



STORE 26-128  
2059 NEVADA CITY HWY  
GRASS VALLEY, CA 95945

## LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF GRASS VALLEY, IN THE COUNTY OF NEVADA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

### PARCEL ONE:

ALL THAT PORTION OF THE NORTHWEST ONE-QUARTER OF SECTION 24, TOWNSHIP 16 NORTH, RANGE 8 EAST, M. D. B. & M., ACCORDING TO THE OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT FROM WHICH THE WEST ONE-QUARTER SECTION CORNER OF SAID SECTION 24 BEARS SOUTH 18° 54' 31" WEST 1183.15 FEET; THENCE FROM SAID POINT OF BEGINNING, NORTH 53° 07' 08" EAST 293.64 FEET ALONG THE EASTERLY LINE OF LOWER GRASS VALLEY ROAD TO A BOUNDARY LINE OF THAT PARCEL OF LAND CONDEMNED FOR STATE FREEWAY PURPOSES AS DESCRIBED IN THE FINAL ORDER OF CONDEMNATION DATED AUGUST 18, 1965, A CERTIFIED COPY OF WHICH WAS RECORDED AUGUST 18, 1965, IN BOOK 385 OF OFFICIAL RECORDS, AT PAGE 165; THENCE ALONG SAID LAST MENTIONED LINE, SOUTH 37° 09' 17" EAST 11.46 FEET AND ALONG A CURVE TO THE LEFT WITH RADIUS OF 530 FEET, THROUGH AN ANGLE OF 11° 39' 57" FOR A DISTANCE OF 107.91 FEET, THE LONG CHORD OF WHICH BEARS NORTH 47° 00' 45" EAST 107.73 FEET; THENCE NORTH 53° 07' 08" EAST 28.19 FEET ALONG THE EASTERLY LINE OF LOWER GRASS VALLEY ROAD TO A WESTERLY LINE OF THE ABOVE DESCRIBED STATE FREEWAY; THENCE ALONG SAID WESTERLY LINE, SOUTH 24° 05' 22" WEST 370.58 FEET TO A POINT IN THE NORTHERLY LINE OF THE VAN GAS PROPERTY; THENCE NORTH 67° 09' 24" WEST 208.23 FEET ALONG THE NORTHERLY LINE OF THE VAN GAS PROPERTY TO THE POINT OF BEGINNING, AS SURVEYED BY J. F. SIEGREID, L.S. 2202.

EXCEPTING THEREFROM ALL THAT PORTION THEREOF 100 FEET BELOW THE SURFACE AS CONVEYED BY DEED DATED JANUARY 3, 1940, RECORDED JANUARY 11, 1940, IN BOOK 60 OF OFFICIAL RECORDS, AT PAGE 22, EXECUTED BY GEORGE A. LEGG, ET UX. TO D.E. MCLAUGHLIN.

### PARCEL TWO:

ACCESS EASEMENTS AS SET FORTH IN DOCUMENT ENTITLED "RECIPROCAL EASEMENT AGREEMENT" RECORDED OCTOBER 31, 2013 AS INSTRUMENT NO. 2013-29497, OFFICIAL RECORDS OF NEVADA COUNTY.

## CODES AND REGULATIONS

THESE PLANS SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING CODE AND ALL APPLICABLE COUNTY AND NATIONAL CITY CODES AND ORDINANCES.

2019 CALIFORNIA ADMINISTRATIVE CODE, (PART 1);

2019 CALIFORNIA BUILDING CODE (CBC), VOLUMES 1 AND 2 (TITLE 24, PART 2);

2019 CALIFORNIA ELECTRICAL CODE (CEC), (TITLE 24, PART 3);

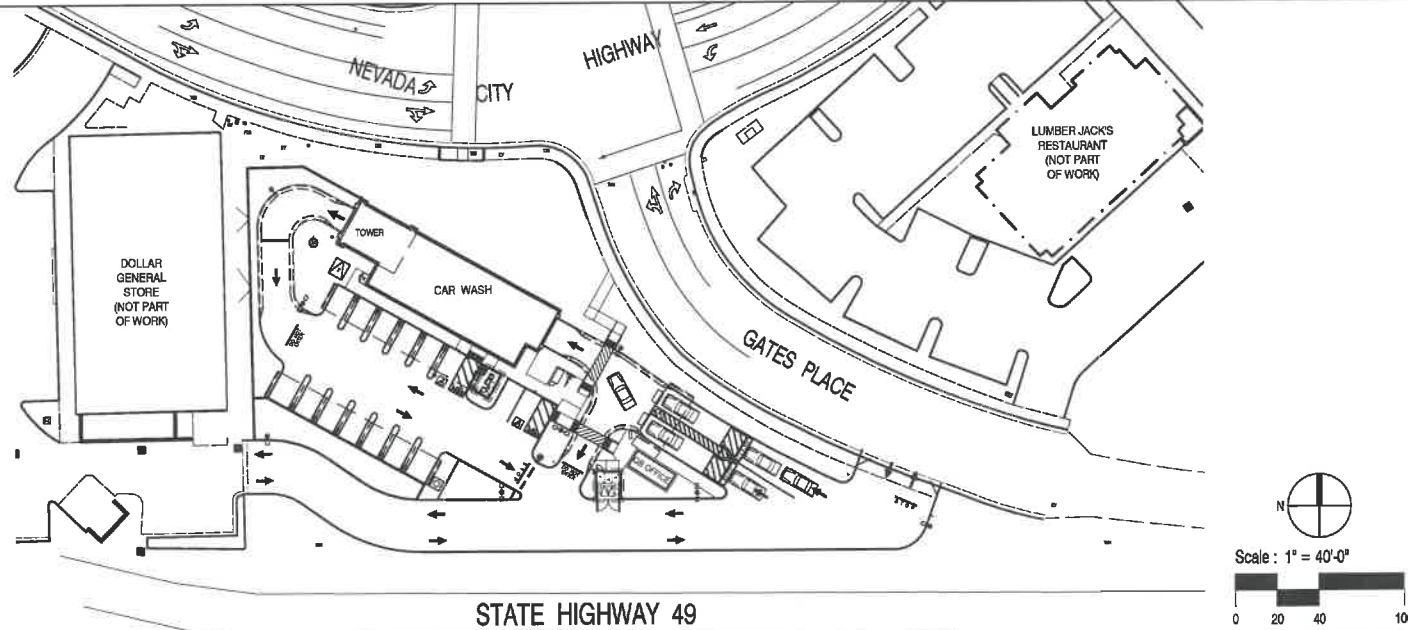
2019 CALIFORNIA MECHANICAL CODE (CMC), (TITLE 24, PART 4);

2019 CALIFORNIA PLUMBING CODE (CPC), (TITLE 24, PART 5);

2019 CALIFORNIA ENERGY CODE, (TITLE 24, PART 6);

2019 CALIFORNIA FIRE CODE, (TITLE 24, PART 9);

2019 CALIFORNIA GREEN BUILDING CODE, (TITLE 24, PART 11)

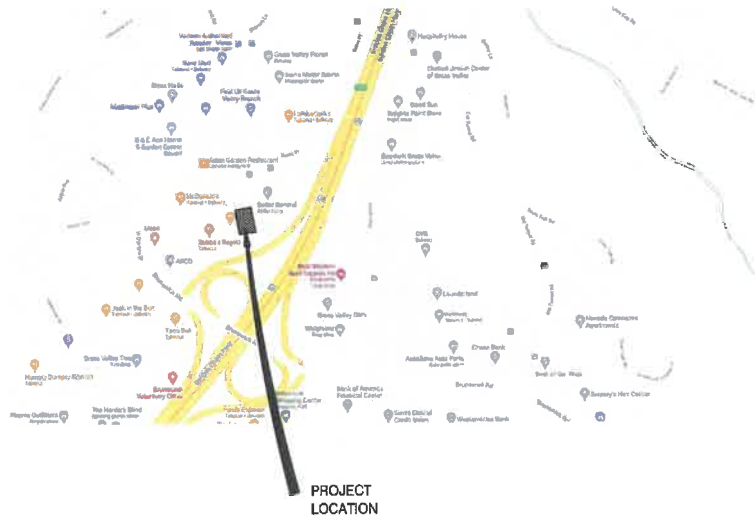


SITE PLAN

SCALE  
1" = 40'-0"

1

## VICINITY MAP



VICINITY MAP  
N.T.S.

## DIRECTORY

### OWNER & APPLICANT:

**QUICK QUACK CAR WASH**  
1380 LEAD HILLS BLVD., SUITE 260  
ROSEVILLE, CA 95661  
CONTACT: VANCE SHANNON  
vshannon@dontdrivedirty.com

### ARCHITECT:

**LADG | LA DESIGN GROUP, INC.**  
21671 GATEWAY CENTER DRIVE, SUITE 213  
DIAMOND BAR, CA 91765  
Phone: (909) 860-1010  
CONTACT: SAEID SHANTYAI  
sshantiyai@ladesigngroup.net

### CIVIL ENGINEER:

**AMS ASSOCIATES, INC.**  
801 YGNACIO VALLEY ROAD, SUITE 220  
WALNUT CREEK, CA 94596  
Phone: (925) 943-2777  
CONTACT: AL SHAGHAGHI  
al@amsassociates.us

### LANDSCAPE:

**OLIVE STREET**  
P.O. BOX 2083  
PETALUMA, CA 94952  
Phone: (707) 280-8990  
CONTACT: ROD SCACCALOSI  
Rod@olivestreetlandscape.com

## PROJECT SUMMARY

**OWNER/APPLICANT:** QUICK QUACK CAR WASH  
1380 LEAD HILLS BLVD., SUITE 260  
ROSEVILLE, CA 95661  
VANCE SHANNON  
VSHANNON@DONTDRIVEDIRTY.COM

**ARCHITECT:** LA DESIGN GROUP, INC.  
21671 GATEWAY CENTER DRIVE, SUITE 213  
DIAMOND BAR, CA 91765  
SAEID SHANTYAI  
SSHANTYAI@LADESIGNGROUP.NET

**PROPERTY ADDRESS:** 2059 NEVADA CITY HWY  
GRASS VALLEY, CA 95945-77111  
**APN:** 035-400-001-000  
**GENERAL PLAN:** C-2 (CENTRAL BUSINESS DISTRICT)  
**GROSS LAND AREA:** 0.667 AC +/- 37,897 SF  
**EXISTING LAND USE:** VACANT LOT  
**PROPOSED LAND USE:** COMMERCIAL - CAR WASH FACILITY

**PROPOSED CARWASH AREA:**  
SHOWROOM BLDG. 3,370 SF  
QUARTERBACK STATION 238 SF  
GROSS BUILDING AREA 3,608 SF  
MAXIMUM BUILDING HEIGHT 29'-0"  
CONSTRUCTION TYPE: VB  
OCCUPANCY: B  
SPRINKLERS: NO  
PARKING REQUIRED 5 STALLS  
PARKING PROVIDED 5 STALLS  
VACUUM STALLS 13 STALLS  
3 STALLS SHARED FOR REQUIRED PARKING SPACE  
BICYCLE SPACES REQUIRED 1  
BICYCLE SPACES PROVIDED 2  
**SITE COVERAGE SUMMARY:**  
BUILDING COVERAGE (FAR) 9.5%  
LANDSCAPE AREA 8,681 SF  
LANDSCAPE COVERAGE 23%

## SCOPE OF WORK

NEW CAR WASH FACILITY, INCLUDING BUT NOT LIMITED TO NEW CONCRETE WALKS, DRIVE AISLES, CURBS, LANDSCAPING, VACUUM STATIONS, UTILITIES AND ALL ASSOCIATED FIXTURES, FURNISHINGS AND EQUIPMENT.

## SHEET INDEX

SHEET LIST	DESCRIPTION
G 0.01	COVER SHEET
C 0.1	ALTA SURVEY SHEET 1
C 0.2	ALTA SURVEY SHEET 2
C 1.1	COVER SHEET
C 2.1	HORIZONTAL CONTROL PLAN
C 3.1	GRADING PLAN
C 4.1	UTILITY PLAN
C 5.1	STORM WATER CONTROL PLAN
AS 1.01	SITE PLAN
L 1	LANDSCAPE PLAN
L1	LANDSCAPE PLAN (RENDERED)
LP	PROPOSED LIGHTING AND PHOTOMETRICS
A 2.01	FLOOR PLAN
A 2.02	ROOF PLAN
A 3.01	SOUTH AND WEST ELEVATIONS
A 3.02	NORTH AND EAST ELEVATIONS
A 3.03	QUARTERBACK STATION ELEVATIONS
A 3.04	SOUTH AND WEST COLORED ELEVATIONS
A 3.05	NORTH AND EAST COLORED ELEVATIONS
A 3.06	QUARTERBACK STATION COLORED ELEVATIONS
A 3.07	PERSPECTIVES
AS 5.01	CANOPY NORTH
AS 5.02	CANOPY SOUTH
AS 5.03	SITE ELEMENTS
MB	FINISH AND MATERIAL BOARD
SP	SIGN PACKAGE



**LA Design Group, Inc.**  
21671 GATEWAY CENTER DRIVE, STE. 213  
DIAMOND BAR, CA 91765  
(T) 909.860.1010

Seal:



NOTE: This information is conceptual in nature and is subject to adjustments pending further verification and Client, Tenant, and Governmental Agency comments/approvals. No warranties or guarantees of any kind are given or implied by the Architect.

A Project for:



(STORE 26-128)  
2059 NEVADA CITY HWY  
GRASS VALLEY, CA 95945

Client:

**QUICK QUACK CAR WASH**  
1380 LEAD HILLS BLVD., STE. 260  
ROSEVILLE, CA 95661

Revisions:

UPDATED ENTITLEMENT	04/07/2022
PLANNING SUBMITTAL	12/09/2021
CLIENT REVISION	10/15/2021
CLIENT COORDINATION	10/01/2021
No. Description	Date
Project No.	210815.01
Drawn By:	TC
Reviewed By:	-
Scale:	AS NOTED
Date:	-
Filename:	-
Sheet Title:	-

COVER SHEET

ATTACHMENT 5

Sheet #:

G 0.01

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## PARKING SUMMARY

DESCRIPTION	STALLS
STANDARD PARKING	0
COMPACT PARKING	0
ACCESSIBLE PARKING	2
TOTAL	2

## REFERENCES

① PARCEL MAP	(4 PM 26)
② RECORD OF SURVEY	(5 RS 4)
③ RECORD OF SURVEY	(16 RS 125)

## TABLE A REQUIREMENTS NOTES

- 2 NO address observed while conducting the fieldwork.
- 3 The subject parcel DOES NOT lie within a Special Flood Hazard. Refer to Note # 06 for Flood zone classification.
- 4 The Gross Land area is 0.067 ± ACRES (37,782 ± Square Feet)
- 5 Vertical relief of the surveyed parcel shown hereon is based upon a ground survey. The contour interval shown hereon is 1 foot. Refer to Note # 7 for benchmark information and vertical datum.
- 6A zoning report WAS NOT provided to the surveyor. Information within the report is noted hereon. See Zoning Report Note on this sheet for details. (Refer to Note # 05)
- 8 Substantial features observed in the process of conducting the fieldwork are plotted hereon.
- 9 Number and type of clearly identifiable parking spaces on surface parking areas, lots and in parking structures are described within the "Parking Summary". Striping of clearly identifiable parking spaces on surface parking areas and lots are plotted hereon.
- 10A Evidence of underground utilities existing on or serving the surveyed property (in addition to the observed evidence of utilities required pursuant to Section 8.5.E.1.v.) as determined by:  
(a) plans and/or reports provided by client (with reference as to the sources of information)  
Note to the client, insurer, and lender - With regard to Table A, Item 11, information from the sources checked above will be combined with observed evidence of utilities pursuant to Section 8.5.E.1.v. to develop a view of the underground utilities. However, looking overviews, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 911 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
- 13 Names of adjoining owners according to current tax records are noted hereon.
- 14 The distance to the nearest intersecting street is shown hereon.
- 16 There was evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the fieldwork.  
(SITE IS CURRENTLY UNDER CONSTRUCTION)
- 17 There are no proposed changes in street right of way lines. There was no observed Evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.
- 18 Any plottable offsets (i.e., appurtenant) assessments or servitudes disclosed in documents provided to or obtained by the surveyor as a part of the survey pursuant to Sections 5 and 6 (and applicable selected Table A items) ARE shown hereon. (PLOTTED AS PARCEL TWO)
- 19 Professional Liability Insurance policy obtained by the surveyor in the minimum amount of \$2,000,000 to be in effect throughout the contract term. Certificate of Insurance to be furnished upon request.

## ABBREVIATIONS

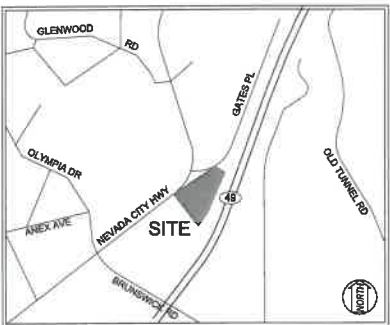
BL	BUILDING
CO	CLEAN OUT
DI	DROP INLET
EV	ELECTRIC VAULT
FC	FACE OF CURB
FNC	FENCE
FOB	FIBER OPTIC BOX
PED	PEDESTAL
TB	TELEPHONE BOX
TMH	TELEPHONE MANHOLE
WV	WATER VALVE

## LEGEND

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
CENTERLINE	---
EASEMENT	---
NON-ACCESS	---
FOUND MONUMENT AS NOTED	■
FOUND IRON PIPE OR AS NOTED	●
BOLLARD LIGHT	●
LIGHT	○
STREET LIGHT	○
TRAFFIC SIGNAL POLE	○
TRANSFORMER	□
FIRE HYDRANT	△
STORM DRAIN MANHOLE	⊙
SANITARY SEWER MANHOLE	⊙
CLEAN OUT	○
FIRE DEPARTMENT CONNECTION	△
BACK FLOW PREVENTER	+
POST INDICATOR VALVE	+
UTILITY BOX (SIZE VARIES)	□
SIGN	+
FLAG POLE	+
TITLE REPORT EXCEPTION NUMBER	①
RECORD INFORMATION W/ REFERENCE	(100.00%)
GAS METER	⊙
UTILITY POLE W/ GUY WIRE	+
VALVE	+
CATCH BASIN / DROP INLET	+
WATER METER	⊙
SPOT ELEVATION	x 32.1
CONTOUR	15
INDEX CONTOUR	15
CURB	---
CURB & GUTTER	---
CONCRETE	---
FENCE	---
RETAINING WALL	---
EDGE OF PAVEMENT	---
SANITARY SEWER	SS
STORM DRAIN	SD
WATER	W
GAS	G
ACCESSIBLE PARKING STALLS	Ⓜ Ⓜ

## EXCEPTIONS TABLE

1. Property taxes, including any personal property taxes and any assessments collected with taxes are as follows:  
Code Area: 001-058  
Tax Identification No.: 038-400-001  
Fiscal Year: 2020-2021  
1st Installment: \$2,384.80  
2nd Installment: \$2,384.80  
Exemption: \$0  
Land: \$438,400.00  
Improvements: \$15,300.00  
Personal Property: \$0  
(NOT A SURVEY MATTER)
2. Prior to close of escrow, please contact the Tax Collector's Office to confirm all amounts owing, including current fiscal year taxes, supplemental taxes, escaped assessments and any delinquencies. (NOT A SURVEY MATTER)
3. The lien of supplemental or escaped assessments of property taxes, if any, made pursuant to the provisions of Chapter 3.5 (commencing with Section 75) or Part 2, Chapter 3, Articles 3 and 4, respectively, of the Revenue and Taxation Code of the State of California as a result of the transfer of title to the vessel named in Schedule A or as a result of changes in ownership or new construction occurring prior to Date of Policy.  
(NOT A SURVEY MATTER)
4. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:  
Granted to: Pacific Telephone and Telegraph Company  
Purpose: Electrical and communication facilities  
Recording Date: December 20, 1937  
Recording No.: Book 240, Page 430, of Official Records  
Affects: A portion of said land  
(EASEMENT PLOTTED HEREON)
5. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:  
Granted to: The Pacific Telephone and Telegraph Company  
Purpose: Electrical and communication facilities  
Recording Date: June 16, 1964  
Recording No.: Book 359, Page 592, of Official Records  
Affects: Easement 10 feet of said land  
(EASEMENT PLOTTED HEREON)
6. The ownership of said Land does not include rights of access to or from the street, highway, or freeway abutting said Land, such rights having been relinquished by the document.  
Recording Date: August 18, 1965  
Recording No.: Book 385, Page 185, of Official Records  
(AREAS OF NON-ACCESS PLOTTED HEREON)
7. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:  
Granted to: Pacific Gas and Electric Company  
Purpose: Electrical facilities  
Recording Date: March 29, 1965  
Recording No.: Book 398, Page 277, of Official Records  
Affects: Southwesterly 5 feet of said land  
Re-recorded: April 16, 1966, Book 399, Page 160, of Official Records  
(EASEMENT PLOTTED HEREON)
8. The ownership of said Land does not include rights of access to or from the street, highway, or freeway abutting said Land, such rights having been relinquished by the document.  
Recording Date: April 23, 1966  
Recording No.: Book 400, Page 188, of Official Records  
(AREAS OF NON-ACCESS PLOTTED HEREON)
9. The effect of the Record of Survey Map, filed April 13, 1973, in Book 5 of Surveys, at Page 4.  
(AS SHOWN HEREON)
10. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:  
Granted to: Nevada Irrigation District  
Purpose: Waterline  
Recording Date: October 3, 1986  
Recording No.: 19 86-25010, of Official Records  
Affects: A portion of said land  
Re-recorded: October 28, 1986, Instrument No. 1865-27796, of Official Records  
(EASEMENT PLOTTED HEREON)
11. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:  
Granted to: Pacific Bell Telephone Company, a California corporation  
Purpose: Communication facilities and ingress and egress  
Recording Date: December 18, 2000  
Recording No.: 2000-37933, of Official Records  
Affects: A Northwesterly portion of premises  
(EASEMENT PLOTTED HEREON)
12. Matters contained in that certain document:  
Entitled: Reciprocal Easement Agreement  
May 18, 2013  
Dated: Donald A. Stoenasser and B. Marie Stoenasser, Trustees of the Stoenasser 1965 Revocable Trust w/ta dated January 18, 1966 and DG-Grass Valley, CA-HJT, LLC  
Exceeded by:  
Recording Date: October 31, 2013  
Recording No.: 2013-29497, of Official Records  
Reference is hereby made to said document for full particulars.  
(EASEMENTS NOTED HEREON) (BLANKET IN NATURE)
13. A deed of trust to secure an indebtedness in the amount shown below.  
Amount: \$540,000.00  
Dated: December 23, 2015  
Trustor/Grantor: John E. Hagala, a married person as his sole and separate property  
Trustee: Placer Title Company  
Standstill: 7th Counties Bank  
Loan No.: 6220010060  
Recording Date: December 30, 2015  
Recording No.: 2015-29972, of Official Records  
(NOT A SURVEY MATTER)
14. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance from the entity named below:  
Limited Liability Company: J & M Stern Properties LLC, a California Limited Liability Company  
a) A copy of its operating agreement, if any, and all amendments, supplements and/or modifications thereto, certified by the appropriate manager or member.  
b) If a domestic Limited Liability Company, a copy of its Articles of Organization and all amendments thereto with the appropriate filing stamps.  
c) If the Limited Liability Company is member-managed, a full and complete current list of members certified by the appropriate manager or member.  
d) A current dated certificate of good standing from the proper governmental authority of the state in which the entity is currently constituted.  
e) If less than all members, or managers, as appropriate, will be executing the closing documents, furnish evidence of the authority of those signing.  
f) If Limited Liability Company is a Single Member Entity, a Statement of Information for the Single Member will be required.  
g) Each member and manager of the LLC without an Operating Agreement must execute in the presence of a notary public the Certificate of California LLC (Without an Operating Agreement) Status and Authority form.  
(NOT A SURVEY MATTER)
15. Water rights, claims or title to water, whether or not disclosed by the public records.  
(NOT A SURVEY MATTER)
16. Any rights of the parties in possession of a portion of, or all of, said Land, which rights are not disclosed by the public records.  
  
