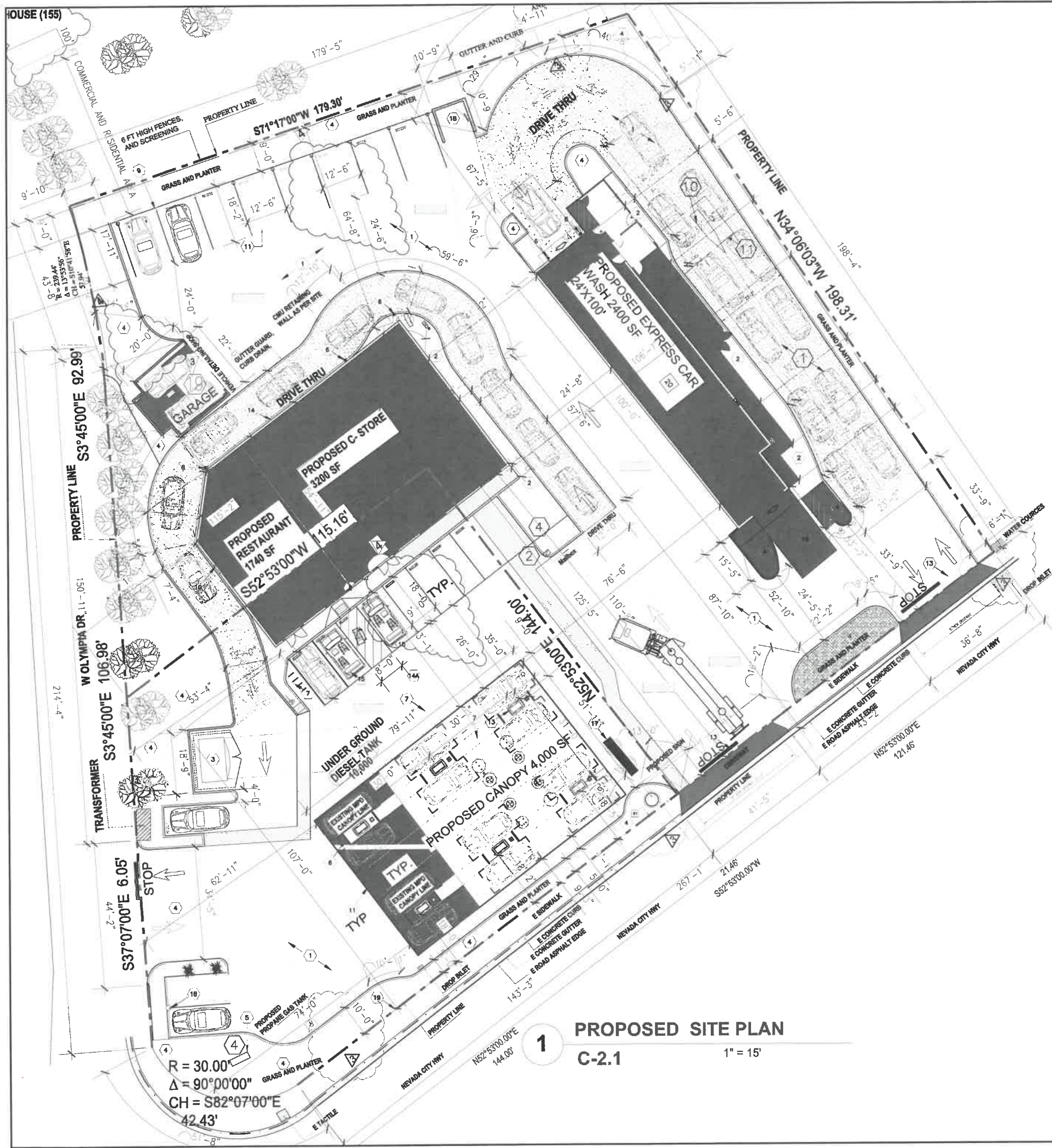
DRAWN BY: BOULEVARD

APPROVED

EROSION PLAN

SPE

C-1.2



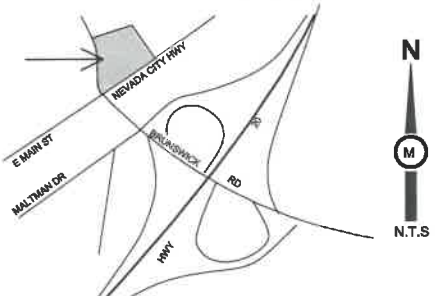
1
PROPOSED SITE PLAN
C-2.1
1" = 15'



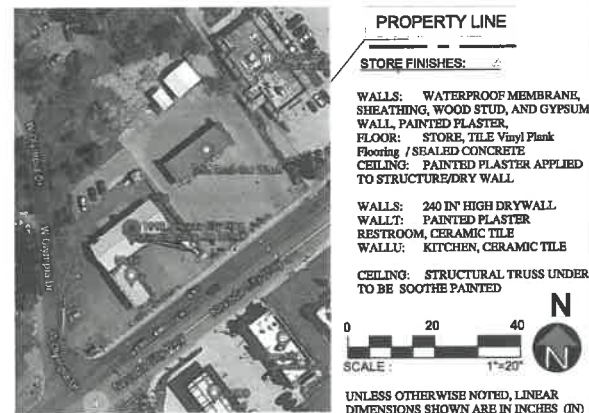
2
SITE PHOTO
C-2.1



CITY OF GRASS VALLEY



- NEW P.C.C. PAVEMENT
- NEW P.C.C. SIDEWALK
- NEW TRASH ENCLOSURE
- NEW LANDSCAPE AREA
- EXISTING MONUMENT/ PRICE SIGN TO BE RELOCATED
- NEW PROTECTIVE BOLLARD
- NEW BIKE RACK
- EXISTING UNDERGROUND FUEL TANKS TO REMAIN
- NEW VACUUM STATION
- NEW PAY STATION
- NEW PAY FOR ORDER FOODS
- NOT USED BE MOUNTED ON TOP OF CANOPIES.
- NEW FUEL PUMP (4 MPD)
- ADJUST EXISTING LOT LINE
- REAR WALL OF PROPOSED C-STORE TO BE A RETAINING WALL.
- TACTILE
- ACCESSIBLE PARKING
- INSTALL NEW CURB RAMP TO LEAD PEDESTRIANS ACROSS WEST OLYMPIA DRIVE
- EXISTING 40 FT PYLON SIGN TO BE REMOVED
- NEW CMU BLOCK VACUUM EQUIPMENT ENCLOSURE
- NEW EV CHARGING SPACES.
- NEW DECORATIVE PAVING AT NEW DRIVEWAY ENTRANCE.
- VEHICLE DETAILING SHOP
- PROPOSED EXPRESS CAR WASH 2400 SF 24"X100"
- CONCRETE CRAB DRAINAGE



LICENSED ARCHITECT
ROBERT A. MASSETTI
C-12648
06-30-2023
STATE OF CALIFORNIA
Robert A. Massetti

PROJECT MANAGER:
Zamon Hamim
4080 Truxel Road
Sacramento, Ca. 95834
PHONE: (916) 528-3982
FAX: (916) 283-7501
zamon_hamim@yahoo.com

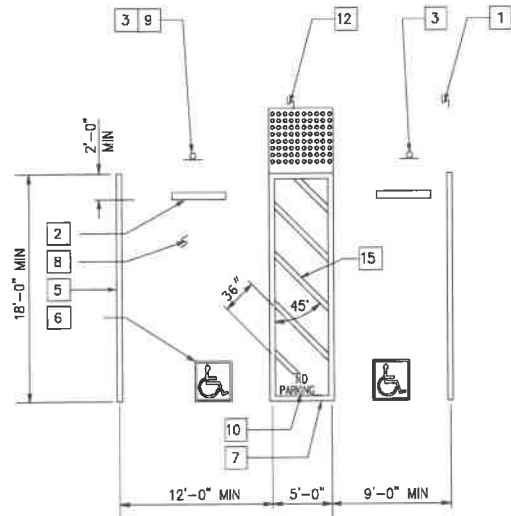
ARCHITECT OF RECORD:
BOULEVARD
Construction
4080 TRUXEL ROAD
SACRAMENTO, CA 95834
PHONE: (916) 892-9949
FAX: (916) 283-7501
pm@theboulevard.us
www.boulevard.com

PROJECT:
PROPOSED GAS STATION /
EXPRESS CARWASH CENTER
1912 NEVADA CITY HWY
GRASS VALLEY, CA 95945

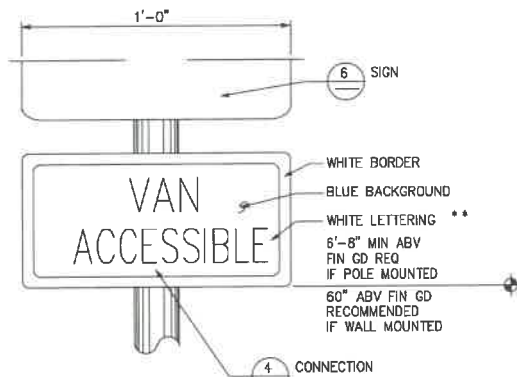
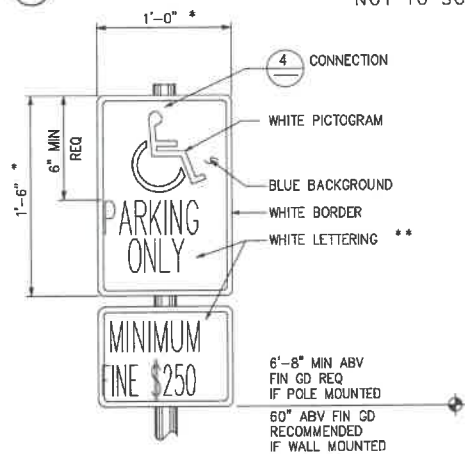
DATE:	DESCRIPTION	BY:
01/10/2023	REVISION-0	
02/07/2023	REVISION-3	

CURRENT ISSUE DATE:
ISSUED FOR :
02/07/2023
JOB#:
DRAWN BY: BOULEVARD
CHECKED:
APPROVED:
SHEET TITLE
PROPOSED SITE PLAN
SHEET #

C-2.1

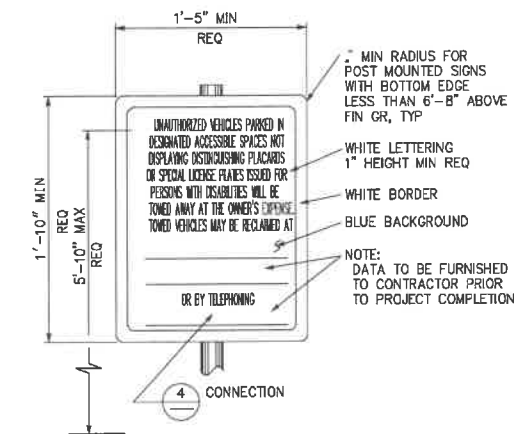


1 ACCESSIBLE PARKING STALL NOT TO SCALE

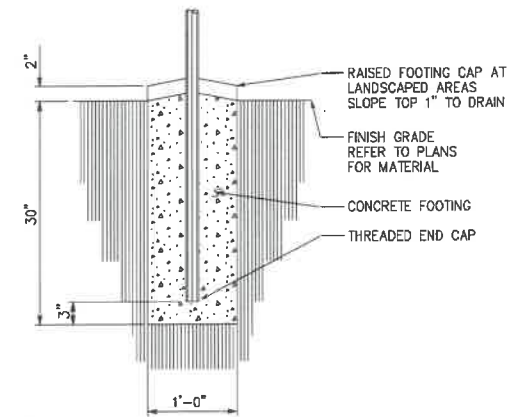


NOTE: ALL LISTED SIGN SIZES ARE RECOMMENDED STANDARD SIZES, UNLESS OTHERWISE NOTED AS REQUIRED. ALL MOUNTING HEIGHTS ARE RECOMMENDED, UNLESS OTHERWISE NOTED AS REQUIRED.

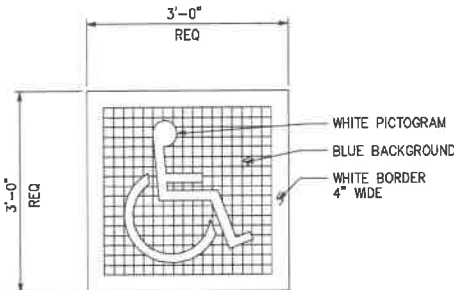
2 ACCESSIBLE VAN PARKING SIGN NOT TO SCALE



4 SIGN CONNECTION NOT TO SCALE



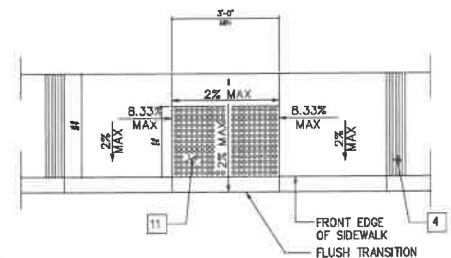
5 SIGN POST FOOTING NOT TO SCALE



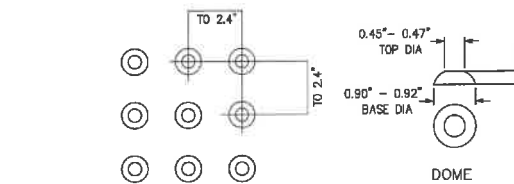
7 ACCESSIBLE PARKING SURFACE IDENTIFICATION NOT TO SCALE



8 ACCESS AISLE PAVEMENT MARKING NOT TO SCALE



9 PARALLEL CURB RAMP



10 DETECTABLE WARNING SURFACE - TRUNCATED DOMES

REFER TO SITE PLAN FOR LOCATIONS. COMBO SIGN MAY BE USED. * MIN AREA 70 SQ IN REQ. ** 2" MIN HT REQ FOR UP TO 10'-0" MOUNTING HT FROM BASELINE OF HIGHEST LETTER TO FIN GD. 3" MIN HT REQ FOR MOUNTING HT OVER 10'-0".

6 ACCESSIBLE PARKING SIGN NOT TO SCALE

KEYED NOTE LEGEND FOR DETAILS

- CONCRETE WALKWAY (WHERE OCCURS). SEE PLANS FOR WIDTH, LAYOUT (MAY VARY), FINISH, JOINTS AND ELEVATIONS.
- PARKING BUMPER (AWAY FROM ACCESS AISLE). SEE SPECIFICATIONS.
- ACCESSIBLE PARKING SPACE PAVEMENT MARKING. SEE DETAIL 8.
- 4" WIDE WHITE PARKING STALL DESIGNATION STRIPE. SEE SITE PLAN(S) FOR ADDITIONAL STALL STRIPING.
- ACCESSIBLE PARKING SURFACE IDENTIFICATION PAINTED ON PAVEMENT. SEE DETAIL 7.
- 4" WIDE BLUE BORDER DESIGNATING NON-PARKING ACCESS AISLE TO CURB RAMP.
- MAXIMUM SLOPE ON PARKING STALL AND ACCESS AISLE TO BE 2%.
- VAN ACCESSIBLE SIGNAGE. SEE DETAIL 2. ACCESS AISLE SHALL BE ON PASSENGER SIDE ONLY.
- "NO PARKING" IN MIN 12" HIGH WHITE LETTERS TO BE PLACED WITHIN ACCESS AISLE TO CURB RAMP. SEE DETAIL 8.
- LEVEL LANDING - 2% MAX SLOPE W/36" DEEP DETECTABLE WARNING SURFACE ADJOINING ACCESS AISLE OR VEHICULAR WAY.
- DETECTABLE WARNING SURFACE TO EXTEND FULL WIDTH AND MIN 36" DEEP FROM FRONT EDGE OF SIDEWALK.
- 4" WIDE WHITE HATCHED LINES TO CONTRAST WITH ASPHALT SURFACE. USE BLUE HATCHED LINES FOR LIGHT-COLOR CONCRETE SURFACE.



