

# McKnight Shopping Center

*Outdoor Dining, Farmer's Market Design, Master Sign Program  
Amendment and Mural Proposal*

## **Attachment List**

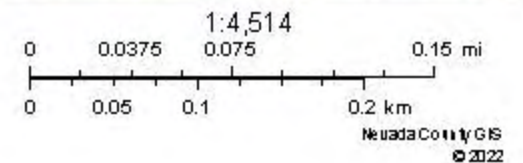
1. Aerial Map
2. Vicinity Photo
3. Applications (Universal, Sign and Mural, DRC)
4. Landscaping Plans including Outdoor Dining areas  
and Signs
5. Outdoor Dining Renderings
6. Mural Proposal
7. Farmer's Market Structure Design
8. Master Sign Program Amendment  
(proposed amendments highlighted)

# Aerial Target Shopping Center



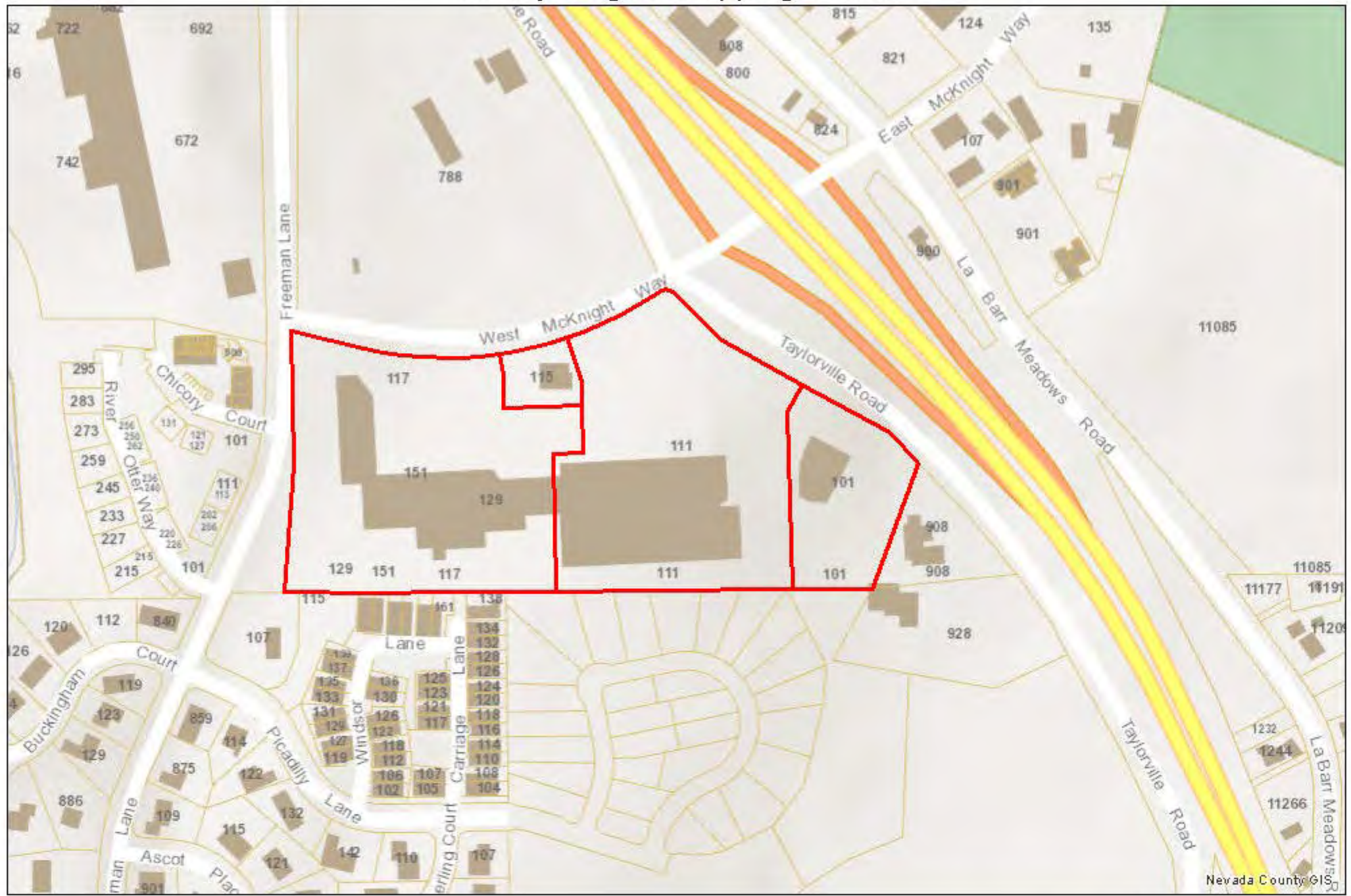
August 8, 2023

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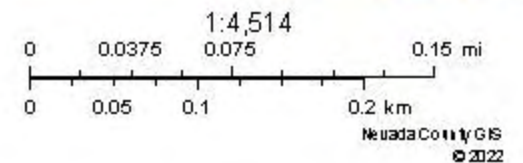


# Vicinity Target Shopping Center



August 8, 2023

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**McKnight Crossing – Development Review Committee – Applicant Letter**

August 1, 2023

City of Grass Valley  
Community Development Department  
Attn: Amy Wolfson – City Planner  
125 E Main Street  
Grass Valley, CA 95945

Via Email

RE: Proposed Improvements at McKnight Crossing for Development Review Committee

Amy,

Thank you for working with us as we finalize re-imagining the Center and make final improvements. We are trying to perform the work prior to any potential weather related issues.

This Application is a follow up from our Application reviewed on December 20, 2022.

Included in our Application are all the forms and corresponding documents.

**The Scope of Proposed Improvements are as follows:**

1. Vertical Signs for Way Finding and ID (3)
  - a. These proposed signs are included in a document “Master Sign Program”, and are indicated as signs # 6, 7 & 8. Revised from December 2022. Renderings and Overview provided:
    - i. The Grove
    - ii. The Mix
    - iii. Midway
2. Murals
  - a. 3 Locations – Overview Provided
    - i. The Grove
    - ii. Midway
    - iii. At SPD Market, either side
  - b. Murals are consistent with City Standards
    - i. Murals are without text visible from a public right-of-way
    - ii. Murals illustrate the local setting, history and cultural significance as sources of inspiration
    - iii. The colors, placement and size of the murals are visually compatible with the Center's architecture
    - iv. The Murals will serve to enhance the aesthetes of the Center and of the City.
3. Gathering Spaces – Overview Provided
  - a. 3 Locations
    - i. The Grove
    - ii. The Mix
    - iii. Midway
  - b. The Gathering Spaces are consistent with the City’s Strategic Plan



**McKnight Crossing – Development Review Committee – Applicant Letter**

4. Farmer's Market
  - a. New Renderings
  - b. Based on Feedback from the December 20, 2022 Meeting
  - c. Modifications:
    - i. The Team took the feedback received at the meeting, preserved the inspirational elements, and modified the Farmer's Market features from a fixed amenity to a flexible solution that opens for the Farmer's Market, and closes while not in use, maintaining proper aesthetics.

Thank you for the opportunity to present these additional improvements and innovations. We ask for support for this Application in an effort to finalize the Center, and make it an integral part of the Grass Valley Community.

Jim Fitzpatrick

Authorized Agent  
Mesa Management  
Special Projects

## DEVELOPMENT REVIEW



### SUPPLEMENTAL APPLICATION INFORMATION

This document will provide necessary information about the proposed project. It will also be used to evaluate potential environmental impacts created by the project. Please be as accurate and complete as possible in answering the questions. Further environmental information could be required from the applicant to evaluate the project.

**PLEASE PRINT CLEARLY OR TYPE  
 USE A SEPARATE SHEET, IF NECESSARY, TO EXPLAIN THE FOLLOWING:**

- I. Project Characteristics:
  - A. Describe all existing buildings and uses of the property: (2) existing retail/food service/professional services buildings located on (3) contiguous parcels, including parking and outdoor seating/dining in (3) selected locations  


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  - B. Describe surrounding land uses:
 

North: PG&E maintenance yard + open space  
 South: Residential  
 East: State Highway 49  
 West: Co-housing residential, undeveloped land
  - C. Describe existing public or private utilities on the property: Underground utilities: Grass Valley Water, Grass Valley Waste Treatment, PG&E gas & electrical  


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  - D. Proposed building size (if multiple stories, list the square footage for each floor): N/A, proposal features no proposed buildings, only signs and site amenities  


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  - E. Proposed building height (measured from average finished grade to highest point): proposed freestanding signs vary in height, including 12'-2", 16'-10", and 20'-0".  


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  - F. Proposed building site plan:
 

(1)	Building coverage	See Site Plan	Sq. Ft.		% of site
(2)	Surfaced area		Sq. Ft.		% of site
(3)	Landscaped area		Sq. Ft.		% of site
(4)	Left in open space		Sq. Ft.		% of site
	Total		Sq. Ft.		100 %



G. Construction phasing: If the project is a portion of an overall larger project, describe future phases or extension. Show all phases on site plan. This application is related to the previously city-approved facility remodel that is currently under construction. December 20, 2022

H. Exterior Lighting:

1. Identify the type and location of exterior lighting that is proposed for the project. Limited Use of low intensity festoon lighting at outdoor dining (previously approved by City at "The Mix" location)

2. Describe how new light sources will be prevented from spilling on adjacent properties or roadways. Proposed Lighting is too low in intensity and power to spill into adjoining properties or roadways

I. Total number of parking spaces required (per Development Code): 669

J. Total number of parking spaces provided: 745

K. Will the project generate new sources of noise or expose the project to adjacent noise sources? No new sources of noise are proposed with this application, the proposal is for signs and site amenities.

L. Will the project use or dispose of any potentially hazardous materials, such as toxic substances, flammables, or explosives? If yes, please explain. No

M. Will the project generate new sources of dust, smoke, odors, or fumes? If so, please explain. No

II. If an **outdoor use** is proposed as part of this project, please complete this section.

A. Type of use:

Sales \_\_\_\_\_ Processing \_\_\_\_\_ Storage \_\_\_\_\_  
Manufacturing \_\_\_\_\_ Other Outdoor dining

B. Area devoted to outdoor use (shown on site plan). \_\_\_\_\_

Square feet/acres 4,885 Percentage of site 0.70%

C. Describe the proposed outdoor use: Outdoor dining

## SITE PLAN REQUIREMENTS DEVELOPMENT REVIEW CHECKLIST

The following list includes all the items you must submit for a complete application. Some specific types of information may not apply to your project and, as noted, some items are not normally required. If you are not sure, ask Planning Division Staff. Planning Staff will use a copy of this list to check your application for completeness after it is submitted. If your application is not complete, a copy of the list will be returned to you marked according to the legend.

### A. Application Checklist:

- ☒ One completed copy of Universal Application form.
- ☐ One completed copy of the Environmental Review Checklist (if applicable).
- ☒ Preliminary Title Report dated no later than 6 months prior to the application filing date.
- ☒ The appropriate non-refundable filing fee.

### B. Site Plan

- ☐ Fifteen (15) Copies of Plan Sets for **Major** Development Review or Eight (8) Copies of Plan Sets for **Minor** Development Review on standard 24" x 36" size paper fan-folded to 9" x 12", one (1) reduced copy at 8 1/2" x 11" and e-mail electronic .pdf version which includes the following information:
  - ☒ Neighborhood Site Plan showing surrounding development improvements and natural features within 200 feet of the project site.
  - ☒ Project Site Plan drawn to scale and indicating:
    - ☒ Dimensioned property lines, north arrow, and any easements on the site
    - ☒ Points of access, vehicular circulation, location and dimension of parking areas and spaces
    - ☒ Location and any existing structures (specifying building setbacks), including the location and use of the nearest structures on adjacent property, and an indication of structures to be removed
    - ☒ Location of any existing or proposed utilities such as water, wastewater and storm drainage
    - ☒ Location of any proposed structures and uses (including building setbacks)
    - ☒ Open space and buffer areas
    - ☒ Walkways, bicycle facilities (bike lanes, parking racks, etc), and ADA compliance facilities on the project site and providing connections to existing off site facilities
    - ☒ Pedestrian and bicycle connections to adjacent development (pursuant to the City's Community Design Guidelines)
    - ☒ Mailbox locations and trash enclosures
    - ☒ Other site features such as outdoor seating areas



- ☐ Preliminary Grading and Drainage Plan showing:
  - ☐ Existing and proposed contours using City datum (cut and fill slopes)
  - ☐ Existing drainage characteristics of the site and a proposed preliminary drainage improvements (including drop inlets, detention basins, etc.
  - ☐ Creek flow lines and flow directions
  - ☐ Retaining wall locations, materials, and heights.
  - ☐ Locations of existing trees (over 8" in trunk diameter at breast height) and their status (species and to be removed or retained as part of the development (including preservation measures, such as fencing, pavers blocks, etc)
  - ☐ Rock outcroppings and other major natural site features
  - ☐ Location and construction of temporary and permanent erosion and sedimentation control measures
  
- ☒ Architectural Plans, including elevations of all sides of the building indicating the form and exterior treatment, overall height, roof materials, proposed exterior mechanical equipment, building lighting, building materials and colors.
  
- ☐ Conceptual Landscape Plans indicating general locations of landscaping improvements, including locations of retained trees, newly planted trees, landscape buffers and berms, retaining and/or garden walls and any hardscape areas.
  
- ☐ Cross sections: (If the project site has an average cross slope of greater than ten (10) percent). Two or more sectional views of the project, approximately through the middle and at right angles to each other, showing existing and proposed grades and relationship of buildings, parking and landscaping at maturity, including major features and structures on adjacent properties at the most severe grades at two foot intervals.
  
- ☐ Exterior Lighting Plan including locations of all light standards and placement of building lighting. This plan shall include power rating details, heights, shielding design and cut sheets lighting designs. Include a photo-metric lighting plan, overlaid onto the project site plan, showing lighting levels across the entire site and at property lines.
  
- ☐ Schematic Floor Plan showing interior building layouts, rooms or use areas, square footages of bedrooms, entrances and relationship to exterior use areas.
  
- ☐ Signs: Note if to be submitted under separate permit or include general locations of contemplated signage on building or grounds should be included. Additional details, such as sign construction and materials should also be included, if available. If a major feature of the project involves signage, then the following additional information should be included in the package:
  - ☒ Dimensions and square footage of all signs.
  - ☐ Dimensions and square footage of building walls on which signs are located.
  - ☒ Means of lighting.
  - ☒ Heights of all signs.
  - ☐ Message that will appear on each sign.
  - ☒ Description of materials and colors for letters and background.
  - ☒ A scaled drawing of each sign showing typeface and design details.

- ☒ Color Architectural Elevations: One copy reduced to 8 ½" x 11" colored architectural elevations.
- ☐ Reduced Site Plan and Architectural Elevations: One copy each reduced 8 ½" x 11".
- ☐ Materials Sample Board with colors and textures of exterior architectural materials securely mounted on a maximum 8 ½" x 14" size illustration or poster board.

**C. Optional Items**

- ☒ Site Photographs of the project site, including neighboring development and including a key map of where each photo has been taken.
- ☐ Perspective rendering as required by staff, the Development Review Committee, or the Planning Commission.
- ☒ Photo Articulation of proposed physical improvements overlaid onto photos of site.
- ☐ Scaled Model upon request of the Development Review Committee or Planning Commission.



# MASTER SIGN PROGRAM MURALS & SIGN EXCEPTIONS



## SUPPLEMENTAL APPLICATION INFORMATION

**Application Request:** \_\_\_\_\_

Proposed Vertical Way Finding and ID Signs, Murals and Farmer's Market

**Property Address or Location:** Mcknight Crossing 129 W McKnight Way Grass Valley , CA 94945

## SUPPLEMENTAL CHECKLIST

The following includes items required for a complete application. Some specific types of information may not apply to your project. If you are unsure, check with Planning Division Staff. A copy of this list will be returned to you if your application is determined to be incomplete.

### A. Application Checklist:

- One completed copy of Universal Application form.
- One completed copy of the Environmental Review Checklist (if applicable).
- 15 copies of the site plan and all other applicable plans/information.
- One materials sample board (if applicable).
- If a sign exemption is being requested, list the reasons for the exemption.
- The appropriate non-refundable filing fee.

### B. Site Plan:

- SITE PLAN; An 8 1/2" x 11" Site Plan for the property on which the sign(s) will be placed including:
  - Location of existing and proposed signs on site.
  - Provide square footage and type of each sign and total square footage for all signs.
  - For more than one sign, please give each sign a number starting with the number 1.

For suspended or projecting signs please note distance from sidewalk to bottom of sign.

- ☐ For wall signs add an additional sheet showing dimensions and square footage of building walls on which signs will be placed.
- ☐ For monument, shopping center, or other freestanding signs show sight distance from driveways and intersection corners.

### **C. Sign Illustrations:**

- ☒ Color drawing of each proposed sign including:
- ☒ Number each sign corresponding to number shown on the site plan.
- ☐ Message on sign including; typeface, font, and design details.
- ☒ Dimensions in feet and total square footage area of proposed sign.
- ☒ Overall height of all monument and freestanding signs.

### **D. Murals:** A mural placed on a wall of a structure may be allowed in any commercial, industrial, and other non-residential zone subject to the following requirements. All murals shall be subject to the review and recommendation by the Development Review Committee (DRC) and approval by the Commission.

- ☒ A mural without text visible from the public right-of-way may be approved in addition to (not counted as part of) the sign area allowed by the Development Code; a mural with text shall comply with the sign area limitations applicable to the site.
- ☒ Murals that illustrate the local setting, history, or cultural significance as sources of inspiration are encouraged.
- ☒ The approval of a mural shall require that the review authority first find that the colors, placement, and size of the mural are visually compatible with the structure's architecture, and that the mural will serve to enhance the aesthetics of the City.

### **E. Mounting Details:**

- ☐ Mounting details may be placed on the Sign Plan or as a separate sheet but must include the following:
- ☒ Description of material used in construction of sign.
- ☒ Thickness and approximate weight of sign for suspended or projecting signs.
- ☒ Means of exterior or interior lighting including shielding, type, and size of lamps (if applicable).
- ☐ For suspended signs provide details of anti-sway devices.



# UNIVERSAL PLANNING APPLICATION

\* DUE WITH EVERY PLANNING APPLICATION \*



## Application Types

### Administrative

- ☐ Limited Term Permit  
\$698.00  
☐ Zoning Interpretation  
\$224.00

### Development Review

- ☐ Minor Development Review – 10,000 or less sq. ft.  
\$1,813.00  
☐ Major Development Review – over 10,000 sq. ft.  
\$3,293.00  
☐ Conceptual Review - Minor  
\$459.00  
☐ Conceptual Review – Major  
\$782.00  
☐ Plan Revisions – Staff Review  
\$316.00  
☐ Plan Revisions – DRC / PC Review  
\$831.00  
☐ Extensions of Time – Staff Review  
\$282.00  
☐ Extensions of Time – DRC / PC Review  
\$607.00

### Entitlements

- ☐ Annexation  
\$7,843.00 (deposit)  
☐ Condominium Conversion  
\$4,923.00 (deposit)  
☐ Development Agreement – New  
\$18,463.00 (deposit)  
☐ Development Agreement – Revision  
\$6,903.00  
☐ General Plan Amendment  
\$7,377.00  
☐ Planned Unit Development  
\$8,150.00 (minimum charge) + 100.00 / dwelling  
unit and / or \$100 / every 1,000 sq. ft.  
commercial floor area  
☐ Specific Plan Review - New  
Actual costs - \$16,966.00 (deposit)  
☐ Specific Plan Review - Amendments / Revisions  
Actual costs - \$6,986.00 (deposit)  
☐ Zoning Text Amendment  
\$3,102.00  
☐ Zoning Map Amendment  
\$5,073.00

### Environmental

- ☐ Environmental Review – Initial Study  
\$1,713.00  
☐ Environmental Review – EIR Preparation  
\$31,604.00 (deposit)  
☐ Environmental Review - Notice of Determination  
\$149.00 (+ Dept. of Fish and Game Fees)  
☐ Environmental Review - Notice of Exemption  
\$149.00(+ County Filing Fee)

### Sign Reviews

- ☒ Minor – DRC, Historic District, Monument Signs  
or other districts having specific design criteria  
\$313.00  
☐ Major – Master Sign Programs  
\$1,279.00  
☐ Exception to Sign Ordinance  
\$964.00

### Subdivisions

- ☐ Tentative Map (4 or fewer lots)  
\$3,493.00  
☐ Tentative Map (5 to 10 lots)  
\$4,857.00  
☐ Tentative Map (11 to 25 lots)  
\$6,503.00  
☐ Tentative Map (26 to 50 lots)  
\$8,915.00  
☐ Tentative Map (51 lots or more)  
\$13,049.00  
☐ Minor Amendment to Approved Map  
(staff) \$1,114.00  
☐ Major Amendment to Approved Map  
(Public Hearing) \$2,436.00  
☐ Reversion to Acreage  
\$765.00  
☐ Tentative Map Extensions  
\$1,047.00  
☐ Tentative Map - Lot Line Adjustments  
\$1,200.00

### Use Permits

- ☐ Minor Use Permit - Staff Review  
\$480.00  
☐ Major Use Permit - Planning Commission Review  
\$3,035.00

### Variances

- ☐ Minor Variance - Staff Review  
\$518.00  
☐ Major Variance - Planning Commission Review  
\$2,029.00

Application	Fee
DRC	
Vertical Way Finding &	313.00
ID Signs	
Murals	
<b>Total:</b>	<b>\$313.00</b>



Below is the Universal Planning Application form and instructions for submitting a complete planning application. In addition to the Universal Planning Application form, a project specific checklist shall be submitted. All forms and submittal requirements must be completely filled out and submitted with any necessary supporting information.

Upon receipt of the **completed forms, site plan/maps, and filing fees**, the Community Development Department will determine the completeness of the application. This review will be completed as soon as possible, but within thirty (30) days of the submittal of the application. If the application is determined to be complete, the City will begin environmental review, circulate the project for review by agencies and staff, and then schedule the application for a hearing before the Planning Commission.

If sufficient information **has not** been submitted to adequately process your application, you will receive a notice that your application is incomplete along with instructions on how to complete the application. Once the City receives the additional information or revised application, the thirty (30) day review period will begin again.

Since the information contained in your application is used to evaluate the project and in the preparation of the staff report, it is important that you provide complete and accurate information. Please review and respond to each question. If a response is not applicable, N/A should be used in the space provided. Failure to provide adequate information could delay the processing of your application.

Additional information may be obtained at [www.cityofgrassvalley.com](http://www.cityofgrassvalley.com) regarding the 2020 General Plan and Zoning. You may also contact the Community Development Department for assistance.

#### **ADVISORY RE: FISH AND GAME FEE REQUIREMENT**

Permit applicants are advised that pursuant to Section 711.4 of the Fish and Game Code a fee of **\$3,539.25** for an Environmental Impact Report and **\$2,548.00** for a Negative Declaration\* shall be paid to the County Recorder at the time of recording the Notice of Determination for this project. This fee is required for Notices of Determination recorded after January 1, 1991. A Notice of Determination cannot be filed and any approval of the project shall not be operative, vested, or final until the required fee is paid. This shall mean that building, public works and other development permits cannot be approved until this fee is paid. These fees are accurate at the time of printing, but **increase the subsequent January 1<sup>st</sup>** of each year.

This fee is **not** a Grass Valley fee; it is required to be collected by the County pursuant to State law for transmission to the Department of Fish and Game. This fee was enacted by the State Legislature in September 1990, to be effective January 1, 1991.

\*If the City finds that the project will not have an impact on wildlife resources, through a De Minimis Impact Finding, the City will issue certificate of fee exemption. Therefore, this fee will not be required to be paid at the time an applicant files the Notice of Determination with the County Recorder. The County's posting and filing fees will still be required.



<u>Applicant/Representative</u>	<u>Property Owner</u>
Name: Jim Fitzpatrick c/o Mesa Management	Name: (McKnight:) GVSC LP, (Grove:) GV2 LP
Address:	Address: 1105 QUAIL ST.
NEWPORT BEACH CA 92660	NEWPORT BEACH CA 92660
Phone: 949.257.8448	Phone: (949)851-0995
E-mail: jimfitzeco@gmail.com	E-mail:

<u>Architect</u>	<u>Engineer</u>
Name: Diego F Alessi, c/o Genaro Diaz	Name:
Address: 144 North Orange Street	Address:
Orange, CA 92866	
Phone: 714 / 639 - 9860	Phone:
E-mail: GenaroD@aoarchitects.com	E-mail:

## 1. Project Information

a. Project Name McKnight Crossing Shopping Center Remodel

b. Project Address 111, 117, 129, 151 W McKnight Way, Grass Valley CA

c. Assessor's Parcel No(s) 29-350-07, 29-350-09, 29-350-10  
(include APN page(s))

d. Lot Size (3.66 acres (McKnight Crossing) 2.11 acres (101 McKnight "The Grove")

## 2. Project Description Additions to previously approved design, including added freestanding signs and identity elements, landscaping and murals. Expansion of, and alterations to, previously approved landscaping locations and plant types, railings, seating, etc.

Farmer's Market is re-imagined based on feedback from the December 2022 meetings

3. General Plan Land Use: GRV

4. Zoning District: C-2

4. **Cortese List:** Is the proposed property located on a site which is included on the Hazardous Waste and Substances List (Cortese List)? Y ☐ N ☒

The Cortese List is available for review at the Community Development Department counter. If the property is on the List, please contact the Planning Division to determine appropriate notification procedures prior to submitting your application for processing (Government Code Section 65962.5).

5. **Indemnification:** The City has determined that City, its employees, agents and officials should, to the fullest extent permitted by law, be fully protected from any loss, injury, damage, claim, lawsuit, expense, attorney's fees, litigation expenses, court costs or any other costs arising out of or in any way related to the issuance of this permit, or the activities conducted pursuant to this permit. Accordingly, to the fullest extent permitted by law, the applicant shall defend, indemnify and hold harmless City, its employees, agents and officials, from and against any liability, claims, suits, actions, arbitration proceedings, regulatory proceedings, losses, expenses or costs of any kind, whether actual, alleged or threatened, including, but not limited to, actual attorney's fees, litigation expenses and court costs of any kind without restriction or limitation, incurred in relation to, as a consequence of, arising out of or in any way attributable to, actually, allegedly or impliedly, in whole or in part, the issuance of this permit, or the activities conducted pursuant to this permit. Applicant shall pay such obligations as they are incurred by City, its employees, agents and officials, and in the event of any claim or lawsuit, shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.
6. **Appeal:** Permits shall not be issued until such time as the appeal period has lapsed. A determination or final action shall become effective on the 16<sup>th</sup> day following the date by the appropriate review authority, where no appeal of the review authority's action has been filed in compliance with Chapter 17.91 of the City's Development Code.

The 15-day period (also known as the "appeal" period in compliance with Chapter 17.91) begins the first full day after the date of decision that the City Hall is open for business, and extends to the close of business (5:00 p.m.) on the 15<sup>th</sup> day, or the very next day that the City Hall is open for business.

I hereby certify, to the best of my knowledge, that the above statements are correct.

Property Owner/\*Representative Signature: \_\_\_\_\_

*\*Property owner must provide a consent letter allowing representative to sign on their behalf.*

Applicant Signature: \_\_\_\_\_

*James Fitzpatrick*

-OFFICE USE ONLY-	
Application No.:	Date Filed:
Fees Paid by:	Amount Paid:
Other Related Application(s):	



**MCKNIGHT CROSSING  
SHOPPING CENTER**  
GRASS VALLEY, CALIFORNIA

## SHEET ORIENTATION PLAN

Project Number: 2023-0208  
Plan Check Number: 22pld-0325

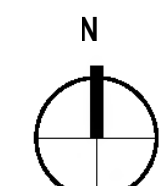
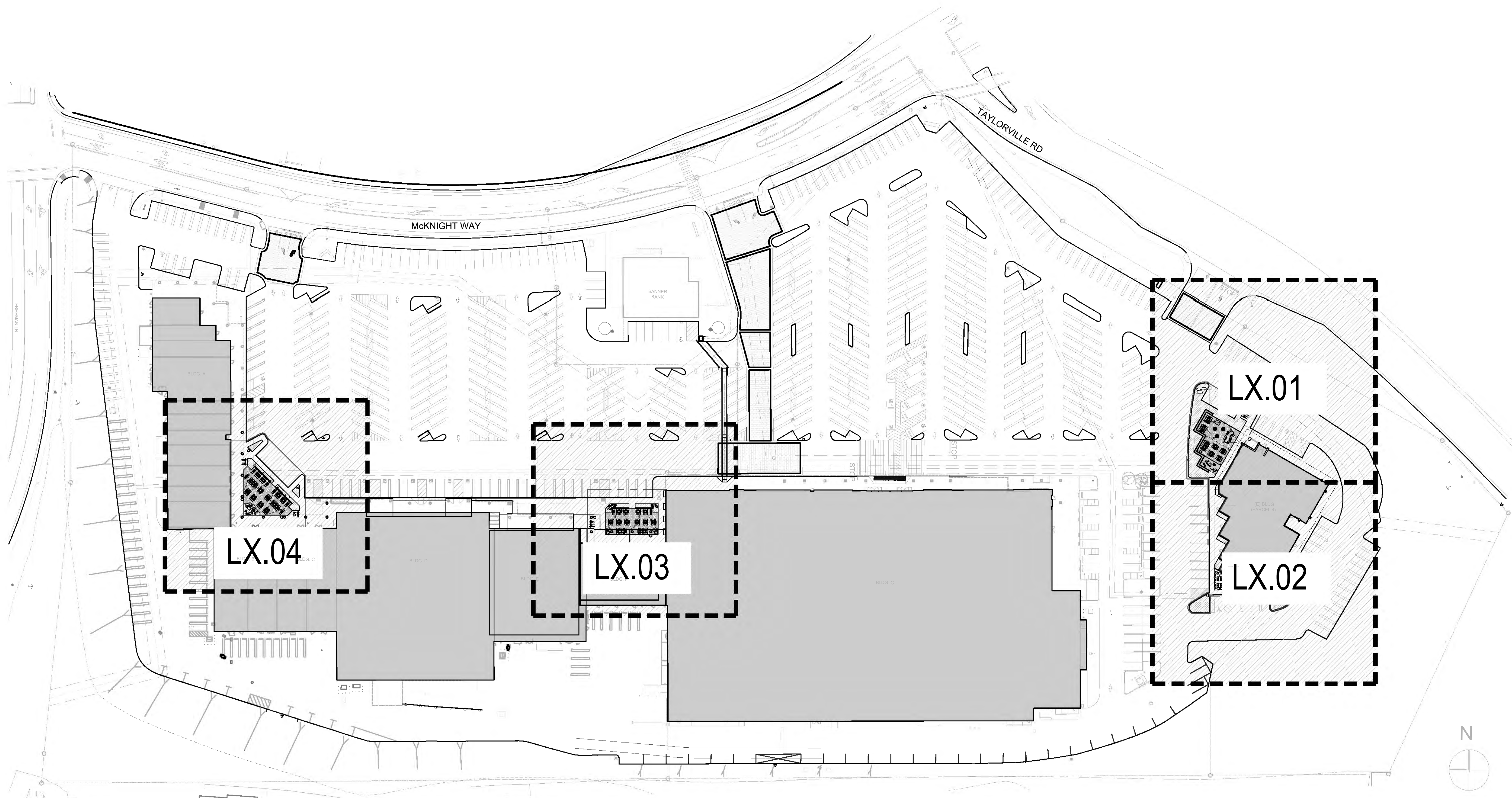
4-14-2023	50% DD SET
4-28-2023	100% CD SET

6-12-2023  REVISION

S H E E T

# CD

# L0.04





SYMBOL	DESCRIPTION	DETAIL	TYPE / MODEL NO.	SIZE	COLOR	FINISH	MANUFACTURER / SUPPLIER	COMMENTS
P-01	C.I.P. PEDESTRIAN CONCRETE PAVING - STANDARD GRAY	2 / L3.01	C.I.P. CONCRETE PAVING - TO MATCH EXISTING	SAWCUT PER PLAN $\frac{3}{16}$ " SAWCUT	STANDARD GRAY	TO MATCH EXISTING	-	SEAL CONCRETE WITH 'REPELLO FPS' CLEAR MATTE SEALER BY SCOFIELD MOCK-UP REQUIRED FOR FINAL STAIN COLOR ON DECK
P-02	C.I.P. PEDESTRIAN CONCRETE PAVING 'PEBBLE 641' COLOR WITH ACID ETCH #3	1,2 / L3.01	INTEGRAL COLOR CONCRETE DAVIS COLORS : PEBBLE #641	SAWCUT PER PLAN $\frac{3}{16}$ " SAWCUT	DAVIS COLORS: PEBBLE #641	ACID ETCH - TOP CAST RETARDER GRADE #03 - WITH HAND SEEDED MICA FLAKE FINISH	SEALER: SCOFIELD   WWW.SCOFIELD.COM	SEAL CONCRETE WITH 'REPELLO FPS' CLEAR MATTE SEALER BY SCOFIELD
P-03	STABILIZED DECOMPOSED GRANITE	3 / L3.01	'CIGAR' STABILIZED DECOMPOSED GRANITE	$\frac{3}{8}$ " MINUS TO FINES	CIGAR (DARK EARTHTONES)	STABILIZED	DECORATIVE STONE SOLUTIONS - RANDY JURGENSEN PHONE: 909.202.9279 EMAIL: RANDY@DECORATIVESTONESOLUTIONS.COM	-
P-04	TRUNCATED DOME MAT DARK GREY	2 / L3.02	SSTD TRADITIONAL MAT SYSTEM	36" WIDE X PER PLAN LENGHT	DARK GREY	CLEAR SEALER (SSTD1250)	SAFETY STEP TD   ATTN: LESLIE HAGAR 866.723.3883	-
P-05	CONCRETE PAVER FIELD	6 / L3.01	MEGA-ARBEL	15 $\frac{3}{8}$ " x 21 x 2 $\frac{3}{8}$ "	VICTORIAN	APPLY SEALANT	BELGARD - PHIL GALLICCHIO PHONE: 949.281.9692 EMAIL: PHIL.GALLICCHIO@OLDCASTLE.COM	SAND SET PAVERS APPLY THE TECHNISEAL PROTECTOR (IN) AND TECHNISEAL HP JOINTING SAND PER MANUFACTURERS RECOMMENDATIONS
S-01	COBBLE IN POTTERY SALMON BAY	L9.01-L9.04	SALMON BAY	$\frac{1}{2}$ "	MIXED COLORS, LIGHT EARTHTONES, RED/PINK, WHITE/COOL NEUTRAL	N/A	DECORATIVE STONE SOLUTIONS - RANDY JURGENSEN PHONE: 909.202.9279 EMAIL: RANDY@DECORATIVESTONESOLUTIONS.COM	MINIMUM OF 1 $\frac{1}{2}$ " THICK OF COBBLE PER POT

SYMBOL	DESCRIPTION	DETAIL	TYPE / MODEL NO.	SIZE	MATERIAL / COLOR	FINISH	MANUFACTURER / SUPPLIER	COMMENTS
W-01	42" HIGH CAST IN PLACE WALL - THE MIX	L3.11	WALL: CAST IN PLACE WITH BOARD FORM FINISH	WALL : 6" WIDE X 42" HIGH	WALL : DAVIS COLOR: PEWTER #860	BOARD FORM FINISH	-	CONTRACTOR TO PROVIDE MOCK-UP SAMPLES OF BOARD FORM COLOR
W-02	42" HIGH CAST IN PLACE WALL - MIDWAY	L3.10	WALL: CAST IN PLACE WITH BOARD FORM FINISH	WALL : 6" WIDE X 42" HIGH	WALL : DAVIS COLOR: FLAGSTONE BROWN #641	BOARD FORM FINISH	-	CONTRACTOR TO PROVIDE MOCK-UP SAMPLES OF BOARD FORM COLOR

SYMBOL	DESCRIPTION	DETAIL	TYPE / MODEL NO.	SIZE	MATERIAL / COLOR	FINISH	MANUFACTURER / SUPPLIER	COMMENTS
E-01	6" WIDE C.I.P. CONCRETE BAND - ADJACENT TO PLANTING AND D.G. AREAS	4 / L3.01	INTEGRAL COLOR CONCRETE DAVIS COLORS : PEBBLE #641	6" WIDE X DEPTH BY GEOTECH REPORT 3/16" SAWCUT @ EVERY 60"	CONCRETE : PEBBLE #641	MEDIUM BROOM FINISH	SEALER: SCOFIELD   WWW.SCOFIELD.COM	SEAL CONCRETE WITH 'REPELLO FPS' CLEAR MATTE SEALER BY SCOFIELD

SYMBOL	DESCRIPTION	QTY	TYPE / MODEL NO.	SIZE	MATERIAL / COLOR	FINISH	MANUFACTURER / SUPPLIER	COMMENTS
SA-01	BIKE RACKS	8	MODERN BIKE BOLLARD / MODEL 2013	4'- $\frac{3}{16}$ "D x 21'- $\frac{11}{16}$ "W x 36" H	STEEL POWDERCOATED / SPARTAN BRONZE	PREMIUM POWDER COATED SPARTAN BRONZE METALLIC	BELSON OUTDOORS WWW.BELSON.COM	SURFACE MOUNTED
SA-02	TRASH RECEPTACLE	5	32 GALLON POWDER -COATED TRASH RECEPTACLE / MODEL # SPCT32	25" DIA. X 40.25"	STEEL POWDERCOATED / SPARTAN BRONZE	POWDERCOATED	BELSON OUTDOORS WWW.BELSON.COM	OPERATIONS TEAM TO FINALIZE TOTAL COUNT OF TRASH RECEPTACLES NECESSARY.
SA-03	NATURAL BOULDERS	PER PLAN	NATURAL BOULDERS CIGAR BOULDER	A: 18"-24" B: 24"-32" C: 32"-36"	NATURAL ANGULAR STONE	N/A	DECORATIVE STONE SOLUTIONS - RANDY JURGENSEN PHONE: 909.202.9279 EMAIL: RANDY@DECORATIVESTONESOLUTIONS.COM	STONES TO BE INSTALLED $\frac{1}{2}$ " UNDER FINISH GRADE