The Company will require, for review, a full and complete copy of any unrecorded agreement, contract, license and/or lease, together with all supplements, assignments and amendments thereto, before issuing any policy of title insurance without excepting this item from coverage.  
  
The Company reserves the right to accept additional items and/or make additional requirements after reviewing said documents.  
(NOT A SURVEY MATTER)
17. The transaction contemplated in connection with this Report is subject to the review and approval of the Company's Corporate Underwriting Department. The Company reserves the right to add additional items or make further requirements after such review.  
(NOT A SURVEY MATTER)



## NOTES

1. All distances shown hereon are in U.S. Survey feet and decimals thereof.
2. This survey was prepared from information furnished in a Preliminary Title Report, prepared by Fidelity National Title Company dated December 22, 2020, Order No. 01004738-010-PA-RD, Amended Preliminary Report B. No liability is assumed for matters of record not noted in said Preliminary Title Report that may affect the boundary lines, exceptions, or easements affecting the property.
3. The types, locations, size and/or depths of existing underground utilities as shown on this topographic survey were obtained from sources of varying reliability. The contractor is cautioned that only actual excavation will reveal the types, extent, sizes, locations and depths of such underground utilities. (A reasonable effort has been made to locate and delineate all unknown underground utilities.) However, the surveyor can assume no responsibility for the completeness or accuracy of its delineation of such underground utilities which may be encountered, but which are not shown on these drawings.
4. A.P.N.: 035-400-001
5. Zoning Note:  
This survey makes no evaluation as to compliance with zoning and building codes and/or ordinances other than current municipal building setback line locations.  
The subject property is currently zoned "C-2" (Central Business District)  
The current building setbacks for this zoning designation are on file with the City of Grass Valley Planning Department.  
Information was obtained from the City of Grass Valley Planning Department on April 30, 2021.  
6. State of Bearings:  
The bearing of North 51°40'52" East taken on the southeasterly right-of-way of Nevada City Highway as shown on that certain Record of Survey filed for record on July 31, 2013 in Book 15 of Record of Surveys at Page 129, Nevada County Records was taken as the State of all Bearings shown hereon.  
7. Benchmark:  
NGS Monument "SPRING HILL":  
Found Brass Disk located on the east end of the northerly sidewalk located on the Dorsey Drive Overcrossing of State Highway 49.  
Elevations: 2700.9 feet (GPS Observed) (Datum) NAVD 1988  
8. Flood Zone Note:  
The subject property is shown on the Federal Emergency Management Agency Flood Insurance Rate Map, Community Panel Number 060211 0631 E, dated February 03, 2010, as being located in Flood Zone "X".  
Areas of determined to be outside the 0.2% annual chance flood.  
Information was obtained from the FEMA website (www.fema.gov) on April 29, 2021.

## LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF GRASS VALLEY, IN THE COUNTY OF NEVADA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

## PARCEL ONE:

ALL THAT PORTION OF THE NORTHWEST ONE-QUARTER OF SECTION 24, TOWNSHIP 18 NORTH, RANGE 8 EAST, M. D. B. & M., ACCORDING TO THE OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT FROM WHICH THE WEST ONE-QUARTER SECTION CORNER OF SAID SECTION 24 BEARS SOUTH 18° 04' 31" WEST 1185.15 FEET; THENCE FROM SAID POINT OF BEGINNING, NORTH 08° 07' 08" EAST 293.84 FEET ALONG THE EASTERLY LINE OF LOWER GRASS VALLEY ROAD TO A BOUNDARY LINE OF THAT PARCEL OF LAND CONDEMNED FOR STATE FREEWAY PURPOSES AS DESCRIBED IN THE FINAL ORDER OF CONDEMNATION DATED AUGUST 16, 1966. A CERTIFIED COPY OF WHICH WAS RECORDED AUGUST 18, 1965, IN BOOK 385 OF OFFICIAL RECORDS, AT PAGE 165; THENCE ALONG SAID LAST MENTIONED LINE, SOUTH 37° 09' 17" EAST 11.48 FEET AND ALONG A CURVE TO THE LEFT WITH RADIUS OF 550 FEET, THROUGH AN ANGLE OF 11° 39' 57" FOR A DISTANCE OF 107.81 FEET, THE LONG CHORD OF WHICH BEARS NORTH 47° 00' 49" EAST 107.73 FEET; THENCE NORTH 59° 09' 06" EAST 28.19 FEET ALONG THE EASTERLY LINE OF LOWER GRASS VALLEY ROAD TO A WESTERLY LINE OF THE ABOVE DESCRIBED STATE FREEWAY; THENCE ALONG SAID WESTERLY LINE, SOUTH 24° 05' 22" WEST 370.58 FEET TO A POINT IN THE NORTHERLY LINE OF THE VAN GAS PROPERTY; THENCE NORTH 87° 09' 24" WEST 293.23 FEET ALONG THE NORTHERLY LINE OF THE VAN GAS PROPERTY TO THE POINT OF BEGINNING, AS SURVEYED BY J. F. SIEGRID, L.S. 2202.

EXCEPTING THEREFROM ALL THAT PORTION THEREOF 100 FEET BELOW THE SURFACE AS CONVEYED BY DEED DATED JANUARY 3, 1940, RECORDED JANUARY 11, 1940, IN BOOK 66 OF OFFICIAL RECORDS, AT PAGE 22, EXECUTED BY GEORGE A. LEGG, ET UX. TO D.E. McLAUGHLIN.

## PARCEL TWO:

ACCESS EASEMENTS AS SET FORTH IN DOCUMENT ENTITLED "RECIPROCAL EASEMENT AGREEMENT" RECORDED OCTOBER 31, 2013 AS INSTRUMENT NO. 2013-29497, OFFICIAL RECORDS OF NEVADA COUNTY.

## SURVEYOR'S CERTIFICATE

TO: Quick Quack Development, LLC, a Delaware limited liability company, and their respective successor and/or assigns  
AND: Fidelity National Title Company, as Title Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA and NSPS, and includes items 2, 3, 4, 5, 6(a), 8, 9, 11(a), 13, 14, 16, 17, 18 and 19 of Table A thereof. The fieldwork was completed on April 27, 2021.

03 MAY 2021  
DATE

SHANE R. BARBER L.S. 6097  
sbarber@barbersurveying.com



ALTA / NSPS LAND TITLE SURVEY  
FOR: QUICK QUACK CAR WASH

2059 NEVADA CITY HIGHWAY  
NEVADA COUNTY

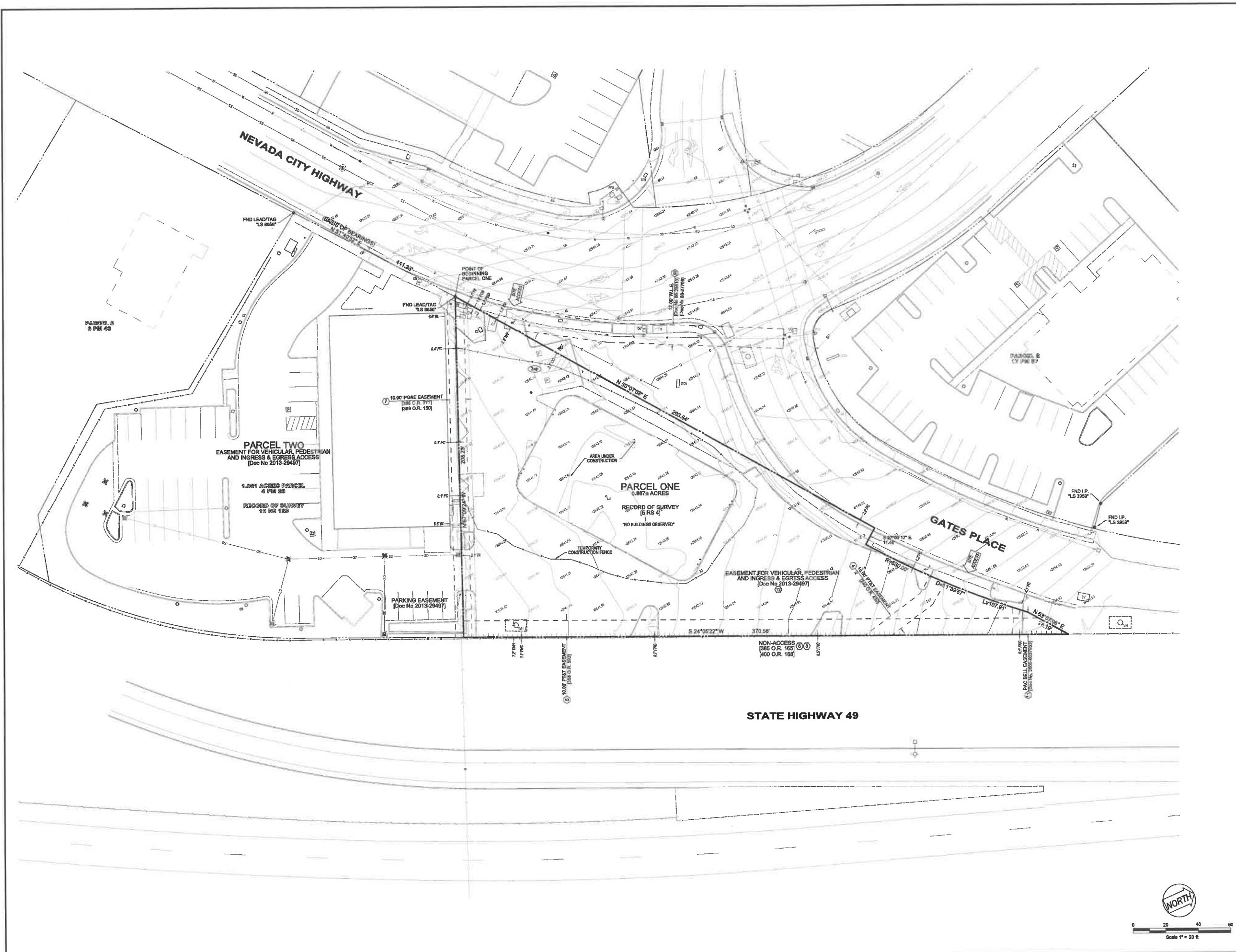
GRASS VALLEY

SHEET 1  
OF 2

PROJECT  
21-2551

ams  
801 YONAGO VALLEY ROAD  
SUITE 220  
WALNUT CREEK, CA 94596  
925-943-2777 FAX 925-943-2778  
ASSOCIATES, INC. PLANNING ENGINEERING SURVEYING  
CALIFORNIA NEVADA COUNTY

DATE:	REV #	BY	DATE	DESCRIPTION
SCALE: 1" = 20'	1			
DESIGNED: SB	1			
DRAWN: SB	1			
CHECKED: SB	1			
PRJ. MGR: AS	1			
FILE PATH:				



2  
OF 2

PROJECT  
21-2551

GRASS VALLEY

ALTA / NSPS LAND TITLE SURVEY  
FOR QUICK QUACK CAR WASH  
2059 NEVADA CITY HIGHWAY  
NEVADA COUNTY

ams  
associates, inc. PLANNING ENGINEERING SURVEYING

801 YONACIO VALLEY ROAD  
SUITE 220  
WALNUT CREEK, CA 94596  
925-943-2777 FAX 925-943-2775

CALIFORNIA

DATE:	MAY 2021	REV #	BY	DATE	DESCRIPTION
SCALE:	1" = 20'				
DESIGNED:	SB				
DRAWN:	SB				
CHECKED:	SB				
PROJ. MGR:	AS				
FILE PATH:					

GENERAL ABBREVIATIONS / LEGEND

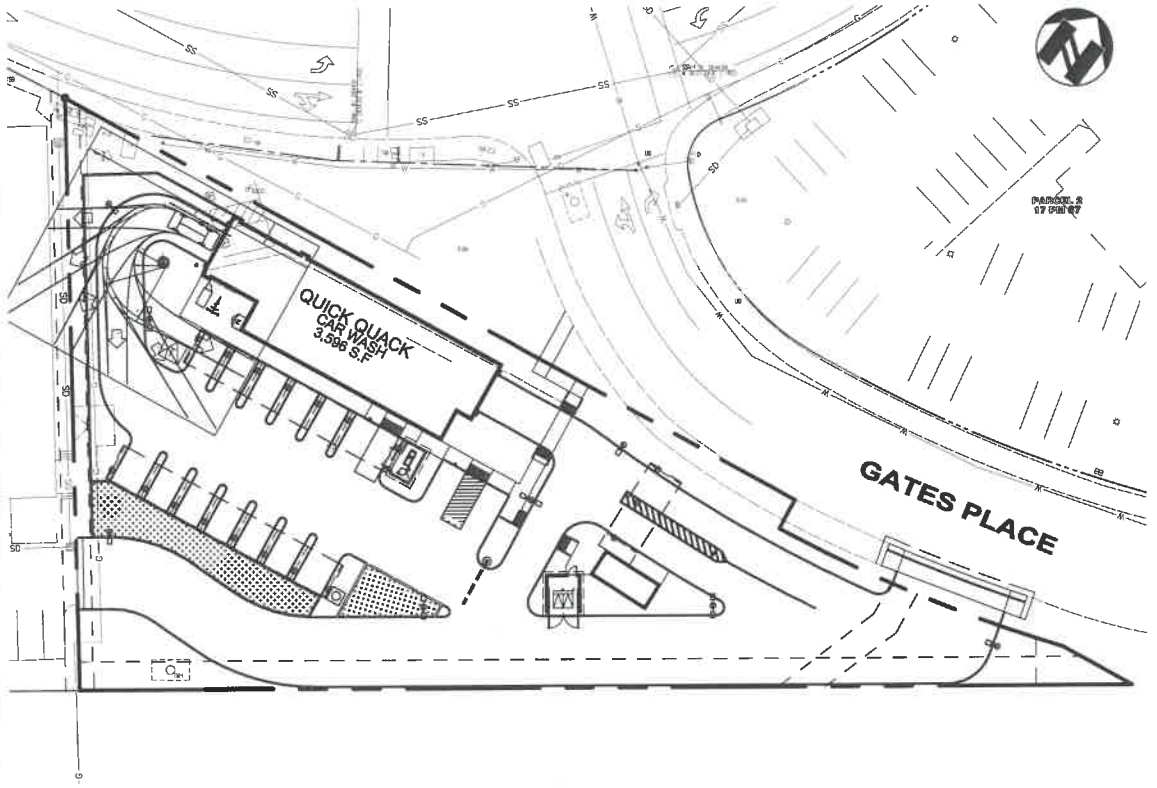
BFP	BACKFLOW PREVENTER	MW	MONITORING WELL
CB	CATCH BASIN	OP	POWER POLE
CL	CENTERLINE	IP	IRON PIPE
DCV	DETECTOR CHECK VALVE	RS	RAILROAD SPIKE
DE	DIRT ELEVATION	SC	STANDARD CITY MONUMENT
DWY	DRIVEWAY	SM	SURVEY MONUMENT
E	ELECTRICAL LINE	SDM	STORM DRAIN MANHOLE
EB	ELECTRIC BOX	SS	STREET SIGN
EP	EDGE OF PAVEMENT	SL	STREET LIGHT
EX	EXISTING	WV	WATER VALVE
FDC	FIRE DEPARTMENT CONNECTION	12"	TREE WITH SIZE
FF	FINISHED FLOOR	TR	TREE REMOVAL
FL	FLOWLINE	TR	TRANSFORMER
FS	FINISHED SURFACE/FIRE SERVICES	X	BARBED WIRE FENCE
G	GAS PIPE	OL	CHAIN-LINKED FENCE
GB	GRADE BREAK	OW	WOOD FENCE
GM	GAS METER	SL	SAWCUT LINE
GP	GUARD POST	W	WALL
GR	GRATE		
HCR	HANDICAP RAMP		
INV	INVERT		
JP	JOINT POLE		
JT	JOINT TRENCH		
LF	LINEAR FEET		
MW	MONITORING WELL		
OHE	OVERHEAD ELECTRIC		
OHT	OVERHEAD TELEPHONE		
PAE	PUBLIC ACCESS EASEMENT		
PB	PULL BOX		
PCC	PORTLAND CEMENT CONCRETE		
PG&E	PACIFIC GAS & ELECTRIC		
PIV	POST INDICATOR VALVE		
PUE	PUBLIC UTILITY EASEMENT		
PVC	POLYVINYL CHLORIDE PIPE		
R	RIDGE LINE		
RCP	REINFORCED CONCRETE PIPE		
RPP	REDUCED PRESSURE PRINCIPLE BACKFLOW		
SD	STORM DRAIN PIPE		
SDCB	STORM DRAIN CATCH BASIN		
SDCO	STORM DRAIN CLEANOUT		
SDMH	STORM DRAIN MANHOLE		
SS	SANITARY SEWER PIPE		
SSCO	SANITARY SEWER CLEANOUT		
SSMH	SANITARY SEWER MANHOLE		
SW	SIDEWALK		
T	TELEPHONE LINE		
TC	TOP OF CURB		
TH	TOP OF CONCRETE HEADER		
TORW	TOP OF RETAINING WALL		
TP	TELEPHONE POLE		
TS	TRAFFIC SIGNAL		
TSD	TRAFFIC SIGNAL BOX		
VS	VALLEY GUTTER		
W	WATER PIPE		
WM	WATER METER		

6"W	EXISTING WATER LINE	PROPOSED GAS VALVE
2"G	EXISTING GAS LINE	OVERLAND RELEASE
8"SS	EXISTING SANITARY SEWER LINE	CONTROLLER CABINET
SD	EXISTING STORM DRAIN LINE	FIRE HYDRANT
EL	EXISTING ELECTRICAL LINE	GUY POLE
TEL	EXISTING TELEPHONE LINE	HANDICAP SPACE
6"FS	PROPOSED FIRE SERVICE	PROPOSED STORM DRAIN CATCH BASIN
W	PROPOSED WATER LINE	PROPOSED WATER METER / GAS METER
2"G	PROPOSED GAS LINE	PROPOSED SANITARY SEWER CLEANOUT
S	PROPOSED SANITARY SEWER LINE	PROPOSED STORM DRAIN CLEANOUT
SD	PROPOSED STORM DRAIN LINE	PROPOSED FIRE HYDRANT
E	PROPOSED ELECTRICAL LINE	PROPOSED SANITARY SEWER MANHOLE/STORM DRAIN MANHOLE
TEL	PROPOSED TELEPHONE LINE	
JUT	PROPOSED JOINT UTILITY TRENCH	
R	RIDGE LINE	
X	PROPOSED FENCE	
	PROPERTY LINE	
	MATCH LINE	
	LIMIT OF DEMOLITION	
GB	GRADE BREAK	
307	PROPOSED CONTOUR	

QUICK QUACK CAR WASH #26-128

2059 NEVADA CITY HIGHWAY  
GRASS VALLEY  
NEVADA COUNTY  
APN 035-400-001

SITE KEY MAP 1"=30'



PROJECT CONTACTS

**DEVELOPER**  
QUICK QUACK CAR WASH  
1380 LEAD HILL BLVD SUITE 260  
ROSEVILLE, CALIFORNIA 95661  
PHONE: (916) 472-8689  
CAMERON DRENNAN

