

145 Mill Development Review, 24PLN-01

ATTACHMENT LIST

1. Vicinity and Aerial Map
2. Universal and DRC Applications
3. Improvement Plans:
 - a. Existing / Proposed Floor Plans
 - b. Existing / Proposed Front Elevation (west)
 - c. Existing / Proposed Rear (east) and north Elevations
 - d. Section drawings, window and door schedule
 - e. Exterior alteration renderings

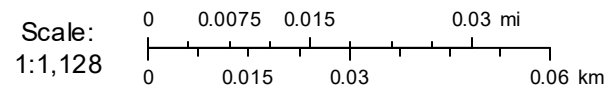
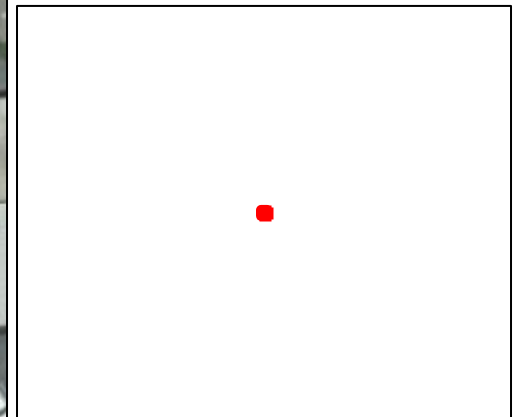
Aerial Map, 145 Mill



Parcel APN: 008-372-012
145 MILL STREET

Land Value: \$195,168.00
Improvement Value: \$227,377.00
Acreage: Unknown
Zoning: TC-H GVCity
General Plan: C GVCity
Fire District: Grass Valley
Elementary Sch. Dist: Grass Valley
Water District:
Nevada Irrigation Dist:
Public Utility:
Park District:
Service Area: Solid Waste Grass Valley - Csa 32
Snow Load: 43 lbs/sqft
Wind Exposure: C
Climate Zone: 11
Elevation: 2,414 feet

Overview



UNIVERSAL PLANNING APPLICATION
 * DUE WITH EVERY PLANNING APPLICATION *



Application Types

Administrative

- Limited Term Permit \$698.00
- Zoning Interpretation \$224.00

Development Review

- Minor Development Review – 10,000 or less sq. ft. \$1,813.00
- Major Development Review – over 10,000 sq. ft. \$3,293.00
- Conceptual Review - Minor \$459.00
- Conceptual Review – Major \$782.00
- Plan Revisions – Staff Review \$316.00
- Plan Revisions – DRC / PC Review \$831.00
- Extensions of Time – Staff Review \$282.00
- Extensions of Time – DRC / PC Review \$607.00

Entitlements

- Annexation \$7,843.00 (deposit)
- Condominium Conversion \$4,923.00 (deposit)
- Development Agreement – New \$18,463.00 (deposit)
- Development Agreement – Revision \$6,903.00
- General Plan Amendment \$7,377.00
- Planned Unit Development \$8,150.00 (minimum charge) + 100.00 / dwelling unit and / or \$100 / every 1,000 sq. ft. commercial floor area
- Specific Plan Review - New Actual costs - \$16,966.00 (deposit)
- Specific Plan Review - Amendments / Revisions Actual costs - \$6,986.00 (deposit)
- Zoning Text Amendment \$3,102.00
- Zoning Map Amendment \$5,073.00

Environmental

- Environmental Review – Initial Study \$1,713.00
- Environmental Review – EIR Preparation \$31,604.00 (deposit)
- Environmental Review - Notice of Determination \$149.00 (+ Dept. of Fish and Game Fees)
- Environmental Review - Notice of Exemption \$149.00(+ County Filing Fee)

Sign Reviews

- Minor – DRC, Historic District, Monument Signs or other districts having specific design criteria \$313.00
- Major – Master Sign Programs \$1,279.00
- Exception to Sign Ordinance \$964.00

Subdivisions

- Tentative Map (4 or fewer lots) \$3,493.00
- Tentative Map (5 to 10 lots) \$4,857.00
- Tentative Map (11 to 25 lots) \$6,503.00
- Tentative Map (26 to 50 lots) \$8,915.00
- Tentative Map (51 lots or more) \$13,049.00
- Minor Amendment to Approved Map (staff) \$1,114.00
- Major Amendment to Approved Map (Public Hearing) \$2,436.00
- Reversion to Acreage \$765.00
- Tentative Map Extensions \$1,047.00
- Tentative Map - Lot Line Adjustments \$1,200.00

Use Permits

- Minor Use Permit - Staff Review \$480.00
- Major Use Permit - Planning Commission Review \$3,035.00

Variations

- Minor Variance - Staff Review \$518.00
- Major Variance - Planning Commission Review \$2,029.00

<u>Application</u>	<u>Fee</u>
MDR	1813.00
Total:	\$1813.00

Below is the Universal Planning Application form and instructions for submitting a complete planning application. In addition to the Universal Planning Application form, a project specific checklist shall be submitted. All forms and submittal requirements must be completely filled out and submitted with any necessary supporting information.

Upon receipt of the **completed forms, site plan/maps, and filing fees**, the Community Development Department will determine the completeness of the application. This review will be completed as soon as possible, but within thirty (30) days of the submittal of the application. If the application is determined to be complete, the City will begin environmental review, circulate the project for review by agencies and staff, and then schedule the application for a hearing before the Planning Commission.

If sufficient information **has not** been submitted to adequately process your application, you will receive a notice that your application is incomplete along with instructions on how to complete the application. Once the City receives the additional information or revised application, the thirty (30) day review period will begin again.

Since the information contained in your application is used to evaluate the project and in the preparation of the staff report, it is important that you provide complete and accurate information. Please review and respond to each question. If a response is not applicable, N/A should be used in the space provided. Failure to provide adequate information could delay the processing of your application.

Additional information may be obtained at www.cityofgrassvalley.com regarding the 2020 General Plan and Zoning. You may also contact the Community Development Department for assistance.

ADVISORY RE: FISH AND GAME FEE REQUIREMENT

Permit applicants are advised that pursuant to Section 711.4 of the Fish and Game Code a fee of **\$3,539.25** for an Environmental Impact Report and **\$2,548.00** for a Negative Declaration* shall be paid to the County Recorder at the time of recording the Notice of Determination for this project. This fee is required for Notices of Determination recorded after January 1, 1991. A Notice of Determination cannot be filed and any approval of the project shall not be operative, vested, or final until the required fee is paid. This shall mean that building, public works and other development permits cannot be approved until this fee is paid. These fees are accurate at the time of printing, but **increase the subsequent January 1st** of each year.

This fee is **not** a Grass Valley fee; it is required to be collected by the County pursuant to State law for transmission to the Department of Fish and Game. This fee was enacted by the State Legislature in September 1990, to be effective January 1, 1991.

*If the City finds that the project will not have an impact on wildlife resources, through a De Minimus Impact Finding, the City will issue certificate of fee exemption. Therefore, this fee will not be required to be paid at the time an applicant files the Notice of Determination with the County Recorder. The County's posting and filing fees will still be required.

4. **Cortese List:** Is the proposed property located on a site which is included on the Hazardous Waste and Substances List (Cortese List)? Y _____ N N

The Cortese List is available for review at the Community Development Department counter. If the property is on the List, please contact the Planning Division to determine appropriate notification procedures prior to submitting your application for processing (Government Code Section 65962.5).

5. **Indemnification:** The City has determined that City, its employees, agents and officials should, to the fullest extent permitted by law, be fully protected from any loss, injury, damage, claim, lawsuit, expense, attorney’s fees, litigation expenses, court costs or any other costs arising out of or in any way related to the issuance of this permit, or the activities conducted pursuant to this permit. Accordingly, to the fullest extent permitted by law, the applicant shall defend, indemnify and hold harmless City, its employees, agents and officials, from and against any liability, claims, suits, actions, arbitration proceedings, regulatory proceedings, losses, expenses or costs of any kind, whether actual, alleged or threatened, including, but not limited to, actual attorney’s fees, litigation expenses and court costs of any kind without restriction or limitation, incurred in relation to, as a consequence of, arising out of or in any way attributable to, actually, allegedly or impliedly, in whole or in part, the issuance of this permit, or the activities conducted pursuant to this permit. Applicant shall pay such obligations as they are incurred by City, its employees, agents and officials, and in the event of any claim or lawsuit, shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.

6. **Appeal:** Permits shall not be issued until such time as the appeal period has lapsed. A determination or final action shall become effective on the 16th day following the date by the appropriate review authority, where no appeal of the review authority’s action has been filed in compliance with Chapter 17.91 of the City’s Development Code.

The 15-day period (also known as the “appeal” period in compliance with Chapter 17.91) begins the first full day after the date of decision that the City Hall is open for business, and extends to the close of business (5:00 p.m.) on the 15th day, or the very next day that the City Hall is open for business.

I hereby certify, to the best of my knowledge, that the above statements are correct.

Property Owner/*Representative Signature: _____

****Property owner must provide a consent letter allowing representative to sign on their behalf.***

Applicant Signature: _____

--OFFICE USE ONLY--	
Application No.:	Date Filed:
Fees Paid by:	Amount Paid:
Other Related Application(s):	

DEVELOPMENT REVIEW



SUPPLEMENTAL APPLICATION INFORMATION

This document will provide necessary information about the proposed project. It will also be used to evaluate potential environmental impacts created by the project. Please be as accurate and complete as possible in answering the questions. Further environmental information could be required from the applicant to evaluate the project.

**PLEASE PRINT CLEARLY OR TYPE
 USE A SEPARATE SHEET, IF NECESSARY, TO EXPLAIN THE FOLLOWING:**

I. Project Characteristics:

A. Describe all existing buildings and uses of the property: The property currently consists of
Tenant improvement with addition of two new residential units and two new commercial office spaces, all within existing building
footprint.

B. Describe surrounding land uses:

North: Occupied building
 South: Occupied building
 East: Public parking lot
 West: Mill Street public way

C. Describe existing public or private utilities on the property: Public utilities consist of water, sewer,
electricity and natural gas.

D. Proposed building size (if multiple stories, list the square footage for each floor): _____
Basement - 3562 GSF (same as existing)
Level 1 - 3525 GSF (same as existing)
Level 2 - 1738 GSF (same as existing)

E. Proposed building height (measured from average finished grade to highest point): _____
28' at Mill Street. 29' at rear of building.

F. Proposed building site plan:

(1)	Building coverage	<u>3,591</u>	Sq. Ft.	<u>92.7</u>	% of site
(2)	Surfaced area	<u>75</u>	Sq. Ft.	<u>1.9</u>	% of site
(3)	Landscaped area	<u>209</u>	Sq. Ft.	<u>5.4</u>	% of site
(4)	Left in open space	_____	Sq. Ft.	_____	% of site
	Total	_____	Sq. Ft.	100	%

G. Construction phasing: If the project is a portion of an overall larger project, describe future phases or extension. Show all phases on site plan. _____
There is no proposed phasing on this project. _____

H. Exterior Lighting:

1. Identify the type and location of exterior lighting that is proposed for the project. _____
Any lights added will be on the rear of the building and will conform to any requirements of energy usage and historical context. _____

2. Describe how new light sources will be prevented from spilling on adjacent properties or roadways. Shielded downlighting will be not spill over the property line. _____

I. Total number of parking spaces required (per Development Code): 2 _____

J. Total number of parking spaces provided: N/A _____

K. Will the project generate new sources of noise or expose the project to adjacent noise sources? No _____

L. Will the project use or dispose of any potentially hazardous materials, such as toxic substances, flammables, or explosives? If yes, please explain. No _____

M. Will the project generate new sources of dust, smoke, odors, or fumes? If so, please explain. No _____

II. If an **outdoor use** is proposed as part of this project, please complete this section.

A. Type of use:

Sales _____ Processing _____ Storage _____
Manufacturing _____ Other _____

B. Area devoted to outdoor use (shown on site plan). _____

Square feet/acres 278 SF _____ Percentage of site 7.8% _____

C. Describe the proposed outdoor use: Tenant balcony and ground floor open space. _____

SITE PLAN REQUIREMENTS DEVELOPMENT REVIEW CHECKLIST

The following list includes all the items you must submit for a complete application. Some specific types of information may not apply to your project and, as noted, some items are not normally required. If you are not sure, ask Planning Division Staff. Planning Staff will use a copy of this list to check your application for completeness after it is submitted. If your application is not complete, a copy of the list will be returned to you marked according to the legend.

A. Application Checklist:

- One completed copy of Universal Application form.
- One completed copy of the Environmental Review Checklist (if applicable).
- Preliminary Title Report dated no later than 6 months prior to the application filing date.
- The appropriate non-refundable filing fee.

B. Site Plan

- Fifteen (15) Copies of Plan Sets for **Major** Development Review or Eight (8) Copies of Plan Sets for **Minor** Development Review on standard 24" x 36" size paper fan-folded to 9" x 12", one (1) reduced copy at 8 1/2" x 11" and e-mail electronic .pdf version which includes the following information:
 - Neighborhood Site Plan showing surrounding development improvements and natural features within 200 feet of the project site.
 - Project Site Plan drawn to scale and indicating:
 - Dimensioned property lines, north arrow, and any easements on the site
 - Points of access, vehicular circulation, location and dimension of parking areas and spaces
 - Location and any existing structures (specifying building setbacks), including the location and use of the nearest structures on adjacent property, and an indication of structures to be removed
 - Location of any existing or proposed utilities such as water, wastewater and storm drainage
 - Location of any proposed structures and uses (including building setbacks)
 - Open space and buffer areas
 - Walkways, bicycle facilities (bike lanes, parking racks, etc), and ADA compliance facilities on the project site and providing connections to existing off site facilities
 - Pedestrian and bicycle connections to adjacent development (pursuant to the City's Community Design Guidelines)
 - Mailbox locations and trash enclosures
 - Other site features such as outdoor seating areas

- Preliminary Grading and Drainage Plan showing:
 - Existing and proposed contours using City datum (cut and fill slopes)
 - Existing drainage characteristics of the site and a proposed preliminary drainage improvements (including drop inlets, detention basins, etc.)
 - Creek flow lines and flow directions
 - Retaining wall locations, materials, and heights.
 - Locations of existing trees (over 8" in trunk diameter at breast height) and their status (species and to be removed or retained as part of the development (including preservation measures, such as fencing, pavers blocks, etc)
 - Rock outcroppings and other major natural site features
 - Location and construction of temporary and permanent erosion and sedimentation control measures

- Architectural Plans, including elevations of all sides of the building indicating the form and exterior treatment, overall height, roof materials, proposed exterior mechanical equipment, building lighting, building materials and colors.

- Conceptual Landscape Plans indicating general locations of landscaping improvements, including locations of retained trees, newly planted trees, landscape buffers and berms, retaining and/or garden walls and any hardscape areas.

- Cross sections: (If the project site has an average cross slope of greater than ten (10) percent). Two or more sectional views of the project, approximately through the middle and at right angles to each other, showing existing and proposed grades and relationship of buildings, parking and landscaping at maturity, including major features and structures on adjacent properties at the most severe grades at two foot intervals.

