

143 Conaway  
Development Review and Variance Application

**Attachment List**

1. Project Cover Sheet
2. Vicinity/Aerial Map
3. Universal/Variance Application
4. ADU/Carriage House Plans



**City of Grass Valley**  
**Community Development Department**  
**125 E. Main Street**  
**Grass Valley, California 95945**  
**(530) 274-4330**

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## Project Cover Sheet

**Date:** September 19, 2024  
**To:** Interested Parties/Responsible & Trustee Agencies  
**From:** Amy Wolfson, City Planner  
City of Grass Valley, Community Development Department  
125 E. Main Street  
Grass Valley, CA 95945  
530-274-4711/ awolfson@cityofgrassvalley.com

**RE: Project Description**

Proposed Development Review and Variance application for a 1,000 sq ft Accessory Dwelling Unit (ADU)/Carriage House above a 1,025 sq ft detached garage. The lot has double-frontage on Conaway Avenue. Due to the double-frontage lot configuration which requires the city to treat both street-fronting property lines as "front lot lines" pursuant to the definition in the Development Code, applicant, Philip Kniesel, is requesting a Variance from the front yard setback. Standard front setbacks require that parking be setback 20-feet and that residential buildings be setback 15-feet from the front setback. The proposed project sites the ADU/Carriage House at five feet from the Clipper Lane property line.

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As an interested party and/or Responsible or Trustee Agency, in accordance with the California Environmental Quality Act (CEQA), the above-described project is being distributed to you for review and comment. Your comments and/or conditions must be received, **in writing**, no later than **October 3, 2024**. If you need additional information to complete your review, please contact me at your earliest convenience at the above noted address.

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**Applicant:** Philip Kniesel

**APNs:** 008-520-024

**File No:** 24PLN-40

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**Project Location:** 143 Conaway Avenue

**General Plan:** Urban Low Density (ULD)

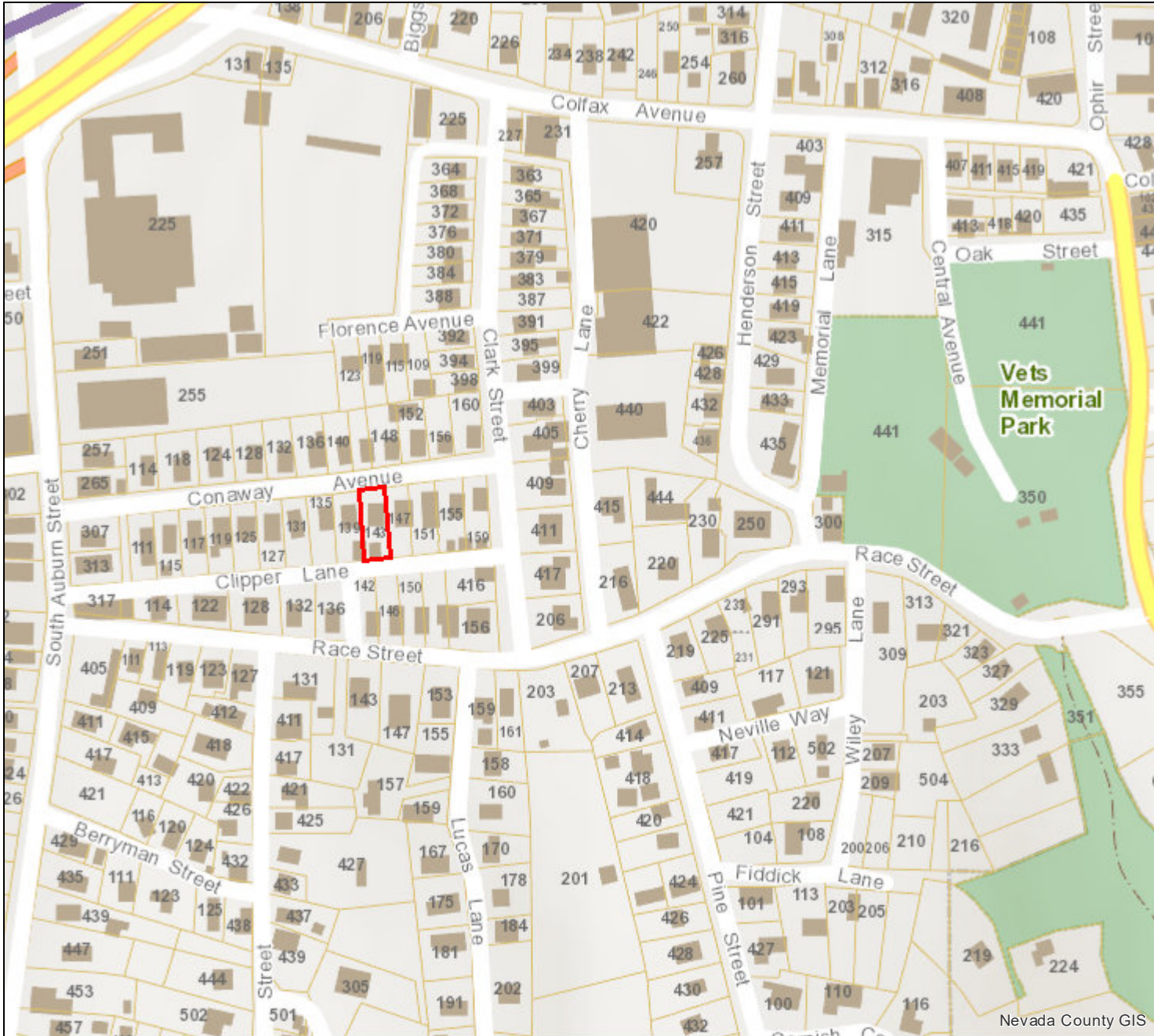
**Zoning:** Neighborhood General-2 (NG-2)

**Project Size:** 0.16

**Water:** City

**Sewer:** City Sewer

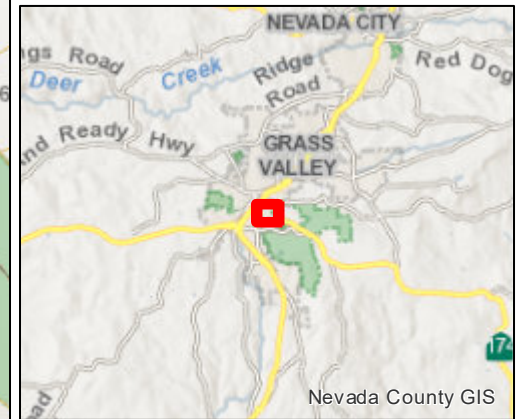
# Vicinity- 143 Conaway



**Parcel APN:** 008-520-024  
 143 CONAWAY AVENUE

Land Value: \$177,165.00  
 Improvement Value: \$227,783.00  
 Acreage: Unknown  
 Zoning: NG-2 GVCity  
 General Plan: ULD GVCity  
 Fire District: Grass Valley  
 Elementary Sch. Dist: Grass Valley  
 Water District:  
 Nevada Irrigation Dist:  
 Public Utility:  
 Park District:  
 Service Area: Solid Waste Grass Valley - Csa 32  
 Snow Load: 43 lbs/sqft  
 Wind Exposure: C  
 Climate Zone: 11  
 Elevation: 2,411 feet

