## 143 Conaway Development Review and Variance Application

## **Attachment List**

- 1. Project Cover Sheet
- 2. Vicinity/Aerial Map
- 3. Universal/Variance Application
- 4. ADU/Carriage House Plans



City of Grass Valley Community Development Department 125 E. Main Street Grass Valley, California 95945 (530) 274-4330

## **Project Cover Sheet**

Date: September 19, 2024

To: Interested Parties/Responsible & Trustee Agencies

From Amy Wolfson, City Planner City of Grass Valley, Community Development Department 125 E. Main Street Grass Valley, CA 95945 530-274-4711/ awolfson@cityofgrassvalley.com

### RE: Project Description

Proposed Development Review and Variance application for a 1,000 sq ft Accessory Dwelling Unit (ADU)/Carriage House above a 1,025 sq ft detached garage. The lot has double-frontage on Conaway Avenue. Due to the double-frontage lot configuration which requires the city to treat both street-fronting property lines as "front lot lines" pursuant to the definition in the Development Code, applicant, Philip Kniesel, is requesting a Variance from the front yard setback. Standard front setbacks require that parking be setback 20-feet and that residential buildings be setback 15-feet from the front setback. The proposed project sites the ADU/Carriage House at five feet from the Clipper Lane property line.

As an interested party and/or Responsible or Trustee Agency, in accordance with the California Environmental Quality Act (CEQA), the above-described project is being distributed to you for review and comment. Your comments and/or conditions must be received, **in writing**, no later than October 3, 2024 If you need additional information to complete your review, please contact me at your earliest convenience at the above noted address.

Applicant: Philip Kniesel

APNs: 008-520-024

File No: 24PLN-40

Project Location: 143 Conaway Avenue

General Plan: Urban Low Density (ULD)

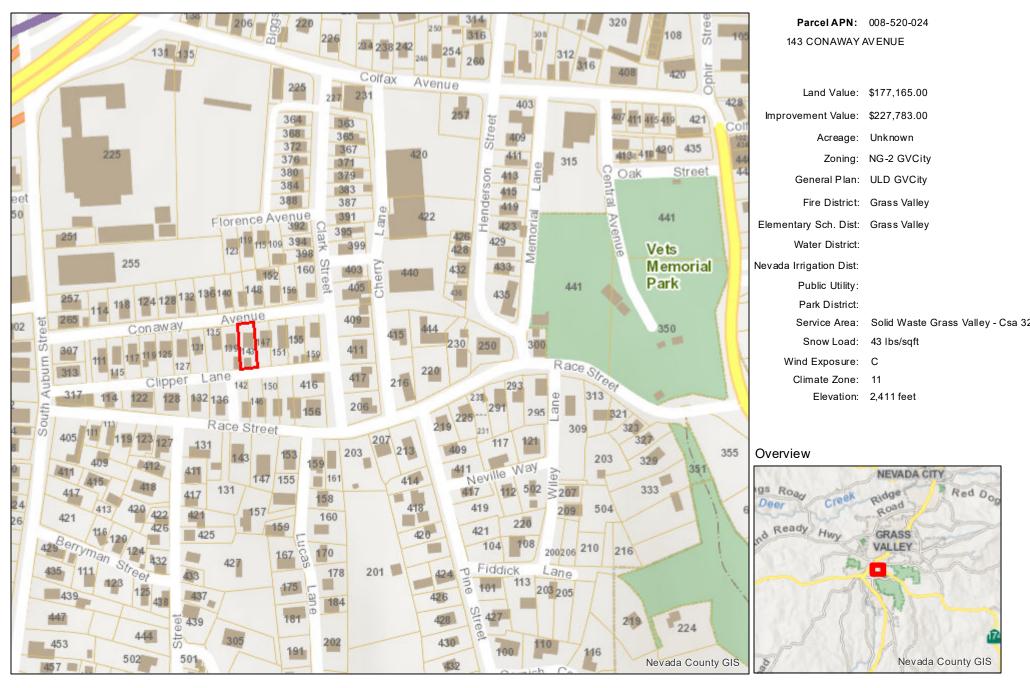
**Zoning:** Neighborhood General-2 (NG-2)

Project Size: 0.16

Water: City

Sewer: City Sewer

# Vicinity- 143 Conaway



<b>-</b>	Scale:	0	0.037	5 0.07	75	0.15 mi
September 19, 2024		$\vdash$		-	<del>-  </del>	
© 2024 Nevada County, California	1:4,514	0	0.05	0.1		0.2 km

# Aerial - 143 Conaway



**Parcel APN:** 008-520-024 143 CONAWAY AV ENUE

Land Value:	\$177,165.00
Improvement Value:	\$227,783.00
Acreage:	Unknown
Zoning:	NG-2 GVCity
General Plan:	ULD GVCity
Fire District:	Grass Valley
lementary Sch. Dist:	Grass Valley
Water District:	
evada Irrigation Dist:	
Public Utility:	
Park District:	
Service Area:	Solid Waste Grass Valley - Csa 32
Snow Load:	43 lbs/sqft
Wind Exposure:	С
Climate Zone:	11
Elevation:	2,411 feet

#### Overview



Scale:	0	0.0075 0	0.015		0.03 mi
	-		<del>, I   -</del>	- <del></del>	<u> </u>
1:1,128	0	0.015	0.03		0.06 km

September 19, 2024 © 2024 Nevada County, California **Application Types** 

# UNIVERSAL PLANNING APPLICATION

\* DUE WITH EVERY PLANNING APPLICATION \*



Adminis	Limited Term Permit \$698.00 Zoning Interpretation \$224.00 ment Review Minor Development Review – 10,000 or less sq. ft. \$1,813.00 Major Development Review – over 10,000 sq. ft. \$3,293.00 Conceptual Review - Minor \$459.00	Sign Re	Minor – DRC, Historic Distr or other districts having spe \$313.00 Major – Master Sign Progra \$1,279.00 Exception to Sign Ordinanc \$964.00	ecific design criteria ams ee ots)
	Conceptual Review – Major \$782.00 Plan Revisions – Staff Review \$316.00 Plan Revisions – DRC / PC Review \$831.00 Extensions of Time – Staff Review \$282.00 Extensions of Time – DRC / PC Review \$607.00		\$4,857.00 Tentative Map (11 to 25 lots \$6,503.00 Tentative Map (26 to 50 lots \$8,915.00 Tentative Map (51 lots or m \$13,049.00 Minor Amendment to Appro staff) \$1,114.00 Major Amendment to Appro	s) s) lore) oved Map (
	Annexation \$7,843.00 (deposit) Condominium Conversion \$4,923.00 (deposit) Development Agreement – New \$18,463.00 (deposit) Development Agreement – Revision \$6,903.00 General Plan Amendment \$7,377.00 Planned Unit Development \$8,150.00 (minimum charge) + 100.00 / dwelling unit and / or \$100 / every 1,000 sq. ft. commercial floor area Specific Plan Review - New Actual costs - \$16,966.00 (deposit) Specific Plan Review - Amendments / Revisions	Use Pe	Minor Use Permit - Staff Re \$480.00 Major Use Permit - Plannin \$3,035.00	eview g Commission Review ew
	Actual costs - \$6,986.00 (deposit) Zoning Text Amendment \$3,102.00 Zoning Map Amendment \$5,073.00		Application	<u>Fee</u>
			Total	\$2029.00
			rotal.	$\psi = 0 = 3.00$