- Exterior Lighting Plan including locations of all light standards and placement of building lighting. This plan shall include power rating details, heights, shielding design and cut sheets lighting designs. Include a photo-metric lighting plan, overlaid onto the project site plan, showing lighting levels across the entire site and at property lines.

- Schematic Floor Plan showing interior building layouts, rooms or use areas, square footages of bedrooms, entrances and relationship to exterior use areas.

- Signs: Note if to be submitted under separate permit or include general locations of contemplated signage on building or grounds should be included. Additional details, such as sign construction and materials should also be included, if available. If a major feature of the project involves signage, then the following additional information should be included in the package:
 - Dimensions and square footage of all signs.
 - Dimensions and square footage of building walls on which signs are located.
 - Means of lighting.
 - Heights of all signs.
 - Message that will appear on each sign.
 - Description of materials and colors for letters and background.
 - A scaled drawing of each sign showing typeface and design details.

- Color Architectural Elevations: One copy reduced to 8 ½" x 11" colored architectural elevations.
- Reduced Site Plan and Architectural Elevations: One copy each reduced 8 ½" x 11".
- Materials Sample Board with colors and textures of exterior architectural materials securely mounted on a maximum 8 ½" x 14" size illustration or poster board.

C. Optional Items

- Site Photographs of the project site, including neighboring development and including a key map of where each photo has been taken.
- Perspective rendering as required by staff, the Development Review Committee, or the Planning Commission.
- Photo Articulation of proposed physical improvements overlaid onto photos of site.
- Scaled Model upon request of the Development Review Committee or Planning Commission.

VARIANCE



SUPPLEMENTAL APPLICATION INFORMATION

This document will provide necessary information about the proposed project. It will also be used to evaluate potential environmental impacts created by the project. Please be as accurate and complete as possible in answering the questions. Further environmental information could be required from the applicant to evaluate the project.

**PLEASE PRINT CLEARLY OR TYPE
USE A SEPARATE SHEET, IF NECESSARY, TO EXPLAIN THE FOLLOWING:**

- I. Provide a written response for the variance request and provide a written justification statement to support findings listed in Section 17.72.070 F of the Development Code, including the following:
 - A. There are special circumstances applicable to the property, including location, shape, size, surroundings, and topography, so that the strict application of this Development Code deprives the property of privileges enjoyed by other property in the vicinity and within the same zone;
 - B. The approval of the Variance or Minor Variance includes conditions of approval as necessary to ensure that the adjustment granted does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and within the same zone; and,
 - C. The granting of the application will not authorize an activity or use which is not otherwise expressly authorized by the zone governing the parcel of property for which the application is made.

II. Project Characteristics:

A. Describe all existing buildings and uses of the property: The property currently consists of
Tenant improvement with addition of two new residential units and two new commercial office spaces, all within existing building
footprint.
Level 2 - 1738 GSF (same as existing)

B. Describe surrounding land uses:

North: Occupied building
South: Occupied building
East: Public parking lot
West: Mill Street public way

SITE PLAN REQUIREMENTS

A site plan is a scale drawing that depicts a property's size and shape, existing improvements on the property, and improvements or additions which are intended to be added. The site plan should be as complete and accurate as possible since it will be used by several City departments to check various requirements of the development application. Please place a check or N/A on the line provided in the below checklist. Submit this page along with the map and application packet.

A. Application Checklist:

- One completed copy of Universal Application form.
- One completed copy of the Environmental Review Checklist (if applicable).
- Preliminary Title Report dated no later than 6 months prior to the application filing date.
- The appropriate non-refundable filing fee.

B. Site Plan Submittal:

- Site Plan size – one 8-1/2" x 11", 15 larger folded copies (folded to 9" x 12") with one 8.5 x 11" reduced copy and e-mail electronic .pdf file.
- Graphic scale and north arrow.
- Vicinity map (showing property location to major roads or major landmarks).
- Show location and dimensions of existing and proposed structures and walls.
- (Identify existing as a solid line and proposed as a dashed line).
- Label the use of all existing and proposed structures or area.
- Show the distance between structures and to the property lines.
- Show site access, location and dimensions of adjacent street right-of-way, property lines, building setback lines, sidewalks and easements.
- Show off-street parking facilities, including parking area and layout, loading areas trash storage areas, dimensions and numbers of individual parking spaces (including handicapped spaces) and aisles.



RUSSELL DAVIDSON
ARCHITECTURE + DESIGN

Jeff Himeline
Russell Davidson Architecture + Design
149 Crown Point Ct. Suite C
Grass Valley, CA 95945
jeff@davidsonarch.com
(530) 264-5559

February 6, 2024
Subject: Variance Request - 145 Mill Street

To whom it may concern,

On behalf of the building owner at 145 Mill Street, we would like to apply for a variance to allow a balcony to encroach into the 4' required setback at the rear of the property. Adhering to a 4' setback would only allow for a 3'-9" deep deck, which is functionally insufficient for our proposed occupancy. As the rear portion of the building is an addition that is not part of the original historic building, we do not feel a new balcony would affect its historic integrity. It is our opinion that a new balcony would not only add both aesthetic and functional value, but would also align with a previous use. We have discovered existing post bases on top of the existing retaining wall on the property line, indicating a former balcony in the same area we are proposing.

Sincerely,
Jeff Himeline
Architect

ABBREVIATIONS			
AB	ANCHOR BOLT	J-BOX	JUNCTIONBOX
ABV	ABOVE	JT	JOINT
AC	AIR CONDITIONING		
ACOUST	ACOUSTICAL	LAM	LAMINATE
AD	ACCESS DOOR, AREA DRAIN	LOC	LOCATE
ADDL	ADDITIONAL	LWTW	LIGHTWEIGHT
AFF	ABOVE FINISHED FLOOR		
AL	ALUMINUM	MAINT	MAINTENANCE
ALT	ALTERNATE	MAS	MASONRY
ALUM	ALUMINUM	MAT	MATERIAL
ANOD	ANODIZED	MATL	MATERIAL
APPD	APPROVED	MAX	MAXIMUM
APPROX	APPROXIMATE	MECH	MECHANICAL
ARCH	ARCHITECT	MET	METAL
AUTO	AUTOMATIC	MFG	MANUFACTURER
AVG	AVERAGE	MISC	MISCELLANEOUS
		MO	MASONRY OPENING
BDRM	BEDROOM		
BEL	BELOW	NAT	NATURAL
BTWN	BETWEEN	(N)	NEW
BLDG	BUILDING	NOM	NOMINAL
BLK	BLOCK		
BLKG	BLOCKING	OC	ON CENTER
		OD	OUTSIDE DIAMETER
CB	CATCH BASIN	OF	OUTSIDE FACE
CCW	COUNTER CLOCKWISE	OH	OVER HEAD
CEM	CEMENT	OPNG	OPENING
CER	CERAMIC	OPP	OPPOSITE HAND
CFT	CUBIC FOOT		
CIP	CAST-IN-PLACE	PLAM	PLASTICLAMINATE
CJ	CONTROL JOINT	PTTN	PARTITION
CL	CENTERLINE	PERP	PERPENDICULAR
CLG	CEILING	PLMBG	PLUMBING
CLR	CLEAR	PLTF	PLATFORM
CMU	CONCRETE MASONRY UNIT	PLWD	PLYWOOD
CONC	CONCRETE	PNT	PAINT
CONT	CONTINUOUS	PREFAB	PREFABRICATED
CPT	CARPET		
		QTY	QUANTITY
DBL	DOUBLE		
DEG	DEGREE	RA	RETURN AIR
DEM	DEMOLISH	RAD	RADIUS
DEMO	DEMOLITION	REBAR	REINFORCING BAR
DEPT	DEPARTMENT	REF	REFERENCE
DET	DETAIL	REQD	REQUIRED
DIAG	DIAGONAL	REV	REVISION
DIA	DIAMETER	RO	ROUGH OPENING
DIM	DIMENSION	RWD	REDWOOD
DN	DOWN		
DTL	DETAIL	SCHED	SCHEDULE
DWG	DRAWING	SC	SOLID CORE
DS	DOWNSPOUT	SECT	SECTION
		SF	SQUAREFOOT
EA	EACH	SHT	SHEET
EJ	EXPANSION JOINT	SIM	SIMILAR
ELECT	ELECTRICAL	SPECS	SPECIFICATIONS
ENGR	ENGINEER	SQ	SQUARE
EQ	EQUAL	SSTL	STAINLESS STEEL
EQUIP	EQUIPMENT	STD	STANDARD
(E)	EXISTING	STL	STEEL
		STRUCT	STRUCTURAL
FDTN	FOUNDATION		
FE	FIRE EXTINGUISHER	T&B	TOP AND BOTTOM
FEC	FIRE EXTINGUISHER CABINET	T&G	TONGUE & GROOVE
FF	FINISHED FLOOR	TBD	TO BE DETERMINED
FHC	FIRE HOSE CABINET	TD	TRENCH DRAIN
FLR	FLOOR	TRD	TREAD
FOS	FACE OF STUDS	TS	TOP OF SLAB
FP	FIREPROOF	TS	TOP OF STEEL
FT	FEET	TW	TOP OF WALL
FTG	FOOTING	(TYP)	TYPICAL
		UL	UNDERWRITERS LAB
GA	GAUGE	UNO	UNLESS NOTED OTHERWISE
GALV	GALVANIZED	UON	UNLESS OTHERWISE NOTED
GB	GYPNUM BOARD		
GC	GENERAL CONTRACTOR		
GL	GLASS	VERT	VERTICAL
GRND	GROUND	VIF	VERIFY IN FIELD
GWB	GYPNUM WALL BOARD		
		W/	WITH
H	HIGH	W/O	WITHOUT
HORIZ	HORIZONTAL	WC	WATER CLOSET
HR	HOUR	WD	WOOD
		WWM	WELDED WIRE MESH
ID	INSIDE DIAMETER	WP	WATERPROOF
IN	INCH		
INFO	INFORMATION		

SYMBOLS			
	DETAIL SYMBOL	ROOM #	ROOM IDENTIFICATION
	SECTION DETAIL		WINDOW NUMBER
	BUILDING SECTION		DOOR NUMBER
	BUILDING ELEVATION		PARTITION TYPE
	ELEVATION SYMBOL		REVISION SYMBOL
	DIMENSION LINE		HIDDEN OR OVERHEAD LINE
	ALIGNMENT		ELEVATION MARKER

- | GENERAL NOTES | |
|---------------|--|
| 1. | THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND FIELD CONDITIONS. |
| 2. | THE WORK INCLUDED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, TRANSPORTATION, TOOLS AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT, LEAVING ALL WORK READY FOR USE. |
| 3. | PRIOR TO CONSTRUCTION, DISCREPANCIES BETWEEN THE ARCHITECTURAL AND ENGINEERING DRAWINGS SHALL BE REPORTED TO THE ARCHITECT. |
| 4. | THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH THE APPLICABLE UNIFORM BUILDING CODE, HANDICAP ACCESS CODE AND ALL APPLICABLE ORDINANCES, INCLUDING STATE AND LOCAL BUILDING CODES AND REQUIREMENTS. |
| 5. | THESE PLANS INDICATE THE GENERAL EXTENT OF DEMOLITION AND NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL INCLUSIVE. ALL DEMOLITION AND ALL NEW WORK NECESSARY TO ALLOW FOR A FINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THESE DOCUMENTS SHALL BE INCLUDED REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS OR IN THE NOTES. DO NOT DEMOLISH ANY ITEMS THAT APPEAR STRUCTURAL, UNLESS SPECIFICALLY INDICATED TO BE DEMOLISHED IN THE CONSTRUCTION DOCUMENT, WITHOUT PRIOR REVIEW AND WRITTEN APPROVAL BY THE ARCHITECT. |
| 6. | ANY ERRORS, OMISSIONS, AND CONFLICTS FOUND IN THESE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH WORK. |
| 7. | ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE. ALL DIMENSIONS SHALL BE VERIFIED. |
| 8. | THE CONTRACTOR SHALL CONFIRM IN WRITING APPROXIMATE ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION ITEMS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS, AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY POSSIBLE DELAYS AFFECTING OCCUPANCY. |
| 9. | THE CONTRACTOR SHALL PROVIDE A SCHEDULE FOR CONSTRUCTION AS REQUIRED TO MEET THE OWNER'S PHASING REQUIREMENTS AND ULTIMATE COMPLETION DATE. |
| 10. | THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN THE LOCATION OF ANY AND ALL MECHANICAL, ELECTRICAL, TELEPHONE, LIGHTING, PLUMBING AND FIRE SPRINKLER WORK (INCLUDING PIPING, DUCTWORK AND CONDUIT), AND THAT ALL CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED. |
| 11. | NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENT OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFICIENCIES OR DEFECTS DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN THE TIME PERIODS BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING TO THE INTENT OF THE CONTRACT. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS. |
| 12. | THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES CAUSED BY CONTRACTOR AND SUB-CONTRACTORS. |
| 13. | THE CONTRACTOR SHALL REVIEW, APPROVE, STAMP AND SUBMIT WITH REASONABLE PROMPTNESS AND IN SUCH SEQUENCE AS TO CAUSE NO DELAY IN THE WORK, PRODUCT DATA, SHOP DRAWINGS AND SAMPLES FOR THE PROJECT. |
| 14. | BY APPROVING, STAMPING AND SUBMITTING SHOP DRAWINGS, PRODUCT DATA AND SAMPLES, THE CONTRACTOR REPRESENTS THAT HE HAS DETERMINED AND VERIFIED MATERIALS, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION CRITERIA RELATED THERE TO AND THAT HE HAS CHECKED AND COORDINATED THE INFORMATION WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND CONTRACT DOCUMENTS. |
| 15. | THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S REVIEW OF THE SHOP DRAWINGS, PRODUCT DATA OR SAMPLES. UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT IN WRITING OF SUCH DEVIATION AT THE TIME OF SUBMISSION AND THE ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION. |
| 16. | THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT THREE (3) PRINTS, TYPICALLY, OF EACH SHOP DRAWING SUBMITTAL PLUS THREE (3) COPIES OF EITHER PRODUCT DATA OR SAMPLES. |
| 17. | THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR DIMENSIONS OR QUANTITIES ON REVIEWED SUBMITTALS. |
| 18. | SUBSTITUTIONS, REVISIONS AND/OR CHANGES MUST HAVE PRIOR WRITTEN APPROVAL BY THE ARCHITECT. |
| 19. | THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. |
| 20. | THE CONTRACTOR SHALL PROVIDE COMPLETE PRODUCT DATA AND RELATED INFORMATION APPROPRIATE FOR THE OWNER'S MAINTENANCE AND OPERATION OF PRODUCTS FURNISHED UNDER THE CONTRACT. |
| 21. | WORK UNDER THIS CONTRACT SHALL BE WARRANTED BY THE CONTRACTOR AGAINST ALL DEFECTS FOR ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK OR DESIGNATED PORTIONS THEREOF OR FOR ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER OF DESIGNATED EQUIPMENT. IN THE CASE OF ITEMS REMAINING UNCOMPLETED AFTER THE DATE OF SUBSTANTIAL COMPLETION, THE ONE-YEAR WARRANTY PERIOD SHALL BE FROM DATE OF ACCEPTANCE OF SUCH ITEMS. |
| 22. | EACH TRADE SHALL EXAMINE THE PREMISES TO INSURE THAT CONDITIONS ARE APPROPRIATE FOR HIS WORK TO COMMENCE, PRIOR TO COMMENCING HIS WORK. AREAS NOT APPROPRIATE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. COMMENCING WORK IMPLIES ACCEPTANCE OF EXISTING CONDITIONS. |
| 23. | THE GENERAL CONTRACTOR SHALL ASSIST IN THE COORDINATION AND BE RESPONSIBLE FOR THE INSTALLATION OF N.I.C. ITEMS, INCLUDING BUT NOT LIMITED TO FURNITURE, EQUIPMENT, APPLIANCES, PLUMBING FIXTURES, DISHWASHERS, VOICE/ DATA CABLING, TELEPHONE WORK, ETC. |
| 24. | THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE INSTALLATION AS REQUIRED FOR ACCESSORY ITEMS INCLUDING SINK, DISHWASHER, REFRIGERATOR, LAUNDRY EQUIPMENT, ETC. |
| 25. | ALL DRAWINGS AND NOTES ARE CONSIDERED COMPLEMENTARY. AND WHAT IS CALLED FOR BY EITHER WILL BE AS BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE SET OF DRAWINGS SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DRAWINGS. |
| 26. | VERIFY ALL ARCHITECTURAL DETAILS AND COORDINATE DRAWINGS WITH STRUCTURAL AND MEP DRAWINGS BEFORE INITIATION OF ANY RELATED WORK. |
| 27. | ALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, INDUSTRY AND BUILDING STANDARDS, AND CODE REQUIREMENTS. SEALANT, WEATHERSTRIPPING, AND FLASHING LOCATIONS IN DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. |
| 28. | LARGER SCALE DETAILED DRAWINGS SUPERCEDES SMALLER SCALED ELEVATION AND PLAN DRAWINGS. |