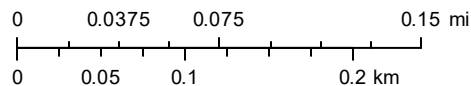
## Overview



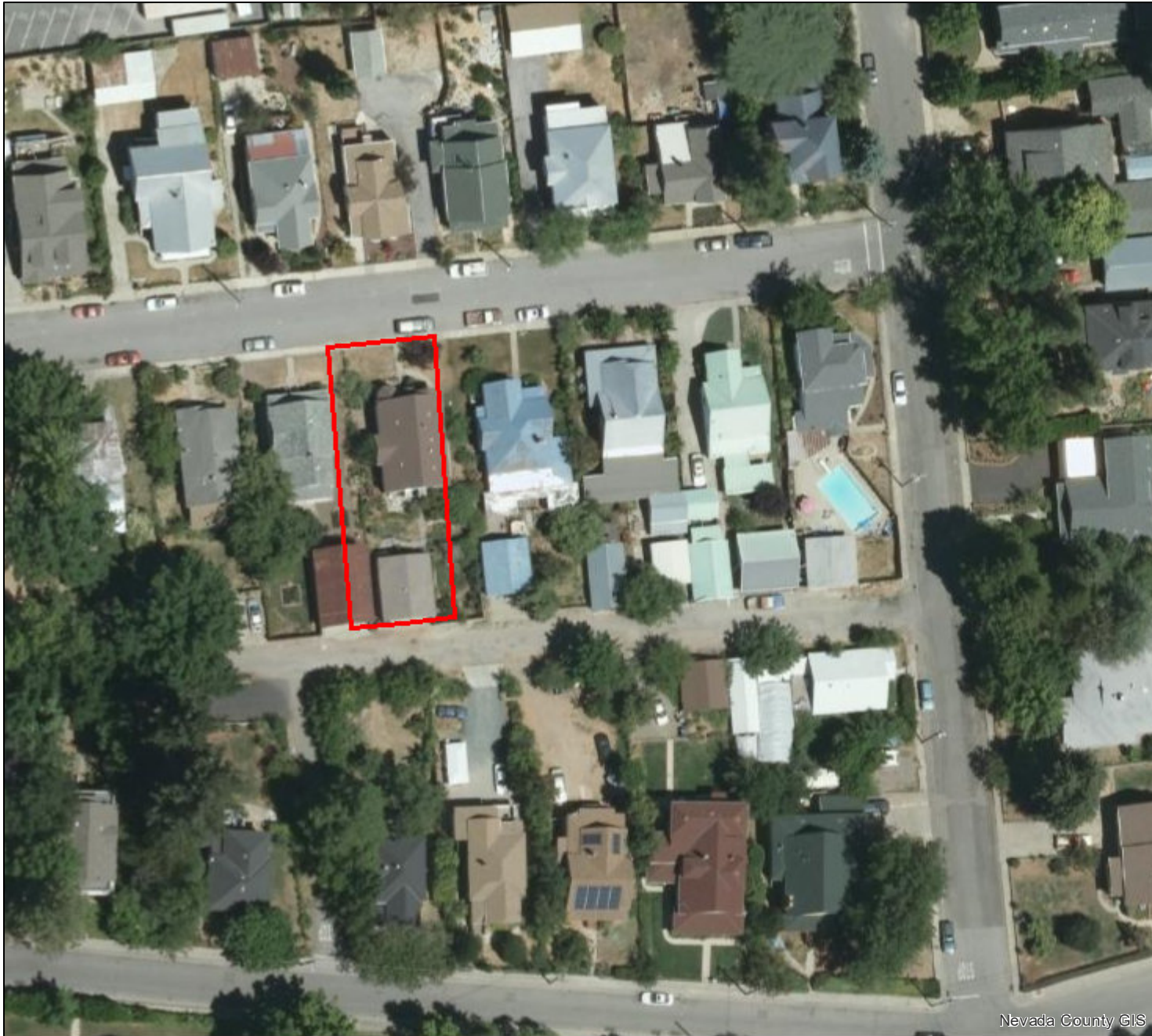
September 19, 2024

© 2024 Nevada County, California

Scale:  
 1:4,514



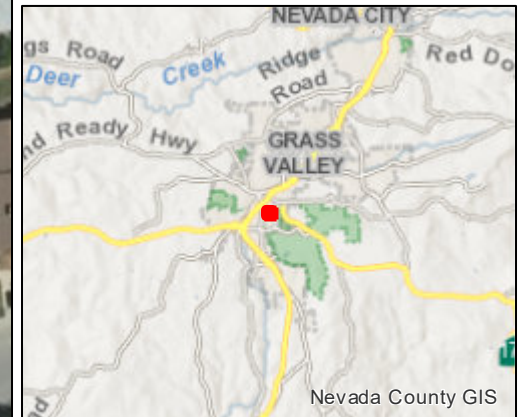
# Aerial - 143 Conaway



**Parcel APN:** 008-520-024  
143 CONAWAY AVENUE

Land Value: \$177,165.00  
Improvement Value: \$227,783.00  
Acreage: Unknown  
Zoning: NG-2 GVCity  
General Plan: ULD GVCity  
Fire District: Grass Valley  
Elementary Sch. Dist: Grass Valley  
Water District:  
Nevada Irrigation Dist:  
Public Utility:  
Park District:  
Service Area: Solid Waste Grass Valley - Csa 32  
Snow Load: 43 lbs/sqft  
Wind Exposure: C  
Climate Zone: 11  
Elevation: 2,411 feet

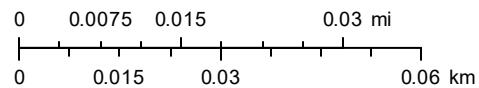
## Overview



September 19, 2024

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Scale:  
1:1,128



**UNIVERSAL PLANNING APPLICATION**  
 \* DUE WITH EVERY PLANNING APPLICATION \*



**Application Types**

**Administrative**

- Limited Term Permit \$698.00
- Zoning Interpretation \$224.00

**Development Review**

- Minor Development Review – 10,000 or less sq. ft. \$1,813.00
- Major Development Review – over 10,000 sq. ft. \$3,293.00
- Conceptual Review - Minor \$459.00
- Conceptual Review – Major \$782.00
- Plan Revisions – Staff Review \$316.00
- Plan Revisions – DRC / PC Review \$831.00
- Extensions of Time – Staff Review \$282.00
- Extensions of Time – DRC / PC Review \$607.00

**Entitlements**

- Annexation \$7,843.00 (deposit)
- Condominium Conversion \$4,923.00 (deposit)
- Development Agreement – New \$18,463.00 (deposit)
- Development Agreement – Revision \$6,903.00
- General Plan Amendment \$7,377.00
- Planned Unit Development \$8,150.00 (minimum charge) + 100.00 / dwelling unit and / or \$100 / every 1,000 sq. ft. commercial floor area
- Specific Plan Review - New Actual costs - \$16,966.00 (deposit)
- Specific Plan Review - Amendments / Revisions Actual costs - \$6,986.00 (deposit)
- Zoning Text Amendment \$3,102.00
- Zoning Map Amendment \$5,073.00

**Environmental**

- Environmental Review – Initial Study \$1,713.00
- Environmental Review – EIR Preparation \$31,604.00 (deposit)
- Environmental Review - Notice of Determination \$149.00 (+ Dept. of Fish and Game Fees)
- Environmental Review - Notice of Exemption \$149.00(+ County Filing Fee)

**Sign Reviews**

- Minor – DRC, Historic District, Monument Signs or other districts having specific design criteria \$313.00
- Major – Master Sign Programs \$1,279.00
- Exception to Sign Ordinance \$964.00

**Subdivisions**

- Tentative Map (4 or fewer lots) \$3,493.00
- Tentative Map (5 to 10 lots) \$4,857.00
- Tentative Map (11 to 25 lots) \$6,503.00
- Tentative Map (26 to 50 lots) \$8,915.00
- Tentative Map (51 lots or more) \$13,049.00
- Minor Amendment to Approved Map (staff) \$1,114.00
- Major Amendment to Approved Map (Public Hearing) \$2,436.00
- Reversion to Acreage \$765.00
- Tentative Map Extensions \$1,047.00
- Tentative Map - Lot Line Adjustments / Merger \$1,200.00

**Use Permits**

- Minor Use Permit - Staff Review \$480.00
- Major Use Permit - Planning Commission Review \$3,035.00

**Variations**

- Minor Variance - Staff Review \$518.00
- Major Variance - Planning Commission Review \$2,029.00

<u>Application</u>	<u>Fee</u>
<b>Total:</b>	<b>\$2029.00</b>

Below is the Universal Planning Application form and instructions for submitting a complete planning application. In addition to the Universal Planning Application form, a project specific checklist shall be submitted. All forms and submittal requirements must be completely filled out and submitted with any necessary supporting information.

Upon receipt of the **completed forms, site plan/maps, and filing fees**, the Community Development Department will determine the completeness of the application. This review will be completed as soon as possible, but within thirty (30) days of the submittal of the application. If the application is determined to be complete, the City will begin environmental review, circulate the project for review by agencies and staff, and then schedule the application for a hearing before the Planning Commission.

If sufficient information **has not** been submitted to adequately process your application, you will receive a notice that your application is incomplete along with instructions on how to complete the application. Once the City receives the additional information or revised application, the thirty (30) day review period will begin again.

Since the information contained in your application is used to evaluate the project and in the preparation of the staff report, it is important that you provide complete and accurate information. Please review and respond to each question. If a response is not applicable, N/A should be used in the space provided. Failure to provide adequate information could delay the processing of your application.

Additional information may be obtained at [www.cityofgrassvalley.com](http://www.cityofgrassvalley.com) regarding the 2020 General Plan and Zoning. You may also contact the Community Development Department for assistance.

### **ADVISORY RE: FISH AND GAME FEE REQUIREMENT**

Permit applicants are advised that pursuant to Section 711.4 of the Fish and Game Code a fee of **\$3,539.25** for an Environmental Impact Report and **\$2,548.00** for a Negative Declaration\* shall be paid to the County Recorder at the time of recording the Notice of Determination for this project. This fee is required for Notices of Determination recorded after January 1, 1991. A Notice of Determination cannot be filed and any approval of the project shall not be operative, vested, or final until the required fee is paid. This shall mean that building, public works and other development permits cannot be approved until this fee is paid. These fees are accurate at the time of printing, but **increase the subsequent January 1<sup>st</sup>** of each year.

This fee is **not** a Grass Valley fee; it is required to be collected by the County pursuant to State law for transmission to the Department of Fish and Game. This fee was enacted by the State Legislature in September 1990, to be effective January 1, 1991.

\*If the City finds that the project will not have an impact on wildlife resources, through a De Minimus Impact Finding, the City will issue certificate of fee exemption. Therefore, this fee will not be required to be paid at the time an applicant files the Notice of Determination with the County Recorder. The County's posting and filing fees will still be required.

<u>Applicant/Representative</u>	<u>Property Owner</u>
Name: Philip Kniesel	Name: Althea Bauer
Address: 3714 Crescent Dr	Address: 3501 Harbison Drive #203
Pearland, TX 77584	Vacaville, CA 95687
Phone: (281) 692-0178	Phone: (530) 557-7781
E-mail: Pkneisl2@gmail.com	E-mail: Altheamara@gmail.com

<u>Architect</u>	<u>Engineer</u>
Name: Jeff Hine (Russell Davidson Architecture)	Name:
Address: 149 Crown Point Court, Suite C	Address:
Grass Valley, CA 95945	
Phone: (503) 264 5559	Phone: ( )
E-mail: jeff@davidsonarch.com	E-mail:

**1. Project Information**

- a. Project Name Conaway Carriage House
- b. Project Address 143 Conaway Ave
- c. Assessor's Parcel No(s) 008-520-024  
(include APN page(s))
- d. Lot Size 0.16 Acres

**2. Project Description**

The proposed project includes a new carriage house ADU at the rear of the property at 143 Conaway Ave where there is currently a detached single car garage. The proposed wood framed carriage house consists of a 1,000 sf two bedroom residence over a three gar garage. Due to a disability, the client requires an elevator to access the second story of the carriage house.

It is our understanding that a 15' and 20' front setback is to be applied to this project, despite being at the rear property line. Due to the constrained size of the 0.16 acre site, applying the front setback would eliminate any usable rear yard for either the new carriage house or the existing primary residence.

Along Clipper Lane, there are several instances of buildings situated at or near the rear property line. Many of these instances are detached garages, but there are also precedents of ADU's built to the property line. On the same block, 155 1/2 Conaway is an example of an ADU built to the property line. There are also instances nearby along 413 and 419 Henderson where an ADU is built along the rear property line. Given the existing precedents in the neighborhood, we would like to build the proposed carriage house 5' from the rear property line, matching the setback of the existing detached garage on the property. Since we are proposing to build within in the required front setback, we took efforts to break down the massing by providing a five foot wide and five feet deep recess in the southern facade along Clipper Lane. This recess allows for a natural transition of materials and roof forms, which are intended to help the carriage house appear as distinct, separate volumes and provide more visual interest to the neighborhood.