**CIVIL ENGINEER**  
ams associates, inc.  
801 YGNACIO VALLEY ROAD, SUITE 220  
WALNUT CREEK, CALIFORNIA 94596  
PHONE: (925) 943-2777  
FAX: (925) 943-2778  
EMAIL: AL@AMSASSOCIATES.US  
BOB BURDUE / AL SHAGHACHI

**ARCHITECT**  
LA DESIGN GROUP, INC.  
21671 GATEWAY CENTER DR. SUIT 213  
DIAMOND BAR, CA 91765  
PHONE: (909) 860-1010  
EMAIL: SHANTYI@LADESIGNGROUP.NET  
SAIED SHANTYI

**LANDSCAPE ARCHITECT**  
OLIVE STREET LANDSCAPE  
BOX 2083  
PETALUMA, CA 94952  
PHONE: (707) 280-8990  
ROD@OLIVESTREETLANDSCAPE.COM  
ROD SCACALOSI

**STRUCTURAL ENGINEER**  
MARTIN CONSULTING GROUP, INC.  
2204 PLAZA DRIVE, SUITE 130  
ROCKLIN, CA 95765  
PHONE: (916) 256-4616  
EMAIL: JONM@MARTINCONSULTINGGROUP.BIZ

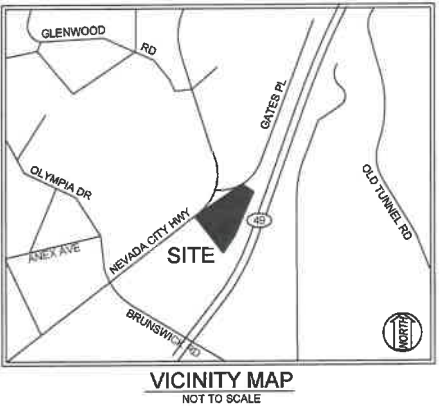
**THE CITY OF GRASS VALLEY**  
125 EAST MAIN ST.  
GRASS VALLEY, CA 95945  
PHONE: (530) 274-4350

**FIRE DEPARTMENT**  
GRASS VALLEY FIRE DEPARTMENT  
125 E MAIN ST.  
GRASS VALLEY, CA 95945  
PHONE: (530) 274-4370

**WATER/SEWER**  
NEVADA IRRIGATION DISTRICT  
1038 W MAIN ST.  
GRASS VALLEY, CA 95945  
PHONE: (530) 273-8185

**GRASS VALLEY PUBLIC WORK DEPARTMENT**  
125 E MAIN ST.  
GRASS VALLEY, CA 95945  
PHONE: (530) 274-4350

**ELECTRIC**  
PG&E  
1050 HIGH ST.  
AUBURN, CA 95603  
EMAIL: D5BP@PG.COM  
DAVE BOND



SHEET INDEX

- CIVIL**
- C-1.1 COVER SHEET
  - C-3.1 HORIZONTAL CONTROL PLAN
  - C-4.1 GRADING PLAN
  - C-5.1 UTILITY PLAN
  - C-6.1 STORM WATER CONTROL PLAN

PROJECT DATA

**BASIS OF BEARINGS:**  
THE BEARING OF NORTH 51°40'52" EAST TAKEN ON THE SOUTHEASTERLY RIGHT-OF-WAY OF NEVADA CITY HIGHWAY AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD ON JULY 31, 2013 IN BOOK 15 OF RECORD OF SURVEYS AT PAGE 123, NEVADA COUNTY RECORDS WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.

**BENCHMARK:**  
NGS MONUMENT "SPRING HILL":  
FOUND BRASS DISK LOCATED ON THE EAST END OF THE NORTHERLY SIDEWALK LOCATED ON THE DORSEY DRIVE OVERCROSSING OF STATE HIGHWAY 49.  
ELEVATION: 2700.9 FEET (GPS OBSERVED) (DATUM) NAVD 1988

**FLOOD ZONE NOTE:**  
THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 060211 0631 E, DATED FEBRUARY 03, 2010, AS BEING LOCATED IN FLOOD ZONE "X".  
AREAS OF DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD.

INFORMATION WAS OBTAINED FROM THE FEMA WEBSITE (WWW.FEMA.GOV) ON APRIL 29, 2021.

**UTILITY NOTE:**  
THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL UNKNOWN UNDERGROUND UTILITIES). THE CONTRACTOR SHALL ASCERTAIN THE TRUE LOCATION OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

COVER SHEET  
QUICK QUACK CAR WASH #26-128

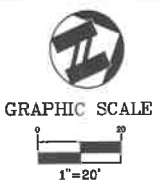
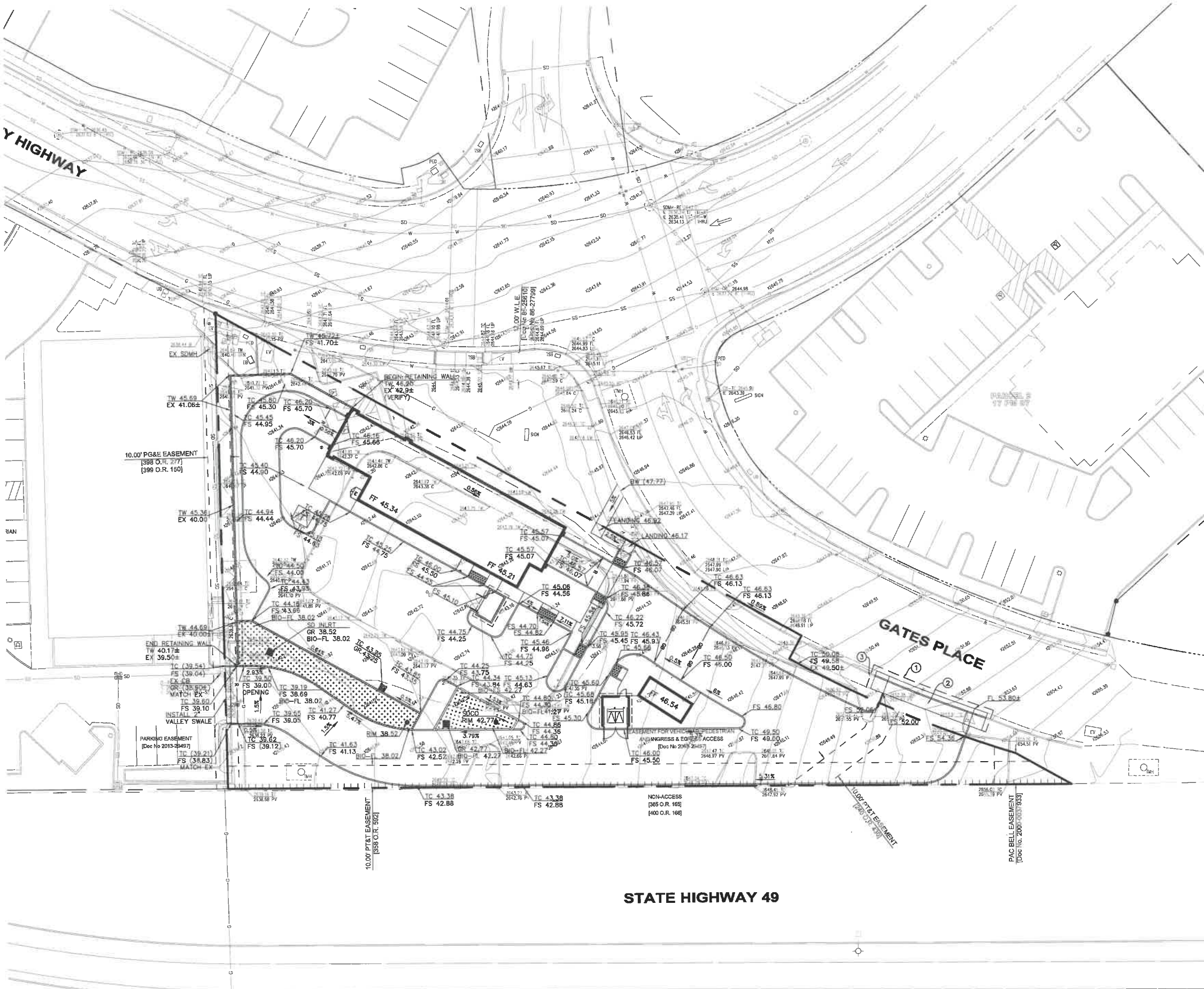
SHEET  
C-1.1  
OF  
PROJECT  
21-2551

ams  
801 YGNACIO VALLEY ROAD  
SUITE 220  
WALNUT CREEK, CA 94596  
925-943-2777 FAX 925-943-2778  
associates, inc. PLANNING ENGINEERING SURVEYING

CALIFORNIA  
NEVADA COUNTY  
GRASS VALLEY

DATE:	01-31-21	REV #	BY	DATE	DESCRIPTION
SCALE:					
DESIGNED:					
DRAWN:					
CHECKED:					
PROJ. MGR:					
FILE PATH:					





LEGEND:



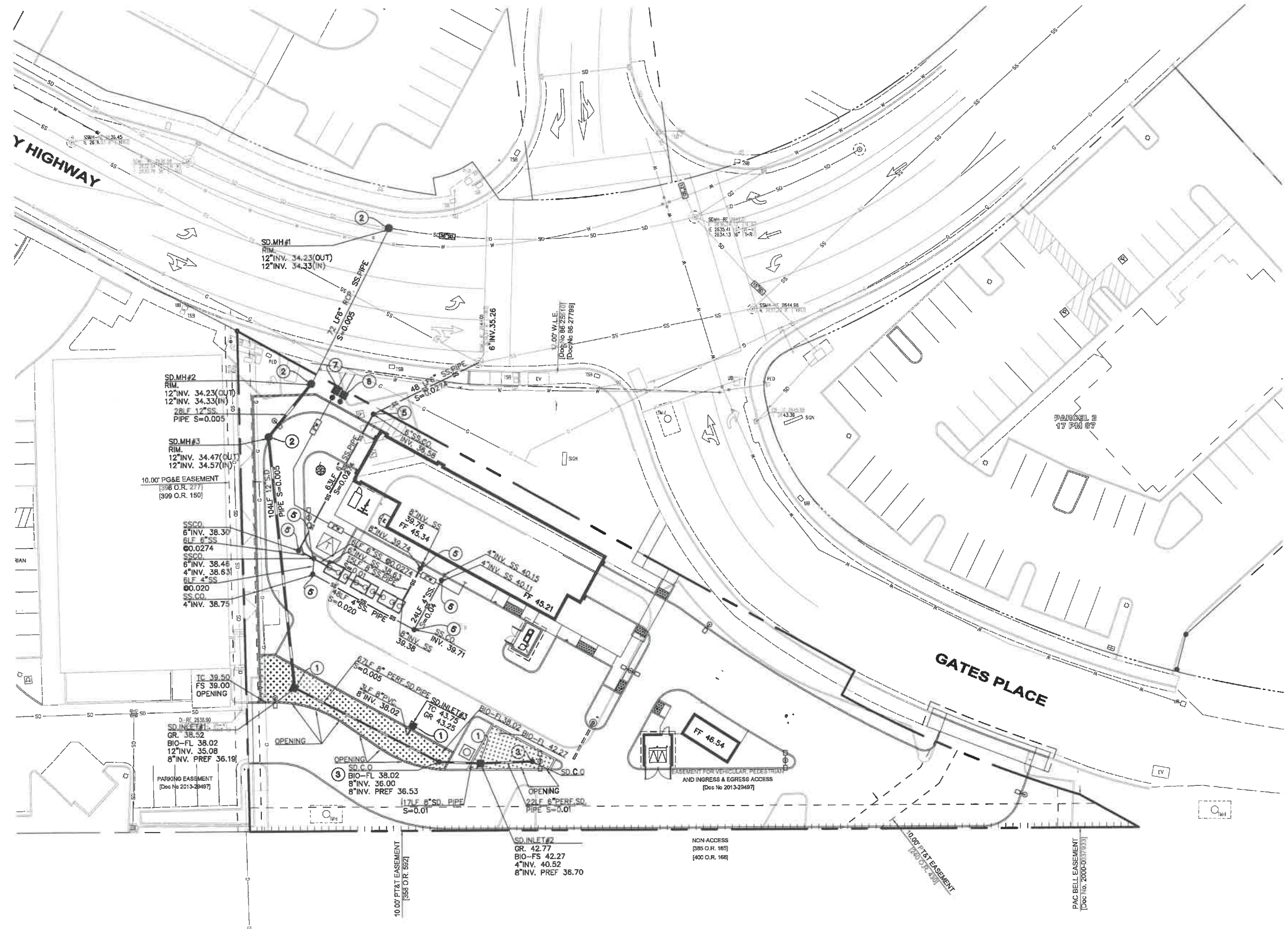
NOTES

- 1 SAWCUT (2' FROM LIP OF GUTTER), REMOVE AND REPLACE THE EXISTING PAVEMENT WITH FULL DEPTH A.C. MATCH THE EXISTING
- 2 CONSTRUCT NEW COMMERCIAL DRIVEWAY PER CITY STD. AND SPEC.
- 3 REMOVE AND REPLACE THE EXISTING SIDEWALK FROM NEAREST JOINT. MATCH THE EXISTING

SHEET		PROJECT		DATE:		01-31-22		REV #		BY		DATE		DESCRIPTION	
C-3:1		OF		SCALE:		1"=20'		△							
				DESIGNED:		ams		△							
				DRAWN:				△							
				CHECKED:				△							
				PROJ. MGR:											
				FILE PATH:											
				ams				801 YGNACIO VALLEY ROAD SUITE 220 WALNUT CREEK, CA 94596 925-943-2777 FAX 925-943-2778							
GRADING PLAN				QUICK QUACK CAR WASH #26-128				associates, inc. PLANNING ENGINEERING SURVEYING							
2059 NEVADA CITY HWY				CALIFORNIA											
GRASS VALLEY NEVADA COUNTY															
21-2551															



GRAPHIC SCALE  
1"=20'



LEGEND:



UTILITY NOTES:

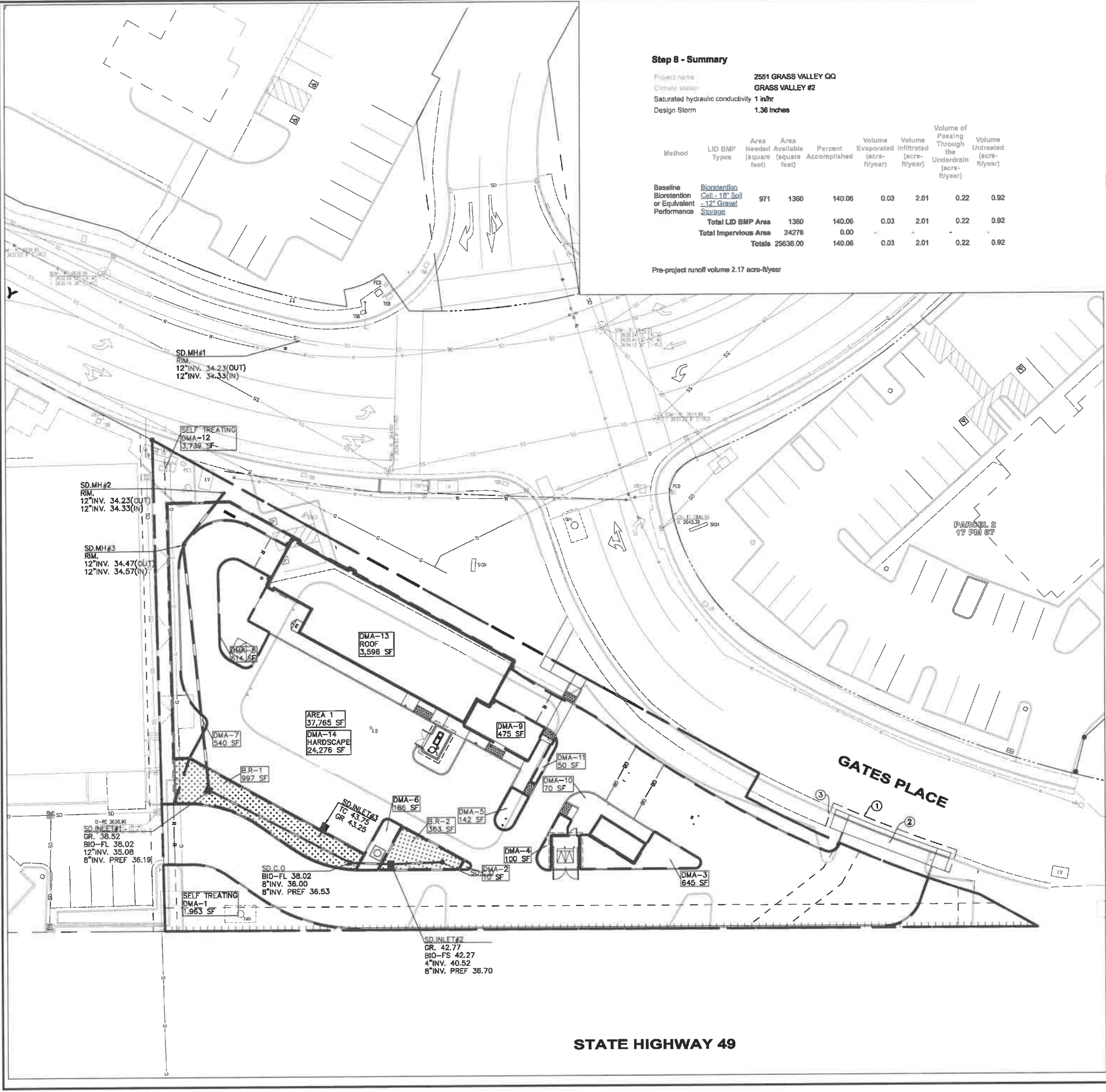
1. INSTALL STORM DRAIN INLET. CHRISTY U-23
2. INSTALL STORM DRAIN MANHOLE PER-CITY'S STD&SPEC.
3. INSTALL STORM DRAIN CLEAN-OUTS.
4. INSTALL AREA DRAIN.
5. INSTALL SAN SEWER CLEAN-OUTS.
6. INSTALL CLARIFIER.
7. INSTALL 2" WATER METER W/DFF.
8. INSTALL 1" IRRIGATION WATER METER W/BFP.

SHEET		PROJECT		DESCRIPTION	
C-41 OF	21-2551	UTILITY PLAN		DATE:	01-31-22
		QUICK QUACK CAR WASH #26-128		SCALE:	1"=20'
		2059 NEVADA CITY HWY		DESIGNED:	ams
		GRASS VALLEY NEVADA COUNTY CALIFORNIA		DRAWN:	ams
				CHECKED:	ams
				PROJ. MGR:	ams
				FILE PATH:	

ams

801 YGNACIO VALLEY ROAD  
SUITE 220  
WALNUT CREEK, CA 94596  
925-843-2777 FAX 925-843-2778

associates, inc. PLANNING ENGINEERING SURVEYING



Step 8 - Summary

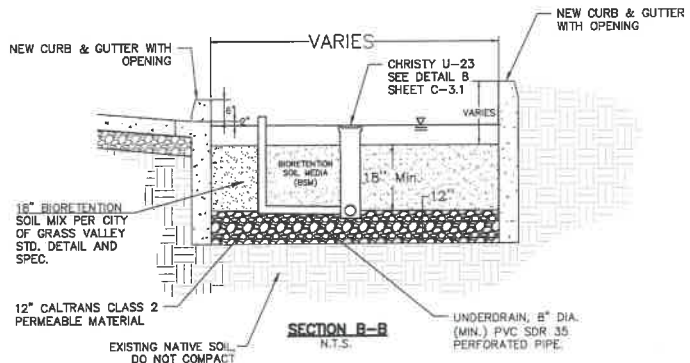
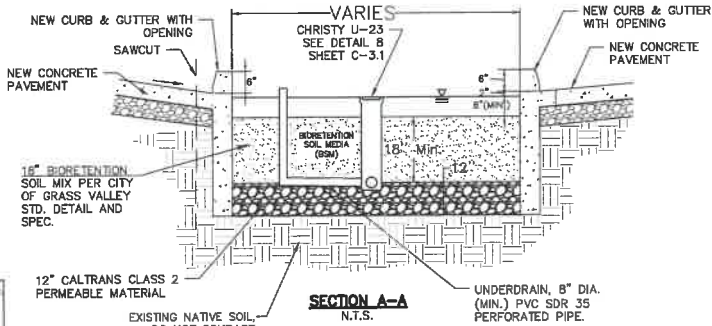
Project name 2551 GRASS VALLEY QO  
Climate station GRASS VALLEY #2  
Saturated hydraulic conductivity 1 in/hr  
Design Storm 1.36 inches

Method	LID BMP Types	Area Needed (square feet)	Area Available (square feet)	Percent Accomplished	Volume Evaporated (acre-ft/year)	Volume Infiltrated (acre-ft/year)	Volume of Passing Through the Underdrain (acre-ft/year)	Volume Unreated (acre-ft/year)
Baseline	Bioretention	971	1360	140.06	0.03	2.01	0.22	0.92
Bioretention or Equivalent Performance	Cell - 18" Soil - 12" Gravel Storage	1360	1360	140.06	0.03	2.01	0.22	0.92
	Total LID BMP Area	24276		0.00				
	Total Impervious Area	25636.00		140.06	0.03	2.01	0.22	0.92

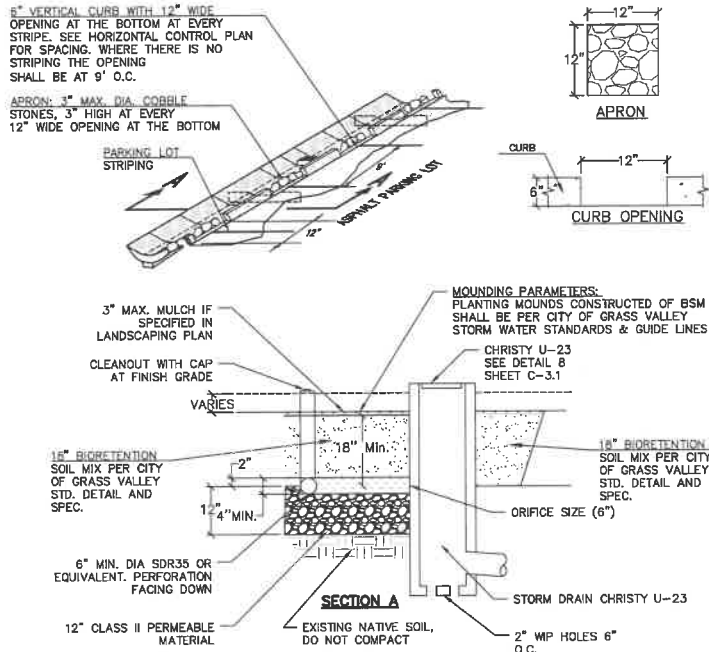
Pre-project runoff volume 2.17 acre-ft/year



GRAPHIC SCALE  
1"=20'



- CONSTRUCTION NOTES
1. SCARIFY SUBGRADE BEFORE INSTALLING BIORETENTION AREA AGGREGATE AND BSM.
  2. FACILITY EXCAVATION TO ALLOW FOR SPECIFIED SOIL DEPTH TO ACHIEVE FINISHED ELEVATIONS ON CIVIL PLANS.
  3. INSTALL UNDERDRAIN WITH HOLES FACING DOWN. UNDERDRAIN DISCHARGE ELEVATION SHALL BE NEAR TOP OF AGGREGATE LAYER. UNDERDRAIN SLOPE MAY BE FLAT.
  4. EACH 6" LIFT OF BSM SHALL BE LIGHTLY WATERED. THIS SHALL BE ALLOWED TO DRY OVERNIGHT BEFORE PLANTING.
  5. DO NOT WORK WITHIN BIORETENTION AREA DURING RAIN OR UNDER WET CONDITIONS.
  6. KEEP HEAVY MACHINERY OUTSIDE BIORETENTION AREA LIMITS.