Below is the Universal Planning Application form and instructions for submitting a complete planning application. In addition to the Universal Planning Application form, a project specific checklist shall be submitted. All forms and submittal requirements must be completely filled out and submitted with any necessary supporting information.

Upon receipt of the <u>completed forms, site plan/maps, and filing fees</u>, the Community Development Department will determine the completeness of the application. This review will be completed as soon as possible, but within thirty (30) days of the submittal of the application. If the application is determined to be complete, the City will begin environmental review, circulate the project for review by agencies and staff, and then schedule the application for a hearing before the Planning Commission.

If sufficient information <u>has not</u> been submitted to adequately process your application, you will receive a notice that your application is incomplete along with instructions on how to complete the application. Once the City receives the additional information or revised application, the thirty (30) day review period will begin again.

Since the information contained in your application is used to evaluate the project and in the preparation of the staff report, it is important that you provide complete and accurate information. Please review and respond to each question. If a response is not applicable, N/A should be used in the space provided. Failure to provide adequate information could delay the processing of your application.

Additional information may be obtained at <u>www.cityofgrassvalley.com</u> regarding the 2020 General Plan and Zoning. You may also contact the Community Development Department for assistance.

### ADVISORY RE: FISH AND GAME FEE REQUIREMENT

Permit applicants are advised that pursuant to Section 711.4 of the Fish and Game Code a fee of **\$3,539.25** for an Environmental Impact Report and **\$2,548.00** for a Negative Declaration\* shall be paid to the County Recorder at the time of recording the Notice of Determination for this project. This fee is required for Notices of Determination recorded after January 1, 1991. A Notice of Determination cannot be filed and any approval of the project shall not be operative, vested, or final until the required fee is paid. This shall mean that building, public works and other development permits cannot be approved until this fee is paid. These fees are accurate at the time of printing, but **increase the subsequent January 1<sup>st</sup>** of each year.

This fee is <u>not</u> a Grass Valley fee; it is required to be collected by the County pursuant to State law for transmission to the Department of Fish and Game. This fee was enacted by the State Legislature in September 1990, to be effective January 1, 1991.

\*If the City finds that the project will not have an impact on wildlife resources, through a De Minimus Impact Finding, the City will issue certificate of fee exemption. Therefore, this fee will not be required to be paid at the time an applicant files the Notice of Determination with the County Recorder. The County's posting and filing fees will still be required.

Applicant/Representative	Property Owner
<sub>Name:</sub> Philip Kniesel	Name: Althea Bauer
Address: 3714 Crescent Dr	Address: 3501 Harbison Drive #203
Pearland, TX 77584	Vacaville, CA 95687
Phone: (281) 692-0178	Phone: (530) 557-7781
E-mail:Pkneisl2@gmail.com	<sub>E-mail:</sub> Altheamara@gmail.com

Architect	Engineer
Name: Jeff Hineline (Russell Davidson Architecture)	Name:
Address: 149 Crown Point Court, Suite C	Address:
Grass Valley, CA 95945	
Phone: (503) 264 5559	Phone: ( )
E-mail:jeff@davidsonarch.com	E-mail:

### 1. Project Information

a. Project NameConaway Carriage House

- b. Project Address 143 Conaway Ave
- c. Assessor's Parcel No(s)008-520-024 (include APN page(s))
- d. Lot Size<sup>0.16</sup> Acres

### 2. Project Description\_

The proposed project includes a new carriage house ADU at the rear of the property at 143 Conaway Ave where there is currently a detached single car garage. The proposed wood framed carriage house consists of a 1,000 sf ft two bedroom residence over a three gar garage. Due to a disability, the client requires an elevator to access the second story of the carriage house.

It is our understanding that a 15' and 20' front setback is to be applied to this project, despite being at the rear property line. Due to the constrained size of the 0.16 acre site, applying the front setback would eliminate any usable rear yard for either the new carriage house or the existing primary residence.

Along Clipper Lane, there are several instances of buildings situated at or near the rear property line. Many of these instances are detached garages, but there are also precedents of ADU's built to the property line. On the same block, 155 1/2 Conaway Is an example of an ADU built to the property line. There are also instances nearby along 413 and 419 Henderson where an ADU is built along the rear property line. Given the existing precedents in the neighborhood, we would like to build the proposed carriage house 5' from the rear property line, matching the setback of the existing detached garage on the property. Since we are proposing to build within in the required front setback, we took efforts to break down the massing by providing a five foot wide and five feet deep recess in the southern facade along Clipper Lane. This recess allows for a natural transition of materials and roof forms, which are intended to help the carriage house appear as distinct, separate volumes and provide more visual interest to the neighborhood.

3. General Plan Land Use: GVCITY

4. Zoning District: NG-2

4. Cortese List: Is the proposed property located on a site which is included on the Hazardous Waste and Substances List (Cortese List)? Y \_\_\_\_ N N

The Cortese List is available for review at the Community Development Department counter. If the property is on the List, please contact the Planning Division to determine appropriate notification procedures prior to submitting your application for processing (Government Code Section 65962.5).