**3. General Plan Land Use:** GVCITY

**4. Zoning District:** NG-2

4. **Cortese List:** Is the proposed property located on a site which is included on the Hazardous Waste and Substances List (Cortese List)? Y \_\_\_\_\_ N N

The Cortese List is available for review at the Community Development Department counter. If the property is on the List, please contact the Planning Division to determine appropriate notification procedures prior to submitting your application for processing (Government Code Section 65962.5).

5. **Indemnification:** The City has determined that City, its employees, agents and officials should, to the fullest extent permitted by law, be fully protected from any loss, injury, damage, claim, lawsuit, expense, attorney’s fees, litigation expenses, court costs or any other costs arising out of or in any way related to the issuance of this permit, or the activities conducted pursuant to this permit. Accordingly, to the fullest extent permitted by law, the applicant shall defend, indemnify and hold harmless City, its employees, agents and officials, from and against any liability, claims, suits, actions, arbitration proceedings, regulatory proceedings, losses, expenses or costs of any kind, whether actual, alleged or threatened, including, but not limited to, actual attorney’s fees, litigation expenses and court costs of any kind without restriction or limitation, incurred in relation to, as a consequence of, arising out of or in any way attributable to, actually, allegedly or impliedly, in whole or in part, the issuance of this permit, or the activities conducted pursuant to this permit. Applicant shall pay such obligations as they are incurred by City, its employees, agents and officials, and in the event of any claim or lawsuit, shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.

6. **Appeal:** Permits shall not be issued until such time as the appeal period has lapsed. A determination or final action shall become effective on the 16<sup>th</sup> day following the date by the appropriate review authority, where no appeal of the review authority’s action has been filed in compliance with Chapter 17.91 of the City’s Development Code.

The 15-day period (also known as the “appeal” period in compliance with Chapter 17.91) begins the first full day after the date of decision that the City Hall is open for business, and extends to the close of business (5:00 p.m.) on the 15<sup>th</sup> day, or the very next day that the City Hall is open for business.

I hereby certify, to the best of my knowledge, that the above statements are correct.

Property Owner/\*Representative Signature: \_\_\_\_\_

***\*Property owner must provide a consent letter allowing representative to sign on their behalf.***

Applicant Signature: \_\_\_\_\_

--OFFICE USE ONLY--	
Application No.:	Date Filed:
Fees Paid by:	Amount Paid:
Other Related Application(s):	



**VARIANCE**



**SUPPLEMENTAL APPLICATION INFORMATION**

This document will provide necessary information about the proposed project. It will also be used to evaluate potential environmental impacts created by the project. Please be as accurate and complete as possible in answering the questions. Further environmental information could be required from the applicant to evaluate the project.

**PLEASE PRINT CLEARLY OR TYPE  
USE A SEPARATE SHEET, IF NECESSARY, TO EXPLAIN THE FOLLOWING:**

- I. Provide a written response for the variance request and provide a written justification statement to support findings listed in Section 17.72.070 F of the Development Code, including the following:
  - A. There are special circumstances applicable to the property, including location, shape, size, surroundings, and topography, so that the strict application of this Development Code deprives the property of privileges enjoyed by other property in the vicinity and within the same zone;
  - B. The approval of the Variance or Minor Variance includes conditions of approval as necessary to ensure that the adjustment granted does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and within the same zone; and,
  - C. The granting of the application will not authorize an activity or use which is not otherwise expressly authorized by the zone governing the parcel of property for which the application is made.

II. Project Characteristics:

A. Describe all existing buildings and uses of the property: \_\_\_\_\_  
The proposed project includes a new carriage house ADU at the rear of the property at 143 Conaway Ave where there is currently a detached single car garage. The proposed wood framed carriage house consists of a 1,000 sf ft two bedroom residence over a three gar garage. Due to a disability, the client requires an elevator to access the second story of the carriage house.  
\_\_\_\_\_

B. Describe surrounding land uses:

North: Conaway Ave - public right of way  
South: Clipper Ave - public right of way  
East: Residence  
West: Residence

## SITE PLAN REQUIREMENTS

A site plan is a scale drawing that depicts a property's size and shape, existing improvements on the property, and improvements or additions which are intended to be added. The site plan should be as complete and accurate as possible since it will be used by several City departments to check various requirements of the development application. Please place a check or N/A on the line provided in the below checklist. Submit this page along with the map and application packet.

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### A. Application Checklist:

- One completed copy of Universal Application form.
- One completed copy of the Environmental Review Checklist (if applicable).
- Preliminary Title Report dated no later than 6 months prior to the application filing date.
- The appropriate non-refundable filing fee.

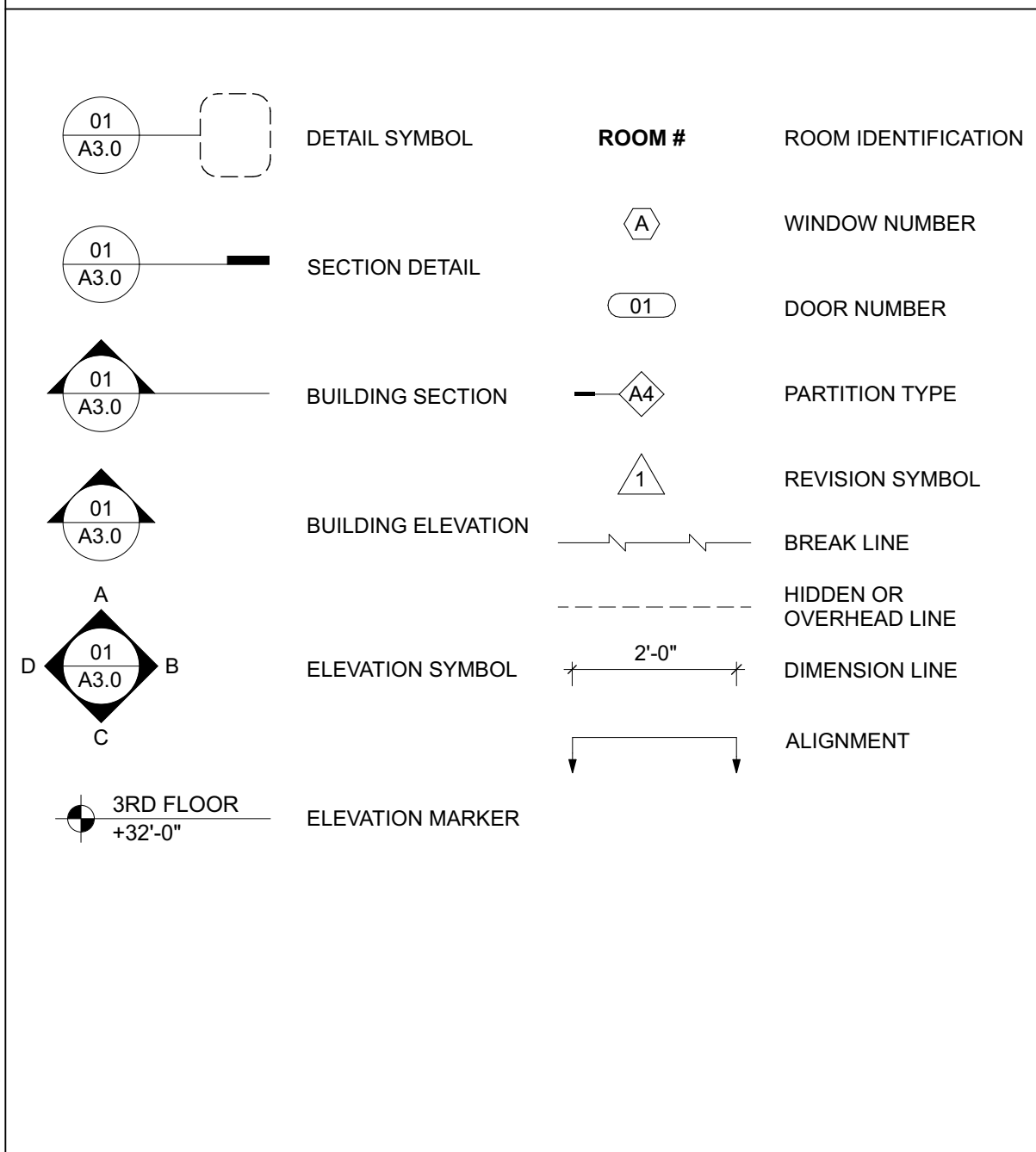
### B. Site Plan Submittal:

- Site Plan size – one 8-1/2" x 11", 15 larger folded copies (folded to 9" x 12") with one 8.5 x 11" reduced copy and e-mail electronic .pdf file.
- Graphic scale and north arrow.
- Vicinity map (showing property location to major roads or major landmarks).
- Show location and dimensions of existing and proposed structures and walls.
- (Identify existing as a solid line and proposed as a dashed line).
- Label the use of all existing and proposed structures or area.
- Show the distance between structures and to the property lines.
- Show site access, location and dimensions of adjacent street right-of-way, property lines, building setback lines, sidewalks and easements.
- Show off-street parking facilities, including parking area and layout, loading areas trash storage areas, dimensions and numbers of individual parking spaces (including handicapped spaces) and aisles.

ABBREVIATIONS

Table with columns for abbreviations and their corresponding full names. Includes items like ANCHOR BOLT, ABOVE, AIR CONDITIONING, etc.

SYMBOLS



GENERAL NOTES

- List of general notes regarding construction requirements, including material specifications, safety, and quality control.