PROJECT TEAM	
OWNER: RHF PROPERTIES 10656 ALTA STREET GRASS VALLEY, CA 95945 (530) 559-3366	ARCHITECT: RUSSELL DAVIDSON ARCHITECTURE + DESIGN CONTACT: RUSSELL DAVIDSON 145 CROWN POINT CT, SUITE C GRASS VALLEY, CA 95945 T (530) 913-2370
STRUCTURAL ENGINEER: WILLIAM FRECHTER PO BOX 454 NEVADA CITY, CA 95959	MECHANICAL ENGINEER: MELAS ENERGY ENGINEERING CONTACT: MICHAEL MELAS 547 UREN ST #1 NEVADA CITY, CA 95959 T (530) 265-2492
ENERGY ANALYSIS: MELAS ENERGY ENGINEERING CONTACT: MICHAEL MELAS 547 UREN ST #1 NEVADA CITY, CA 95959 T (530) 265-2492	

APPLICABLE CODES	SCOPE OF WORK
ALL CODES REFERENCED ARE TO BE USED AS AMENDED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTION. 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA GREEN BUILDING CODE 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA ENERGY CODE	PROJECT CONSISTS OF THE FOLLOWING WORK: TENANT IMPROVEMENT WITH ADDITION OF TWO NEW RESIDENTIAL UNITS AND TWO NEW COMMERCIAL OFFICE SPACES.

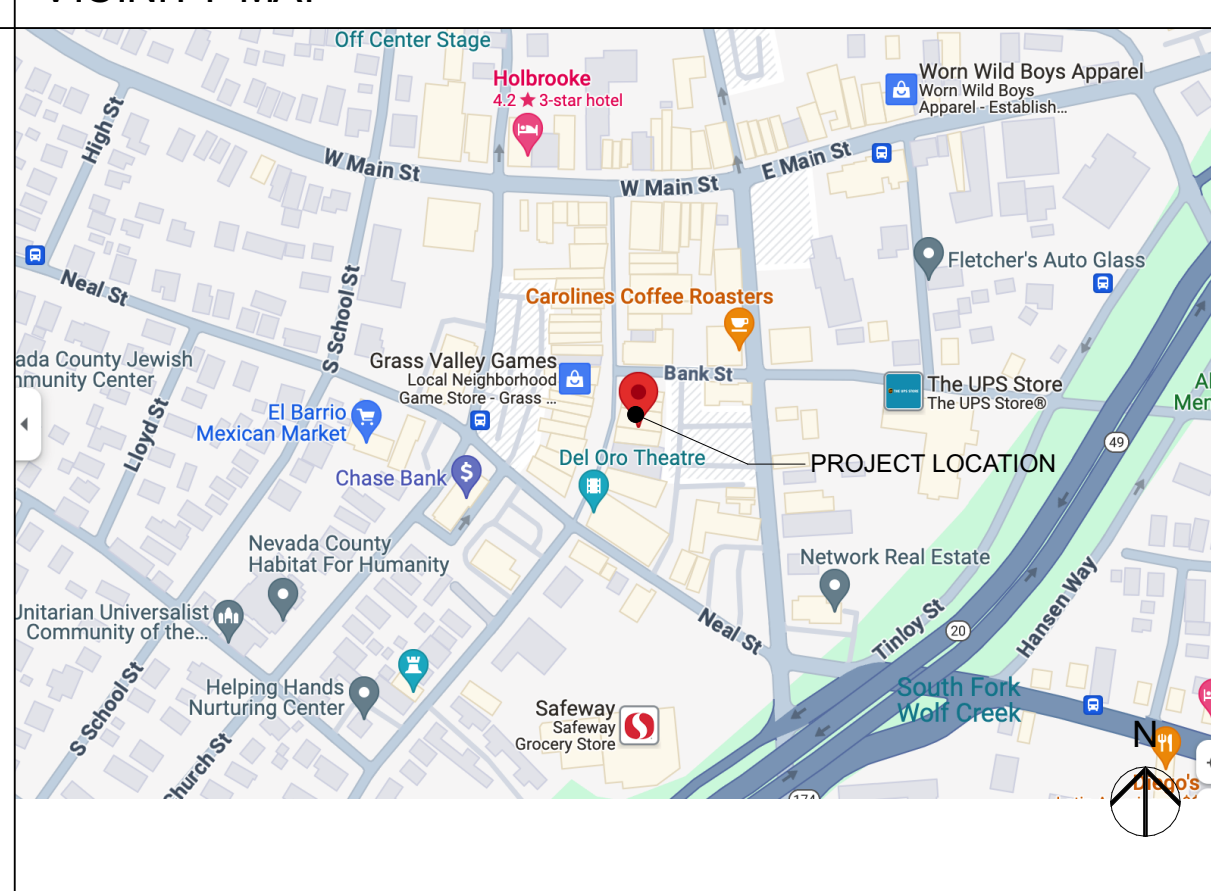
SPECIAL INSPECTIONS
THE FOLLOWING SPECIAL INSPECTIONS ARE REQUIRED: FIRE SPRINKLERS

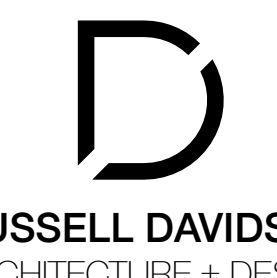
PROJECT DATA	
SITE DATA	
ADDRESS: 145 MILL STREET GRASS VALLEY, CA 95945 (530) 008-372-012	A.P.N.: 008-372-012
ELEVATION: 2,421 SNOW LOAD: 43 LBS/SQ FT WIND EXPOSURE: C CLIMATE ZONE: 11	
ZONING: TC-H GVCITY SITE AREA: 3875 SQ FT ALLOWABLE COVERAGE: 80% MIN. ACTUAL COVERAGE: 3,591 SQ FT (92.7%) MAX. HEIGHT: 3 STORIES OR 45'	
SETBACKS: FRONT: 0' INTERIOR: 0' EXTERIOR: 0' REAR: 10'	
BUILDING ANALYSIS	
OCC. GROUP: B, R3 CONST. TYPE: VB FIRE SPRINKLERS: NFPA 13	
AREAS:	
UNIT 1: 1627 GSF UNIT 1 PATIO: 262 GSF	
UNIT 2: 881 GSF UNIT 2 DECK: 261 GSF	
OFFICE SUITE 1: 1013 GSF OFFICE SUITE 1 DECK: 230 GSF	
OFFICE SUITE 2: 755 GSF	

DEFERRED SUBMITTALS
THE FOLLOWING SUBMITTALS WILL BE DEFERRED: FIRE SPRINKLERS

VICINITY MAP
THE FOLLOWING SPECIAL INSPECTIONS ARE REQUIRED: FIRE SPRINKLERS

SHEET INDEX	
TITLE T1.0 TITLE SHEET	
SITE PLAN A0.1 SITE PLAN	
BUILDING PLANS A1.0 DEMOLITION PLAN - BASEMENT A1.1 DEMOLITION PLAN - LEVEL 1 A1.2 DEMOLITION PLAN - LEVEL 2 A1.3 FLOOR PLAN - BASEMENT A1.4 FLOOR PLAN - LEVEL 1 A1.5 FLOOR PLAN - LEVEL 2 A1.6 ROOF PLAN	
EXTERIOR ELEVATIONS A2.0 BUILDING ELEVATIONS A2.1 BUILDING ELEVATIONS	
BUILDING SECTIONS A3.0 BUILDING SECTION A3.1 BUILDING SECTION	
DETAILS A5.0 TYPICAL WALL ASSEMBLY DETAILS	
SCHEDULES & DIAGRAMS A6.0 DOOR & WINDOW SCHEDULES	
3D A8.1 3D VIEWS	
STRUCTURAL PLANS S2.0 STRUCTURAL DRAWINGS	