1. NO LINER, NO FILTER FABRIC, NO LANDSCAPE CLOTH BETWEEN BSM AND AGGREGATE.  
2. MAINTAIN THE ELEVATIONS AS SHOWN ON THROUGHOUT BIO-RETENTIONS AREA AS SPECIFIED IN PLAN.  
3. CLASS 2 PERMEABLE MATERIAL LAYER MAY EXTEND BELOW AND UNDERNEATH INLET.

A BIO-RETENTION FACILITY  
NOT TO SCALE

DESCRIPTION

DATE

BY

REV #

01-31-22

SCALE: 1"=20'

DESIGNED: oms

DRAWN:

CHECKED:

PROJ. MGR:

FILE PATH:

801 YONACIO VALLEY ROAD  
SUITE 200  
WALNUT CREEK, CA 94596  
925-943-2777 FAX 925-943-2778

**ams**  
associates, inc.

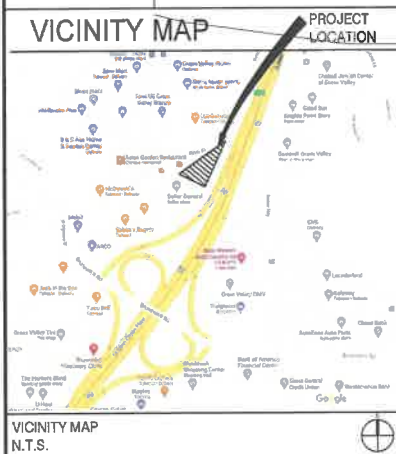
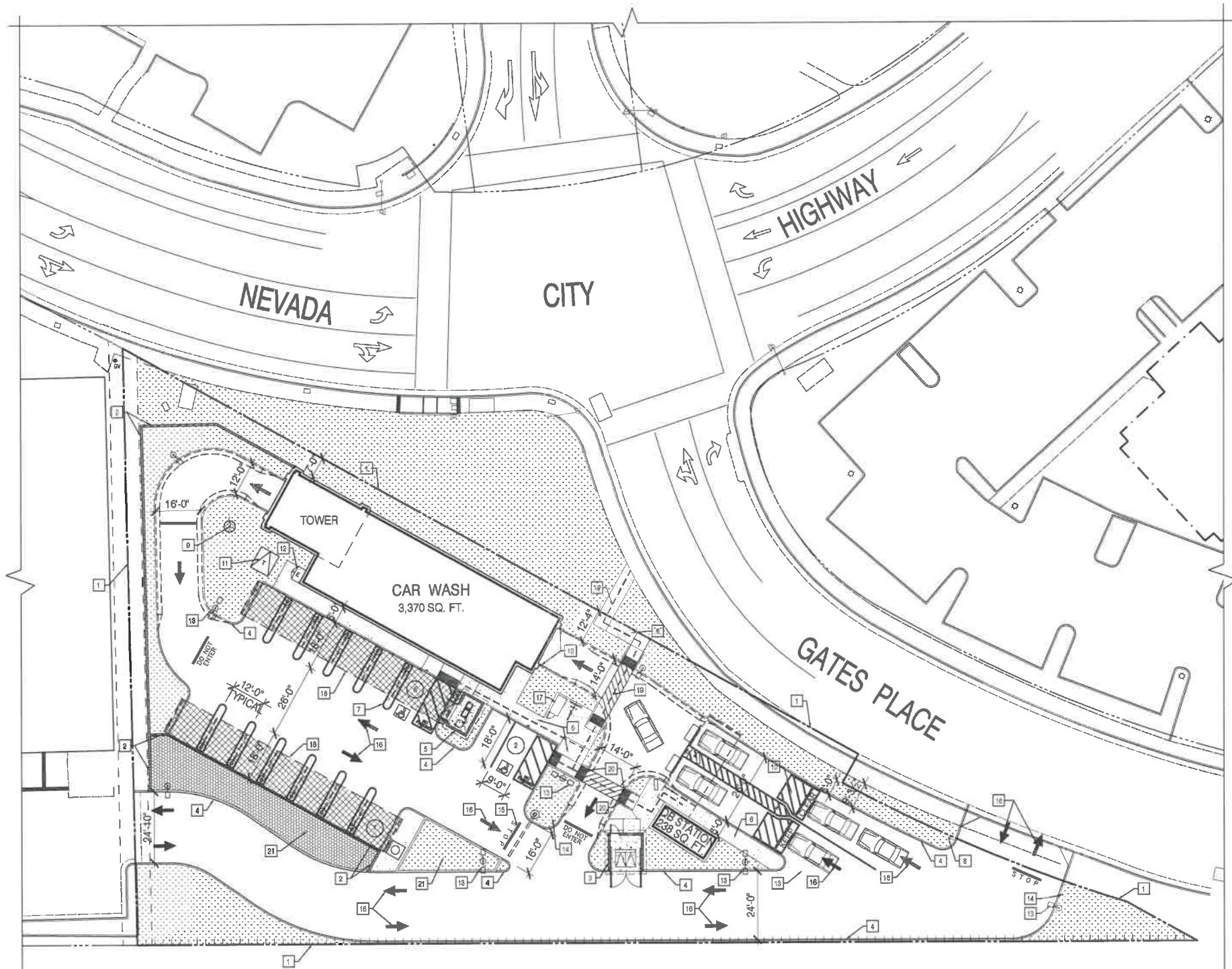
PLANNING  
ENGINEERING  
SURVEYING

STORM WATER CONTROL PLAN  
QUICK QUACK CAR WASH #26-128

2059 NEVADA CITY HWY  
GRASS VALLEY NEVADA COUNTY CALIFORNIA

SHEET C-5.1  
OF

PROJECT 21-2551



SITE PLAN

SCALE

1

## PROJECT SUMMARY

OWNER/APPLICANT: QUICK QUACK CAR WASH  
1380 LEAD HILLS BLVD., SUITE 260  
ROSEVILLE, CA 95661  
VANCE SHANNON  
VSHANNON@DONTDRIVEDIRTY.COM

ARCHITECT: LA DESIGN GROUP, INC.  
21671 GATEWAY CENTER DRIVE, SUITE 213  
DIAMOND BAR, CA 91785  
SAEID SHANTIYAI  
SSHANTIYAI@LADESIGNGROUP.NET

PROPERTY ADDRESS: 2059 NEVADA CITY HWY  
GRASS VALLEY, CA 95945-7711  
OWNER: 035-400-001-000  
GENERAL PLAN: C-2 (GENERAL COMMERCIAL)  
GROSS LAND AREA: 0.867 AC +/- 37,897 SF  
EXISTING LAND USE: VACANT LOT  
PROPOSED LAND USE: COMMERCIAL - CAR WASH FACILITY

**PROPOSED CARWASH AREA:**  
GROSS BUILDING AREA 3,608 SF  
(SHOWROOM BLDG. 3,370 SF & QB STATION 238 SF)  
MAXIMUM BUILDING HEIGHT 29'-0"  
CONSTRUCTION TYPE: VB  
OCCUPANCY: B  
SPRINKLERS: NO  
PARKING REQUIRED 5 STALLS  
PARKING PROVIDED 5 STALLS  
VACUUM STALLS 13 STALLS  
3 STALLS SHARED FOR REQUIRED PARKING SPACE  
BICYCLE SPACES REQUIRED 1  
BICYCLE SPACES PROVIDED 2  
**SITE COVERAGE SUMMARY:**  
BUILDING COVERAGE (FAR) 9.5%  
LANDSCAPE AREA 6,681 SF  
LANDSCAPE COVERAGE 23%

## KEYNOTES:

- EXISTING PROPERTY LINE, REFERENCE CIVIL DRAWINGS.
- RETAINING WALL, SEE CIVIL DRAWINGS
- TRASH ENCLOSURE, REFERENCE DETAIL 1/AS 5.01
- CONCRETE CURB OR CURB AND GUTTER, REFERENCE CIVIL DRAWINGS
- VACUUM EQUIPMENT ENCLOSURE, REFERENCE DETAIL 6/AS 5.01
- WALKWAY - 4" CONCRETE WITH NATURAL GRAY CONCRETE MEDIUM BROOM FINISH
- PARKING LOT STRIPING, 4" WIDE LINES PAINTED "WHITE" TYPICAL
- SITE ENTRANCE TOW AWAY SIGN.
- 30' FLAG POLE, STYLE: "MEMORIAL" UNCOMMON USA, INC.
- PIPE BOLLARD
- TRANSFORMER AND PAD PROVIDED BY PG&E, REFERENCE CIVIL DRAWINGS.
- ELECTRIC METER CABINET LOCATION
- LIGHT STANDARD BASE, REFERENCE ELECTRICAL DRAWINGS.
- PROVIDE "STOP" SIGN ON POLE
- PAINT STOP SIGN PER CITY STANDARDS
- PAINT PAVEMENT DIRECTIONAL ARROW
- BIKE RACKS
- LINE OF METAL CANOPY ABOVE
- ACCESSIBLE PATH OF TRAVEL
- ACCESSIBLE RAMP, REFERENCE CIVIL DRAWINGS.
- BIO RETENTION AREA, REFERENCE CIVIL DRAWINGS.

## LEGEND:

- LIGHT STAND, REFERENCE ELECTRICAL DRAWINGS
- WALKWAY - 4" CONCRETE WITH NATURAL GRAY CONCRETE MEDIUM BROOM FINISH
- LANDSCAPING AND IRRIGATION SYSTEM, REFERENCE LANDSCAPE DRAWINGS
- BIO RETENTION AREA, SEE CIVIL DRAWINGS
- VACUUM CANOPY SYSTEM, (TYP)
- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL
- # INDICATES NUMBER OF PARKING SPACES



LA Design Group, Inc.  
21671 GATEWAY CENTER DRIVE, STE. 213  
DIAMOND BAR, CA 91785  
(T) 908.860.1010

Seal:



NOTE: This information is conceptual in nature and is subject to adjustments pending further verification and Client, Tenant, and Governmental Agency comments/ approvals. No warranties or guarantees of any kind are given or implied by the Architect.

A Project for:



(STORE 26-128)  
2059 NEVADA CITY HWY  
GRASS VALLEY, CA 95945

Client:

QUICK QUACK CAR WASH  
1380 LEAD HILLS BLVD., STE. 260  
ROSEVILLE, CA 95661

Revisions:

UPDATED ENTITLEMENT	04/07/2022	
PLANNING SUBMITTAL	12/03/2021	
CLIENT REVISION	10/15/2021	
CLIENT COORDINATION	10/01/2021	
No.	Description	Date
Project No.:	210615.01	
Drawn By:		--
Reviewed By:		--
Scale:	AS NOTED	
Date:		
Filename:		--
Sheet Title:		

SITE PLAN

Sheet #:

AS 1.01

GENERAL NOTES

1. All existing trees and shrubs (to remain) shall be protected in place during construction. Damaged trees and shrubs shall be replaced in kind.
2. All landscape areas with new plant material shall receive a minimum 3" layer of organic wood chip mulch.
3. Irrigation to all plant material shall be low volume drip and shall be operated by a weather based controller with a weather sensor. Irrigation shall conform to City of Grass Valley water conservation standards.

Water Efficient Landscape Worksheet

HYDROZONE/PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIG. METHOD	IRRIG. EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (Sq. Ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
REGULAR LANDSCAPE AREA							
LOW WATER USE PLANTS	.3	DRIP	.81	.37	14,451	5,347	174,575 GAL.
MODERATE WATER USE PLANTS	.5	DRIP	.81	.62	812	503	16,423 GAL.
TOTALS					(A) 15,263	(B) 5,850	

ETWU Total 190,998 GAL.

Maximum Applied Water Allowance (MAWA).  $MAWA = \frac{ETAF}{(52.64)} \times \frac{(Conversion\ factor)}{(.62)} \times \frac{(ETAF)(Landscape\ Area)}{(.45 \times 15,263)} + \frac{((1-ETAF) \times SLA)}{(1-.45) \times 0} = 224,246\ GALLONS$

















Estimated Total Water use (ETWU).  $ETWU = \frac{ETAF}{(52.64)} \times \frac{(Conversion\ factor)}{(.62)} \times \frac{(ETAF)(Area)}{(.45 \times 15,263)} = 190,998\ GALLONS$

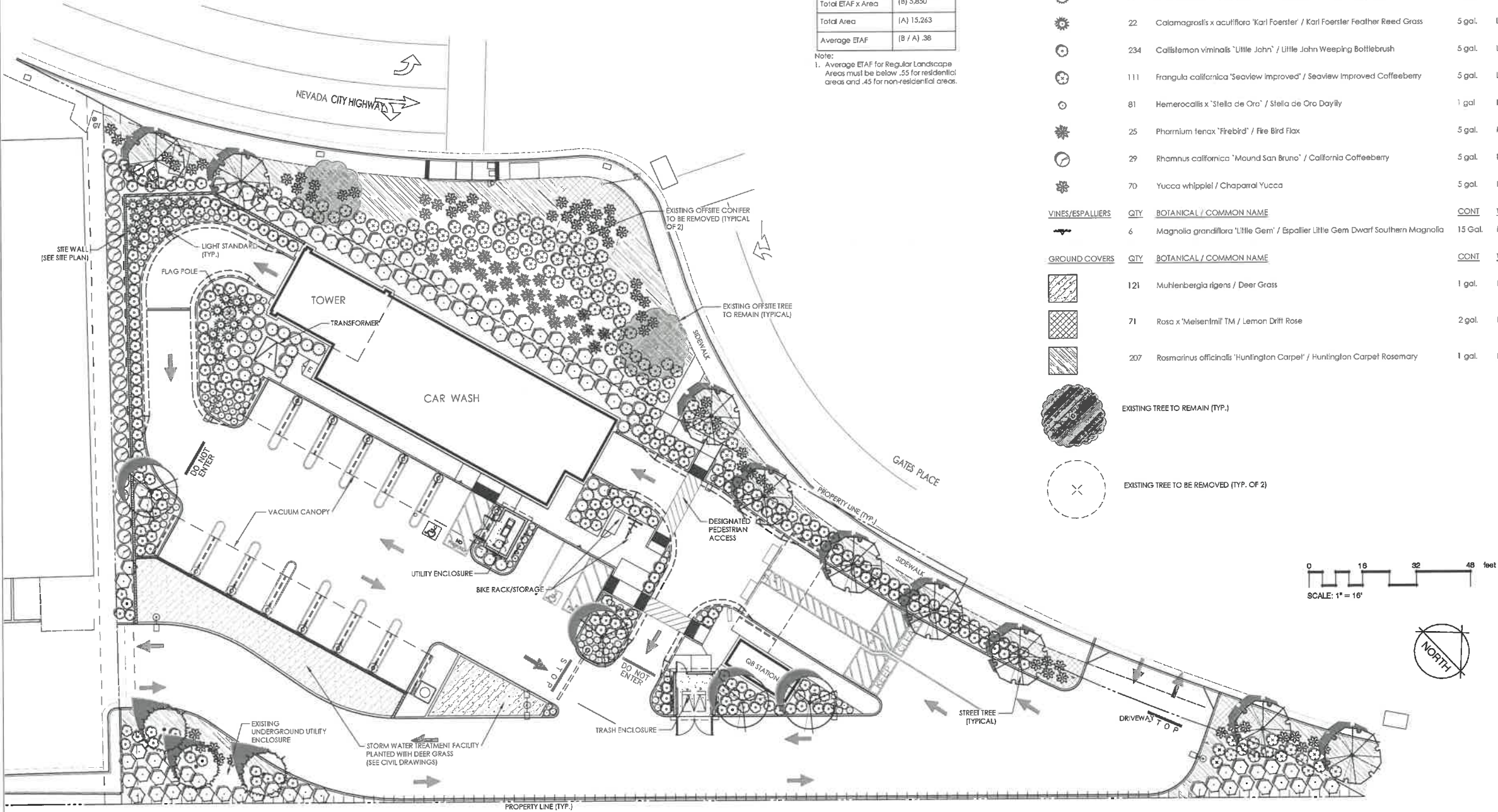
ETAF Calculations

Regular Landscape Areas	
Total ETAF x Area	(B) 5,850
Total Area	(A) 15,263
Average ETAF	(B / A) .38

Note:  
1. Average ETAF for Regular Landscape Areas must be below .55 for residential areas and .45 for non-residential areas.

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	
	3	Calocedrus decurrens / Incease Cedar	15 gal.	Low	
	4	Cercis occidentalis / Western Redbud (Standard)	15 gal.	Low	
	9	Malus x 'Prairifire' / Prairifire Crabapple	15 gal.	Moderate	
SHRUBS					
	90	Arctostaphylos densiflora 'Harmony' / Harmony Vine Hill Manzanita	5 gal.	Low	
	32	Berberis thunbergii 'Monomb' TM / Cherry Bomb Japanese Barberry	5 gal.	Low	
	22	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	5 gal.	Low	
	234	Callistemon viminalis 'Little John' / Little John Weeping Bottlebrush	5 gal.	Low	
	111	Frangula californica 'Seaview Improved' / Seaview Improved Coffeeberry	5 gal.	Low	
	81	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	1 gal.	Low	
	25	Pharimium tenax 'Firebird' / Fire Bird Flax	5 gal.	Moderate	
	29	Rhamnus californica 'Mound San Bruno' / California Coffeeberry	5 gal.	Low	
	70	Yucca whipplei / Chaparral Yucca	5 gal.	Low	
VINES/ESPALLERS					
	6	Magnolia grandiflora 'Little Gem' / Espallier Little Gem Dwarf Southern Magnolia	15 Gal.	Moderate	
GROUND COVERS					
	121	Muhlenbergia rigens / Deer Grass	1 gal.	Low	42" o.c.
	71	Rosa x 'Meisnermil' TM / Lemon Drift Rose	2 gal.	Low	30" o.c.
	207	Rosmarinus officinalis 'Huntington Carpet' / Huntington Carpet Rosemary	1 gal.	Low	42" o.c.
	EXISTING TREE TO REMAIN (TYP.)				
	EXISTING TREE TO BE REMOVED (TYP. OF 2)				



LA Design Group, Inc.  
21671 GATEWAY CENTER DRIVE, STE. 213  
DIAMOND BAR, CA 91765  
(714) 909.860.1010

Seal:  
OLIVE STREET  
LANDSCAPE ARCHITECTURE  
P.O. Box 2083  
Petaluma CA 94952  
707-280-8990  
olivestreetlandscape.com  
ros@olivestreetlandscape.com

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A Project for:



(STORE 26-128)  
2059 NEVADA CITY HWY  
GRASS VALLEY, CA 95945

Client:

QUICK QUACK CAR WASH  
1380 LEAD HILLS BLVD., STE. 260  
ROSEVILLE, CA 95661

Revisions:

UPDATED ENTITLEMENT	04/06/2022	
PLANNING SUBMITTAL	12/03/2021	
CLIENT REVISION	10/15/2021	
CLIENT COORDINATION	10/01/2021	
No.	Description	Date
Project No.:	210615.01	
Drawn By:		--
Reviewed By:		--
Scale:	AS NOTED	
Date:		
Filename:		--
Sheet Title:		

LANDSCAPE PLAN

Sheet #:

L1

1. All existing trees and shrubs (to remain) shall be protected in place during construction. Damaged trees and shrubs shall be replaced in kind.
2. All landscape areas with new plant material shall receive a minimum 3" layer of organic wood chip mulch.
3. Irrigation to all plant material shall be low volume drip and shall be operated by a weather based controller with a weather sensor. Irrigation shall conform to City of Grass Valley water conservation standards.