**MCKNIGHT CROSSING  
SHOPPING CENTER**  
GRASS VALLEY, CALIFORNIA

GRASS VALLEY, CALIFORNIA

## MASTER FINISH SCHEDULE

Project Number: 2023-0208  
Plan Check Number: 22bld-0325

04-14-2023	50% DD SET
04-28-2023	100% CD SET

06-12-2023 7.1 REVISION

S H E E T

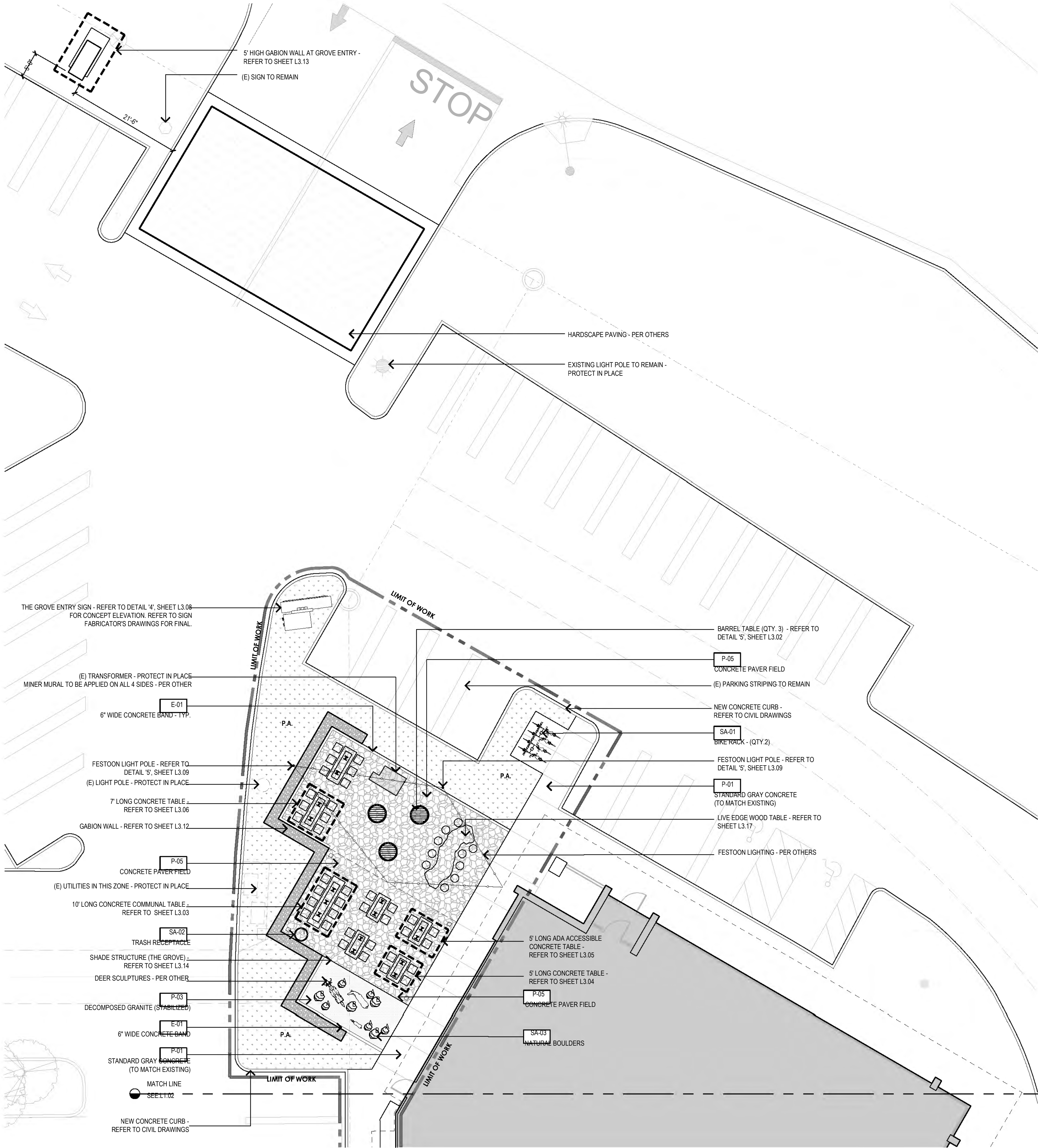
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**L1.00**



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PAVING AND COBBLE SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
P-01	C.I.P. PEDESTRIAN CONCRETE PAVING - STANDARD GRAY	2 / L3.01
P-02	C.I.P. PEDESTRIAN CONCRETE PAVING 'PEBBLE 641' COLOR WITH ACID ETCH #3	1,2 / L3.01
P-03	STABILIZED DECOMPOSED GRANITE	3 / L3.01
P-04	TRUNCATED DOME MAT DARK GREY	2 / L3.02
P-05	CONCRETE PAVER FIELD	6 / L3.01
S-01	COBBLE IN POTTERY SALMON BAY	L9.01-L9.04

WALL SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
W-01	42" HIGH CAST IN PLACE WALL - THE MIX	L3.11
W-02	42" HIGH CAST IN PLACE WALL - MIDWAY	L3.10

EDGING SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
E-01	6" WIDE C.I.P. CONCRETE BAND - ADJACENT TO PLANTING AND D.G. AREAS	4 / L3.01

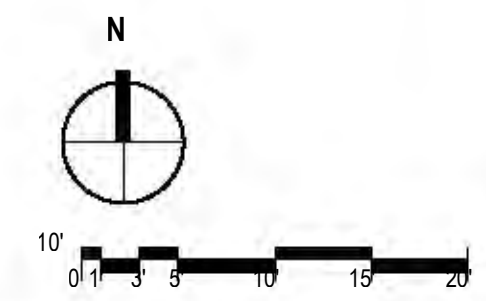
SITE AMENITIES SCHEDULE

SYMBOL	DESCRIPTION	QTY
SA-01	BIKE RACKS	8
SA-02	TRASH RECEPTACLE	5
SA-03	NATURAL BOULDERS	PER PLAN

GENERAL CONSTRUCTION PLAN NOTES

- REFER TO GENERAL NOTES AND LEGENDS, SHEET L0.02 FOR GENERAL CONSTRUCTION NOTES AND ABBREVIATIONS.
- REFER TO FINISH SCHEDULE, SHEET L1.00 FOR FINISH INFORMATION.
- REFER TO POTTERY & SITE AMENITIES PLANS FOR POTTERY & SITE AMENITIES IDENTIFICATION.
- CONTRACTOR TO VERIFY ALL QUANTITIES PRIOR TO PURCHASE AND INSTALLATION.
- HATCH DENOTES PLANTING AREA.
- HATCH DENOTES DECOMPOSED GRANITE.
- ALL FURNITURE TO BE HANDLED BY FFE CONSULTANT, UNLESS SPECIFIED ON LANDSCAPE PLANS.
- ALL CIVIL INFORMATION AND SITE UTILITIES SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY. REFER TO APPROPRIATE CONSULTANT DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ALL INFORMATION AGAINST EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER'S REP. OR ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE HELD LIABLE FOR ALL DAMAGES INCURRED DURING CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL SLEEVES AS NECESSARY FOR IRRIGATION DESIGN PRIOR TO INSTALLATION OF CONCRETE PAVING.
- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATIONS.
- ALL CONSTRUCTION AND INSTALLATION OF LANDSCAPE ITEMS SHALL BE PER LOCAL CODES AND ORDINANCES.
- THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND SHALL BE RESPONSIBLE FOR THE PROPER EXECUTION OF ALL DETAILS OF INSTALLATION INCLUDING COORDINATION OF DESIGN INTENT WITH LANDSCAPE ARCHITECT. ANY CONSTRUCTION NOT MEETING THE APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH ACCEPTABLE CONSTRUCTION.
- ALL GRADING ON SITE SHALL HAVE POSITIVE SURFACE DRAINAGE (2% MINIMUM GRADE IN PLANTING AREAS) AWAY FROM STRUCTURES AND TERMINATING IN AN APPROVED DRAINAGE SYSTEM.





SITE AMENITIES SCHEDULE		
SYMBOL	DESCRIPTION	QTY
SA-01	BIKE RACKS	8
SA-02	TRASH RECEPTACLE	5
SA-03	NATURAL BOULDERS	PER PLAN

- # S H E E T

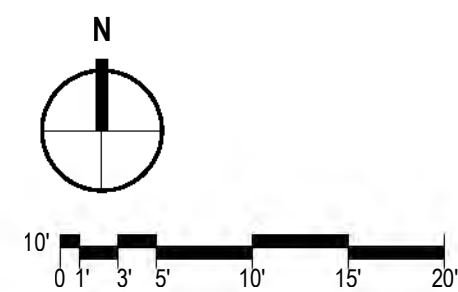
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## L1.02

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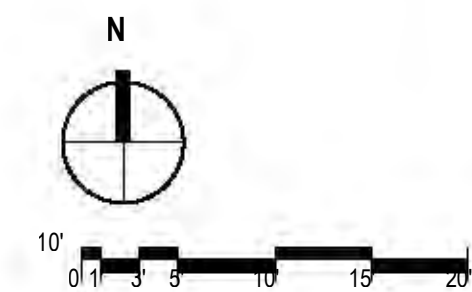





### GENERAL CONSTRUCTION PLAN NOTES

- ## L1.03





1. REFER TO GENERAL NOTES AND LEGENDS, SHEET 1.02 FOR GENERAL CONSTRUCTION NOTES AND ABBREVIATIONS.
2. REFER TO FINISH SCHEDULE, SHEET 1.10 FOR FINISH INFORMATION.
3. REFER TO POTTERY & SITE AMENITIES PLANS FOR POTTERY & SITE AMENITIES IDENTIFICATION.
4. CONTRACTOR TO VERIFY ALL QUANTITIES PRIOR TO PURCHASE AND INSTALLATION.
5.  HATCH DENOTES PLANTING AREA.
6. HATCH DENOTES DECOMPOSED GRANITE.
7. ALL FURNITURE TO BE HANDLED BY FEE CONSULTANT, UNLESS SPECIFIED ON LANDSCAPE PLANS.
8. ALL CIVIL INFORMATION AND SITE UTILITIES SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY. REFER TO APPROPRIATE CONSULTANT DRAWINGS.
9. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ALL INFORMATION AGAINST EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER'S REP. OR ARCHITECT OF ANY DISCREPANCIES.
10. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE HELD LIABLE FOR ALL DAMAGES INCURRED DURING CONSTRUCTION.
11. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL SLEEVES AS NECESSARY FOR IRRIGATION DESIGN PRIOR TO INSTALLATION OF CONCRETE PAVING.
12. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATIONS.
13. ALL CONSTRUCTION AND INSTALLATION OF LANDSCAPE ITEMS SHALL BE PER LOCAL CODES AND ORDINANCES.
14. THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND SHALL BE RESPONSIBLE FOR THE PROPER EXECUTION OF ALL DETAILS OF INSTALLATION INCLUDING COORDINATION OF DESIGN INTENT WITH LANDSCAPE ARCHITECT. ANY CONSTRUCTION NOT MEETING THE APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AND AT AN ACCEPTABLE CONSTRUCTION.
15. ALL GRADING ON SITE SHALL HAVE POSITIVE SURFACE DRAINAGE (2% MINIMUM GRADE IN PLANTING AREAS) AWAY FROM STRUCTURES AND TERMINATING IN AN APPROVED DRAINAGE SYSTEM.



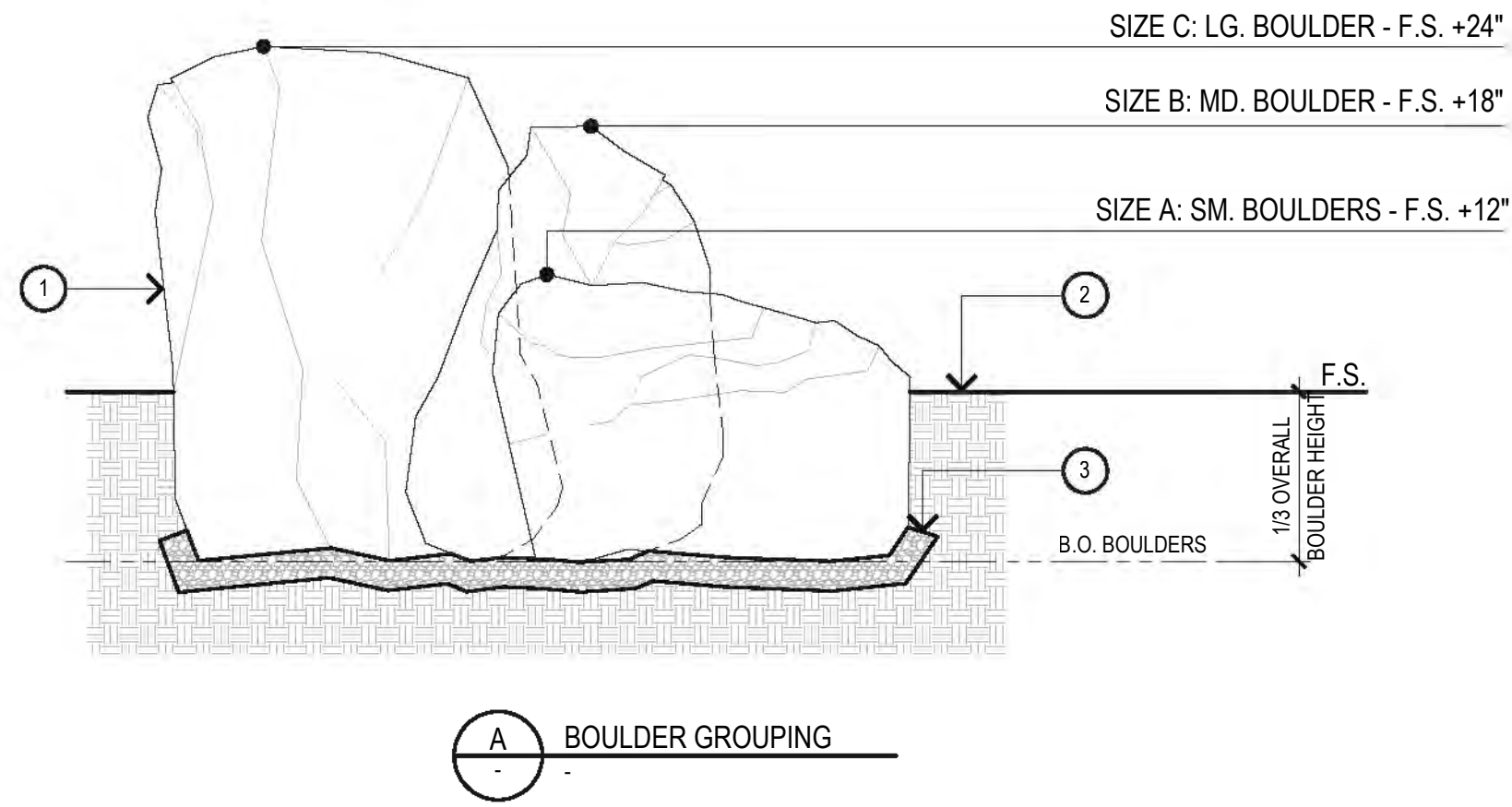
## L1.04







- 1 CIGAR BOULDERS FROM DECORATIVE STONE SOLUTIONS - SET MIN.  $\frac{1}{3}$  HT. BELOW GRADE  
SIZE A: +/- 18" WIDE +/- 12" EXPOSED  
SIZE B: +/- 24" WIDE +/- 18" EXPOSED  
SIZE C: +/- 36" WIDE +/- 24" EXPOSED
- 2 DECOMPOSED GRANITE / ROCK MULCH
- 3 GRAVEL BASE BELOW BOULDERS - PER SUPPLIER RECOMMENDATIONS
- GENERAL NOTES:  
A. FABRICATOR SHALL PREPARE SHOP DRAWINGS TO BE SUBMITTED TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.  
B. REFER TO MASTER FINISH SCHEDULE ON SHEET L1.00



BOULDERS (TYP.)

1/2" = 1'-0"

3

DETECTABLE WARNING SURFACE MAT

1-1/2" = 1'-0"

2

ATRIUM DRAIN AT PLANTING AREAS

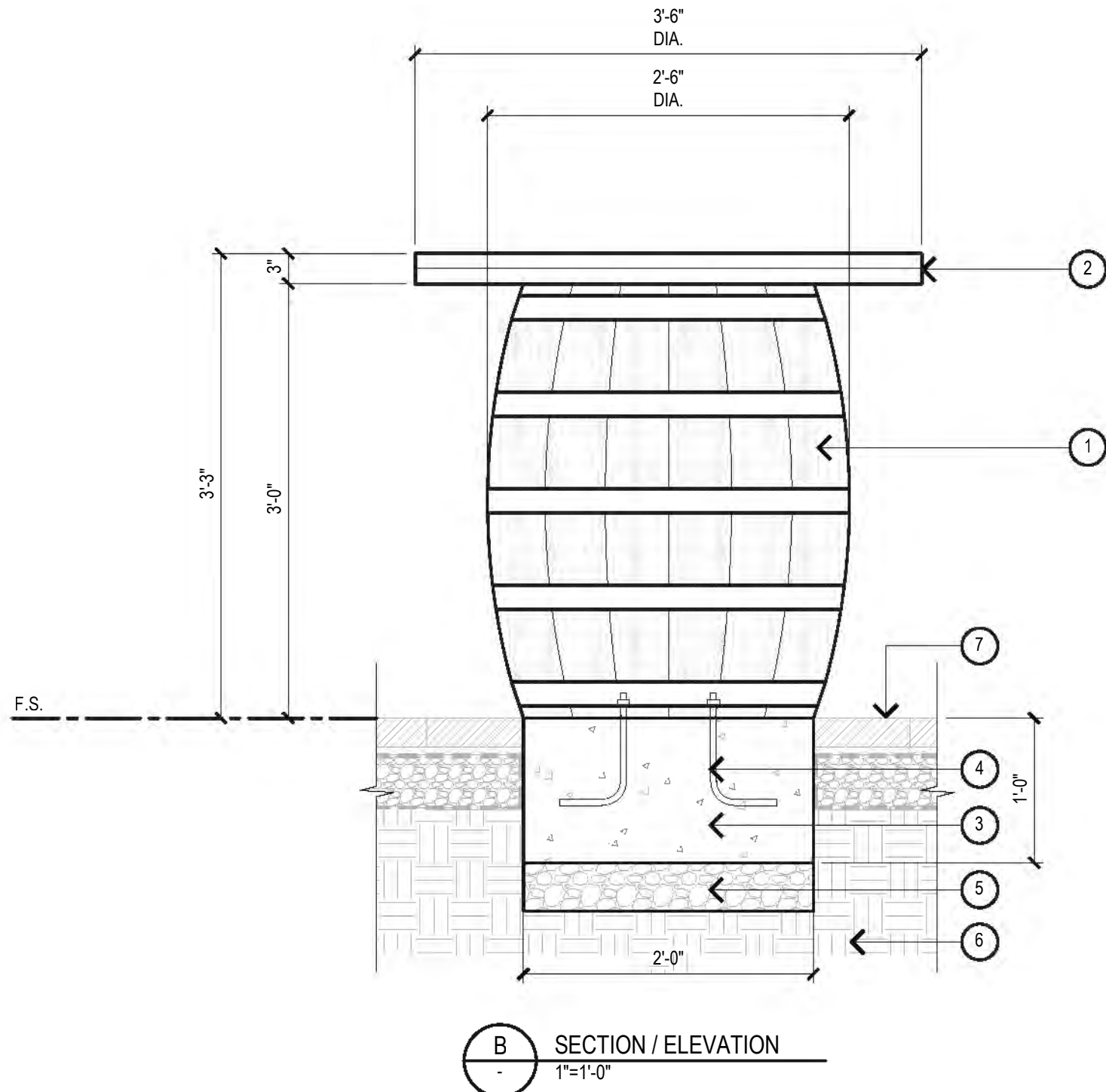
1-1/2" = 1'-0"

1



A REFERENCE IMAGE  
NTS

BARREL TABLE (THE GROVE)



dt\_barrel\_table\_12

1" = 1'-0"

5

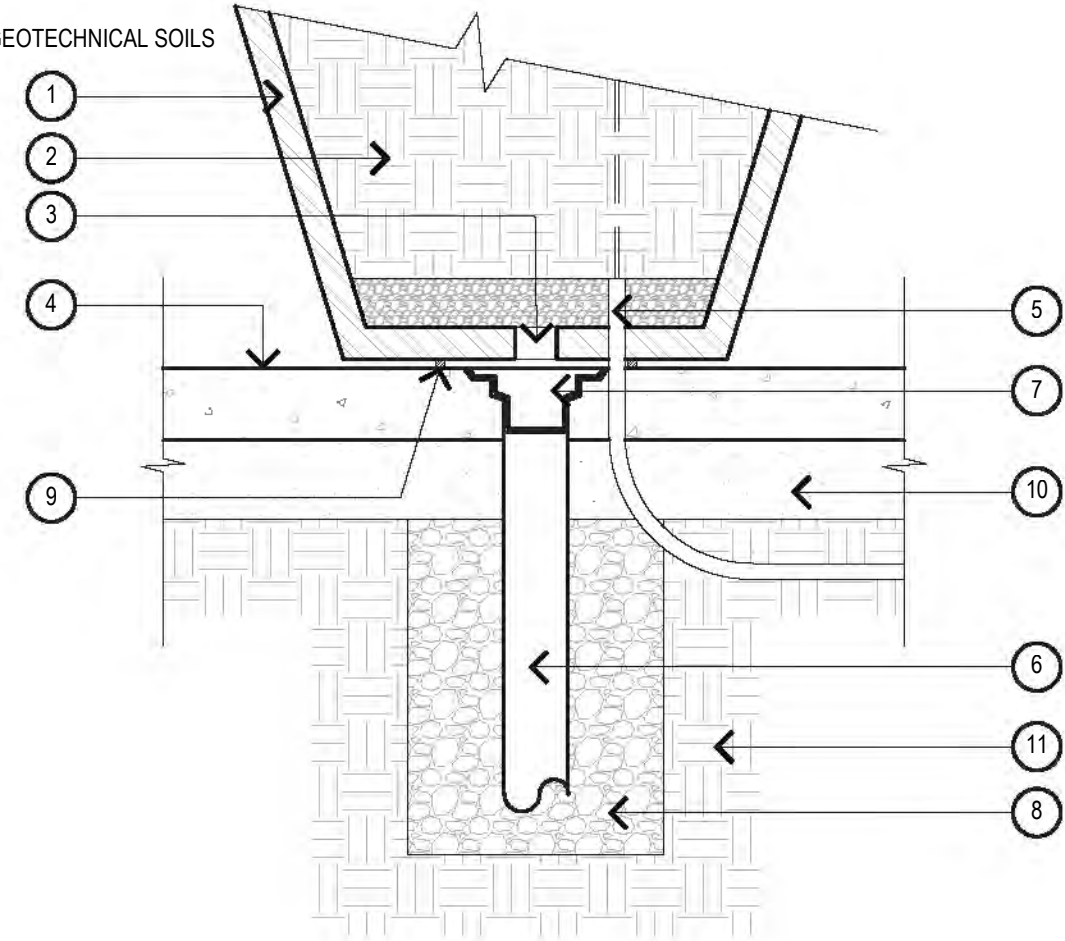
POTTERY SUMP ON GRADE

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1" = 1'-0"

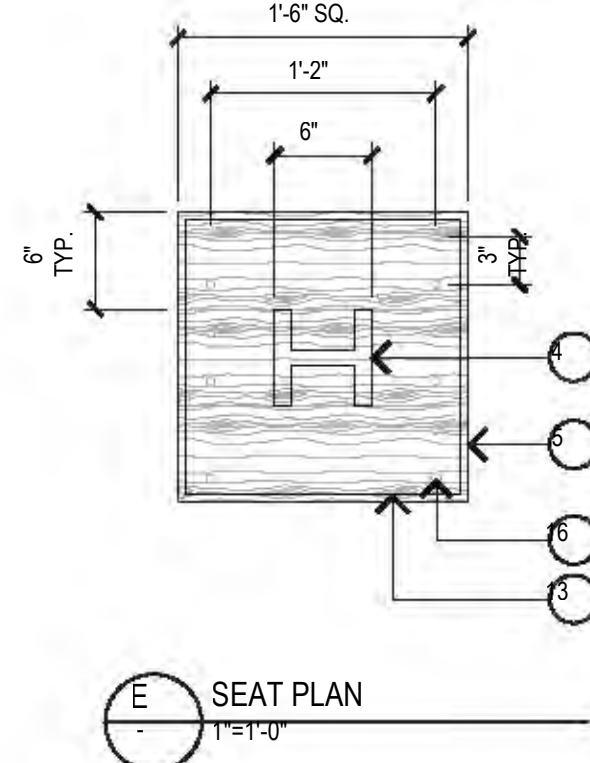
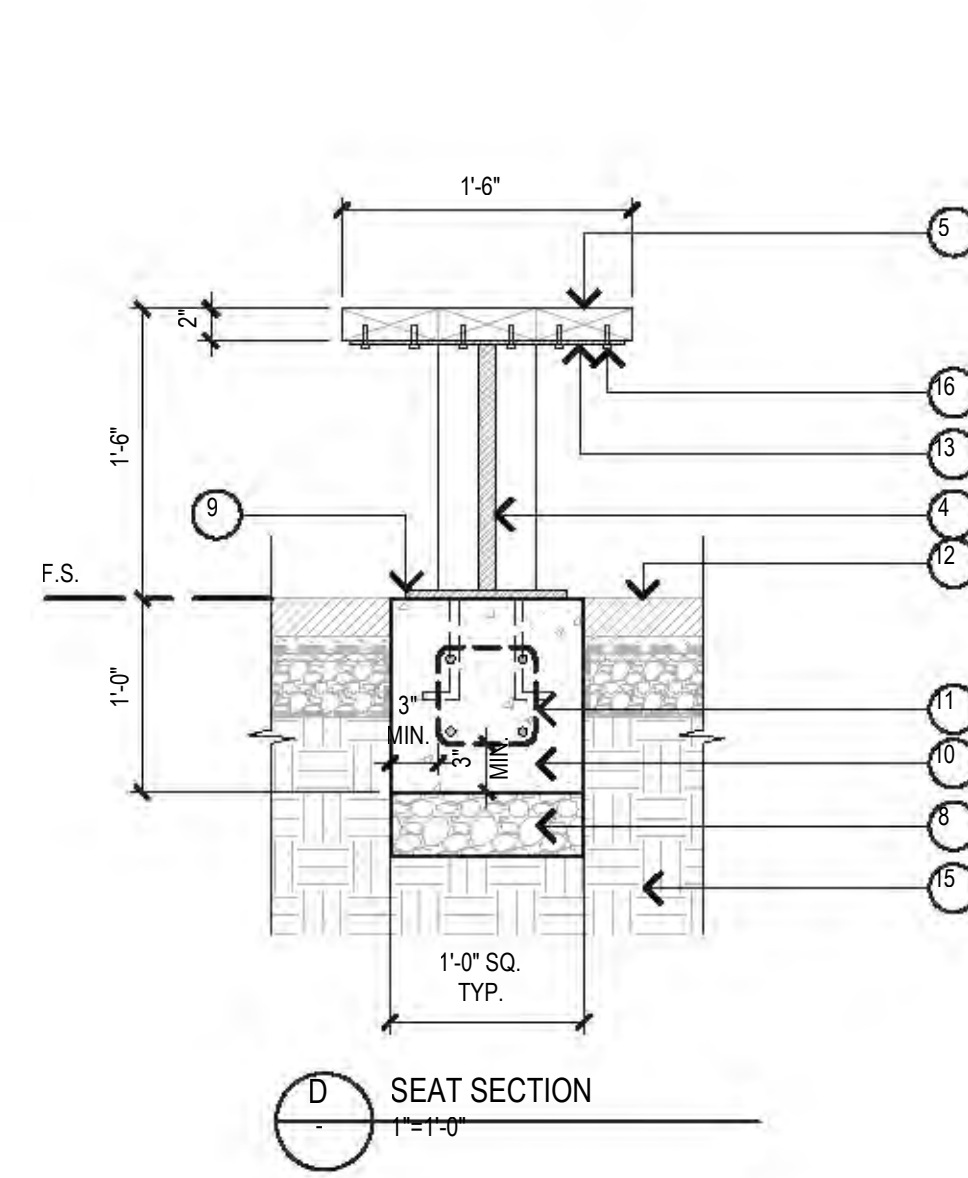
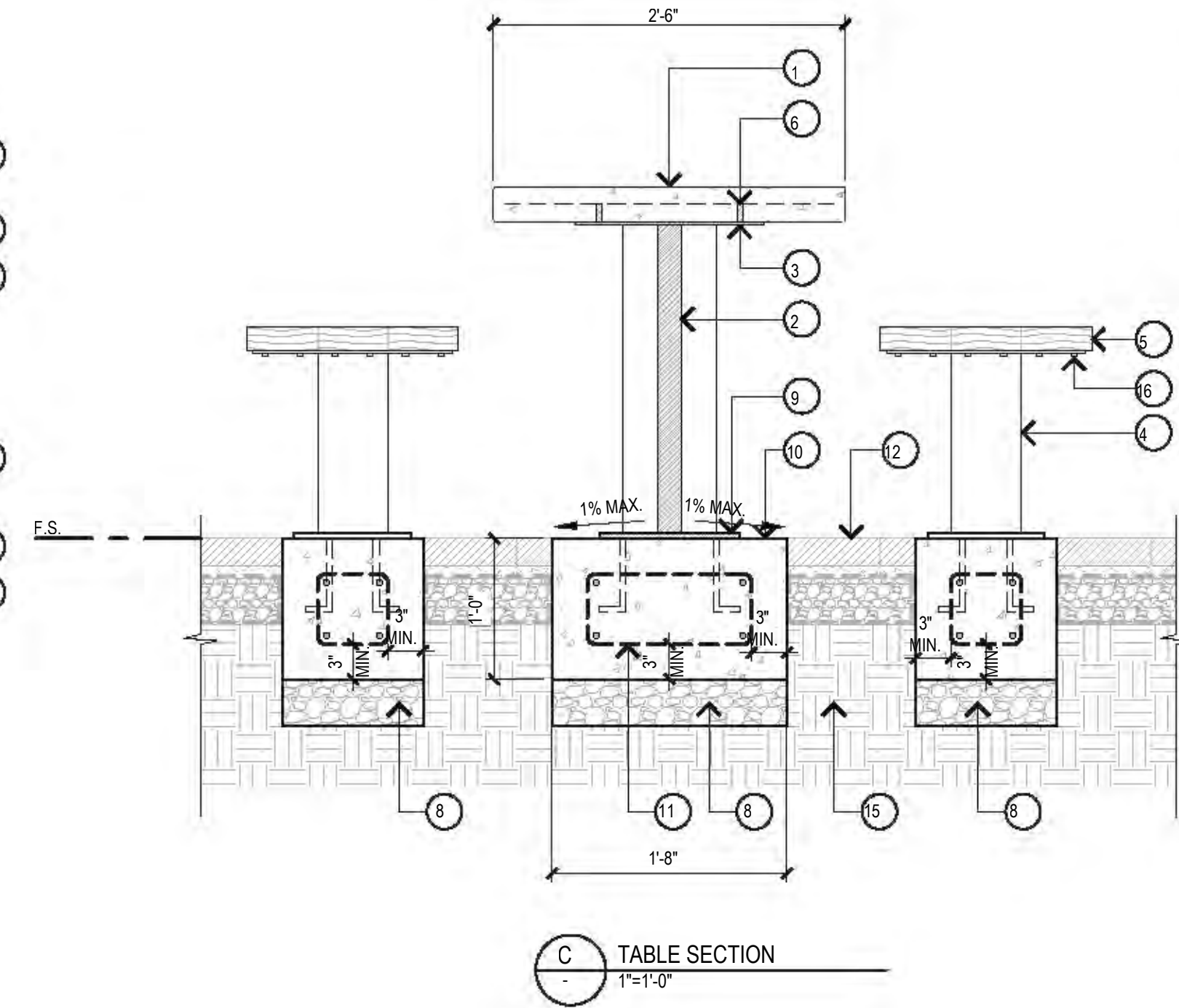
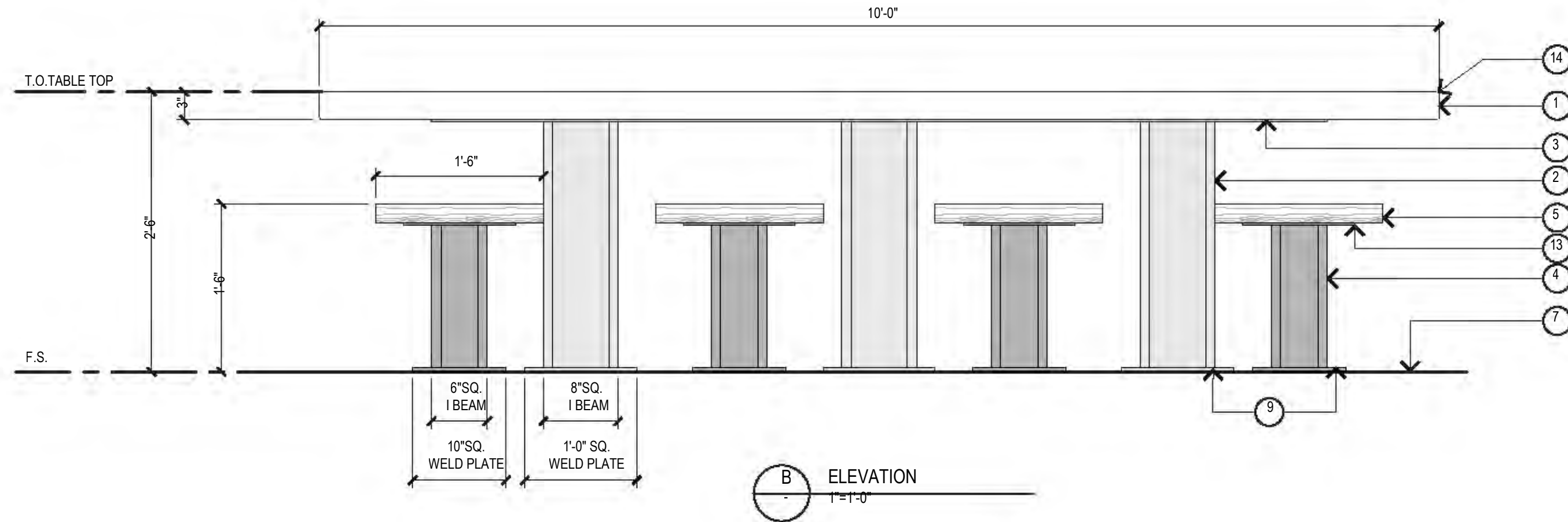
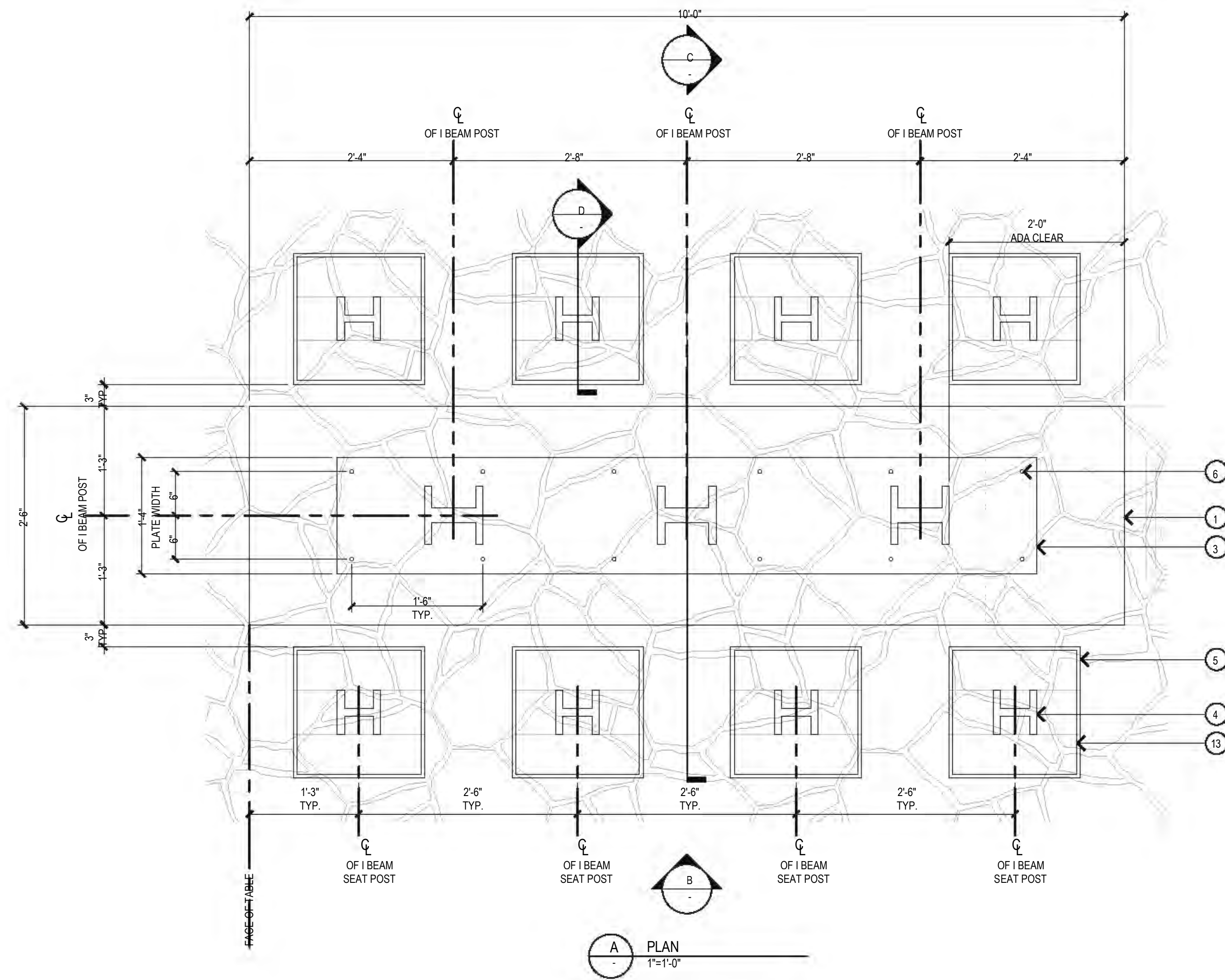
4

- 1 DECORATIVE POTTERY - REFER TO POTTERY PLANS FOR IDENTIFICATION
- 2 PLANTING BACKFILL MIX - EQUAL PARTS WOOD SHAVINGS & WASHED CONCRETE SAND
- 3 2" DIA. HOLE IN BOTTOM OF POTTERY
- 4 ADJACENT FINISH SURFACE
- 5 IRRIGATION CONDUIT - REFER TO IRRIGATION PLANS. SEAL OPENING AROUND PIPE
- 6 3" DIA. DRAINLINE TO SUMP
- 7 3" DIA. BRASS GRATE DRAIN AT HARDSCAPE, PER CIVIL ENGINEER
- 8 16" DIA. X 24" DEEP DRAINAGE SUMP WITH  $\frac{3}{4}$ "-1" GRAVEL FILL
- 9 INSTALL EPOXY RING SEAL AT POTTERY
- 10 SUB-BASE AS REQUIRED - REFER TO GEO-TECHNICAL SOILS REPORT
- 11 COMPACTED SUBGRADE AS REQUIRED - REFER TO GEOTECHNICAL SOILS REPORT