PROJECT TEAM

OWNER:
ARCHITECT: RUSSELL DAVIDSON ARCHITECTURE + DESIGN
STRUCTURAL ENGINEER:
MECHANICAL ENGINEER:
ENERGY ANALYSIS:

APPLICABLE CODES

ALL CODES REFERENCED ARE TO BE USED AS AMENDED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTION.
2022 CALIFORNIA RESIDENTIAL BUILDING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA GREEN BUILDING CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA ENERGY CODE

SPECIAL INSPECTIONS

THE FOLLOWING SPECIAL INSPECTIONS ARE REQUIRED:

PROJECT DATA

SITE DATA
ADDRESS: 143 CONAWAY AVE, GRASS VALLEY, CA 95945
WIND EXPOSURE: C
CLIMATE ZONE: 11
ZONING: NG-2 GVCITY
SITE AREA: 0.16 AC
MAX. HEIGHT: 25' TO EAVE (CARRIAGE HOUSE)
SETBACKS
FRONT: 15' BUILDING, 20' GARAGE
INTERIOR: 5'
EXTERIOR: -
REAR: 5'
BUILDING ANALYSIS
OCC. GROUP: R-3, U
CONST. TYPE: V-B
FIRE SPRINKLERS:
AREAS:
GARAGE: 1,025 SF
(N) CARRIAGE HOUSE ADU: 1,000 SF
EXTERIOR CIRCULATION: 161 SF
BALCONY: 345 SF

SCOPE OF WORK

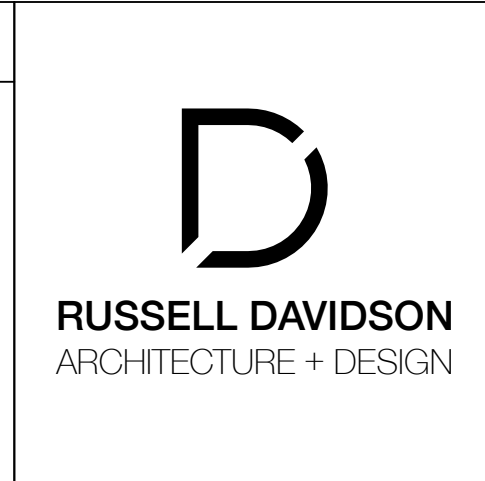
PROJECT CONSISTS OF THE FOLLOWING WORK:
2022 CALIFORNIA RESIDENTIAL BUILDING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA GREEN BUILDING CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA ENERGY CODE

DEFERRED SUBMITTALS

THE FOLLOWING SUBMITTALS WILL BE DEFERRED:

SHEET INDEX

Table showing sheet titles and indices: T1.0 TITLE SHEET, A0.1 SITE PLAN, A0.2 PLOT PLAN, A1.0 FLOOR PLAN - LEVEL 1, A1.1 FLOOR PLAN - LEVEL 2, A1.2 ROOF PLAN, A2.0 BUILDING ELEVATIONS, A2.1 BUILDING ELEVATIONS, A2.2 3D VIEWS



CONWAY CARRIAGE HOUSE
143 CONAWAY AVENUE
GRASS VALLEY, CA 95945
APN: 008-520-024

Table with columns for ID, NAME, and DATE, currently empty.

VICINITY MAP

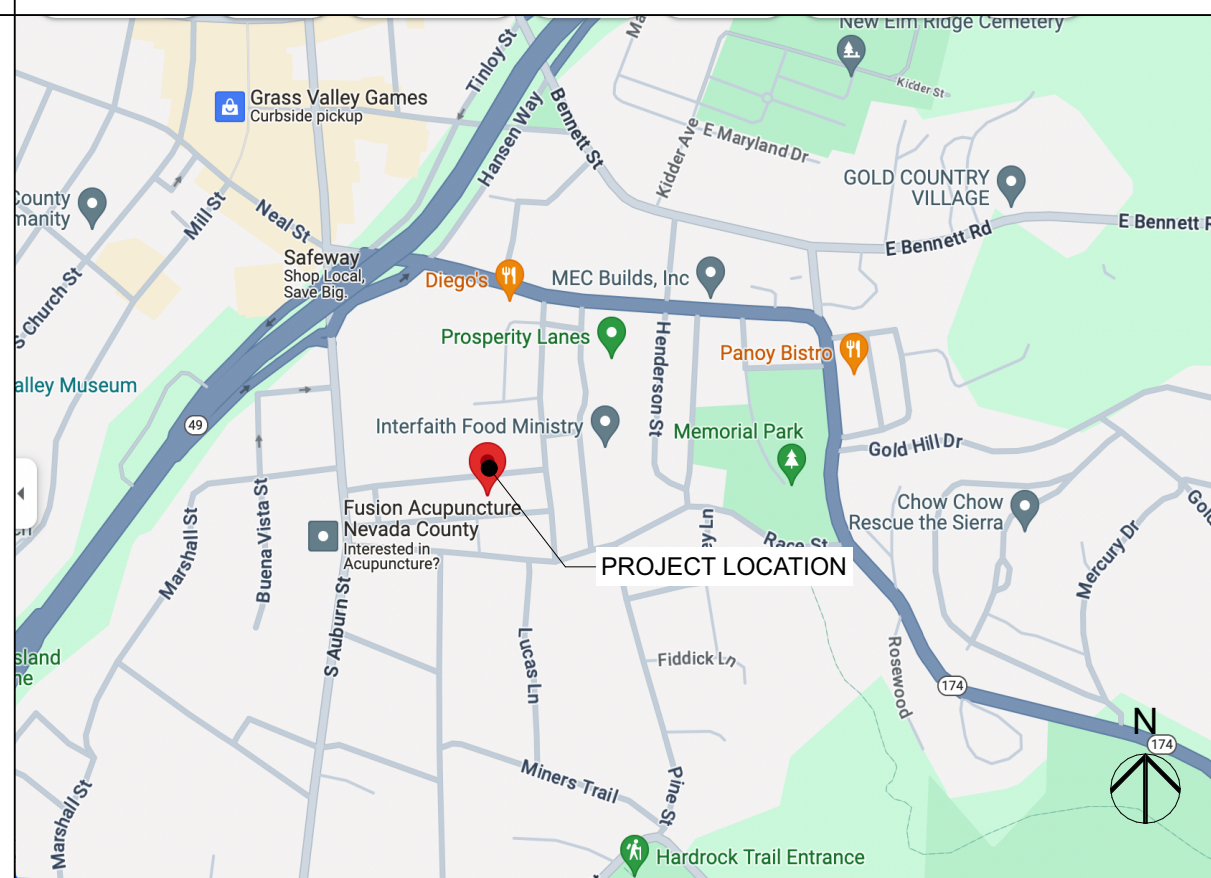


Table for submission tracking: SUBMITTED: DATE, SCALE: AS NOTED, DRAWN BY: RPD, CHECKED BY: RPD, JOB: 2024.07

TITLE SHEET

T1.0

U:\Users\jehline\RD\A-D Dropbox\RD\A-D Projects\Current\2024\11 143 Conaway ADU\Arch\CAD\Current\143 Conaway ADU Current - Variance Hybrid Scheme.pht



1 SITE PLAN  
SCALE: 1" = 10'

**SITE NOTES**

- ALL TREES AND PLANTS ARE (E) AND TO BE RETAINED, UON.
- OWNER TO PROVIDE A BOUNDARY LINE VERIFICATION FORM TO THE BUILDING INSPECTOR, PREPARED BY A LICENSED LAND SURVEYOR FOR BUILDING LINES WITHIN TEN FEET OF PROPERTY LINE SETBACK, WHICH SHALL BE FLAGGED IN THE FIELD BY A LICENSED SURVEYOR PRIOR TO FIRST INSPECTIONS.
- ROADSIDE VEGETATION: A FUEL MODIFICATION AREA SHALL BE PROVIDED FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE DRIVEWAY.
- UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE ALL RULES & REGULATIONS OF THE UTILITY COMPANY PROVIDING SERVICE. BACKFILL & COMPACT TRENCHES PER SOIL REPORT.
- SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET.  
  
EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING.
- PROJECT WILL COMPLY WITH LOCAL AHJ STORM WATER REQUIREMENTS.

**LEGEND**

- (E) EXISTING FLOOR AREA
- (N) PROPOSED FLOOR AREA
- CONCRETE FLATWORK
- CONCRETE FLATWORK: STAMPED PATTERN
- PROPERTY LINE
- SETBACK LINE
- ELECTRICAL LINE
- GAS LINE
- SEWER LINE
- WATER LINE
- PROPOSED BELOW GRADE RAINWATER DRAINAGE SYSTEM
- CONTROL JOINT
- EXPANSION JOINT
- FENCE

**COVERAGE CALCULATIONS**

<b>BUILDING AREA</b>	
FLOOR AREA (E)	1,116 SF
FLOOR AREA (E) GARAGE	796 SF
FLOOR AREA (NEW)	1,000 SF
FLOOR AREA NEW GARAGE	1,158 SF
TOTAL	3,946 SF
<b>IMPERVIOUS SURFACE COVERAGE</b>	
HOUSE AREA:	2,279 SF
COVERED AREA:	584 SF
PAVED AREA:	82 SF
TOTAL	2,945 SF
SITE AREA:	6,970 SF
LOT COVERAGE (ALLOWED): 50% (3,485 SF)	
LOT COVERAGE (ACTUAL): 2,945 SF / 6,970 SF (42.5%)	

**EROSION CONTROL**

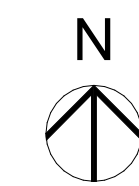
- ALL SURFACES DAMAGED BY THE ACTIONS OF THE CONTRACTOR SHALL BE RESTORED TO EQUAL OR BETTER THAN THE ORIGINAL CONDITION.
  - ALL EXCAVATED AREAS SHALL BE KEPT WATERED OR COVERED WITH A PALLIATIVE TO PREVENT EMISSION OF FUGITIVE DUST. DUST AND MUD CONTROL SHALL BE PROVIDED AT ALL TIMES INCLUDING EVENINGS, WEEKENDS, AND HOLIDAYS. AT LEAST ONE MOBILE UNIT WITH A MINIMUM CAPACITY OF 700 GALLONS SHALL BE AVAILABLE AT ALL TIMES FOR APPLYING WATER ON THE AFFECTED AREAS. WATER SHALL BE OBTAINED FROM A SOURCE APPROVED BY THE NORTHERN SIERRA AIR QUALITY MANAGEMENT DISTRICT.
  - SEED, FERTILIZER, AND MULCH SHALL BE APPLIED BETWEEN SEPTEMBER 15 AND OCTOBER 15. REMOVAL OF NATIVE VEGETATION SHALL BE MINIMIZED.
  - SEED, FERTILIZER, AND MULCH SHALL BE APPLIED TO ALL DISTURBED SOILS AND ALL EXPOSED CUT & FILL SLOPES\* NOT PROTECTED BY ROCK IN THE FOLLOWING RATES:  
  