RUSSELL DAVIDSON
ARCHITECTURE + DESIGN

145 MILL STREET

145 MILL STREET
GRASS VALLEY, CA 95945
APN: 008-372-012

ID	NAME	DATE

SUBMITTED: 01.04.2024

SCALE: AS NOTED

DRAWN BY: RPD

CHECKED BY: RPD

JOB: ---

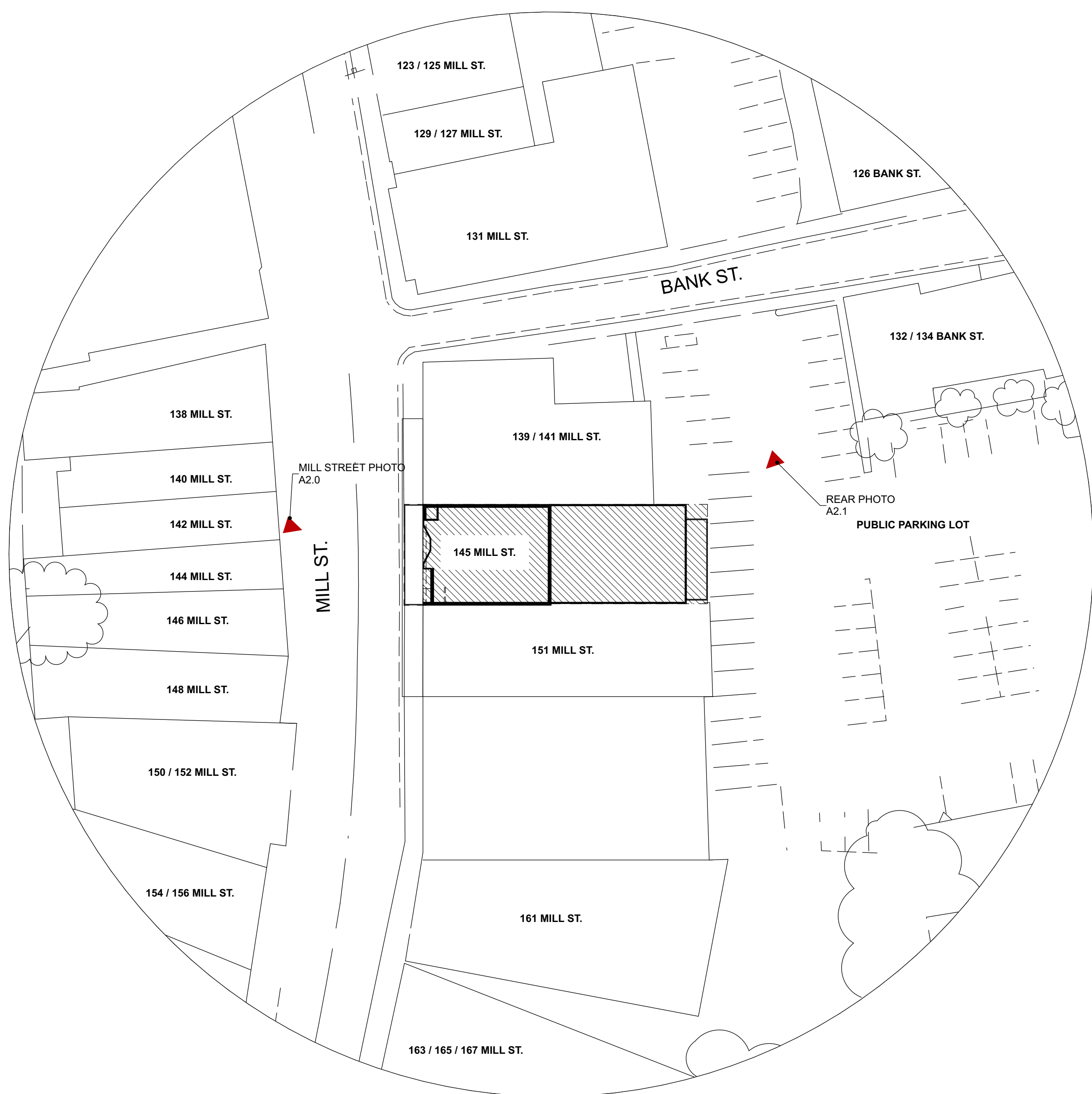
TITLE SHEET

T1.0

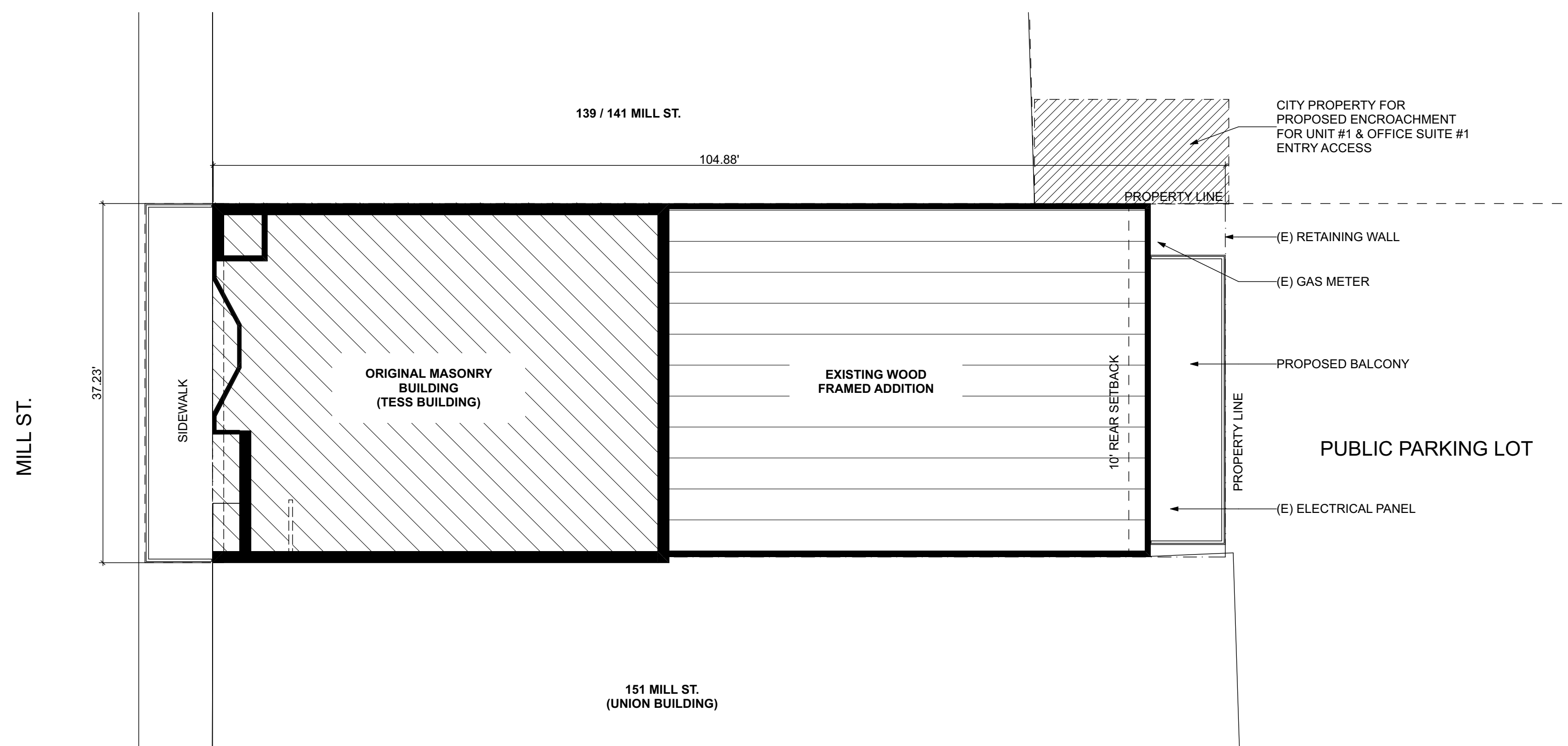
J:\Users\jff\OneDrive - Russell Davidson Architecture + Design\Projects\Current\2023.27.145 Mill\Arch\CAD\Current\145 Mill.slp



RUSSELL DAVIDSON
ARCHITECTURE + DESIGN



2 NEIGHBORHOOD SITE PLAN
SCALE: 1" = 30'



1 SITE PLAN
SCALE: 1" = 10'



145 MILL STREET

145 MILL STREET
GRASS VALLEY, CA 95945
APN: 008-372-012

ID NAME DATE

ID	NAME	DATE

SITE NOTES

1. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET.
- EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING.
2. PROJECT WILL COMPLY WITH LOCAL AHJ STORM WATER REQUIREMENTS.

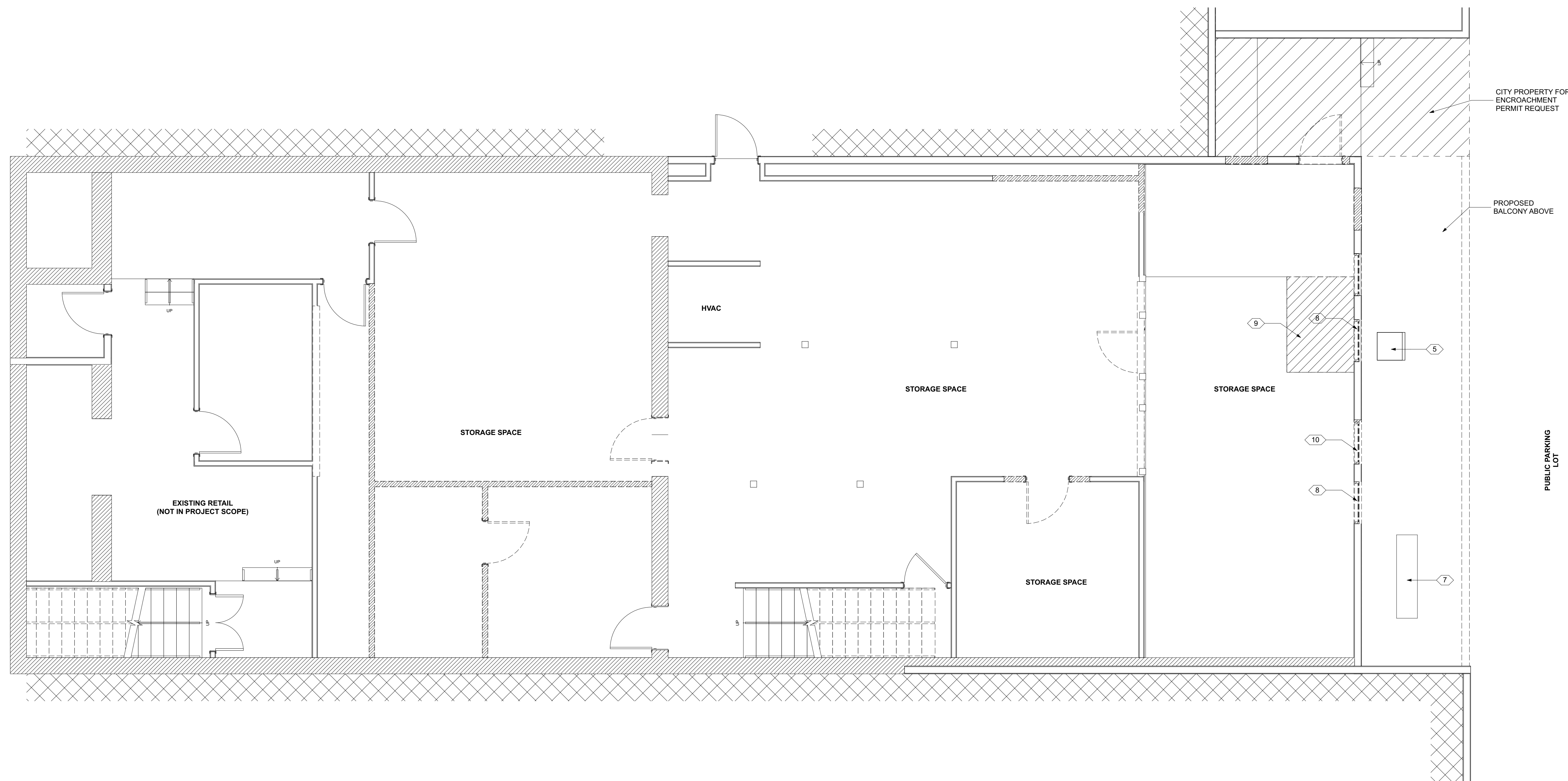
SUBMITTED: 01.04.2024
 SCALE: AS NOTED
 DRAWN BY: RPD
 CHECKED BY: RPD
 JOB: ---

SITE PLAN

A0.1



RUSSELL DAVIDSON
ARCHITECTURE + DESIGN



CITY PROPERTY FOR ENCROACHMENT PERMIT REQUEST

PROPOSED BALCONY ABOVE

PUBLIC PARKING LOT

1 BASEMENT DEMO PLAN
SCALE: 1/4" = 1'-0"

145 MILL STREET

145 MILL STREET
GRASS VALLEY, CA 95945
APN: 008-372-012

ID	NAME	DATE

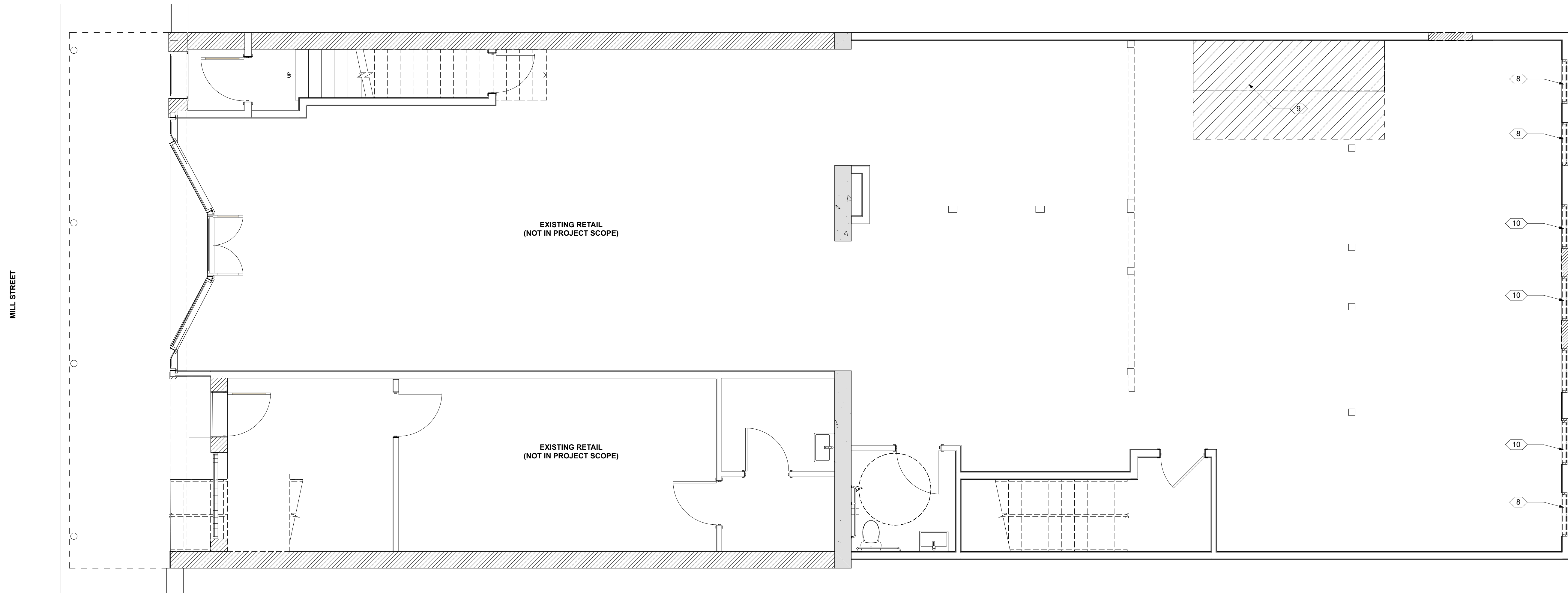
KEYNOTES	DEMO PLAN NOTES	LEGEND
<ol style="list-style-type: none"> REMOVE (E) WINDOW AND ENLARGE HEIGHT OF OPENING TO ACCOMMODATE (N) EXTERIOR DOOR (E) WALL TO BE REMOVED, FOUNDATION AND FLOOR TO REMAIN REMOVE (E) DOOR, OPENING TO REMAIN REMOVE (E) GUARDRAIL (E) AC COMPRESSOR (E) MASONRY WALL (E) ELECTRICAL METER PREP (E) OPENING FOR (N) WINDOW REMOVE SECTION OF (E) FLOOR ENLARGE (E) WINDOW OPENING FOR (N) DOOR 	<ol style="list-style-type: none"> REMOVE EXISTING FINISHES AS NOTED ON PLANS & REPAIR & PREPARE ALL SURFACES FOR FINISHES MATERIAL HAVING SALVAGE VALUE SHALL BECOME THE PROPERTY OF THE OWNER ALL OTHER MATERIAL AND DEBRIS ACCUMULATED AS A RESULT OF DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES BY THE CONTRACTOR AND DISPOSED OF IN A LEGAL AND PROPER MANNER. FURNISH, INSTALL, AND MAINTAIN IN SAFE CONDITIONS AT ALL TIMES TEMPORARY PROTECTION REQUIRED TO ENSURE SAFETY FOR PERSONS AND PROPERTY DURING DEMOLITION AND REMOVAL WORK. FURNISH, INSTALL, AND MAINTAIN DUST COVERINGS TO PREVENT THE SPREAD OF DUST BEYOND THE IMMEDIATE AREA WHERE DEMOLITION IS BEING PERFORMED. REMOVE EXISTING ELECTRICAL OUTLETS AND WIRING AS REQUIRED IN WALLS, FLOORS AND FURNISHINGS TO BE DEMOLISHED. ALL ELECTRICAL, PLUMBING AND MECHANICAL WORK (DEMOLITION AND NEW) IS TO BE PERFORMED BY LICENSED, COMPETENT CONTRACTORS. 	<p>LEGEND</p> <p>—— (E) WALL TO REMAIN</p> <p>----- (E) WALL TO BE DEMOLISHED</p> <p> (E) FINISHES TO BE REMOVED, STRUCTURE TO REMAIN</p>
	<ol style="list-style-type: none"> PRIOR TO THE START OF DEMOLITION WORK GENERAL CONTRACTOR SHALL DETERMINE THE LOCATION OF LOAD BEARING PARTITIONS AND COLUMNS AND PROVIDE TEMPORARY SUPPORTS AS REQUIRED BY REMOVAL OR RELOCATION OF SUCH PARTITIONS. G.C. TO ENSURE ALL TEMPORARY SUPPORTS ARE CARRIED TO SUFFICIENT BEARING MATERIALS. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL DEMOLITION LOCATIONS & DETAILS. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION, CONTRACTOR SHALL NOTIFY OWNER IN WRITING IMMEDIATELY. CONTRACTOR SHALL COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES RELATIVE TO REMOVAL HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. ANY INTERRUPTION TO BUILDING UTILITIES SHALL BE CLEARED WITH OWNER 72 HOURS PRIOR TO PROPOSED INTERRUPTION. 	