- 5. Indemnification: The City has determined that City, its employees, agents and officials should, to the fullest extent permitted by law, be fully protected from any loss, injury, damage, claim, lawsuit, expense, attorney's fees, litigation expenses, court costs or any other costs arising out of or in any way related to the issuance of this permit, or the activities conducted pursuant to this permit. Accordingly, to the fullest extent permitted by law, the applicant shall defend, indemnify and hold harmless City, its employees, agents and officials, from and against any liability, claims, suits, actions, arbitration proceedings, regulatory proceedings, losses, expenses or costs of any kind, whether actual, alleged or threatened, including, but not limited to, actual attorney's fees, litigation expenses and court costs of any kind without restriction or limitation, incurred in relation to, as a consequence of, arising out of or in any way attributable to, actually, allegedly or impliedly, in whole or in part, the issuance of this permit, or the activities conducted pursuant to this permit. Applicant shall pay such obligations as they are incurred by City, its employees, agents and officials, and in the event of any claim or lawsuit, shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.
- **6. Appeal:** Permits shall not be issued until such time as the appeal period has lapsed. A determination or final action shall become effective on the 16<sup>th</sup> day following the date by the appropriate review authority, where no appeal of the review authority's action has been filed in compliance with Chapter 17.91 of the City's Development Code.

The 15-day period (also known as the "appeal" period in compliance with Chapter 17.91) begins the first full day after the date of decision that the City Hall is open for business, and extends to the close of business (5:00 p.m.) on the 15<sup>th</sup> day, or the very next day that the City Hall is open for business.

I hereby certify, to the best of my knowledge, that the above statements are correct.

Property Owner/\*Representative Signature: \_\_\_\_\_

### \*Property owner must provide a consent letter allowing representative to sign on their behalf.

Applicant Signature: \_\_\_\_\_

OFFICE USE ONLY			
Application No.:	Date Filed:		
Fees Paid by:	Amount Paid:		
Other Related Application(s):			

## VARIANCE



## SUPPLEMENTAL APPLICATION INFORMATION

This document will provide necessary information about the proposed project. It will also be used to evaluate potential environmental impacts created by the project. Please be as accurate and complete as possible in answering the questions. Further environmental information could be required from the applicant to evaluate the project.

### PLEASE PRINT CLEARLY OR TYPE USE A SEPARATE SHEET, IF NECESSARY, TO EXPLAIN THE FOLLOWING:

- I. Provide a written response for the variance request and provide a written justification statement to support findings listed in Section 17.72.070 F of the Development Code, including the following:
  - A. There are special circumstances applicable to the property, including location, shape, size, surroundings, and topography, so that the strict application of this Development Code deprives the property of privileges enjoyed by other property in the vicinity and within the same zone;
  - B. The approval of the Variance or Minor Variance includes conditions of approval as necessary to ensure that the adjustment granted does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and within the same zone; and,
  - C. The granting of the application will not authorize an activity or use which is not otherwise expressly authorized by the zone governing the parcel of property for which the application is made.
- II. <u>Project Characteristics:</u>

  - B. Describe surrounding land uses:

 North:
 Conaway Ave - public right of way

 South:
 Clipper Ave - public right of way

 East:
 Residence

 West:
 Residence

## SITE PLAN REQUIREMENTS

A site plan is a scale drawing that depicts a property's size and shape, existing improvements on the property, and improvements or additions which are intended to be added. The site plan should be as complete and accurate as possible since it will be used by several City departments to check various requirements of the development application. Please place a check or N/A on the line provided in the below checklist. Submit this page along with the map and application packet.

### A. Application Checklist:

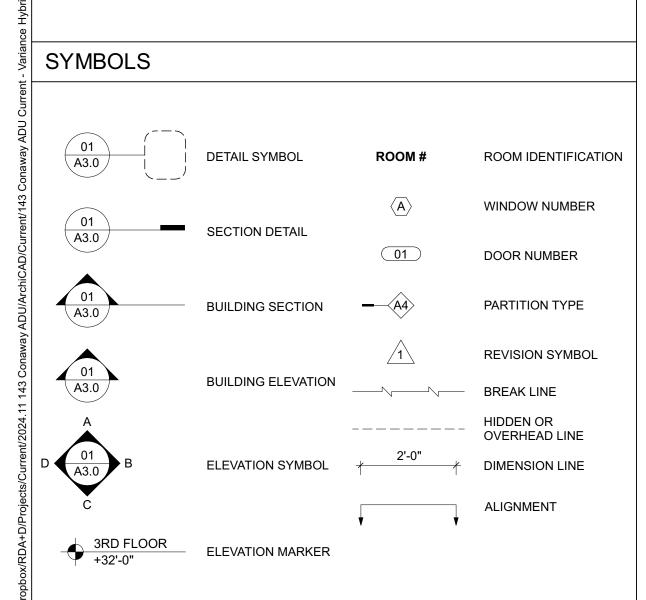
- One completed copy of Universal Application form.
- One completed copy of the Environmental Review Checklist (if applicable).
- Preliminary Title Report dated no later than 6 months prior to the application filing date.
- The appropriate non-refundable filing fee.

### B. Site Plan Submittal:

- Site Plan size one 8-1/2" x 11", 15 larger folded copies (folded to 9" x 12") with one 8.5 x 11" reduced copy and e-mail electronic .pdf file.
- Graphic scale and north arrow.
- Vicinity map (showing property location to major roads or major landmarks).
- Show location and dimensions of existing and proposed structures and walls.
- (Identify existing as a solid line and proposed as a dashed line).
- Label the use of all existing and proposed structures or area.
- Show the distance between structures and to the property lines.
- Show site access, location and dimensions of adjacent street right-of-way, property lines, building setback lines, sidewalks and easements.
- Show off-street parking facilities, including parking area and layout, loading areas trash storage areas, dimensions and numbers of individual parking spaces (including handicapped spaces) and aisles.