9 ACCESSIBLE PARKING PLAN



PROJECT MANAGER:
Zaman Hamim
4080 Truxel Road
Sacramento, Ca. 95834
(916) 529-3982
zaman_hamim@yahoo.com

ARCHITECT OF RECORD:
BOULEVARD
Construction
4080 TRUXEL ROAD
SACRAMENTO, CA 95834
PHONE: (916) 892-9949
FAX: (916) 283-7501
pm@theboulevard.us
www.boulevard.com

PROJECT:
PROPOSED GAS STATION /
EXPRESS CARWASH CENTER
1912 NEVADA CITY HWY
GRASS VALLEY, CA 95945

DATE	DESCRIPTION	BY
12/10/21	REVISION 01	
1/10/22		

CURRENT ISSUE DATE:
02/07/23

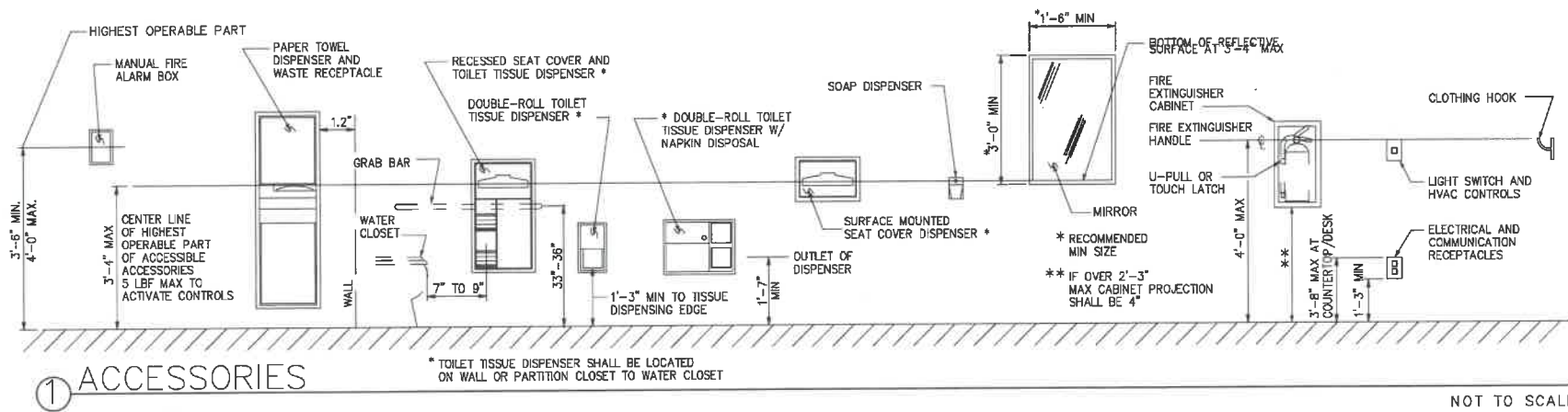
ISSUED FOR :
PERMIT REVIEW

DRAWN BY: BOULEVARD
CHECKED:
APPROVED:

SHEET TITLE:
ACCESSIBLE PARKING PLAN

SHEET #
C-2.0

1" = 10'-0"

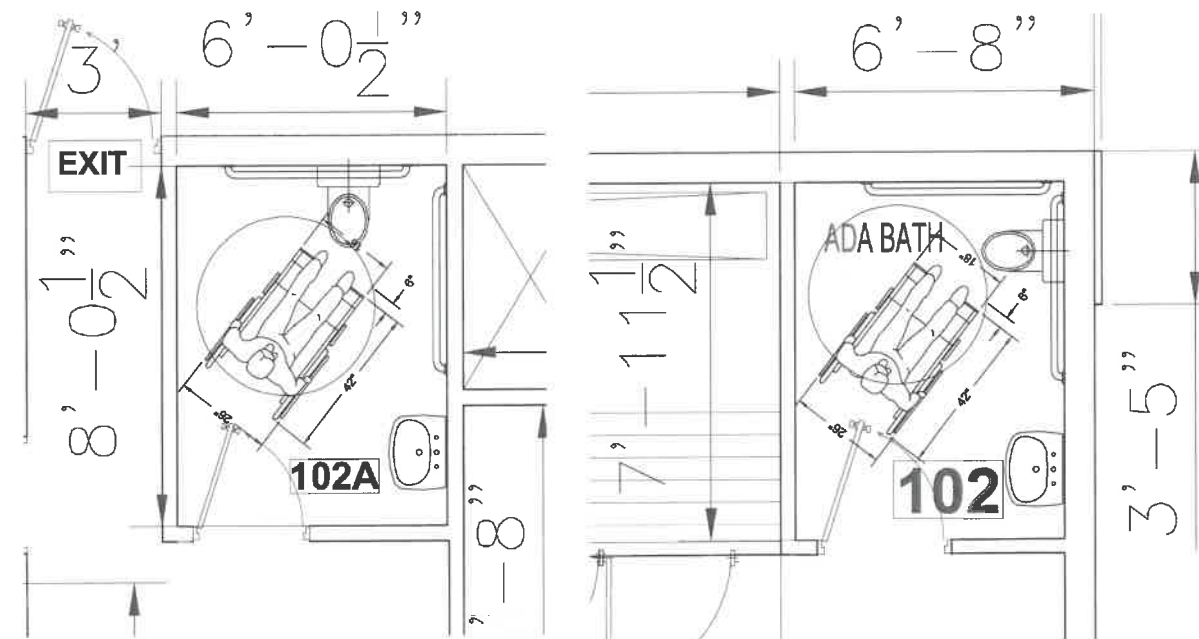
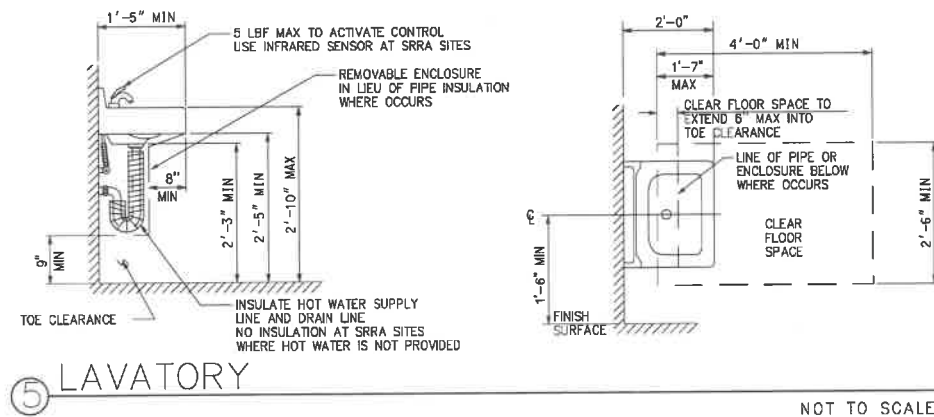
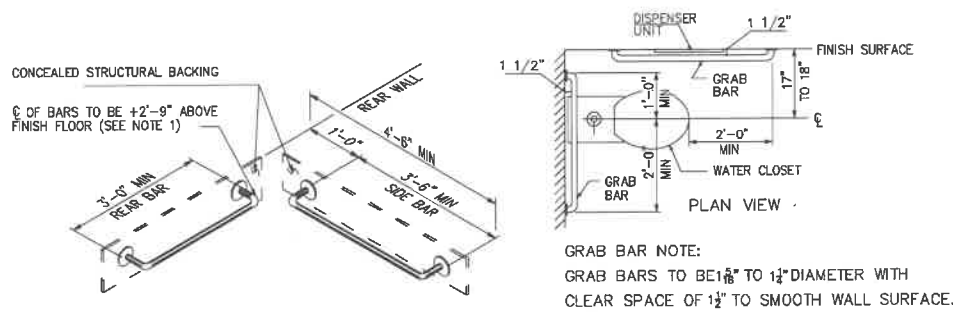
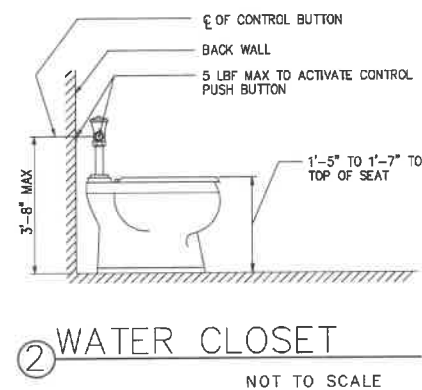


PLUMBING FIXTURE CALCULATION

PER CPC TABLE 4A AND TABLE 422.1

TOTAL AREA: 11,230 SF/700 = 16 SALES AND 1,532SF/300 OFFICE SF = 5

TOTAL REQUIRED TOILET ARE : 2 FOR MALE AND FEMALE



FOR ACCESSIBLE TOILET STALLS AND ABULATORY STALL
DOORS SHALL BE SELF-CLOSING WITH DOOR
HARDWARE COMPLYING WITH CBC SECTION 11B-309.4

RESTROOM FLOOR PLAN

1/4" = 1'-0"



PROJECT MANAGER
Zaman Hamim
4080 Truxel Road
Sacramento, Ca. 95834
(916) 529-3982
zaman.hamim@yahoo.com

ARCHITECT OF RECORD:
BOULEVARD
Construction
4080 TRUXEL ROAD
SACRAMENTO, CA 95834
PHONE: (916) 892-9949
FAX: (916) 283-7501
pm@theboulevard.us
www.boulevard.com

PROJECT:
PROPOSED GAS STATION /
EXPRESS CARWASH CENTER
1912 NEVADA CITY HWY
GRASS VALLEY, CA 95945

REVISIONS:	DATE:	DESCRIPTION	BY:

CURRENT ISSUE DATE:
02/07/23

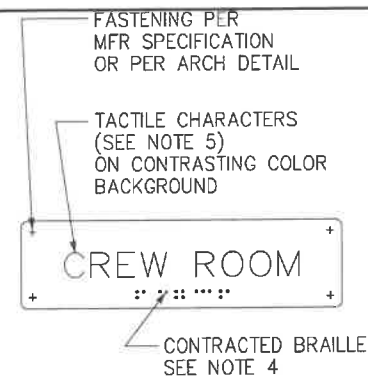
ISSUED FOR :
PERMIT REVIEW

DRAWN BY: BOULEVARD
CHECKED:
APPROVED:

SHEET TITLE:
ADA COMPLIANCE Restroom

SHEET #

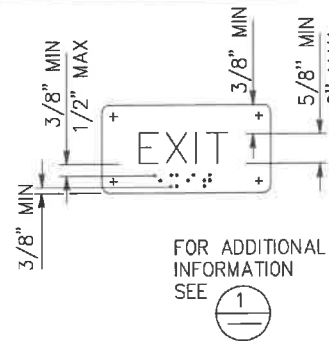
C-3.0



FOR ADDITIONAL INFORMATION SEE

INSTALL PER DETAIL 5.
TEXT VARIES.
SEE PLANS, EXT ELEVATIONS, OR DOOR
SCHEDULE FOR LOCATIONS AND TEXT.
SEE DETAIL 7 FOR SIGN MOUNTING HEIGHTS.

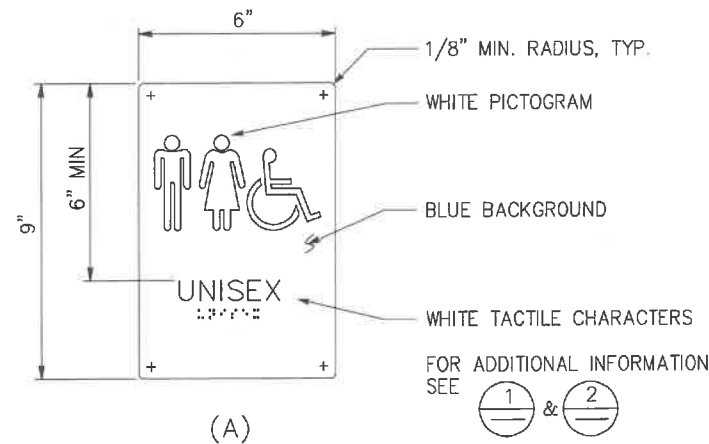
1 ROOM IDENTIFICATION SIGN
NOT TO SCALE



FOR ADDITIONAL INFORMATION SEE

INSTALL PER DETAIL 5.
TEXT MAY VARY.
SEE PLANS, OR DOOR
SCHEDULE FOR LOCATIONS AND TEXT.
SEE DETAIL 7 FOR SIGN MOUNTING HEIGHTS.

2 INTERIOR EXIT SIGN
NOT TO SCALE



(A)

FOR ADDITIONAL INFORMATION SEE &



(B)



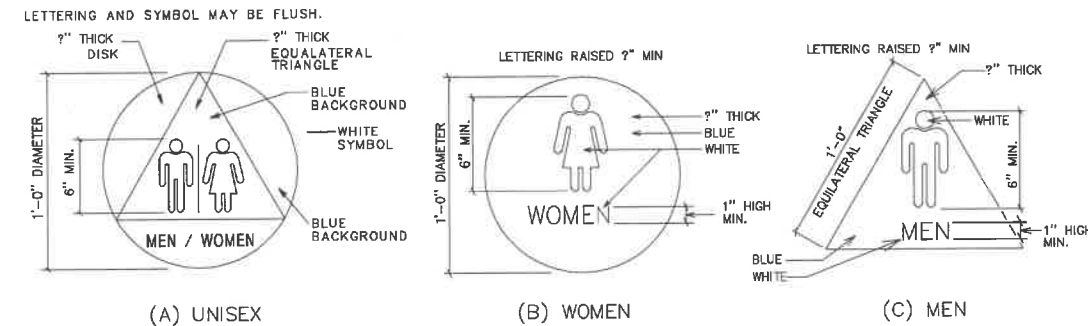
(C)

INSTALL PER DETAIL 5.
SEE DETAIL 7 FOR SIGN MOUNTING HEIGHT.

3 RESTROOM/SHOWER ROOM SIGNS
NOT TO SCALE

SIGNAGE NOTES:

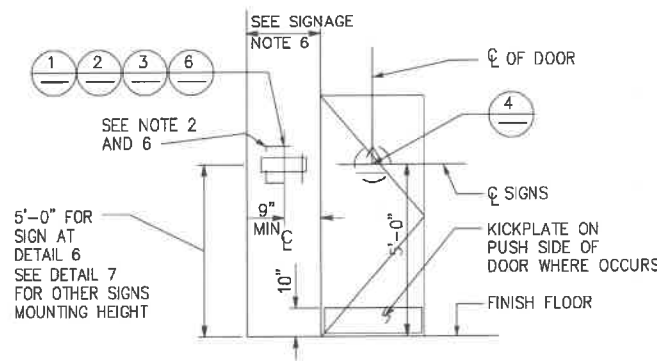
1. Locate room identification signs, exit signs, and restroom signs on wall adjacent to door on latch side. If wall space is not available on latch side, locate on nearest adjacent wall. Locate sign on inactive leaf at double doors, or to the right of right hand door at double doors with two active leaves.
2. Refer to specifications for sign material and other color selection. Except Detail 6, sign colors may vary from details.
3. See door schedule for text and sign location, UON.
4. Contracted Braille: dots shall be 1/10" OC in each cell with 2/10" space between cells measured from the second column of dots in the first cell to the first column of dots in the second cell. Dots shall be raised a minimum of 1/40" above the background. Dots shall be domed or rounded.
5. Tactile characters shall be uppercase sans serif raised 1/8" min. Fonts shall be selected where width of letter "O" is 60% min and 110% max of height of letter "I". Stroke thickness of letter "I" is 10% min and 20% max of height of the character.
6. Provide 18"x18" min clear floor space in front of and centered on any tactile sign.
7. Sign color shall have a minimum of 70% contrast to door or wall color. Text and pictogram shall have a minimum of 70% contrast to sign color.
8. Tactile character height is measured based on height of uppercase letter "I".