2012 Architects Design the AO



- 1 3" THICK C.I.P. CONCRETE TABLE TOP WITH WIRE MESH REINFORCEMENT
- 2 8" WIDE STEEL I BEAM POST WELDED TO PLATE EMBEDDED TO CONCRETE FOOTING
- 3 1/2" THICK STEEL PLATE SUPPORT WELDED TO I-BEAMS. PLATE TO HAVE 1/2" DIA. STEEL PEGS WELDED TO SUPPORT CONCRETE TABLE TOP
- 4 6" WIDE STEEL I-BEAM POST AT SEATS
- 5 2" THICK X 6" WIDE COMPRESSED BAMBOO LUMBER SLATS. 3 PER SEAT
- 6 1/2" DIA. X 1 1/2" HIGH STEEL PEGS WELDED TO SUPPORT CONCRETE TABLE TOP FROM BELOW - 12 PEGS TOTAL
- 7 FINISH SURFACE
- 8 TYPE 2 AGGREGATE BASE PER GEOTECH REPORT
- 9 1/2" THICK STEEL WELD PLATE AT BOTTOM OF I BEAM WITH STEEL J BOLTS EMBEDDED TO CONCRETE FOOTING
- 10 CONTINUOUS CONCRETE FOOTING WITH STRUCTURAL REINFORCEMENT. SLOPE MIN. 1% FOR DRAINAGE
- 11 (3) #4 REBAR CONTINUOUS IN FOOTING
- 12 ADJACENT PAVING
- 13 1/2" THICK STEEL PLATE SUPPORT WELDED TO I-BEAMS AT SEAT.
- 14 1/4" RADIUS CORNER AT TABLE EDGE
- 15 COMPACTED SUBGRADE PER GEOTECHNICAL SOILS REPORT
- 16 1-1/4" LONG MOUNTING SCREWS - MOUNTED UNDER SEAT

10' LONG CONCRETE TOP TABLE

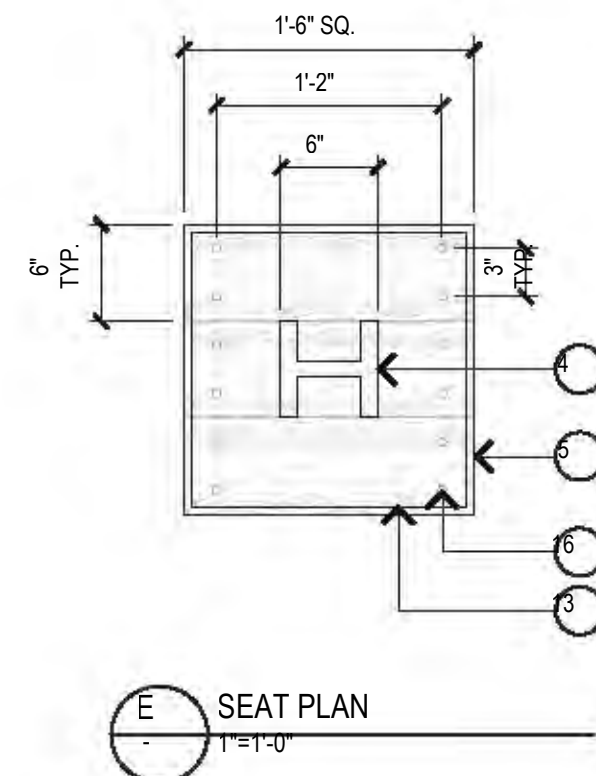
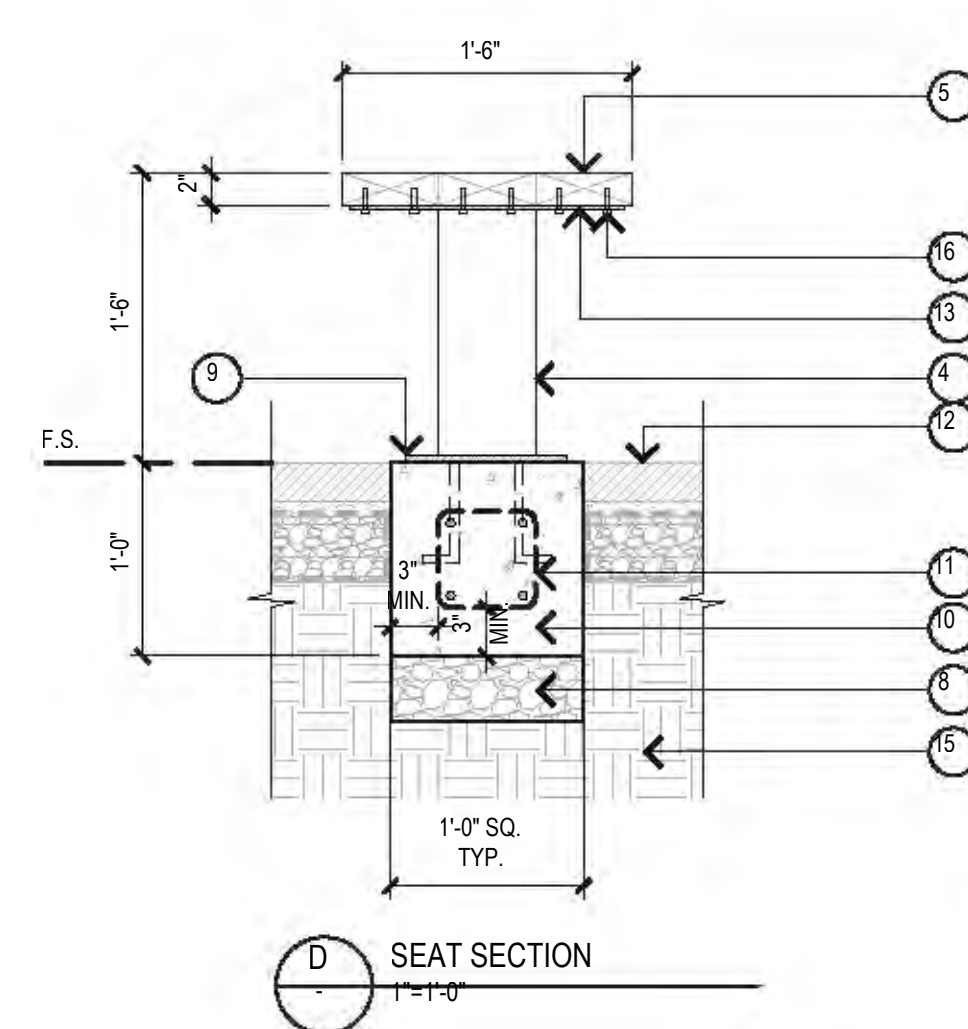
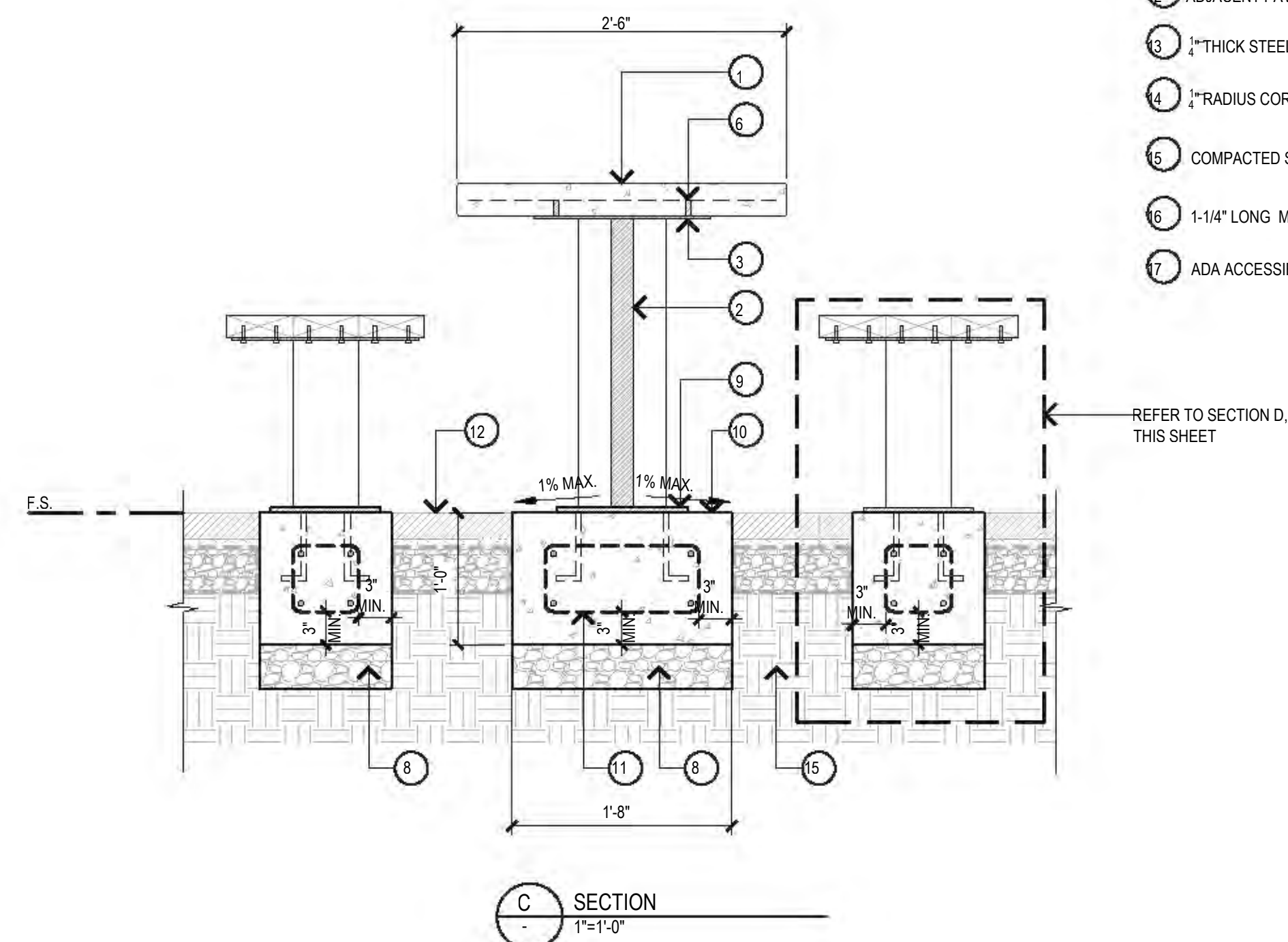
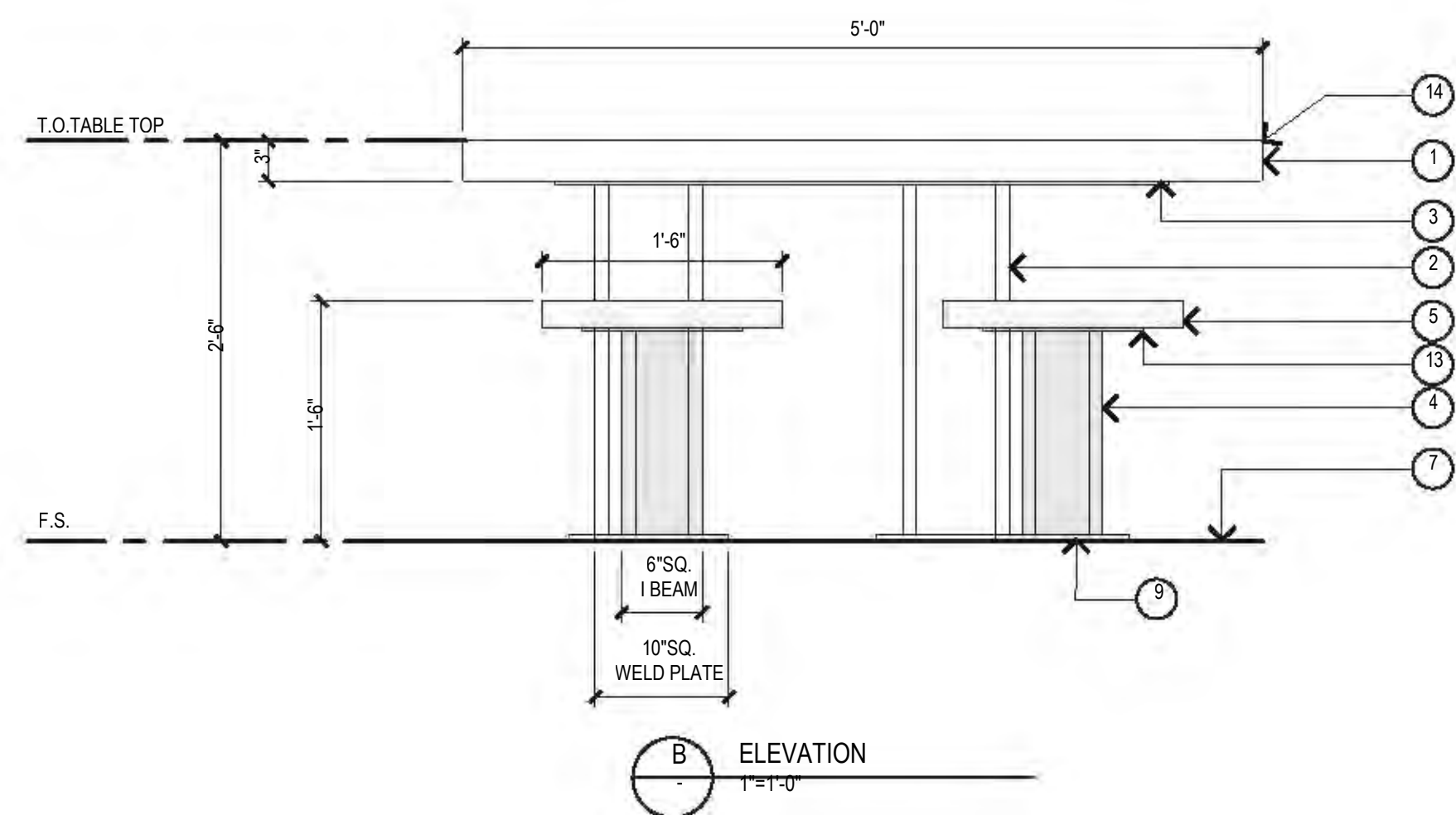
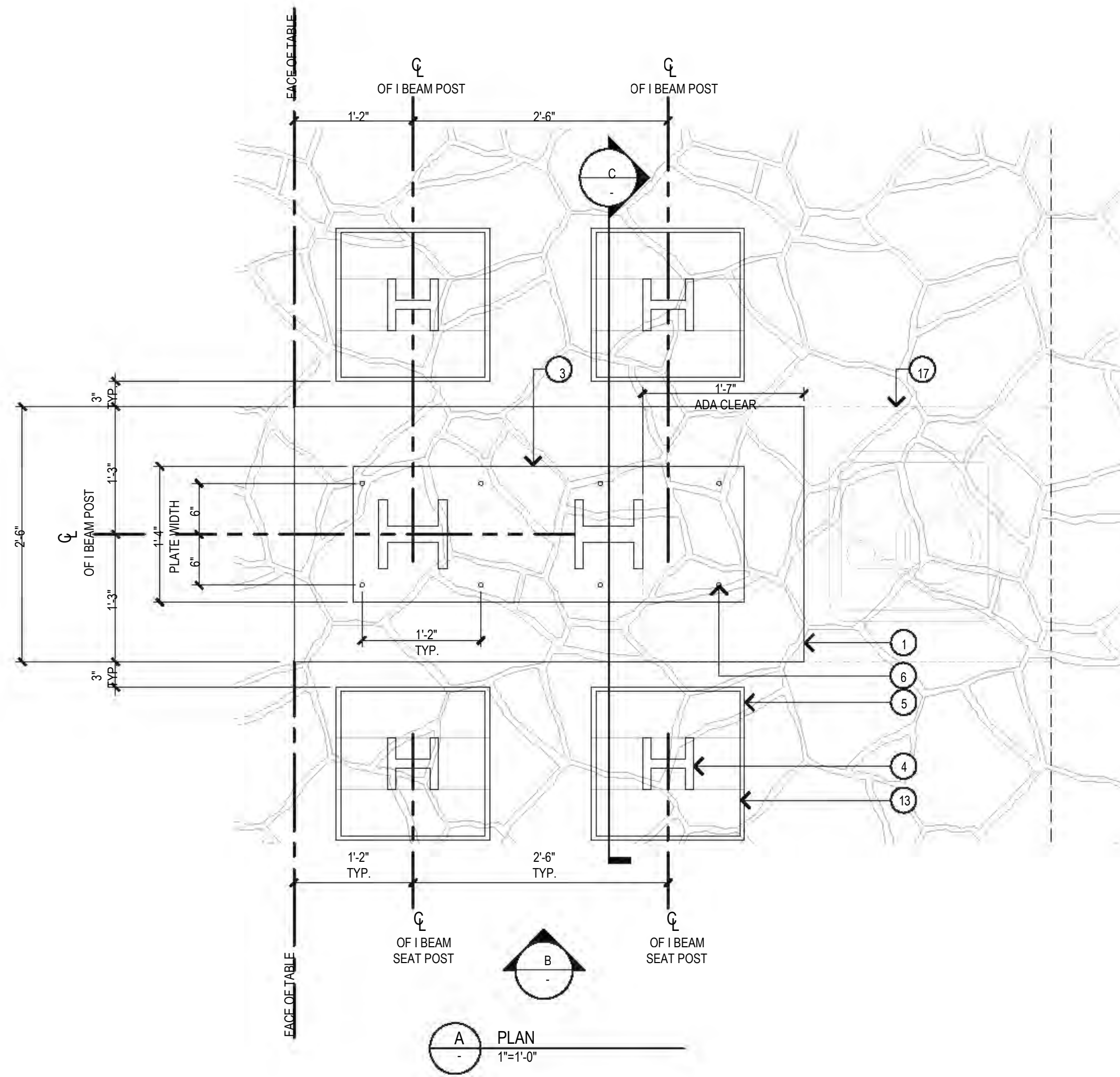
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1" = 1'-0"









- 1 3" THICK C.I.P. CONCRETE TABLE TOP WITH WIRE MESH REINFORCEMENT
- 2 8" WIDE STEEL I BEAM POST WELDED TO PLATE EMBEDDED TO CONCRETE FOOTING
- 3 1/2" THICK STEEL PLATE SUPPORT WELDED TO I-BEAMS. PLATE TO HAVE 1/2" DIA. STEEL PEGS WELDED TO SUPPORT CONCRETE TABLE TOP
- 4 6" WIDE STEEL I-BEAM POST AT SEATS
- 5 2" THICK X 6" WIDE COMPRESSED BAMBOO LUMBER SLATS. 3 PER SEAT
- 6 1/2" DIA. x 1 1/2" HIGH STEEL PEGS WELDED TO SUPPORT CONCRETE TABLE TOP FROM BELOW - 12 PEGS TOTAL
- 7 FINISH SURFACE
- 8 TYPE 2 AGGREGATE BASE PER GEOTECH REPORT
- 9 1/2" THICK STEEL WELD PLATE AT BOTTOM OF I BEAM WITH STEEL J BOLTS EMBEDDED TO CONCRETE FOOTING
- 10 CONTINUOUS CONCRETE FOOTING WITH STRUCTURAL REINFORCEMENT. SLOPE MIN. 1% FOR DRAINAGE
- 11 (3) #4 REBAR CONTINUOUS IN FOOTING
- 12 ADJACENT PAVING
- 13 1/2" THICK STEEL PLATE SUPPORT WELDED TO I-BEAMS AT SEAT.
- 14 1/2" RADIUS CORNER AT TABLE EDGE
- 15 COMPACTED SUBGRADE PER GEOTECHNICAL SOILS REPORT
- 16 1-1/4" LONG MOUNTING SCREWS - MOUNTED UNDER SEAT
- 17 ADA ACCESSIBLE SEATING

5' LONG CONCRETE TOP TABLE - ADA ACCESS

dt\_conc\_table\_10\_12

1" = 1'-0"



**MCKNIGHT CROSSING**  
**SHOPPING CENTER**  
GRASS VALLEY, CALIFORNIA

## CONSTRUCTION DETAILS

Project Number: 2023-0208

Check Number: 22bld-0325

4-2023 50% DD SET

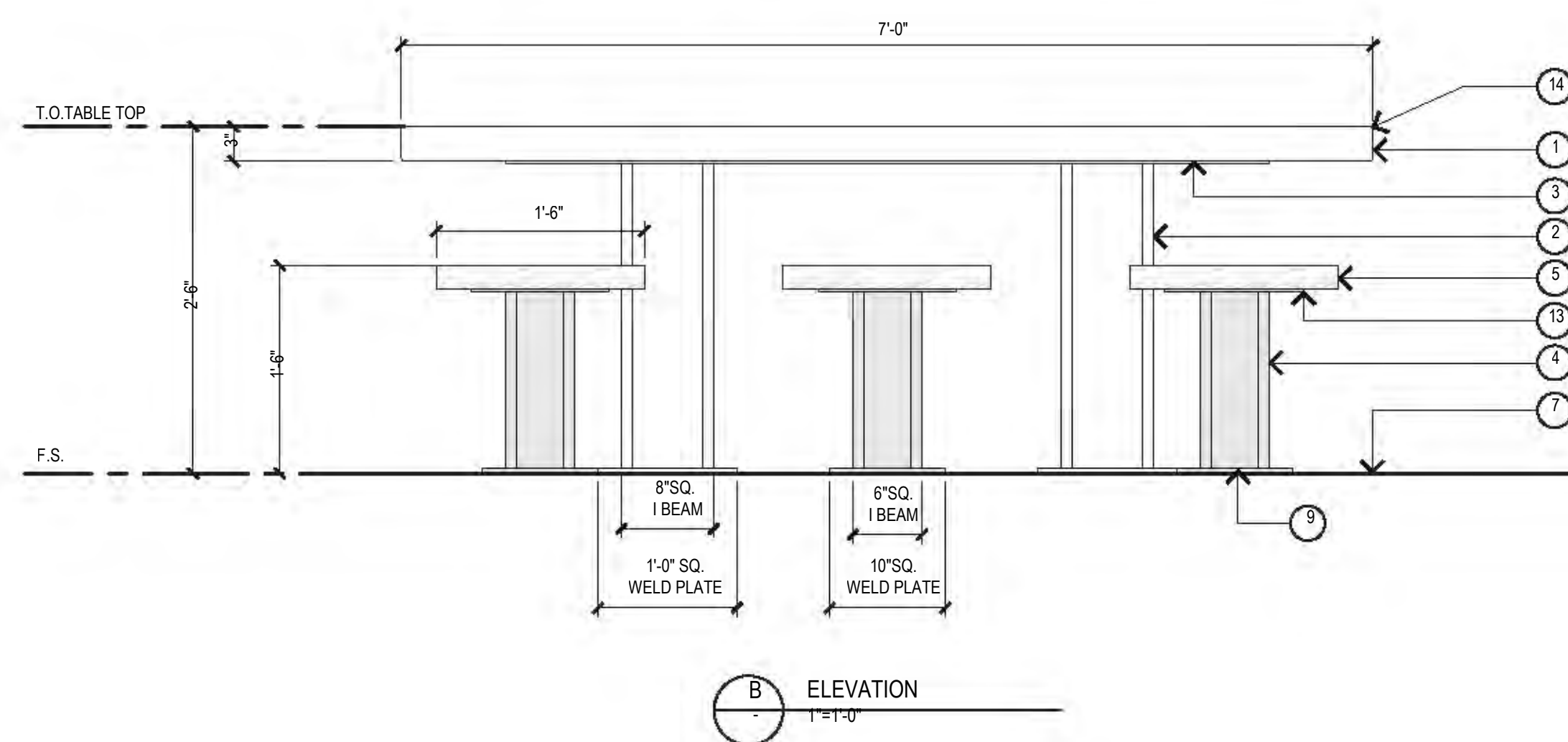
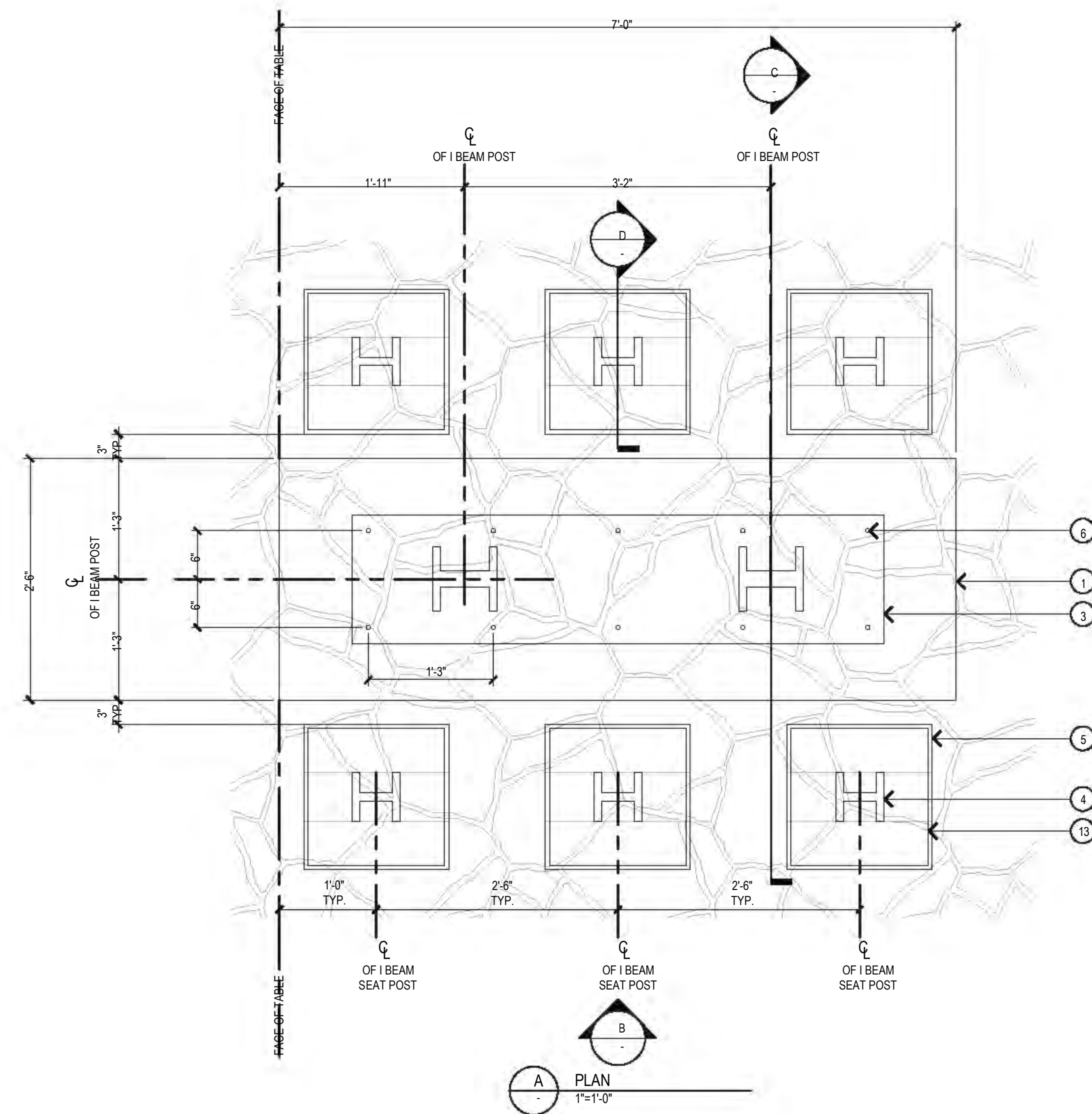
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12-2023 7  $\Delta$  REVISION

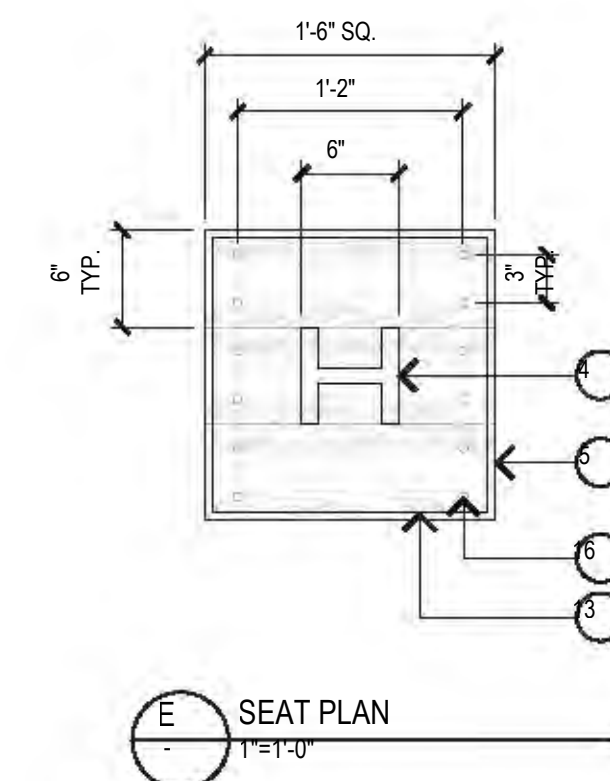
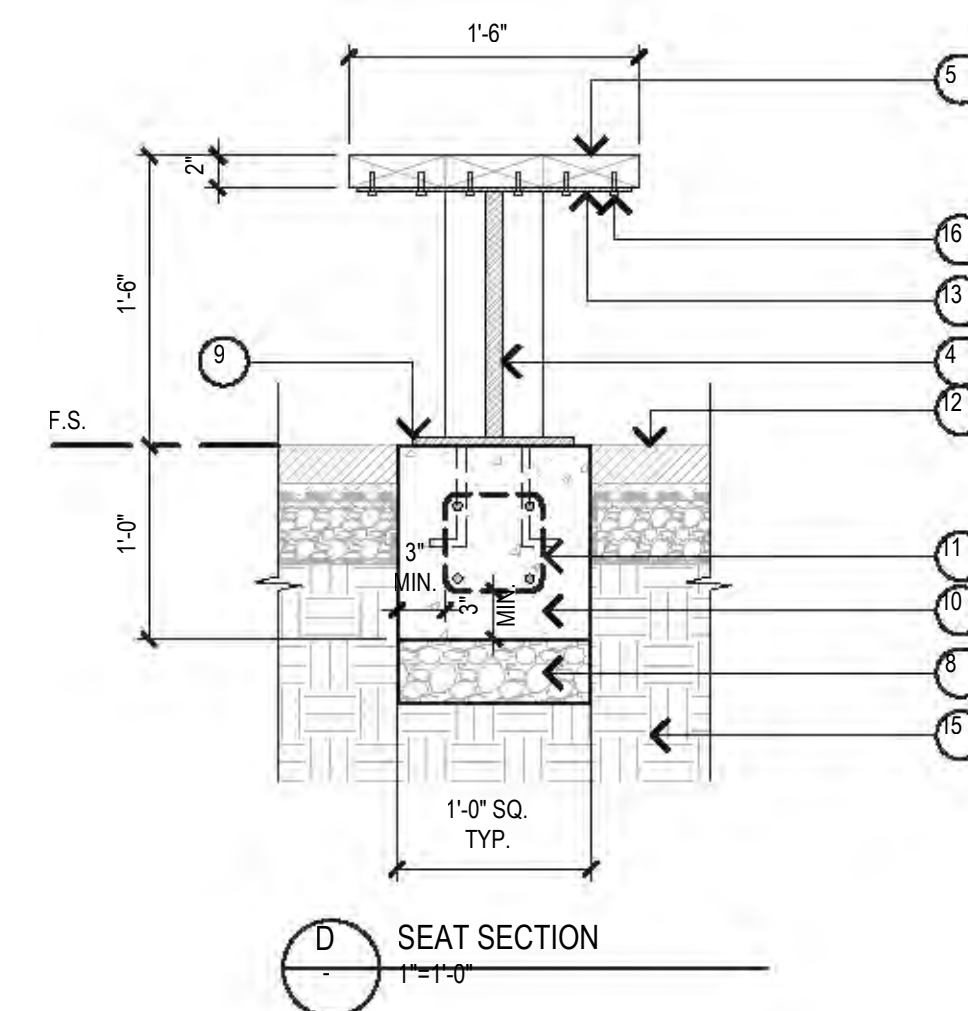
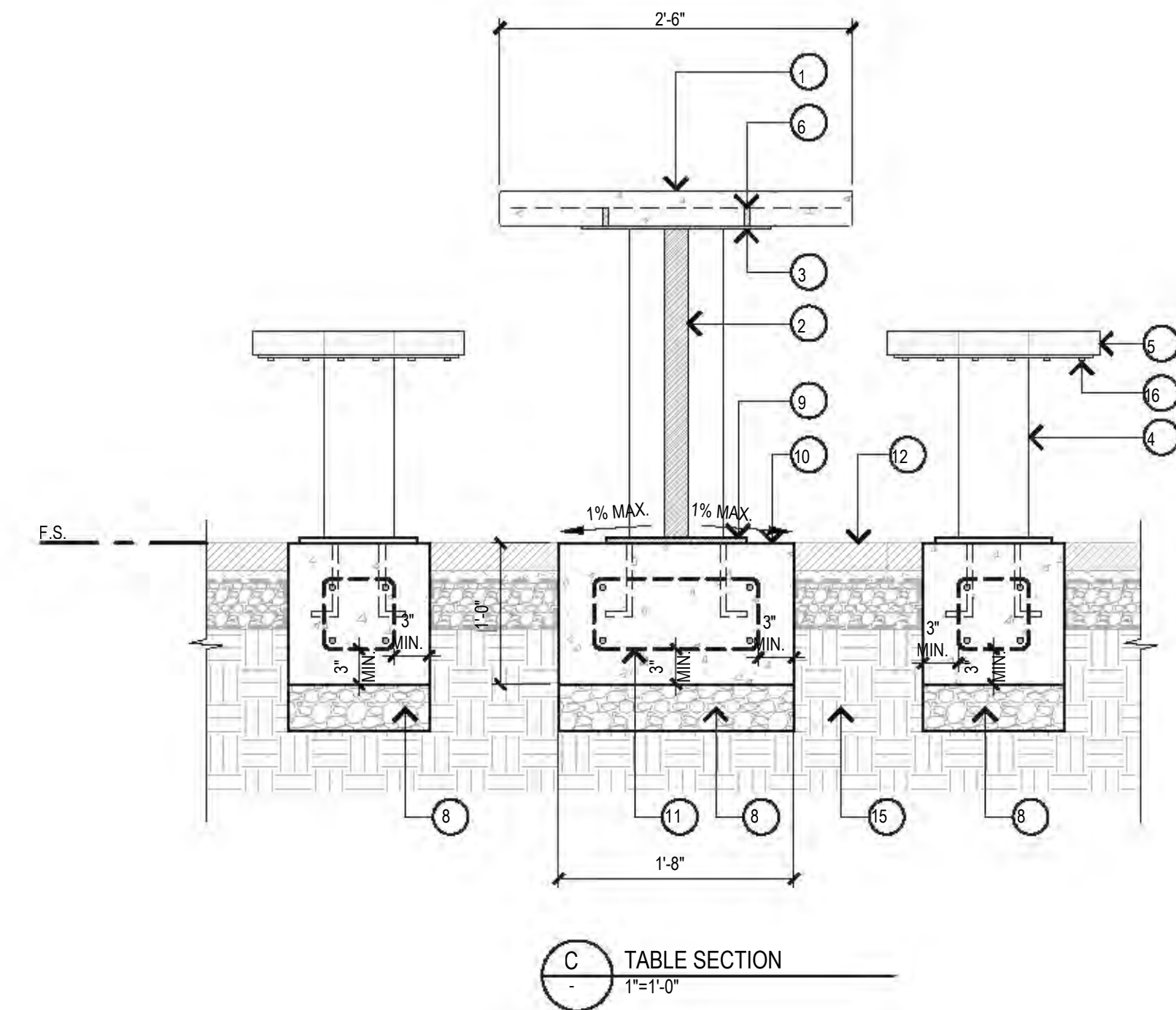
H E E T