# ABBREVIATIONS

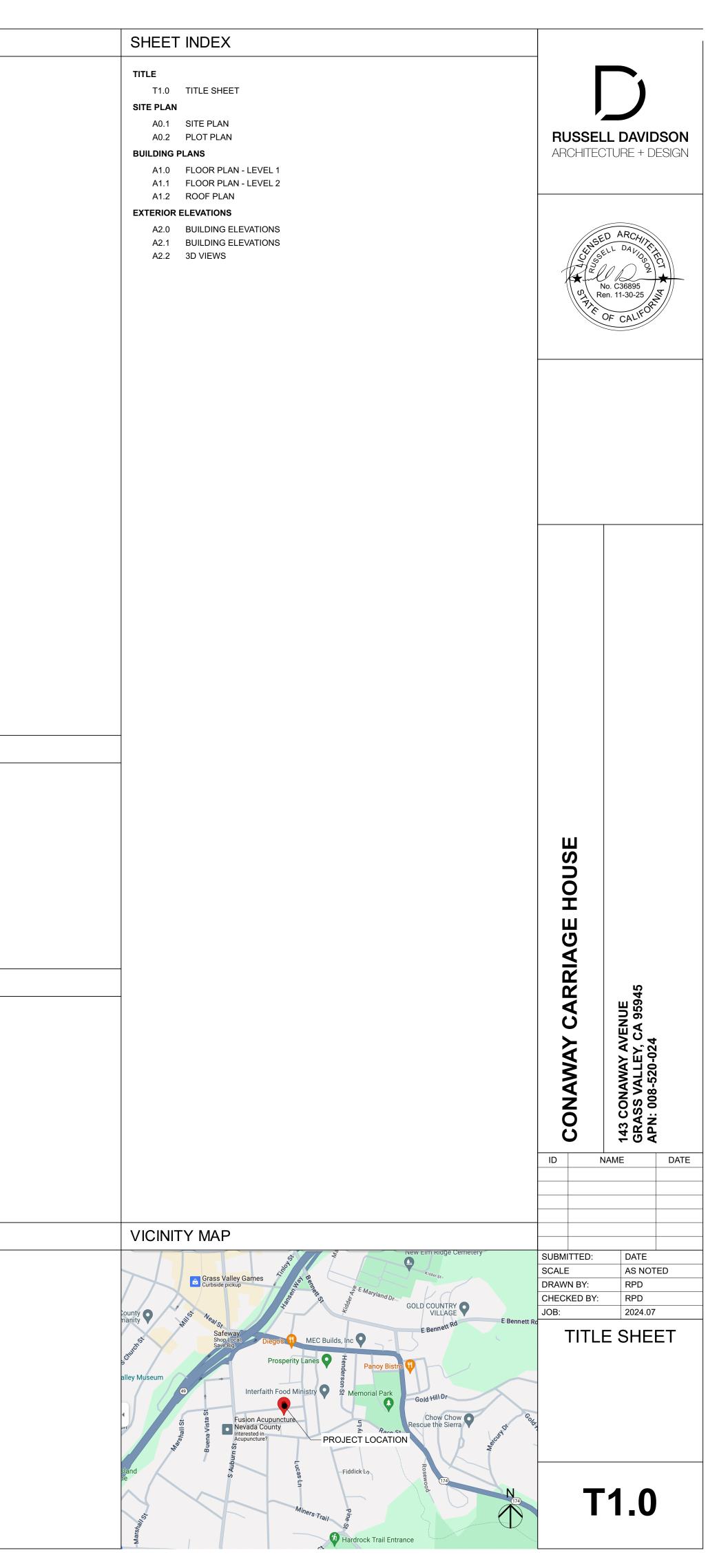
AB			
	ANCHOR BOLT	J-BOX	JUNCTIONBOX
ABV	ABOVE	JT	JOINT
AC	AIR CONDITIONING		
ACOUST	ACOUSTICAL	LAM	LAMINATE
AD	ACCESS DOOR, AREA DRAIN	LOC	LOCATE
ADDL	ADDITIONAL	LTWT	LIGHTWEIGHT
AFF	ABOVE FINISHED FLOOR		
AL	ALUMINUM	MAINT	MAINTENANCE
ALT	ALTERNATE	MAS	MASONRY
ALUM	ALUMINUM	MAT	MATERIAL
ANOD	ANODIZED	MATL	MATERIAL
APPD	APPROVED	MAX	MAXIMUM
APPROX	APPROXIMATE	MECH	MECHANICAL
ARCH	ARCHITECT	MET	METAL
AUTO	AUTOMATIC	MFG	MANUFACTURER
AVG	AVERAGE	MISC	MISCELLANEOUS
		MO	MASONRY OPENING
BDRM	BEDROOM		
BEL	BELOW	NAT	NATURAL
BTWN	BETWEEN	(N)	NEW
BLDG	BUILDING	NOM	NOMINAL
BLK	BLOCK		
BLKG	BLOCKING	OC	ON CENTER
		OD	OUTSIDE DIAMETER
CB	CATCH BASIN	OF	OUTSIDE FACE
CCW	COUNTER CLOCKWISE	OHD	OVER HEAD
CEM	CEMENT	OPNG	OPENING
CER	CERAMIC	OPP	OPPOSITE HAND
CFT	CUBIC FOOT	_,	
CIP	CAST-IN-PLACE	PLAM	PLASTICLAMINATE
CJ	CONTROL JOINT	PTTN	PARTITION
CL	CENTERLINE	PERP	PERPENDICULAR
CLG	CEILING	PLMBG	PLUMBING
CLR	CLEAR	PLTF	PLATFORM
CMU	CONCRETE MASONRY UNIT	PLWD	PLYWOOD
CONC	CONCRETE	PNT	PAINT
CONT	CONTINUOUS	PREFAB	PREFABRICATED
CPT	CARPET	<b>AT</b> <i>i</i>	
		QTY	QUANTITY
DBL	DOUBLE		
DEG	DEGREE	RA	RETURNAIR
DEM	DEMOLISH	RAD	RADIUS
DEMO	DEMOLITION	REBAR	REINFORCING BAR
DEPT	DEPARTMENT	REF	REFERENCE
DET	DETAIL	REQD	REQUIRED
DIAG	DIAGONAL	REV	REVISION
DIA	DIAMETER	RO	ROUGH OPENING
DIM	DIMENSION	RO RWD	ROUGH OPENING REDWOOD
DIM DN	DIMENSION DOWN	RWD	REDWOOD
DIM DN DTL	DIMENSION DOWN DETAIL	RWD SCHED	REDWOOD
DIM DN DTL DWG	DIMENSION DOWN DETAIL DRAWING	RWD SCHED SC	REDWOOD SCHEDULE SOLID CORE
DIM DN DTL	DIMENSION DOWN DETAIL	RWD SCHED SC SECT	REDWOOD SCHEDULE SOLID CORE SECTION
DIM DN DTL DWG DS	DIMENSION DOWN DETAIL DRAWING DOWNSPOUT	RWD SCHED SC SECT SF	REDWOOD SCHEDULE SOLID CORE SECTION SQUAREFOOT
DIM DN DTL DWG DS EA	DIMENSION DOWN DETAIL DRAWING DOWNSPOUT EACH	RWD SCHED SC SECT SF SHT	REDWOOD SCHEDULE SOLID CORE SECTION SQUAREFOOT SHEET
DIM DN DTL DWG DS EA EJ	DIMENSION DOWN DETAIL DRAWING DOWNSPOUT EACH EXPANSION JOINT	RWD SCHED SC SECT SF SHT SIM	REDWOOD SCHEDULE SOLID CORE SECTION SQUAREFOOT SHEET SIMILAR
DIM DN DTL DWG DS EA EJ ELECT	DIMENSION DOWN DETAIL DRAWING DOWNSPOUT EACH EXPANSION JOINT ELECTRICAL	RWD SCHED SC SECT SF SHT SIM SPECS	REDWOOD SCHEDULE SOLID CORE SECTION SQUAREFOOT SHEET SIMILAR SPECIFICATIONS
DIM DN DTL DWG DS EA EJ ELECT ENGR	DIMENSION DOWN DETAIL DRAWING DOWNSPOUT EACH EXPANSION JOINT ELECTRICAL ENGINEER	RWD SCHED SC SECT SF SHT SIM SPECS SQ	REDWOOD SCHEDULE SOLID CORE SECTION SQUAREFOOT SHEET SIMILAR SPECIFICATIONS SQUARE
DIM DN DTL DWG DS EA EJ ELECT ENGR EQ	DIMENSION DOWN DETAIL DRAWING DOWNSPOUT EACH EXPANSION JOINT ELECTRICAL ENGINEER EQUAL	RWD SCHED SC SECT SF SHT SIM SPECS SQ SSTL	REDWOOD SCHEDULE SOLID CORE SECTION SQUAREFOOT SHEET SIMILAR SPECIFICATIONS SQUARE STAINLESS STEEL