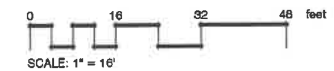
HYDROZONE/PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIG. METHOD	IRRIG. EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (Sq. Ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
REGULAR LANDSCAPE AREA							
LOW WATER USE PLANTS	.3	DRIP	.81	.37	14,451	5,347	174,575 GAL.
MODERATE WATER USE PLANTS	.5	DRIP	.81	.62	812	503	16,423 GAL.
TOTALS					(A) 15,263	(B) 5,850	

				ETWU Total	190,998 GAL.
Maximum Applied Water Allowance [MAWA].	MAWA =	$\frac{[Eto]}{[52.66]} \times \frac{[Conversion\ factor]}{[.62]} \times \frac{[ETAF]}{[.45\ x\ 15,263]} + \frac{[1 - ETAF] \times SLA}{(1 - .45) \times 0}$			= 224,246 GALLONS
Estimated Total Water use [ETWU].	ETWU =	$\frac{[Eto]}{[52.66]} \times \frac{[Conversion\ factor]}{[.62]} \times \frac{[ETAF]}{[.850]} \times [Area]$			= 190,998 GALLONS

Regular Landscape Areas	
Total ETAF x Area	(B) 5,850
Total Area	(A) 15,263
Average ETAF	(B / A) .38

Note:  
 1. Average ETAF for Regular Landscape Areas must be below .55 for residential areas and .45 for non-residential areas.


TREES		QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	
	3	Calocedrus decurrens / Incense Cedar	15 gal.	Low		
	4	Cercis occidentalis / Western Redbud (Standard)	15 gal.	Low		
	9	Malus x 'Prairifire' / Prairifire Crabapple	15 gal.	Moderate		
SHRUBS		QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	
	90	Arctostaphylos densiflora 'Harmony' / Harmony Vine Hill Manzanilla	5 gal.	Low		
	32	Berberis thunbergii 'Monomb' TM / Cherry Bomb Japanese Barberry	5 gal.	Low		
	22	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	5 gal.	Low		
	234	Calistemon viminalis 'Little John' / Little John Weeping Bottlebrush	5 gal.	Low		
	111	Frangula californica 'Seaview Improved' / Seaview Improved Coffeeberry	5 gal.	Low		
	81	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	1 gal.	Low		
	25	Phormium tenax 'Firebird' / Fire Bird Flax	5 gal.	Moderate		
	29	Rhamnus californica 'Mound San Bruno' / California Coffeeberry	5 gal.	Low		
	70	Yucca whipplei / Chaparral Yucca	5 gal.	Low		
VINES/ESPALLIERS		QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	
	6	Magnolia grandiflora 'Little Gem' / Espallier Little Gem Dwarf Southern Magnolia	15 Gal.	Moderate		
GROUND COVERS		QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	SPACING
	121	Muhlenbergia rigens / Deer Grass	1 gal.	Low	42" o.c.	
	71	Rosa x 'Meisenteil' TM / Lemon Drift Rose	2 gal.	Low	30" o.c.	
	207	Rosmarinus officinalis 'Huntington Carpet' / Huntington Carpet Rosemary	1 gal.	Low	42" o.c.	
	EXISTING TREE TO REMAIN (TYP.)					
	EXISTING TREE TO BE REMOVED (TYP. OF 2)					



Seal:

**OLIVE STREET**  
LANDSCAPE ARCHITECTURE

P.O. Box 2083  
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707-280-8990  
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rod@olivestreetlandscape.com



Rodney L. Scoccolioli  
No. 4452  
Exp. 05/31/24

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**A Project for:**



(STORE 26-128)  
2059 NEVADA CITY HWY  
GRASS VALLEY, CA 95945

**Client:**

**QUICK QUACK CAR WASH**  
1380 LEAD HILLS BLVD., STE. 260  
ROSEVILLE, CA 95661

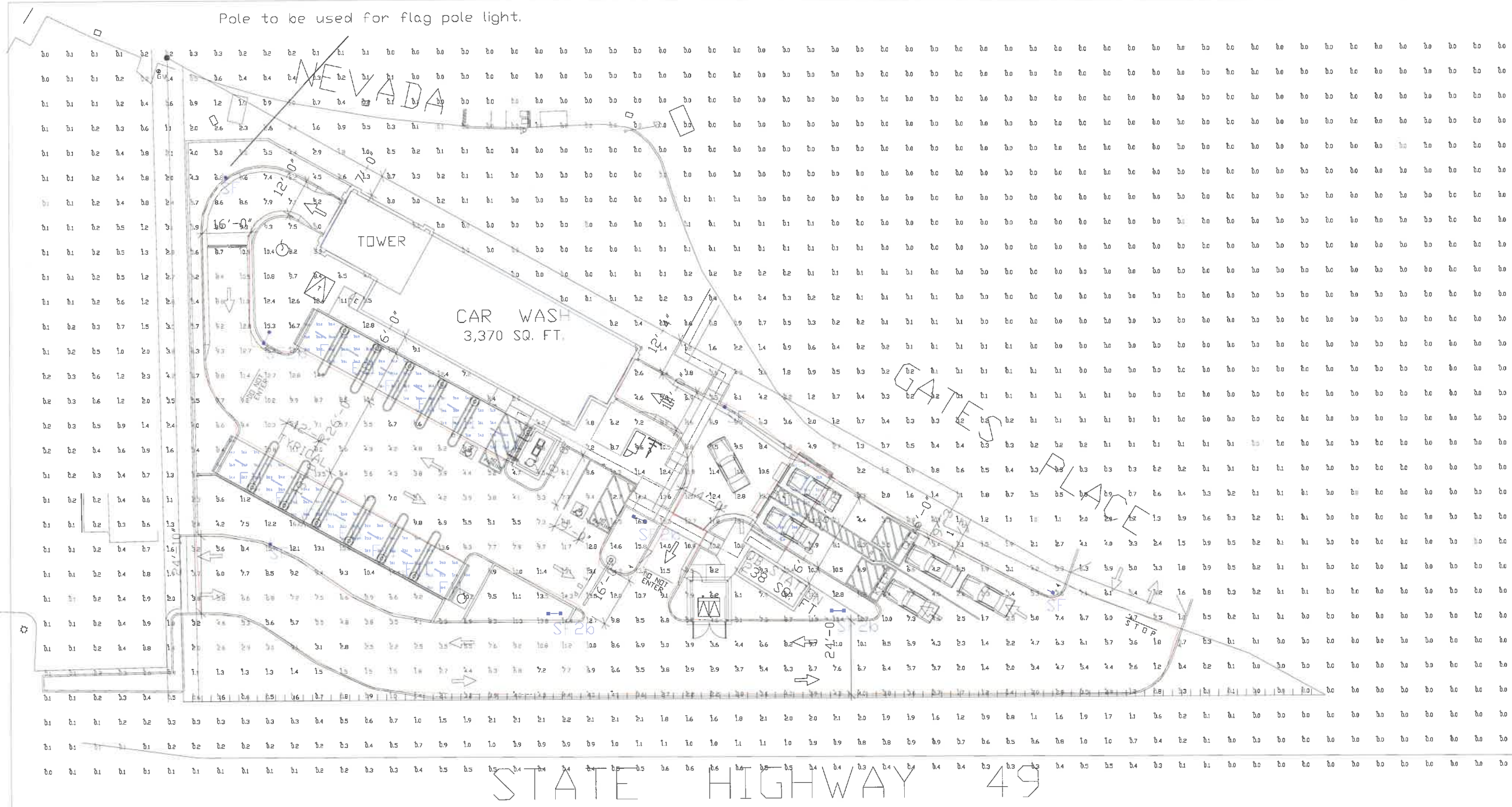
Revisions: \_\_\_\_\_

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	Project No.:	210615.01
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Sheet Title:		-

LANDSCAPE PLAN

Sheet #:

L1



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CANDPY 1	Illuminance	Fc	19.84	26.1	10.2	1.95	2.56
CANDPY 2	Illuminance	Fc	18.31	26.6	6.1	3.00	4.36
PAY CANDPY	Illuminance	Fc	17.09	22.7	8.4	2.03	2.70
PAVED AREA	Illuminance	Fc	6.78	14.5	1.2	5.65	12.08



PHOTOMETRIC EVALUATION  
NOT FOR CONSTRUCTION



Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

NOTE: STANDARD 120-277v UNLESS OTHERWISE SPECIFIED

Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts	
	15	F11	SINGLE	VT3204HUNV50 (FIXTURE SUPPLIED BY HERMITAGE)	1.000	1.000	1.000	6778	51.95	
	4	SF	SINGLE	MRS-LED-18L-SIL-FT-50-70CRI-SINGLE-16' POLE+2' BASE	1.000	1.000	1.000	16890	135	
	4	SF2b	D180°	MRS-LED-18L-SIL-FT-50-70CRI-D180-16' POLE+2' BASE	1.000	1.000	1.000	33780	270	

Total Project Watts  
Total Watts = 2399.25



LIGHTING PROPOSAL LD-155042-1

QUICK BLANK  
NEVADA CITY HWY & GATES PLACE  
GRASS VALLEY, CA

DATE: 07/27/21  
SCALE: 1"=16'

REV: 04/26/22  
SHEET 1 OF 1

16



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A Project for:



(STORE 26-128)  
NEVADA CITY HWY AND GATES PLACE  
GRASS VALLEY, CA

Client:  
**QUICK QUACK CAR WASH**  
1380 LEAD HILLS BLVD., SUITE 260  
ROSEVILLE, CA 95661

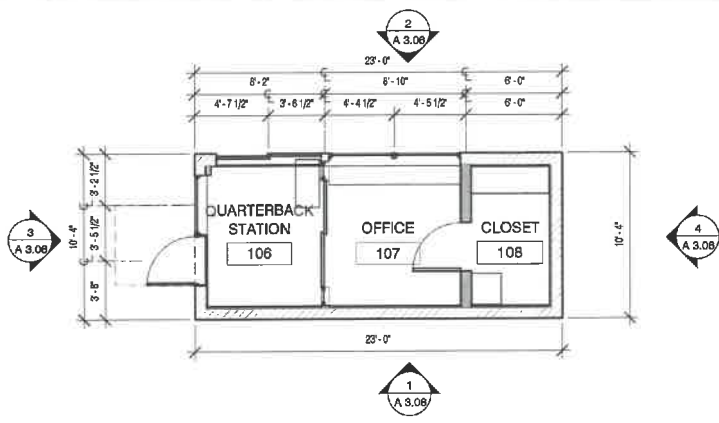
Revisions:		

FLOOR PLAN

Sheet #:

A 2.01

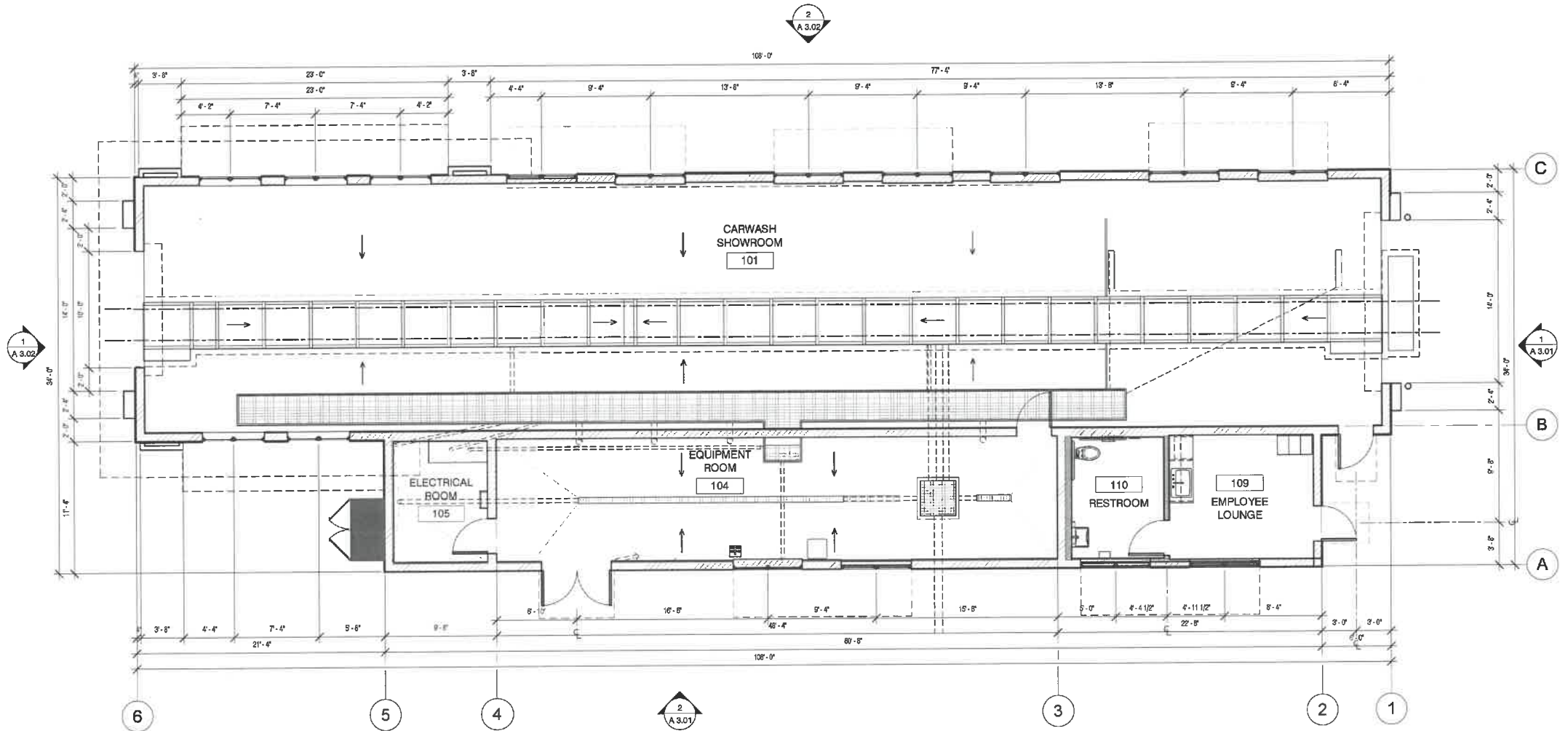
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QB STATION FLOOR PLAN

SCALE  
3/16" = 1'-0"

2



FLOOR PLAN

SCALE  
3/16" = 1'-0"

1



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Seal:



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A Project for:



(STORE 26-128)  
NEVADA CITY HWY AND GATES PLACE  
GRASS VALLEY, CA

Client:

QUICK QUACK CAR WASH

1380 LEAD HILLS BLVD., SUITE 260  
ROSEVILLE, CA 95661

Revisions:

UPDATED ENTITLEMENT	04/07/2022
CLIENT REVISION	12/16/2021
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CLIENT REVISION	10/15/2021
CLIENT COORDINATION	10/01/2021

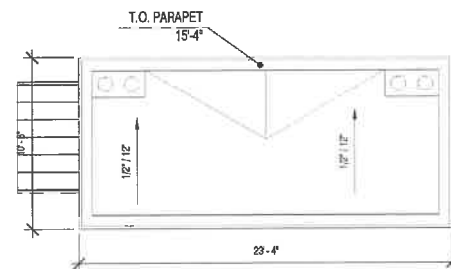
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Drawn By:	Author	
Reviewed By:	-	
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Date:	11/1/21	
Filename:	-	
Sheet Title:		

ROOF PLAN

Sheet #:

A 2.02

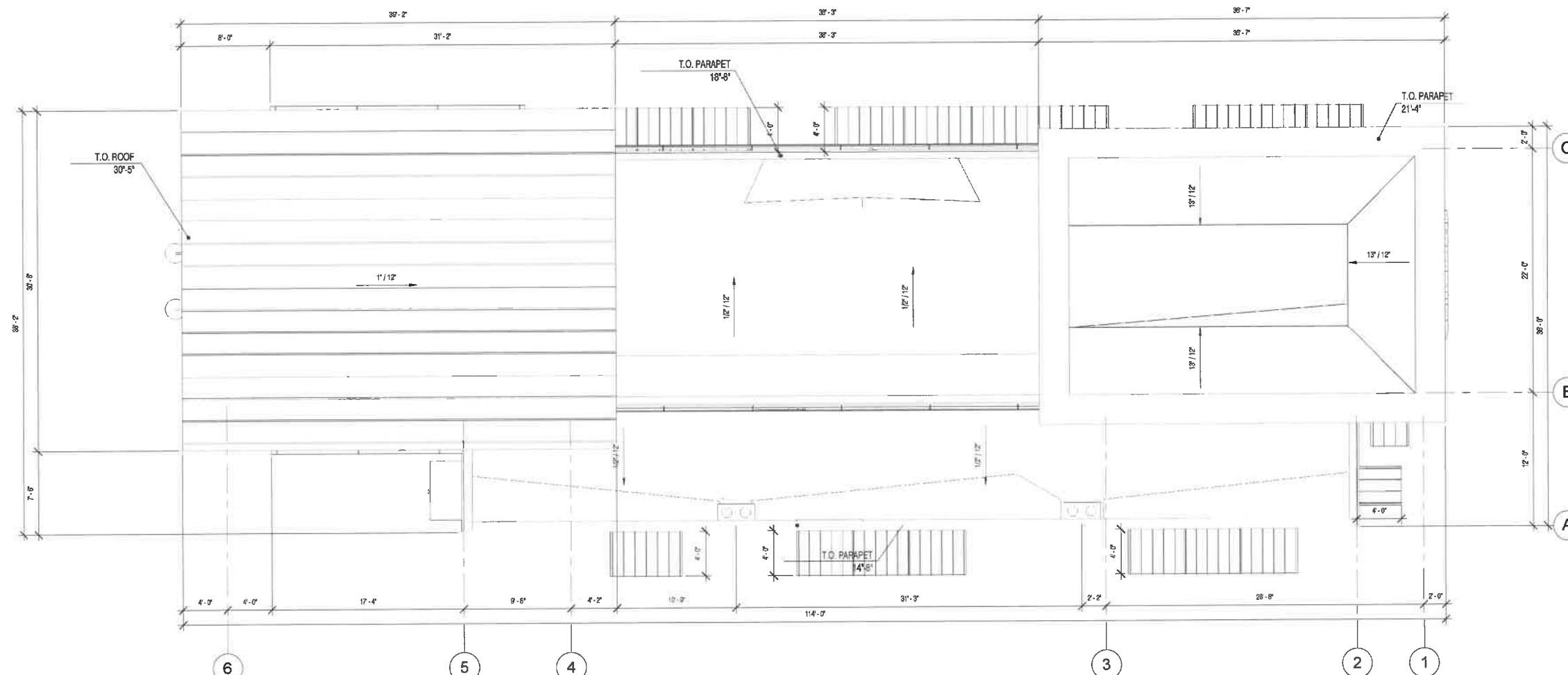
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QB STATION ROOF PLAN

SCALE  
3/16" = 1'-0"

2



ROOF PLAN

SCALE  
3/16" = 1'-0"

1



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See:



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A Project for:



(STORE 26-128)  
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Client:

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Revisions:

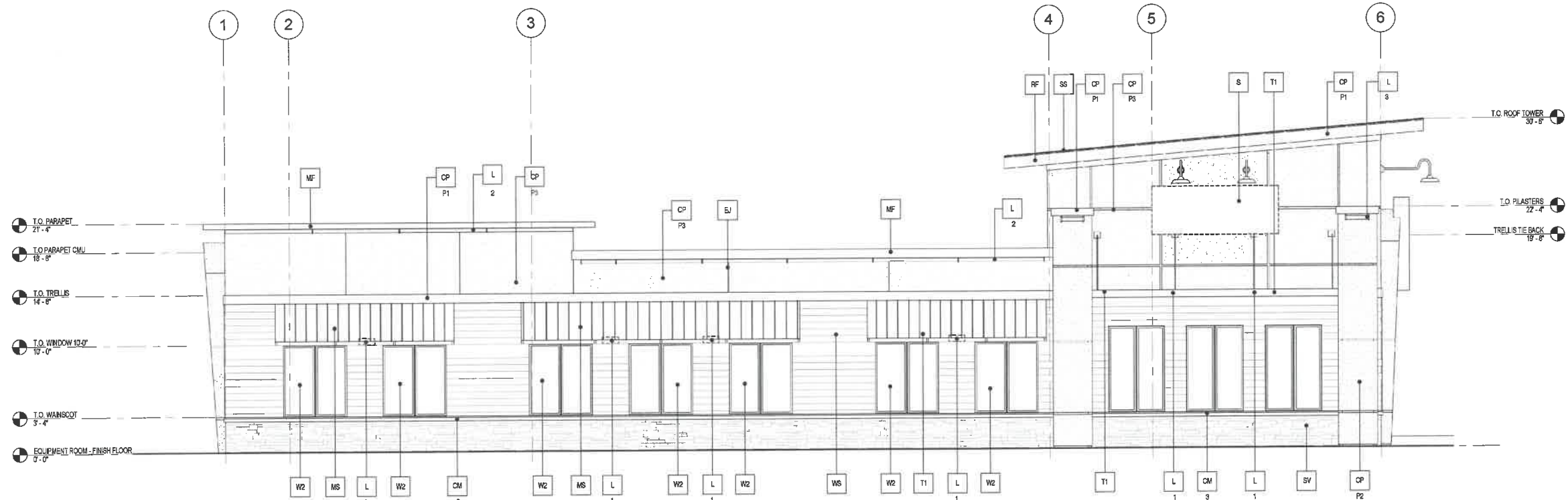
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Sheet Title:		