(A) UNISEX

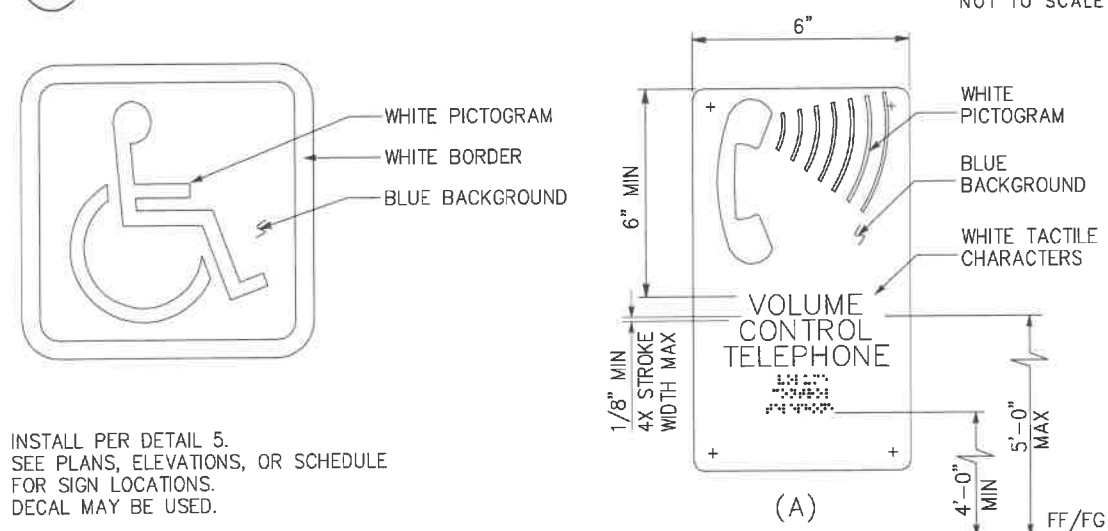
(B) WOMEN

(C) MEN



REFER TO SIGNAGE NOTES
FOR ADDITIONAL INFORMATION.

4 RESTROOM/SHOWER ROOM IDENTIFICATION SYMBOLS
NOT TO SCALE



(A)

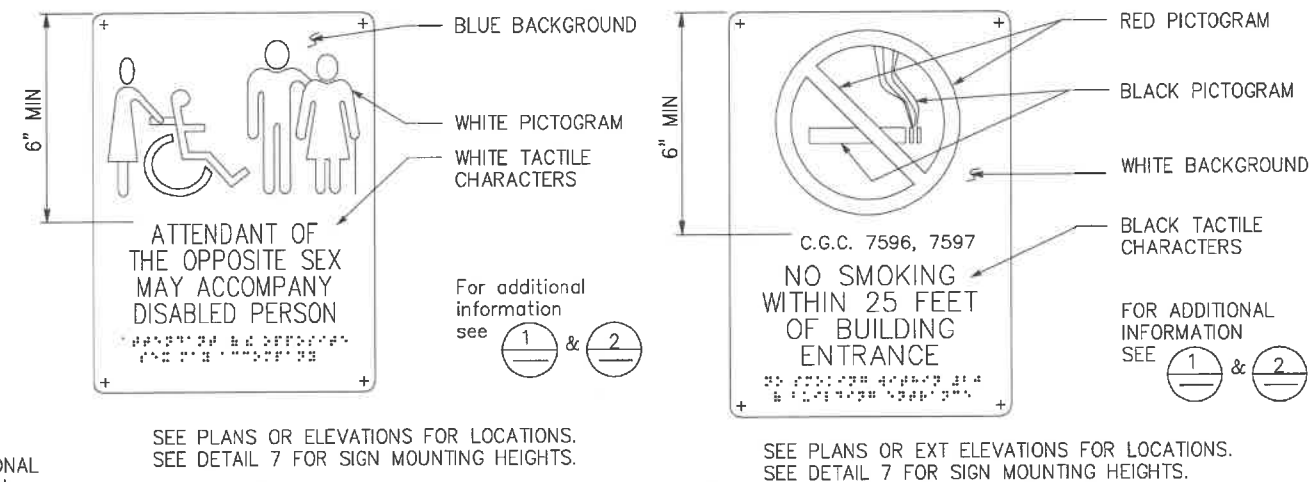
(B) FOR ADDITIONAL INFORMATION SEE &

NOT TO SCALE

6 INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN
NOT TO SCALE

7 TELEPHONE SIGNS
NOT TO SCALE

5 SIGN LOCATIONS
NOT TO SCALE



SEE PLANS OR ELEVATIONS FOR LOCATIONS.
SEE DETAIL 7 FOR SIGN MOUNTING HEIGHTS.

SEE PLANS OR EXT ELEVATIONS FOR LOCATIONS.
SEE DETAIL 7 FOR SIGN MOUNTING HEIGHTS.

8 RESTROOM ACCOMPANY SIGN
NOT TO SCALE

9 NO SMOKING SIGN
NOT TO SCALE



PROJECT MANAGER:
Zaman Hamim
4080 Truxel Road
Sacramento, Ca. 95834
(916) 529-3882
zaman.hamim@yahoo.com

ARCHITECT OF RECORD:
BOULEVARD
Construction

4080 TRUXEL ROAD
SACRAMENTO, CA 95834
PHONE: (916) 892-9949
FAX: (916) 283-7501

pm@theboulevard.us
www.boulevard.com

PROJECT:
**PROPOSED GAS STATION /
EXPRESS CARWASH CENTER
1912 NEVADA CITY HWY
GRASS VALLEY, CA 95945**

REVISIONS:	DATE:	DESCRIPTION:
1	12/01/21	REVISION

CURRENT ISSUE DATE:
02/07/23

ISSUED FOR:
PERMIT REVIEW

JOB#

DRAWN BY: BOULEVARD

CHECKED:

APPROVED:

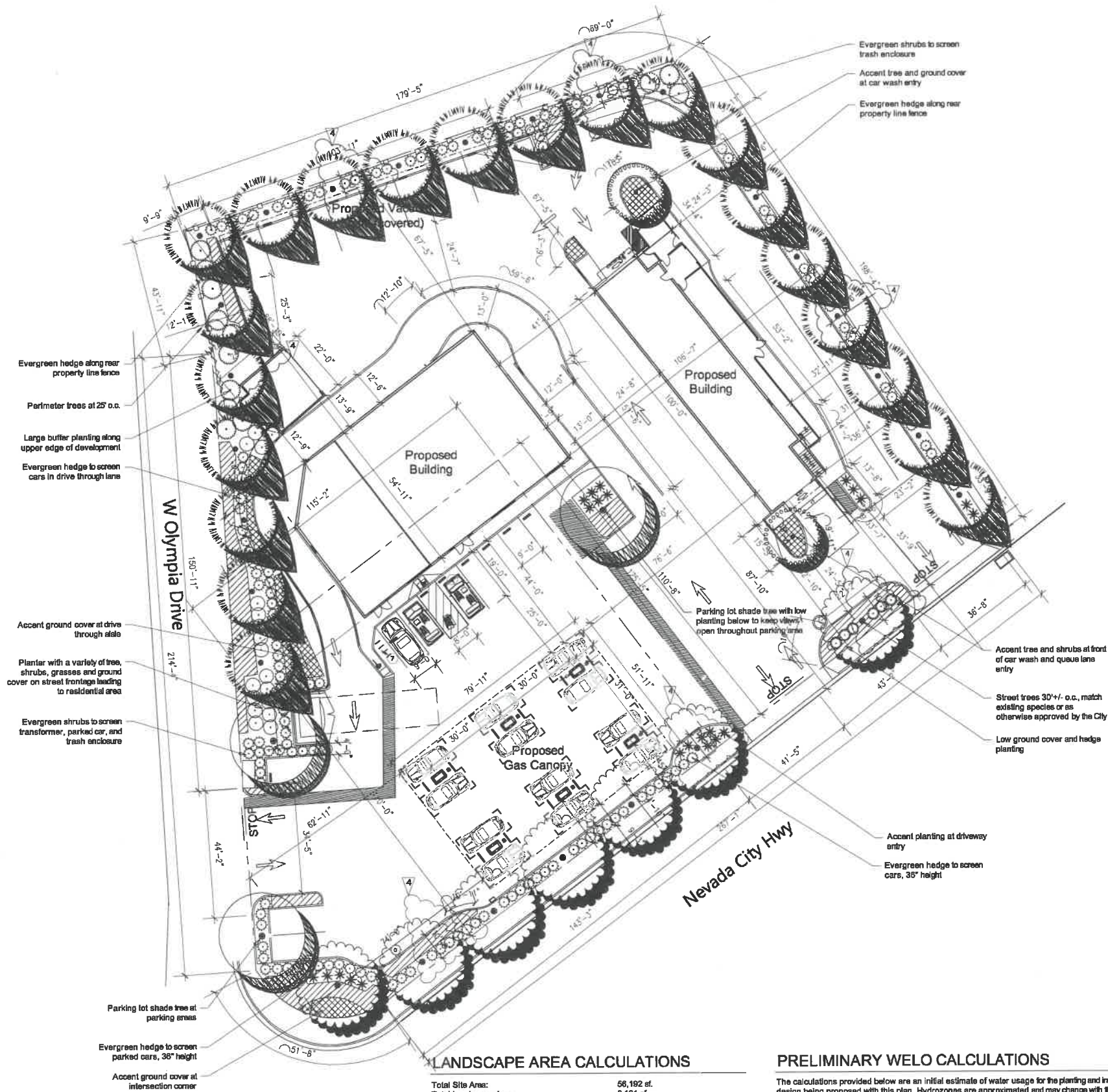
SHEET TITLE

ADA INFORMATION

SHEET #

C-4.0

This drawing, printed or otherwise, is the copyrighted property of Sam Harned Landscape Architecture and is to be used for the project or site for which it was prepared. The drawing may not be published, reproduced, copied or otherwise used without the written permission of Sam Harned Landscape Architecture.



LANDSCAPE AREA CALCULATIONS

Total Site Area:	56,192 sf.
Total Landscape Area:	8,131 sf.
Percentage of Total Site as Landscape:	14 %

PARKING LOT TREE REQUIREMENTS

Number parking spaces:	11
Req'd trees (1 tree per 5 parking spaces):	3
Trees Provided:	3

PRELIMINARY WELO CALCULATIONS











The calculations provided below are an initial estimate of water usage for the planting and irrigation design being proposed with this plan. Hydrozones are approximated and may change with the final design, but the overall intent will remain and compliance with WELO will be achieved.

City (ETO): Grass Valley (47.7)

Plant Type	Water Use (per WUCOLS)	Type of Irrigation (E)	Plant Factor	Hydrozone Area (sf)	ETWU (gal.)
Shrubs	Moderate	Drip (0.81)	0.5	2,557 sf	46,679
Shrubs	Low	Drip (0.81)	0.3	5,574 sf	61,054
Total:				8,131 sf	107,733

Estimated Total Water Use (ETWU):	107,733 gal.
Maximum Applied Water Allowance (MAWA):	18,210 gal.
Estimated Average ETAP:	0.45
Maximum Allowable ETAP:	0.45

CONCEPT PLANT SCHEDULE

	PARKING LOT SHADE TREE Deciduous shade tree at parking areas to meet minimum City requirement (1 tree / 5 spaces) Acer truncatum x planatoides 'Warrenred' / Pacific Sunset® Maple Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache	3	15 gal. 15 gal.
	SHADE / PERIMETER TREE Shade tree along perimeter to meet City requirements (1 tree @ 25' o.c.) Calocedrus decurrens / Incense Cedar Umbellularia californica / Bay Laurel	21	15 gal. 15 gal.
	STREET TREE Tree along street frontage to meet City minimum requirements (1 tree each 30') Acer rubrum 'October Glory' / October Glory Red Maple Lagerstroemia indica / Crape Myrtle	7	15 gal. 15 gal.
	ACCENT TREE Small to medium tree with interesting form or flowers. Acer palmatum / Japanese Maple Cercis occidentalis / Western Redbud	2	15 gal. 15 gal.
	EVERGREEN SHRUB / HEDGE Small to medium evergreen shrub, 3'-5' height Ilex vomitoria 'Nana' / Dwarf Yaupon Holly Raphiolepis umbellata 'Minor' / Dwarf Yedda Hawthorn	174	5 gal. 5 gal.
	BUFFER SHRUB Medium to large shrubs for mass planting and buffers Arctostaphylos densiflora 'Howard McMinn' / Howard McMinn Vine Hill Manzanita Heteromeles arbutifolia / Toyon Rhamnus californica 'Eve Case' / Eve Case Coffeeberry	14	5 gal. 5 gal. 7 gal.
	ACCENT SHRUB Small to medium shrub with interesting form or color, for use at entries and high visibility areas Dielsia indioides / Fortnight Lily Kniphofia uvaria / Red Hot Poker Salvia microphylla / Graham Sage Salvia x 'Celestial Blue' / Celestial Blue Sage	25	5 gal. 5 gal. 5 gal.
	INFILL SHRUB Small to medium shrub for mass planting Callistemon viminalis 'Little John' / Little John Weeping Bottlebrush Muhlenbergia capillaris / Pink Muhly Grass Muhlenbergia rigens / Deer Grass	18	5 gal. 5 gal. 5 gal.
	LOW EVERGREEN GROUND COVER Evergreen ground cover for mass planting, 6'-18" tall Arctostaphylos x 'Emerald Carpet' / Emerald Carpet Manzanita Baccharis pilularis 'Pigeon Point' / Pigeon Point Coyote Brush Rosmarinus officinalis 'Huntington Carpet' / Huntington Carpet Rosemary	1,792 sf	207 1 gal. 75 1 gal. 117 1 gal.
	ACCENT GROUND COVER Ground cover with interesting flowers or texture, 12'-24" height Salvia sonomensis / Creeping Sage Zauschneria californica / California Fuchsia	739 sf	48 1 gal. 86 1 gal.

WELO COMPLIANCE

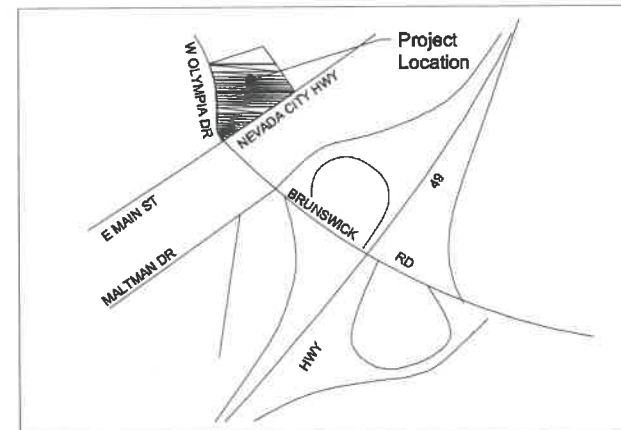
This project has been designed to conform with the State's Model Water Efficient Landscape Ordinance (MWELO).

IRRIGATION DESIGN

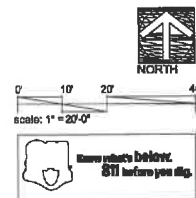
The irrigation on the site will use drip irrigation, will meet the City's requirements, and will comply with the requirements of WELO. Equipment will include dedicated irrigation meter, smart controller, weather sensor, and efficient irrigation emitters, nozzles, and other equipment.