DIM DN DTL DWG DS EA EJ ELECT ENGR EQ EQUIP	DIMENSION DOWN DETAIL DRAWING DOWNSPOUT EACH EXPANSION JOINT ELECTRICAL ENGINEER EQUAL EQUIPMENT	RWD SCHED SC SECT SF SHT SIM SPECS SQ SSTL STD	REDWOOD SCHEDULE SOLID CORE SECTION SQUAREFOOT SHEET SIMILAR SPECIFICATIONS SQUARE STAINLESS STEEL STANDARD
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DIM DN DTL DWG DS EA EJ ELECT ENGR EQ EQUIP (E)	DIMENSION DOWN DETAIL DRAWING DOWNSPOUT EACH EXPANSION JOINT ELECTRICAL ENGINEER EQUAL EQUIPMENT EXISTING FOUNDATION	RWD SCHED SC SECT SF SHT SIM SPECS SQ SSTL STD STL STL STRUCT	REDWOOD SCHEDULE SOLID CORE SECTION SQUAREFOOT SHEET SIMILAR SPECIFICATIONS SQUARE STAINLESS STEEL STANDARD STEEL STRUCTURAL
DIM DN DTL DWG DS EA EJ ELECT ENGR EQ EQUIP (E)	DIMENSION DOWN DETAIL DRAWING DOWNSPOUT EACH EXPANSION JOINT ELECTRICAL ENGINEER EQUAL EQUIPMENT EXISTING	RWD SCHED SC SECT SF SHT SIM SPECS SQ SSTL STD STL	REDWOOD SCHEDULE SOLID CORE SECTION SQUAREFOOT SHEET SIMILAR SPECIFICATIONS SQUARE STAINLESS STEEL STANDARD STEEL
DIM DN DTL DWG DS EA EJ ELECT ENGR EQ EQUIP (E) FDTN FE	DIMENSION DOWN DETAIL DRAWING DOWNSPOUT EACH EXPANSION JOINT ELECTRICAL ENGINEER EQUAL EQUIPMENT EXISTING FOUNDATION FIRE EXTINGUISHER	RWD SCHED SC SECT SF SHT SIM SPECS SQ SSTL STD STL STD STL STRUCT	REDWOOD SCHEDULE SOLID CORE SECTION SQUAREFOOT SHEET SIMILAR SPECIFICATIONS SQUARE STAINLESS STEEL STANDARD STEEL STRUCTURAL TOP AND BOTTOM
DIM DN DTL DWG DS EA EJ ELECT ENGR EQ EQUIP (E) FDTN FE FEC	DIMENSION DOWN DETAIL DRAWING DOWNSPOUT EACH EXPANSION JOINT ELECTRICAL ENGINEER EQUAL EQUIPMENT EXISTING FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET	RWD SCHED SC SECT SF SHT SIM SPECS SQ SSTL STD STL STD STL STRUCT T&B T&G TBD	REDWOOD SCHEDULE SOLID CORE SECTION SQUAREFOOT SHEET SIMILAR SPECIFICATIONS SQUARE STAINLESS STEEL STANDARD STEEL STRUCTURAL TOP AND BOTTOM TONGUE & GROOVE
DIM DN DTL DWG DS EA EJ ELECT ENGR EQ EQUIP (E) FDTN FE FEC FF FHC	DIMENSION DOWN DETAIL DRAWING DOWNSPOUT EACH EXPANSION JOINT ELECTRICAL ENGINEER EQUAL EQUIPMENT EXISTING FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE EXTINGUISHER FINISHED FLOOR	RWD SCHED SC SECT SF SHT SIM SPECS SQ SSTL STD STL STRUCT T&B T&B	REDWOOD SCHEDULE SOLID CORE SECTION SQUAREFOOT SHEET SIMILAR SPECIFICATIONS SQUARE STAINLESS STEEL STANDARD STEEL STRUCTURAL TOP AND BOTTOM TONGUE & GROOVE TO BE DETERMINED