CD

### L3.06



7' LONG CONCRETE TOP TABLE



- 3" THICK C.I.P CONCRETE TABLE TOP WITH WIRE MESH REINFORCEMENT
- 8" WIDE STEEL I BEAM POST WELDED TO PLATE EMBEDDED TO CONCRETE FOOTING
- $\frac{3}{4}$ " THICK STEEL PLATE SUPPORT WELDED TO I-BEAMS. PLATE TO HAVE  $\frac{1}{2}$ " DIA. STEEL PEGS WELDED TO SUPPORT CONCRETE TABLE TOP
- 6" WIDE STEEL I-BEAM POST AT SEATS
- 2" THICK X 6" WIDE COMPRESSED BAMBOO LUMBER SLATS. 3 PER SEAT
- $\frac{3}{4}$ " DIA. x  $1\frac{1}{2}$ " HIGH STEEL PEGS WELDED TO SUPPORT CONCRETE TABLE TOP FROM BELOW - 12 PEGS TOTAL
- FINISH SURFACE
- TYPE 2 AGGREGATE BASE PER GEOTECH REPORT
- $\frac{3}{4}$ " THICK STEEL WELD PLATE AT BOTTOM OF I BEAM WITH STEEL J BOLTS EMBEDDED TO CONCRETE FOOTING
- CONTINUOUS CONCRETE FOOTING WITH STRUCTURAL REINFORCEMENT. SLOPE MIN. 1% FOR DRAINAGE
- (3) #4 REBAR CONTINUOUS IN FOOTING
- ADJACENT PAVING
- $\frac{3}{4}$ " THICK STEEL PLATE SUPPORT WELDED TO I-BEAMS AT SEAT.
- $\frac{1}{4}$ " RADIUS CORNER AT TABLE EDGE
- COMPACTED SUBGRADE PER GEOTECHNICAL SOILS REPORT
- 1-1/4" LONG MOUNTING SCREWS - MOUNTED UNDER SEAT

dt\_conc\_table\_7\_12

$$1'' = 1'-0''$$







GRASS VALLEY, CALIFORNIA

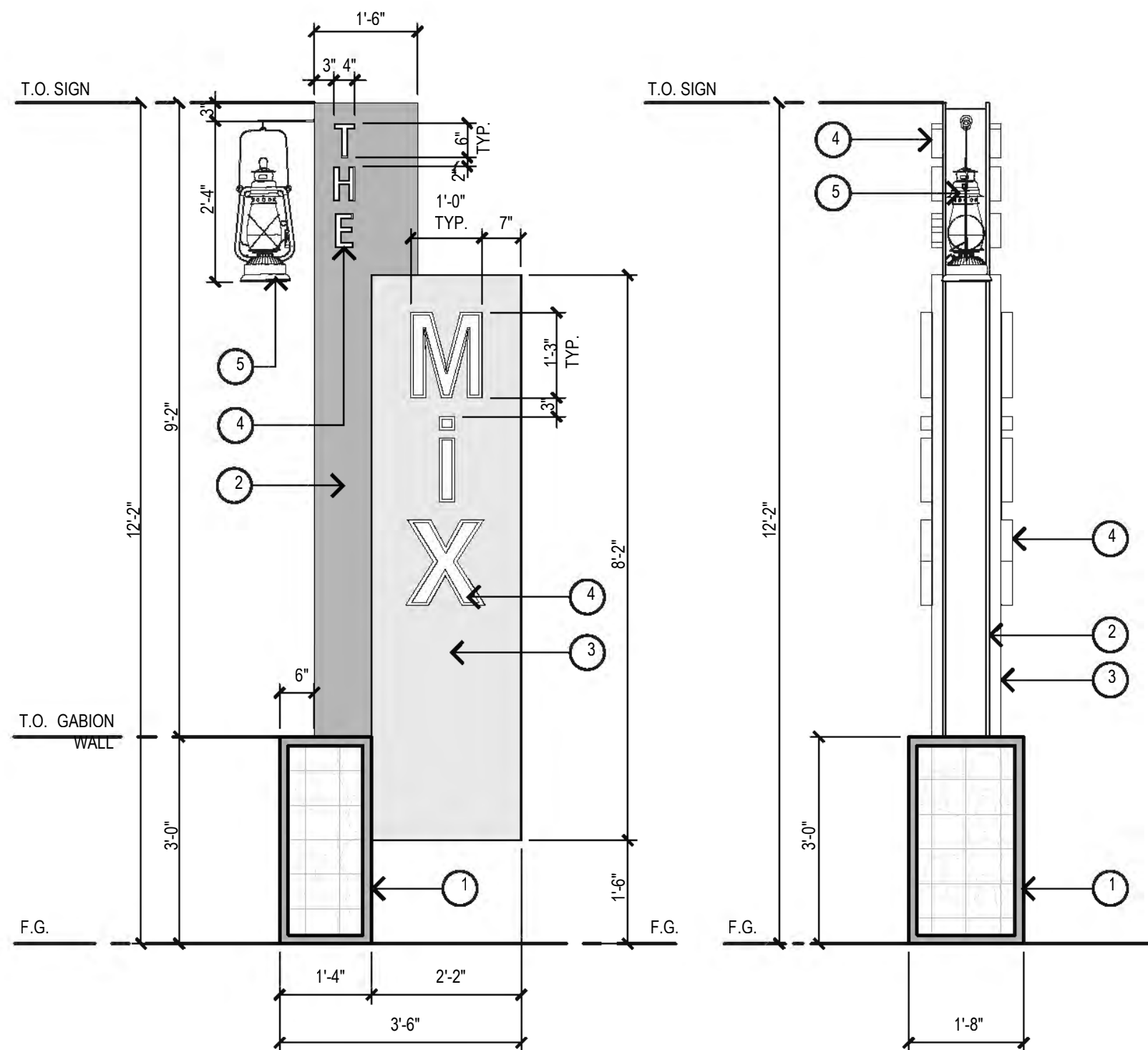
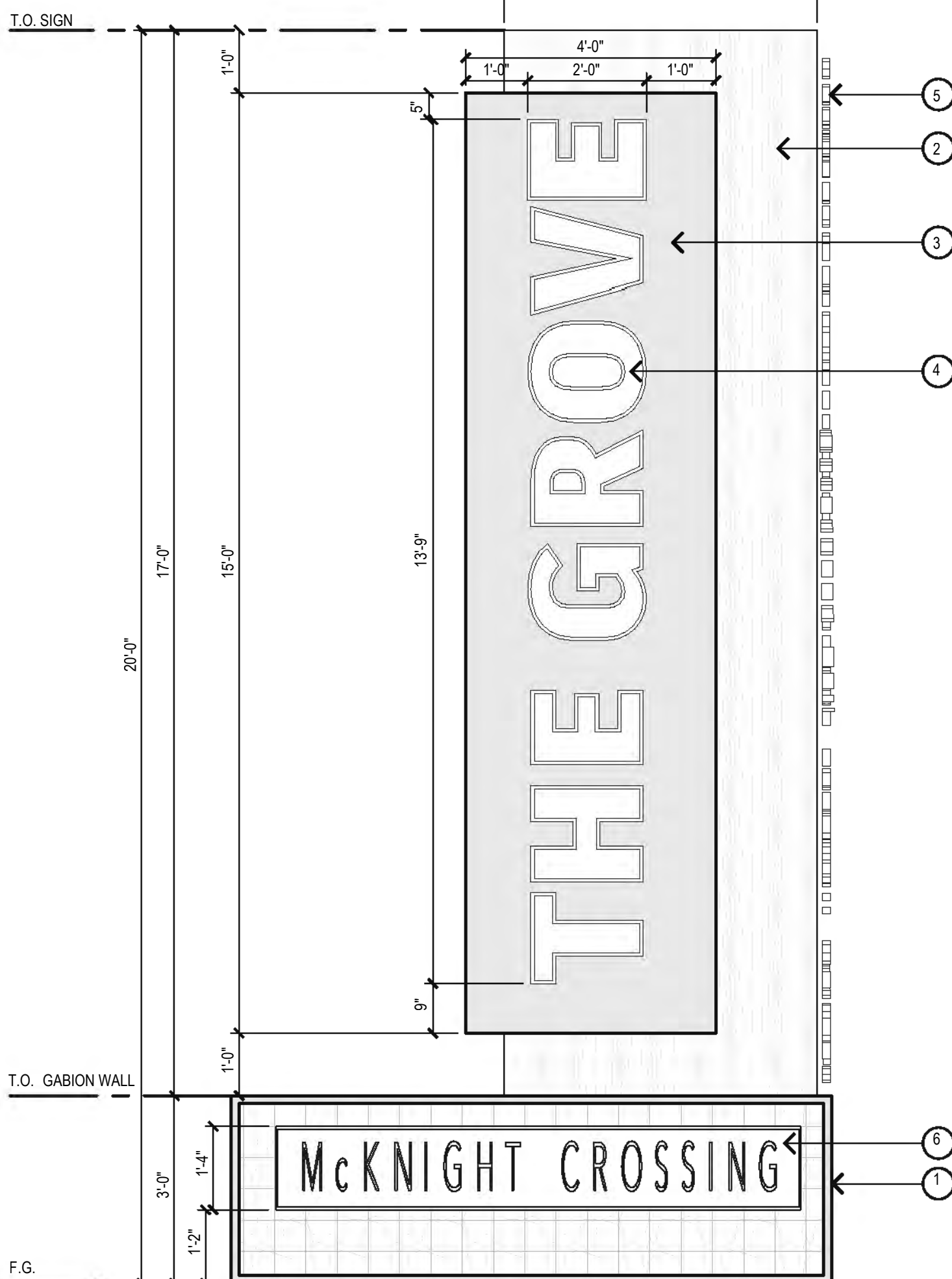
## CONSTRUCTION DETAILS

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04-28-2023	100% CD SET

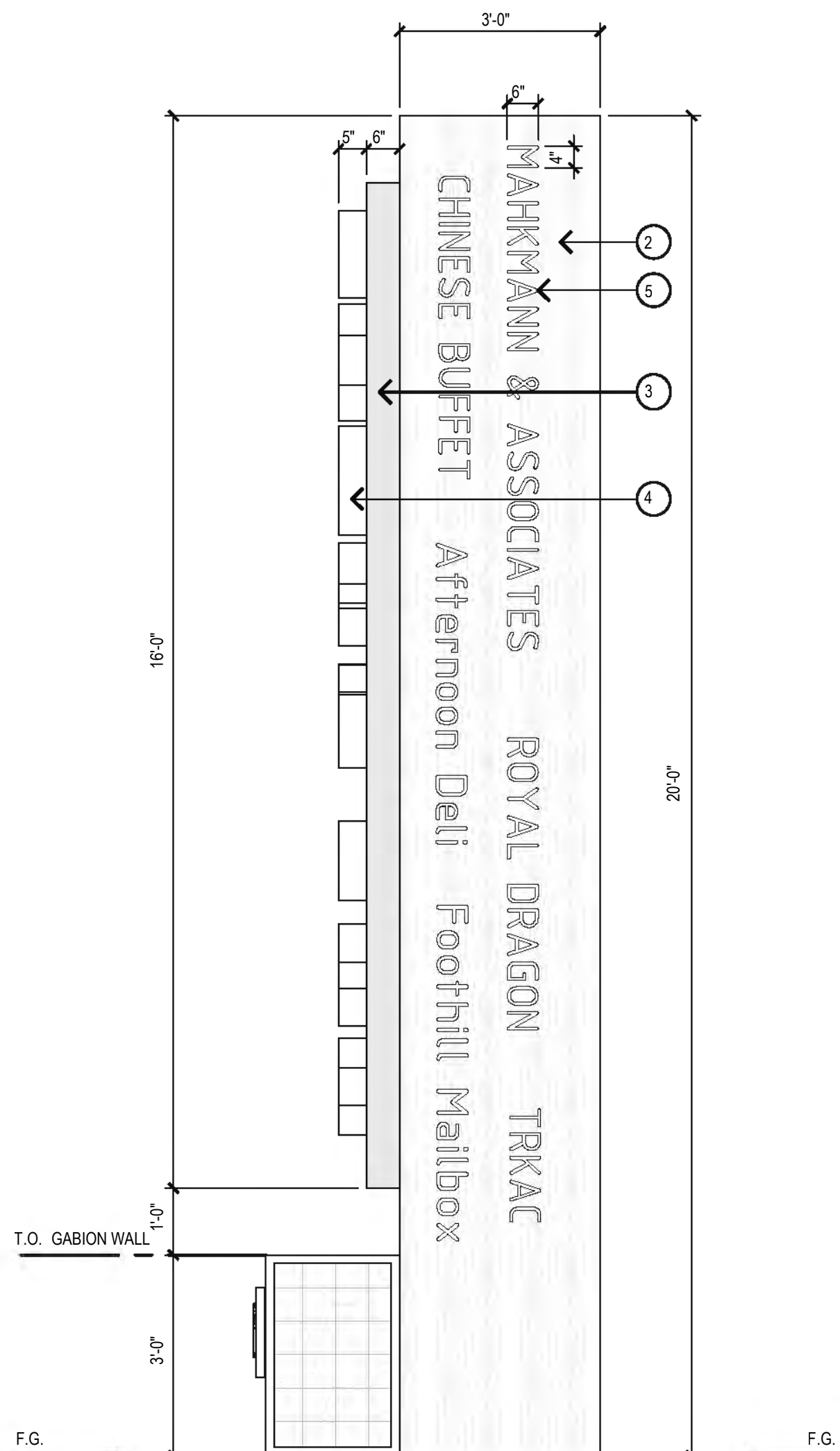
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**CD**

## L3.08

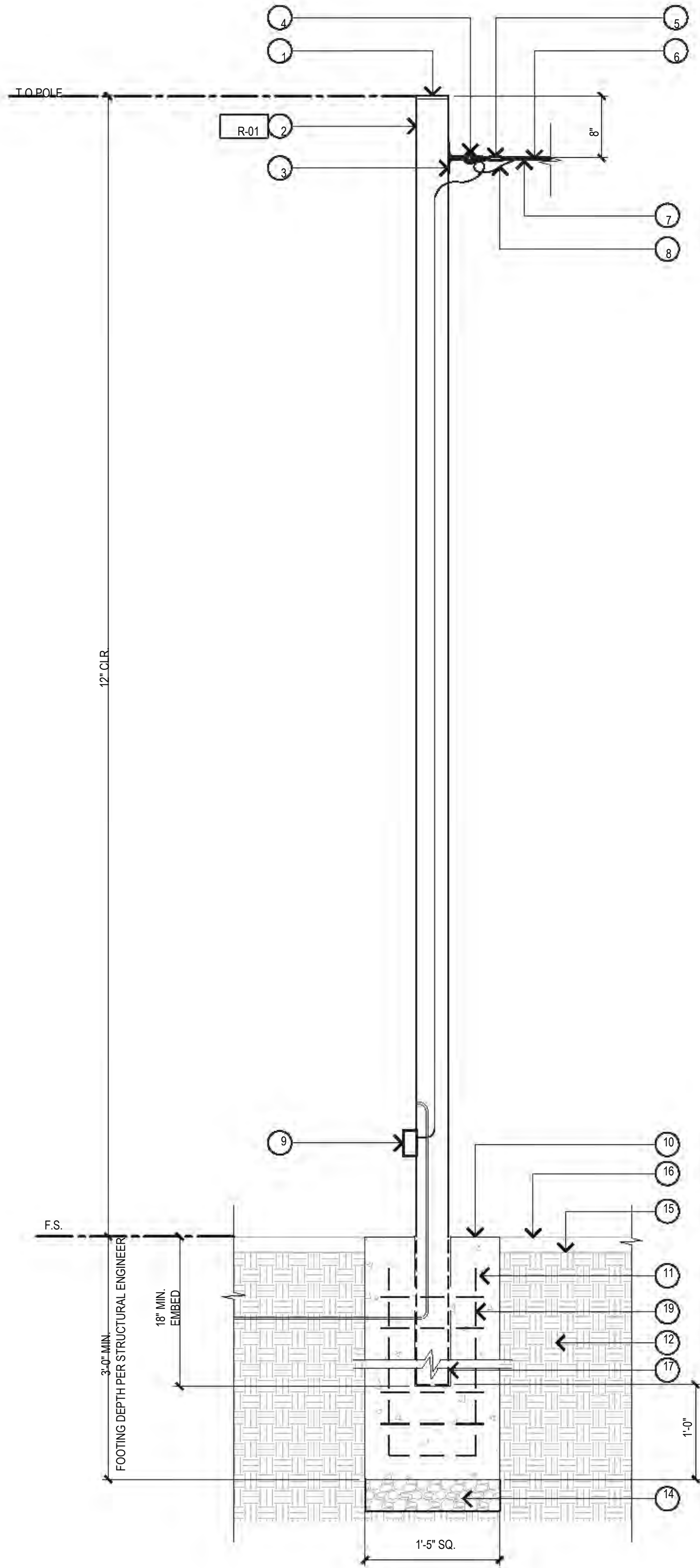

$$1/2^{\circ} = 1'-0''$$


dt\_sign\_thegrove\_24



dt\_sign\_thegrove\_24

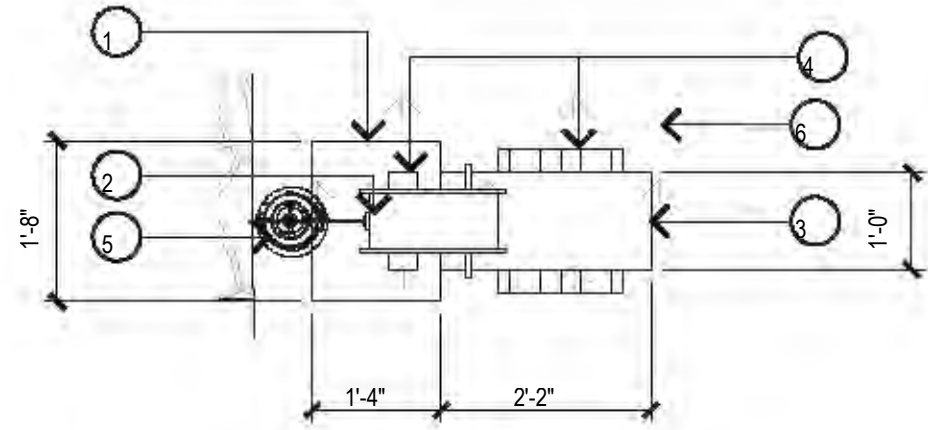




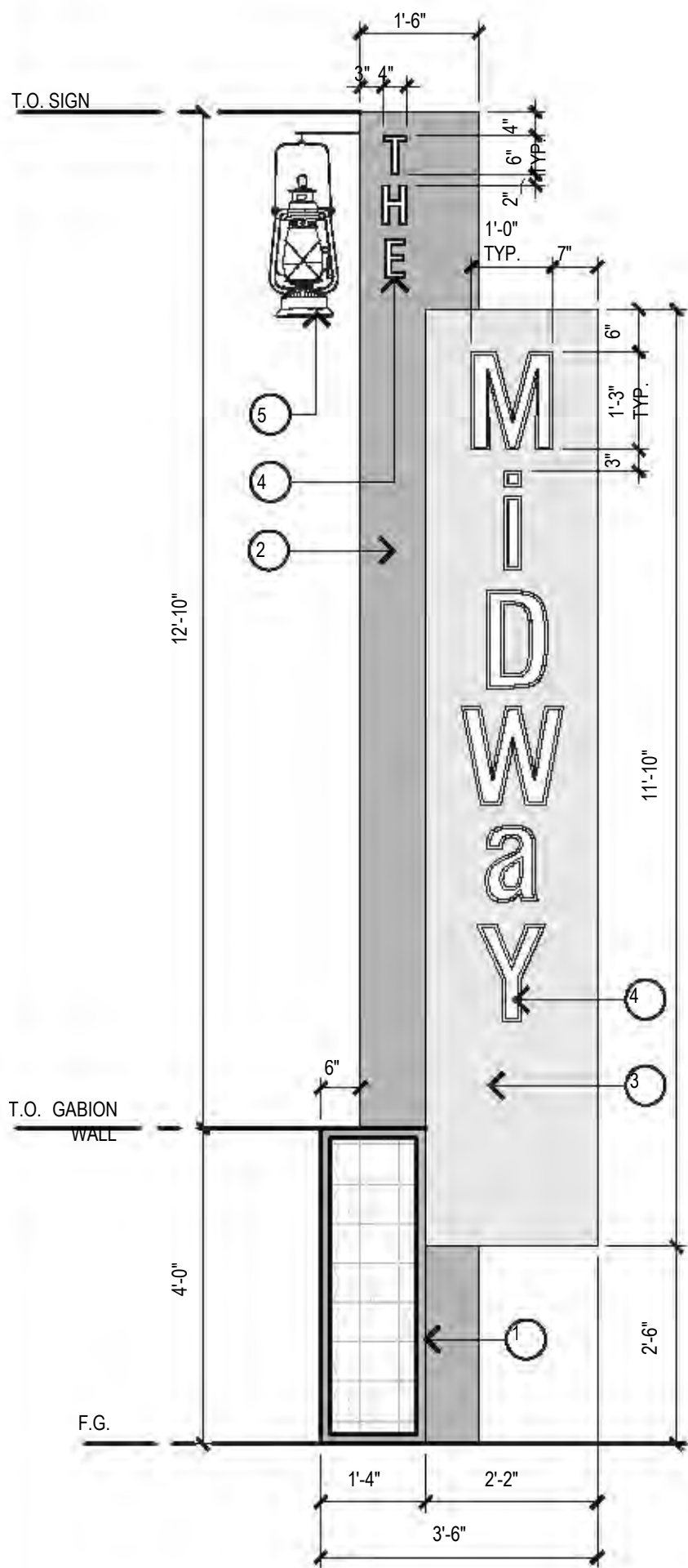
- 1 FLUSH CAP
- 2 4" X 4" HSS WEATHERED STEEL POST EMBEDDED TO CONCRETE FOOTING
- 3 4" X 16 GAUGE GALVANIZED STEEL PLATE WELDED TO POST
- 4 3/8" X 2" GALVANIZED EYE BOLT, WELD EYE BOLT TO MOUNTING PLATE
- 5 CABLE CLAMP
- 6 STAINLESS STEEL AIRCRAFT CABLE
- 7 TIE WRAP
- 8 SERVICE CORD
- 9 WEATHERPROOF JUNCTION BOX PER ELECTRICAL. ATTACH TO BACK SIDE OF POST
- 10 TOP OF CONCRETE FOOTING SLOPE TO DRAIN 1% MIN. NATURAL GRAY COLOR W/ ACID ETCH - TOP CAST RETARDER GRADE #03, SUPPLIED BY GCP APPLIED TECHNOLOGIES - www.gcpat.com
- 11 CONCRETE FOOTING BY STRUCTURAL ENGINEER
- 12 COMPACTED SUBGRADE PER GEOTECHNICAL SOILS REPORT
- 13 REINFORCING PER STRUCTURAL ENGINEER
- 14 TYPE 2 AGGREGATE BASE PER GEOTECH REPORT
- 15 FINISH GRADE AT PLANTING AREA
- 16 LANDSCAPE MULCH
- 17 STEEL SLEEVE W/ NON-SHRINK QUICK SETTING GROUT

- NOTES:
- ALL WELDS AND OTHER CONNECTIONS EXPOSED IN THE FINISH WORK SHALL BE GROUND AND DRESSED SMOOTH SO THAT THE SHAPE AND PROFILE OF THE WELDED ITEM IS PRESERVED
  - STEEL FRAME WELDS, FOOTINGS AND VERIFICATION OF STEEL MEMBER SIZES PER STRUCTURAL ENGINEER
  - ALL STEEL AND WELDS TO BE GALVANIZED
  - REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR ADDITIONAL INFORMATION
  - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

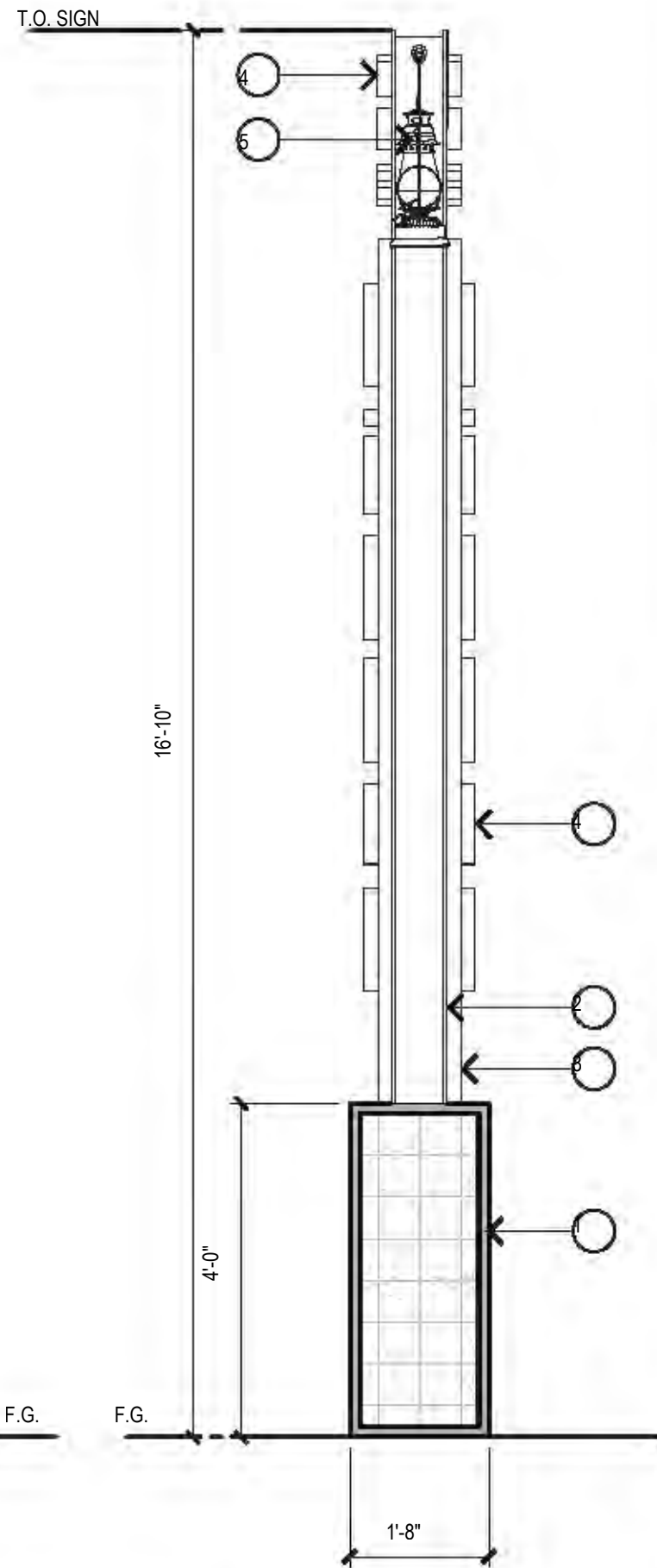
- 1 GABION WALL
- 2 18" X 8" CORTEN STEEL I BEAM
- 3 SHEET METAL PANEL - POWDER COATED
- 4 SHEET METAL LETTERING WITH ACRYLIC. LETTERS TO BE BACKLT
- 5 CUSTOM DECORATIVE LANTERN - BY OTHER
- 6 PLANTING AREA / FINISH GRADE



A PLAN  
1/2" = 1'-0"



B ELEVATION  
1/2" = 1'-0"



C SIDE ELEVATION  
1/2" = 1'-0"

FESTOON LIGHTING POST (THE GROVE)

dt\_festoon\_lighting\_post\_12

1" = 1'-0"

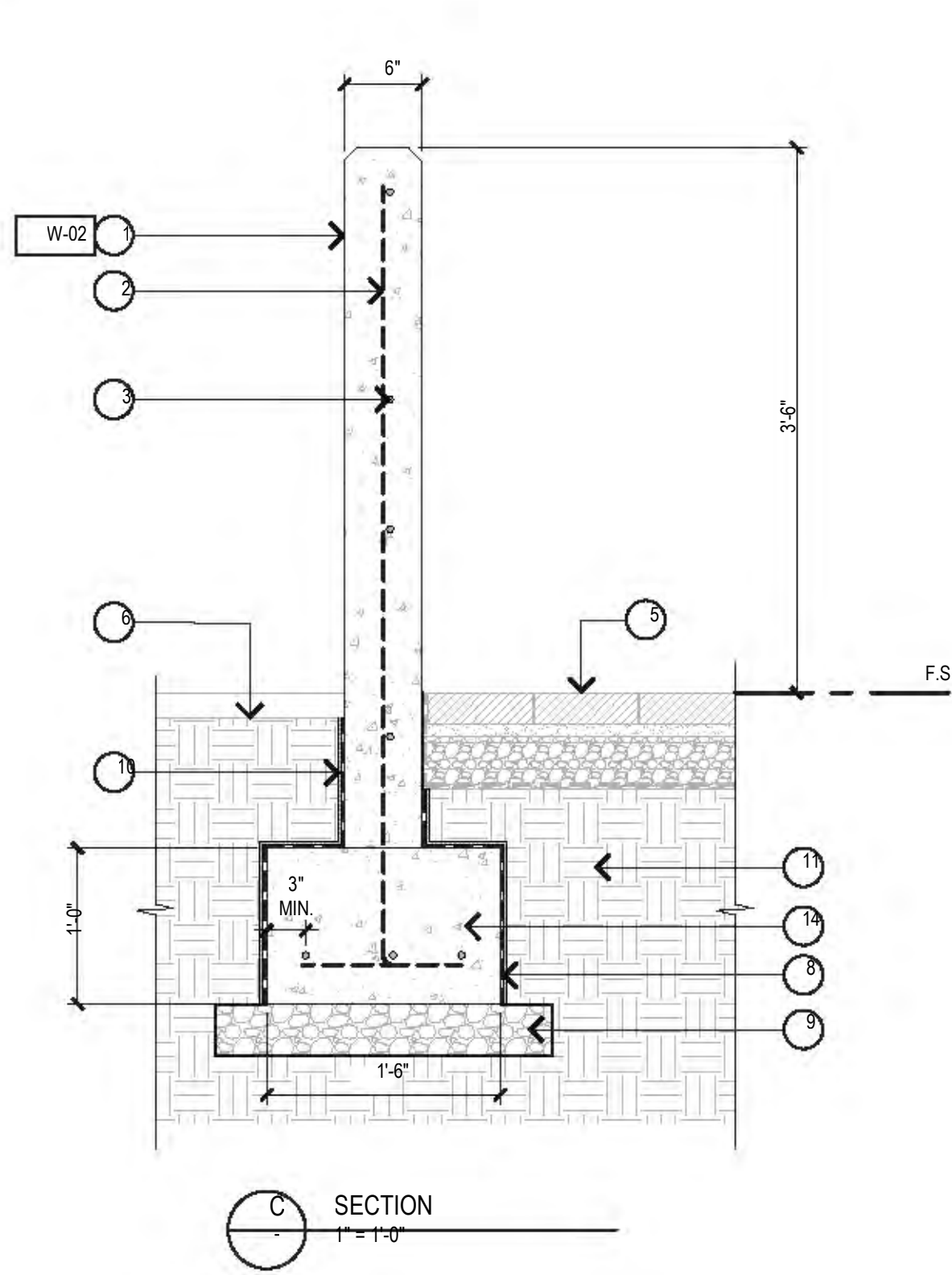
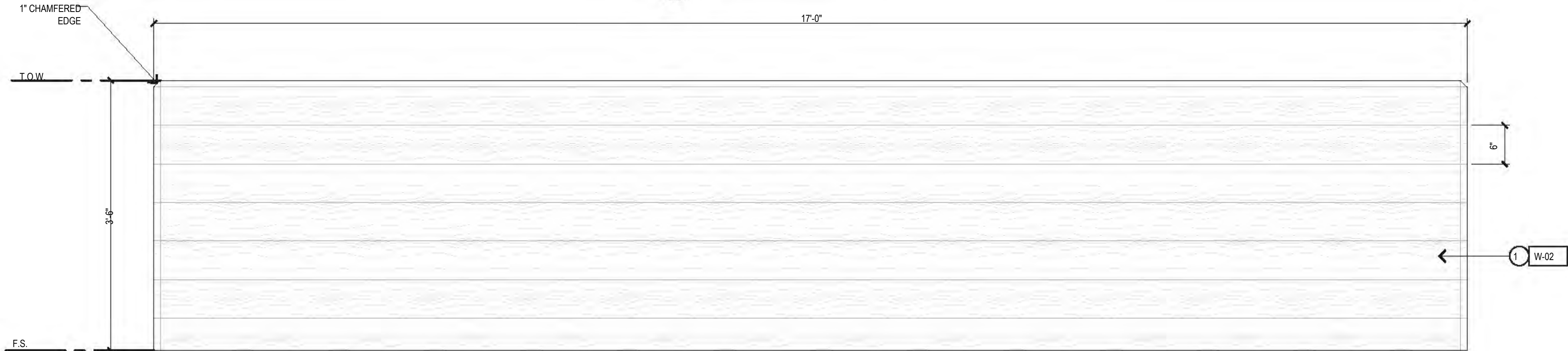
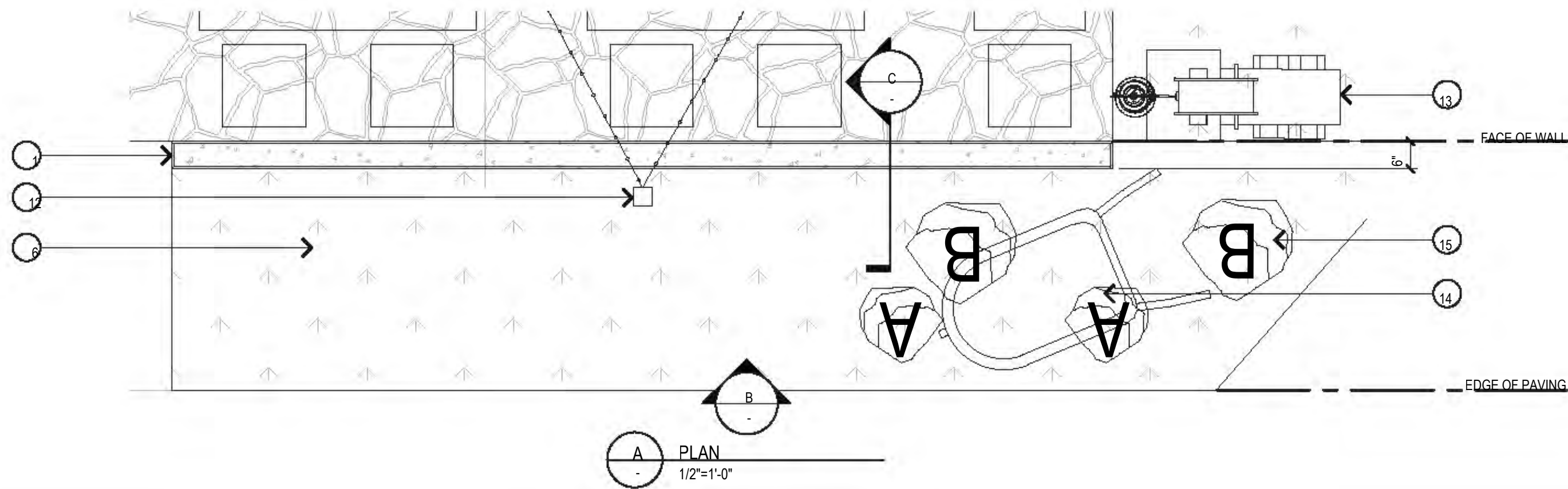
5 MIDWAY SIGN

dt\_sign\_midway\_24

1/2" = 1'-0"

4





- GENERAL NOTES:-**
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION
  - CONTRACTOR SHALL PROVIDE MOCK-UP REPRESENTATIVE OF FINISHED SEATWALL FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.
  - ABOVE GRADE FORMING SHALL COMPLY WITH THE FOLLOWING CRITERIA:
    - BOARDS TO BE DOUGLAS FIR
    - MITER INSIDE AND OUTSIDE CORNERS OF FORM.
    - FORMS TO BE PLUMB AND STRAIGHT AND TRUE.
    - RUN A BEAD OF SILICON BETWEEN BOARDS.
    - USE FIBERGLASS WALL TIES

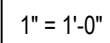
- 6" WIDE CAST-IN-PLACE CONCRETE WALL WITH BOARD-FORM FINISH. APPLY 1" CHAMFER ON ALL CORNERS. 4000 PSI. REINFORCEMENT PER STRUCTURAL ENGINEER.
- #4 VERTICAL REBAR @ 16" O.C. WITH ALTERNATE BENDS IN FOOTING
- #4 HORIZONTAL REBAR @ TOP, MIDDLE AND BOTTOM
- NOT USED
- ADJACENT FINISH SURFACE - REFER TO FINISH SCHEDULE
- FINISH GRADE
- CONCRETE FOOTING PER STRUCTURAL ENGINEER
- WATERPROOFING MEMBRANE - HOT APPLIED RUBBERIZED ASPHALT
- AGGREGATE BASE PER GEOTECH REPORT
- PROTECTION BOARD
- COMPACTED SUBGRADE PER GEOTECH REPORT
- I BEAM LIGHT POST - BY OTHERS
- MIDWAY SIGNAGE
- WHEEL BARREL ART SCULPTURE - BY OTHERS
- NATURAL BOULDERS

BOARD FORM WALL (MIDWAY)

dt\_wall\_midway\_12

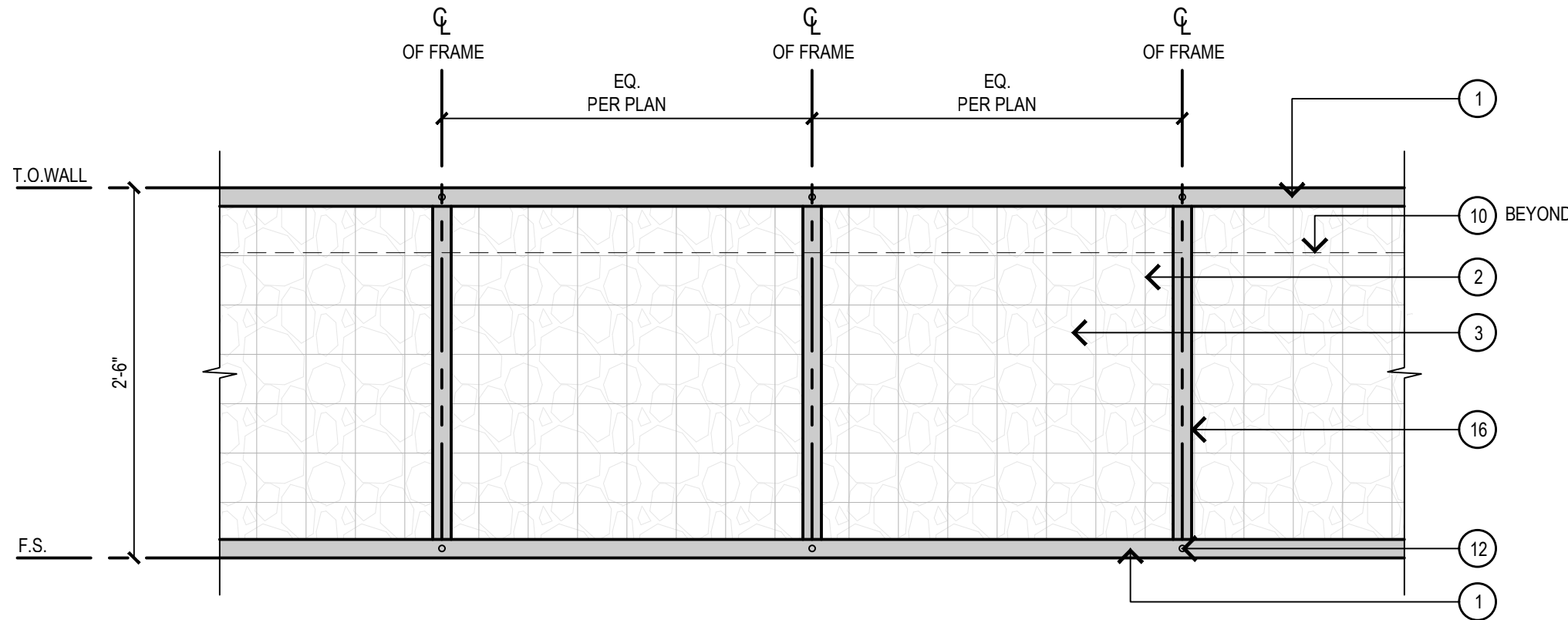
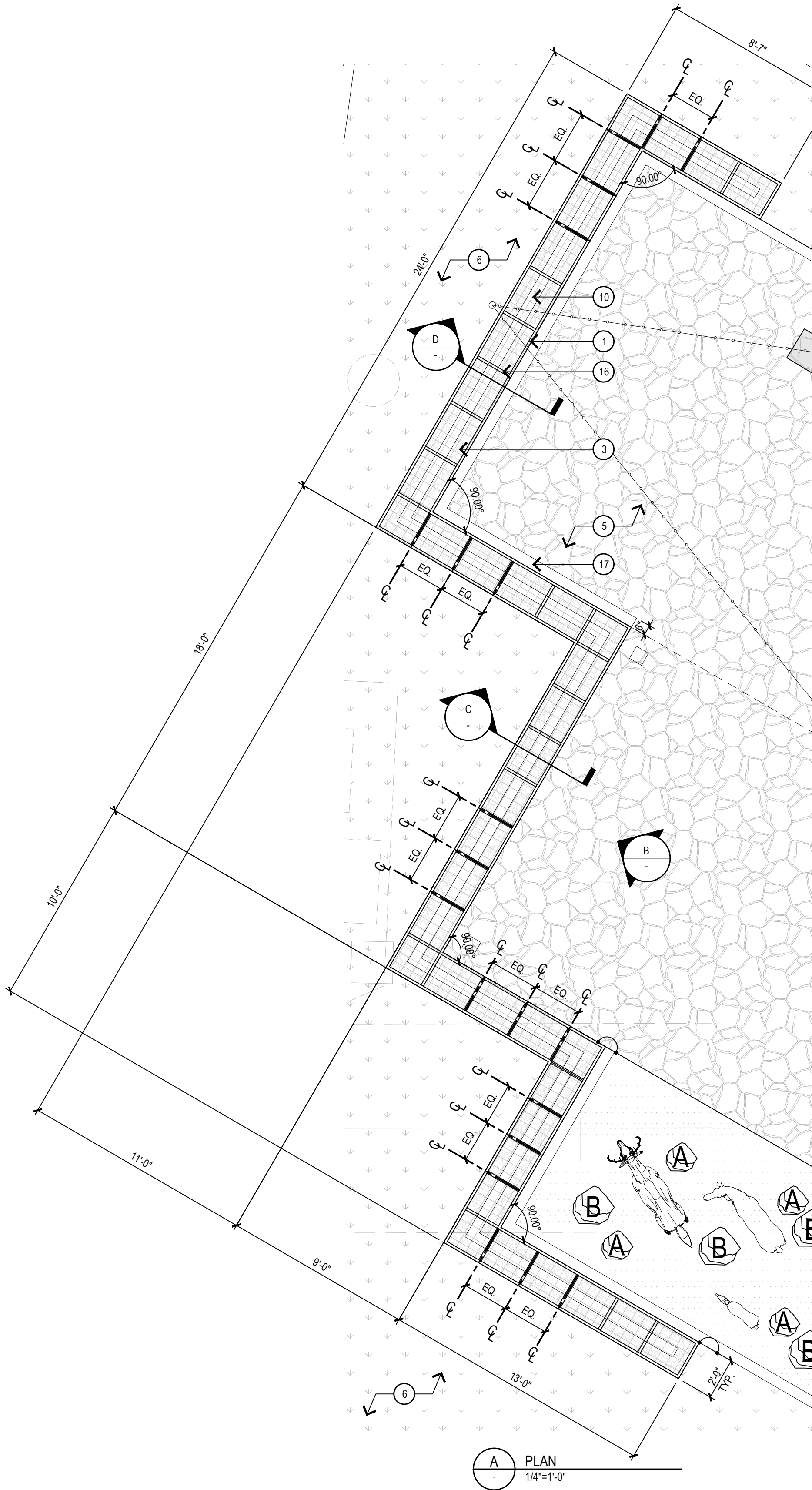
1" = 1'-0"