SUBMITTED:	01.04.2024
SCALE:	AS NOTED
DRAWN BY:	RPD
CHECKED BY:	RPD
JOB:	---

DEMOLITION PLAN - BASEMENT

A1.0

J:\users\jeh\in\RD\A-D Dropbox\RD\A-D Projects\Current\2023\27 145 Mill\Arch\CAD\Current\145 Mill Sl.pln



1 1ST FLOOR DEMO PLAN
 SCALE: 1/4" = 1'-0"

145 MILL STREET

145 MILL STREET
 GRASS VALLEY, CA 95945
 APN: 008-372-012

ID	NAME	DATE



KEYNOTES

1. REMOVE (E) WINDOW AND ENLARGE HEIGHT OF OPENING TO ACCOMMODATE (N) EXTERIOR DOOR
2. (E) WALL TO BE REMOVED, FOUNDATION AND FLOOR TO REMAIN
3. REMOVE (E) DOOR, OPENING TO REMAIN
4. REMOVE (E) GUARDRAIL
5. (E) AC COMPRESSOR
6. (E) MASONRY WALL
7. (E) ELECTRICAL METER
8. PREP (E) OPENING FOR (N) WINDOW
9. REMOVE SECTION OF (E) FLOOR
10. ENLARGE (E) WINDOW OPENING FOR (N) DOOR

DEMO PLAN NOTES

1. REMOVE EXISTING FINISHES AS NOTED ON PLANS & REPAIR & PREPARE ALL SURFACES FOR FINISHES
2. MATERIAL HAVING SALVAGE VALUE SHALL BECOME THE PROPERTY OF THE OWNER ALL OTHER MATERIAL AND DEBRIS ACCUMULATED AS A RESULT OF DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES BY THE CONTRACTOR AND DISPOSED OF IN A LEGAL AND PROPER MANNER.
3. FURNISH, INSTALL, AND MAINTAIN IN SAFE CONDITIONS AT ALL TIMES TEMPORARY PROTECTION REQUIRED TO ENSURE SAFETY FOR PERSONS AND PROPERTY DURING DEMOLITION AND REMOVAL WORK.
4. FURNISH, INSTALL, AND MAINTAIN DUST COVERINGS TO PREVENT THE SPREAD OF DUST BEYOND THE IMMEDIATE AREA WHERE DEMOLITION IS BEING PERFORMED.
5. REMOVE EXISTING ELECTRICAL OUTLETS AND WIRING AS REQUIRED IN WALLS, FLOORS AND FURNISHINGS TO BE DEMOLISHED.
6. ALL ELECTRICAL, PLUMBING AND MECHANICAL WORK (DEMOLITION AND NEW) IS TO BE PERFORMED BY LICENSED, COMPETENT CONTRACTORS.

7. PRIOR TO THE START OF DEMOLITION WORK GENERAL CONTRACTOR SHALL DETERMINE THE LOCATION OF LOAD BEARING PARTITIONS AND COLUMNS AND PROVIDE TEMPORARY SUPPORTS AS REQUIRED BY REMOVAL OR RELOCATION OF SUCH PARTITIONS. G.C. TO ENSURE ALL TEMPORARY SUPPORTS ARE CARRIED TO SUFFICIENT BEARING MATERIALS.
8. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL DEMOLITION LOCATIONS & DETAILS.
9. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION, CONTRACTOR SHALL NOTIFY OWNER IN WRITING IMMEDIATELY. CONTRACTOR SHALL COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES RELATIVE TO REMOVAL HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
10. ANY INTERRUPTION TO BUILDING UTILITIES SHALL BE CLEARED WITH OWNER 72 HOURS PRIOR TO PROPOSED INTERRUPTION.

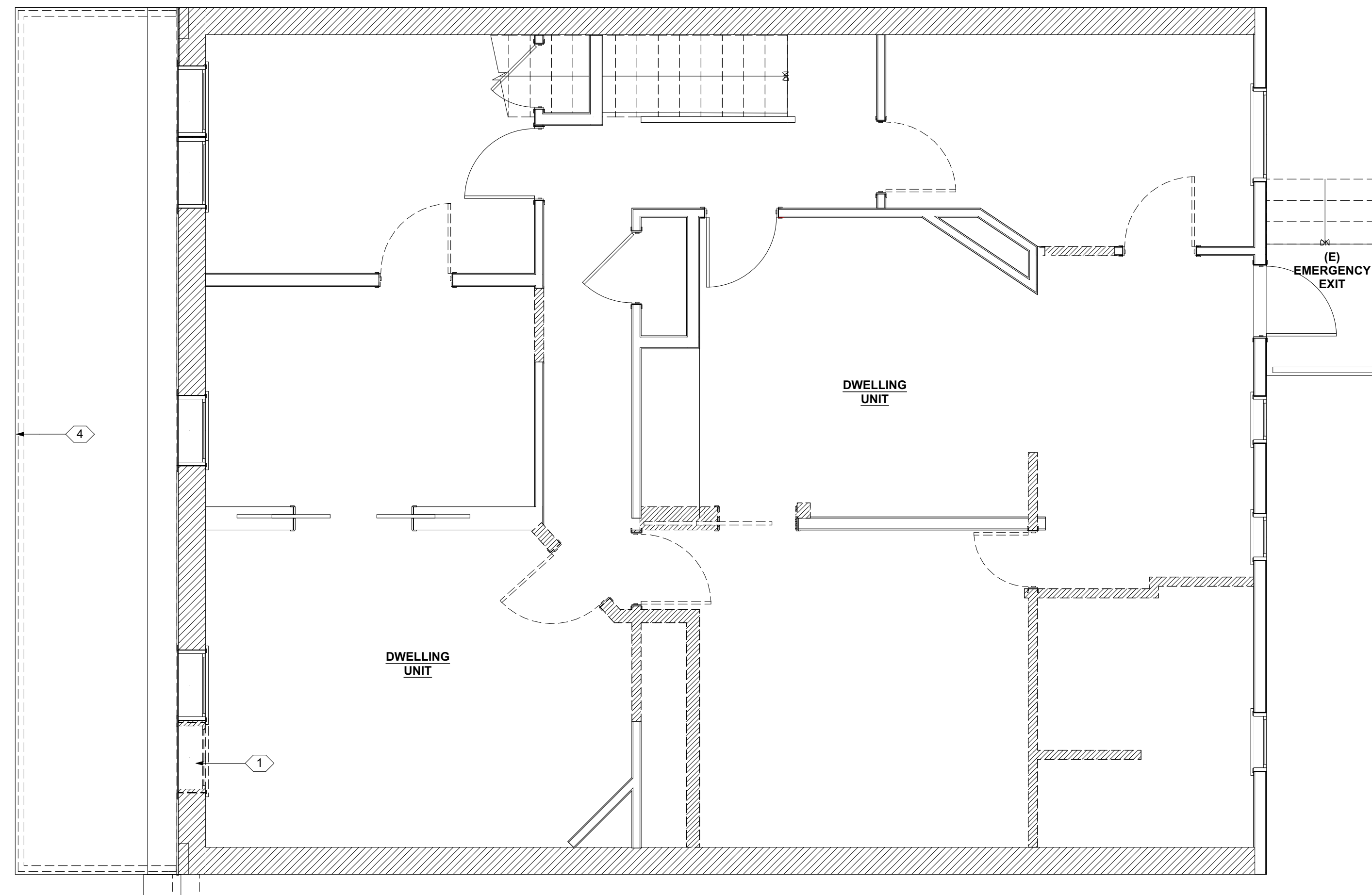
LEGEND

- (E) WALL TO REMAIN
- (E) WALL TO BE DEMOLISHED
- (E) FINISHES TO BE REMOVED, STRUCTURE TO REMAIN

SUBMITTED:	01.04.2024
SCALE:	AS NOTED
DRAWN BY:	RPD
CHECKED BY:	RPD
JOB:	---

DEMOLITION PLAN - LEVEL 1

A1.1



1 2ND FLOOR DEMO PLAN
 SCALE: 1/4" = 1'-0"



145 MILL STREET

145 MILL STREET
 GRASS VALLEY, CA 95945
 APN: 008-372-012

ID	NAME	DATE

KEYNOTES

- (E) WALL, REMOVE EXTERIOR FINISH AND PREP FOR NEW FINISH, SEE FLOOR PLAN
- (E) WALL TO BE REMOVED, FOUNDATION AND FLOOR TO REMAIN
- REMOVE (E) BUILT-UP POST BELOW (N) ROOF, REFER TO (N) FLOOR PLAN

DEMO PLAN NOTES

- REMOVE EXISTING FINISHES AS NOTED ON PLANS & REPAIR & PREPARE ALL SURFACES FOR FINISHES
- MATERIAL HAVING SALVAGE VALUE SHALL BECOME THE PROPERTY OF THE OWNER ALL OTHER MATERIAL AND DEBRIS ACCUMULATED AS A RESULT OF DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES BY THE CONTRACTOR AND DISPOSED OF IN A LEGAL AND PROPER MANNER.
- FURNISH, INSTALL, AND MAINTAIN IN SAFE CONDITIONS AT ALL TIMES TEMPORARY PROTECTION REQUIRED TO ENSURE SAFETY FOR PERSONS AND PROPERTY DURING DEMOLITION AND REMOVAL WORK.
- FURNISH, INSTALL, AND MAINTAIN DUST COVERINGS TO PREVENT THE SPREAD OF DUST BEYOND THE IMMEDIATE AREA WHERE DEMOLITION IS BEING PERFORMED.
- REMOVE EXISTING ELECTRICAL OUTLETS AND WIRING AS REQUIRED IN WALLS, FLOORS AND FURNISHINGS TO BE DEMOLISHED.
- ALL ELECTRICAL, PLUMBING AND MECHANICAL WORK (DEMOLITION AND NEW) IS TO BE PERFORMED BY LICENSED, COMPETENT CONTRACTORS.
- PRIOR TO THE START OF DEMOLITION WORK GENERAL CONTRACTOR SHALL DETERMINE THE LOCATION OF LOAD BEARING PARTITIONS AND COLUMNS AND PROVIDE TEMPORARY SUPPORTS AS REQUIRED BY REMOVAL OR RELOCATION OF SUCH PARTITIONS. G.C. TO ENSURE ALL TEMPORARY SUPPORTS ARE CARRIED TO SUFFICIENT BEARING MATERIALS.
- REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL DEMOLITION LOCATIONS & DETAILS.
- IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION, CONTRACTOR SHALL NOTIFY OWNER IN WRITING IMMEDIATELY. CONTRACTOR SHALL COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES RELATIVE TO REMOVAL HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
- ANY INTERRUPTION TO BUILDING UTILITIES SHALL BE CLEARED WITH OWNER 72 HOURS PRIOR TO PROPOSED INTERRUPTION.

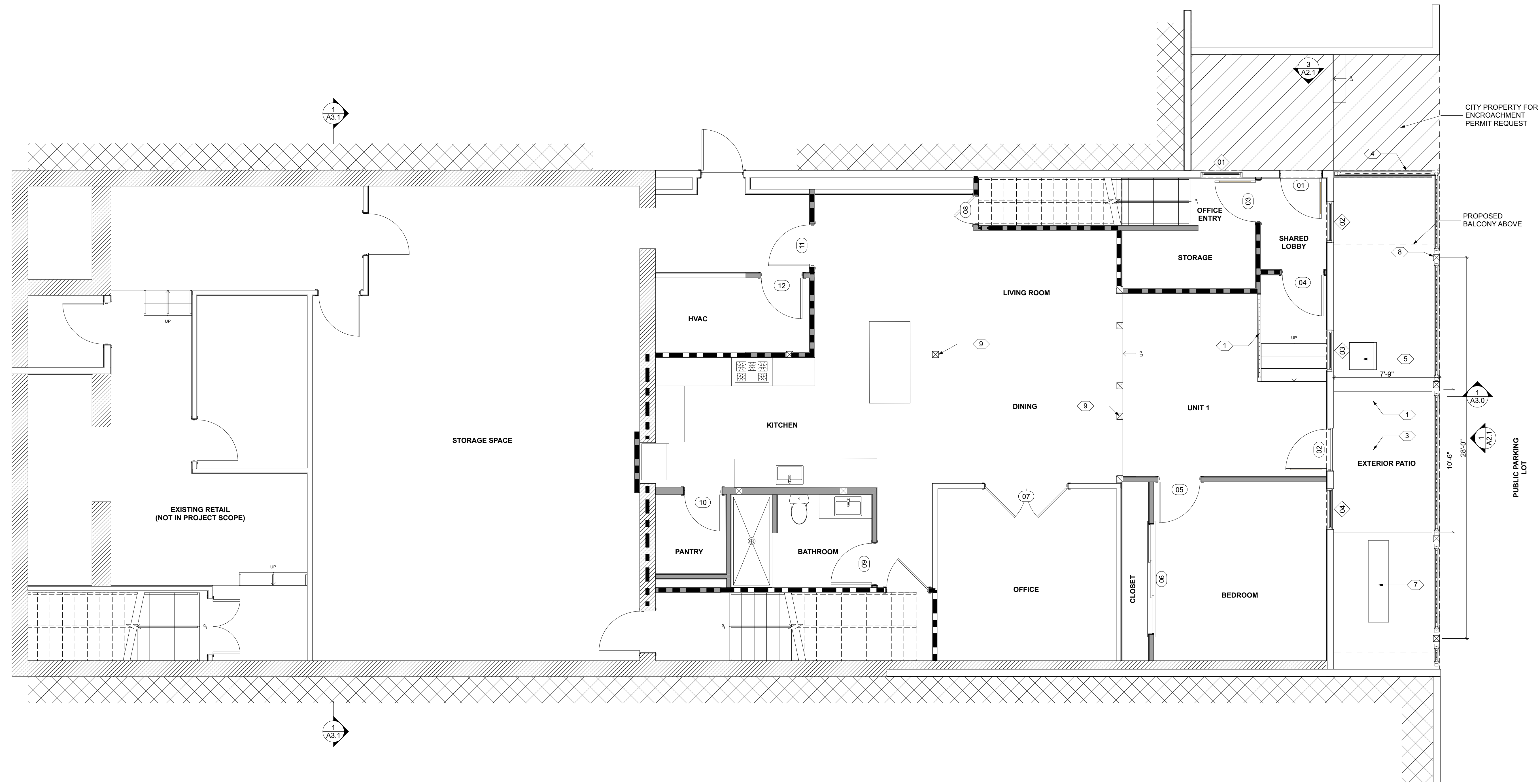
LEGEND

- (E) WALL TO REMAIN
- (E) WALL TO BE DEMOLISHED
- (E) FINISHES TO BE REMOVED, STRUCTURE TO REMAIN

SUBMITTED:	01.04.2024
SCALE:	AS NOTED
DRAWN BY:	RPD
CHECKED BY:	RPD
JOB:	---

**DEMOLITION
 PLAN - LEVEL 2**

A1.2



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

145 MILL STREET

145 MILL STREET
GRASS VALLEY, CA 95945
APN: 008-372-012

ID	NAME	DATE

KEYNOTES

- 42" GUARDRAIL
- (N) CONC. LANDING
- (N) CONC. PAD
- (N) RETAINING WALL, MATCH HEIGHT OF (E) RETAINING WALL
- (E) AC COMPRESSOR
- (E) MASONRY WALL
- (E) ELECTRICAL METER
- (N) WOOD POST, S.S.D.
- (E) WOOD POST
- (N) WOOD FRAMED DECK, S.S.D.