DIM DN DTL DWG DS EA EJ ELECT ENGR EQ EQUIP (E) FDTN FE FEC FF	DIMENSION DOWN DETAIL DRAWING DOWNSPOUT EACH EXPANSION JOINT ELECTRICAL ENGINEER EQUAL EQUIPMENT EXISTING FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE HOSE CABINET	RWD SCHED SC SECT SF SHT SIM SPECS SQ SSTL STD STL STD STL STRUCT T&B T&G TBD TD	REDWOOD SCHEDULE SOLID CORE SECTION SQUAREFOOT SHEET SIMILAR SPECIFICATIONS SQUARE STAINLESS STEEL STANDARD STEEL STRUCTURAL TOP AND BOTTOM TONGUE & GROOVE TO BE DETERMINED TRENCH DRAIN
DIM DN DTL DWG DS EA EJ ELECT ENGR EQ EQUIP (E) FDTN FE FEC FF FHC FLR	DIMENSION DOWN DETAIL DRAWING DOWNSPOUT EACH EXPANSION JOINT ELECTRICAL ENGINEER EQUAL EQUIPMENT EXISTING FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE HOSE CABINET FIOOR	RWD SCHED SC SECT SF SHT SIM SPECS SQ SSTL STD STL STD STL STRUCT T&B T&G TBD TD TD TRD	REDWOOD SCHEDULE SOLID CORE SECTION SQUAREFOOT SHEET SIMILAR SPECIFICATIONS SQUARE STAINLESS STEEL STANDARD STEEL STRUCTURAL TOP AND BOTTOM TONGUE & GROOVE TO BE DETERMINED TRENCH DRAIN TREAD
DIM DN DTL DWG DS EA EJ ELECT ENGR EQ EQUIP (E) FDTN FE FEC FF FHC FLR FOS	DIMENSION DOWN DETAIL DRAWING DOWNSPOUT EACH EXPANSION JOINT ELECTRICAL ENGINEER EQUAL EQUIPMENT EXISTING FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE HOSE CABINET FLOOR FACE OF STUDS	RWD SCHED SC SECT SF SHT SIM SPECS SQ SSTL STD STL STD STL STRUCT T&B T&G TBD TD TD TRD TSLAB	REDWOOD SCHEDULE SOLID CORE SECTION SQUAREFOOT SHEET SIMILAR SPECIFICATIONS SQUARE STAINLESS STEEL STANDARD STEEL STRUCTURAL TOP AND BOTTOM TONGUE & GROOVE TO BE DETERMINED TRENCH DRAIN TREAD TOP OF SLAB
DIM DN DTL DWG DS EA EJ ELECT ENGR EQ EQUIP (E) FDTN FE FEC FF FHC FLR FOS FP	DIMENSION DOWN DETAIL DRAWING DOWNSPOUT EACH EXPANSION JOINT ELECTRICAL ENGINEER EQUAL EQUIPMENT EXISTING FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE HOSE CABINET FLOOR FACE OF STUDS FIREPROOF	RWD SCHED SC SECT SF SHT SIM SPECS SQ SSTL STD STL STD STL STRUCT T&B T&G TBD TD TD TRD TSLAB TS	REDWOOD SCHEDULE SOLID CORE SECTION SQUAREFOOT SHEET SIMILAR SPECIFICATIONS SQUARE STAINLESS STEEL STANDARD STEEL STRUCTURAL TOP AND BOTTOM TONGUE & GROOVE TO BE DETERMINED TRENCH DRAIN TREAD TOP OF SLAB TOP OF SLAB TOP OF STEEL
DIM DN DTL DWG DS EA EJ ELECT ENGR EQ EQUIP (E) FDTN FE FEC FF FHC FLR FOS FP FT	DIMENSION DOWN DETAIL DRAWING DOWNSPOUT EACH EXPANSION JOINT ELECTRICAL ENGINEER EQUAL EQUIPMENT EXISTING FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE HOSE CABINET FLOOR FACE OF STUDS FIREPROOF FEET	RWD SCHED SC SECT SF SHT SIM SPECS SQ SSTL STD STL STRUCT T&B T&G TBD TD TD TRD TSLAB TS TW	REDWOOD SCHEDULE SOLID CORE SECTION SQUAREFOOT SHEET SIMILAR SPECIFICATIONS SQUARE STAINLESS STEEL STANDARD STEEL STRUCTURAL TOP AND BOTTOM TONGUE & GROOVE TO BE DETERMINED TRENCH DRAIN TREAD TOP OF SLAB TOP OF SLAB TOP OF WALL
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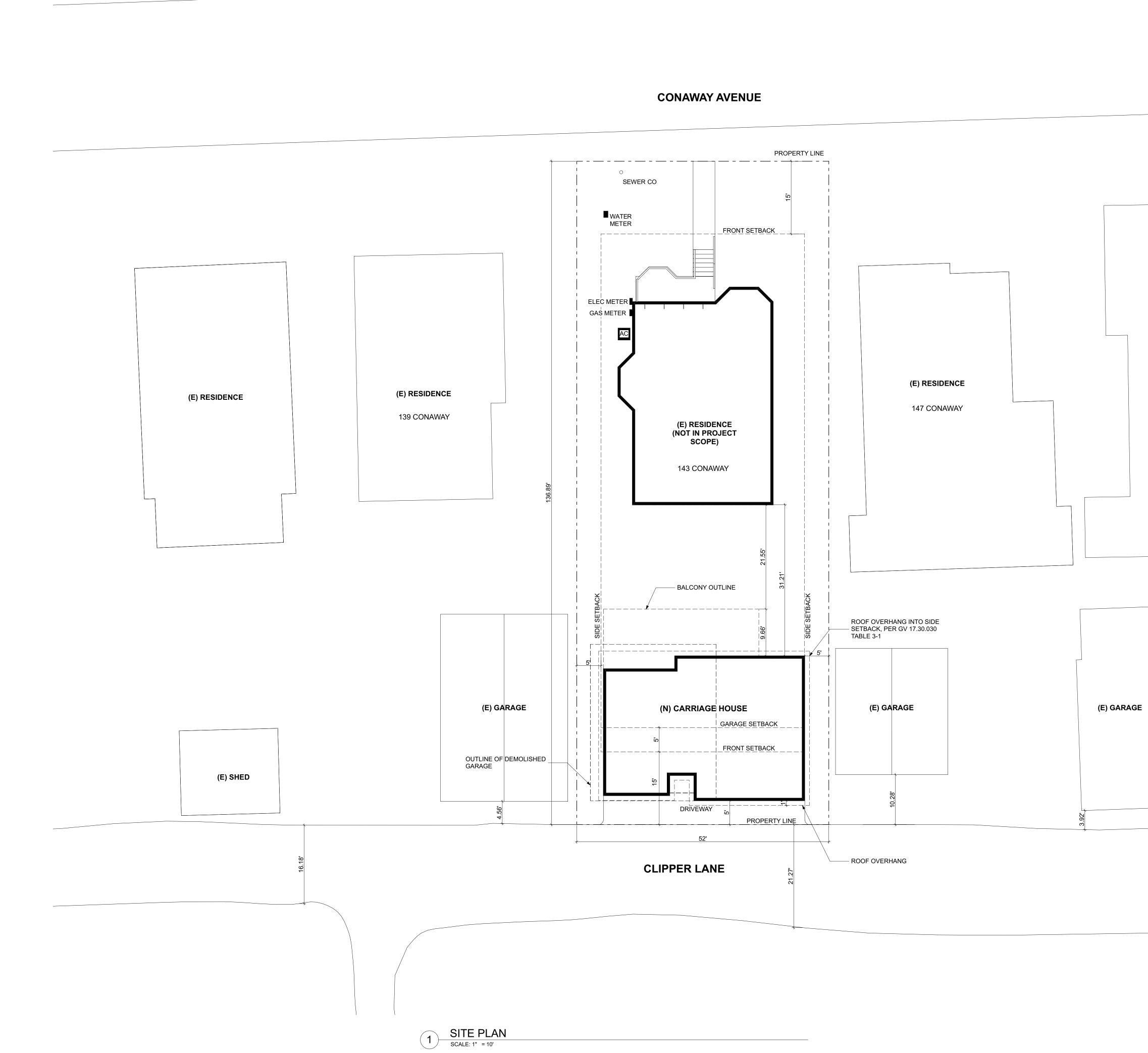