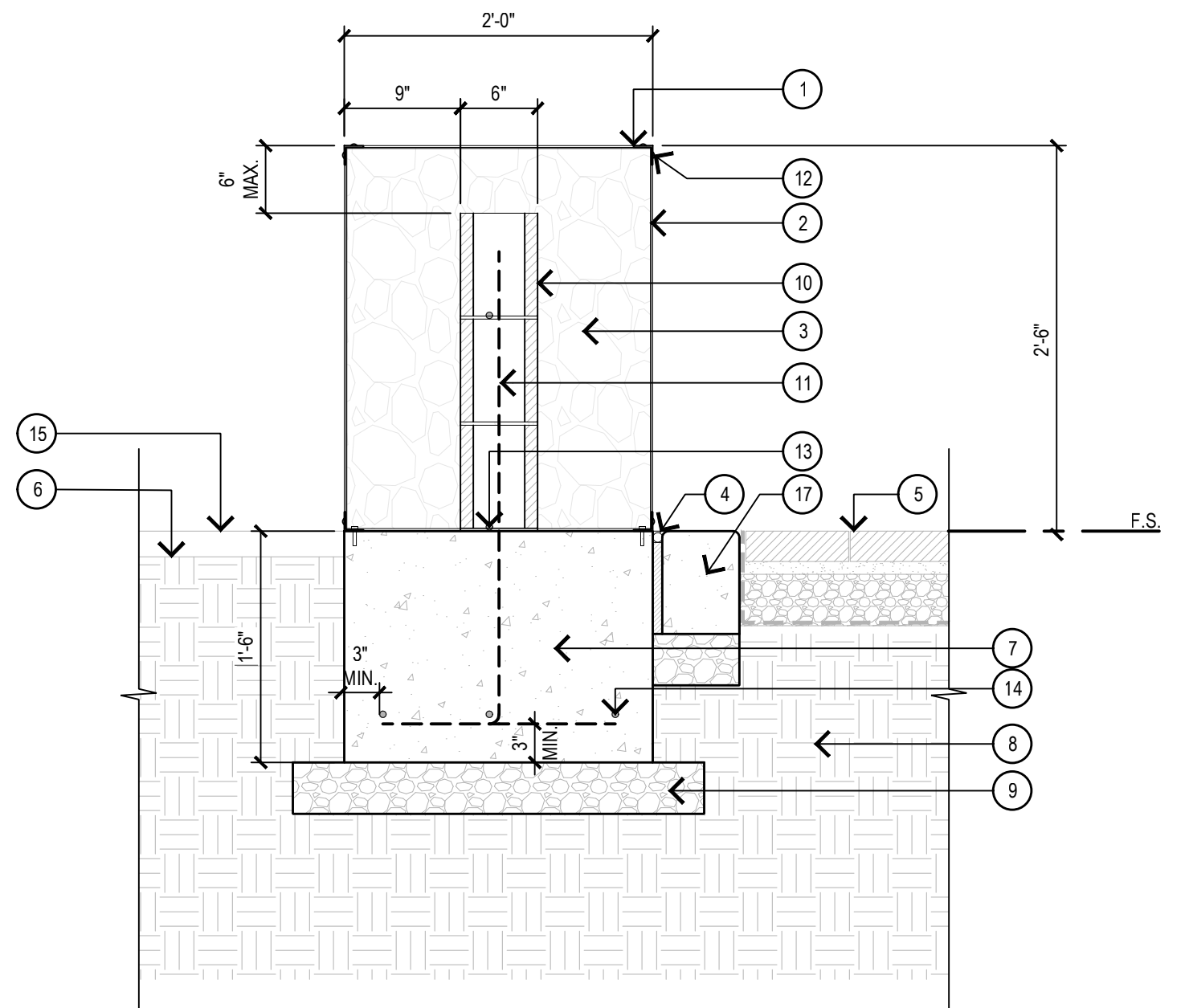
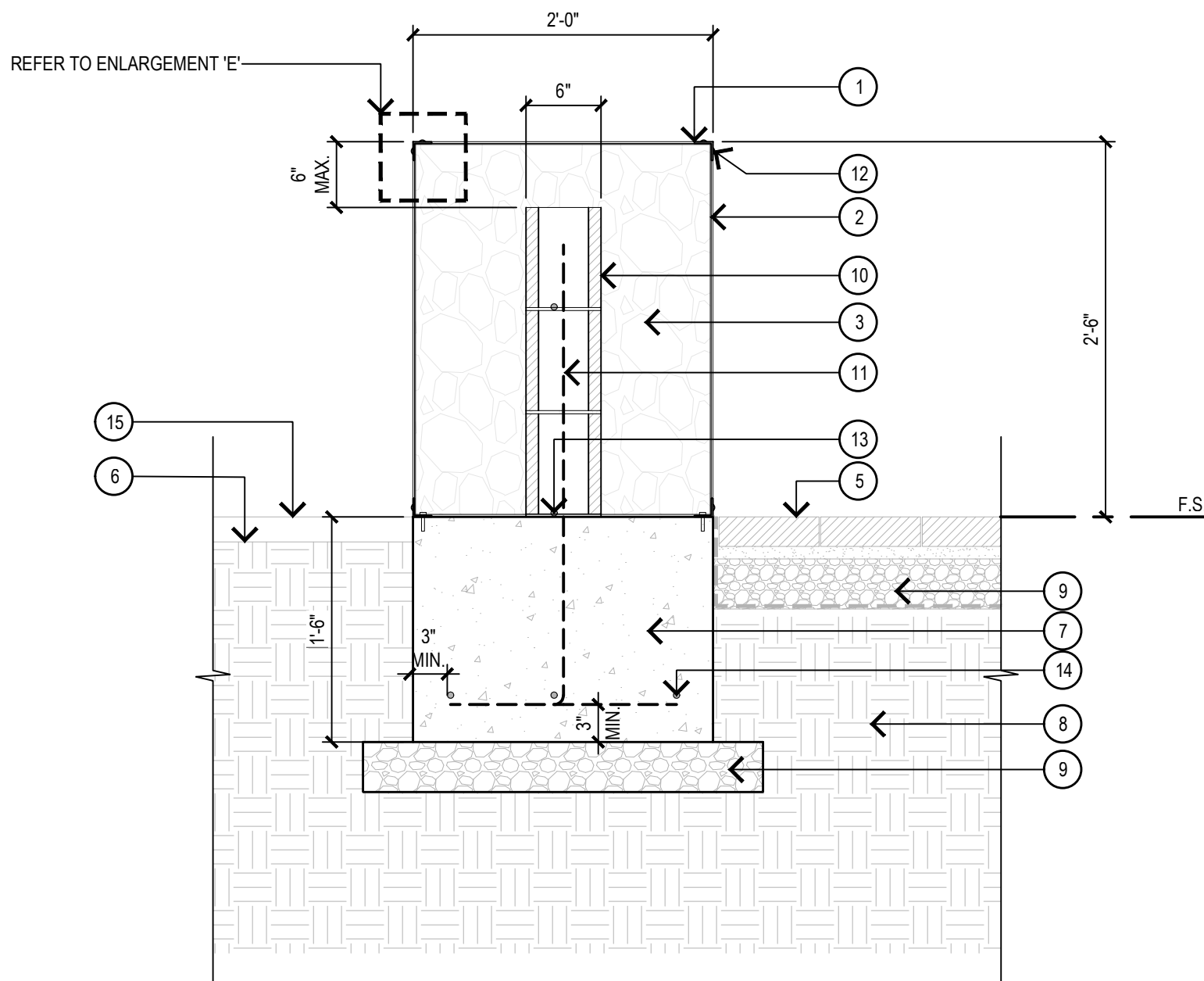
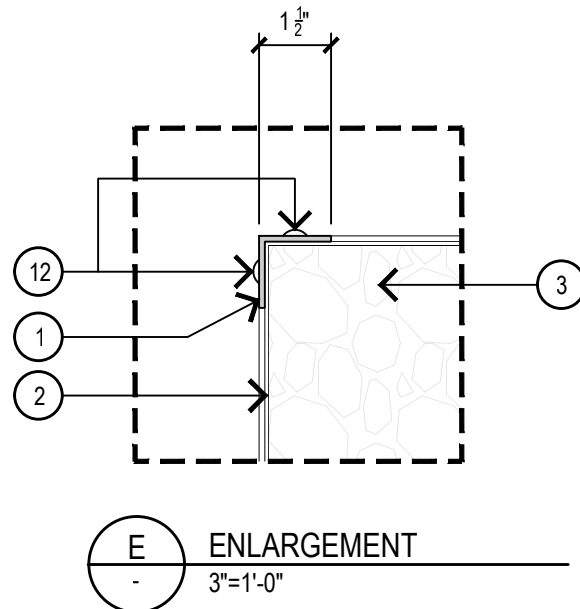


### L3.11





- 1 GABION STEEL FRAME - 1 1/2" WIDE (FACE) X 3 1/4" THICK
- 2 WELDED WIRE MESH - 4" WIDE OPENINGS
- 3 4"-6" DIA. COBBLE
- 4 EXPANSION JOINT
- 5 ADJACENT FINISH SURFACE - REFER TO FINISH SCHEDULE
- 6 FINISH GRADE AT PLANTING AREA
- 7 CONCRETE FOOTING PER STRUCTURAL ENGINEER
- 8 COMPACTED SUBGRADE PER GEOTECH REPORT
- 9 AGGREGATE BASE PER GEOTECH REPORT
- 10 6" WIDE X 8" HIGH CMU BLOCK WALL
- 11 #4 VERTICAL REBAR @ 16" O.C. WITH ALTERNATE BENDS IN FOOTING
- 12 1/2" DIA. RIVET ATTACHMENTS AT INTERSECTIONS
- 13 #4 HORIZONTAL REBAR @ TOP, MIDDLE AND BOTTOM
- 14 (3) #4 REBAR CONTINUOUS IN FOOTING
- 15 MULCH
- 16 SUPPORT BRACE - 1 1/2" WIDE (FACE) X 3 1/4" THICK
- 17 6" WIDE CONCRETE CURB

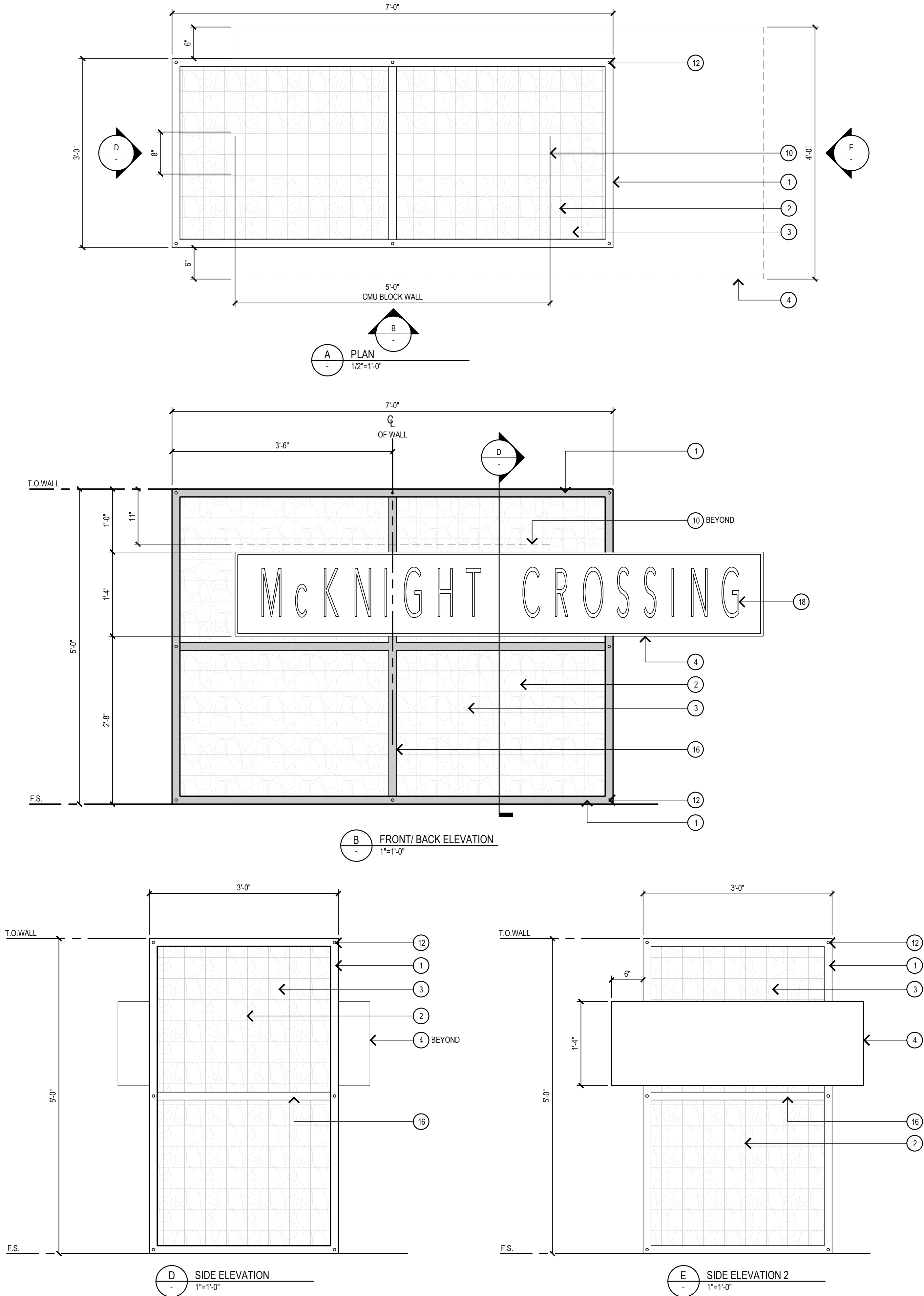


GABION WALL (THE GROVE)

dt\_wall\_gabion\_12

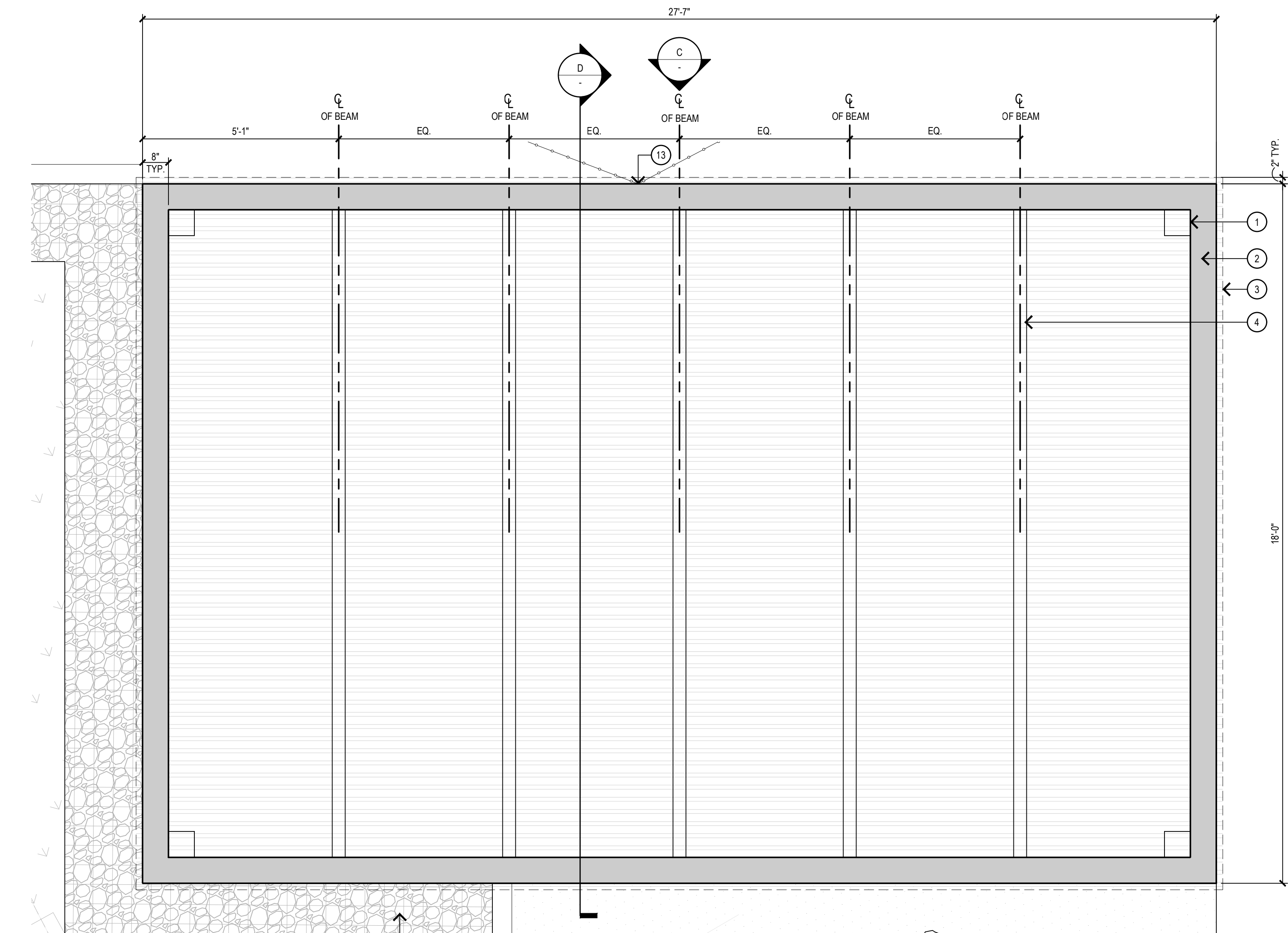
1" = 1'-0"



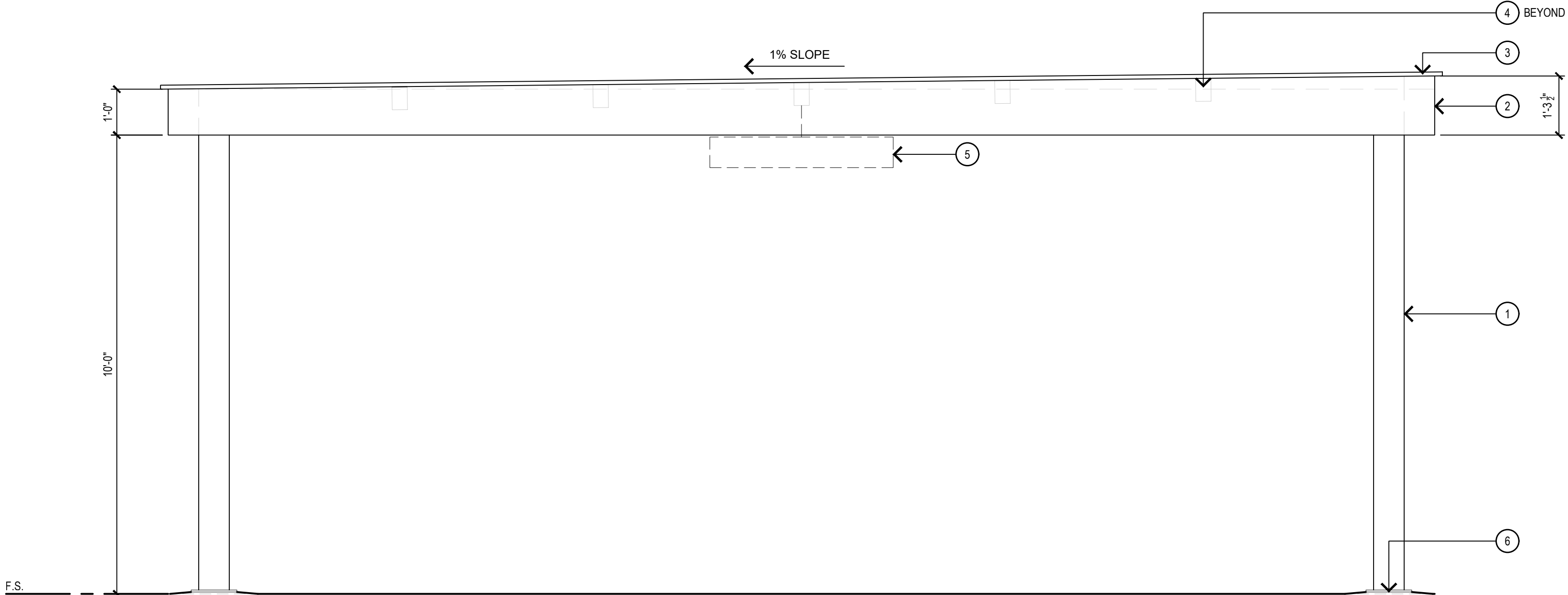


- 1 GABION STEEL FRAME - 1 1/2" WIDE (FACE) X 3/4" THICK
- 2 WELDED WIRE MESH - 4" WIDE OPENINGS
- 3 4"-6" DIA. COBBLE
- 4 SHEET METAL SIGNAGE PANEL - BY SIGNAGE CONSULTANT
- 5 ADJACENT FINISH SURFACE - REFER TO FINISH SCHEDULE
- 6 FINISH GRADE AT PLANTING AREA
- 7 CONCRETE FOOTING PER STRUCTURAL ENGINEER
- 8 COMPACTED SUBGRADE PER GEOTECH REPORT
- 9 AGGREGATE BASE PER GEOTECH REPORT
- 10 8" WIDE X 8" HIGH CMU BLOCK WALL
- 11 #4 VERTICAL REBAR @ 16" O.C. WITH ALTERNATE BENDS IN FOOTING
- 12 1/2" DIA. RIVET ATTACHMENTS AT INTERSECTIONS
- 13 #4 HORIZONTAL REBAR @ TOP, MIDDLE AND BOTTOM
- 14 (3) #4 REBAR CONTINUOUS IN FOOTING
- 15 MULCH
- 16 SUPPORT BRACE - 1 1/2" WIDE (FACE) X 3/4" THICK
- 17 6" WIDE CONCRETE CURB
- 18 METAL LETTERING WITH ACRYLIC BACKING - TO BE BACKLIT - BY SIGNAGE CONSULTANT
- 19 ELECTRICAL CONDUIT - BY OTHERS
- 20 LIGHT SOURCE - BY OTHERS
- 21 L-BRACKET SUPPORT & HARDWARE - TO BE REVIEWED BY STRUCTURAL ENGINEER





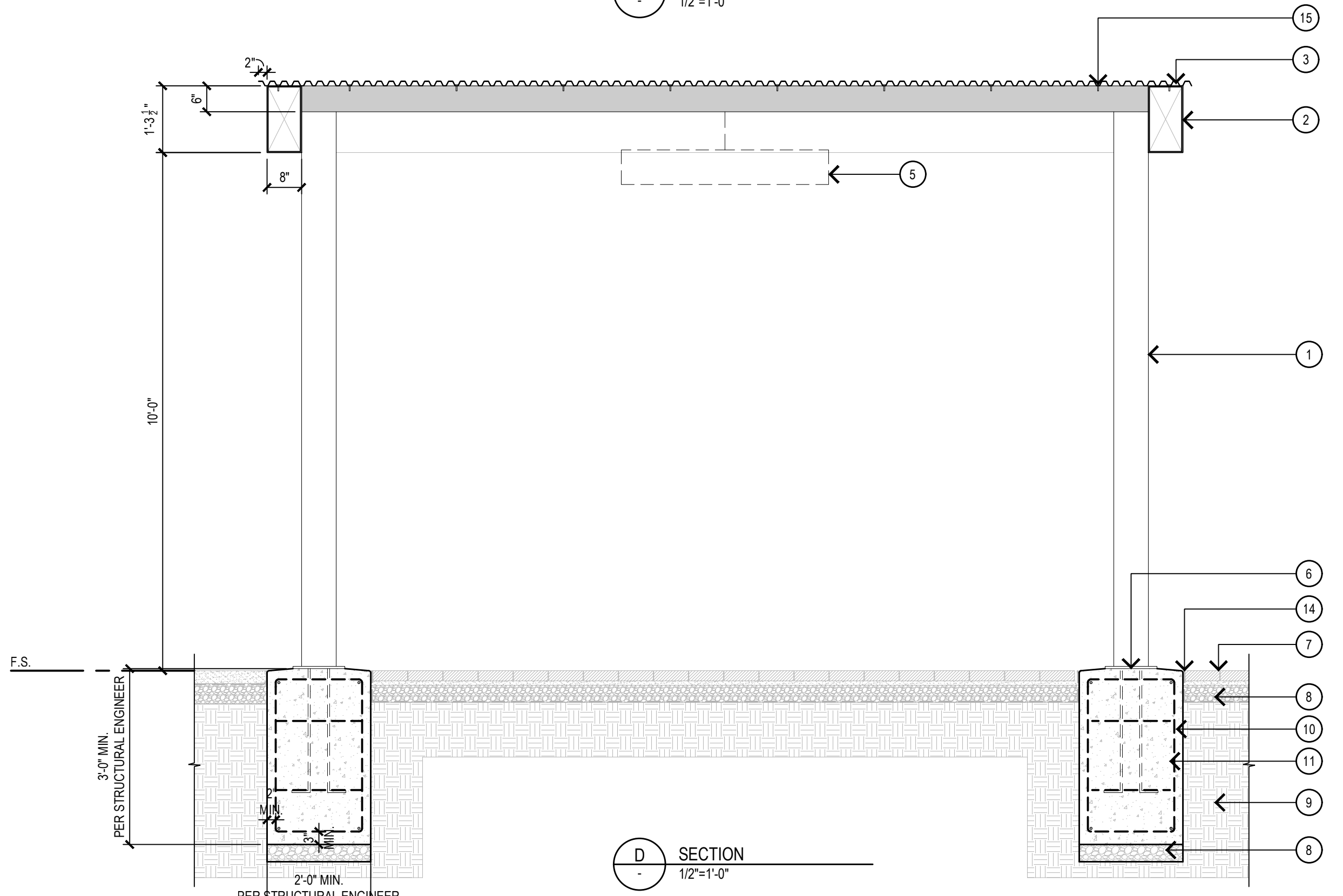
A PLAN  
1/2"=1'-0"



C SIDE ELEVATION  
1/2"=1'-0"



B FRONT ELEVATION  
1/2"=1'-0"



D SECTION  
1/2"=1'-0"

- GENERAL NOTES:
- ALL WELDS AND OTHER CONNECTIONS EXPOSED IN THE FINISH WORK SHALL BE GROUND AND DRESSED SMOOTH SO THAT THE SHAPE AND PROFILE OF THE WELDED ITEM IS PRESERVED
  - STEEL FRAME WELDS, FOOTINGS AND VERIFICATION OF STEEL MEMBER SIZES PER STRUCTURAL ENGINEER
  - ALL STEEL AND WELDS TO BE GALVANIZED
  - REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR ADDITIONAL INFORMATION
  - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION

- 8" SQ. WEATHERED STEEL POST - GAUGE BY STRUCTURAL ENGINEER
- HSS WEATHERED STEEL FRAME - GAUGE BY STRUCTURAL ENGINEER
- 14 GAUGE CORRUGATED WEATHERED STEEL ROOF. TO BE WELDED AND SCREWED TO SUPPORT BEAMS FROM TOP.
- 4" X 6" SQ HSS SUPPORT BEAM WELDED TO EXTERIOR FRAME - GAUGE BY STRUCTURAL ENGINEER
- LIGHT FIXTURE PENDANT MOUNT (OPTIONAL)
- 1/2" THICK WELD PLATE WITH 1/2" DIA. X 18" LONG J BOLTS EMBEDDED TO CONCRETE FOOTING
- ADJACENT SURFACE - REFER TO FINISH SCHEDULE
- AGGREGATE BASE PER GEOTECH REPORT
- COMPACTED SUBGRADE PER GEOTECHNICAL SOILS REPORT
- CONCRETE FOOTING WITH STRUCTURAL REINFORCEMENT - PER CIVIL ENGINEER
- (3) #4 REBAR CONTINUOUS IN FOOTING
- GABION WALL
- FESTOON LIGHTING ATTACHMENT
- NOT USED
- MOUNTING HARDWARE FROM THE TOP TO SECURE ROOF PANEL TO BEAM @ APPROX. 24" O.C.



GRASS VALLEY, CALIFORNIA

Project Number: 2023-0208	
Plan Check Number: 22bld-0325	
04-14-2023	50% DD SET
04-28-2023	100% CD SET

[illegible]

**CD**

### L3.15

 $1/2'' = 1'-0''$ 



## CONSTRUCTION DETAILS

2023	50% DD SET
2023	100% CD SET

2023

7 REVISION

CD

### 3.16

- 
- A diagram of a parking lot layout. The lot is bounded by a building on the left and a road on the top and right. The building has a series of small rectangular protrusions along its right side. The road is shown with a dashed line and a solid line. There are 18 cars parked in the lot, arranged in three rows of six. A north arrow is located in the bottom left corner, pointing towards the top left. The diagram is labeled with 'B' in a circle at the bottom left and '1' and '2' in circles at the bottom right, with lines pointing to specific features.

**B** ELEVATION  
- 1"=1'-0"

C ELEVATION  
- 1"=1'-0"

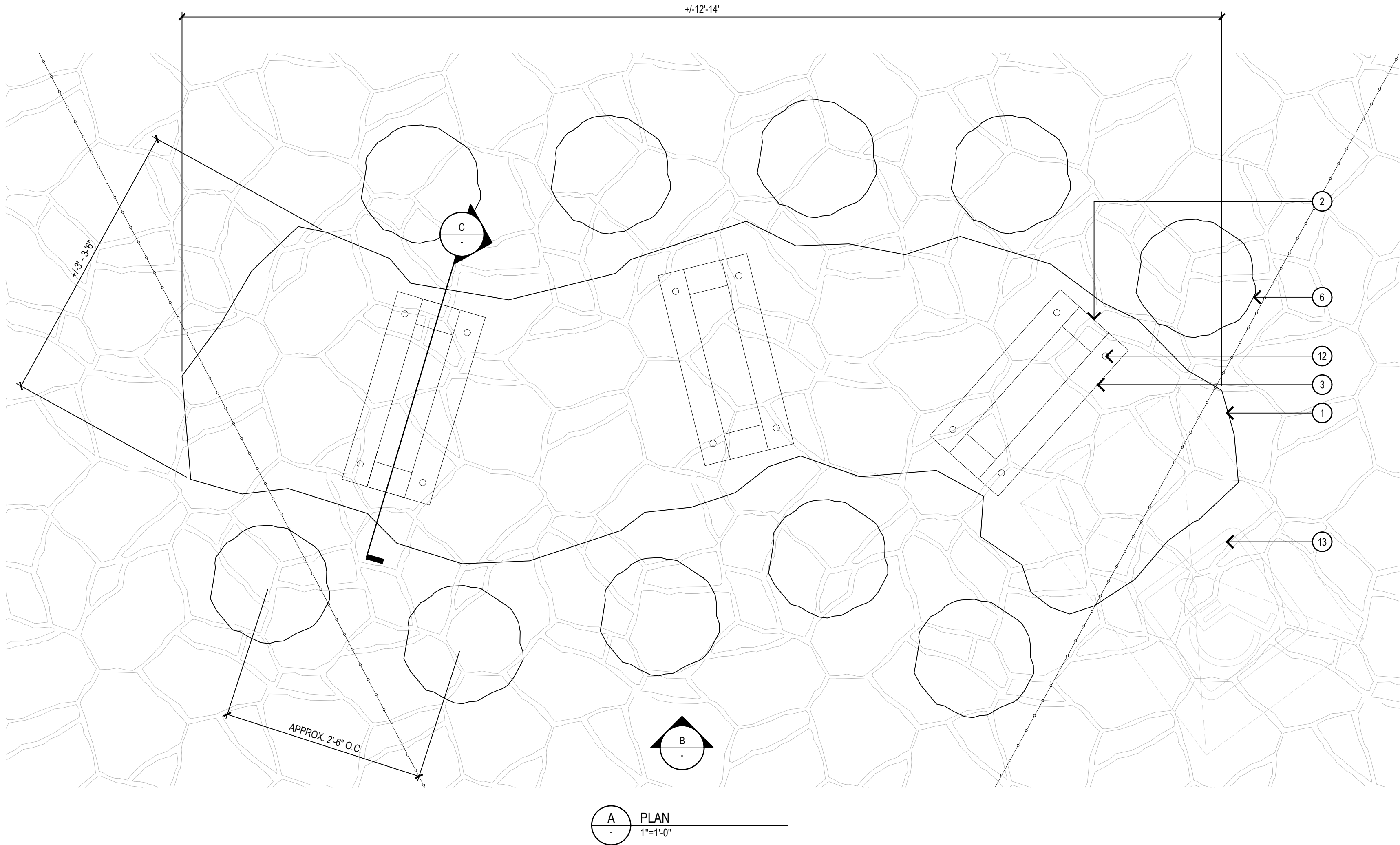
dt\_pottery\_attachment\_12

 $\theta = 1^{\circ} - 0^{\circ}$ 

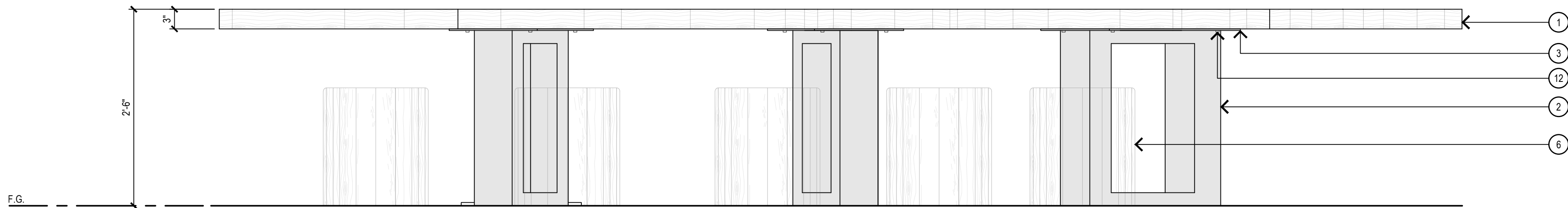
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POTTERY ATTACHMENT (AFTERNOON DELI)





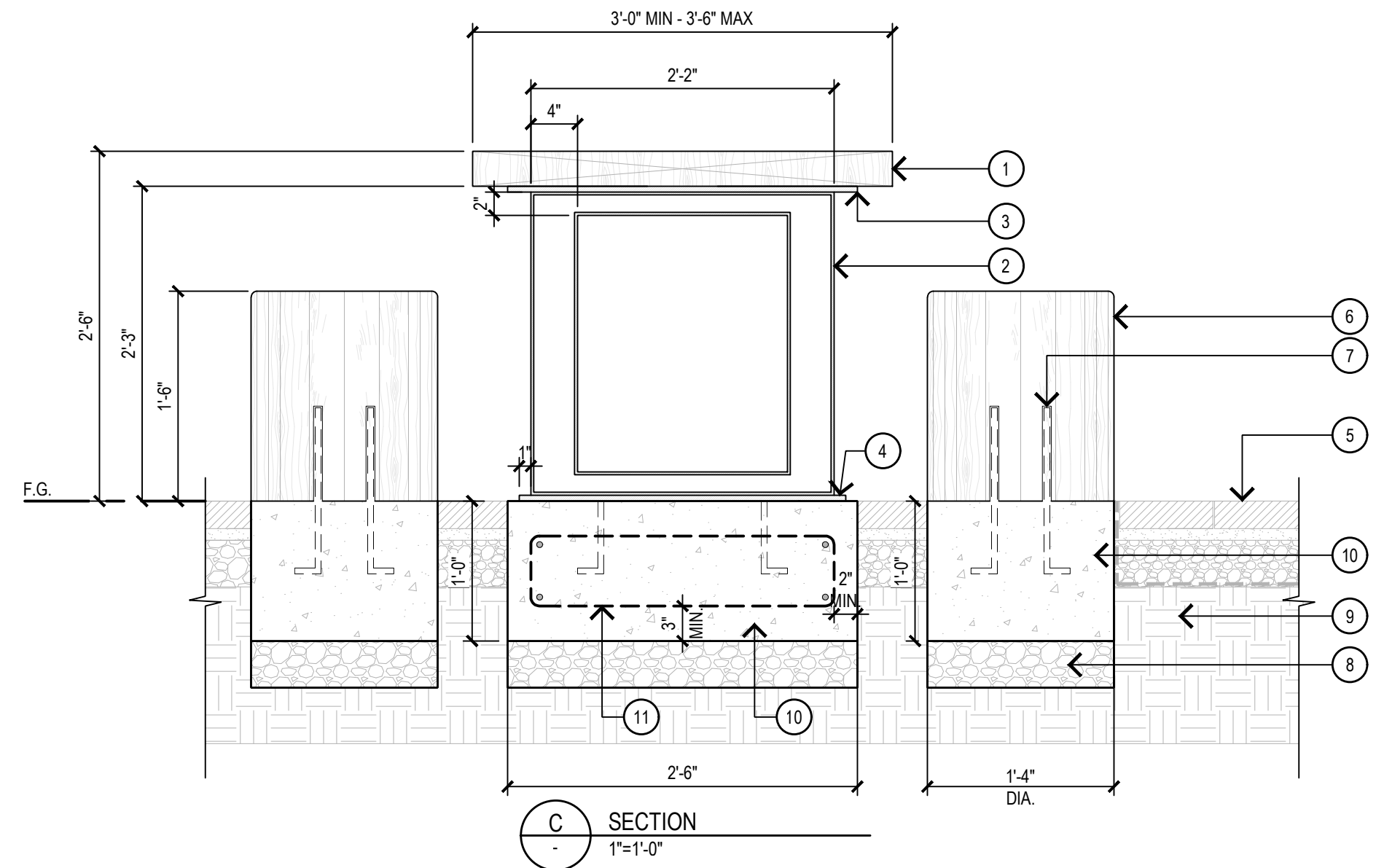
A PLAN  
1"=1'-0"



B ELEVATION  
1"=1'-0"