SEED MIX: BLANDO BROME	12 LBS/AC
ZORRO ANNUAL FESCUE	4 LBS/AC
HYKON ROSE CLOVER (INOCULATED)	9 LBS/AC
SEED MIX: AMMONIUM PHOSPHATE (W-20-0)	200 LBS/AC
SEED MIX: CLEAN STRAW	2.5 LBS/AC

\*SLOPES WITH GLAZED OR SMOOTH SURFACES SHALL BE SCARIFIED TO A DEPTH OF 2-4 INCHES TO PROVIDE AN ADEQUATE SEED BED.  
\*LEGUMES SHALL BE INOCULATED WITH APPROPRIATE BACTERIA AT ACCEPTED RATES AT TIME OF SEEDING
- SEED AND FERTILIZER SHALL BE APPLIED USING BROADCAST METHOD ON SLOPES GREATER THAN 2:1. OTHER MEASURES SUCH AS NETTINGS OR TACKIFIERS SHALL BE UTILIZED TO HOLD MATERIALS IN PLACE UNTIL VEGETATION IS ESTABLISHED
- IN THE FIELD AFTER CONSULTING WITH THE RESOURCE CONSERVATION DISTRICT, IF PERMANENT EROSION CONTROL MEASURES ARE NOT INSTALLED BY OCTOBER 15 OF CONSTRUCTION SEASON, TEMPORARY MEASURES SUCH AS STRAW BALE SEDIMENT BARRIERS, CHECK DAMS, SEDIMENT TRAPS SHALL BE EMPLOYED NO LATER THAN NOVEMBER 1. THE ACTUAL LOCATIONS FOR SPECIFIC MEASURES MAY BE DETERMINED
- NO ON-SITE ROAD CONSTRUCTION SHALL OCCUR BETWEEN OCTOBER 15 AND MAY 1 WITHOUT PRIOR WRITTEN APPROVAL

**KEYNOTES**

- PROPERTY LINE
- SETBACK TO PRIMARY RESIDENCE
- SETBACK FOR ADU



**RUSSELL DAVIDSON**  
ARCHITECTURE + DESIGN

LICENSED ARCHITECT  
RUSSELL DAVIDSON  
No. C36895  
Ren. 11-30-25  
STATE OF CALIFORNIA

**CONWAY CARRIAGE HOUSE**

143 CONWAY AVENUE  
GRASS VALLEY, CA 95945  
APN: 008-520-024

ID	NAME	DATE

SUBMITTED:	DATE
SCALE:	AS NOTED
DRAWN BY:	RPD
CHECKED BY:	RPD
JOB:	2024.07

**SITE PLAN**

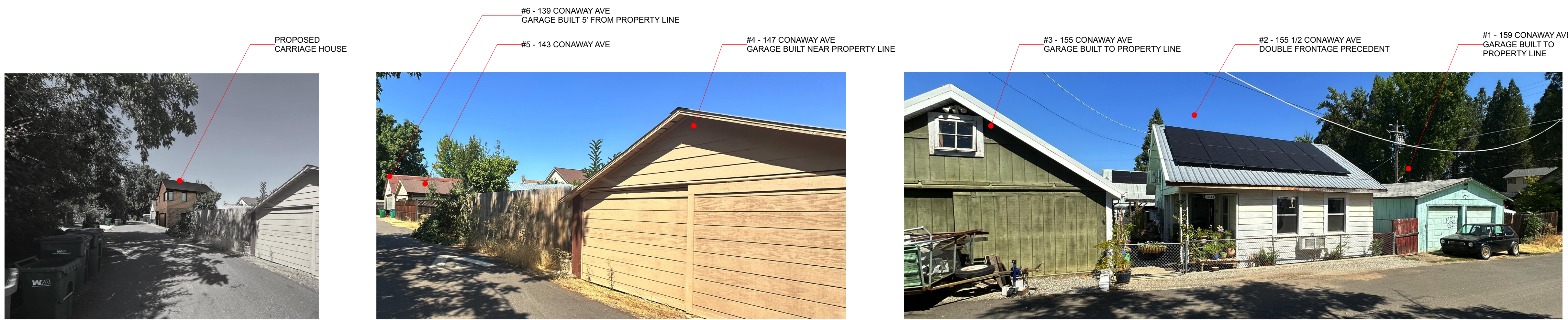
**A0.1**

CONAWAY AVENUE

PROPERTY LINE



1 PLOT PLAN  
SCALE: 1" = 20'



PROPOSED CARRIAGE HOUSE

#6 - 139 CONAWAY AVE  
GARAGE BUILT 5' FROM PROPERTY LINE

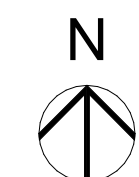
#5 - 143 CONAWAY AVE

#4 - 147 CONAWAY AVE  
GARAGE BUILT NEAR PROPERTY LINE

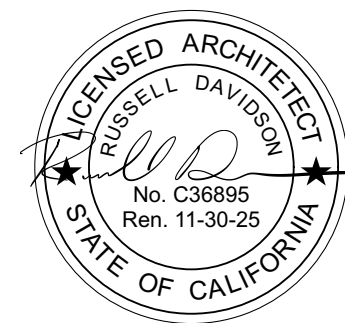
#3 - 155 CONAWAY AVE  
GARAGE BUILT TO PROPERTY LINE

#2 - 155 1/2 CONAWAY AVE  
DOUBLE FRONTAGE PRECEDENT

#1 - 159 CONAWAY AVE  
GARAGE BUILT TO PROPERTY LINE



RUSSELL DAVIDSON  
ARCHITECTURE + DESIGN



CONAWAY CARRIAGE HOUSE

143 CONAWAY AVENUE  
GRASS VALLEY, CA 95945  
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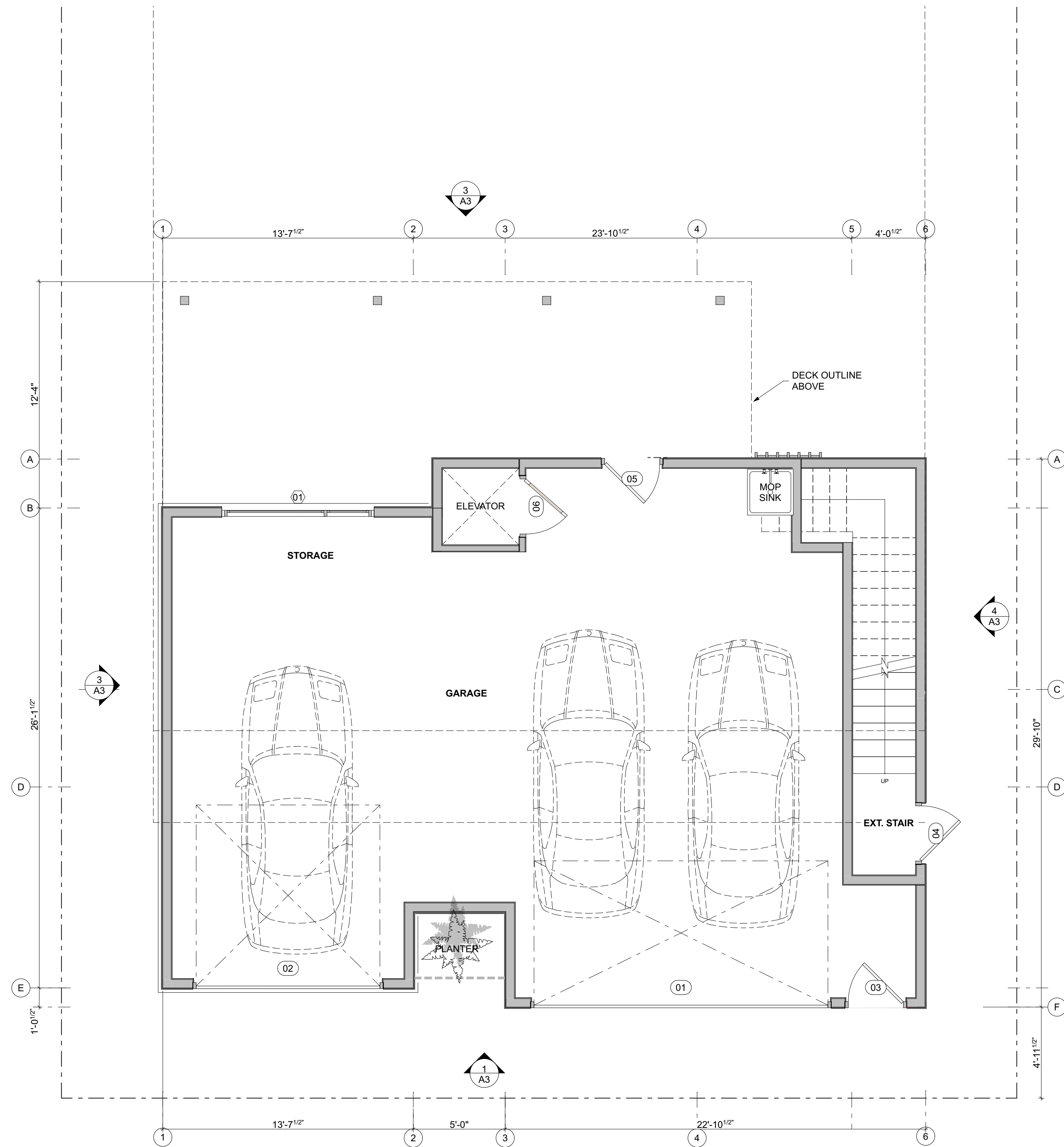
ID	NAME	DATE
SUBMITTED:	DATE	
SCALE:	AS NOTED	
DRAWN BY:	RPD	
CHECKED BY:	RPD	
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PLOT PLAN