## GENERAL NOTES

- THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AI BID ON THE EXISTING CONDITIONS. THE CONTRACTOR SHALL NOTIF IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AN CONDITIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIB DIMENSIONS AND FIELD CONDITIONS.
- THE WORK INCLUDED UNDER THIS CONTRACT SHALL INCLUDE ALL I TRANSPORTATION, TOOLS AND EQUIPMENT NECESSARY FOR THE C THE PROJECT, LEAVING ALL WORK READY FOR USE.
- PRIOR TO CONSTRUCTION, DISCREPANCIES BETWEEN THE ARCHITE ENGINEERING DRAWINGS SHALL BE REPORTED TO THE ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MA WORKMANSHIP IN ACCORDANCE WITH THE APPLICABLE UNIFORM B HANDICAP ACCESS CODE AND ALL APPLICABLE ORDINANCES, INCLU LOCAL BUILDING CODES AND REQUIREMENTS.
- 5. THESE PLANS INDICATE THE GENERAL EXTENT OF DEMOLITION AND CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTEND INCLUSIVE. ALL DEMOLITION AND ALL NEW WORK NECESSARY TO AL FINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THESE DOG INCLUDED REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS DO NOT DEMOLISH ANY ITEMS THAT APPEAR STRUCTURAL, UNLESS INDICATED TO BE DEMOLISHED IN THE CONSTRUCTION DOCUMENT, REVIEW AND WRITTEN APPROVAL BY THE ARCHITECT.
- ANY ERRORS, OMISSIONS, AND CONFLICTS FOUND IN THESE CONST DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCH FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
- 7. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERW SHALL BE VERIFIED.
- 8. THE CONTRACTOR SHALL CONFIRM IN WRITING APPROXIMATE ON-S FOR ALL CONSTRUCTION ITEMS AS REQUIRED BY THE CONSTRUCTI AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY POSSIBLE D OCCUPANCY.
- 9. THE CONTRACTOR SHALL PROVIDE A SCHEDULE FOR CONSTRUCTI MEET THE OWNER'S PHASING REQUIREMENTS AND ULTIMATE COM
- 10. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN THE AND ALL MECHANICAL, ELETRICAL, TELEPHONE, LIGHTING, PLUMBII SPRINKLER WORK (INCLUDING PIPING, DUCTWORK AND CONDUIT), CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDE
- 11. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT REQUIREMENT OF THE CONTRACT DOCUMENTS WILL BE ACCEPTAB CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO DISC OUT DEFICIENCIES OR DEFECTS DURING CONSTRUCTION. DEFECTI WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED CONFORMING TO THE INTENT OF THE CONTRACT. NO PAYMENT, EITH FINAL, SHALL BE CONSTRUED AS ACCEPTANCE OF DEFECTIVE WOR MATERIALS.
- 12. THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING CO SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES CAUSED BY SUB-CONTRACTORS.
- 13. THE CONTRACTOR SHALL REVIEW, APPROVE, STAMP AND SUBMIT W PROMPTNESS AND IN SUCH SEQUENCE AS TO CAUSE NO DELAY IN PRODUCT DATA, SHOP DRAWINGS AND SAMPLES FOR THE PROJECT
- 14. BY APPROVING, STAMPING AND SUBMITTING SHOP DRAWINGS, PRO SAMPLES, THE CONTRACTOR REPRESENTS THAT HE HAS DETERMIN MATERIALS, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION CR THERETO AND THAT HE HAS CHECKED AND COORDINATED THE INFO SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND CO DOCUMENTS.
- 15. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FO FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE REVIEW OF THE SHOP DRAWINGS, PRODUCT DATA OR SAMPLES, UN CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT IN WR DEVIATION AT THE TIME OF SUBMISSION AND THE ARCHITECT HAS O APPROVAL TO THE SPECIFIC DEVIATION.
- 16. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT THREE (3) PR EACH SHOP DRAWING SUBMITTAL PLUS THREE (3) COPIES OF EITHE OR SAMPLES.
- 17. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR DIMENSIONS O REVIEWED SUBMITTALS.
- 18. SUBSTITUTIONS, REVISIONS AND/OR CHANGES MUST HAVE PRIOR V BY THE ARCHITECT.
- 19. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SE DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUC TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRE DOCUMENTS AS REQUIRED.
- 20. THE CONTRACTOR SHALL PROVIDE COMPLETE PRODUCT DATA AND INFORMATION APPROPRIATE FOR THE OWNER'S MAINTENANCE AND PRODUCTS FURNISHED UNDER THE CONTRACT.
- 21. WORK UNDER THIS CONTRACT SHALL BE WARRANTED BY THE CON ALL DEFECTS FOR ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL WORK OR DESIGNATED PORTIONS THEREOF OR FOR ONE (1) YEAR BY THE OWNER OF DESIGNATED EQUIPMENT. IN THE CASE OF ITEMS UNCOMPLETED AFTER THE DATE OF SUBSTANTIAL COMPLETION, TH WARRANTY PERIOD SHALL BE FROM DATE OF ACCEPTANCE OF SUC
- 22. EACH TRADE SHALL EXAMINE THE PREMISES TO INSURE THAT CONI APPROPRIATE FOR HIS WORK TO COMMENCE, PRIOR TO COMMENC AREAS NOT APPROPRIATE SHALL BE BROUGHT TO THE ATTENTION O COMMENCING WORK IMPLIES ACCEPTANCE OF EXISTING CONDITIO
- 23. THE GENERAL CONTRACTOR SHALL ASSIST IN THE COORDINATION A RESPONSIBLE FOR THE INSTALLATION OF N.I.C. ITEMS, INCLUDING E FURNITURE, EQUIPMENT, APPLIANCES, PLUMBING FIXTURES, DISHW DATA CABLING, TELEPHONE WORK, ETC.
- 24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE INSTAL REQUIRED FOR ACCESSORY ITEMS INCLUDING SINK, DISHWASHER, LAUNDRY EQUIPMENT, ETC.
- 25. ALL DRAWINGS AND NOTES ARE CONSIDERED COMPLEMENTARY, AN FOR BY EITHER WILL BE AS BINDING AS IF CALLED FOR BY ALL. ANY REFERRED TO ON ANY ONE SET OF DRAWINGS SHALL BE PROVIDED ON ALL RELATED DRAWINGS.
- 26. VERIFY ALL ARCHITECTURAL DETAILS AND COORDINATE DRAWINGS AND MEP DRAWINGS BEFORE INITIATION OF ANY RELATED WORK.
- 27. ALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURI SPECIFICATIONS, INDUSTRY AND BUILDING STANDARDS, AND CODE SEALANT, WEATHERSTRIPPING, AND FLASHING LOCATIONS IN DRAW INTENDED TO BE INCLUSIVE.
- 28. LARGER SCALE DETAILED DRAWINGS SUPERCEDES SMALLER SCAL PLAN DRAWINGS.