EXTERIOR  
ELEVATIONS

Sheet #:

A 3.01

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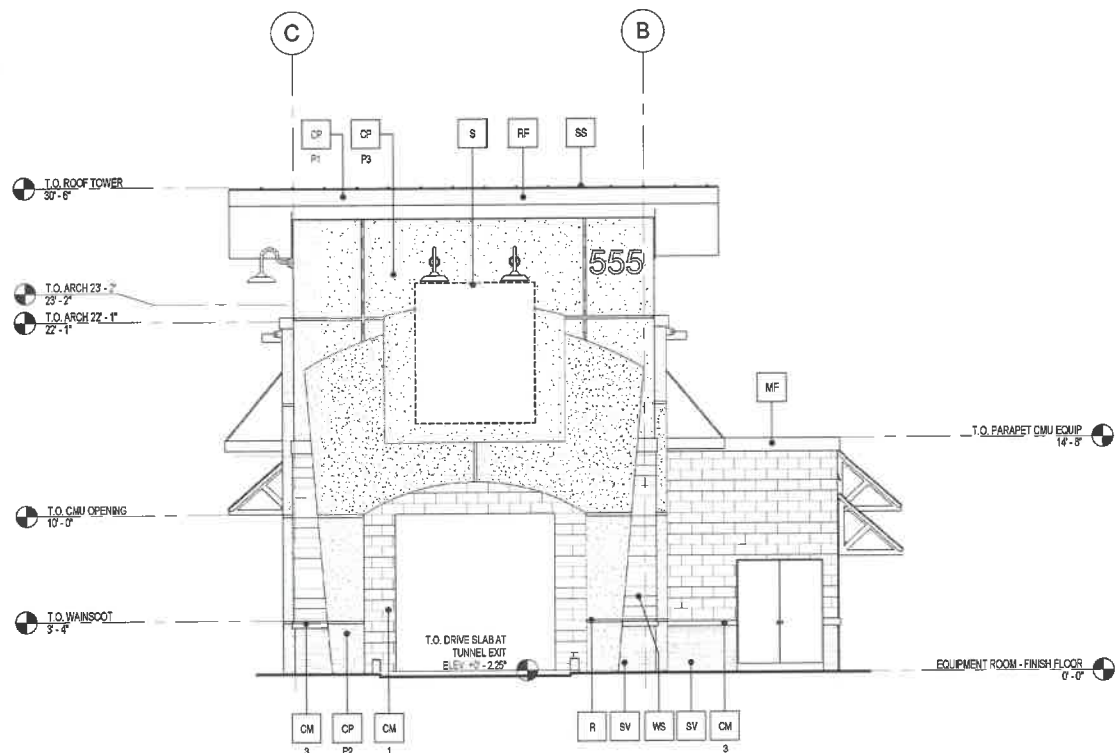
NORTH ELEVATION

SCALE  
3/16" = 1'-0"

2

### ELEVATION KEY NOTES:

CM 1	BASALITE SMOOTH HONED FACE CONCRETE MASONRY UNITS - INTEGRAL COLOR STANDARD #225 LIGHT GRAY. WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.	P	6" PIPE BOLLARD FILLED WITH CONCRETE - MATCH SHERWIN WILLIAMS #6903 "CHEERFUL" (YELLOW)
SV	STONE VENEER, CORONADO STONE, 8000 SERIES - GRAY, OLD WORLD LEDGE MODEL AND MONARCH COLOR.	R	2" WIDE X 1/4" DEEP CLEAR ANODIZED ALUMINUM PLASTER REVEAL
CM 3	PRECISION FACE CONCRETE MASONRY UNIT SILL, INTEGRAL COLOR TO MATCH DARK GRAY WAINSCOT WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.	RF	METAL ROOF FASCIA - MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN" (GREEN)
CP	ACRYLIC PLASTER COLOR COAT	RO	PVC ROOF OVERFLOW SCUPPER - PAINT TO MATCH ADJACENT FINISH
P	COLOR DESIGNATION: P1 = MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN" P2 = MATCH SHERWIN WILLIAMS #6902 "DECISIVE YELLOW" P3 = MATCH SHERWIN WILLIAMS #7004 "SNOWBOUND" PLASTER COLOR COAT TO BE SAND FINISH	S	SIGNAGE BY OTHERS SHOWN DASHED - FOR REFERENCE ONLY UNDER SEPARATE PERMIT. GENERAL CONTRACTOR TO COORDINATE WITH SIGN COMPANY.
D1	HOLLOW METAL DOOR - PAINT TO MATCH SHERWIN WILLIAMS #7025 "BACKDROP"	SS	STANDING SEAM METAL ROOF FIRESTONE UC3 - "DARK IVY"
D2	OVERHEAD METAL DOOR - PAINT TO MATCH SHERWIN WILLIAMS #7025 "BACKDROP"	T1	METAL WALL CANOPY SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"
D3	CLEAR ANODIZED ALUMINUM COMMERCIAL GRADE STOREFRONT GLASS DOOR	T2	WALL CANOPY TIE-BACK SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"
DS	8" X 18" THROUGH WALL SCUPPER, COLLECTOR AND DOWNSPOUT, PAINT TO MATCH ADJACENT SURFACE	V	24" WIDE X 18" HIGH VENT - PAINT TO MATCH ADJACENT FINISH
EJ	1/4" DEEP REVEAL EXPANSION JOINT	SV	STONE VENEER, CORONADO STONE (OLD WORLD LEDGE/MONARCH)
L	LIGHT FIXTURE TYPE: L1 = LED RADIAL WALL SCONCE (DOWN ONLY) L2 = LINEAR FACADE WALL LIGHT (DOWN ONLY) L3 = 2 FOOT LED PLASTER LIGHT (DOWN ONLY) L4 = WALL PACK (DOWN ONLY) CONTACT STEVE FRIEDMAN 847.850.1444 WITH HERMITAGE LIGHTING FOR ORDERING LIGHTING. (NO EXCEPTIONS)	W1	EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS CLEAR ANODIZED ALUMINUM STOREFRONT
MF	METAL FASCIA - PAINT TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN" (GREEN)	W2	EXTERIOR FAUX WINDOW ASSEMBLY - WITH BLACK CERAMIC FRIT TEMPERED SPANDREL GLASS CLEAR ANODIZED ALUMINUM STOREFRONT TIE
MS	METAL SEAM ROOF - COLOR TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"	WS	JAMES HARDIE BUILDING PRODUCTS - ASPYRE DESIGN - ARTISAN SHIP LAP SIDING - PAINT TO MATCH SHERWIN WILLIAMS #7030 "ANVIL GRAY"



WEST ELEVATION

SCALE  
3/16" = 1'-0"

1



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A Project for:



(STORE 26-128)  
NEVADA CITY HWY AND GATES PLACE  
GRASS VALLEY, CA

Client:  
**QUICK QUACK CAR WASH**

1380 LEAD HILLS BLVD., SUITE 260  
ROSEVILLE, CA 95661

Revisions:

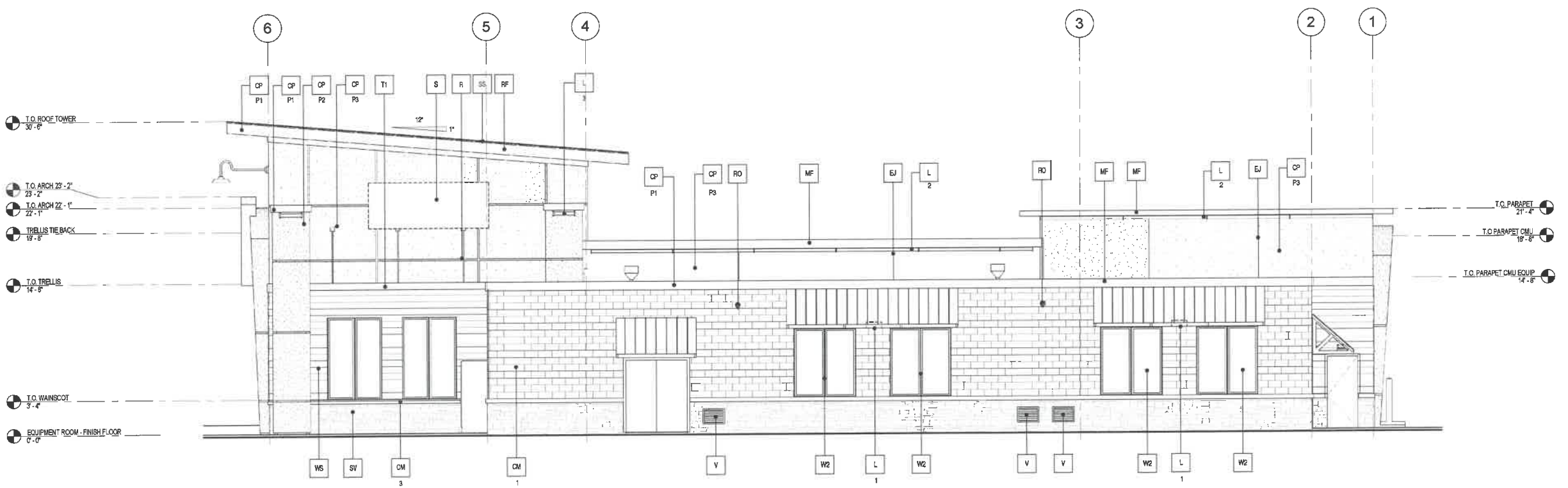
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EXTERIOR  
ELEVATIONS

Sheet #:

A 3.02

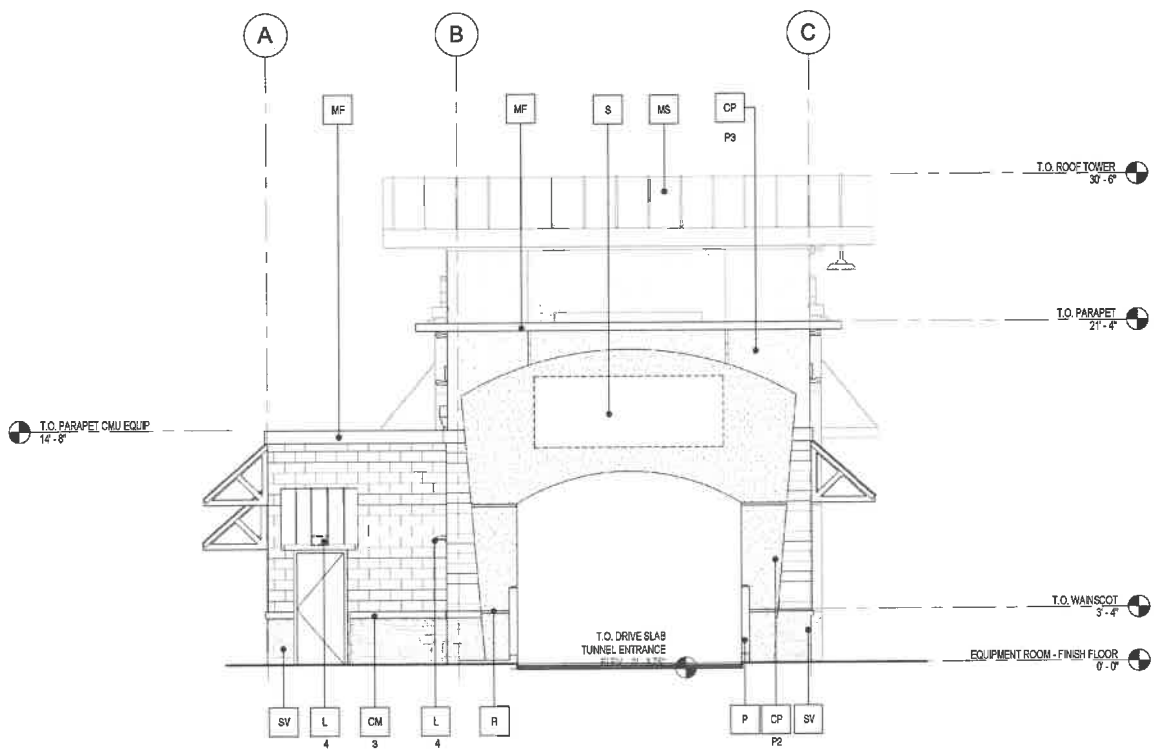
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SOUTH ELEVATION  
SCALE  
3/16" = 1'-0"  
2

ELEVATION KEY NOTES:

- |         |  |    |  |
|---------|--|----|--|
| CM<br>1 | BASALITE SMOOTH HONED FACE CONCRETE MASONRY UNITS - INTEGRAL COLOR STANDARD #225 LIGHT GRAY. WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.  | P  | 8" PIPE BOLLARD FILLED WITH CONCRETE - MATCH SHERWIN WILLIAMS #6903 "CHEERFUL" (YELLOW)  |
| SV      | STONE VENEER, CORONADO STONE, 9000 SERIES - GRAY, OLD WORLD LEDGE MODEL AND MONARCH COLOR.   | R  | 2" WIDE X 1/4" DEEP CLEAR ANODIZED ALUMINUM PLASTER REVEAL   |
| CM<br>3 | PRECISION FACE CONCRETE MASONRY UNIT SILL INTEGRAL COLOR TO MATCH DARK GRAY WAINSCOT WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.  | RF | METAL ROOF FASCIA - MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN" (GREEN)   |
| CP<br>P | ACRYLIC PLASTER COLOR COAT<br>COLOR DESIGNATION:<br>P1 = MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"<br>P2 = MATCH SHERWIN WILLIAMS #6902 "DECISIVE YELLOW"<br>P3 = MATCH SHERWIN WILLIAMS #7004 "SNOWBOUND"<br>PLASTER COLOR COAT TO BE SAND FINISH  | RO | PVC ROOF OVERFLOW SCUPPER - PAINT TO MATCH ADJACENT FINISH   |
| D1      | HOLLOW METAL DOOR - PAINT TO MATCH SHERWIN WILLIAMS #7025 "BACKDROP"   | S  | SIGNAGE BY OTHERS SHOWN DASHED - FOR REFERENCE ONLY UNDER SEPARATE PERMIT. GENERAL CONTRACTOR TO COORDINATE WITH SIGN COMPANY. |
| D2      | OVERHEAD METAL DOOR - PAINT TO MATCH SHERWIN WILLIAMS #7025 "BACKDROP"   | SS | STANDING SEAM METAL ROOF FIRESTONE UC3 - "DARK IVY"  |
| D3      | CLEAR ANODIZED ALUMINUM COMMERCIAL GRADE STOREFRONT GLASS DOOR   | T1 | METAL WALL CANOPY SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"   |
| DS      | 8" X 18" THROUGH WALL SCUPPER, COLLECTOR AND DOWNSPOUT. PAINT TO MATCH ADJACENT SURFACE  | T2 | WALL CANOPY TIE-BACK SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"  |
| EJ      | 1/4" DEEP REVEAL EXPANSION JOINT   | V  | 24" WIDE X 18" HIGH VENT - PAINT TO MATCH ADJACENT FINISH  |
| L<br>1  | LIGHT FIXTURE<br>TYPE:<br>L1 = LED RADIAL WALL SCONCE (DOWN ONLY)<br>L2 = LINEAR FACADE WALL LIGHT (DOWN ONLY)<br>L3 = 2 FOOT LED PLASTER LIGHT (DOWN ONLY)<br>L4 = WALL PACK (DOWN ONLY)<br>CONTACT STEVE FREDMAN 847.830.1444 WITH HERM/TAGE LIGHTING FOR ORDERING LIGHTING. (NO EXCEPTIONS) | SV | STONE VENEER, CORONADO STONE (OLD WORLD LEDGE/MONARCH)   |
| MF      | METAL FASCIA - PAINT TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN" (GREEN)   | W1 | EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS CLEAR ANODIZED ALUMINUM STOREFRONT   |
| MS      | METAL SEAM ROOF - COLOR TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"  | W2 | EXTERIOR FAUX WINDOW ASSEMBLY - WITH BLACK CERAMIC FRIT TEMPERED SPANDREL GLASS CLEAR ANODIZED ALUMINUM STOREFRONT             |
|         |  | WS | JAMES HARDIE BUILDING PRODUCTS - ASPRE DESIGN - ARTISAN SHIP LAP SIDING - PAINT TO MATCH SHERWIN WILLIAMS #7030 "NEW GRAY"     |



EAST ELEVATION  
SCALE  
3/16" = 1'-0"  
1



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A Project for:



(STORE 26-128)  
NEVADA CITY HWY AND GATES PLACE  
GRASS VALLEY, CA

Client:

QUICK QUACK CAR WASH

1380 LEAD HILLS BLVD., SUITE 280  
ROSEVILLE, CA 95661

Revisions:

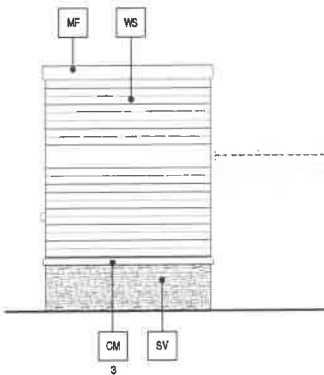
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Project No.:	210615	Author
Drawn By:		Reviewed By:
Scale:	As indicated	Date:
Date:	04/18/22	
Filename:		
Sheet Title:		

EXTERIOR  
ELEVATIONS QB  
STATION

Sheet #:

A 3.03

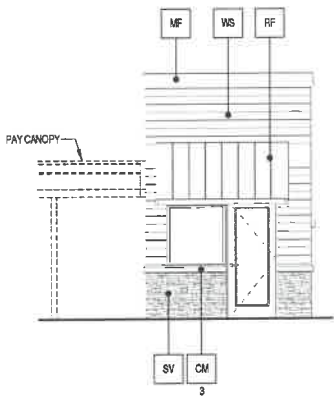
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QB STATION EAST ELEVATION - Dependent 1

SCALE  
3/16" = 1'-0"

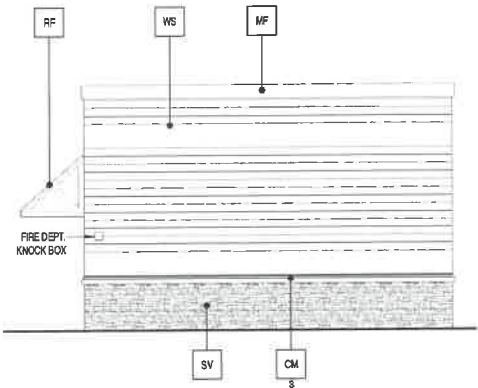
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QB STATION WEST ELEVATION - Dependent 1

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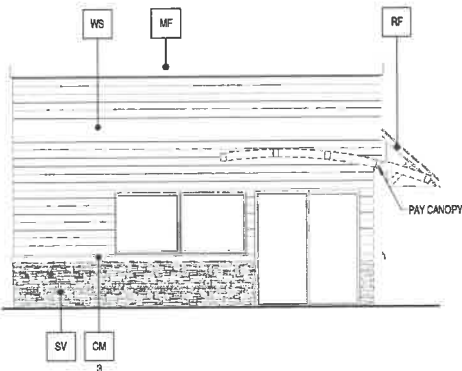
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QB STATION SOUTH ELEVATION - Dependent 1

SCALE  
3/16" = 1'-0"

2



QB STATION NORTH ELEVATION - Dependent 1

SCALE  
3/16" = 1'-0"

1

### ELEVATION KEY NOTES:

CM 1	BASALITE SMOOTH HONED FACE CONCRETE MASONRY UNITS - INTEGRAL COLOR STANDARD #225 LIGHT GRAY, WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.	P	6" PIPE BOLLARD FILLED WITH CONCRETE - MATCH SHERWIN WILLIAMS #6903 "CHEERFUL" (YELLOW)
SV	STONE VENEER, CORONADO STONE, 9000 SERIES - GRAY, OLD WORLD LEDGE MODEL AND MONARCH COLOR	R	2" WIDE X 1/4" DEEP CLEAR ANODIZED ALUMINUM PLASTER REVEAL
CM 3	PRECISION FACE CONCRETE MASONRY UNIT SILL, INTEGRAL COLOR TO MATCH DARK GRAY WAINSCOT WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.	RF	METAL ROOF FASCIA - MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN" (GREEN)
CP P	ACRYLIC PLASTER COLOR COAT COLOR DESIGNATION: P1 = MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN" P2 = MATCH SHERWIN WILLIAMS #6902 "DECISIVE YELLOW" P3 = MATCH SHERWIN WILLIAMS #7004 "SNOWBOUND" PLASTER COLOR COAT TO BE SAND FINISH	RO	PVC ROOF OVERFLOW SCUPPER - PAINT TO MATCH ADJACENT FINISH
D1	HOLLOW METAL DOOR - PAINT TO MATCH SHERWIN WILLIAMS #7025 "BACKDROP"	S	SIGNAGE BY OTHERS SHOWN DASHED- FOR REFERENCE ONLY UNDER SEPARATE PERMIT. GENERAL CONTRACTOR TO COORDINATE WITH SIGN COMPANY.
D2	OVERHEAD METAL DOOR - PAINT TO MATCH SHERWIN WILLIAMS #7025 "BACKDROP"	SS	STANDING SEAM METAL ROOF FIRESTONE UC3 - "DARK IVY"
D3	CLEAR ANODIZED ALUMINUM COMMERCIAL GRADE STOREFRONT GLASS DOOR	T1	METAL WALL CANOPY SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"
DS	8" X 18" THROUGH WALL SCUPPER, COLLECTOR AND DOWNSPOUT. PAINT TO MATCH ADJACENT SURFACE	T2	WALL CANOPY TIE-BACK SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"
EJ	1/4" DEEP REVEAL EXPANSION JOINT	V	24" WIDE X 16" HIGH VENT - PAINT TO MATCH ADJACENT FINISH
L 1	LIGHT FIXTURE TYPE: L1 = LED RADIAL WALL SCONCE (DOWN ONLY) L2 = LINEAR FACADE WALL LIGHT (DOWN ONLY) L3 = 2 FOOT LED PLASTER LIGHT (DOWN ONLY) L4 = WALL PACK (DOWN ONLY) CONTACT STEVE FRIEDMAN 847.830.1444 WITH HERMITAGE LIGHTING FOR ORDERING LIGHTING. (NO EXCEPTIONS)	SV	STONE VENEER, CORONADO STONE (OLD WORLD LEDGE-MONARCH)
MF	METAL FASCIA - PAINT TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN" (GREEN)	W1	EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS CLEAR ANODIZED ALUMINUM STOREFRONT
MS	METAL SEAM ROOF - COLOR TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"	W2	EXTERIOR FAUX WINDOW ASSEMBLY - WITH BLACK CERAMIC FRIT TEMPERED SPANDREL GLASS CLEAR ANODIZED ALUMINUM STOREFRONT TONE
		WS	JAMES HARDIE BUILDING PRODUCTS - ASPHYRE DESIGN - ARTISAN SHIPLAP SIDING - PAINT TO MATCH SHERWIN WILLIAMS #7030 "NEW GRAY"