D REFERENCE IMAGES  
N.T.S



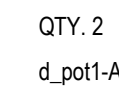
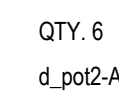
C SECTION  
1"=1'-0"

- 1 3" THICK LIVE WOOD EDGE TABLE TOP - TO BE LOCALLY SOURCED IN GRASS VALLEY, CALIFORNIA
- 2 6" WIDE WEATHERED HSS TABLE FRAME. WELDED TO PLATE EMBEDDED TO CONCRETE FOOTING
- 3 1/2" THICK STEEL PLATE SUPPORT WELDED TO TABLE FRAME
- 4 1/4" THICK STEEL WELD PLATE AT BOTTOM OF TABLE FRAME WITH STEEL J BOLTS EMBEDDED TO CONCRETE FOOTING
- 5 ADJACENT FINISH SURFACE
- 6 LAQUERED FINISH NATURAL WOOD STUMPS APPROX. 16"-18" DIA. X 18"-20" HIGH
- 7 EMBED J-BOLTS TO STUMP AND EMBED IN CONCRETE FOOTING
- 8 TYPE 2 AGGREGATE BASE PER GEOTECH REPORT
- 9 COMPACTED SUBGRADE PER GEOTECHNICAL SOILS REPORT
- 10 CONCRETE FOOTING WITH STRUCTURAL REINFORCEMENT
- 11 #4 REBAR CONTINUOUS IN FOOTING
- 12 1-1/4" LONG MOUNTING BOLTS - MOUNTED UNDER TABLE
- 13 ADA ACCESSIBLE SEATING





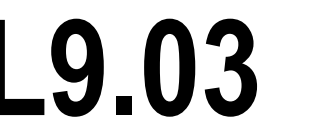



$$1/2'' = 1'-0''$$
$$1^n = 1^1 - 0^n$$
 $1/2^{\circ} = 1'-0''$ 
$$1^n = 1^1 - 0^n$$












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d\_pot07

1

QTY. 2

d\_pot07-a

A



## L9.04





## Outdoor Gathering Spaces

NOTE:

- Also Included in the Application are Shop Design documents for Vertical Sign Specs
- In the Master Sign Criteria, revised document, these are signs # 6, 7 & 8





## Vertical Sign Locations





# McKnight Crossing Shopping Center

## OUTDOOR GATHERING SPACES

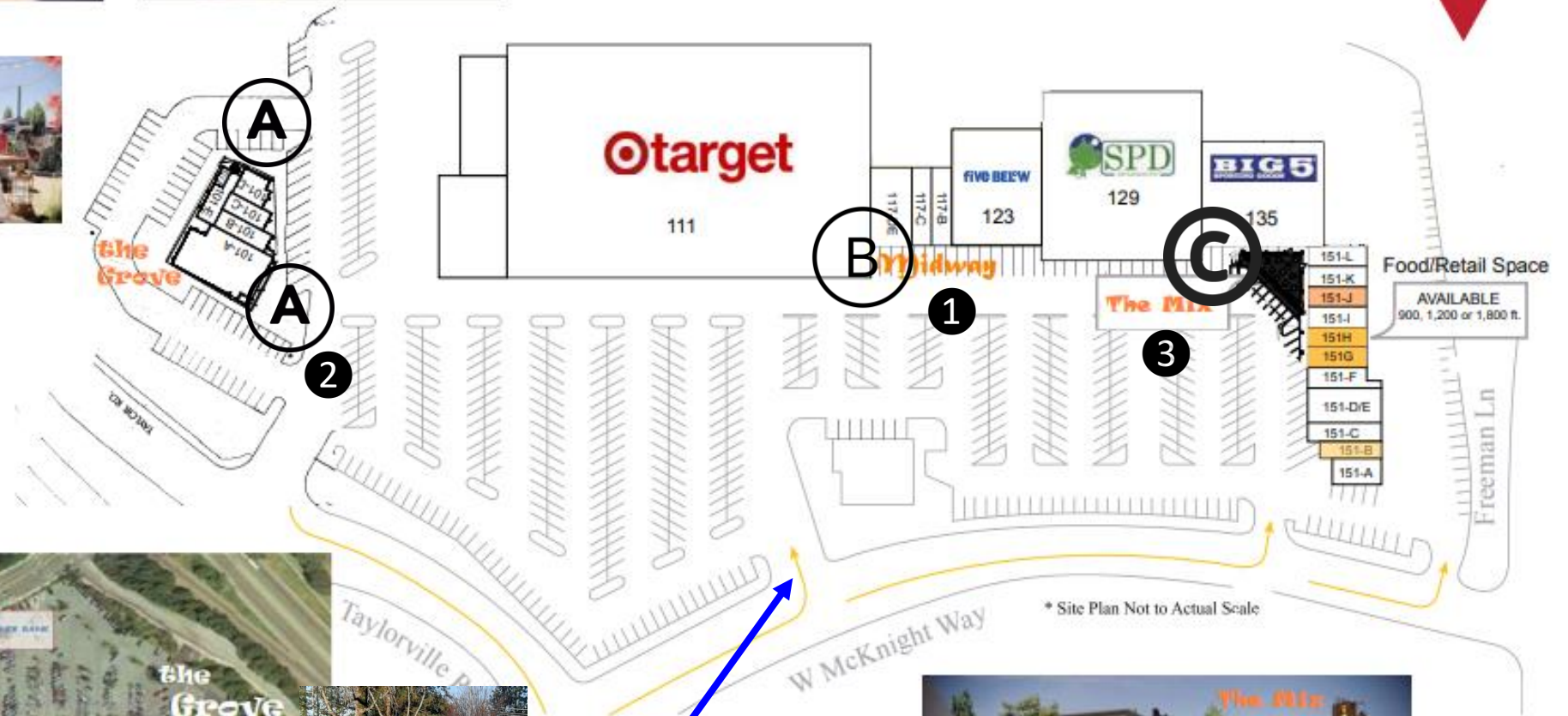
1



2



2



Reconstructed Entrance  
@ TARGET  
Creating Sense of Arrival

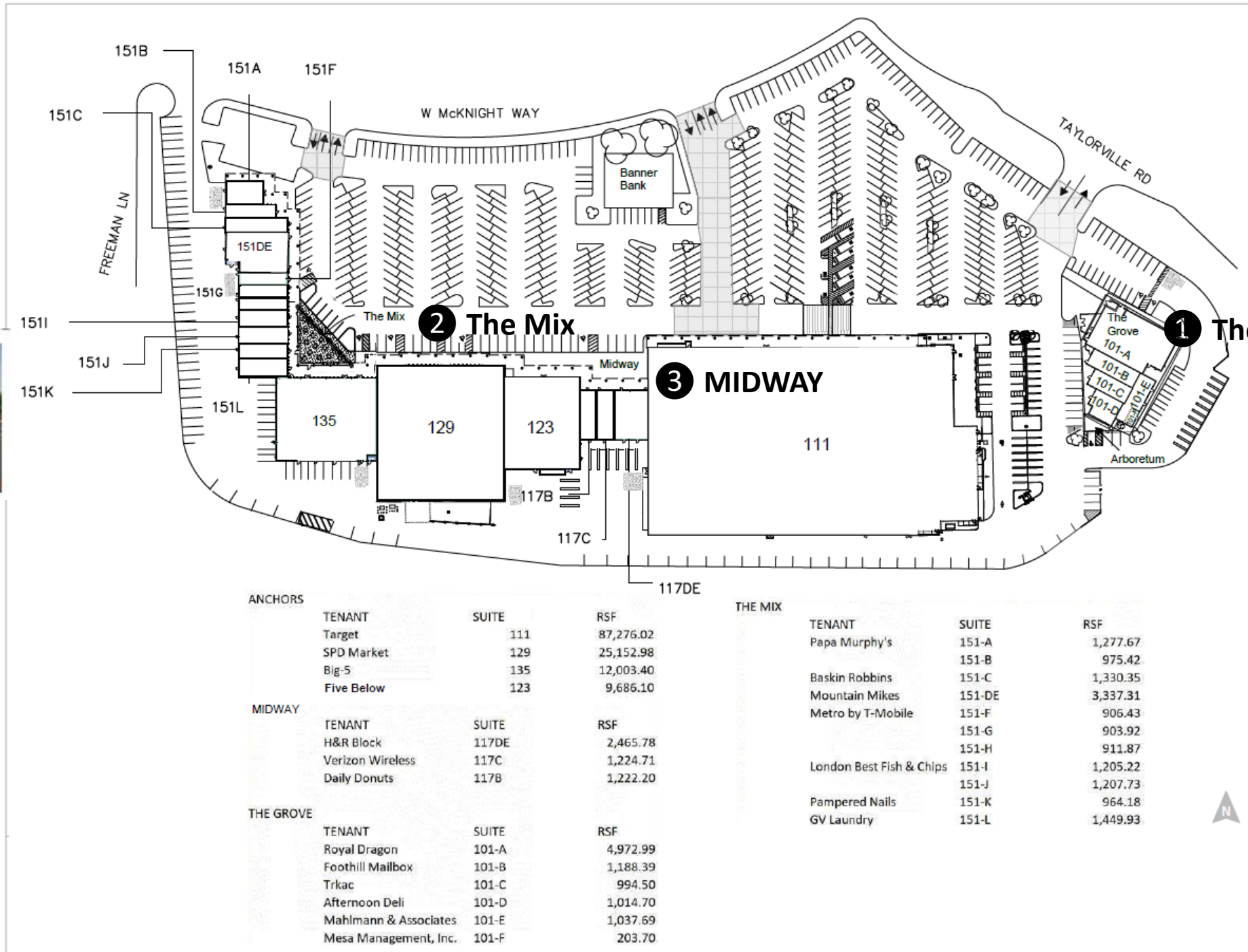


3



- **Parking**
- **Tenant sf Space**

The Grove





Site Plan

- Parking
- Tenant sf Space

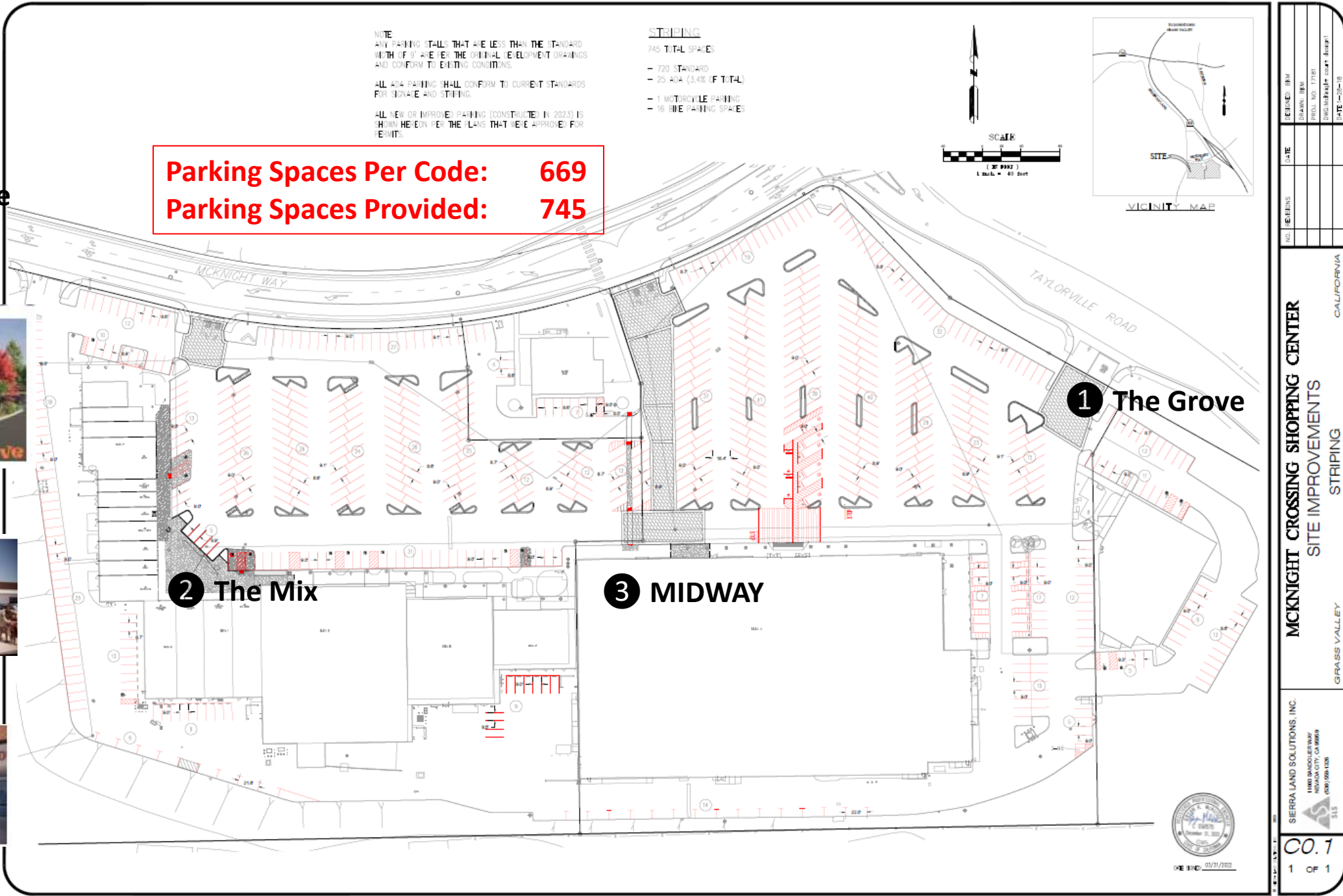
1 The Grove



2 The Mix



3 MIDWAY





# Consistency – with Mission & Values of City’s Strategic Plan

**THE MISSION OF GRASS VALLEY IS TO:**  
ENRICH THE QUALITY OF LIFE THROUGH EXCEPTIONAL SERVICE, INNOVATION AND LEADERSHIP.

**THE VISION OF GRASS VALLEY IS TO:**  
ENHANCE OUR FUTURE AS A PROGRESSIVE DESTINATION AND THE PLACE TO LIVE AND THRIVE.

**CITY VALUES**  
WE ACCOMPLISH OUR MISSION AND REALIZE OUR VISION BY EMBRACING THESE VALUES:

**HONEST AND OPEN:**  
WE WORK IN AN OPEN, ETHICAL AND TRUTHFUL WAY. ALL HAVE ACCESS TO SERVICES AND INFORMATION. WE ACT WITH UNCOMPROMISING HONESTY AND INTEGRITY IN EVERYTHING WE DO.

**EXCEPTIONAL SERVICE:**  
WE PROVIDE, EXCELLENT, PROFESSIONAL AND HIGH-QUALITY SERVICE. WE ANTICIPATE, MEET OR EXCEED CUSTOMER SERVICE EXPECTATIONS, QUALITY IS EVERYTHING WE DO.

**PROACTIVE:**  
WE LEAD BY EXAMPLE, INCORPORATING NEW IDEAS AND TECHNOLOGIES IN OUR WORK ENVIRONMENT, ANTICIPATING AND IMPROVING OUR DELIVER OF SERVICE IN AN ENVIRONMENT OF EVER INCREASING CHANGE.

**FISCALLY RESPONSIBLE:**  
WE BELIEVE IN PROTECTING THE FINANCIAL HEALTH OF THE CITY AND PROMOTING ITS ECONOMIC VITALITY AND DELIVERING EXCEPTIONAL VALUE TO OUR CITIZENS. RECOGNIZING WE ARE ENTRUSTED TO WISELY USE PUBLIC RESOURCES AND BE ACCOUNTABLE TO THOSE THAT HAVE PLACED TRUST IN US.

**PARTERSHIPS:**  
WE BELIEVE IN COLLABORATION, PROMOTING INCLUSIVENESS, SUPPORTING COMMUNITY INPUT, AND EMBRACING NEW IDEAS. WE TAKE PRIDE IN WORKING FOR AND GIVING BACK TO GRASS VALLEY

**GRASS VALLEY**

The City’s General Plan has always been built around central themes, all are key focus points of the City’s current Vision:

- Preserve Grass Valley’s historical character and encourage restoration.
- Expand public services to serve growing population.
- Encourage variety in residential building types and environments.
- Include high density housing areas in the town center.
- Provide better regional connections.
- Improve the circulation patterns within the City.
- Protect and improve the Downtown area.
- Diversify the economy and locate industry to avoid undue traffic.
- Preserve scenic beauty and character.

**Gathering Spaces**

1.A.3. Create more experiences for families in City parks and downtown (e.g. storytelling, summer camps, outdoor performing arts, magic shows, and other special events geared toward families).

1.A.7. Establish and support more events that encourage diverse attendance from all groups.

**B. MEDIUM TERM PROJECTS (2-5 YEARS):**

1.B.1. Make City entrance signs on Highway 49 East and West, possibly utilizing the overpasses and screen protective fencing as a backdrop.

1.B.2. Create a “community gathering place” for the City in/near downtown where families and groups can enjoy music, recreation, and all sorts of entertainment together.

1.B.3. Enhance efforts to clean up neighborhoods and commercial areas.

1.B.4. Create programs to encourage business and home owners to make façade renovations to improve overall appearance of the City.

1.B.5. Amend City regulations to allow businesses to utilize space in the public right-of-way in Downtown to increase outdoor dining and shopping experiences (potentially remove some parking to accomplish).

2.A.2. Create a tree planting/replacement program with a common theme (e.g.: Dogwoods) for the City’s streets. Continue seeking grants related to air quality and greenhouse gases to help fund this effort.

**Ideas from the Community:**

- Grass Valley needs more living-wage jobs.
- We need to provide opportunities for emerging, non-traditional entrepreneurial small businesses in the City.
- Provide local training in the various trades to foster upward mobility.
- Improve highspeed internet and broadband service throughout the City.
- Improve the downtown Safeway shopping center and entrance to downtown Grass Valley.
- Encourage the farm to fork industry, collaborate with local farms.
- Support small business through the City permitting process.
- Expand marketing for tourism and the arts in Grass Valley, promoting the City as a destination to explore.

4.B.4. Provide opportunities for emerging/non-traditional retail and technology startup businesses. Seek funding sources for small business startups and provide specialized *small business* assistance via convenient and user-friendly permitting and approval processes at the City.

4.B.5. Collaborate with City business partners such as Center for the Arts, the Downtown Association, Chamber of Commerce, and Nevada County Fair to develop a comprehensive marketing strategy to promote and market the Arts, Tourism, Ecotourism, farm-to-fork opportunities, Fair events, and entrepreneurial business. This effort will promote economic revenue enhancement for the City, as well as, small businesses, the trades, the arts community, Nevada County Fair, hotel, motels, restaurants and the like.

4.B.6. Reevaluate the effectiveness of the City’s current economic development priorities and taxpayer supported efforts to attract new businesses into the community. Consider consolidating efforts to get more noticeable results; possibly develop an in-house program to demand more accountability and oversight.

4.B.7. Create strategies to counter the online shopping phenomenon; a combination of attractions for locals and tourists (e.g. *support your local business* campaigns and *weekday specials for locals*). Survey the local economy to discover where and when sales are stemming from: Local or Visitor and Weekday or Weekend sales, so the market can cater to each specifically.

4.B.8. Develop a strategy to maintain funding and capital reserve concerns with various Lighting and Landscaping districts.

4.B.9. Explore coordination with contracted grant writer(s) to explore and apply for grants.

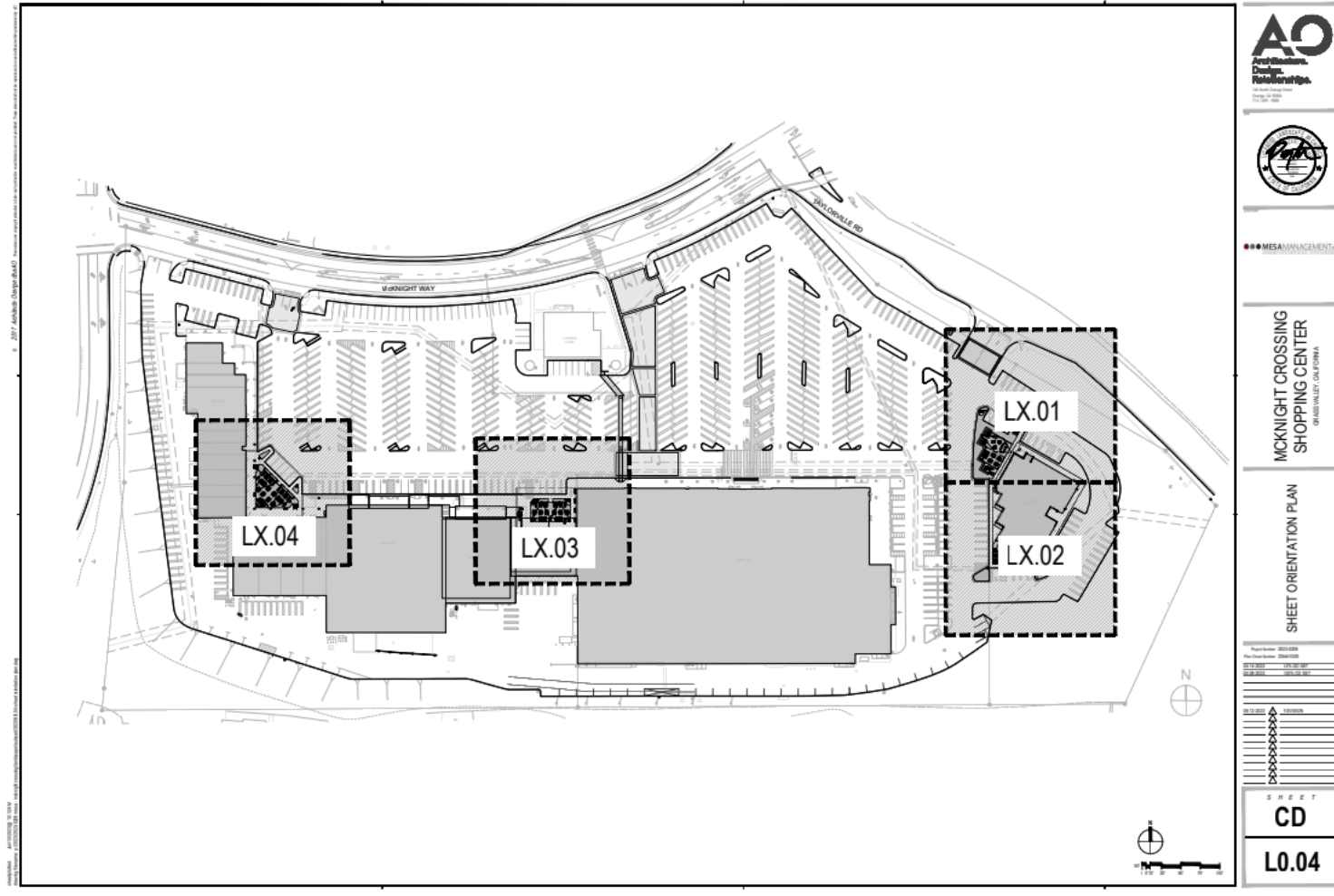
4.B.10. Improve the City’s effectiveness through collaboration with economic-health oriented regional partners.

**C. LONG TERM PROJECTS (5-10 YEARS):**

➤ 4.C.1. Encourage the development of experiences (i.e. boutique hotel and spa), as well as, ecotourism, agritourism, and shopping locally.

6.A.3. Review development projects with crime prevention in mind.





NOTE: Formal Detailed Building Plans are being submitted to the City and will comply with City Standards





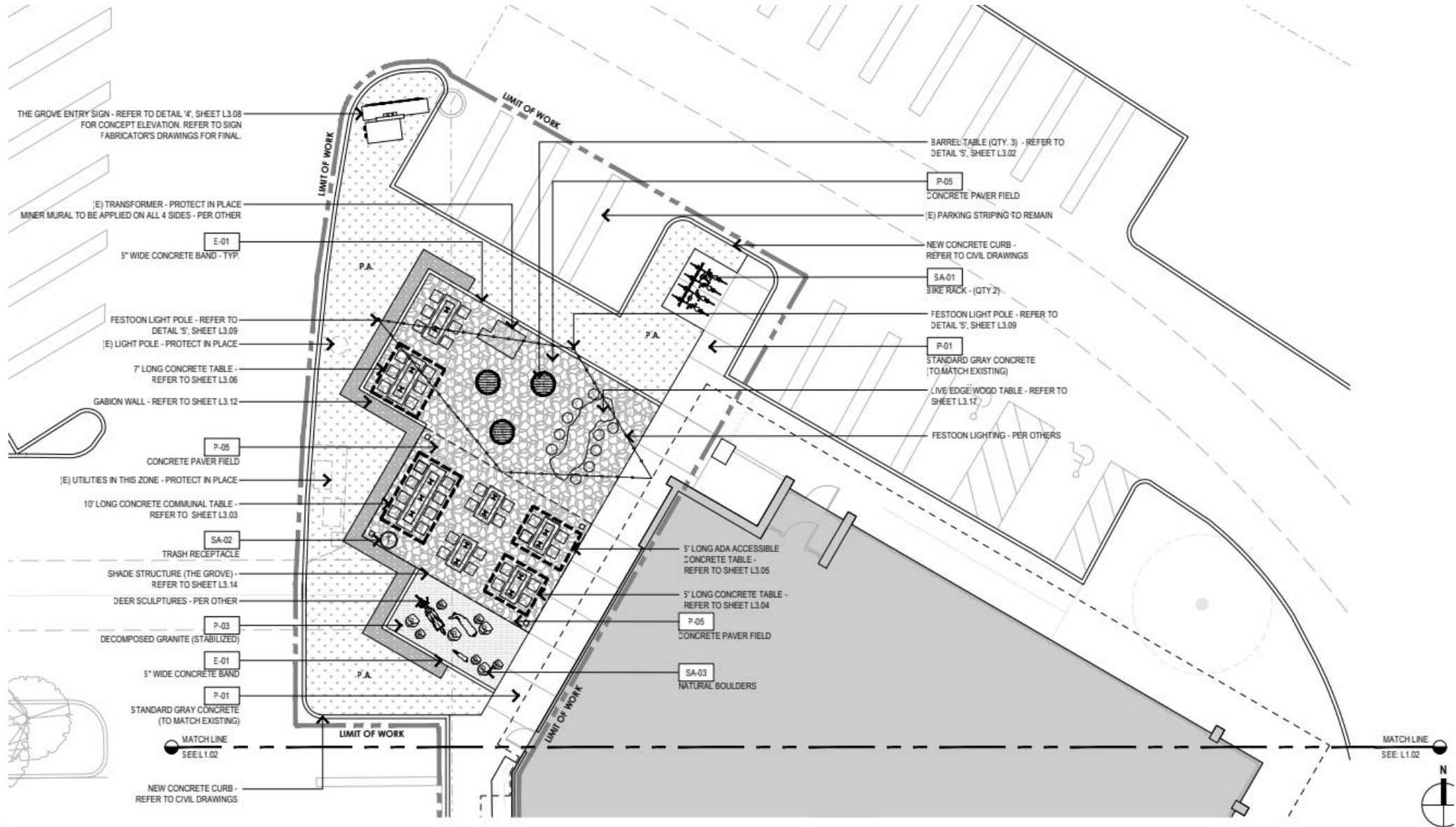
# **A** Gathering Spaces @ The Grove





A

# Gathering Spaces @ The Grove





B

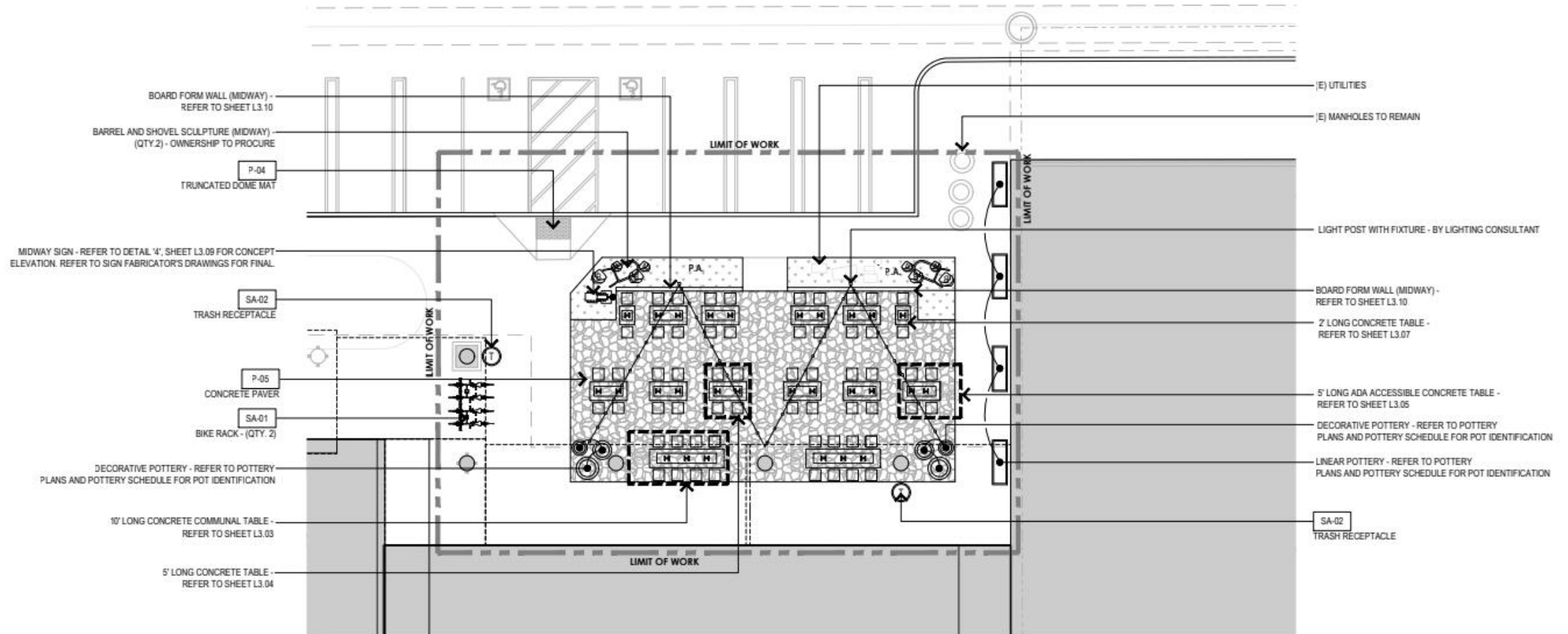
## Gathering Spaces @ Midway





B

## Gathering Spaces @ Midway





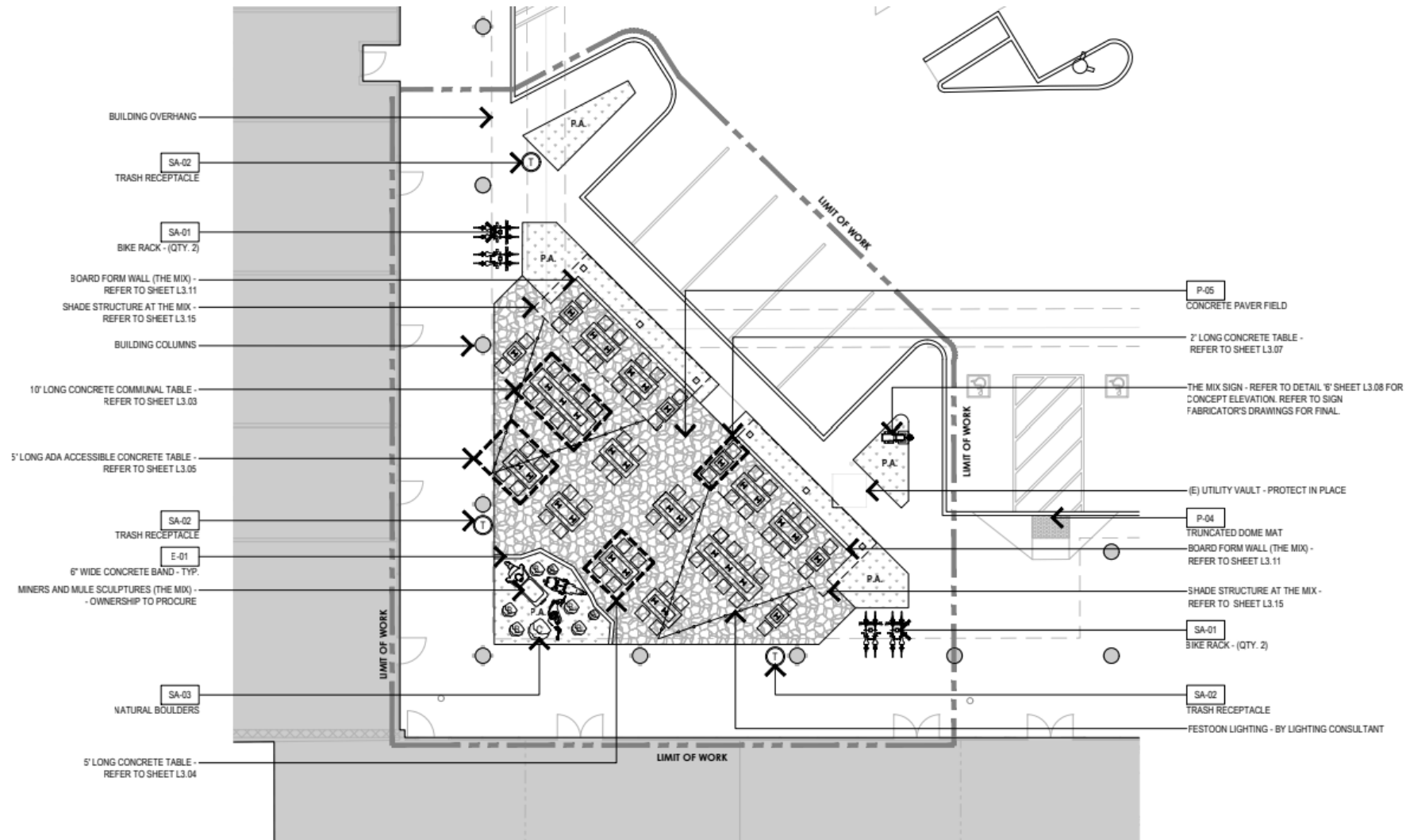
# Gathering Spaces @ The Mix





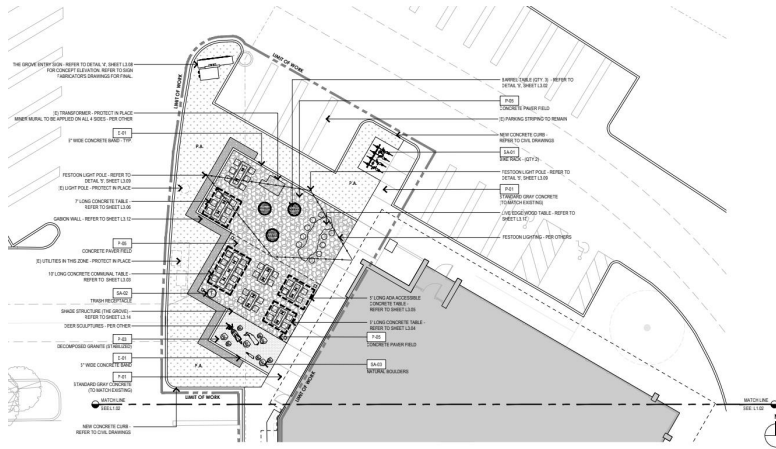


## Gathering Spaces @ The Mix



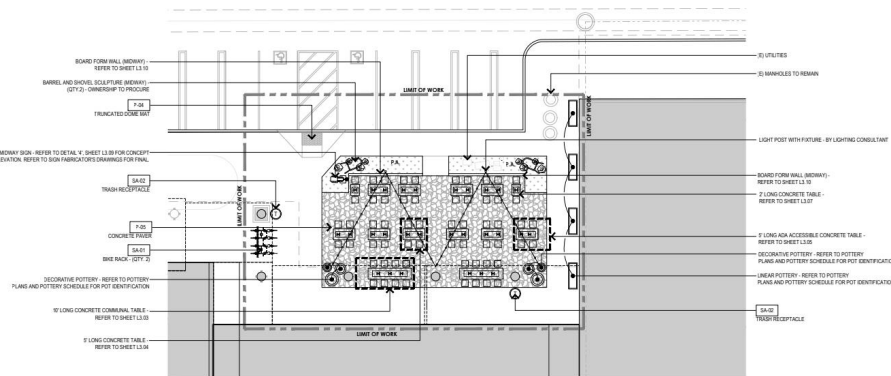


## 1 The Grove



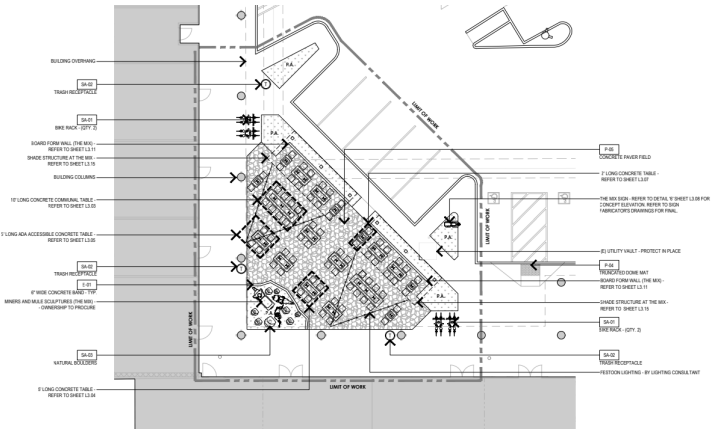
**1,611 sf**  
**Color Pavers**

## 2 The Mix



**1,645 sf**  
**Stamped Concrete**

## 3 MIDWAY



**1,829 sf**  
**Color Pavers**

**Total sf ~ 5,000 sf**



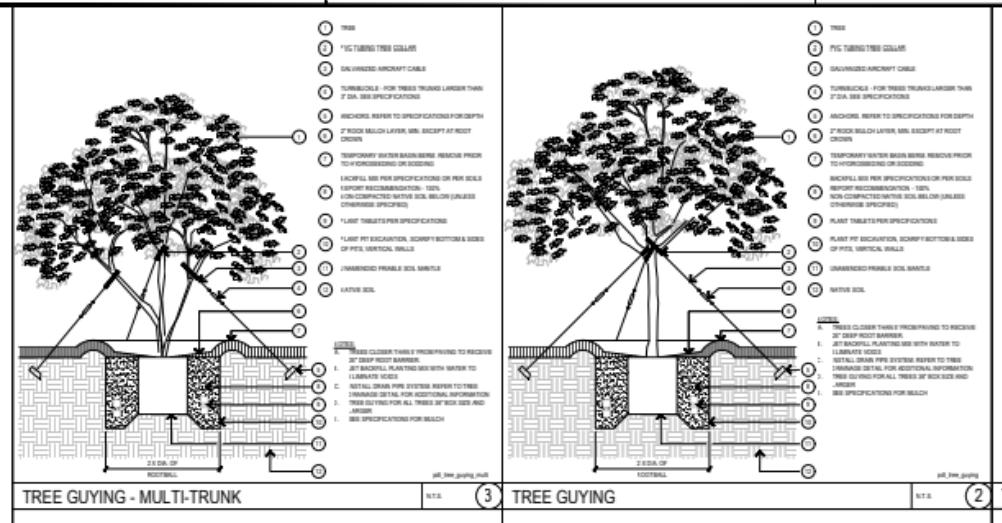


# LANDSCAPING

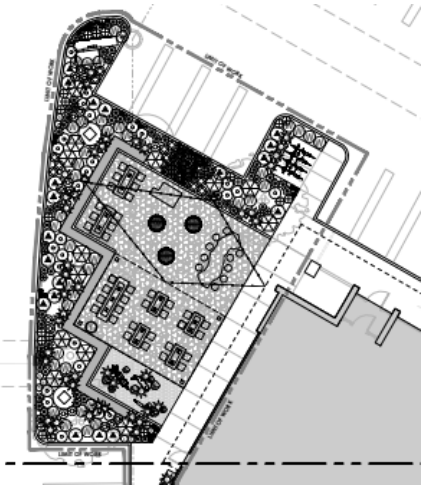
Enhanced & Detailed Landscape Plans also being submitted to the City for Review