PLANTING DESIGN

The landscape design uses water-wise plant species suitable for this region and that are low maintenance and durable, uses trees to shade paved areas, and plants have been grouped into hydro-zones. References used for the landscape design include published information from the local jurisdiction, Sunset Western Garden Book and WUCOLS.



VICINITY MAP : nts



Sam Harned Landscape Architecture
P.O. Box 2275
Oakdale, CA 95361
209-340-7376
www.harned.com

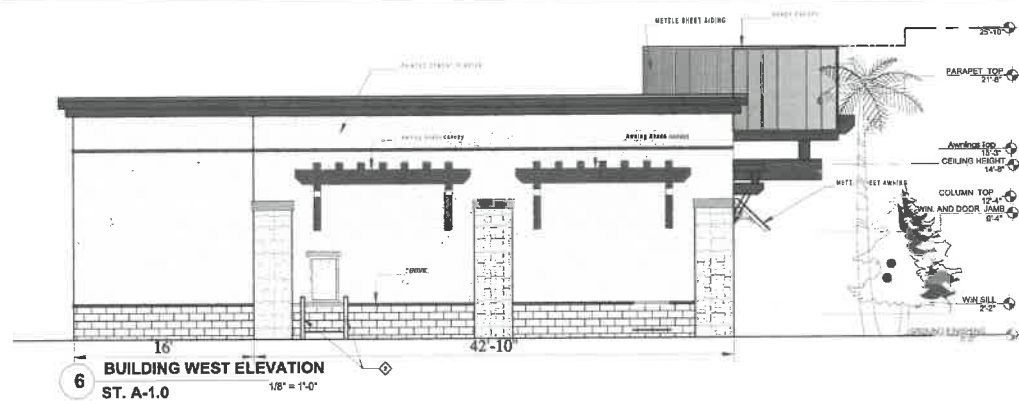
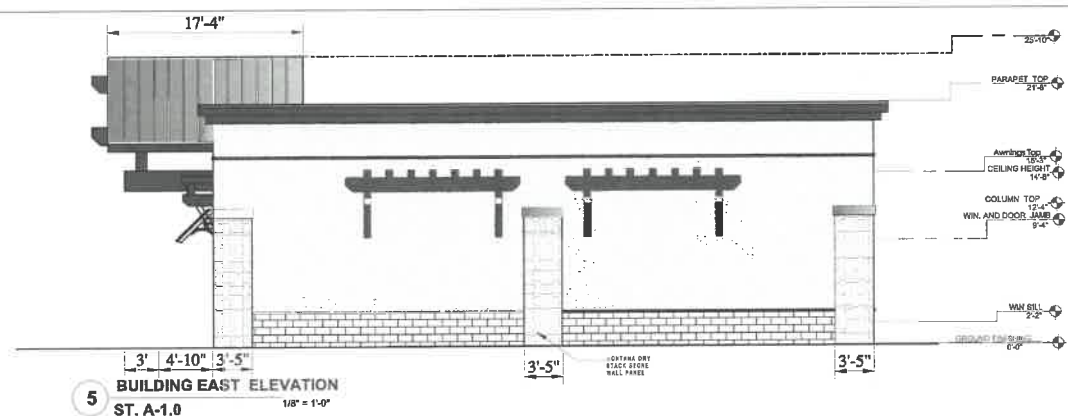
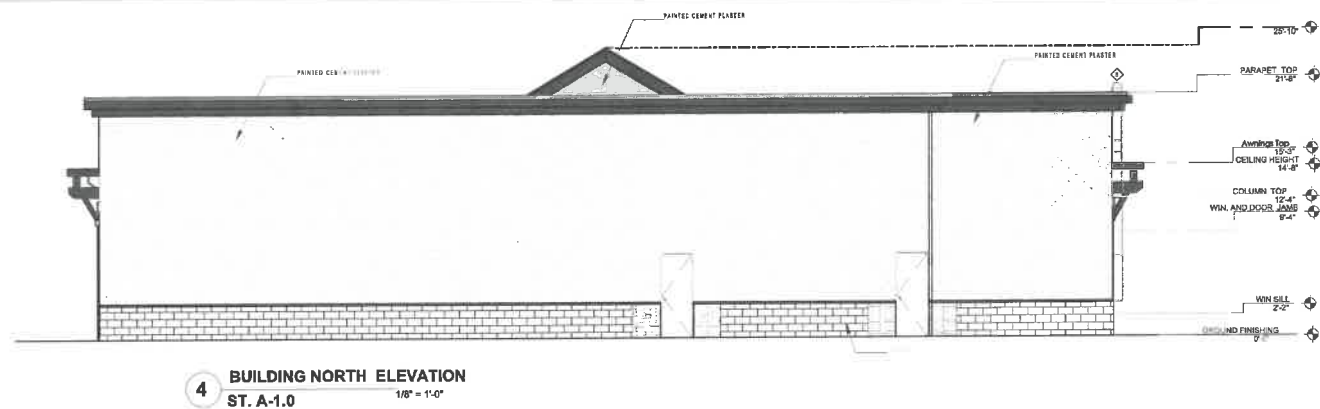
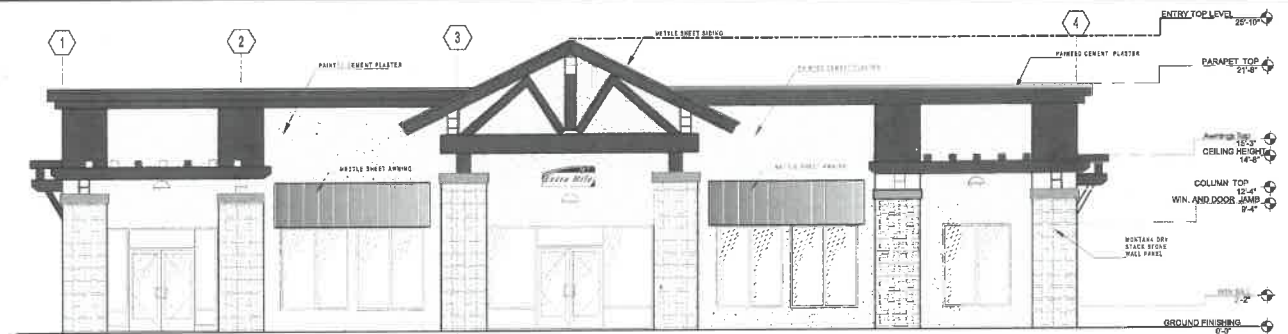
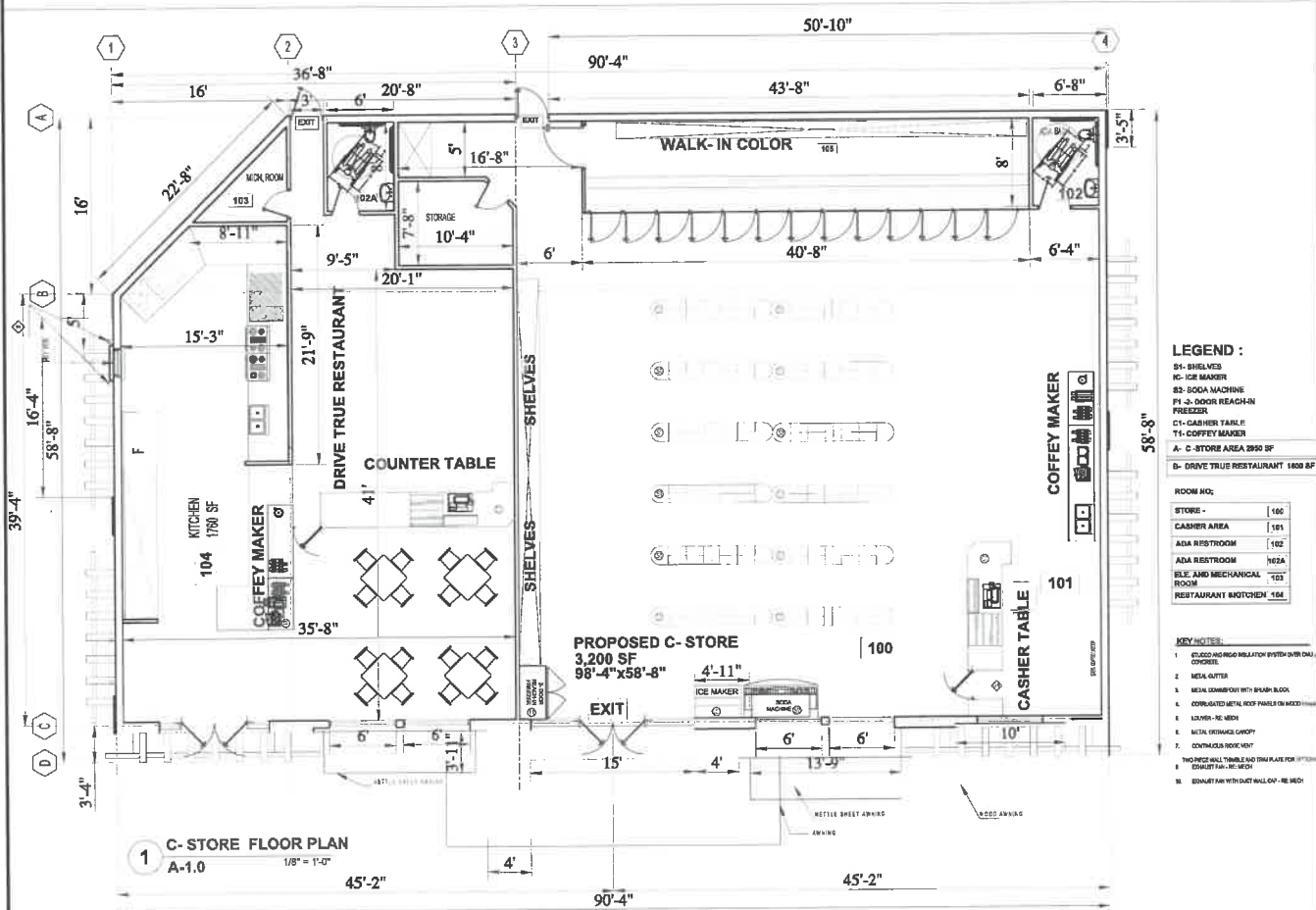
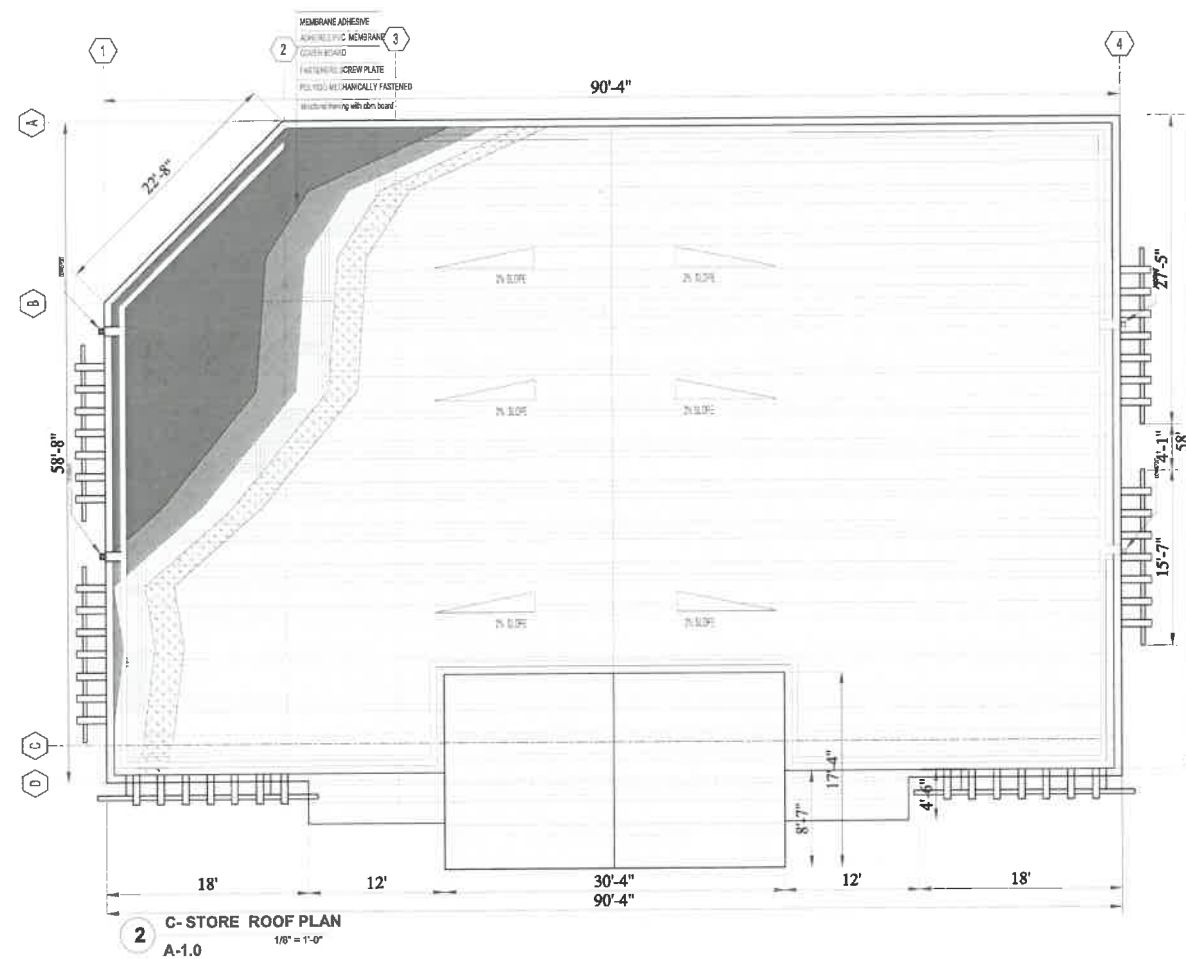


Project:
GAS STATION AND CAR WASH
1912 NEVADA CITY HWY, GRASS VALLEY, CA

Revision:	
No. Desc.	Date

Date:	18 Nov 2022
Drawn:	RSH
Checked:	RSH
Project No.:	22-059
Scale:	1" = 20'-0"

Sheet:
Preliminary Landscape Plan



LEGEND :

D1- SHELVES
IC- ICE MAKER
S2- SOBA MACHINE
P1- DOOR REACH-IN
FREEZER
C1- CASHIER TABLE
T1- COFFEE MAKER
A- C- STORE AREA 2950 SF
B- DRIVE THRU RESTAURANT 1600 &P

ROOM NO:

STORE -	100
CASHIER AREA	101
ADA RESTROOM	102
ADA RESTROOM	102A
BLE AND MECHANICAL ROOM	103
RESTAURANT KITCHEN	104

KEYNOTE :

1- Large Pile Shelf or Pouch Bracket Large cone-shaped bracket adds perfect shelf to the site.
2- HEAVY DUTY SAFETY BOLLARD - 6 1/2 X 30", FORD
HEAVY DUTY SAFETY BOLLARD - 6 1/2 X 30", FORD 14-4070
ENLARGE MORE IMAGES
PROTECT EQUIPMENT FROM DAMAGE CAUSED BY FORKLIFTS AND
PALLET TRUCKS.
STURDY STEEL BOLLARD POSTS HAVE REMOVABLE BLACK CAPS. FUL
WITH CONCRETE FOR EXTRA STRENGTH.
3 D SHAPE STEEL
PERMANENT INSTALLATION
CONCRETE INSTALLATION KIT AND 10" STEEL CHAIN AVAILABLE.
4. DORADO STONE / STONE VENEER
5. INTERIOR GYPSUM BOARD