NORTH ELEVATION

SCALE  
3/16" = 1'-0"

2



WEST ELEVATION

SCALE  
3/16" = 1'-0"

1



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DIAMOND BAR, CA 91765  
(714) 909.860.1010

Seal:



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A Project for:



(STORE 26-128)  
NEVADA CITY HWY AND GATES PLACE  
GRASS VALLEY, CA

Client:

QUICK QUACK CAR WASH  
1380 LEAD HILLS BLVD., SUITE 260  
ROSEVILLE, CA 95661

Revisions:

UPDATED ENTITLEMENT	04/20/2022
UPDATED ENTITLEMENT	04/07/2022
CLIENT REVISION	12/16/2021
ENTITLEMENT PACKAGE	11/30/2021
CLIENT REVISION	10/15/2021
CLIENT COORDINATION	10/01/2021

No.	Description	Date
Project No.:	210615	
Drawn By:	-	
Reviewed By:	-	
Scale:	3/16" = 1'-0"	
Date:	-	
Filename:	-	
Sheet Title:	-	

COLOR ELEVATIONS

Sheet #:

A 3.04



SOUTH ELEVATION

SCALE  
3/16" = 1'-0"

2



EAST ELEVATION

SCALE  
3/16" = 1'-0"

1



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A Project for:



(STORE 26-128)  
NEVADA CITY HWY AND GATES PLACE  
GRASS VALLEY, CA

Client:

QUICK QUACK CAR WASH  
1380 LEAD HILLS BLVD., SUITE 260  
ROSEVILLE, CA 95661

Revisions:

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CLIENT REVISION	10/15/2021	
CLIENT COORDINATION	10/01/2021	
No.	Description	Date
Project No.:	210615	
Drawn By:	TC	
Reviewed By:	--	
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Filename:	--	
Sheet Title:		

COLOR ELEVATIONS

Sheet #:

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A Project for:



(STORE 20-128)  
NEVADA CITY HWY AND GATES PLACE  
GRASS VALLEY, CA

Client:

QUICK QUACK CAR WASH  
1380 LEAD HILLS BLVD., SUITE 260  
ROSEVILLE, CA 95661

Revisions:

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CLIENT REVISION	10/15/2021	
CLIENT COORDINATION	10/01/2021	
No.	Description	Date
Project No.:	210615	
Drawn By:	Author	
Reviewed By:	--	
Scale:	3/16" = 1'-0"	
Date:	04/13/22	
Filename:	--	
Sheet Title:		

COLOR ELEVATIONS  
QB STATION

Sheet #:

A 3.06

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EAST ELEVATION

SCALE  
3/16" = 1'-0"

4



WEST ELEVATION

SCALE  
3/16" = 1'-0"

3



NORTH ELEVATION

SCALE  
3/16" = 1'-0"

2



SOUTH ELEVATION

SCALE  
3/16" = 1'-0"

1



NORTHWEST PERSPECTIVE ILLUSTRATION

SCALE  
N.T.S.

2



SOUTHEAST PERSPECTIVE ILLUSTRATION

SCALE  
N.T.S.

1



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Seal:



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A Project for:



(STORE 26-128)  
NEVADA CITY HWY AND GATES PLACE  
GRASS VALLEY, CA

Client:

QUICK QUACK CAR WASH  
1380 LEAD HILLS BLVD., SUITE 260  
ROSEVILLE, CA 95661

Revisions:

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CLIENT REVISION	10/15/2021
CLIENT COORDINATION	10/01/2021

No.	Description	Date
Project No.:	210615	Author
Drawn By:		
Reviewed By:		
Scale:		
Date:		
Filename:		
Sheet Title:		

PERSPECTIVES

Sheet #:

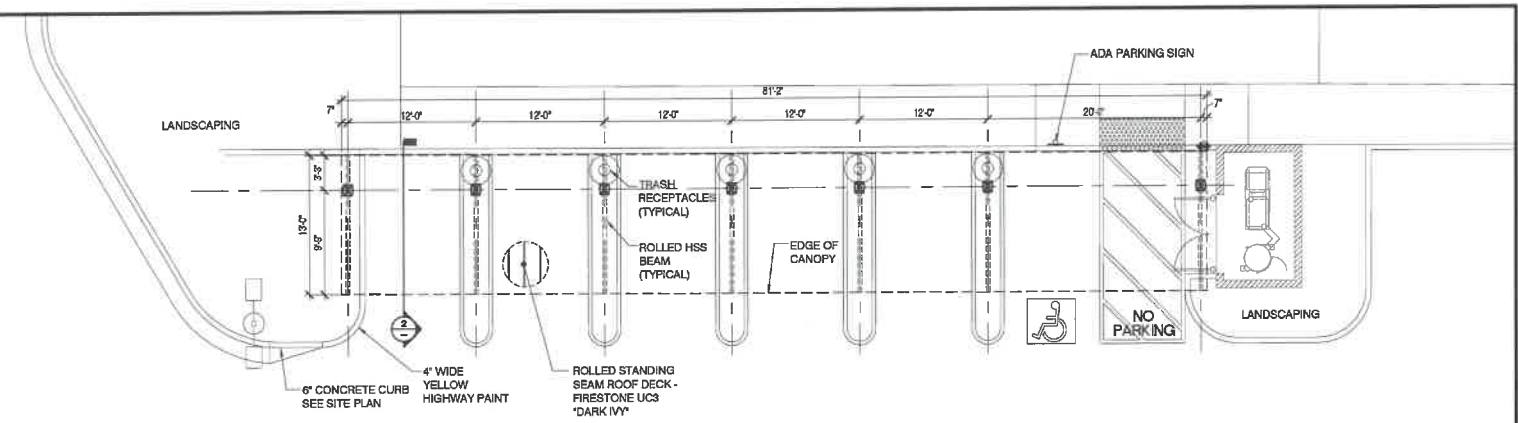
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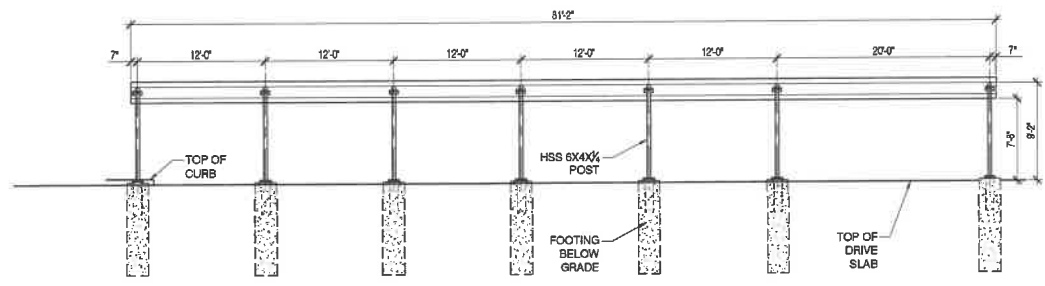
NORTH VACUUM CANOPY  
PHOTO  
SCALE  
N.T.S.  
15



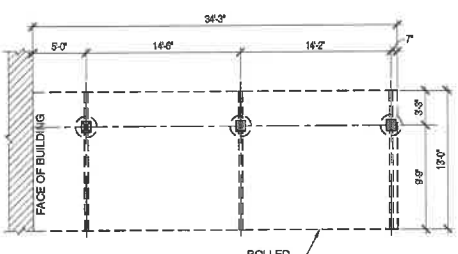
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SCALE  
N.T.S.  
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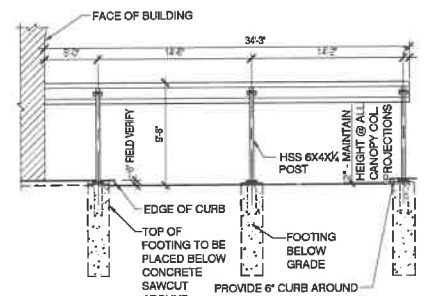
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FLOOR PLAN  
SCALE  
1/8" = 1' - 0"  
4



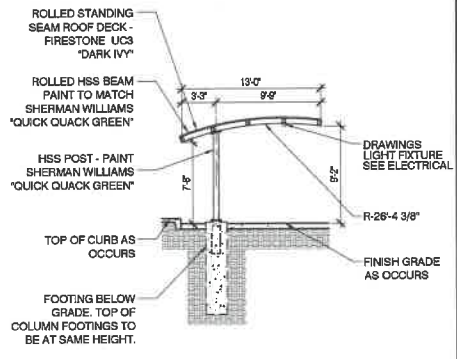
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ELEVATION  
SCALE  
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3



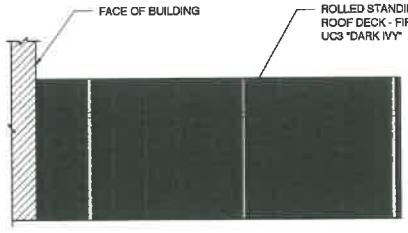
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FLOOR PLAN  
SCALE  
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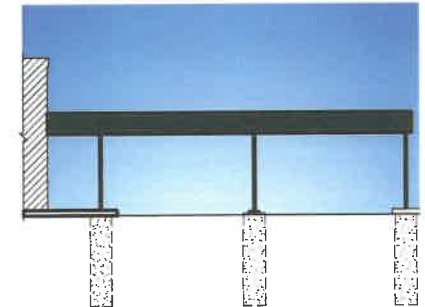
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ELEVATION  
SCALE  
1/8" = 1' - 0"  
6



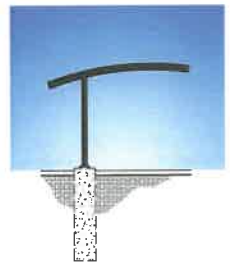
TYPICAL CANOPY  
SECTION  
SCALE  
1/8" = 1' - 0"  
2



PAY STATION CANOPY  
COLOR ROOF PLAN  
SCALE  
1/8" = 1' - 0"  
9



PAY STATION CANOPY  
COLOR ELEVATION  
SCALE  
1/8" = 1' - 0"  
5



TYPICAL CANOPY  
COLOR SIDE ELEVATION  
SCALE  
1/8" = 1' - 0"  
1



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A Project for:



(STORE 26-128)  
2059 NEVADA CITY HWY  
GRASS VALLEY, CA 95945

Client:  
**QUICK QUACK CAR WASH**  
1380 LEAD HILLS BLVD., STE. 260  
ROSEVILLE, CA 95661

Revisions:

UPDATED ENTITLEMENT 04/07/2022  
PLANNING SUBMITTAL 12/03/2021  
CLIENT REVISION 10/15/2021  
CLIENT COORDINATION 10/01/2021  
No. Description Date  
Project No.: 210615.01  
Drawn By: TC  
Reviewed By: ..  
Scale: AS NOTED  
Date:  
Filename:  
Sheet Title:

NORTH VACUUM CANOPY

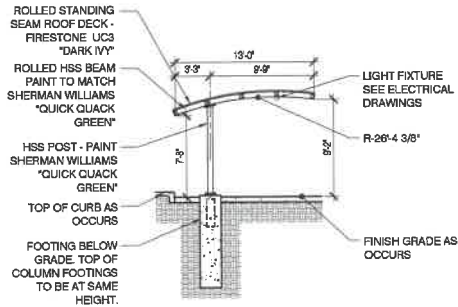
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**AS 5.01**



SOUTH VACUUM CANOPY  
PHOTO

SCALE  
N.T.S.

14



TYP. CANOPY SECTION  
DETAIL

SCALE  
1/8" = 1'-0"

17

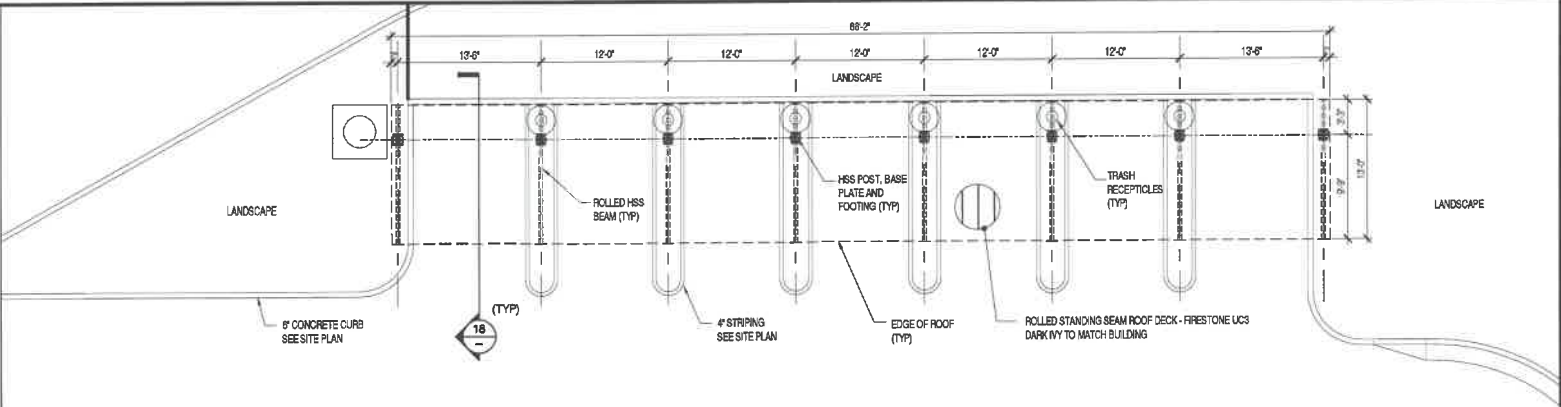


TYP. CANOPY SIDE ELEVATION

COLORED

SCALE  
1/8" = 1'-0"

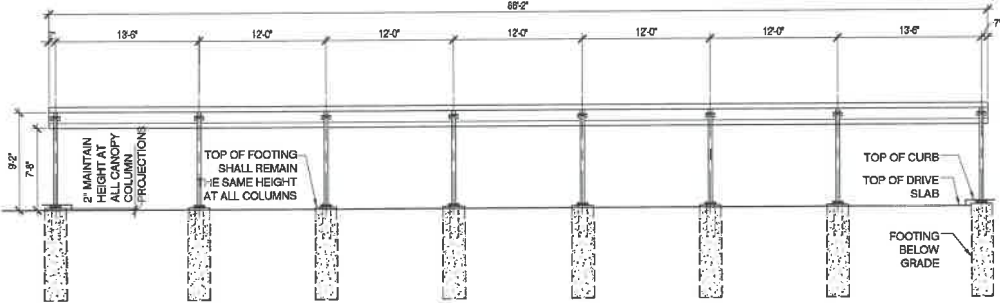
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SOUTH VACUUM CANOPY  
FLOOR PLAN

SCALE  
1/8" = 1'-0"

4



SOUTH VACUUM CANOPY  
ELEVATION

SCALE  
1/8" = 1'-0"

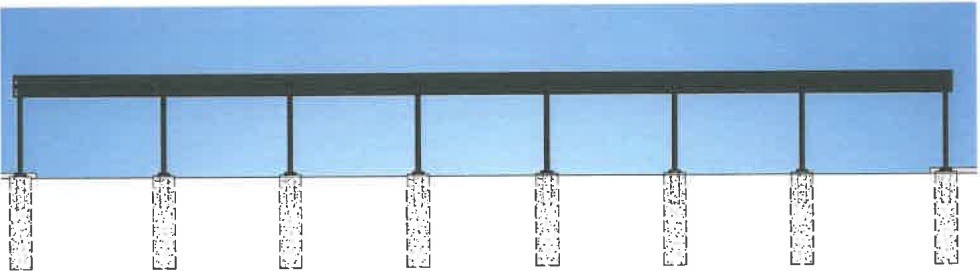
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SOUTH VACUUM CANOPY  
ROOF PLAN

SCALE  
1/8" = 1'-0"

2



SOUTH VACUUM CANOPY  
COLOR ELEVATION TYPICAL

SCALE  
1/8" = 1'-0"

1



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A Project for:



(STORE 26-128)  
2059 NEVADA CITY HWY  
GRASS VALLEY, CA 95945

Client:

QUICK QUACK CAR WASH  
1380 LEAD HILLS BLVD., STE. 260  
ROSEVILLE, CA 95661

Revisions:

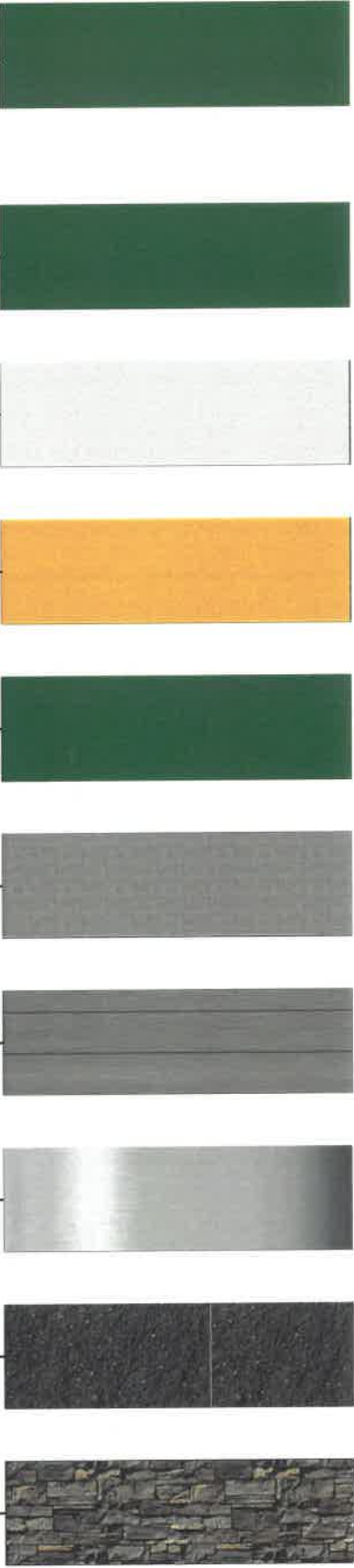
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PLANNING SUBMITTAL	12/03/2021	
CLIENT REVISION	10/15/2021	
CLIENT COORDINATION	10/01/2021	
No.	Description	Date
Project No.:	210615.01	
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Date:		
Filename:	--	
Sheet Title:		

SOUTH VACUUM CANOPY

Sheet #:

AS 5.02





- RF - METAL ROOF FASCIA  
SHERWIN WILLIAMS #6927 "GREENBELT"
- CP - CEMENT PLASTER COLOR COAT
- P1 - SHERWIN WILLIAMS #6927 "GREENBELT"
- P3 - SHERWIN WILLIAMS #7004 "SNOWBOARD"
- P2 - SHERWIN WILLIAMS #6902 "DECISIVE YELLOW"
- SS1 - STANDING SEAM METAL CANOPY FIRESTONE  
UC3 - "DARK IVY"
- CM 1 - BASALITE SMOOTH HONED FACE  
CONCRETE MASONRY UNITS - INTEGRAL COLOR  
STANDARD #225 "LIGHT GRAY"
- JAMES HARDIE BUILDING PRODUCTS- PAINT TO  
MATCH SHERWIN WILLIAMS #7030 "ANEW GRAY"
- W1 - EXTERIOR STOREFRONT SYSTEM  
CLEAR ANODIZED ALUMINUM STOREFRONT
- CM 3 - PRECISION FACE CONC. MASONRY SILL  
INTEGRAL STANDARD COLOR #790 - DARK GRAY
- SV - STONE VENEER, CORONADO STONE, 9000  
SERIES - GRAY, OLD WORLD LEDGE MODEL AND  
MONARCH COLOR.