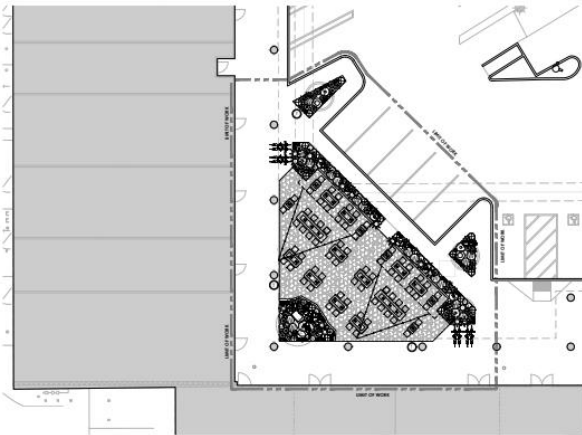
Planting



Shrub



Pottery



Outdoor Gathering Spaces



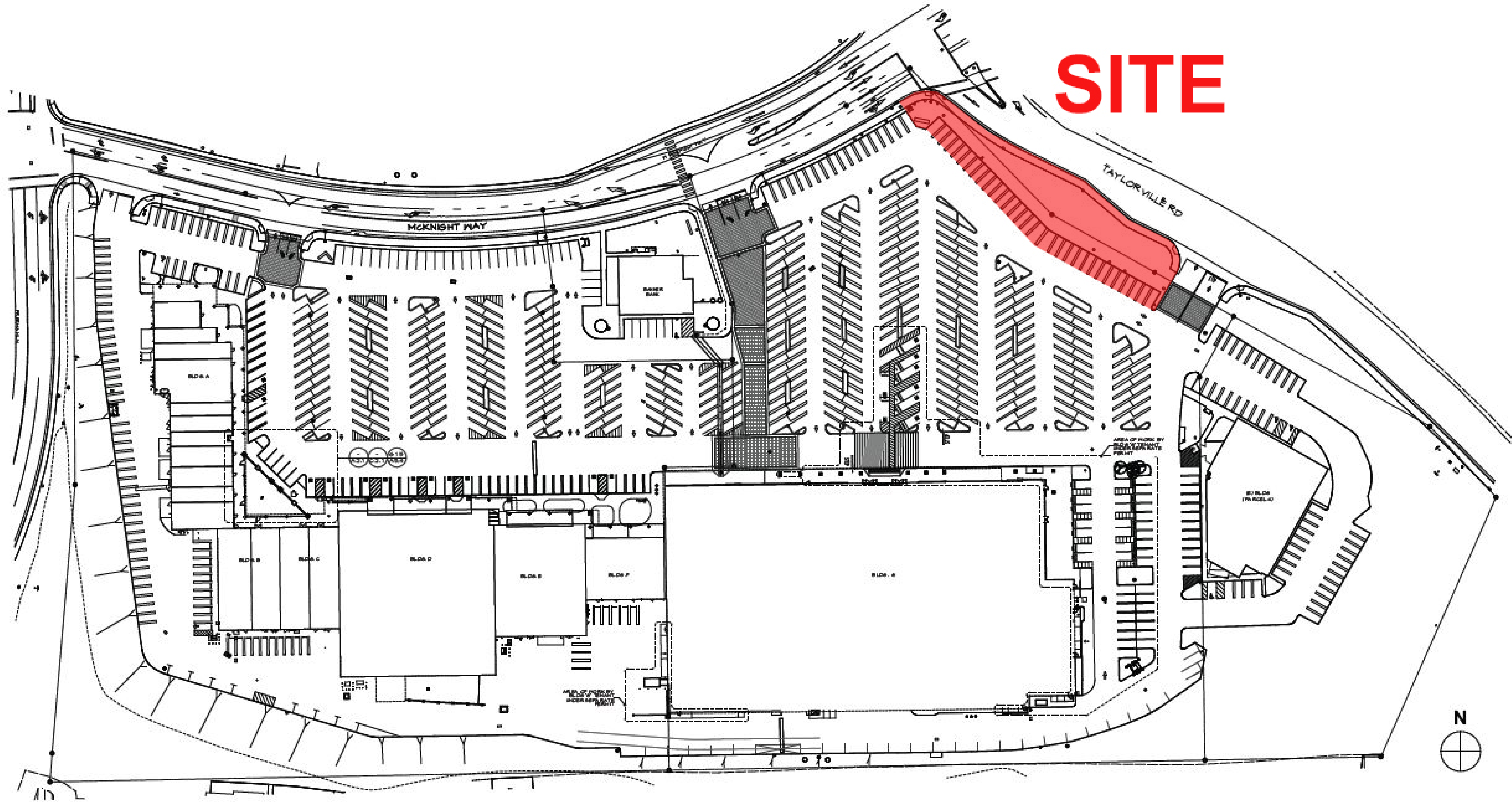




# McKNIGHT CROSSING

## “FARMER’S MARKET” GRASS VALLEY, CA



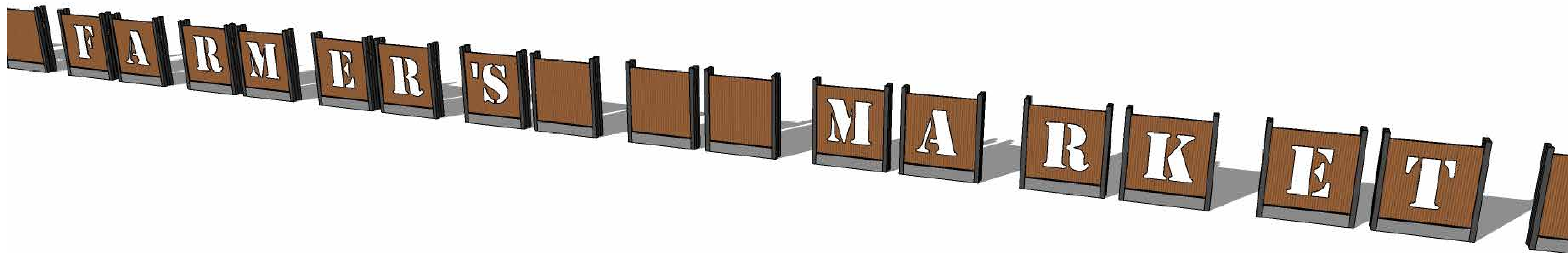


**SITE**

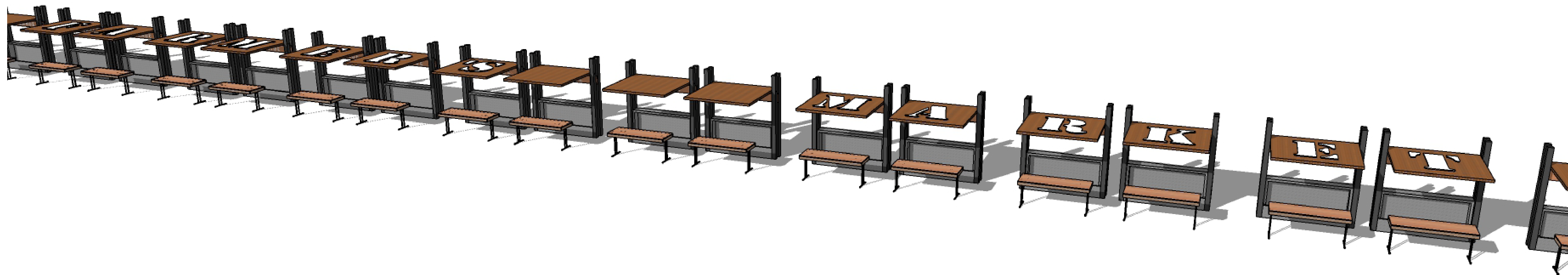






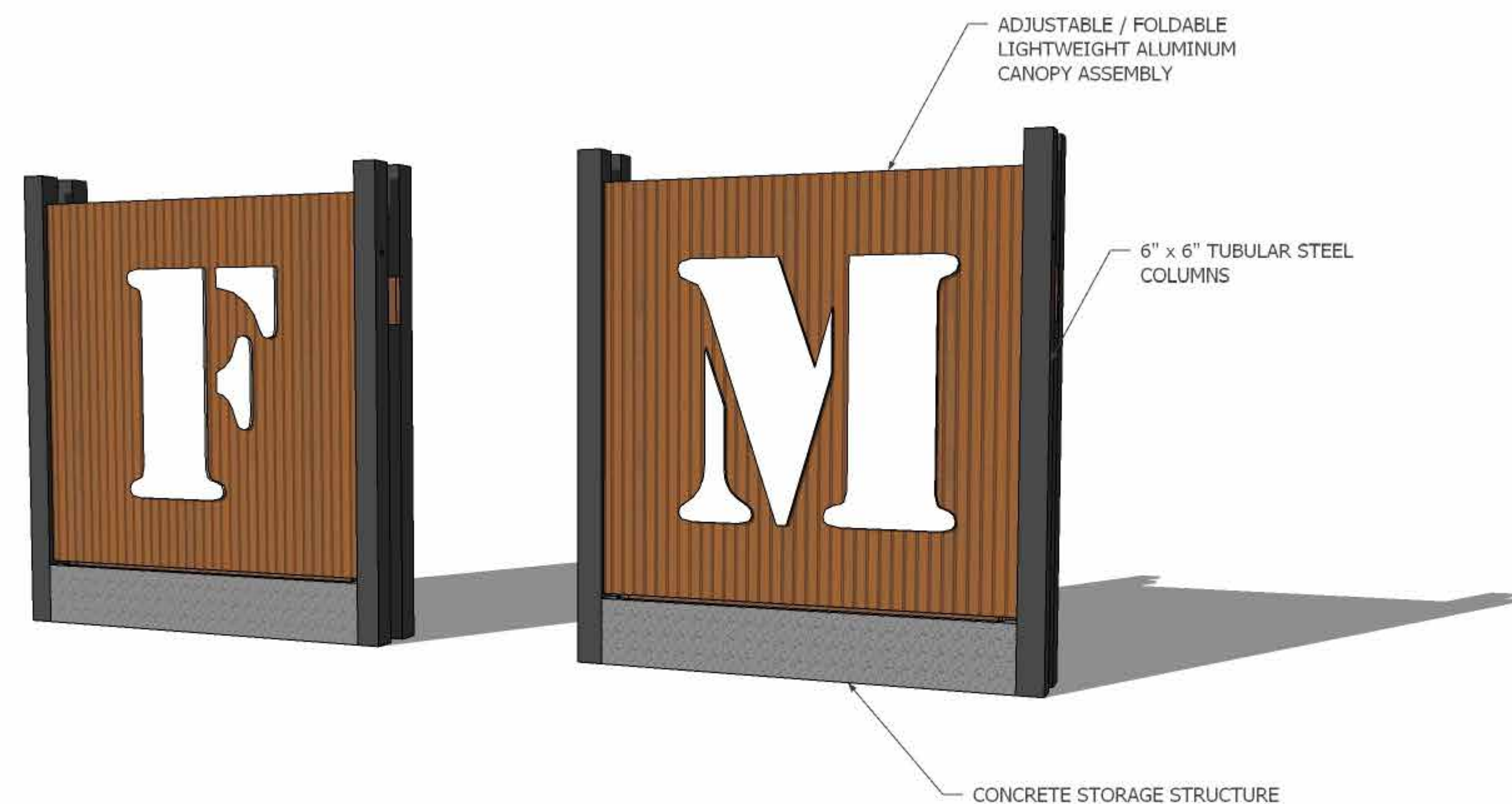


DURING NON-OPERATIONAL EVENT



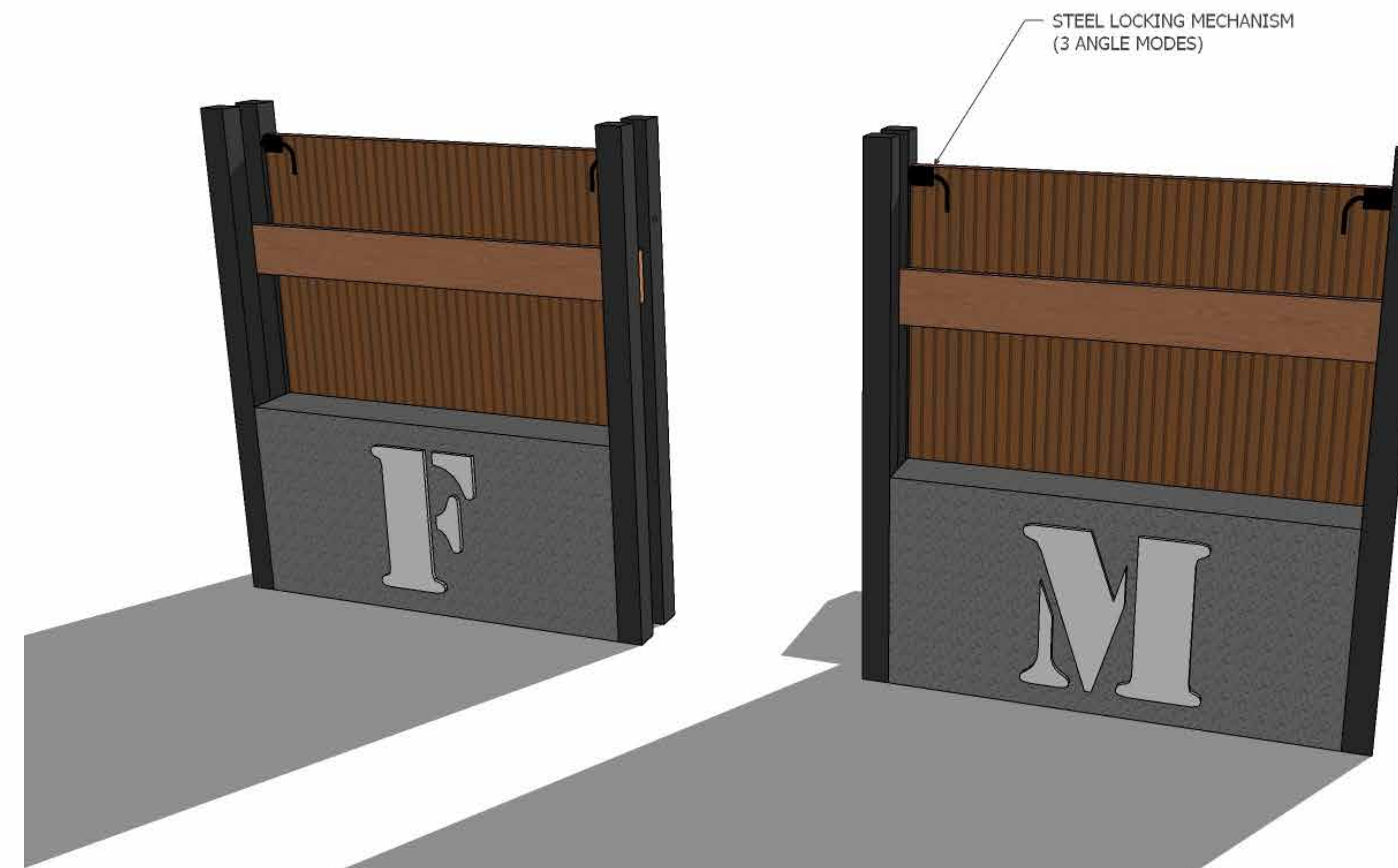
DURING FARMER'S MARKET EVENT





FRONT ELEVATION

DURING NON-OPERATIONAL EVENT



FRONT ELEVATION

DURING NON-OPERATIONAL EVENT



FRONT ELEVATION

DURING OPENING THE STRUCTURE



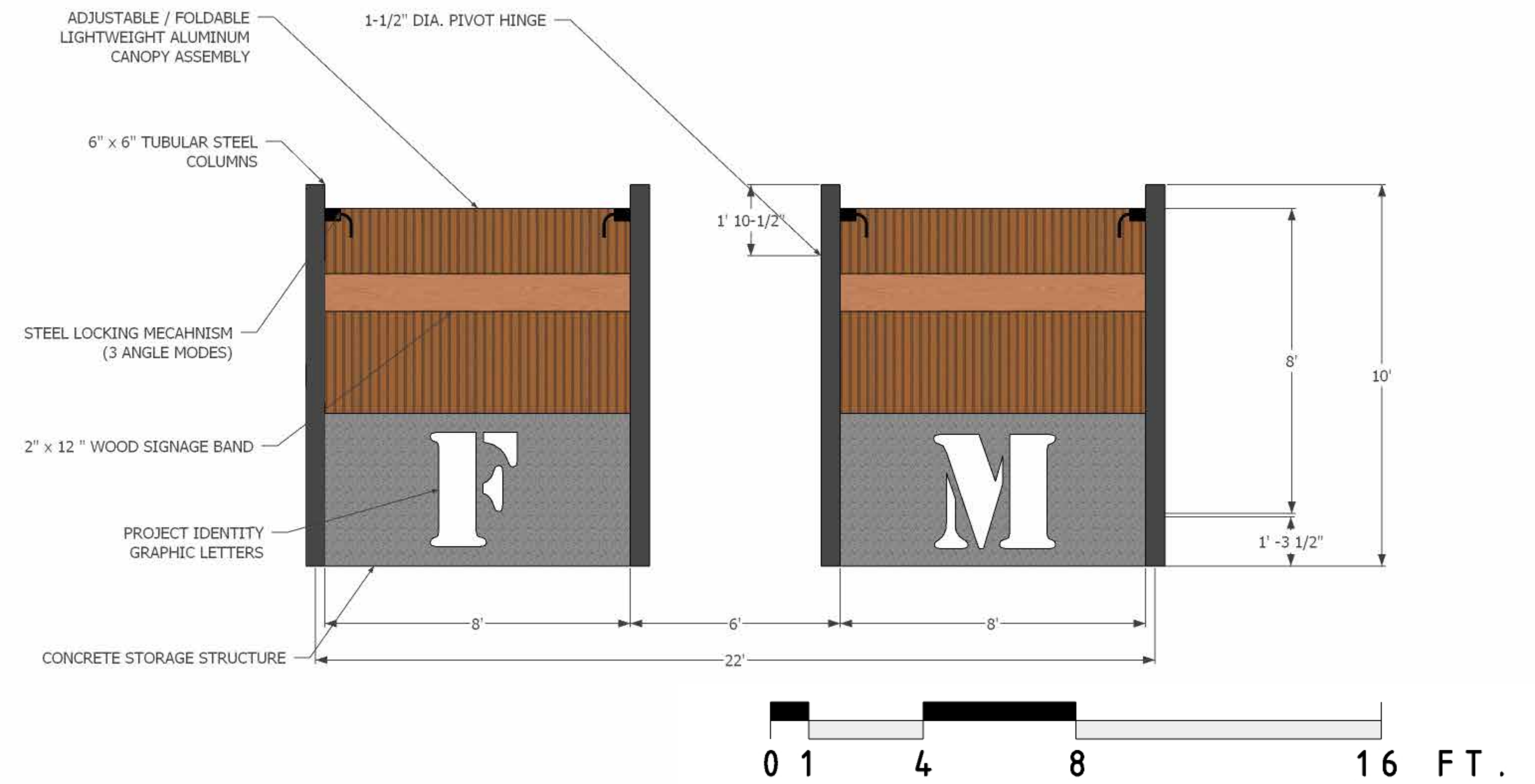
FRONT ELEVATION

DURING FARMER'S MARKET EVENT





FRONT ELEVATION DURING OPERATIONAL EVENT



REAR ELEVATION DURING NON-OPERATIONAL EVENT

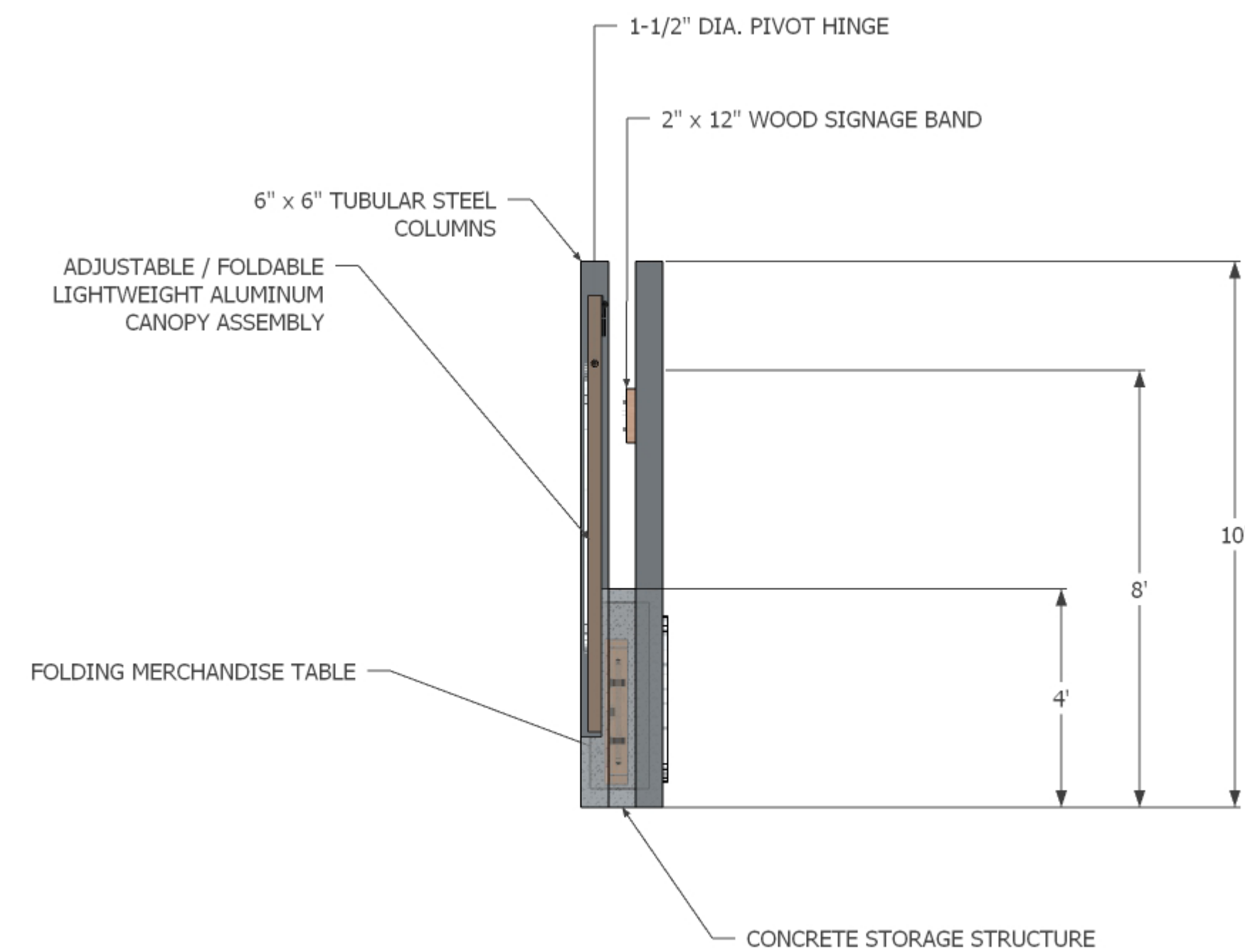


FRONT ELEVATION DURING FARMER'S MARKET EVENT

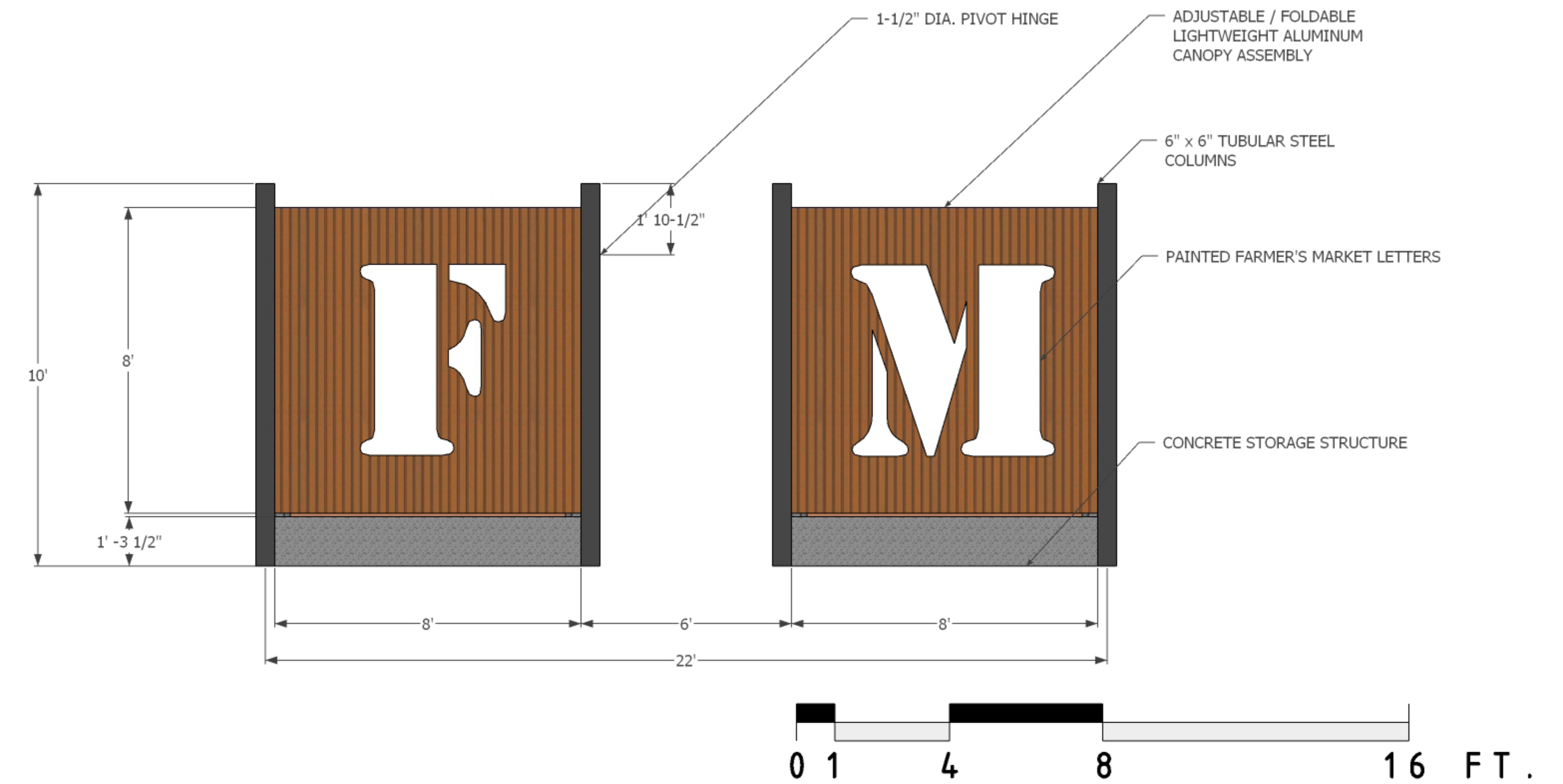


REAR ELEVATION DURING FARMER'S MARKET EVENT

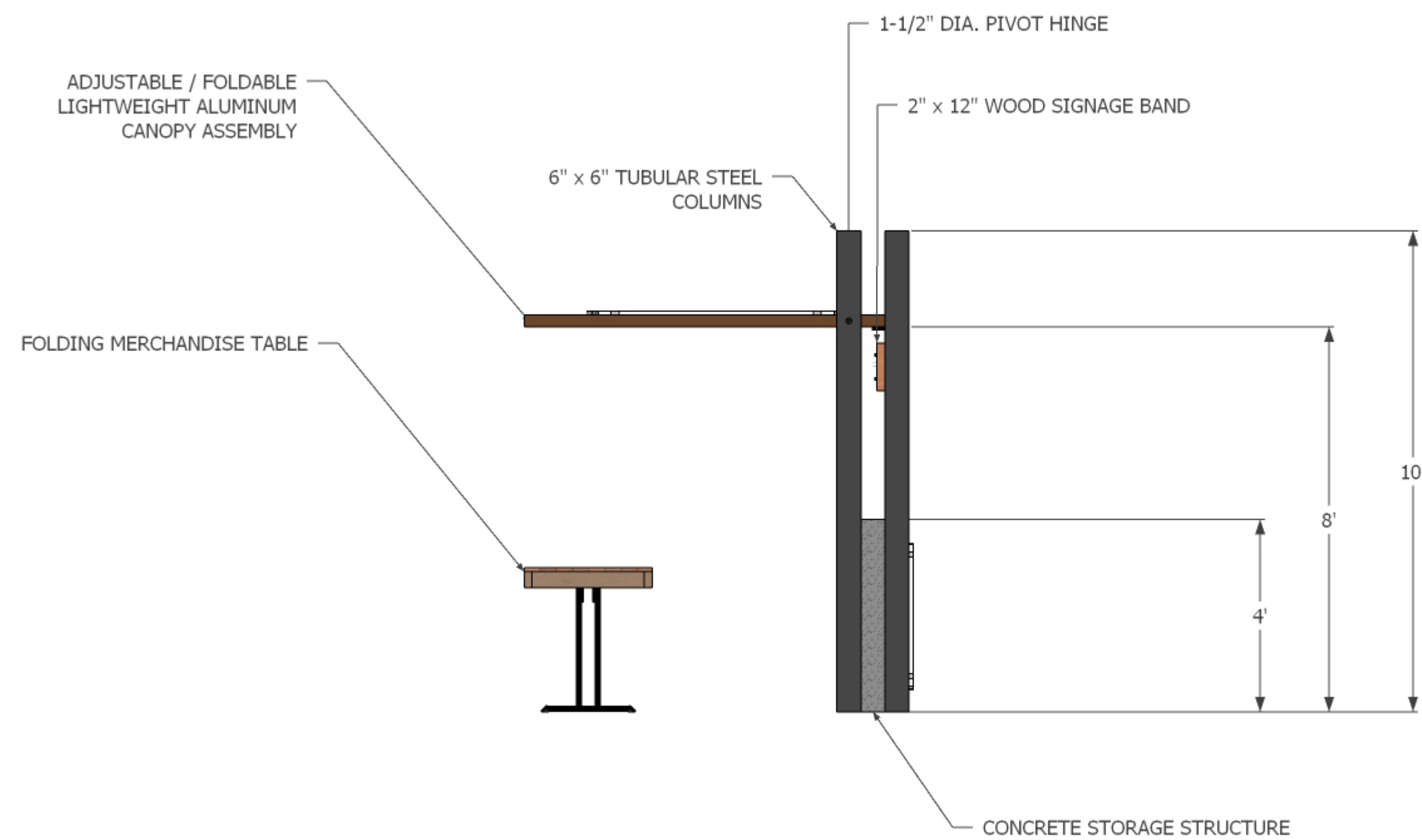




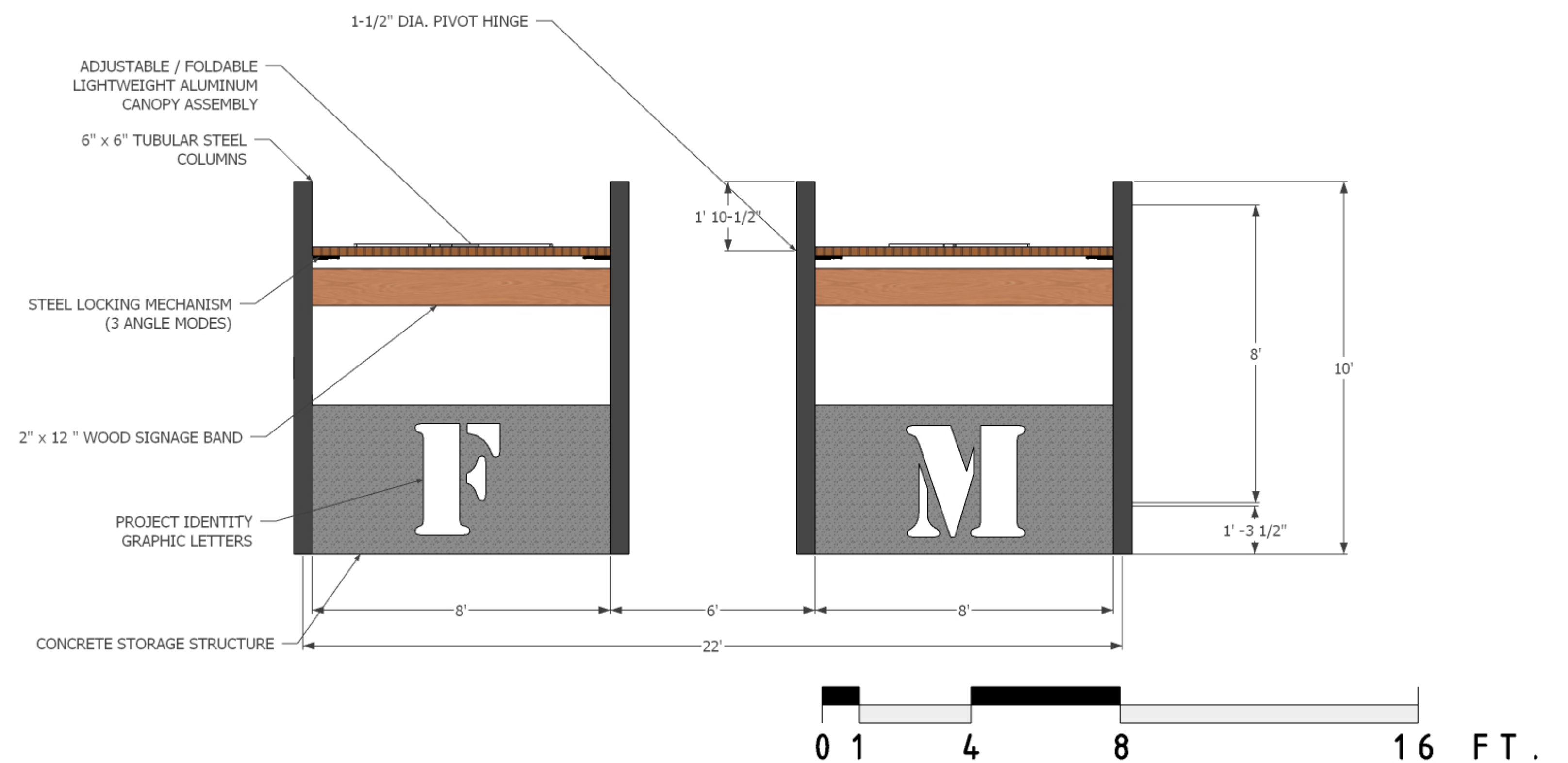
SIDE ELEVATION DURING NON-OPERATIONAL EVENT



FRONT ELEVATION DURING NON-OPERATIONAL EVENT



SIDE ELEVATION DURING FARMER'S MARKET EVENT



REAR ELEVATION DURING FARMER'S MARKET EVENT





DURING NON-OPERATIONAL EVENT



DURING FARMER'S MARKET EVENT



DURING FARMER'S MARKET EVENT

PARKING SECURITY ENCLOSURE  
DURING FARMER'S MARKET EVENT





PROJECT IDENTITY MARQUEE





## **MURALS OVERVIEW**

### **Creating Community Gathering Spaces**

1. Murals are without text visible from a public right-of-way
2. Murals illustrate the local setting, history and cultural significance as sources of inspiration
3. The colors, placement and size of the murals are visually compatible with the Center's architecture
4. The Murals will serve to enhance the aesthetes of the Center and of the City.