A- BATT INSULATION
B- WOOD FRAMING
C- EXTERIOR GRADE SHEATHING
D- LAYERS OF WRB.
E- LATH
F- LATH FASTENERS/ TYPE & SPACING PER ASTM C-1063
G- MORTAR SCRATCH COAT
H- MORTAR SETTING BED
I- ADORNED CONCRETE MASONRY VENEER

J- MORTAR JOINT
K- W/6 LAPPED OVER WEEP SCREEN
L- WEEP SCREEN
M- WOOD SIDING
N- STEEL COATED LADDER
O- FLASHING METAL SIDING WITH PAINT



PROJECT MANAGER:
Zaman Hamim
4080 Truxel Road
Sacramento, Ca. 95834
(916) 529-3982
zaman_hamim@yahoo.com

ARCHITECT OF RECORD :
BOULEVARD
Construction
4080 TRUXEL ROAD
SACRAMENTO, CA 95831
PHONE: (916) 892-9944
FAX: (916) 283-7501
pm@theboulevard.us
www.boulevard.com

PROJECT: PROPOSED GAS STATION /
EXPRESS CARWASH CENTER
1912 NEVADA CITY HWY
GRASS VALLEY, CA 95945

REVISIONS:		DATE:	DESCRIPTION	BY:
		11/12/2022	REVISION - 3	

CURRENT ISSUE DATE:

ISSUED FOR :
01 /26 /2023

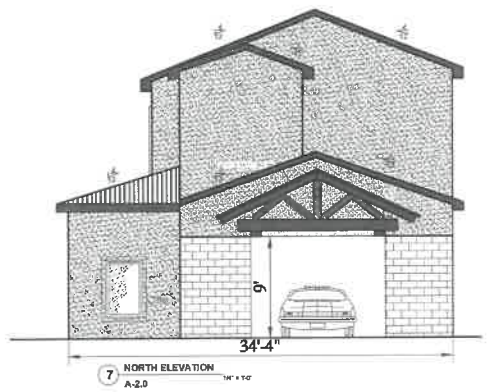
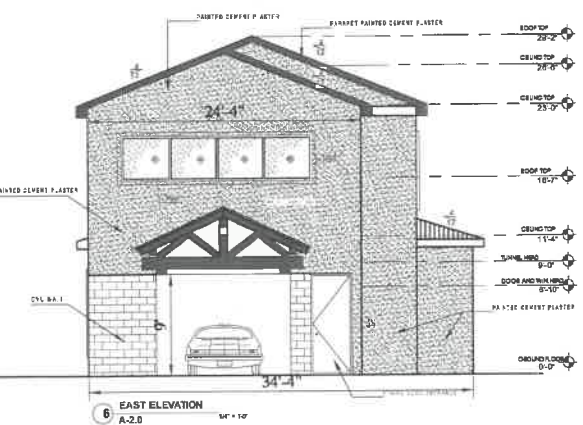
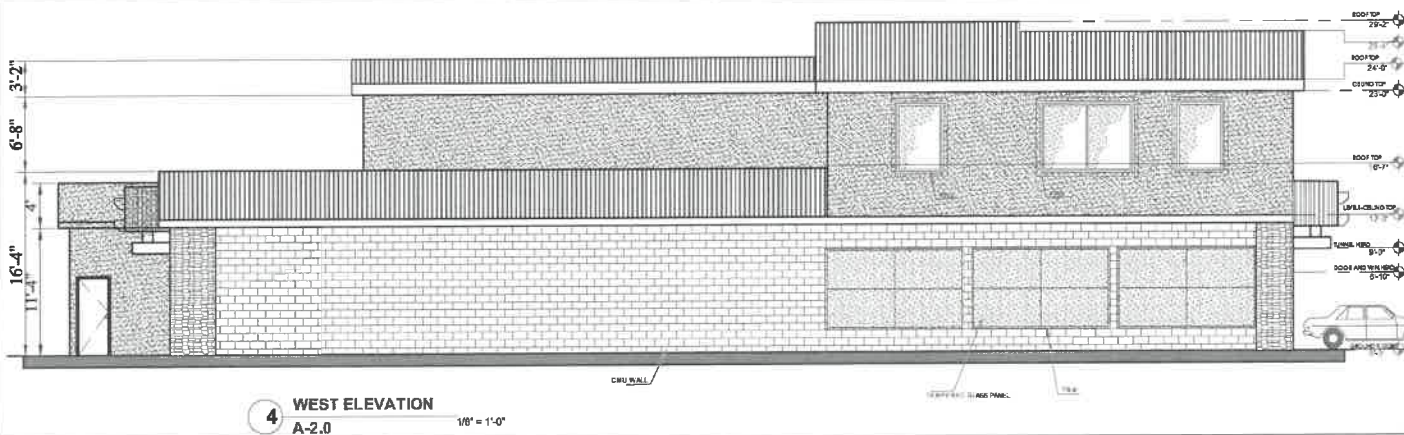
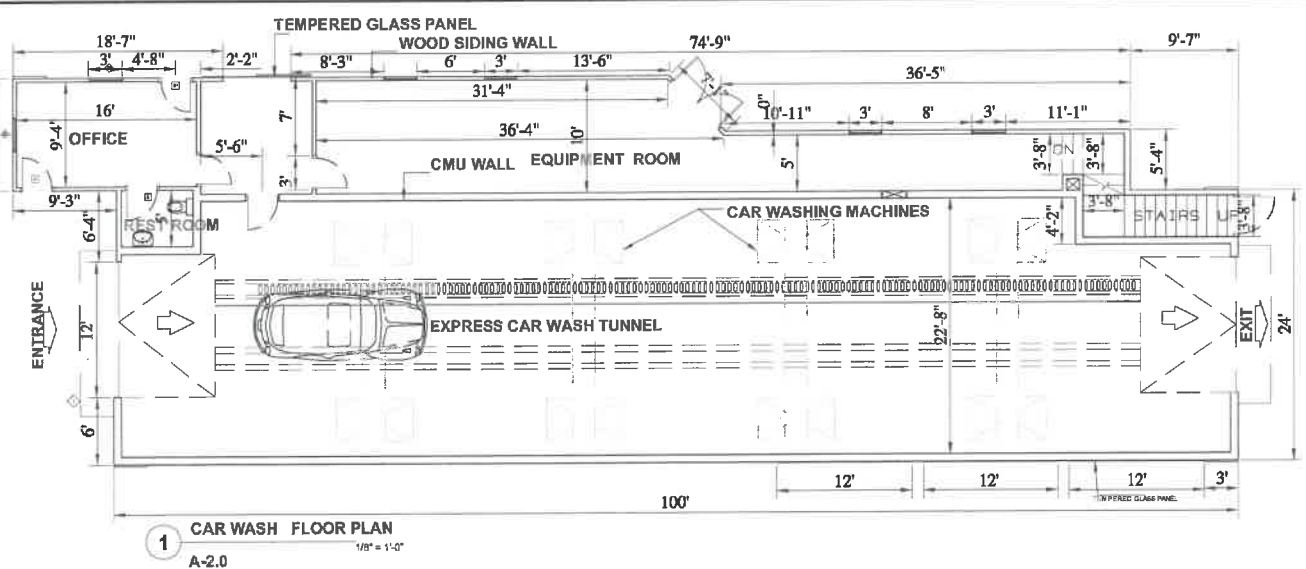
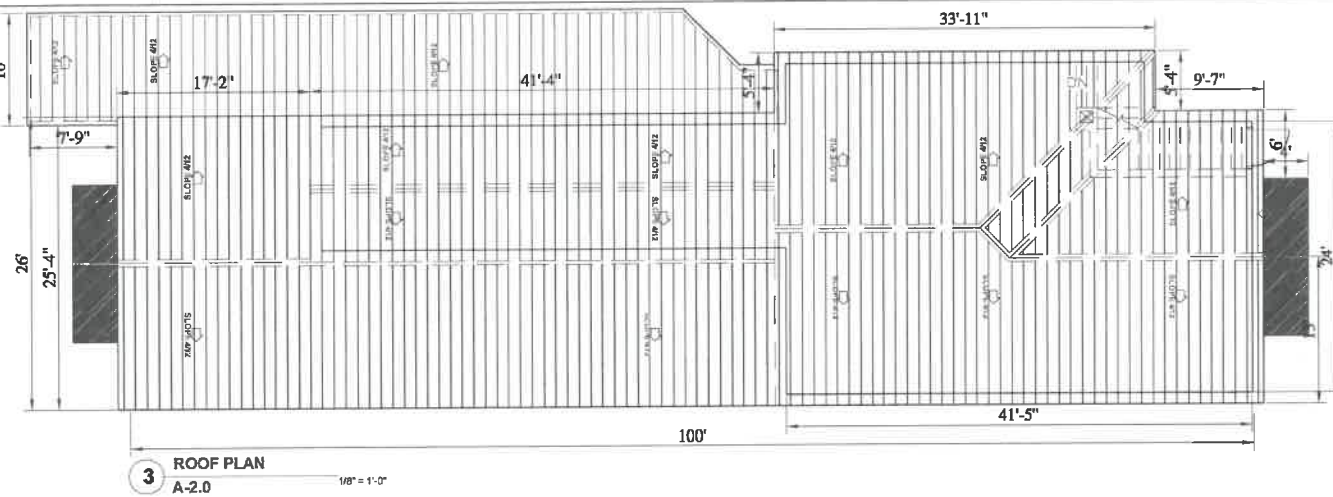
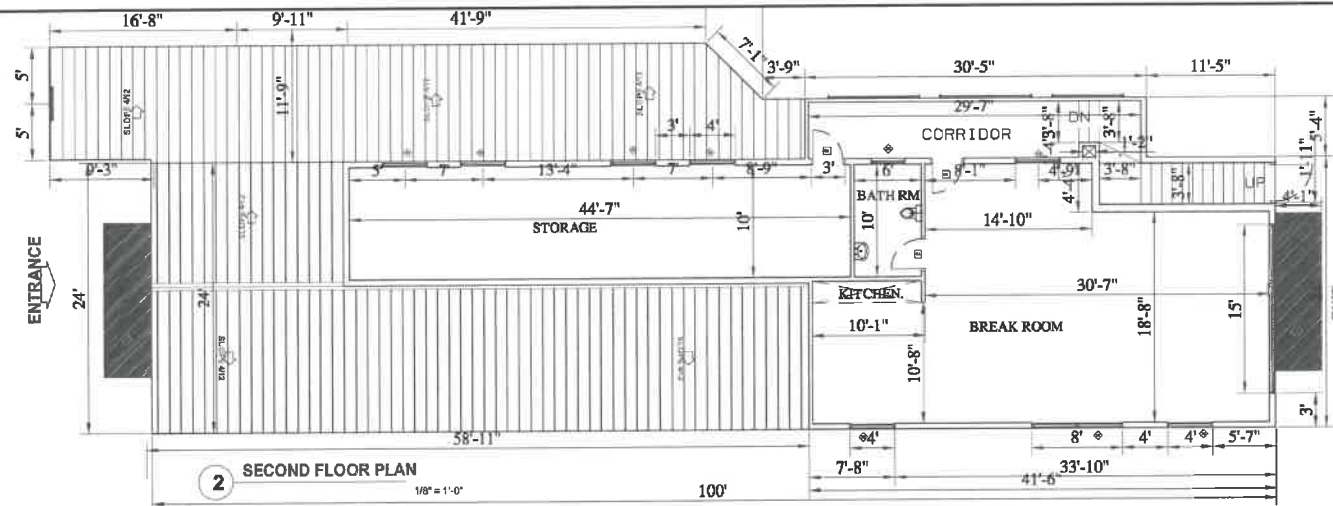
JOB

DRAWN BY: BOULEVARD
CHECKED:
APPROVED:

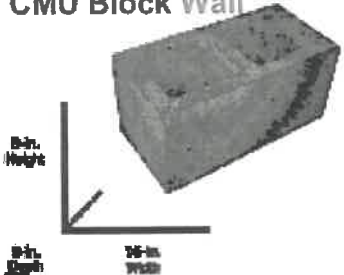
SHEET TITLE
C-Store Building plan,elevations &
roof plan and drive thru restaurant

SHEX #

A-1.0



CMU Block Wall



CRISP LINEN MQS-13



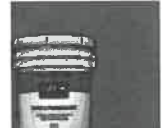
RED CHIPOTEL S180-7 (1/E)



COLOR NATIVE SOIL PPU-7-24 (1)



ANTIQUE TREASURE N 280-5



RED CHIPOTEL S180-7 (1/E)



ANTIQUE TREASURE N 280-5



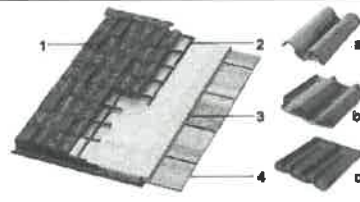
15/32" OSB SHEATHING

- CONTINUOUS ROOF VENT
- METAL Drip EDGE
- ROOFED VENT
- CONTINUOUS ROOF VENT
- ROLL UP GARAGE DOOR
- WOODSIE
- INSURTY CONCRETE PULV (7/8" FIBER) 2 1/2" BROWN/GRAY
- FLASHING METAL SIDING WITH PINT

LEGEND :

Large Pine Shelf or Porch Bracket
Large cover-shaped bracket adds period charm throughout the carwash.

ASPHALT ROOFS ASPHALT ROOFS IS THE MOST POPULAR AND PREFERRED CHOICE AMONG PEOPLE FOR RESIDENTIAL HOME. THESE TYPES OF ROOFS ARE VERY EASY TO INSTALL. IT COMES WITH WIDE VARIETY OF COLORS AND IT IS HIGHLY FIRE AND WIND RESISTANT.