A0.2

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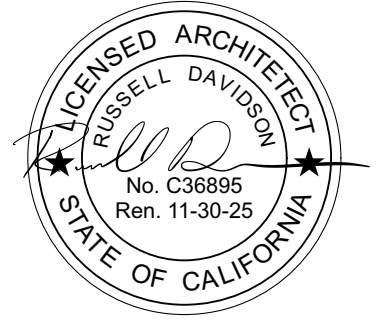


**1** NEW 1ST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**LEGEND**

- (E) WALL TO REMAIN
- (N) WALL
- 1 HR. FIRE WALL
- ROOM #**
- WINDOW NUMBER
- DOOR NUMBER
- PARTITION TYPE
- THERMOSTAT
- GARAGE DOOR OPENER
- HOSE BIB
- GAS

**RD**  
**RUSSELL DAVIDSON**  
ARCHITECTURE + DESIGN



**CONAWAY CARRIAGE HOUSE**

143 CONAWAY AVENUE  
GRASS VALLEY, CA 95945  
APN: 008-520-024

ID	NAME	DATE

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DRAWN BY: RPD	AS NOTED
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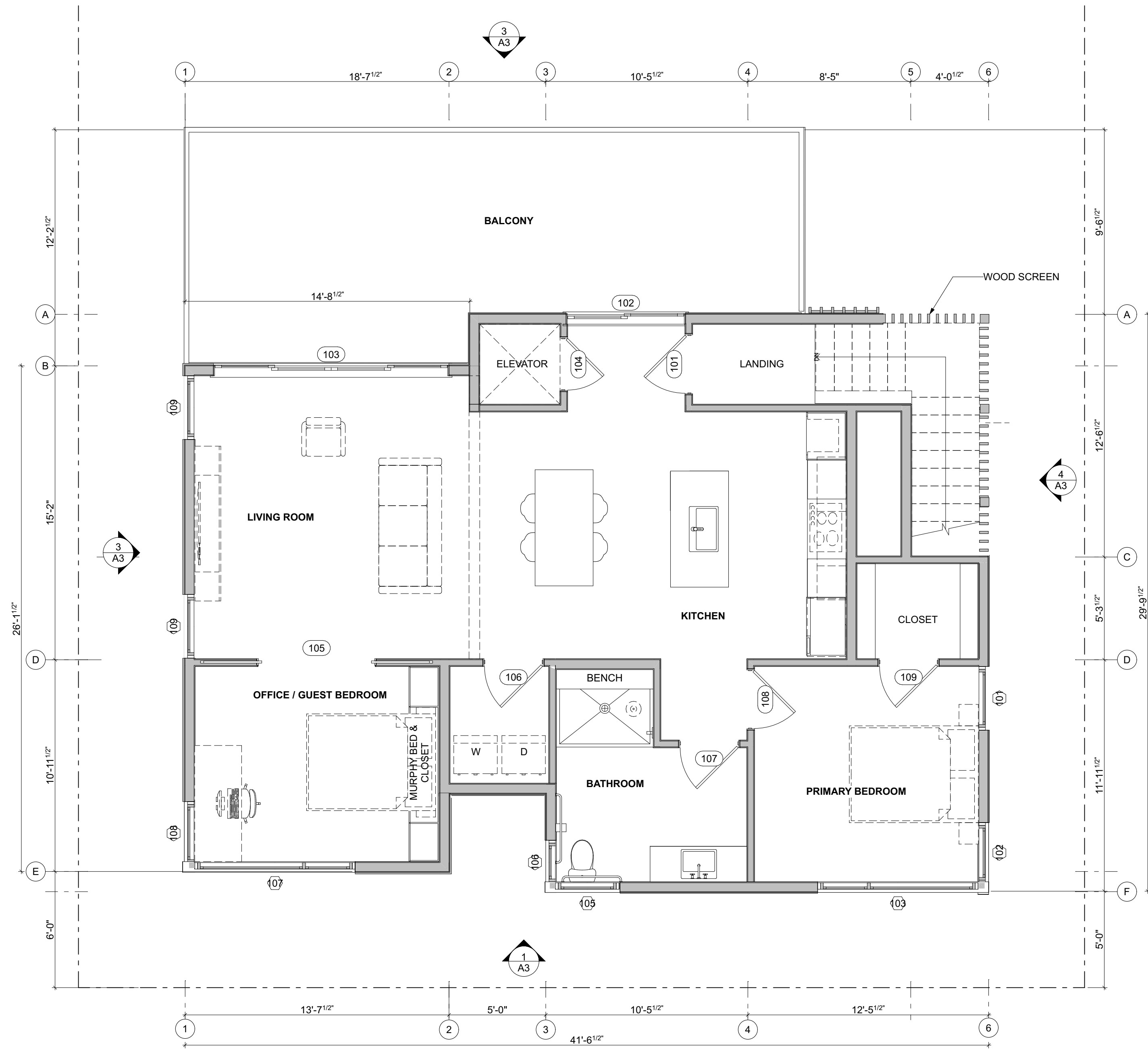
**KEYNOTES**

**FLOOR PLAN - LEVEL 1**

**A1.0**



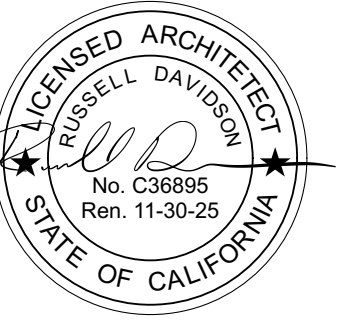
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**1** NEW 2ND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**LEGEND**

- (E) WALL TO REMAIN
- (N) WALL
- 1 HR. FIRE WALL
- ROOM #**
- WINDOW NUMBER
- DOOR NUMBER
- PARTITION TYPE
- THERMOSTAT
- GARAGE DOOR OPENER
- HOSE BIB
- GAS



**CONWAY CARRIAGE HOUSE**

143 CONWAY AVENUE  
GRASS VALLEY, CA 95945  
APN: 008-520-024

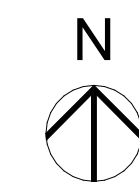
ID	NAME	DATE

SUBMITTED:	DATE
SCALE:	AS NOTED
DRAWN BY:	RPD
CHECKED BY:	RPD
JOB:	2024.07

**KEYNOTES**

**FLOOR PLAN - LEVEL 2**

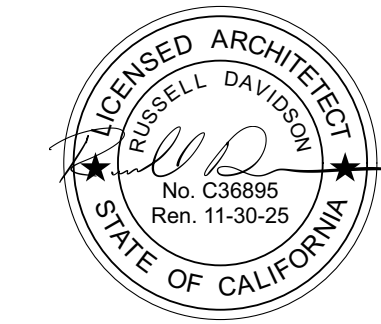
**A1.1**



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**RUSSELL DAVIDSON**  
ARCHITECTURE + DESIGN



**CONAWAY CARRIAGE HOUSE**

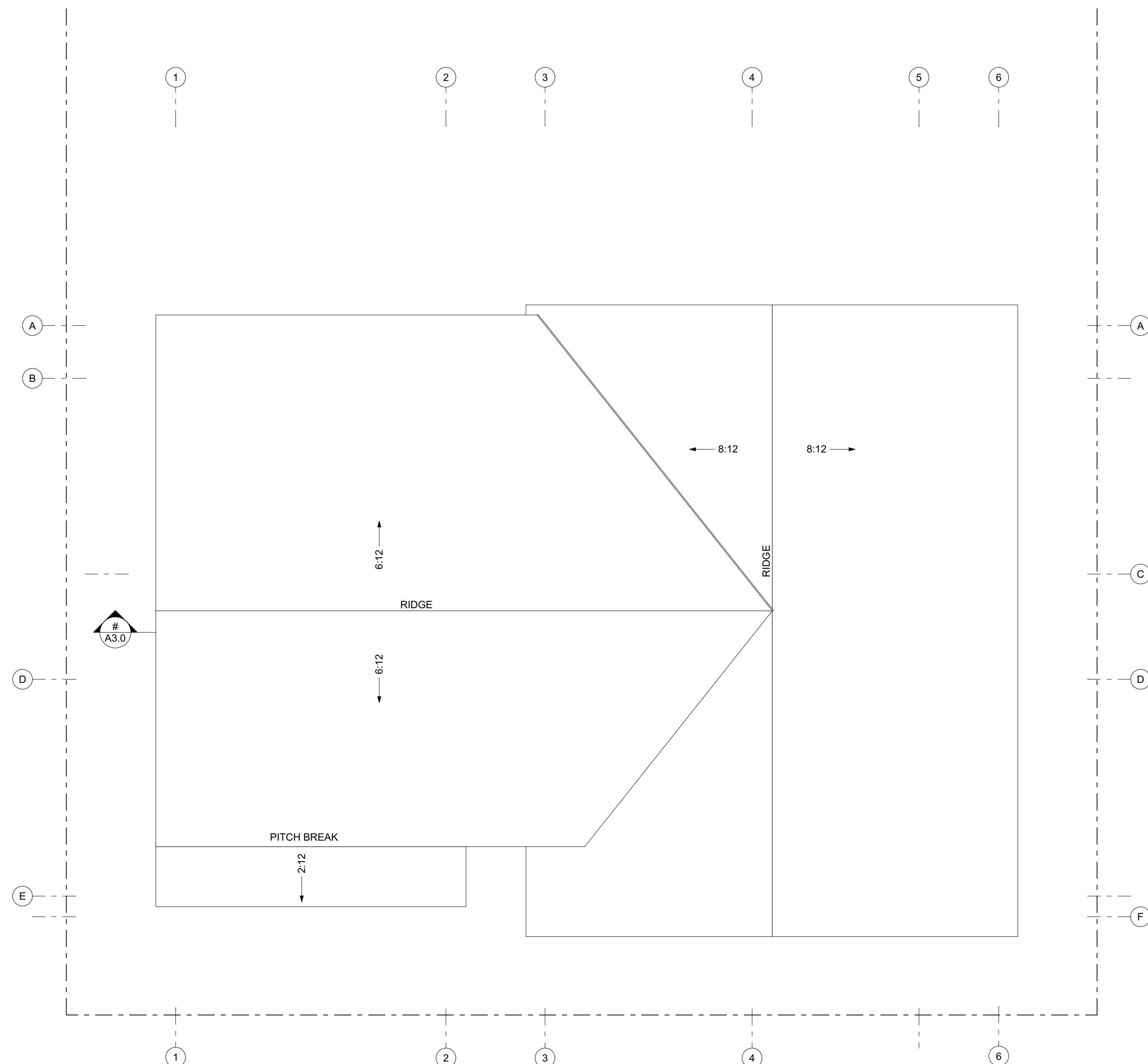
143 CONAWAY AVENUE  
GRASS VALLEY, CA 95945  
APN: 008-520-024