# Murals Locations





# McKnight Crossing Shopping Center

## CREATING COMMUNITY GATHERING SPACES

1



2



2



Reconstructed Entrance  
@ TARGET  
Creating Sense of Arrival



3



# Site Plan

- Parking
- Tenant sf Space

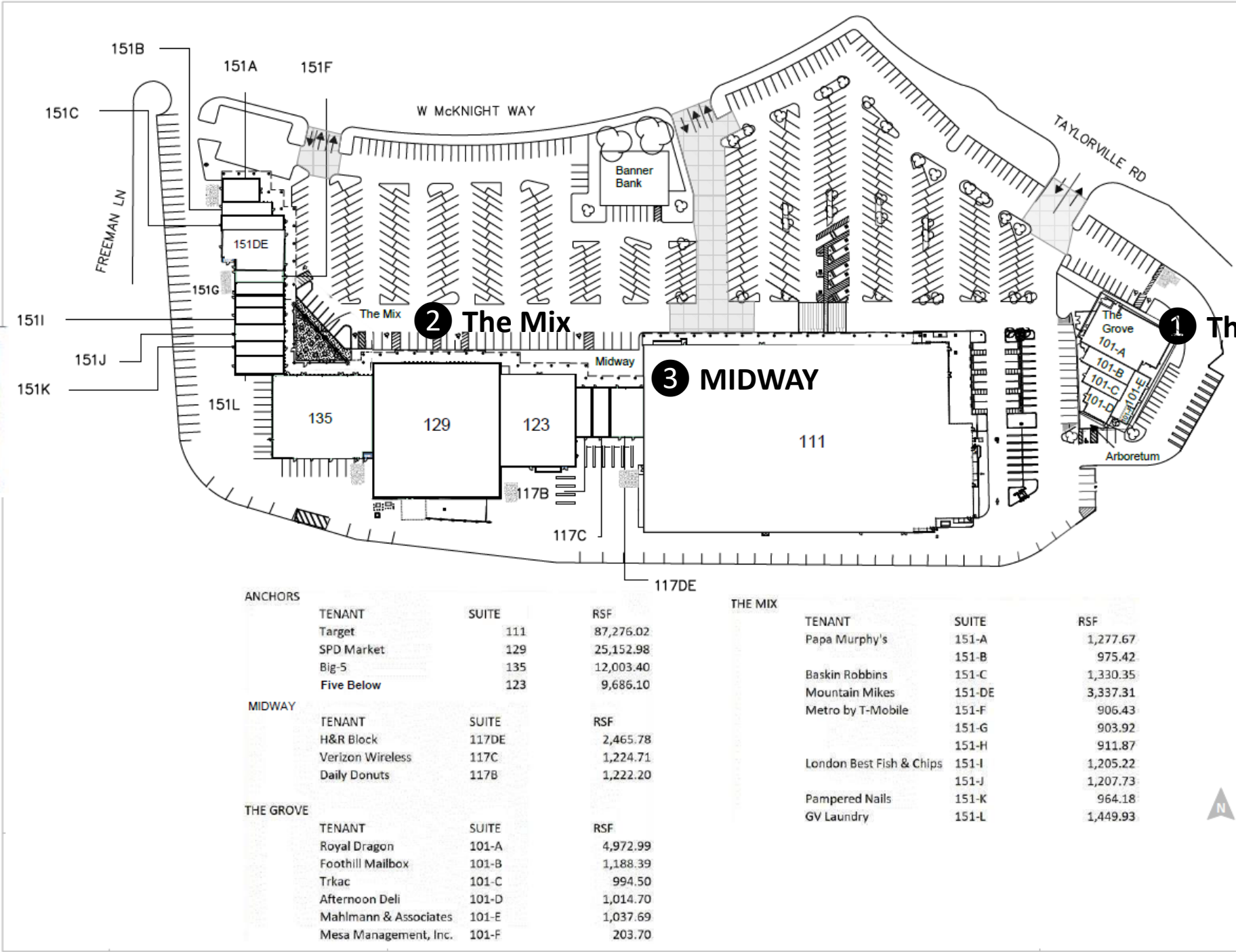
## 1 The Grove



## 2 The Mix



## 3 MIDWAY





# Site Plan

- Parking
- Tenant sf Space

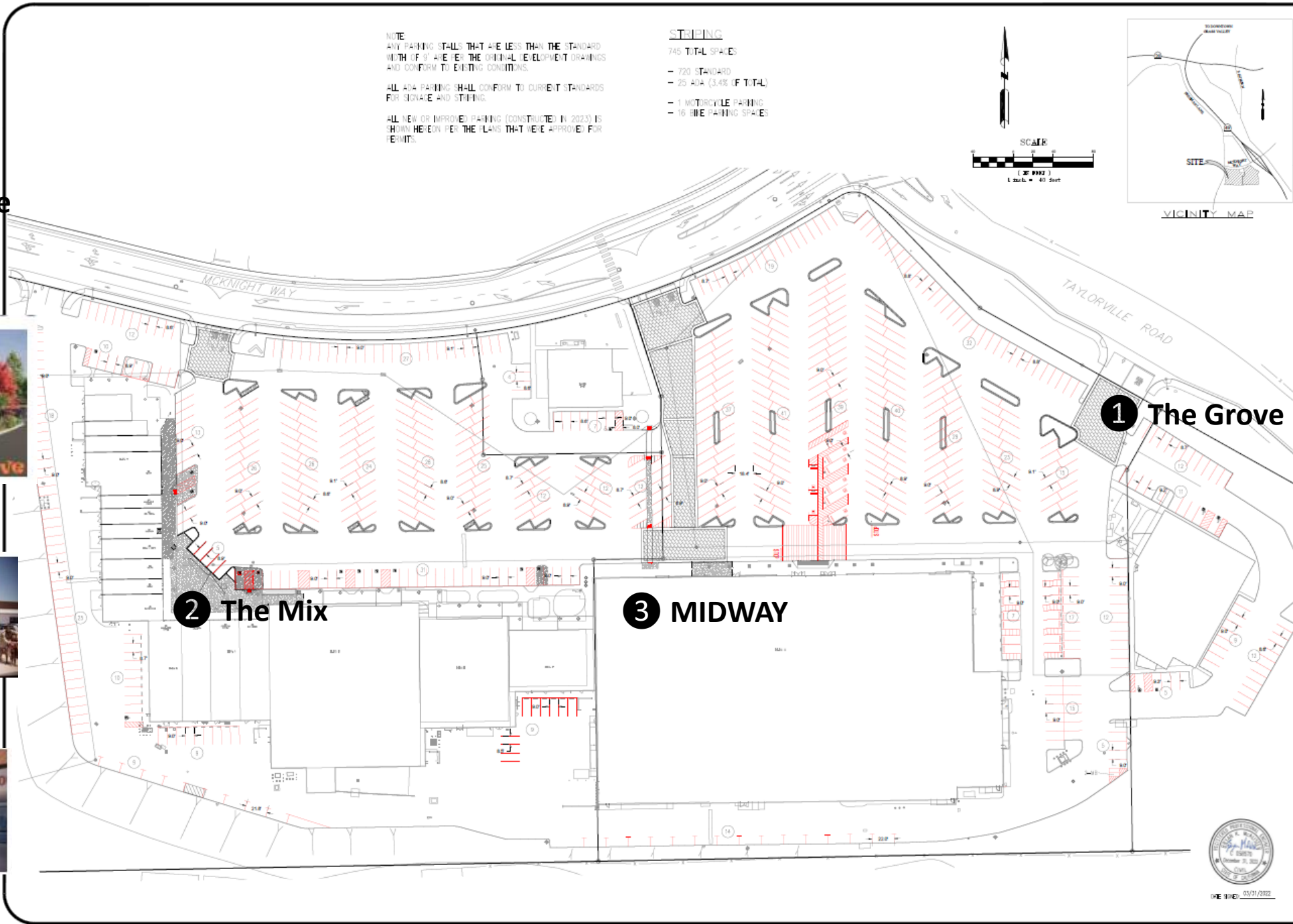
## 1 The Grove



## 2 The Mix



## 3 MIDWAY



**NOTE:**  
ANY PARKING STALLS THAT ARE LESS THAN THE STANDARD WIDTH OF 8' ARE FOR THE ORIGINAL EQUIPMENT DRAWINGS AND CONFORM TO EXISTING CONDITIONS.  
  
ALL ADA PARKING SHALL CONFORM TO CURRENT STANDARDS FOR SIGNAGE AND STRIPING.  
  
ALL NEW OR IMPROVED PARKING (CONSTRUCTED IN 2023) IS SHOWN HEREON FOR THE PLANS THAT WERE APPROVED FOR PERMITS.

**STRIPING**  
745 TOTAL SPACES  
- 720 STANDARD  
- 25 ADA (3.4% OF TOTAL)  
- 1 MOTORCYCLE PARKING  
- 16 BIKE PARKING SPACES

NO. 1	REVISION	DATE	SHEET NO. 18
MCKNIGHT CROSSING SHOPPING CENTER			CALIFORNIA
SITE IMPROVEMENTS			STRIPING
SERRA LAND SOLUTIONS, INC.			1100 SANDOZ WAY IRVINE, CA 92614 (949) 259-1100
C0.1			1 OF 1



## **A** Murals @ The Grove – Actual Photos



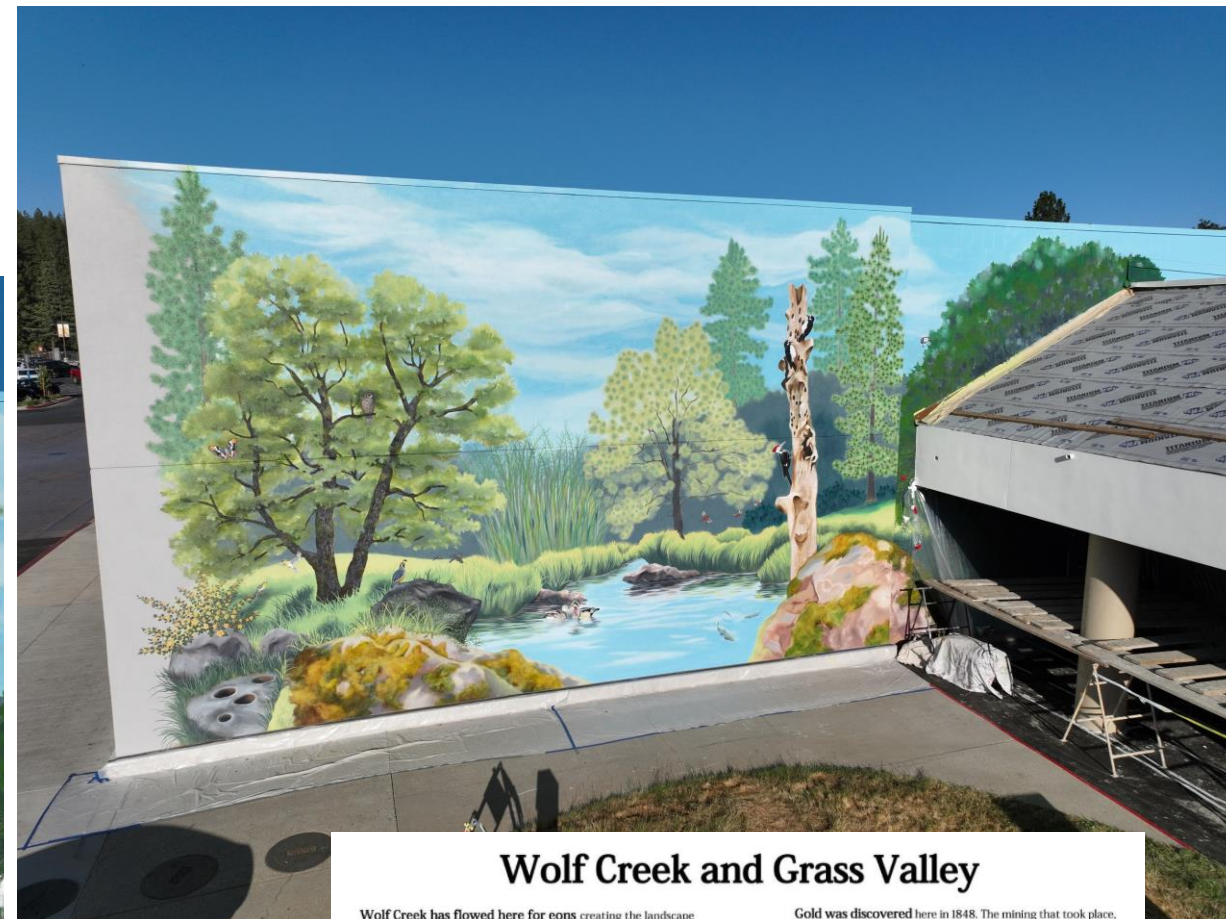


B

## Mural on wall of Target @ Midway



Total sf = 851 sf

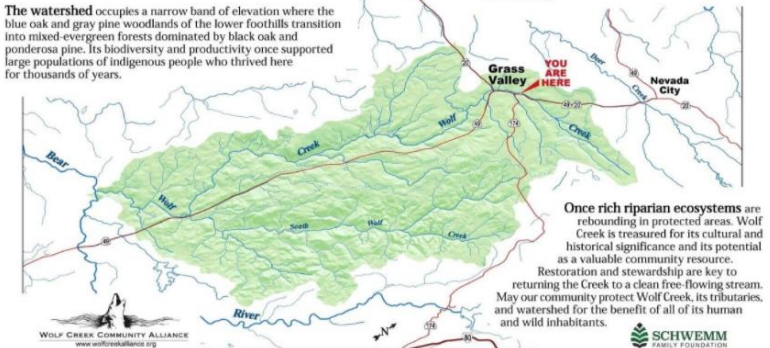


### Wolf Creek and Grass Valley

Wolf Creek has flowed here for eons creating the landscape and grassy meadows that lend Grass Valley its name. Originating from springs on Banner Mountain at an elevation of 3,230 feet, the Creek flows through Grass Valley, turns south and joins the Bear River at 995 feet.

The watershed occupies a narrow band of elevation where the blue oak and gray pine woodlands of the lower foothills transition into mixed-evergreen forests dominated by black oak and ponderosa pine. Its biodiversity and productivity once supported large populations of indigenous people who thrived here for thousands of years.

Gold was discovered here in 1848. The mining that took place, until the last mine closed in 1957, released enormous amounts of toxic heavy metals that contaminated stream sediments from above Grass Valley to the San Francisco Bay. Some of these contaminants are still present in Wolf Creek and its tributaries.



Once rich riparian ecosystems are rebounding in protected areas. Wolf Creek is treasured for its cultural and historical significance and its potential as a valuable community resource. Restoration and stewardship are key to returning the Creek to a clean free-flowing stream. May our community protect Wolf Creek, its tributaries, and watershed for the benefit of all of its human and wild inhabitants.



Note: Conceptual, As Approved by Management



PROPOSED FACADE ELEVATION

Total sf = 1,976



Murals on sides of SPD  
@ The Mix



Mesa - McKnight Crossing - Grass Valley  
Grass Valley, CA

CONCEPTUAL ARCHITECTURE & LANDSCAPE RENDERINGS  
SPD MARKET AREA

KEY PLAN



15

Scale: 1/8" = 1'-0"  
Date: 2023-01-27





# Management Approved Renderings





McKNIGHT CROSSING

SIGN CRITERIA

Revised **8/8/23 2:17 PM**

All companies bidding to manufacture:

All companies bidding to manufacture these signs are advised that no substitute will be accepted by purchaser whatsoever, unless so indicated in the specifications and approved by landlord and tenant. Any deviation from these specifications may result in purchaser's refusal to accept same.

All manufacturers are advised that prior to acceptance and final payment, each unit will be inspected for conformance by an authorized representative of the developer. Any signs found not in conformance will be rejected and removed at the owner's expense.

A. GENERAL SPECIFICATIONS

- A. Tenant shall submit before fabrication four copies of the proposed sign to the owner for approval. These drawings must include location, size and style of lettering, material, type of illumination, installation details, color selections and logo design. One plan is to be colored and submitted for approval.
- B. All permits for signs and their installation shall be obtained from the City of Grass Valley and paid for by the tenant prior to installation.
  - 1. No animated, flashing or audible signs will be permitted.
  - 2. No exposed lamps or tubing will be permitted.
  - 3. All signs and their installation shall comply with all local building and electrical codes.
  - 4. No exposed raceways, crossovers or conduit will be permitted.
  - 5. All cabinets, conductors, transformers and other equipment shall be concealed.
  - 6. Painted lettering will not be permitted.
  - 7. Channel letters without interior neon illumination will be accepted.
  - 8. Any existing signage for a tenant space must be removed prior to installation of a new signage package.

B. LOCATION OF SIGNS

- 1. All signs or advertising devices advertising an individual use, business or building shall be attached to the building at a location to be determined by the lessor.

Tenant's Initials \_\_\_\_\_

Landlord's Initials \_\_\_\_\_



C. DESIGN PERFORMANCE (WALL MOUNTED)

1. The total sign area shall not exceed one square foot per lineal foot of frontage of the premises. Except as allowed in Variance V80-02 Item 5, dated July 23, 1981. Sign area will be measured by circumscribing a rectangle around each individual letter of sign case.
2. Width of sign must not exceed 60% of shop width, including logo.
3. The total sign area for 111 W. McKnight Way premises (Target) is: 338 sq. ft. for primary wall sign plus 21 sq. ft. and 36 sq. ft. for each of two secondary signs.
4. The total sign area to exceed 50 sq. ft. on the premises of tenants other than Target is hereby conditionally approved (for buildings A-F); provided that such signs shall be confined to a space of 20 inches maximum in height, except for one SPD sign not to exceed 60 inches in height and a maximum of 2/3 the premises in length; that the total sign area shall not exceed 1-1/2 sq. ft. per linear foot of frontage at the premises; that graphic symbols (logos) as well as letters shall be confined within in the space indicated above.
5. Total vertical sign height not to exceed 24".  
The maximum height for letters in the sign is 18 inches.
6. Signs shall be composed of individual or script lettering. Sign boxes and cans will not be permitted. Logos will be considered on a case by case basis. Colors will also be approved on a case by case basis.
7. Plastic surfaces: Rohm and Haas company's Plexiglas shall be used, in colors noted, 3/16" thick.
8. Acrycap retainers used at the perimeter of sign letter faces shall be gold, or approved on a case by case basis.

Tenant's Initials \_\_\_\_\_

Landlord's Initials \_\_\_\_\_



9. For any spaces over 6,000 square feet and with over 90 feet of lineal frontage of the premise, the allowable sign area shall not exceed 1.28 square foot per lineal foot of frontage. The total vertical sign height is not to exceed 54 inches. The maximum height of letters in the sign is 42 inches. Width of the sign must not exceed 60% of the tenant frontage, including logo. For these spaces, a non-illuminated background behind the lettering is permitted not to exceed the allowable sign area.

D. DESIGN PERFORMANCE (FREESTANDING PYLON, MONUMENT & DIRECTIONAL SIGNS)

SIGN 1 PROPOSED PYLON SIGN (NORTHEAST CORNER OF SITE):

DOUBLE FACED, FREESTANDING:  
14'-0" w. x 22'-0" h. x 3'-0" d.

CENTER I.D. - "McKNIGHT CROSSING"  
6" HIGH MAX. ACRYLIC LETTERS  
"ATHELAS BOLD ITALIC" FONT ON  
8 SQ. FT. FIELD  
DOWN LIT W/LED LIGHTING  
SHIELDED BY SIGNAGE FRAME

(EACH SIDE)

TENANT I.D. - "Target" 16" HIGH MAX. LETTERS  
PRINTED ON ACRYLIC PANELS  
"ARIEL BOLD" FONT ON  
16 SQ. FT. FIELD  
DOWN LIT W/LED LIGHTING  
SHIELDED BY SIGNAGE FRAME

OTHER TENANTS - 12" HIGH MAX.  
LETTERS  
PRINTED ON ACRYLIC PANELS  
FONT VARIES ON 16 SQ. FT. FIELD  
DOWN LIT W/LED LIGHTING  
SHIELDED BY SIGNAGE FRAME

(TYPICAL OF 3 ON EACH SIDE)

TOTAL SIGNAGE AREA	= 58 SQ. FT. EACH SIDE	116 SQ. FT. TOTAL
TOTAL FACE AREA	= 252 SQ. FT. EACH SIDE	504 SQ. FT. TOTAL

Tenant's Initials \_\_\_\_\_

Landlord's Initials \_\_\_\_\_



SIGN 2    PROPOSED TENANT MONUMENT SIGN (WEST DRIVEWAY ENTRANCE  
FROM McKNIGHT WAY) :

DOUBLE FACED, FREESTANDING:  
17'-4" w. x 5'-6" h. x 1'-2" d.

CENTER I.D. -    "McKNIGHT CROSSING"  
5" HIGH MAX. ACRYLIC LETTERS  
"ATHELAS BOLD ITALIC" FONT ON  
8 SQ. FT. FIELD  
DOWN LIT W/LED LIGHTING  
SHIELDED BY SIGNAGE FRAME

(EACH SIDE)

TENANT I.D. -    8" HIGH MAX.  
LETTERS, PRINTED ON ACRYLIC PANELS  
FONT VARIES ON  
7 SQ. FT. FIELD  
DOWN LIT W/LED LIGHTING  
SHIELDED BY SIGNAGE FRAME

(TYPICAL OF 4 ON EACH SIDE)

TOTAL SIGNAGE AREA =	36 SQ. FT. EACH SIDE	72 SQ. FT. TOTAL
TOTAL FACE AREA =	94 SQ. FT. EACH SIDE,	188 SQ. FT. TOTAL

SIGN 3    PROPOSED I.D. MONUMENT SIGN (EAST DRIVEWAY ENTRANCE FROM  
McKNIGHT WAY) :

DOUBLE FACED, FREESTANDING:  
8'-4" w. x 5'-0" h. x 1'-2" d.

CENTER I.D. -    "McKNIGHT CROSSING"  
6" HIGH MAX. ACRYLIC LETTERS  
"ATHELAS BOLD ITALIC" FONT ON  
8 SQ. FT. FIELD  
DOWN LIT W/LED LIGHTING  
SHIELDED BY SIGNAGE FRAME

(EACH SIDE)

TOTAL SIGNAGE AREA =	12 SQ. FT. EACH SIDE	24 SQ. FT. TOTAL
TOTAL FACE AREA =	34 SQ. FT. EACH SIDE	68 SQ. FT. TOTAL

Tenant's Initials \_\_\_\_\_

Landlord's Initials \_\_\_\_\_



SIGN 4 PROPOSED DIRECTIONAL SIGN (NORTH OF BLDG. "A") :

SINGLE FACED, FREESTANDING:  
4'-0" w. x 4'-0" h.

CENTER I.D. - "McKNIGHT CROSSING"  
3" HIGH MAX. VINYL LETTERS  
"ATHELAS BOLD ITALIC" FONT ON  
8 SQ. FT. FIELD

DIRECTIONAL  
INFORMATION - "DELIVERIES" & "PARKING"  
4 1/2" HIGH MAX, VINYL LETTERS  
"ARIEL" FONT ON BRUSHED ALUMINUM  
SIGN FACE

(ONE SIDE)

TOTAL SIGNAGE AREA = 12 SQ. FT.

SIGN 5 PROPOSED DIRECTIONAL SIGN (NEAR DRIVEWAY ENTRANCE  
FROM TAYLORVILLE ROAD):

SINGLE FACED, FREESTANDING:  
4'-0" w. x 4'-0" h.

CENTER I.D. - "McKNIGHT CROSSING"  
3" HIGH MAX. VINYL LETTERS  
"ATHELAS BOLD ITALIC" FONT ON  
8 SQ. FT. FIELD

DIRECTIONAL  
INFORMATION - "DELIVERIES" & "PARKING"  
4 1/2" HIGH MAX, VINYL LETTERS  
"ARIEL" FONT ON BRUSHED ALUMINUM  
SIGN FACE

(ONE SIDE)

TOTAL SIGNAGE AREA = 12 SQ. FT.

Tenant's Initials \_\_\_\_\_

Landlord's Initials \_\_\_\_\_



NEW 8.1.2023

SIGN 6 PROPOSED I.D. MONUMENT SIGN (THE GROVE):

SINGLE FACED, FREESTANDING:  
9'-6" w. x 20'-0" h. x 52" d.

CENTER I.D. - "the Grove"  
2'-6" HIGH MAX. ACRYLIC LETTERS  
"TBD" FONT ON  
60 SQ. FT. FIELD  
CHANNEL LIT W/LED LIGHTING  
SHIELDED BY SIGNAGE FRAME

(ONE SIDE)

TOTAL SIGNAGE AREA = 60 SQ. FT.	60 SQ. FT. TOTAL
TOTAL FACE AREA = 60 SQ. FT.	60 SQ. FT. TOTAL

SIGN 7 PROPOSED I.D. MONUMENT SIGN (THE MIX):

SINGLE FACED, FREESTANDING:  
46" w. x 12'-2" h. x 24" d.

CENTER I.D. - "the Mix"  
17" HIGH MAX. ACRYLIC LETTERS  
"TBD" FONT ON  
20'-8" SQ. FT. FIELD  
CHANNEL LIT W/LED LIGHTING  
SHIELDED BY SIGNAGE FRAME

(ONE SIDE)

TOTAL SIGNAGE AREA = 20'-8" SQ. FT.	20'-8 SQ. FT. TOTAL
TOTAL FACE AREA = 20'-8" SQ. FT.	20'-8" SQ. FT. TOTAL

SIGN 8 PROPOSED I.D. MONUMENT SIGN (MIDWAY):

SINGLE FACED, FREESTANDING:  
46" w. x 16'-10" h. x 20" d.

CENTER I.D. - "MIDWAY"  
17" HIGH MAX. ACRYLIC LETTERS  
"TBD" FONT ON  
31 SQ. FT. FIELD  
CHANNEL LIT W/LED LIGHTING  
SHIELDED BY SIGNAGE FRAME

(ONE SIDE)

TOTAL SIGNAGE AREA = 31 SQ. FT.	31 SQ. FT. TOTAL
TOTAL FACE AREA = 31 SQ. FT.	31 SQ. FT. TOTAL

Tenant's Initials \_\_\_\_\_

Landlord's Initials \_\_\_\_\_



E. CONSTRUCTION REQUIREMENTS

1. All exterior signs, bolts, fastenings, and clips shall be enameling iron with porcelain enamel finish, stainless steel, aluminum, brass or bronze. No black iron materials of any type will be permitted.
2. All exterior letters on signs exposed to the weather shall be mounted at least  $\frac{3}{4}$  from the building to permit proper dirt and water drainage.
3. All letters shall be fabricated using full welded construction.
4. Location of all openings for conduits in building walls shall be indicated by sign drawings submitted to the lessor.
5. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
6. No labels will be permitted on the exposed surface of signs except those required by local ordinance which shall be applied in an inconspicuous location.
7. Sign contractor shall repair any damage to any work caused by his work.
8. Lessee shall be fully responsible for the operations of each of its sign contractors.

F. RESTRICTIONS

1. Vertical copy or signs projecting perpendicular to the building are not permitted.
2. Logos or manufacturer's decals, hours of business, telephone numbers, etc., are limited to a total of 144 sq. in. per single door entrance. All "Sale" signs, special announcements, etc. are not permitted on exterior or interior glass. such advertising material must be set back 48" from glass surface.
3. Advertising devices such as attraction boards, posters, banners and flags will not be permitted.
4. Copy of tenant's sign shall not include the product sold, except as part of the tenant's name or insignia.

Tenant's Initials \_\_\_\_\_

Landlord's Initials \_\_\_\_\_



5. Temporary signs:

- a. Temporary signs may be permitted upon the review and approval of a sign permit by the Planning Department.
- b. Temporary signs shall be limited in size proportionately to the building or development involved. The aggregate area of all temporary signs on the premises, shall not exceed two square feet for each lineal foot of frontage, or a maximum of fifty-square feet total area, whichever is the lesser area. Exceptions to this standard may be granted by the Development review committee in accordance with Chapter 17.38 of the Municipal Code.
- c. Temporary signs shall be limited to four events per year, not to exceed a period of 15 days per event;
- d. The Planning Department or the Development Review Committee may be more restrictive than these standards or deny an application for temporary sign permits. An action of denial must be based on findings which may include the following:
  1. The proposed sign would conflict with other signs on the building or in the neighborhood.
  2. The proposed sign would cause undesirable or unattractive proliferation on the building or in the neighborhood.
  3. The proposed sign would result in too many similar type signs on the building or in the neighborhood.
  4. The proposed sign may result in a public health and safety hazard or nuisance.
  5. The applicant has demonstrated poor performance in complying with this ordinance or conditions of permit approval for other signs.

G. PROHIBITED SIGNS

1. Signs constituting a traffic hazard: No person shall install or maintain or cause to be installed or maintained any sign which simulates or imitates in size, color, lettering or design any traffic sign or signal, or which makes use of the words, "STOP", "LOOK", "DANGER", or any other words, phrases, symbols, or characters in such a manner as to interfere with, mislead or confuse traffic.

Tenant's Initials \_\_\_\_\_

Landlord's Initials \_\_\_\_\_



2. Immoral or Unlawful Advertising: It shall be unlawful for any person to exhibit, post, or display or cause to be exhibited, posted or displayed upon any sign, anything of an obscene, indecent, or immoral nature or unlawful activity.
3. Signs on Doors, Windows or Fire Escapes: No window signs will be permitted except as noted herein. No sign shall be installed, relocated, or maintained so as to prevent free ingress to or egress from any door. No sign of any kind shall be attached to a stand pipe except those signs as required by code or ordinance.
4. Animated, Audible, or Moving Signs: Signs consisting of any moving, swinging, rotating, flashing, blinking, scintillating, fluctuating or otherwise animated light is prohibited.
5. Off-Premise Signs: Any signs, other than a directional sign, installed for the purpose of advertising a project, event, person or subject not related to the premises upon which said sign is located are prohibited.
6. Vehicle Signs: Signs on or affixed to trucks, automobiles, trailers or other vehicles which advertise, identify, or provide direction to a use of activity not related to its lawful making or deliveries or sales of merchandise or rendering of services from such vehicles, is prohibited.
7. Light Bulb Strings and Exposed Tubing: External displays, other than temporary decorative holiday lighting, which consists of unshielded light bulbs, and open, exposed neon or gaseous light tubing, are prohibited. An exception hereto may be granted by the architect when the display is an integral part of the design character of the activity to which it relates.
8. Pennants, and Balloons used for Advertising. Purposes: Flags, banners, or pennants, or a combination of same, constituting an architectural feature which is an integral part of the design character of a project may be permitted subject to landlord and City approval.

Tenant's Initials \_\_\_\_\_

Landlord's Initials \_\_\_\_\_



9. Signs in Proximity to Utility Lines: Signs which have less horizontal or vertical clearance from authorized communication or energized electrical power lines than that prescribed by the laws of the state of California are prohibited.
10. Existing Non conforming Pylon Signs: No modification of the existing pylon signs will be allowed without approval of an exception to the sign ordinance by the Grass Valley City Development Review Committee.

H. MISCELLANEOUS NOTES

1. The provisions of this Exhibit, except as otherwise expressly provided in this Exhibit, shall not be applicable to the identification signs of Department Stores or other occupancy designated by the landlord as a "Major" or "Special" tenant that may be located in the Shopping Center, it being understood and agreed that these occupants may have their usual sign on similar buildings operated by them in California; provided, however, there shall be no rooftop signs which are flashing, moving, or audible and provided said sign is architecturally compatible and has been approved by the architect, owner and the City of Grass Valley.

I. GUARANTEE

1. The entire display shall be guaranteed for one (1) year against defects in the material and workmanship. Defective parts shall be replaced without charge, all lamps excluded.

J. INSURANCE

1. Sign company shall carry workmen's compensation and public liability insurance against all damage suffered or done to any and all persons and/or property while engaged in the construction of erection of signs in the amount of \$1,000,000/\$2,000,000.

K. ERECTION

1. Sign company shall completely erect and connect (including all wiring) sign display at approved sign location.

END OF CRITERIA

Tenant's Initials \_\_\_\_\_

Landlord's Initials \_\_\_\_\_





## **SIGN LOCATION PLAN**

Rev 8.14.2023



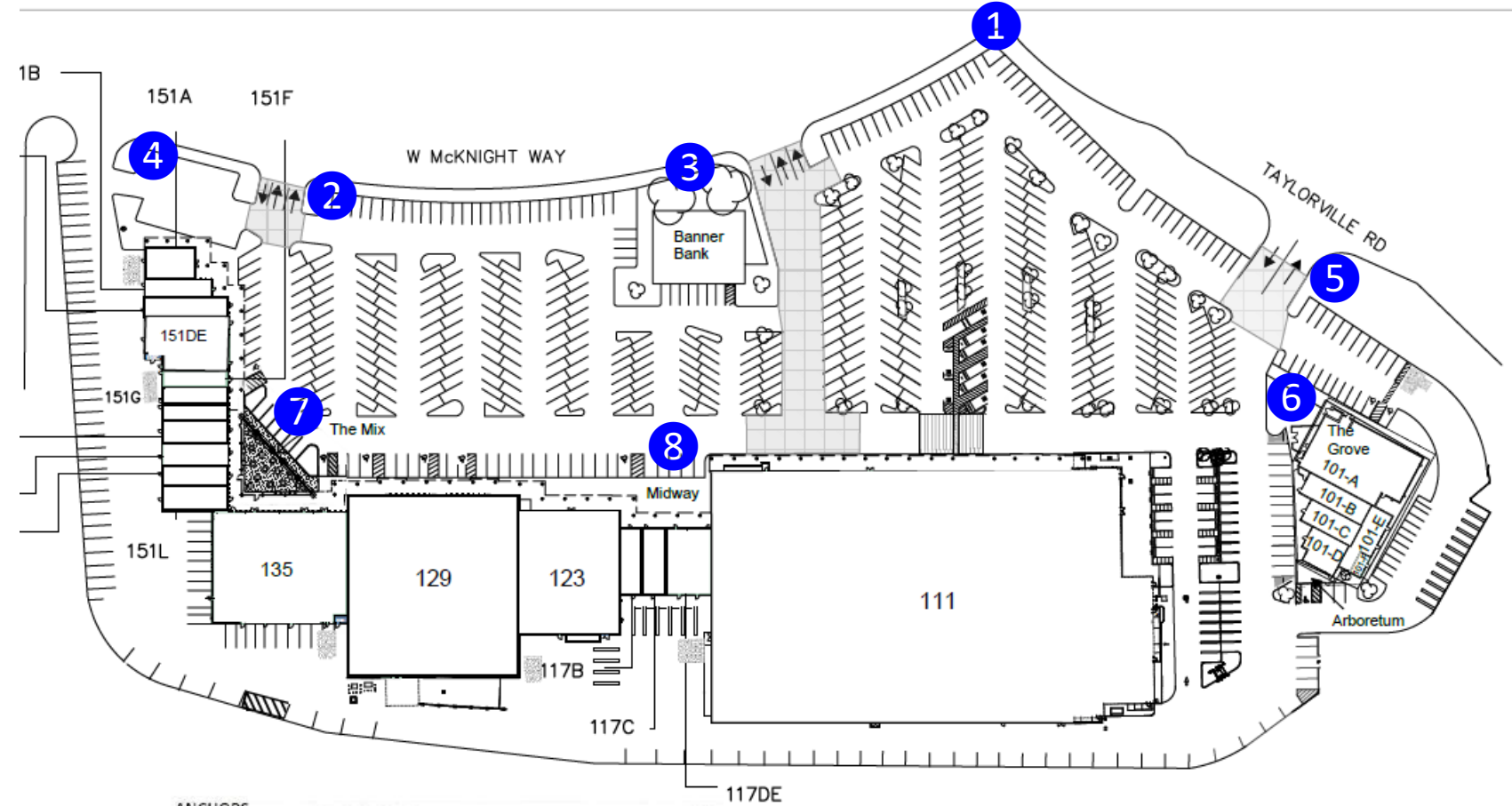
# SIGN LOCATIONS

## EXISTING:

1. Pylon - NE Corner
2. Tenant Monument – W Drive Entrance
3. ID Monument – E Drive from McKnight Way
4. Directional – No Bldg A
5. Directional – Drive Entrance @ Taylorville Rd

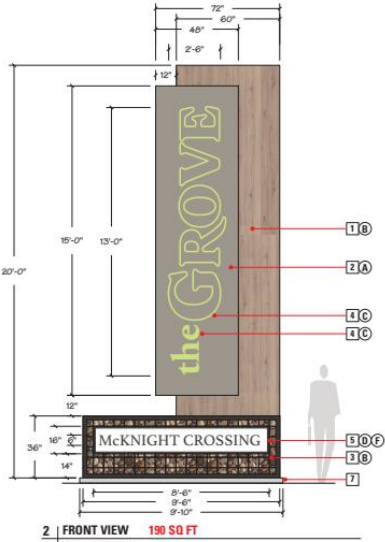
## NEW:

6. The Grove
7. The Mix
8. Midway

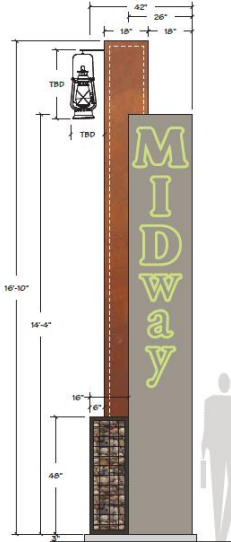




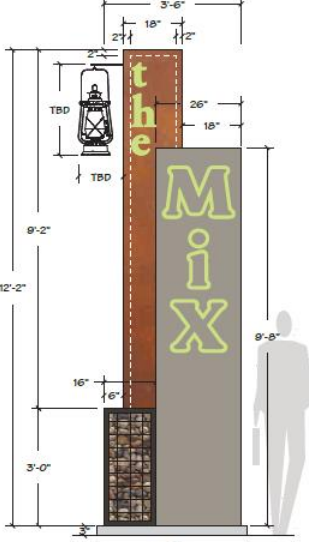
# Signs – ID & Way Finding



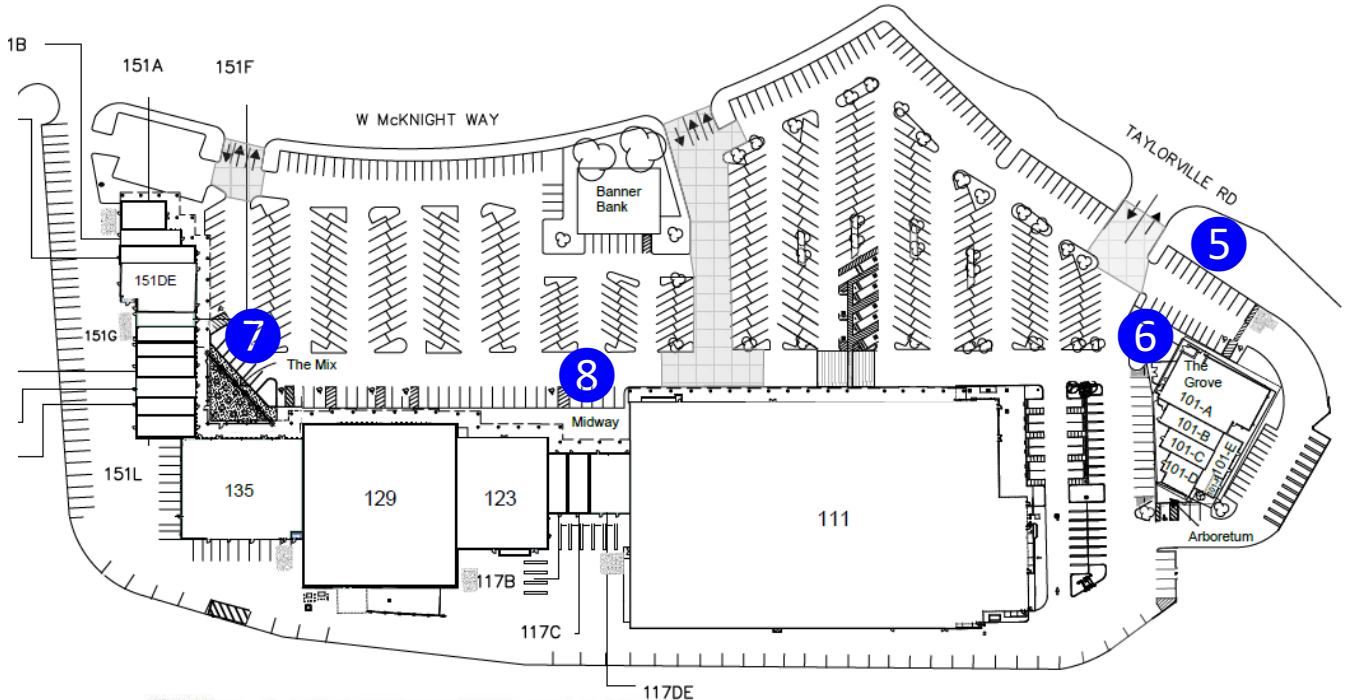
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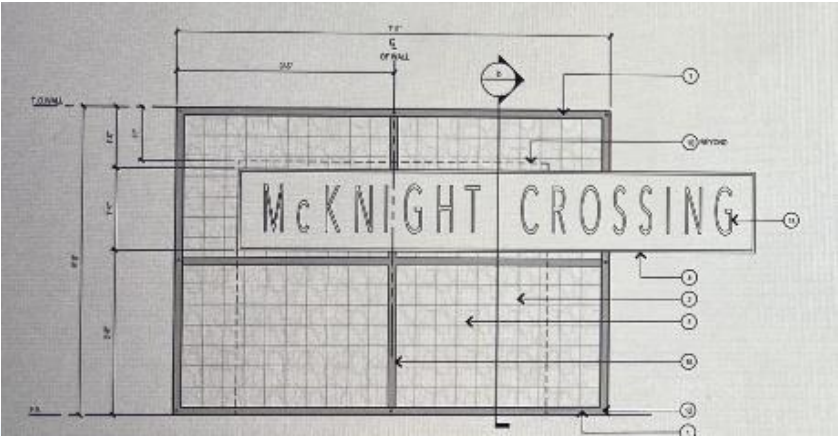
7



8



5



Proposed