PROJECT MANAGER:
Zaman Hamim
4080 Truxel Road
Sacramento, Ca. 95834
(916) 529-3582
zaman_hamim@yahoo.com

ARCHITECT OF RECORD :
BOULEVARD
Construction
4080 TRUXEL ROAD
SACRAMENTO, CA 95834
PHONE: (916) 892-9949
FAX: (916) 283-7501
pm@theboulevard.us
www.theboulevard.us

PROJECT:
**PROPOSED GAS STATION /
EXPRESS CARWASH CENTER**
1912 NEVADA CITY HWY
GRASS VALLEY, CA 95945

REVISIONS:	DATE:	DESCRIPTION:	BY:
1	01/12/2022	REVISION 4	

CURRENT ISSUE DATE:

ISSUED FOR :
02/07/2023

JCH

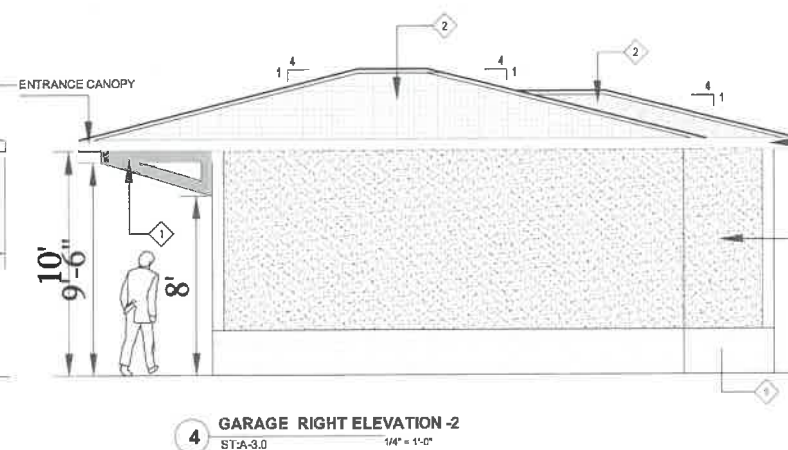
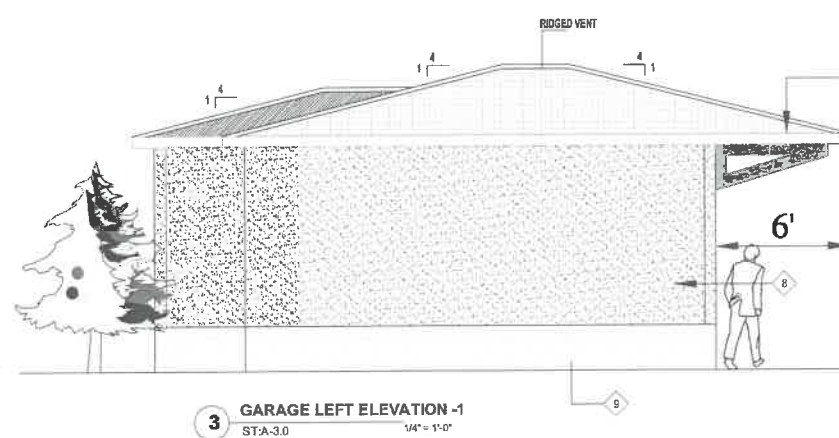
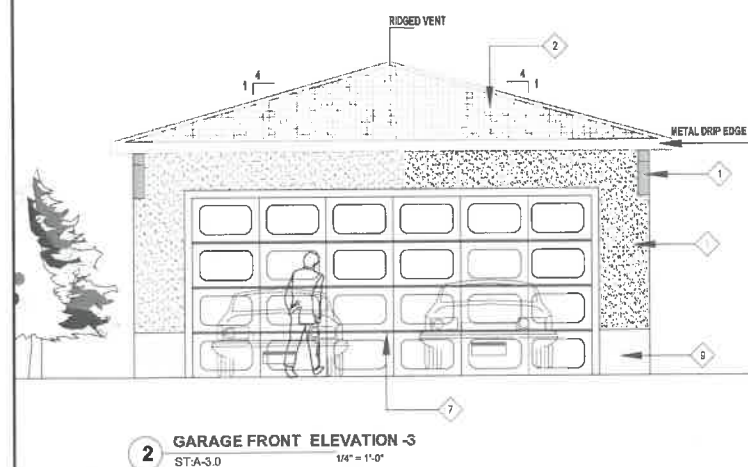
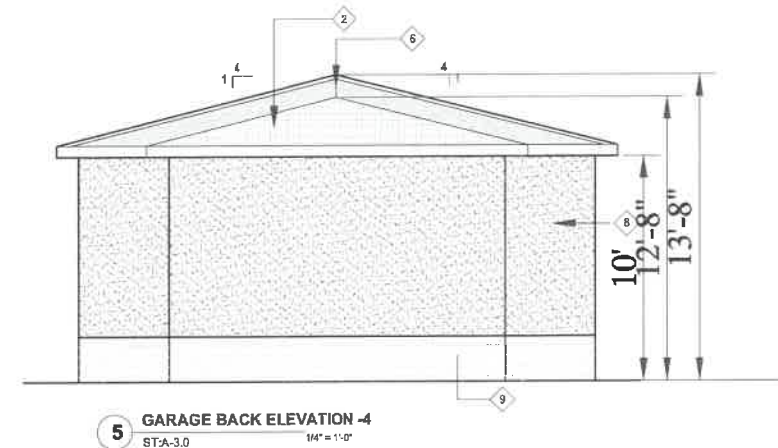
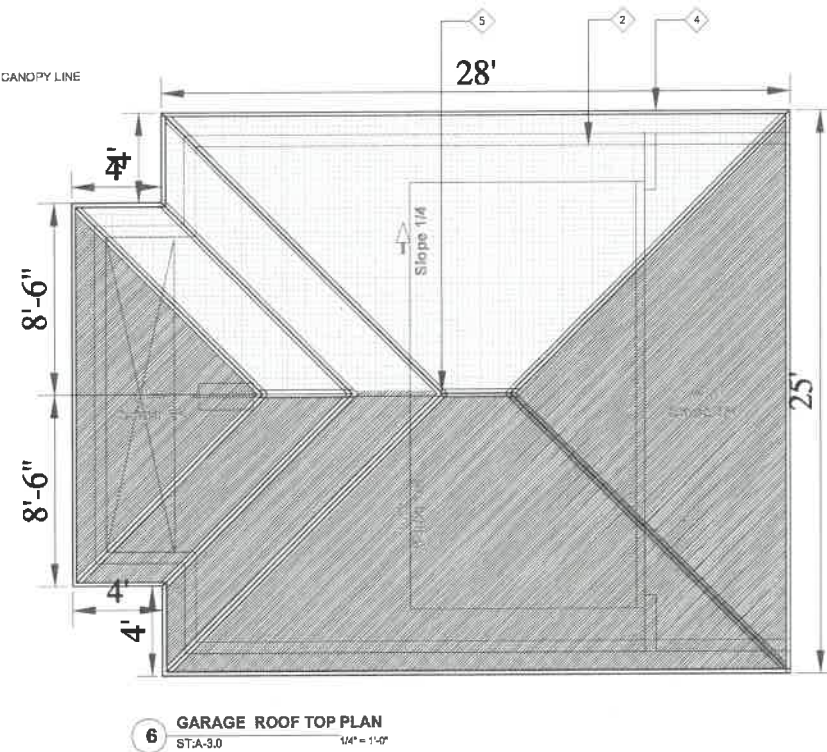
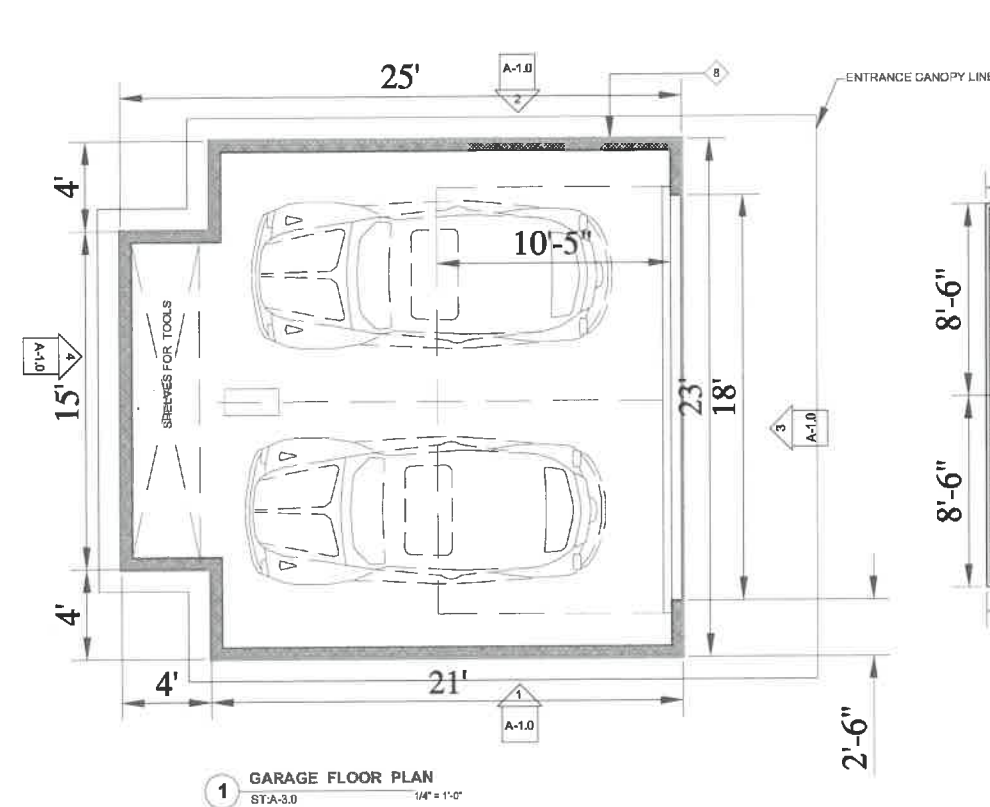
DRAWN BY: BOULEVARD
CHECKED:
APPROVED:

SHEET TITLE

Expr. Carwash Building
plan, elevations & roof plan

SHEET #

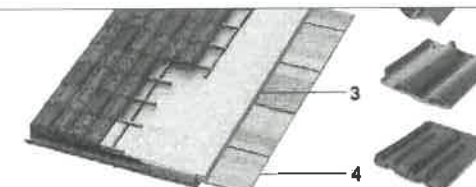
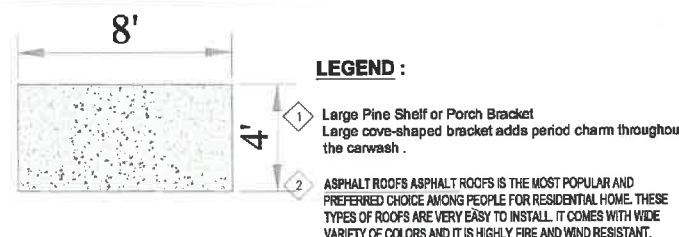
A-2.0



- LEGEND :**
- 1 Large Pine Shelf or Porch Bracket 8" x 6" x 2" Large cove-shaped bracket adds period charm throughout the Garage .
 - 2 ASPHALT ROOFS ASPHALT ROOFS IS THE MOST POPULAR AND PREFERRED CHOICE AMONG PEOPLE FOR RESIDENTIAL HOME. THESE TYPES OF ROOFS ARE VERY EASY TO INSTALL. IT COMES WITH WIDE VARIETY OF COLORS AND IT IS HIGHLY FIRE AND WIND RESISTANT.
 - 3 CONTINUOUS RIDGE VENT
 - 4 METAL DRIP EDGE
 - 5 RIDGED VENT
 - 6 CONTINUOUS RIDGE VENT
 - 7 ROLL UP GARAGE DOOR
 - 8 15/32" OSB SHEATHING WITH PAINTED PLASTER
 - 9 MASONRY CONCRETE WALL FLASHING HEIGHT 6" ABOVE GROUND



- 3 CONTINUOUS RIDGE VENT 4 METAL DRIP EDGE 5 RIDGED VENT 6 CONTINUOUS RIDGE VENT 7 ROLL UP GARAGE DOOR 8 WOODSIDE 9 MASONRY CONCRETE WALL FLASHING HEIGHT 6" ABOVE GROUND 10 FLASHING METAL SIDING WITH PINT



PROJECT MANAGER:
Zaman Hamim
4080 Truxel Road
Sacramento, Ca. 95834
(916) 529-3982
zaman.hamim@yahoo.com

ARCHITECT OF RECORD :
BOULEVARD
Construction
4080 TRUXEL ROAD
SACRAMENTO, CA 95834
PHONE: (916) 892-9949
FAX: (916) 283-7501
pm@theboulevard.us
www.boulevard.com

PROJECT:
PROPOSED GAS STATION /
EXPRESS CARWASH CENTER
1912 NEVADA CITY HWY
GRASS VALLEY, CA 95945

REVISIONS:	DATE:	DESCRIPTION	BY:
1	01/12/2022	REVISED	

CURRENT ISSUE DATE:
ISSUED FOR :
02 /07/2023
JULY

DRAWN BY: BOULEVARD
CHECKED:
APPROVED:

SHEET TITLE:
DETAILING GARAGE PLAN
, ROOF PLAN & ELEVATIONS

SHEET #

A-3.0

ARCHITECT OF RECORD:

BOULEVARD
Construction

4080 TRUXEL ROAD
SACRAMENTO, CA 95834

PHONE: (916) 892-9949
FAX: (916) 283-7501

om@theboulevard.us
www.boulevard.com

**PROJECT: PROPOSED GAS STATION / EXPRESS CARWASH CENTER
1912 NEVADA CITY HWY
GRASS VALLEY, CA 95945**

DATE:	DESCRIPTION	BY:
12/13/2001	REVISION-0	

CURRENT ISSUE DATE:

ISSUED FOR :
02/07/2023

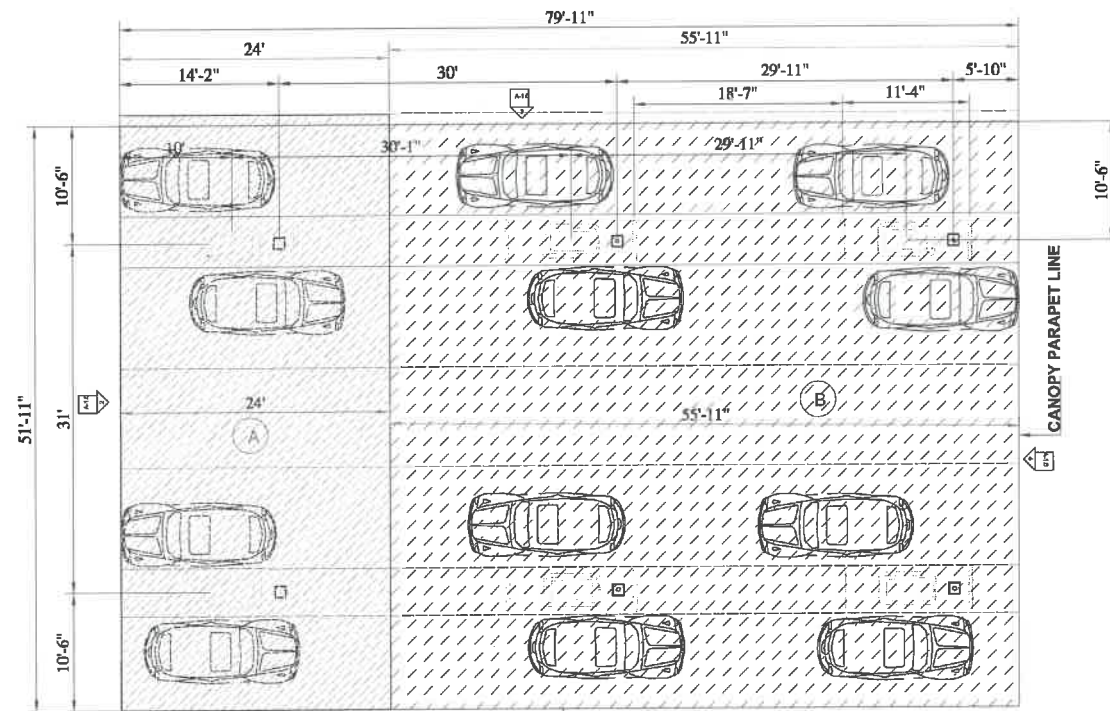
094

DRAWN BY: BOULEVARD
CHECKED:
APPROVED:

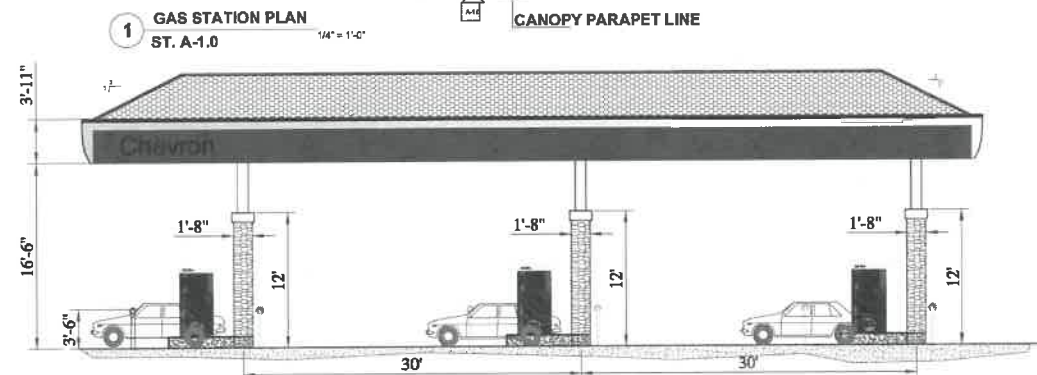
**GAS STATION PLAN ,&
ELEVATIONS**

STREET 7

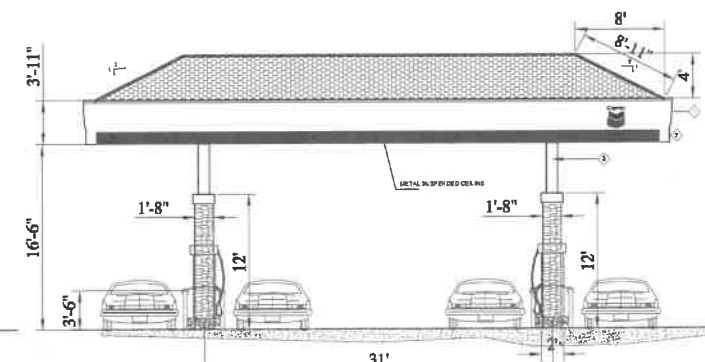
A-4.0



1 GAS STATION PLAN
ST. A-1.0 1/4" = 1'-0"



2 ELEVATION -1 AND 3
ST. A-1.0 $1/4" = 1'-0"$



2 ELEVATION -2 AND 4
ST. A-1.0 $1/4" = 1'-0"$

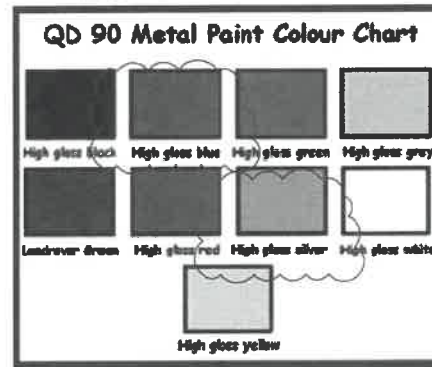
NOTE:

A- EXISTING MPD AREA = 1248 SF

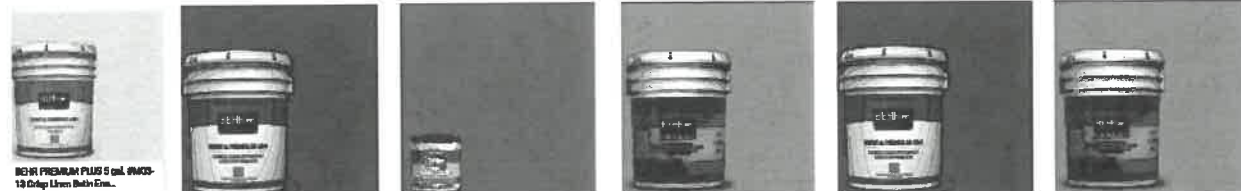
B. PROPOSED MPD AREA -2912 SF

LEGEND:

- 1- FLASHING METAL SHEET SIDING OD METAL PAINT COLOR HIGH GLASS BLUE
- 2- STAINLESS STEEL FLASHING METAL SIDING
- 3- STEEL TUBE COLUMN 6x6'
- 4- METAL SUSPENDED CEILING



PAINT COLOR CHART



CRISP LINEN MQ3-13

RED CHIPOTEL S160-7 (I /E)

COLOR NATIVE SOIL PPU7 -24 (1)

ANTIQUE TREASURE N 280-5

RED CHIPOTEL S160-7 (1/E)

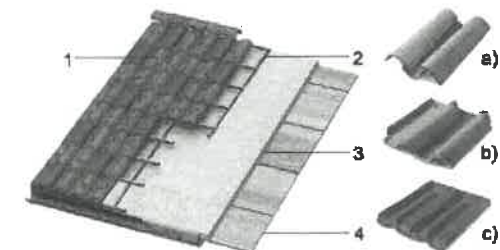
ANTIQUE TREASURE N 280-5

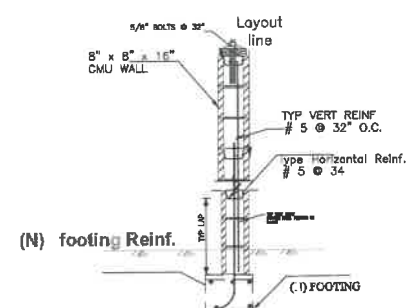
15 /32 " OSB SHEATHING

LEGEND :

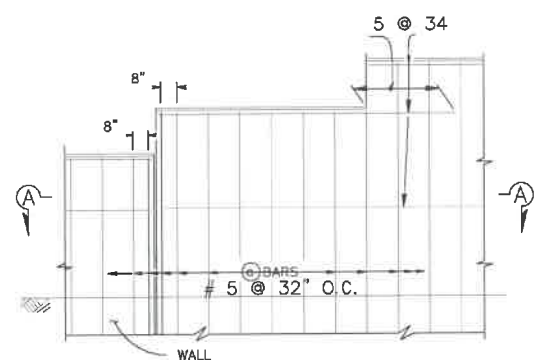
- 1 Large Pine Shelf or Porch Bracket
Large cove-shaped bracket adds period charm throughout the carwash.

2 **ASPHALT ROOFS** ASPHALT ROOFS IS THE MOST POPULAR AND PREFERRED CHOICE AMONG PEOPLE FOR RESIDENTIAL HOME. THESE TYPES OF ROOFS ARE VERY EASY TO INSTALL. IT COMES WITH WIDE VARIETY OF COLORS AND IT IS HIGHLY FIRE AND WIND RESISTANT.

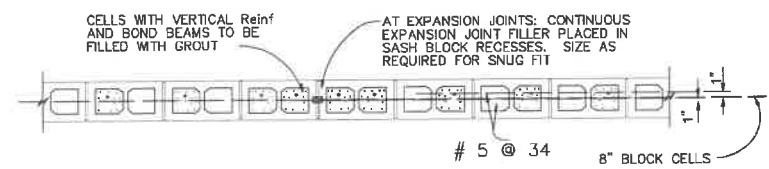




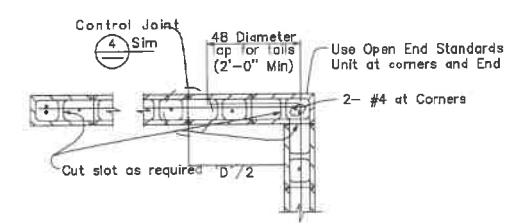
1 CMU WALL REINFORCEMENT DETAILS
A-5.0 1/8" = 1'-0"



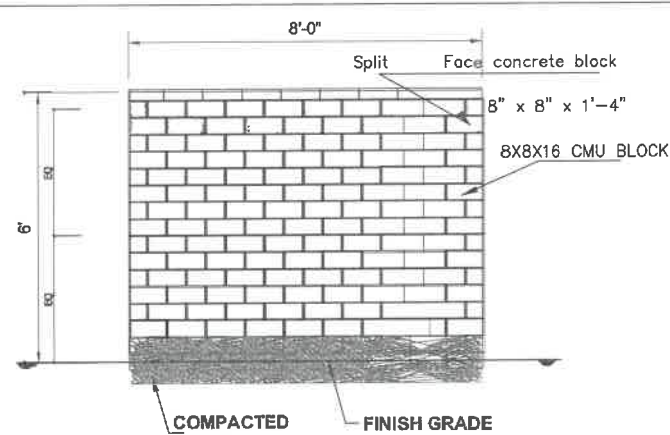
6 PART ELEVATION
A-5.0 1/8" = 1'-0"



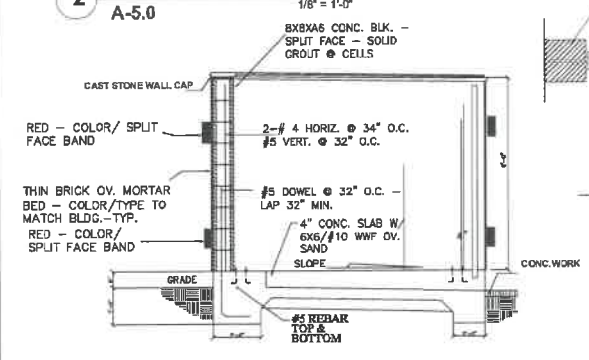
7 SECTION A-A
A-5.0 1/8" = 1'-0"



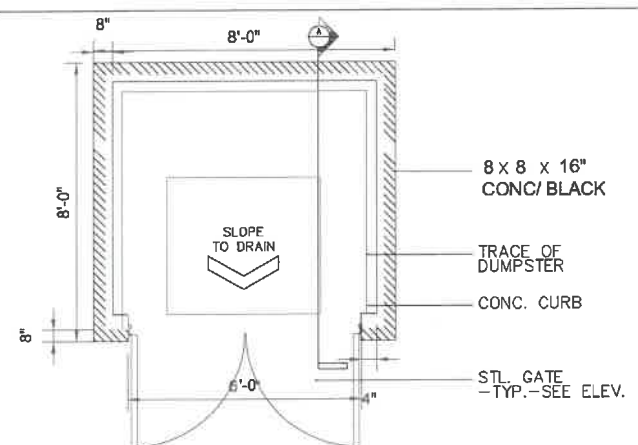
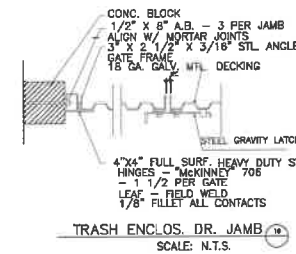
8 INTRSECTION WALL DETAILS
A-5.0 1/8" = 1'-0"



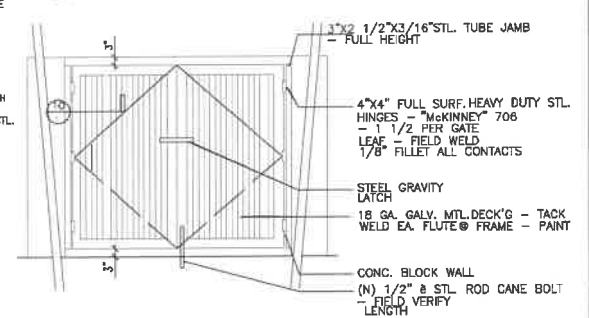
2 CMU WALL ELEV. DETAILS
A-5.0 1/8" = 1'-0"



4 TRASH ENCLOSURE SECTION
A-5.0 1/8" = 1'-0"



3 TRASH ENCLOSURE
A-5.0 1/8" = 1'-0"



5 TRASH ENCLOSURE ELE.
A-5.0 1/8" = 1'-0"

TRASH ENCLOSURE - SECTION



PROJECT MANAGER:
Zaman Hamim
4080 Truxel Road
Sacramento, Ca. 95834
(916) 528-3882
zaman.hamim@yahoo.com

ARCHITECT OF RECORD:
BOULEVARD
Construction
4080 TRUXEL ROAD
SACRAMENTO, CA 95834
PHONE: (916) 892-9949
FAX: (916) 283-7501
pm@theboulevard.us
www.boulevard.us

PROJECT:
**PROPOSED GAS STATION /
EXPRESS CARWASH CENTER
1912 NEVADA CITY HWY
GRASS VALLEY, CA 95945**

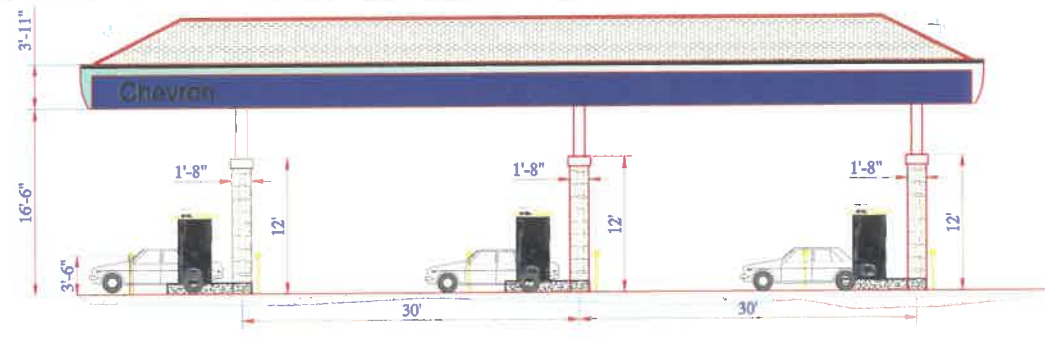
REVISIONS:	DATE:	DESCRIPTION	BY:
	12/14/2021	REVISION 0	

CURRENT ISSUE DATE:
ISSUED FOR :
02/07/2023
JOB#

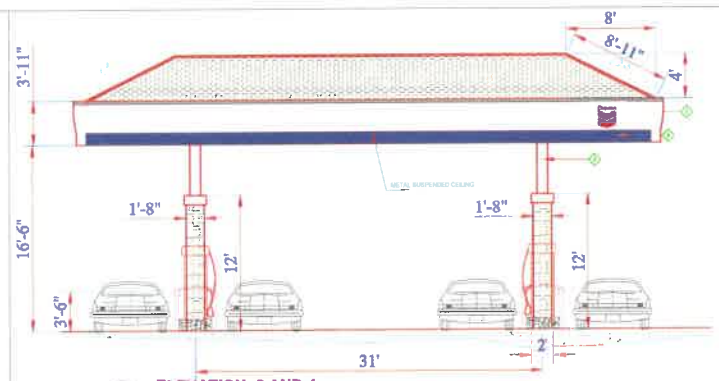
DRAWN BY: BOULEVARD
CHECKED:
APPROVED:

SHEET TITLE:
TRASH ENCLOSURE
DETAILS

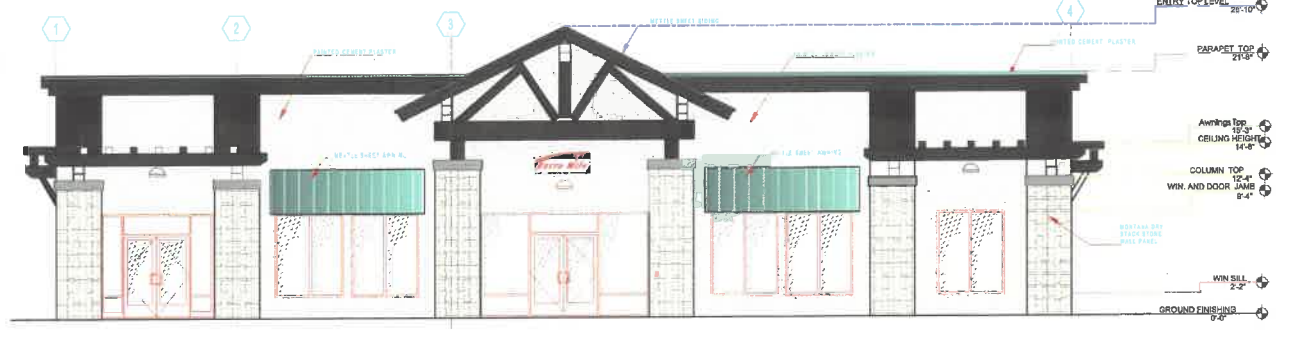
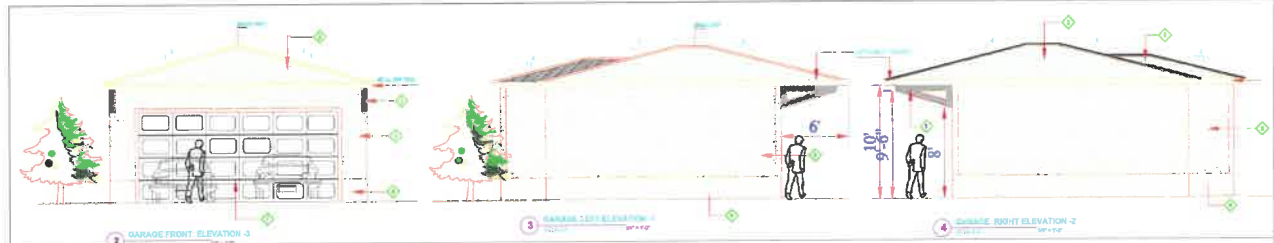
SHEET #
A-5.0