GENERAL NOTES

- NOTES**
- WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. SUBCONTRACTOR TO VERIFY ALL DIM. PRIOR TO CONSTRUCTION
 - EXTERIOR DIMENSIONS ARE MEASURED TO FACE OF STRUCTURAL SHEATHING / SLAB EDGE OR CENTERLINE OF STRUCTURE U.N.O.
 - INTERIOR DIMENSIONS ARE MEASURED TO FACE OF STUD, U.N.O.
 - DOORS AND WINDOWS ARE MEASURED TO CENTERLINE OF OPENINGS.
 - ALL ANGLED WALLS ARE AT 45 DEGREES U.N.O.
 - SET JAMB AT HINGE SIDE OF:
EXTERIOR DOORS @ 4.5" U.N.O.
INTERIOR DOORS @ 4.5" U.N.O.
 - PROVIDE MIN. 36"x36" LEVEL LANDINGS OUTSIDE AT ALL EXTERIOR DOORS PER CRC SECTION R311.3, WITH LANDINGS NOT MORE THAN 7.75" BELOW INSIDE FINISHED FLOORS AT INWARD SWINGING (OR SLIDING) DOORS AND 1.5" AT OUTWARD SWINGING PER CRC SECTION R311.3.1. ALL LANDINGS SHALL SLOPE 1/4" FT AWAY FROM DOORS MIN. TYP. PROVIDE MIN. 12" CLASS 2 AGGREGATE BASE ROCK UNDER SLABS AT ALL DOORWAY LANDINGS, TYP.

LEGEND

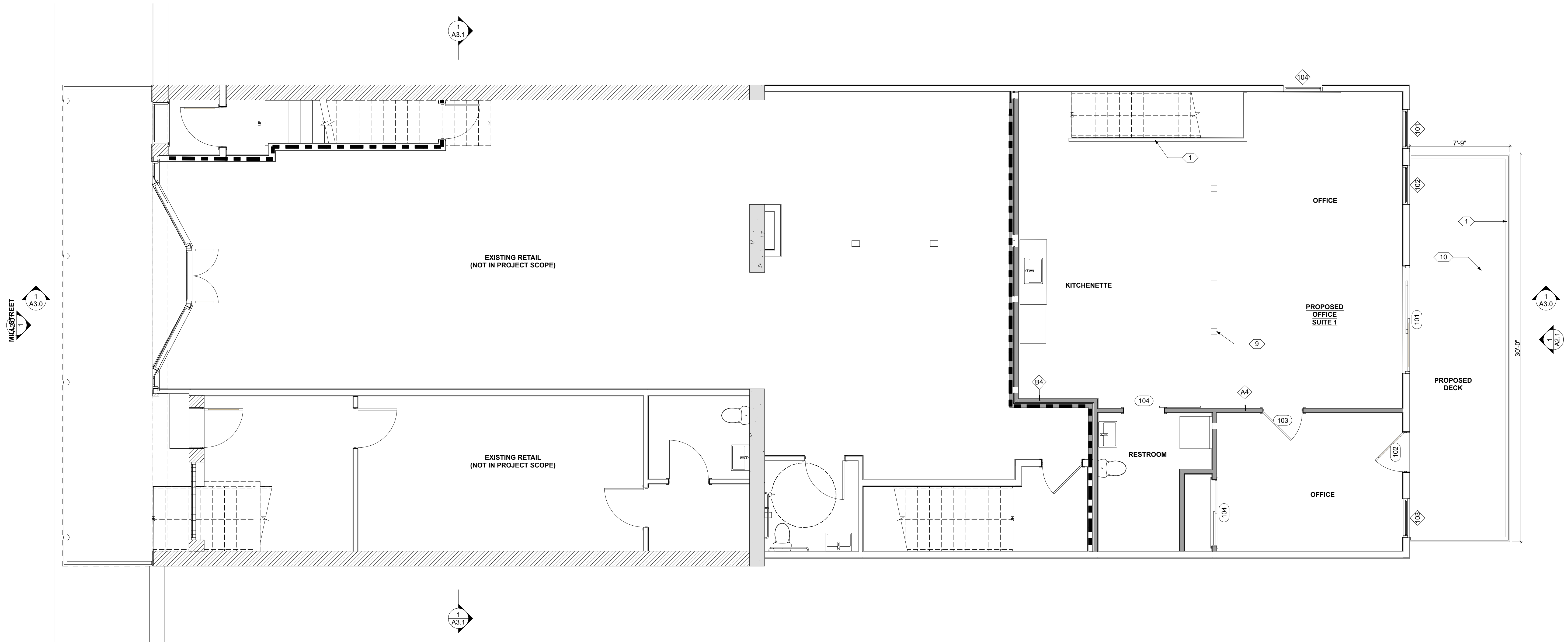
- (E) WALL TO REMAIN
- (N) WALL
- 1 HR. FIRE WALL
- ROOM #
- WINDOW NUMBER
- DOOR NUMBER
- PARTITION TYPE
- THERMOSTAT
- GARAGE DOOR OPENER
- HOSE BIB
- GAS

SUBMITTED:	01.04.2024
SCALE:	AS NOTED
DRAWN BY:	RPD
CHECKED BY:	RPD
JOB:	---

FLOOR PLAN - BASEMENT

A1.3

I:\users\jleffline\RD\A-C\Dropbox\RD\A-D\Projects\Current\2023\27_145_Mill\Arch\CAD\Current\145_Mill_SLP.rvt



1 NEW 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

145 MILL STREET

145 MILL STREET
GRASS VALLEY, CA 95945
APN: 008-372-012

ID	NAME	DATE

SUBMITTED:	01.04.2024
SCALE:	AS NOTED
DRAWN BY:	RPD
CHECKED BY:	RPD
JOB:	---

FLOOR PLAN - LEVEL 1

A1.4

KEYNOTES

- 42" GUARDRAIL
- (N) CONC. LANDING
- (N) CONC. PAD
- (N) RETAINING WALL, MATCH HEIGHT OF (E) RETAINING WALL
- (E) AC COMPRESSOR
- (E) MASONRY WALL
- (E) ELECTRICAL METER
- (N) WOOD POST, S.S.D.
- (E) WOOD POST
- (N) WOOD FRAMED DECK, S.S.D.

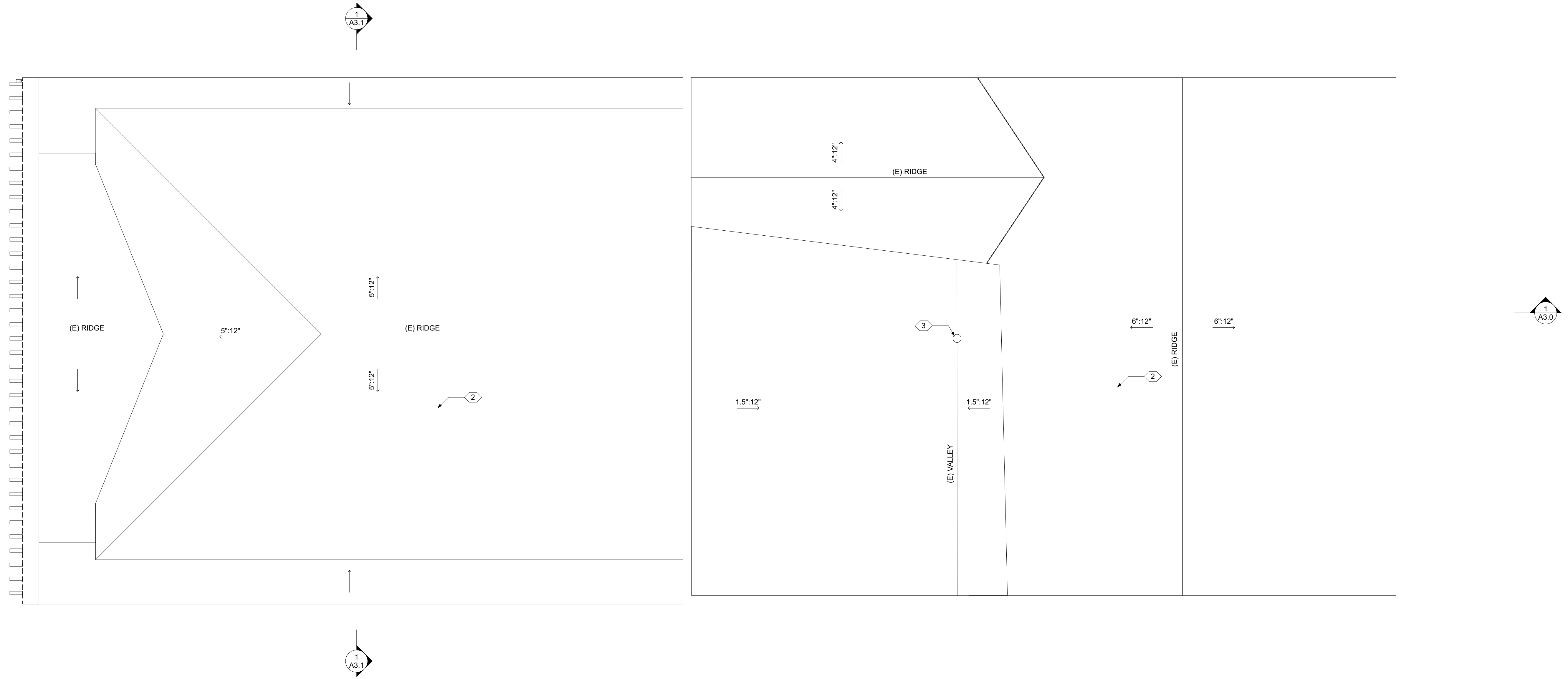
GENERAL NOTES

NOTES

- WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. SUBCONTRACTOR TO VERIFY ALL DIM. PRIOR TO CONSTRUCTION
- EXTERIOR DIMENSIONS ARE MEASURED TO FACE OF STRUCTURAL SHEATHING / SLAB EDGE OR CENTERLINE OF STRUCTURE U.N.O.
- INTERIOR DIMENSIONS ARE MEASURED TO FACE OF STUD, U.N.O.
- DOORS AND WINDOWS ARE MEASURED TO CENTERLINE OF OPENINGS.
- ALL ANGLED WALLS ARE AT 45 DEGREES U.N.O.
- SET JAMB AT HINGE SIDE OF:
EXTERIOR DOORS @ 4.5" U.N.O.
INTERIOR DOORS @ 4.5" U.N.O.
- PROVIDE MIN. 36"x36" LEVEL LANDINGS OUTSIDE AT ALL EXTERIOR DOORS PER CRC SECTION R311.3, WITH LANDINGS NOT MORE THAN 7.75" BELOW INSIDE FINISHED FLOORS AT INWARD SWINGING (OR SLIDING) DOORS AND 1.5" AT OUTWARD SWINGING PER CRC SECTION R311.3.1. ALL LANDINGS SHALL SLOPE 1/4" FT AWAY FROM DOORS MIN. TYP. PROVIDE MIN. 12" CLASS 2 AGGREGATE BASEROCK UNDER SLABS AT ALL DOORWAY LANDINGS, TYP.
- GLASS DOORS & PANELS OF SHOWER & BATHTUB ENCLOSURES & ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE OR DRAIN INLET SHALL BE TEMPERED SAFETY GLASS, AS PER CRC SECTION R308.4.5.
- BATHROOM FLOORS TO HAVE SKID-RESISTANT SURFACE.
- BASE LINING MATERIAL BENEATH SHOWER PAN SLOPED TO DRAIN AS PER CPC SECTION 408.7.
- OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH.
- PROVIDE FIREBLOCKING IN CONCEALED SPACES PER CRC R302.11.

LEGEND

- | | | | |
|---------------|----------------------------|--|--------------------|
| | (E) WALL TO REMAIN | | THERMOSTAT |
| | (N) WALL | | GARAGE DOOR OPENER |
| | 1 HR. FIRE WALL | | HOSE BIB |
| | GAS | | GAS |
| ROOM # | ROOM IDENTIFICATION | | |
| | WINDOW NUMBER | | |
| | DOOR NUMBER | | |
| | PARTITION TYPE | | |