**LEGEND**

- WALL BELOW
- 3" DOWNSPOUT
- NEW ROOF AREA
- UNVENTED ROOF AREA

**ROOF PLAN NOTES**

1. THE CONTRACTOR SHALL HAVE PRESENT AT INSPECTIONS A COPY OF THE ICC-ES EVALUATION REPORT ON THE ROOFING SYSTEM.
2. ALL ROOF COVERING SHALL BE 'IGNITION RESISTANT' COMPLYING WITH CRC SECTION R902.1 AND CLASS "A".  
CLASS 'A' ROOFING COVERING: EAGLE ROOFING PRODUCTS, TILE SHAKE
3. ALL ROOFING WORK MUST ADHERE TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS TO MAINTAIN WARRANTY COVERAGE.
4. ALL ROOF AND DECK SURFACES SHALL SLOPE AT 1/4" PER FOOT MINIMUM, U.O.N.
5. PROVIDE 1/2" EXT-GRADE SHEATHING OVER 2X CRICKETING AT 16" O.C. SLOPED TO DRAIN 1/4" PER FOOT MIN. OVER 5/8" STRUCTURAL PLYWOOD SHEATHING W/ INTEGRAL RADIANT BARRIER AT ALL CHIMNEYS, MECHANICAL EQUIPMENT, AND OTHER LOCATIONS AS REQUIRED FOR POSITIVE DRAINAGE TOWARD DRAINS.
6. FLASH AND SEAL ALL ROOF PENETRATIONS SUCH AS VENTS, FANS, HOODS, AS REQUIRED FOR A WATER-TIGHT INSTALLATION.
7. IN ROOF COVERINGS WHERE THE PROFILE CREATES SPACE BETWEEN THE ROOF COVERING AND COMBUSTIBLE ROOF DECKING, ONE OF THE FOLLOWING MEANS OF PROTECTING SPACES AT EAVES ENDS SHALL BE APPLIED.
  - A. FIRE-STOPPING WITH APPROVED MATERIALS
  - B. ONE LAYER OF 72 POUND (32.4 KG) MINERAL-SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909 INSTALLED OVER THE COMBUSTIBLE DECKING
  - C. OTHERWISE CONSTRUCTED TO PREVENT INTRUSION OF FLAMES AND EMBERS
8. EXPOSED VALLEY FLASHINGS SHALL BE CONSTRUCTED WITH NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.
9. ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.
10. SKYLIGHTS SHALL BE TEMPERED GLASS.
11. ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC) SHALL RESIST THE INTRUSION OF FLAMES AND EMBERS
12. VENTILATION OPENINGS FOR ENCLOSED ATTICS, EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, UNDERFLOOR VENTILATION OPENINGS, AND VENT OPENINGS IN EXTERIOR WALLS AND EXTERIOR DOORS SHALL BE LISTED TO ASTM E 2886 AND COMPLY WITH ALL OF THE FOLLOWING:
  - A. THERE SHALL BE NO FLAMING IGNITION OF THE COTTON MATERIAL DURING THE EMBER INTRUSION TEST
  - B. THERE SHALL BE NO FLAMING IGNITION DURING THE INTEGRITY TEST PORTION OF THE FLAME INTRUSION TEST
  - C. THE MAXIMUM TEMPERATURE OF THE UNEXPOSED SIDE OF THE VENT SHALL NOT EXCEED 652 DEGREES FAHRENHEIT (350 DEGREES CELSIUS)
13. PROVIDE INDEPENDENTLY PIPED OVERFLOW DRAINS AT ALL ROOF DRAIN LOCATIONS OR OVERFLOW SCUPPERS AS NOTED OR REQUIRED.
14. PROVIDE CLEANOUTS AS REQUIRED.
15. ALL SHEET METAL FLASHING AND TRIM SHALL BE G.S.M.
16. ENCLOSED RAFTER SPACES SHALL HAVE 1 IN. CLEAR CROSS VENTILATION.
17. ROOF DRAIN AND OVERFLOW DRAIN TO BE 3" DIA. INTERNAL DRAIN UNLESS NOTED OTHERWISE FROM ROOF/DECK. CONNECT ALL RAIN WATER LEADERS TO SOLID DRAIN LINES. REFER TO CIVIL DRAWINGS. SLOPE HORIZONTAL PORTIONS MIN. 1/4"=12" IN DIRECTION OF ARROWS.
18. PROVIDE BASKET DEBRIS SCREENS AT ALL ROOF AND OVERFLOW DRAINS.
19. ROOF & OVERFLOW DRAINS SHALL HAVE WATER TEST PRIOR TO CONCEALING DRAINS IN THE WALLS. DRAINS TO HAVE CLEAN OUT JUST BEFORE ENTRY TO THE HORIZONTAL STORM DRAIN SYSTEM AS PER THE CPC.



**1 NEW ROOF PLAN**  
SCALE: 1/4" = 1'-0"

**ATTIC VENT CALCULATION**

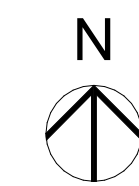
ATTIC WILL BE UNVENTED

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**KEYNOTES**

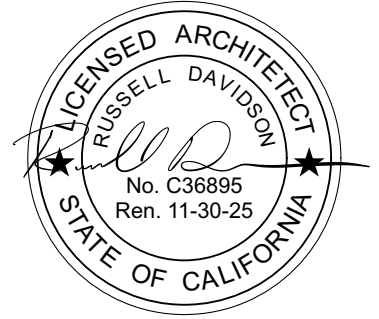
1. REMOVE (E) ROOF FINISHES
2. (N) TILE ROOF, MATCH (E) STYLE AND COLOR
3. (N) O.G. GUTTER, MATCH (E)
4. PROVIDE DRAINAGE CRICKET WHERE REQ'D



**ROOF PLAN**

**A1.2**





**CONAWAY CARRIAGE HOUSE**

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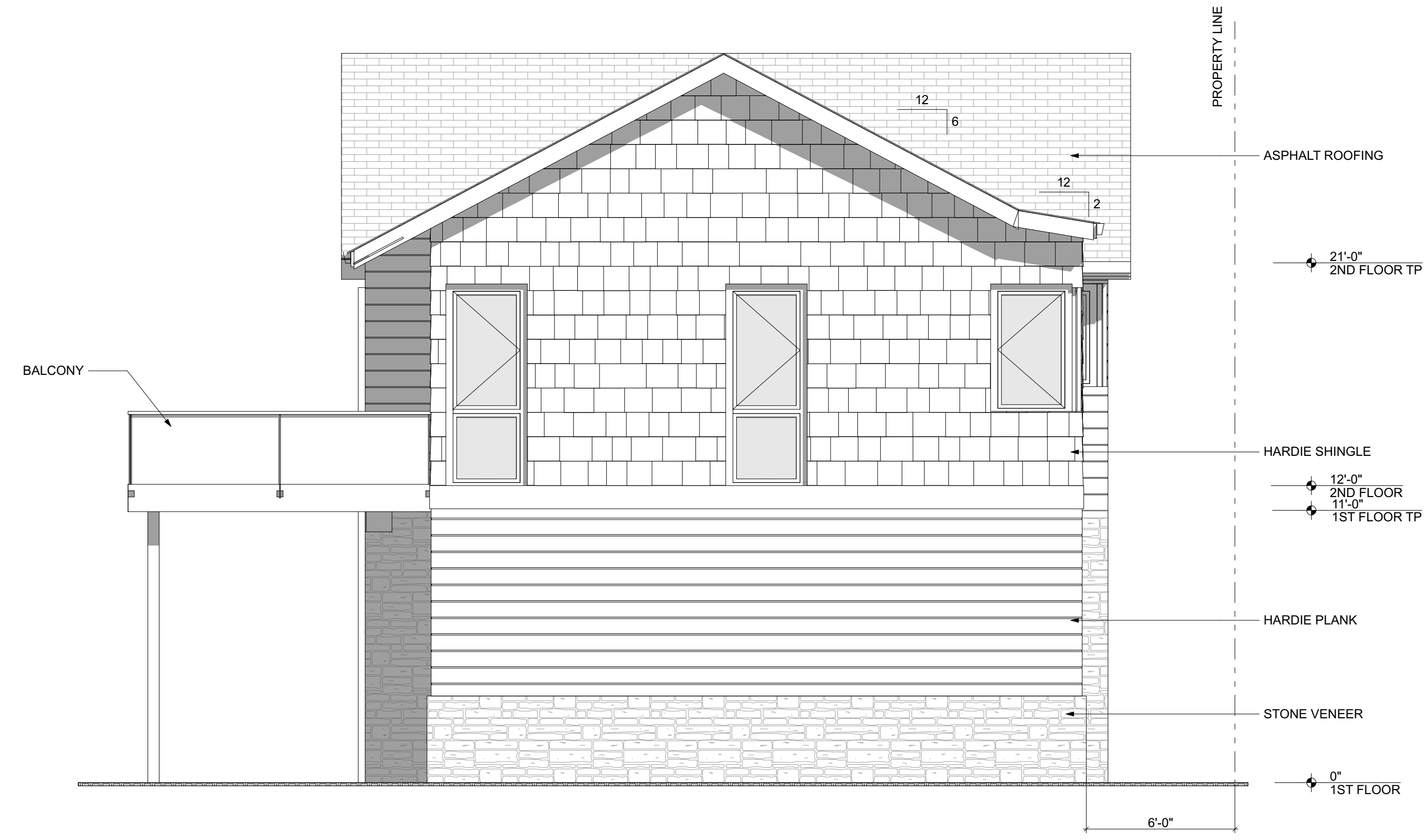
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**BUILDING ELEVATIONS**