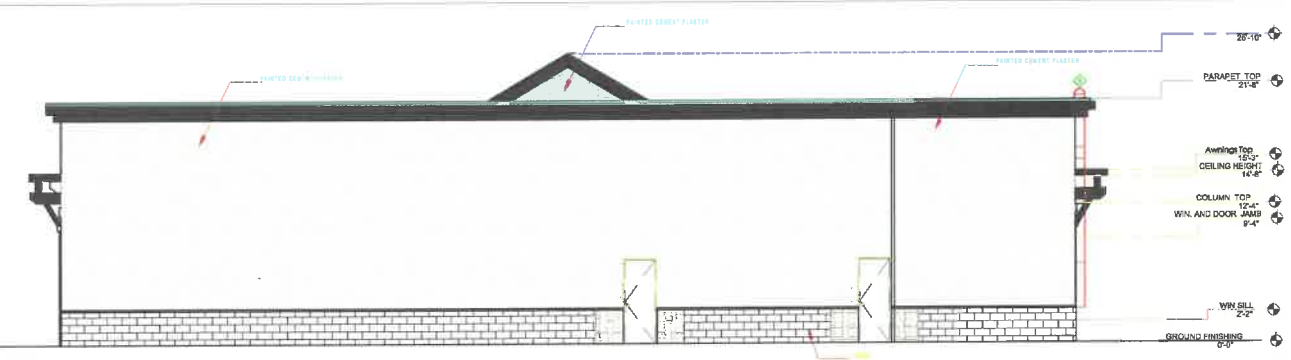
2 ELEVATION -1 AND 3
ST. A-1.0 1/4" = 1'-0"



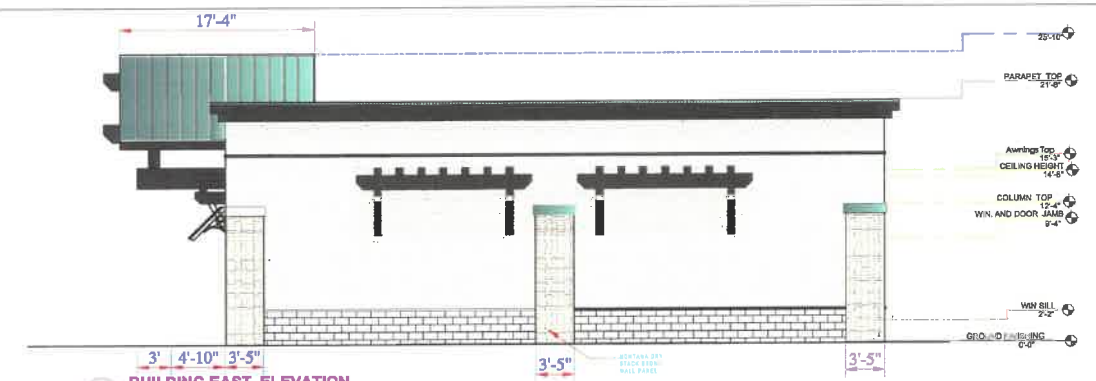
2 ELEVATION -2 AND 4
ST. A-1.0 1/4" = 1'-0"



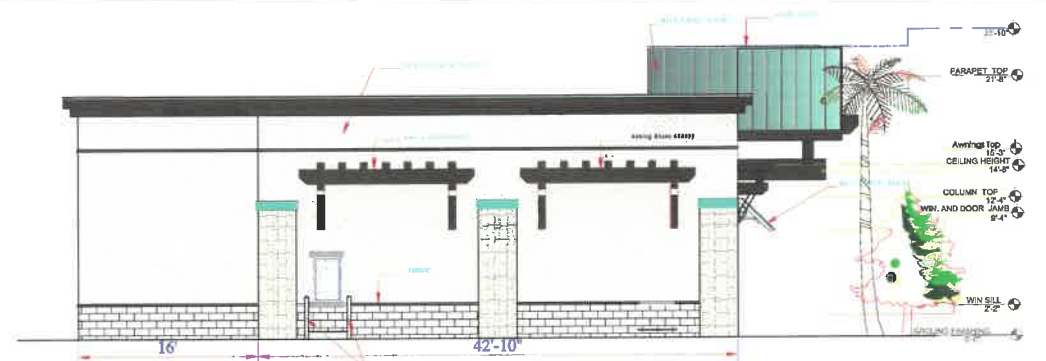
3 BUILDING SOUTH ELEVATION
ST. A-1.0 1/8" = 1'-0"



4 BUILDING NORTH ELEVATION
ST. A-1.0 1/8" = 1'-0"



5 BUILDING EAST ELEVATION
ST. A-1.0 1/8" = 1'-0"



6 BUILDING WEST ELEVATION
ST. A-1.0 1/8" = 1'-0"

KEYNOTE :

- 1- Large Ply Sheat or Pink Orchard Large over-shoot bracket into panel where fastened the plate
- 2- HEAVY DUTY SAFETY ROLLER - 6 1/2 X 3 1/2" FIBER
- 3- HEAVY DUTY SAFETY ROLLER - 1 1/2 X 3 1/2" FIBER 14-400P
- 4- BALANCE HOSE MANDS
- 5- PROTECT EQUIPMENT FROM DAMAGE CAUSED BY FORKLIFTS AND PALLET TRUCKS
- 6- STURDY STEEL ROLLER POSTS HAVE REMOVABLE BLACK CAPS. FILL WITH CONCRETE FOR EXTRA STRENGTH.
- 7- GRADE STEEL
- 8- TYPICAL METALLURGY
- 9- CONCRETE INSTALLATION KIT AND 1" STEEL CHAIN AVAILABLE
- 10- DONOR STONE / STONE VENEER
- 11- INTERIOR UPSTREAM BOARD
- A- BATT INSULATION
- B- WOOD FRAMING
- C- EXTERIOR GRADE SHEATHING
- D- LAYERS OF WRB.
- E- LATH
- F- LATH FASTENERS - TYPE & SPACING PER ASTM C- 1088
- G- MORTAR SCRATCH COAT
- H- MORTAR SETTING BED
- I- ADHESIVE CONCRETE MASONRY VENEER
- J- MORTAR JOINT
- K- WRB LAPPED OVER WRB SCREEN
- L- WRB SCREEN
- M- WOOD SIDING
- N- STEEL COATED LADDER
- O- FLASING METAL BONE WORK PART



PROJECT MANAGER
Zaman Hamim
4080 Truxel Road
Sacramento, Ca. 95834
(916) 529-3982
zaman_hamim@yahoo.com

ARCHITECT OF RECORD
BOULEVARD
Construction
4080 TRUXEL ROAD
SACRAMENTO, CA 95834
PHONE: (916) 892-9949
FAX: (916) 283-7501
pm@theboulevard.us
www.boulevard.com

PROJECT:
**PROPOSED GAS STATION /
EXPRESS CARWASH CENTER
1912 NEVADA CITY HWY
GRASS VALLEY, CA 95945**

REVISIONS:	DATE:	DESCRIPTION	BY:
	12.13.2021	REVISION-3	

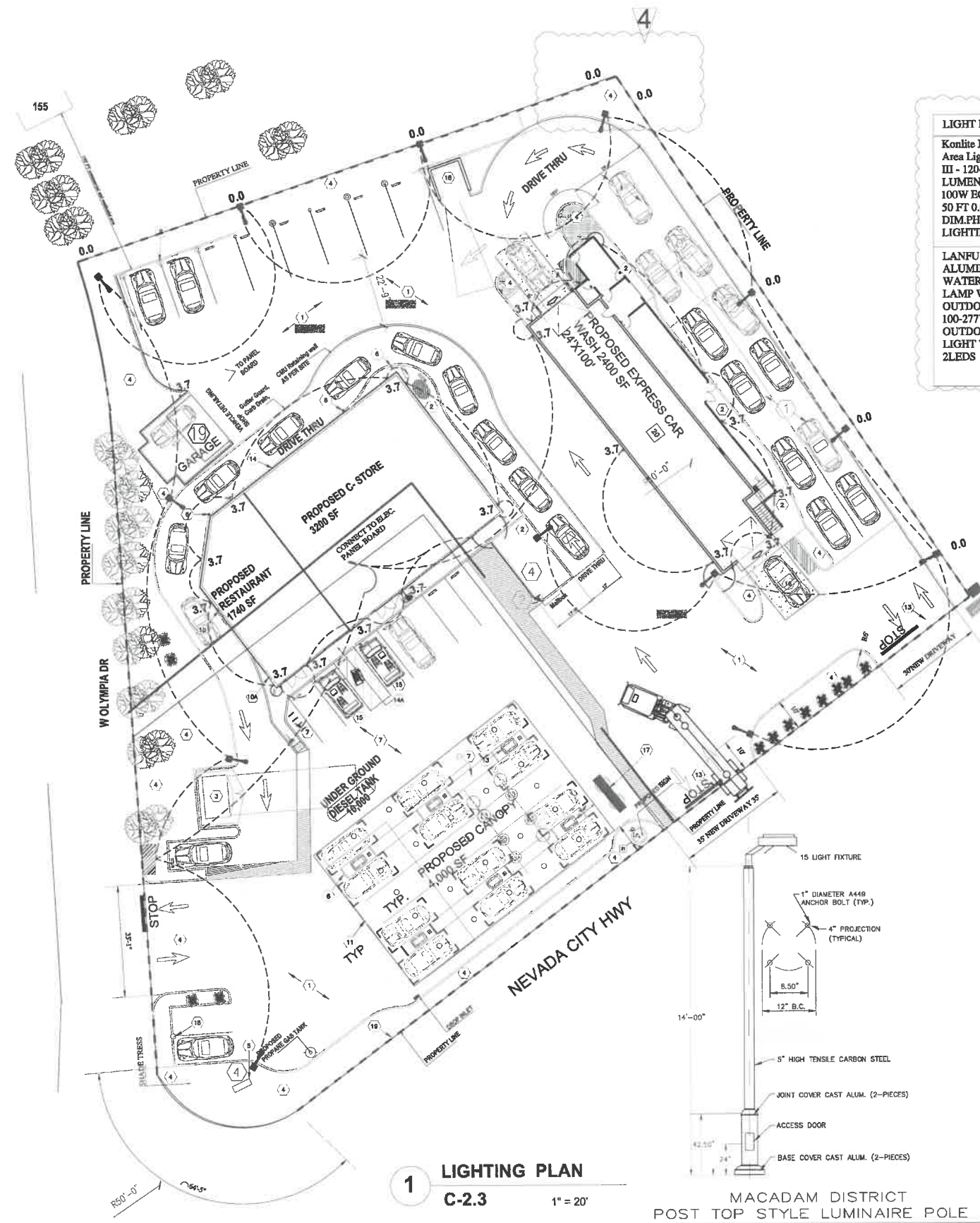
CURRENT ISSUE DATE:

ISSUED FOR :
04/21 /2022
JOB#

DRAWN BY: BOULEVARD
CHECKED:
APPROVED:

SHEET TITLE
**C-Store Building plan, elevations &
roof plan and drive thru restaurant**

SHEET #
A-6.0

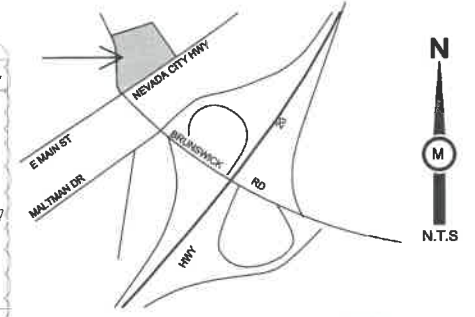


1 LIGHTING PLAN
C-2.3 1" = 20'

MACADAM DISTRICT
POST TOP STYLE LUMINAIRE POLE

LIGHT DESCRIPTION	LIGHT TYPE	LIGHT SYMBOL
Konlite LED Outdoor Area Light - 40W - Type III - 120-277V - 5500 LUMENS - 5000K - 100W EQUAL 50 FT 0.0 OUTSIDE DIM.PHOTO-METRIC LIGHTING PLAN		
LANFU LED ALUMINUM WATERPROOF WALL LAMP WATERPROOF OUTDOOR LIGHT 6W 100-277V 3000K OUTDOOR WALL LIGHT WARM LIGHT 2LEDS		

CITY OF GRASS VALLEY



- NEW P.C.C. PAVEMENT
- NEW P.C.C. SIDEWALK
- NEW TRASH ENCLOSURE
- NEW LANDSCAPE AREA
- EXISTING MONUMENT PRICE SIGN TO BE RELOCATED
- NEW PROTECTIVE BOLLARD
- NEW BIKE RACK
- EXISTING UNDERGROUND FUEL TANKS TO REMAIN
- NEW VACUUM STATION
- NEW PAY STATION
- NEW PAY FOR ORDER FOODS
- NEW OVERHEAD CANOPY. NOTE, SOLAR PANELS WILL BE MOUNTED ON TOP OF CANOPIES.
- NEW FUEL PUMP (4 MPD)
- ADJUST EXISTING LOT LINE REAR WALL OF PROPOSED C-STORE TO BE A RETAINING WALL
- TACTILE
- ACCESSIBLE PARKING
- INSTALL NEW CURB RAMP TO LEAD PEDESTRIANS ACROSS WEST OLYMPIA DRIVE
- EXISTING 450 FT Pylon sign to be removed
- NEW CMU BLOCK VACUUM EQUIPMENT ENCLOSURE
- NEW EV CHARGING SPACES
- NEW DECORATIVE PAVING AT NEW DRIVEWAY ENTRANCE.
- VEHICLE DETAILING SHOP
- PROPOSED EXPRESS CAR WASH 2400 SF 24'X100'
- CONCRETE CRAB DRAINAGE



REALLY MAP



VICINITY MAP

PROPERTY LINE

STORE FINISHES:

WALLS: WATERPROOF MEMBRANE, SHEATHING, WOOD STUD, AND GYPSUM WALL, PAINTED PLASTER.

FLOOR: STORE, TILE Vinyl Plank Flooring / SEALED CONCRETE

CEILING: PAINTED PLASTER APPLIED TO STRUCTURE/DRY WALL.

WALLS: 240 IN HIGH DRYWALL

WALL: PAINTED PLASTER

RESTROOM, CERAMIC TILE

WALLU: KITCHEN, CERAMIC TILE

CHILING: STRUCTURAL TRUSS UNDER TO BE SOOTHE PAINTED

UNLESS OTHERWISE NOTED, LINEAR DIMENSIONS SHOWN ARE IN INCHES (IN)

SCALE: 1"=20'

PROJECT MANAGER:
Zaman Hamim
4080 Truxel Road
Sacramento, Ca. 95834
(916) 529-3982
zaman_hamim@yahoo.com

ARCHITECT OF RECORD:
BOULEVARD
Construction
4080 TRUXEL ROAD
SACRAMENTO, CA 95834
PHONE: (916) 892-9949
FAX: (916) 283-7501
pm@theboulevard.us
www.boulevard.com

PROJECT:

PROPOSED GAS STATION /
EXPRESS CARWASH CENTER
1912 NEVADA CITY HWY
GRASS VALLEY, CA 95945

BY:	
DESCRIPTION	REVISION 4
DATE:	01/12/2022

REVISIONS:

CURRENT ISSUE DATE:

ISSUED FOR :
01/12/2022

CHECKED:

APPROVED:

SHEET 11
LIGHTING PLAN

SHEET 12

CE-1.0