FINISH AND MATERIAL BOARD



LADG | LA Design Group, Inc.  
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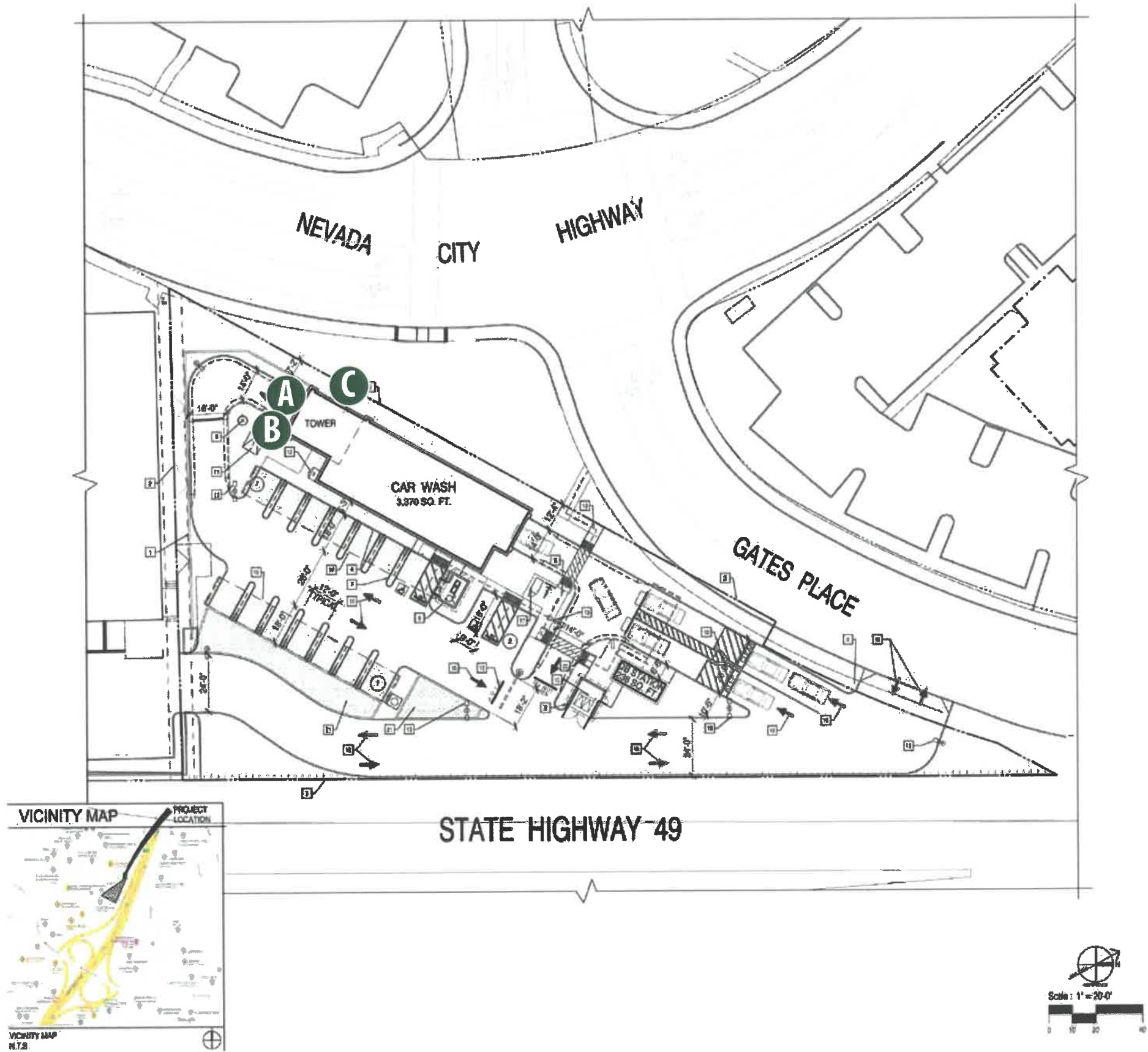
QUICK QUACK CAR WASH  
NEVADA CITY HWY AND GATES PLACE  
GRASS VALLEY, CA



LADG JOB #:	210615
DATE:	04/28/2022
REVISIONS:	

Quick Quack | Grass Valley, CA

NOTE: Renderings below utilize sample dimensions.



**FAIRMONT**  
SIGN COMPANY

3750 East Outer Drive  
Detroit, MI 48234  
t: 313.368.4000 f: 313.368.9335  
www.fairmontsign.com



Quick Quack Car Wash #6-128  
Nevada City Hwy & Gates  
Grass Valley, CA

Date:  
1/12/22

File:  
Accounts/Misc/Quick Quack/Elev/  
Grass Valley, CA

Designer:  
RNB

Scale:  
NA

Job#  
00000

Sheet#  
1 of 6

Revision #  
3

Date:  
4-8-22

Revision Description:

Customer  
Approval:

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ALL DIMENSIONS TO BE  
FIELD VERIFIED PRIOR TO  
INSTALLATION

Quick Quack | Grass Valley, CA

NOTE: Renderings below utilize sample dimensions.






**FAIRMONT**  
SIGN COMPANY

3750 East Outer Drive  
Detroit, MI 48234  
t: 313.368.4000 f: 313.368.9335  
www.fairmontsign.com

Client:



Quick Quack Car Wash #6-128  
Nevada City Hwy & Gates  
Grass Valley, CA

Date:  
1/12/22

File:  
Accounts/Misc/Quick Quack/Elev/  
Grass Valley, CA

Designer:  
RNB

Scale:  
NA

Job#  
00000

Sheet#  
2 of 6

Revision #  
3

Date:  
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Approval:

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# Quick Quack | Grass Valley, CA

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FAIRMONT  
SIGN COMPANY

3750 East Outer Drive  
Detroit, MI 48234  
t: 313.368.4000 f: 313.368.9335  
www.fairmontsign.com

Client:



Quick Quack Car Wash #6-128  
Nevada City Hwy & Gates  
Grass Valley, CA

Date:  
1/12/22

File:  
Accounts/Misc/Quick Quack/Elev/  
Grass Valley, CA

Designer:  
RNB

Scale:  
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Job#  
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Sheet#  
3 of 6

Revision #  
3

Date:  
4-8-22

Revision Description:

Customer  
Approval:

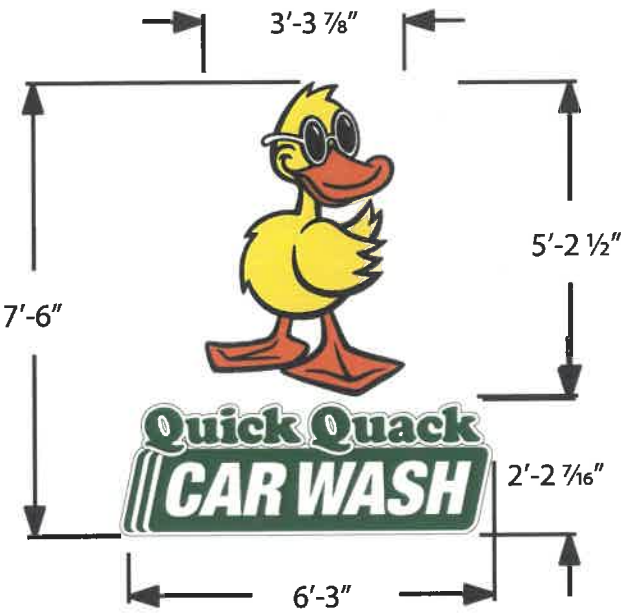
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INSTALLATION

Quick Quack | Grass Valley, CA

NOTE: Renderings below utilize sample dimensions.



Vinyl Film Color Schedule

A	B	C	D
3M 3630-22 Black	3M 3630-26 Green	3M 3630-015 Yellow	3M 3630-74 Kumquat Orange



A QTY 1: Exterior Illuminated Wall Sign

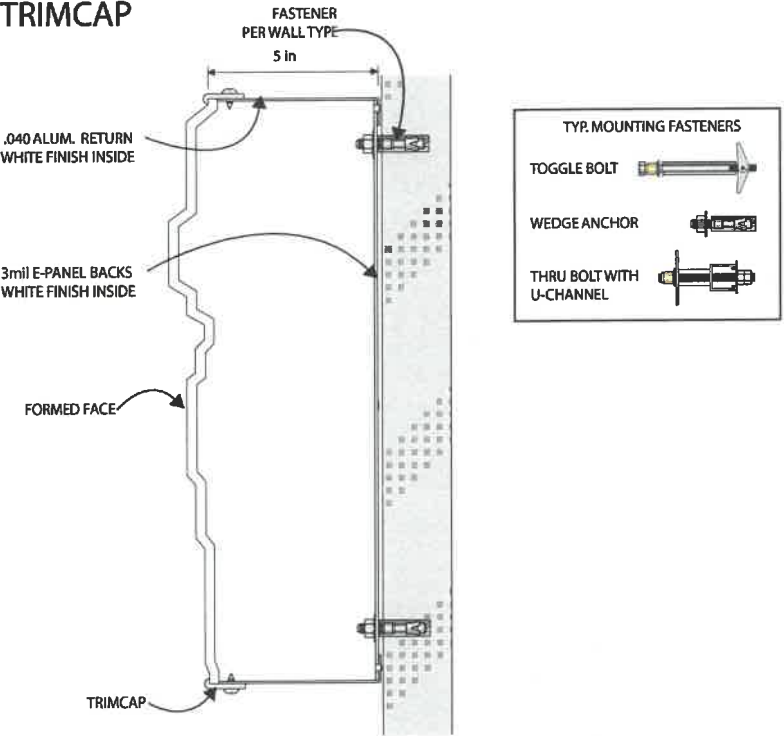
Stacked Sign (46.9 SqFt)

Material Schedule

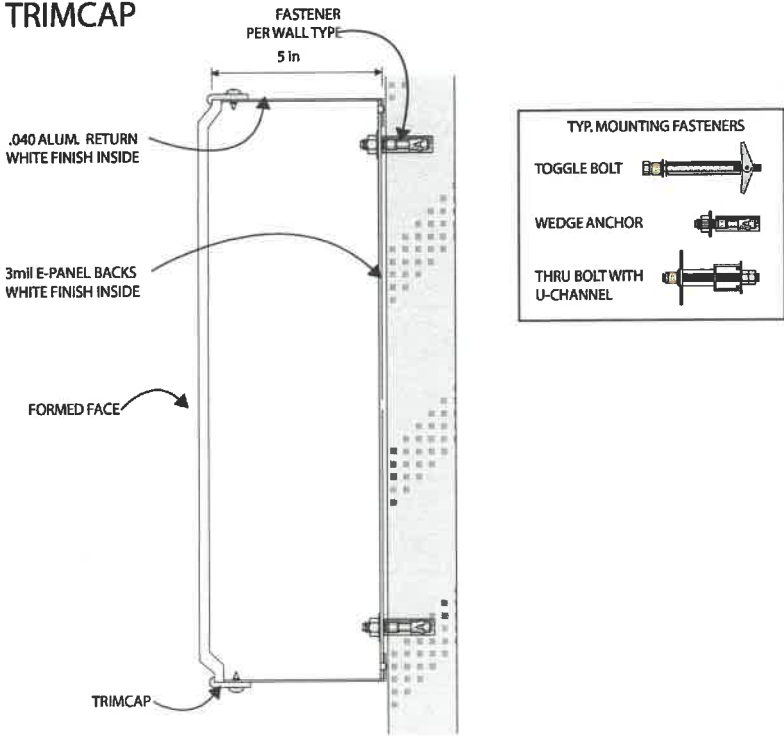
Fabricated aluminum, cloud-shaped channel construction. Face to be White acrylic with 3M vinyl film overlays (see color schedule). Returns and trimcap to be painted White.

THREE DIMENSIONAL CONTOURED FACE

DUCK SECTION  
FLUSH WALL MOUNT  
TRIMCAP



LETTER SECTION  
FLUSH WALL MOUNT  
TRIMCAP



**FAIRMONT**  
SIGN COMPANY  
3750 East Outer Drive  
Detroit, MI 48234  
t: 313.368.4000 f: 313.368.9335  
www.fairmontsign.com

Client:  
**Quick Quack**  
**CAR WASH**

Quick Quack Car Wash #6-128  
Nevada City Hwy & Gates  
Grass Valley, CA

Date:  
1/12/22  
File:  
Accounts/Misc/Quick Quack/Elev/  
Grass Valley, CA

Designer:  
RNB

Scale:  
NA  
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00000  
Revision #  
3  
Sheet#  
4 of 6  
Date:  
4-8-22

Revision Description:

Customer  
Approval:

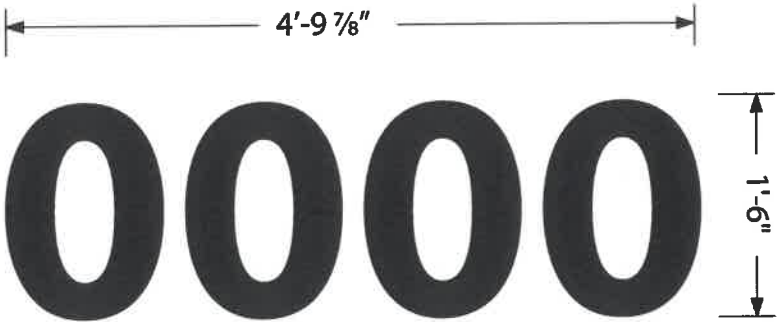
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ALL DIMENSIONS TO BE  
FIELD VERIFIED PRIOR TO  
INSTALLATION

Quick Quack | Grass Valley, CA

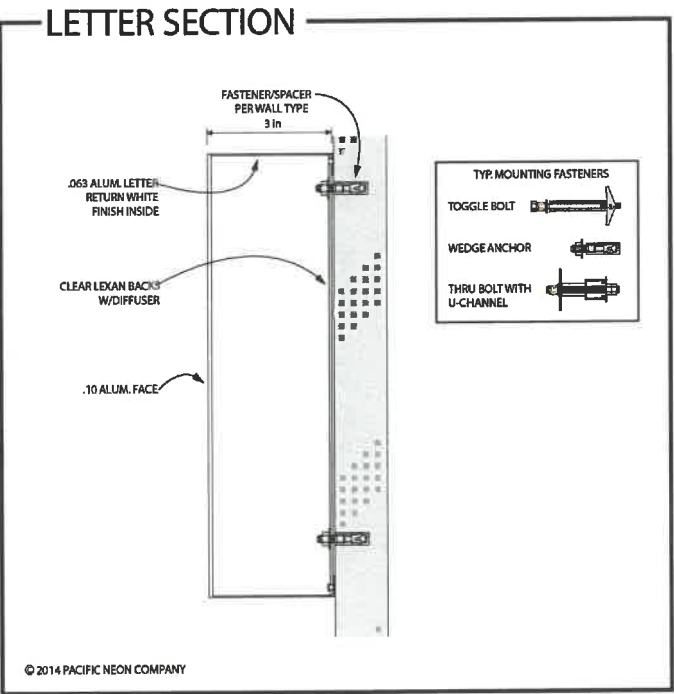
NOTE: Renderings below utilize sample dimensions.




**B QTY 1: Reverse Pan Channel Numerals**  
Area for this sign not included in overall signage area calculation  
NOTE: Address to be confirmed before manufacturing

**Material Schedule**


Numerals  
Fabricated aluminum, reverse pan channel construction with faces and returns painted Black, satin finish. Backs to be Clear Lexan.





3750 East Outer Drive  
Detroit, MI 48234  
t: 313.368.4000 f: 313.368.9335  
www.fairmontsign.com

Client:



Quick Quack Car Wash #6-128  
Nevada City Hwy & Gates  
Grass Valley, CA

Date:  
1/12/22

File:  
Accounts/Misc/Quick Quack/Elev/  
Grass Valley, CA

Designer:  
RNB

Scale:  
NA

Job#	Sheet#
00000	5 of 6
Revision #	Date:
3	4-8-22

Revision Description:


Customer Approval:

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ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO INSTALLATION

Quick Quack | Grass Valley, CA

NOTE: Renderings below utilize sample dimensions.



**QTY 1: Exterior Illuminated Wall Sign**  
(69.2 SqFt)

Vinyl Film Color Schedule

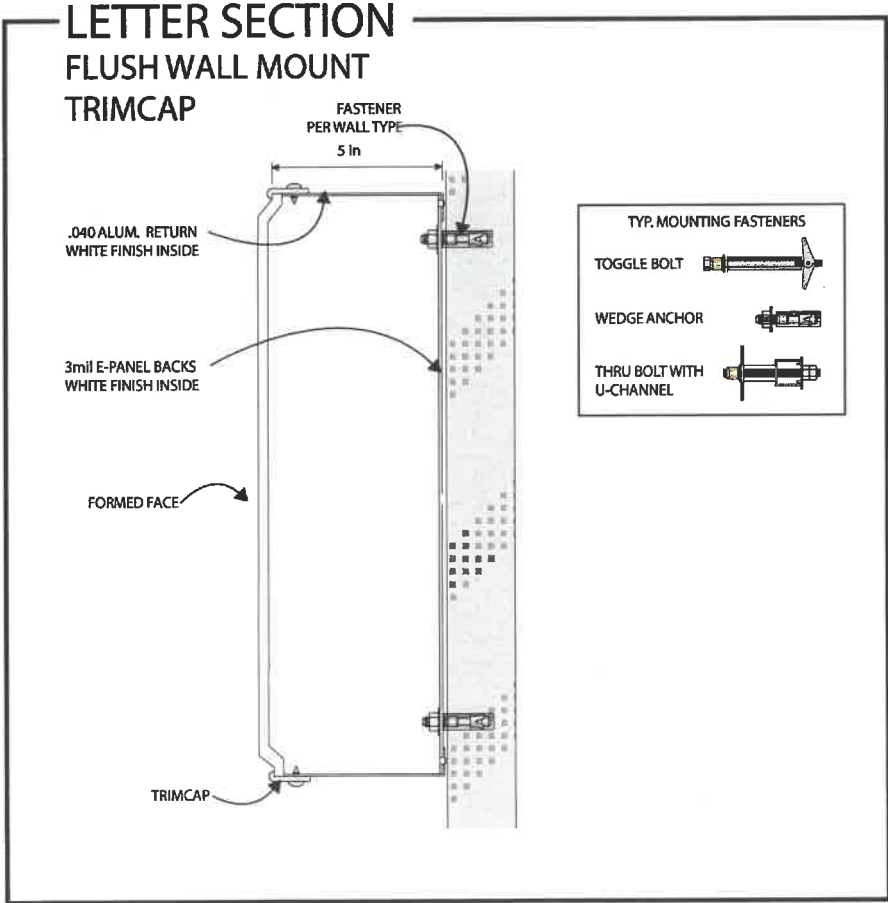
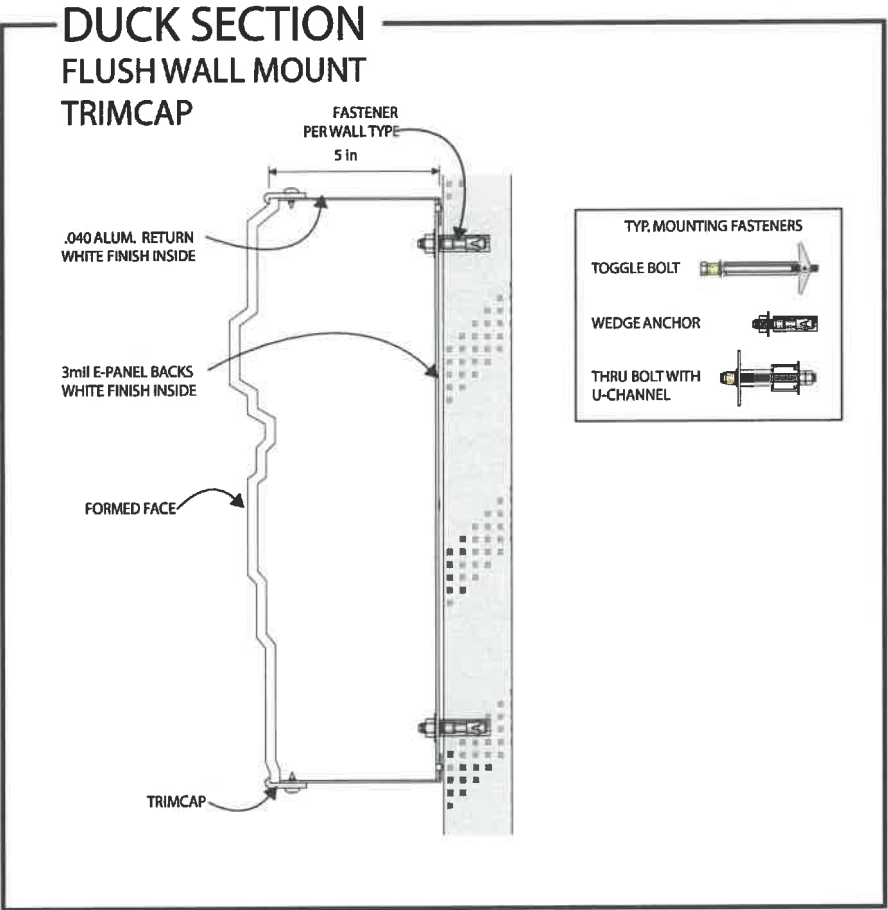
<b>A</b>	<b>B</b>	<b>C</b>	<b>D</b>
3M 3630-22 Black	3M 3630-26 Green	3M 3630-015 Yellow	3M 3630-74 Kumquat Orange

Material Schedule

Fabricated aluminum, cloud-shaped channel construction. Face to be White acrylic with 3M vinyl film overlays (see color schedule). Returns and trimcap to be painted White.



THREE DIMENSIONAL CONTOURED FACE



**FAIRMONT**  
SIGN COMPANY

3750 East Outer Drive  
Detroit, MI 48234  
t: 313.368.4000 f: 313.368.9335  
www.fairmontsign.com

Client:

**Quick Quack**  
**CAR WASH**

Quick Quack Car Wash #6-128  
Nevada City Hwy & Gates  
Grass Valley, CA

Date:  
1/12/22

File:  
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Grass Valley, CA

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