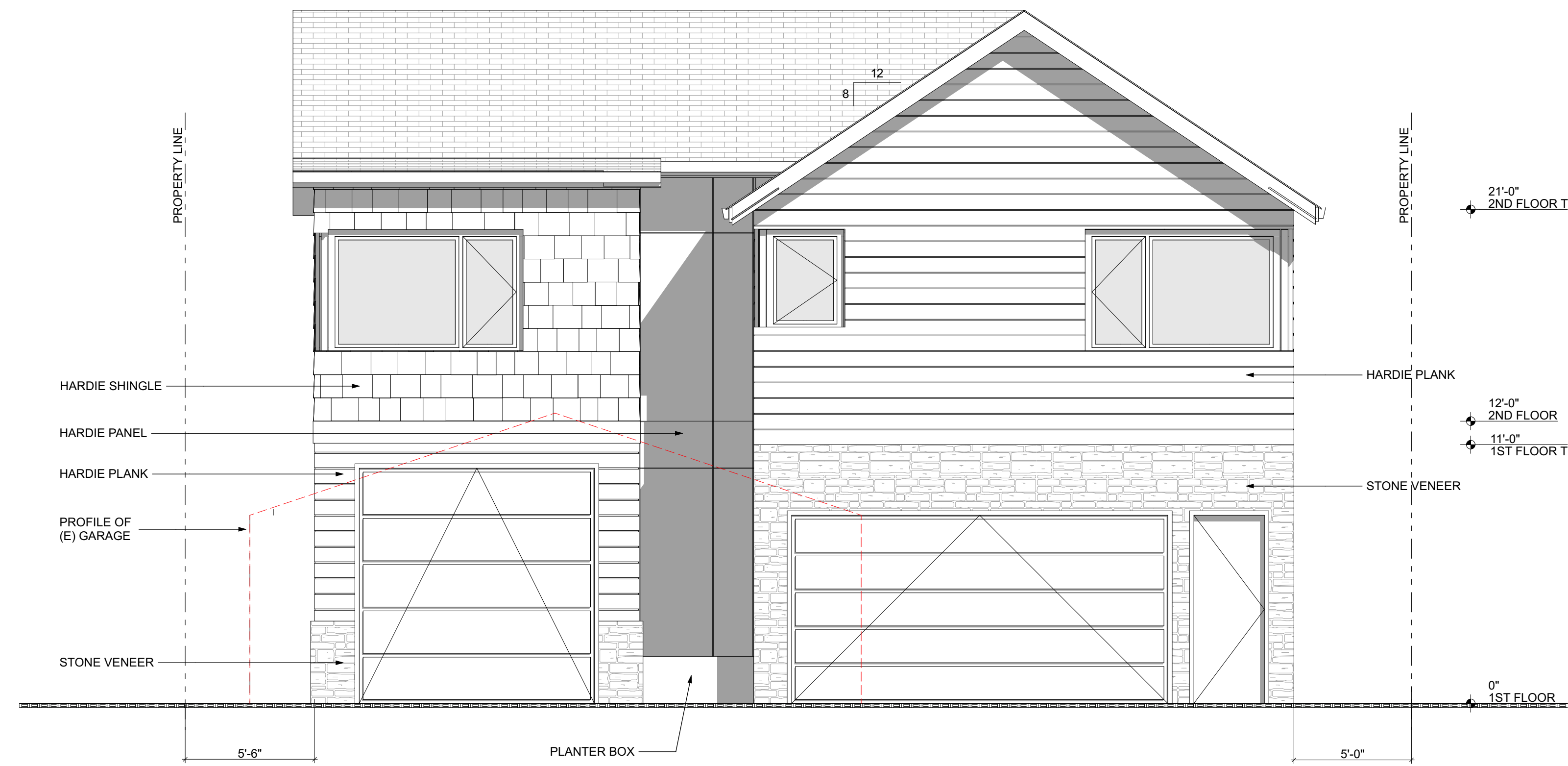
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FINISH KEYNOTES

KEYNOTES



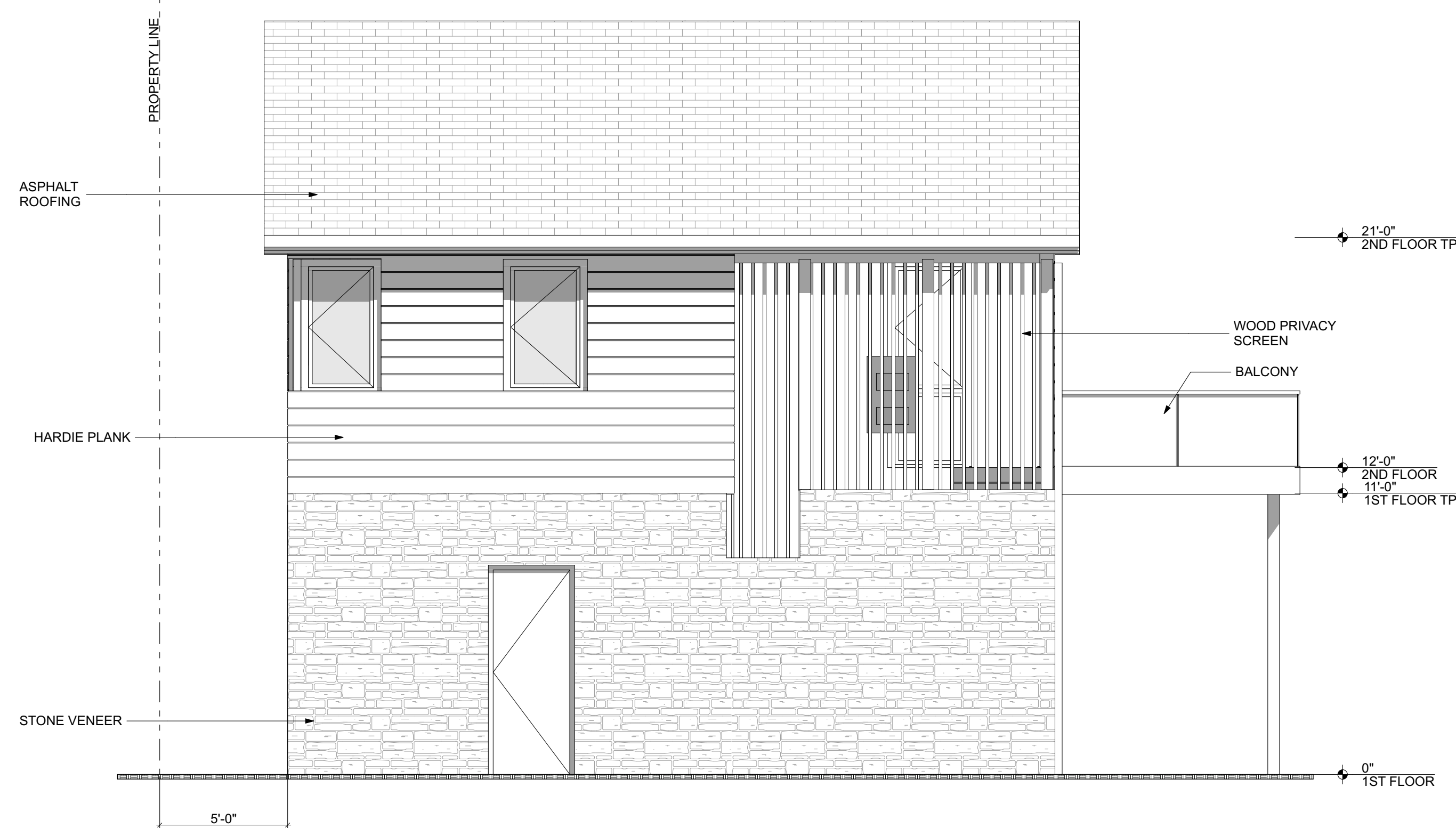
**3 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

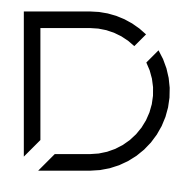


1 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

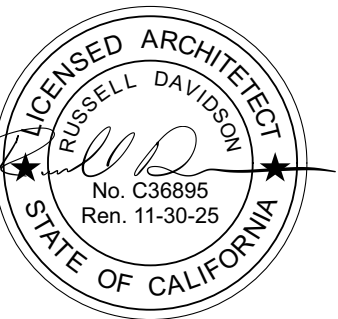
GENERAL NOTES

FINISH KEYNOTES

KEYNOTES



RUSSELL DAVIDSON  
ARCHITECTURE + DESIGN



CONAWAY CARRIAGE HOUSE

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BUILDING ELEVATIONS

A2.1



NORTHEAST VIEW



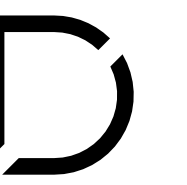
NORTHWEST VIEW



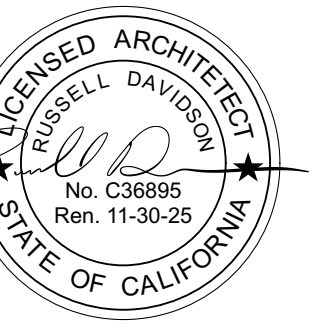
SOUTHWEST VIEW



SOUTHEAST VIEW



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3D VIEWS

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