2 NEW ROOF PLAN
SCALE: 1/4" = 1'-0"

145 MILL STREET
145 MILL STREET
GRASS VALLEY, CA 95945
APN: 008-372-012

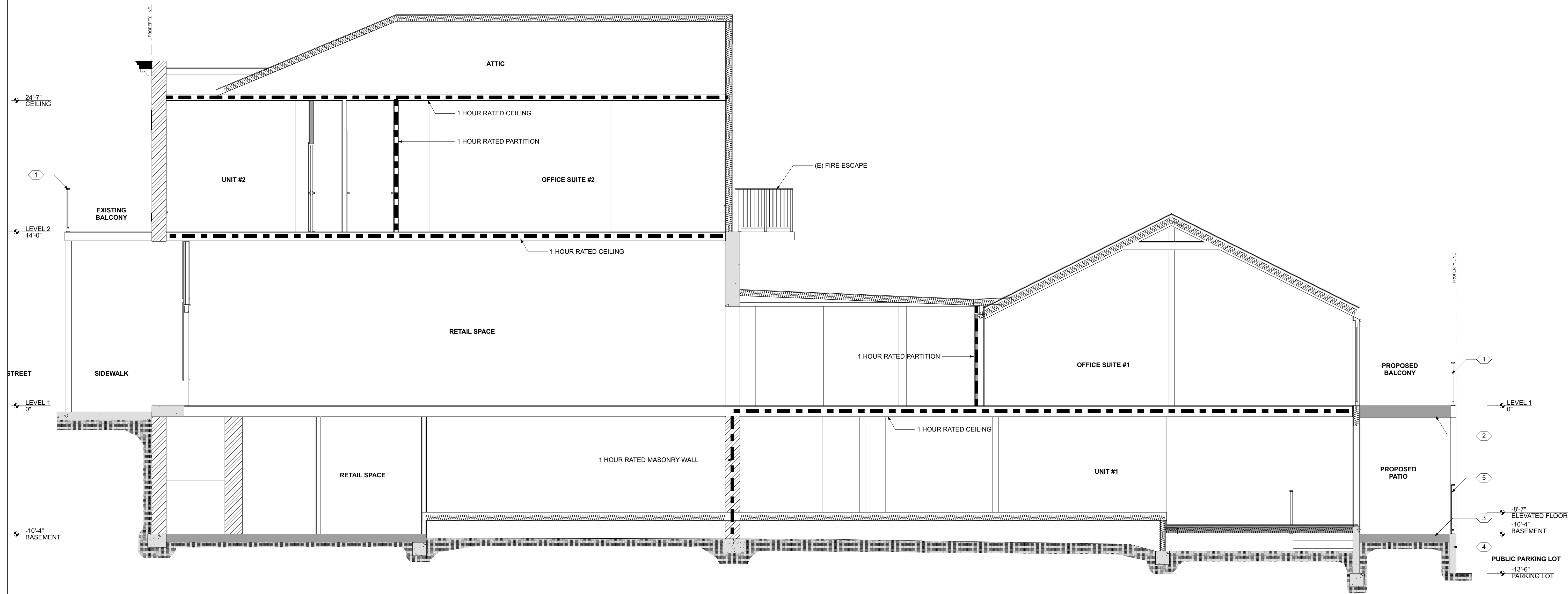
ID	NAME	DATE

KEYNOTES	ROOF PLAN NOTES	LEGEND
<ol style="list-style-type: none"> REMOVE (E) ROOF FINISHES (E) COMP. ROOF, REPAIRS TO MATCH (E) (E) ROOF DRAIN PROVIDE DRAINAGE CRICKET WHERE REQ'D 	<ol style="list-style-type: none"> THE CONTRACTOR SHALL HAVE PRESENT AT INSPECTIONS A COPY OF THE ICC-ES EVALUATION REPORT ON THE ROOFING SYSTEM. ALL ROOF COVERING SHALL BE 'IGNITION RESISTANT' COMPLYING WITH CRC SECTION R902.1 AND CLASS 'A'. CLASS 'A' ROOFING COVERING: EAGLE ROOFING PRODUCTS, TILE SHAKE ALL ROOFING WORK MUST ADHERE TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS TO MAINTAIN WARRANTY COVERAGE. ALL ROOF AND DECK SURFACES SHALL SLOPE AT 1/4" PER FOOT MINIMUM, U.O.N. PROVIDE 1/2" EXT-GRADE SHEATHING OVER 2X CRICKETING AT 16" O.C. SLOPED TO DRAIN 1/4" PER FOOT MIN. OVER 5/8" STRUCTURAL PLYWOOD SHEATHING W/ INTEGRAL RADIANT BARRIER AT ALL CHIMNEYS, MECHANICAL EQUIPMENT, AND OTHER LOCATIONS AS REQUIRED FOR POSITIVE DRAINAGE TOWARD DRAINS. FLASH AND SEAL ALL ROOF PENETRATIONS SUCH AS VENTS, FANS, HOODS, AS REQUIRED FOR A WATER-TIGHT INSTALLATION. IN ROOF COVERINGS WHERE THE PROFILE CREATES SPACE BETWEEN THE ROOF COVERING AND COMBUSTIBLE ROOF DECKING, ONE OF THE FOLLOWING MEANS OF PROTECTING SPACES AT EAVES ENDS SHALL BE APPLIED. <ol style="list-style-type: none"> FIRE-STOPPING WITH APPROVED MATERIALS ONE LAYER OF 72 POUND (32.4 KG) MINERAL-SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909 INSTALLED OVER THE COMBUSTIBLE DECKING OTHERWISE CONSTRUCTED TO PREVENT INTRUSION OF FLAMES AND EMBERS EXPOSED VALLEY FLASHINGS SHALL BE CONSTRUCTED WITH NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY. ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS. SKYLIGHTS SHALL BE TEMPERED GLASS. ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC) SHALL RESIST THE INTRUSION OF FLAMES AND EMBERS VENTILATION OPENINGS FOR ENCLOSED ATTICS, EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, UNDERFLOOR VENTILATION OPENINGS, AND VENT OPENINGS IN EXTERIOR WALLS AND EXTERIOR DOORS SHALL BE LISTED TO ASTM E 2886 AND COMPLY WITH ALL OF THE FOLLOWING: <ol style="list-style-type: none"> THERE SHALL BE NO FLAMING IGNITION OF THE COTTON MATERIAL DURING THE EMBER INTRUSION TEST THERE SHALL BE NO FLAMING IGNITION DURING THE INTEGRITY TEST PORTION OF THE FLAME INTRUSION TEST THE MAXIMUM TEMPERATURE OF THE UNEXPOSED SIDE OF THE VENT SHALL NOT EXCEED 662 DEGREES FAHRENHEIT (350 DEGREES CELSIUS) PROVIDE INDEPENDENTLY PIPED OVERFLOW DRAINS AT ALL ROOF DRAIN LOCATIONS OR OVERFLOW SCUPPERS AS NOTED OR REQUIRED. PROVIDE CLEANOUTS AS REQUIRED. ALL SHEET METAL FLASHING AND TRIM SHALL BE G.S.M. ENCLOSED RAFTER SPACES SHALL HAVE 1 IN. CLEAR CROSS VENTILATION. ROOF DRAIN AND OVERFLOW DRAIN TO BE 3" DIA. INTERNAL DRAIN UNLESS NOTED OTHERWISE FROM ROOF/DECK. CONNECT ALL RAIN WATER LEADERS TO SOLID DRAIN LINES. REFER TO CIVIL DRAWINGS. SLOPE HORIZONTAL PORTIONS MIN. 1/4":12" IN DIRECTION OF ARROWS. PROVIDE BASKET DEBRIS SCREENS AT ALL ROOF AND OVERFLOW DRAINS. ROOF & OVERFLOW DRAINS SHALL HAVE WATER TEST PRIOR TO CONCEALING DRAINS IN THE WALLS. DRAINS TO HAVE CLEAN OUT JUST BEFORE ENTRY TO THE HORIZONTAL STORM DRAIN SYSTEM AS PER THE CPC. 	<p>--- WALL BELOW</p> <p>□ 05 3" DOWNSPOUT</p> <p>■ NEW ROOF AREA</p> <p>▨ UNVENTED ROOF AREA</p>

SUBMITTED:	01.04.2024
SCALE:	AS NOTED
DRAWN BY:	RPD
CHECKED BY:	RPD
JOB:	---

ROOF PLAN

A1.6



1 SECTION
SCALE: 1/4" = 1'-0"

145 MILL STREET

145 MILL STREET
GRASS VALLEY, CA 95945
APN: 008-372-012

ID	NAME	DATE

SUBMITTED:	01.04.2024
SCALE:	AS NOTED
DRAWN BY:	RPD
CHECKED BY:	RPD
JOB:	---

KEYNOTES

- (N) 42" GUARDRAIL
- (N) WOOD DECK, S.S.D.
- (N) CONC. PATIO
- (E) RETAINING WALL
- (N) PRIVACY FENCE

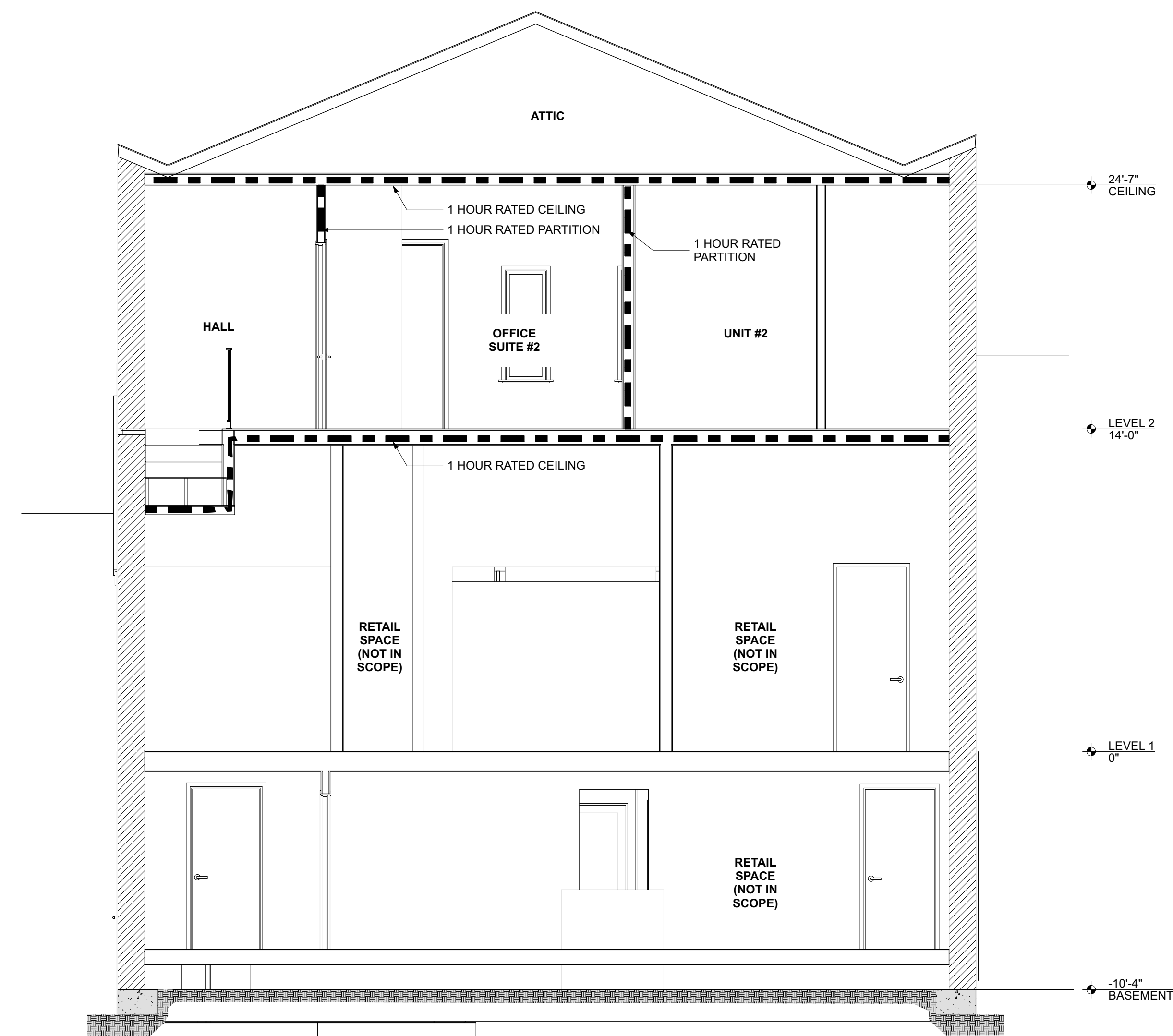
SECTION NOTES

- IN ROOF COVERINGS WHERE THE PROFILE CREATES SPACE BETWEEN THE ROOF COVERING AND COMBUSTIBLE ROOF DECKING, SPECIFY ONE OF THE FOLLOWING MEANS OF PROTECTING SPACES AT EAVES ENDS.
 - FIRE-STOPPING WITH APPROVED MATERIALS
 - ONE LAYER OF 72 POUND (32.4 KG) MINERAL-SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909 INSTALLED OVER THE COMBUSTIBLE DECKING
 - OTHERWISE CONSTRUCTED TO PREVENT INTRUSION OF FLAMES AND EMBERS
- EXPOSED VALLEY FLASHINGS SHALL BE CONSTRUCTED WITH NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.
- ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.
- SKYLIGHTS SHALL BE TEMPERED GLASS.
- ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC) SHALL RESIST THE INTRUSION OF FLAMES AND EMBERS
- VENTILATION OPENINGS FOR ENCLOSED ATTICS, EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, UNDERFLOOR VENTILATION OPENINGS, AND VENT OPENINGS IN EXTERIOR WALLS AND EXTERIOR DOORS SHALL BE LISTED TO ASTM E 2886 AND COMPLY WITH ALL OF THE FOLLOWING:
 - THERE SHALL BE NO FLAMING IGNITION OF THE COTTON MATERIAL DURING THE EMBER INTRUSION TEST
 - THERE SHALL BE NO FLAMING IGNITION DURING THE INTEGRITY TEST PORTION OF THE FLAME INTRUSION TEST
 - THE MAXIMUM TEMPERATURE OF THE UNEXPOSED SIDE OF THE VENT SHALL NOT EXCEED 662 DEGREES FAHRENHEIT (350 DEGREES CELSIUS)
- EXTERIOR WALL FINISH SHALL COMPLY WITH ONE OF THE FOLLOWING:
 - NON-COMBUSTIBLE MATERIAL (STUCCO, CEMENT FIBER BOARD, ETC)
 - STUCCO AND CEMENT PLASTER USED AS AN EXTERIOR WALL COVERING SHALL BE 7/8-INCH THICK
 - NONCOMBUSTIBLE OR FIRE-RETARDANT-TREATED WOOD SHAKE USED AS AN UNDERLAYMENT OF MINIMUM 1/2-INCH FIRE-RATED GYPSUM SHEATHING THAT IS TIGHTLY BUTTED, OR TAPED AND MUDDED, OR AN UNDERLAYMENT OF OTHER IGNITION RESISTANT MATERIAL APPROVED BY THE BUILDING OFFICIAL.
 - IGNITION-RESISTANT MATERIAL
- PATIO COVER, CARPORT AND TRELIS CONSTRUCTION WITH ALL EXPOSED ELEMENTS SHALL COMPLY WITH ANY OF THE FOLLOWING:
 - NON-COMBUSTIBLE MATERIAL
 - 1-HOUR FIRE-RESISTANT-RATED MATERIAL
 - APPROVED EXTERIOR FIRE-RETARDANT TREATED WOOD
 - MODIFIED HEAVY TIMBER (MIN 2X TONGUE-AND-GROOVE SHEATHING, 4X6 RAFTERS/BEAMS, 6X6 POSTS)
- DECK, BALCONY, AND EXTERIOR STAIR CONSTRUCTION, WITH ALL EXPOSED ELEMENTS SHALL COMPLY WITH THE FOLLOWING:
 - NON-COMBUSTIBLE MATERIAL
 - 1-HOUR FIRE-RESISTANT-RATED MATERIAL
 - APPROVED EXTERIOR FIRE-RETARDANT TREATED WOOD
 - MODIFIED HEAVY TIMBER (MIN 4X8 JOISTS, 4X10 OR 6X8 BEAMS, 6X6 POSTS)
 DECKING AND TREAD MATERIAL (ANY OF THE FOLLOWING):
 - NON-COMBUSTIBLE MATERIAL
 - 1-HOUR FIRE-RESISTANT-RATED MATERIAL
 - APPROVED EXTERIOR FIRE-RETARDANT TREATED WOOD
 - APPROVED ALTERNATIVE DECKING MATERIAL MEETING TESTS REQUIREMENTS OF COUNTY BUILDING CODE 92.1.709A.1.4)
- EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS INTO THE GARAGE BY LIMITING THE SIZE OF ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8 INCH OR LESS USING ONE OF THE FOLLOWING METHODS
 - WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATING PER CBC 708A.4
 - DOOR OVERLAPS ONTO JAMBS AND HEADERS
 - GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING
- PAPER-FACED INSULATION PROHIBITED IN ATTICS OR OTHER VENTILATED SPACES.
- FENCES OR ANY STRUCTURE WITHIN 5 FEET OF BUILDING SHALL BE CONSTRUCTED PER ONE OF THE FOLLOWING:
 - NON-COMBUSTIBLE MATERIAL
 - APPROVED EXTERIOR FIRE-RETARDANT TREATED WOOD
 - MATERIAL MEETING SAME FIRE-RESISTIVE STANDARDS AS EXTERIOR WALLS OF BUILDINGS

BUILDING SECTION

A3.0

J:\users\jehline\RD\A-D Dropbox\RD\A-D Projects\Current\2023\27_145 Mill\Arch\CAD\Current\145 Mill Sl.pln



1 SECTION
SCALE: 1/4" = 1'-0"

145 MILL STREET

145 MILL STREET
GRASS VALLEY, CA 95945
APN: 008-372-012

ID	NAME	DATE

SUBMITTED:	01.04.2024
SCALE:	AS NOTED
DRAWN BY:	RPD
CHECKED BY:	RPD
JOB:	---

BUILDING SECTION

A3.1

KEYNOTES

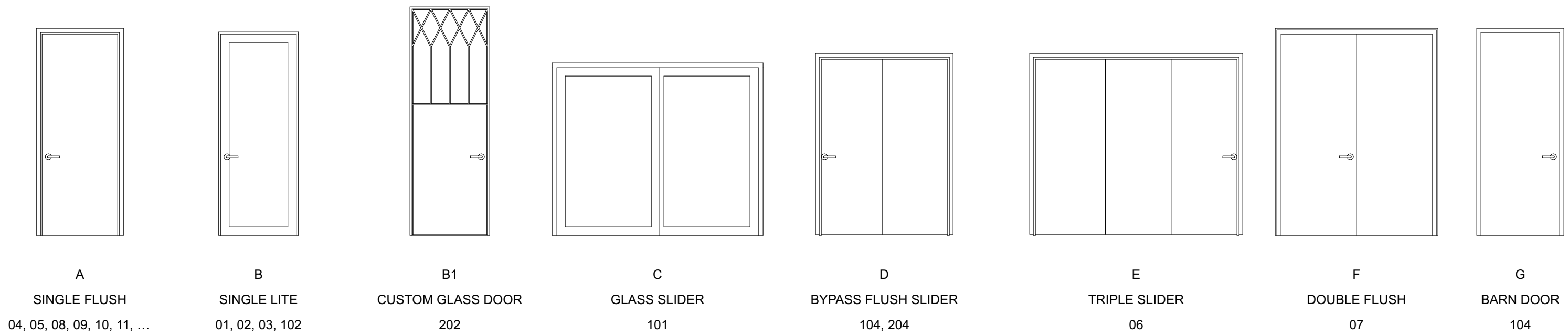
SECTION NOTES

- IN ROOF COVERINGS WHERE THE PROFILE CREATES SPACE BETWEEN THE ROOF COVERING AND COMBUSTIBLE ROOF DECKING, SPECIFY ONE OF THE FOLLOWING MEANS OF PROTECTING SPACES AT EAVES ENDS.
 - FIRE-STOPPING WITH APPROVED MATERIALS
 - ONE LAYER OF 72 POUND (32.4 KG) MINERAL-SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909 INSTALLED OVER THE COMBUSTIBLE DECKING
 - OTHERWISE CONSTRUCTED TO PREVENT INTRUSION OF FLAMES AND EMBERS
- EXPOSED VALLEY FLASHINGS SHALL BE CONSTRUCTED WITH NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.
- ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.
- SKYLIGHTS SHALL BE TEMPERED GLASS.
- ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC) SHALL RESIST THE INTRUSION OF FLAMES AND EMBERS
- VENTILATION OPENINGS FOR ENCLOSED ATTICS, EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, UNDERFLOOR VENTILATION OPENINGS, AND VENT OPENINGS IN EXTERIOR WALLS AND EXTERIOR DOORS SHALL BE LISTED TO ASTM E 2886 AND COMPLY WITH ALL OF THE FOLLOWING:
 - THERE SHALL BE NO FLAMING IGNITION OF THE COTTON MATERIAL DURING THE EMBER INTRUSION TEST
 - THERE SHALL BE NO FLAMING IGNITION DURING THE INTEGRITY TEST PORTION OF THE FLAME INTRUSION TEST
 - THE MAXIMUM TEMPERATURE OF THE UNEXPOSED SIDE OF THE VENT SHALL NOT EXCEED 662 DEGREES FAHRENHEIT (350 DEGREES CELSIUS)
- EXTERIOR WALL FINISH SHALL COMPLY WITH ONE OF THE FOLLOWING:
 - NON-COMBUSTIBLE MATERIAL (STUCCO, CEMENT FIBER BOARD, ETC)
 - STUCCO AND CEMENT PLASTER USED AS AN EXTERIOR WALL COVERING SHALL BE 7/8-INCH THICK
 - NONCOMBUSTIBLE OR FIRE-RETARDANT-TREATED WOOD SHAKE USED AS AN EXTERIOR WALL COVERING SHALL HAVE AN UNDERLAYMENT OF MINIMUM 1/2-INCH FIRE-RATED GYPSUM SHEATHING THAT IS TIGHTLY BUTTED, OR TAPED AND MUDDER, OR AN UNDERLAYMENT OF OTHER IGNITION RESISTANT MATERIAL APPROVED BY THE BUILDING OFFICIAL.
 - IGNITION-RESISTANT MATERIAL
- PATIO COVER, CARPORT AND TRELIS CONSTRUCTION WITH ALL EXPOSED ELEMENTS SHALL COMPLY WITH ANY OF THE FOLLOWING:
 - NON-COMBUSTIBLE MATERIAL
 - 1-HOUR FIRE-RESISTANT-RATED MATERIAL
 - APPROVED EXTERIOR FIRE-RETARDANT TREATED WOOD
 - MODIFIED HEAVY TIMBER (MIN 2X TONGUE-AND-GROOVE SHEATHING, 4X6 RAFTERS/BEAMS, 6X6 POSTS)
- DECK, BALCONY, AND EXTERIOR STAIR CONSTRUCTION, WITH ALL EXPOSED ELEMENTS SHALL COMPLY WITH THE FOLLOWING:
 - NON-COMBUSTIBLE MATERIAL
 - 1-HOUR FIRE-RESISTANT-RATED MATERIAL
 - APPROVED EXTERIOR FIRE-RETARDANT TREATED WOOD
 - MODIFIED HEAVY TIMBER (MIN 4X8 JOISTS, 4X10 OR 6X8 BEAMS, 6X6 POSTS)
 DECKING AND TREAD MATERIAL (ANY OF THE FOLLOWING):
 - NON-COMBUSTIBLE MATERIAL
 - 1-HOUR FIRE-RESISTANT-RATED MATERIAL
 - APPROVED EXTERIOR FIRE-RETARDANT TREATED WOOD
 - APPROVED ALTERNATIVE DECKING MATERIAL MEETING TESTS REQUIREMENTS OF COUNTY BUILDING CODE 92.1.709A.1.4)
- EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS INTO THE GARAGE BY LIMITING THE SIZE OF ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8 INCH OR LESS USING ONE OF THE FOLLOWING METHODS
 - WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATING PER CBC 708A.4
 - DOOR OVERLAPS ONTO JAMBS AND HEADERS
 - GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING
- PAPER-FACED INSULATION PROHIBITED IN ATTICS OR OTHER VENTILATED SPACES.
- FENCES OR ANY STRUCTURE WITHIN 5 FEET OF BUILDING SHALL BE CONSTRUCTED PER ONE OF THE FOLLOWING:
 - NON-COMBUSTIBLE MATERIAL
 - APPROVED EXTERIOR FIRE-RETARDANT TREATED WOOD
 - MATERIAL MEETING SAME FIRE-RESISTIVE STANDARDS AS EXTERIOR WALLS OF BUILDINGS

DOOR SCHEDULE - BASEMENT												
DOOR #	LOCATION	TYPE	EXPOSURE	W	H	TH	MFG	MATERIAL	FINISH	HARDWARE	CLOSURE	FIRE RATING
01	LOBBY	B	INT	1	2	0						UNRATED
02	PATIO	B	INT	1	2	0						UNRATED
03	ENTRY	B	INT	1	2	0						20 MIN.
04	ENTRY	A	INT	1	2	0						20 MIN.
05	BEDROOM	A	INT	1	2	0						UNRATED
06	CLOSET	E	EXT	2	2	0						UNRATED
07	OFFICE	F	INT	2	2	0						UNRATED
08	CLOSET	A	INT	1	2	0						UNRATED
09	BATHROOM	A	INT	1	2	0						UNRATED
10	PANTRY	A	INT	1	2	0						UNRATED

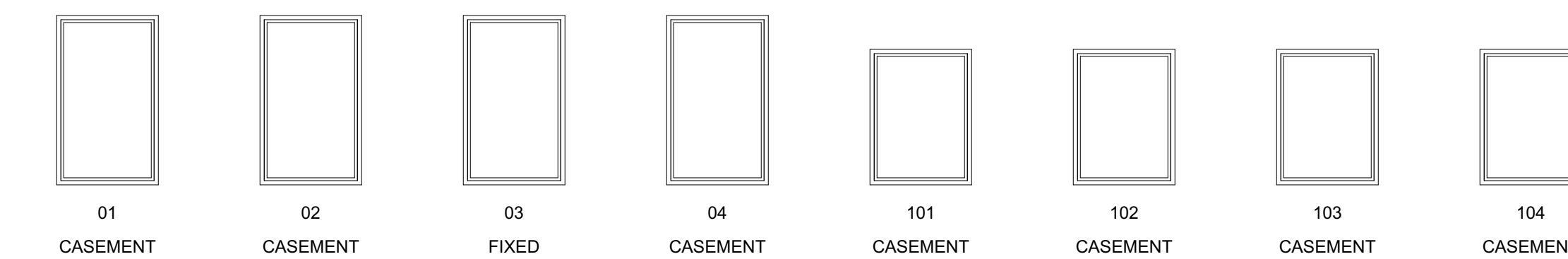
DOOR SCHEDULE - LEVEL 1												
DOOR #	LOCATION	TYPE	EXPOSURE	W	H	TH	MFG	MATERIAL	FINISH	HARDWARE	CLOSURE	FIRE RATING
101	BALCONY	C	INT	8'-0"	6'-8"	1-3/4"						UNRATED
102	BALCONY	B	INT	3'-0"	6'-8"	1-3/8"						UNRATED
104	CLOSET	D	EXT	5'-0"	7'-0"	1-5/8"						UNRATED
104	RESTROOM	G	INT	3'-0"	8'-0"	1-3/8"						UNRATED

DOOR SCHEDULE - LEVEL 2												
DOOR #	LOCATION	TYPE	EXPOSURE	W	H	TH	MFG	MATERIAL	FINISH	HARDWARE	CLOSURE	FIRE RATING
201	ENTRY	A	INT	1	2	0						20 MIN.
202	BALCONY	B1	INT	1	3	0						UNRATED
203	WD	A	INT	1	2	0						UNRATED
204	CLOSET	D	EXT	2	2	0						UNRATED
205	BATHROOM	A	INT	1	2	0						UNRATED
206	OFFICE	A	INT	1	2	0						UNRATED
207	RESTROOM	A	INT	1	2	0						UNRATED
208	OFFICE	A	INT	1	2	0						UNRATED



2 DOOR TYPES
 SCALE: 1" = 1'-0"

WINDOW SCHEDULE						
ID	TYPE	W	H	MFG	FRAME MATL	REMARKS
01	CASEMENT	3'-0"	5'-0"		ALUM.	
02	CASEMENT	3'-0"	5'-0"		ALUM.	
03	FIXED	3'-0"	5'-0"		ALUM.	
04	CASEMENT	3'-0"	5'-0"		ALUM.	
101	CASEMENT	3'-0"	4'-0"		ALUM.	
102	CASEMENT	3'-0"	4'-0"		ALUM.	
103	CASEMENT	3'-0"	4'-0"		ALUM.	
104	CASEMENT	3'-0"	4'-0"		ALUM.	



1 WINDOW TYPES
 SCALE: 1" = 1'-0"

DOOR NOTES

- ALL GLASS IN DOORS SHALL BE TEMPERED. TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED AND VISIBLE WHEN THE UNIT IS GLAZED.
- ALL GLAZING WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE "U" VALUE.
- REFER TO FLOOR PLANS FOR DIRECTION OF DOOR SWING.
- DOORS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 116 E.E.S.
- VENTILATION SHALL COMPLY WITH C.B.C. 1203.4 AND R303.
- ALL EXTERIOR WINDOW AND EXTERIOR DOOR ASSEMBLIES TO HAVE AN STC RATING OF 36 OR GREATER.
- DOORS MAY OPEN TO THE EXTERIOR ONLY IF THE FLOOR OR LANDING IS NOT MORE THAN 11/2 INCH LOWER THAN THE DOOR THRESHOLD. SECTION R311.3.1 CRC
- GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE.

WINDOW NOTES

- SEE EXTERIOR ELEVATION FOR DIRECTION OF OPERATION OF WINDOWS (ALL OPERABLE WINDOWS TO HAVE SCREENS).
- ALL WINDOW DIMENSIONS PERTAIN TO ROUGH OPENINGS (R.O.), CONTRACTOR TO FIELD VERIFY ACTUAL DIMENSIONS FOR WINDOWS.
- ALL GLAZING WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE NFRC LABEL.
- ALL GLAZING SHALL BE SPECTRALLY SELECTIVE LOW E COATED TO MEET TITLE 24 ENERGY REQUIREMENTS.
- WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 116 E.E.S.D
- VENTILATION SHALL COMPLY WITH C.B.C. 1203.4 AND R303
- EVERY SLEEPING ROOM SHALL HAVE ONE OPERABLE WINDOW FOR EMERGENCY ESCAPE OR RESCUE WITH A MIN. NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. MIN. NET CLEAR OPENABLE HEIGHT OF 24" MIN., NET CLEAR WIDTH OF 20" AND A FIN. SILL HEIGHT OF NOT MORE THAN 44" A.F.F. PER CRC SECTION 3101
- ALL EXTERIOR WINDOW AND EXTERIOR DOOR ASSEMBLIES TO HAVE AN STC RATING OF 30 OR GREATER.
- TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED AND VISIBLE WHEN THE UNIT IS GLAZED.
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL VENTILATION AND NATURAL LIGHT BY MEANS OF VENTILATION / ARTIFICIAL LIGHT. CBC SECTIONS 1203.4 AND 1205.1 AND R303
 - THE MINIMUM NET GLAZED AREA FOR NATURAL LIGHT SHALL NOT BE LESS THAN 8% OF THE FLOOR AREA OF THE ROOM SERVED. CBC SECTION 1205.2
 - THE MINIMUM OPENABLE AREA TO THE OUTDOORS FOR NATURAL VENTILATION SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED. SECTION 1203.4
- EXTERIOR WINDOWS AND EXTERIOR GLAZED DOOR ASSEMBLIES SHALL BE CONSTRUCTED OF MULTIPANE GLAZING WITH ONE TEMPERED PANE. HAVE A FIRE RESISTANCE RATINGS OF 20 MINUTES OR MEET THE REQUIREMENTS OF SFM 12-7A-2.

145 MILL STREET

145 MILL STREET
 GRASS VALLEY, CA 95945
 APN: 008-372-012

ID	NAME	DATE

SUBMITTED:	01.04.2024
SCALE:	AS NOTED
DRAWN BY:	RPD
CHECKED BY:	RPD
JOB:	---

DOOR & WINDOW SCHEDULES

A6.0