	PROJECT TEAM	PROJECT DATA	
ND SHALL BASE HIS FY THE ARCHITECT ND THE ACTUAL FIELD	OWNER:	SITE DATA	
LABOR, MATERIALS,	ARCHITECT RUSSELL DAVIDSON ARCHITECTURE + DESIGN CONTACT: RUSSELL DAVIDSON 149 CROWN POINT CT, SUITE C	ADDRESS A.P.N.:	143 CONAWAY AVE GRASS VALLEY, CA 95945 008-520-024
CONSTRUCTION OF	GRASS VALLEY, CA 95945 T (530) 264-5559	WIND EXPOSURE: CLIMATE ZONE:	C 11
ΈCTURAL AND Γ.	STRUCTURAL ENGINEER	ZONING:	NG-2 GVCITY
ATERIALS AND BUILDING CODE, UDING STATE AND	MECHANICAL ENGINEER	SITE AREA: MAX. HEIGHT:	0.16 AC 25' TO EAVE (CARRIAGE HOUSE)
D NEW DED TO BE ALL LLOW FOR A	ENERGY ANALYSIS	<u>SETBACKS</u> FRONT: INTERIOR: EXTERIOR:	15' BUILDING, 20' GARAGE 5' -
OCUMENTS SHALL BE OR IN THE NOTES. S SPECIFICALLY F, WITHOUT PRIOR		REAR: <b>BUILDING ANALYSIS</b>	5'
TRUCTION HITECT AND OWNER		OCC. GROUP: CONST. TYPE: FIRE SPRINKLERS:	R-3, U V-B
ISE. ALL DIMENSIONS		AREAS:	
SITE DELIVERY DATES TION DOCUMENTS, DELAYS AFFECTING		GARAGE: (N) CARRIAGE HOUSE ADU: EXTERIOR CIRCULATION: BALCONY:	1,025 SF 1,000 SF 161 SF 345 SF
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E LOCATION OF ANY NG AND FIRE AND THAT ALL ED.			
NT IN ANY BLE IN GCOVER OR POINT IVE WORK REVEALED D BY WORK THER PARTIAL OR RK OR IMPROPER			
ONSTRUCTION AND CONTRACTOR AND			
WITH REASONABLE THE WORK, T.			
DDUCT DATA AND NED AND VERIFIED RITERIA RELATED ORMATION WITHIN CONTRACT			
OR ANY DEVIATION	APPLICABLE CODES	SCOPE OF WORK	
E ARCHITECT'S NLESS THE RITING OF SUCH	ALL CODES REFERENCED ARE TO BE USED AS AMENDED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTION.	PROJECT CONSISTS OF THE F	OLLOWING WORK:
GIVEN WRITTEN RINTS, TYPICALLY, OF ER PRODUCT DATA	2022 CALIFORNIA RESIDENTIAL BUILDING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA GREEN BUILDING CODE		
OR QUANTITIES ON	2022 CALIFORNIA GREEN BUILDING CODE 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA ENERGY CODE		
WRITTEN APPROVAL			
ET OF CONSTRUCTION CTION FOR USE BY ALL			
ORELATED		DEFERRED SUBN	
D OPERATION OF		THE FOLLOWING SUBMITTALS	
ITRACTOR AGAINST COMPLETION OF THE AFTER ACCEPTANCE IS REMAINING HE ONE-YEAR CH ITEMS.			
IDITIONS ARE CING HIS WORK. OF THE ARCHITECT. DNS.			
AND BE BUT NOT LIMITED TO WASHERS, VOICE/			
LLATION AS , REFRIGERATOR,			
ND WHAT IS CALLED WORK SHOWN OR D AS THOUGH SHOWN		SPECIAL INSPEC	TIONS
S WITH STRUCTURAL		THE FOLLOWING SPECIAL INS	PECTIONS ARE REQUIRED:
RER'S E REQUIREMENTS. WINGS ARE NOT			
LED ELEVATION AND			





## SITE NOTES

1. ALL TREES AND PLANTS ARE (E) AND TO BE RETAINED, UON.

OWNER TO PROVIDE A BOUNDARY LINE VERIFICATION FORM TO THE BUILDING INSPECTOR, PREPARED BY A LICENSED LAND SURVEYOR FOR BUILDING LINES WITHIN TEN FEET OF PROPERTY LINE SETBACK, WHICH SHALL BE FLAGGED IN THE FIELD BY A LICENSED SURVEYOR PRIOR TO FIRST INSPECTIONS.

RUSSELL DAVIDSON

ARCHITECTURE + DESIGN

No. C36895

Ren. 11-30-25

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143 CONAWAY AVENU GRASS VALLEY, CA 95 APN: 008-520-024

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SITE PLAN

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2024.07

AS NOTED

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- ROADSIDE VEGETATION: A FUEL MODIFICATION AREA SHALL BE PROVIDED FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE DRIVEWAY.
- UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE ALL RULES & REGULATIONS OF THE UTILITY COMPANY PROVIDING SERVICE. BACKFILL & COMPACT TRENCHES PER SOIL REPORT.
- SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET.

EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING.

6. PROJECT WILL COMPLY WITH LOCAL AHJ STORM WATER REQUIREMENTS.

## LEGEND

[]	
	(E) EXISTING FLOOR AREA
	(N) PROPOSED FLOOR AREA
	CONCRETE FLATWORK
	CONCRETE FLATWORK: STAMPED PATTERN
	PROPERTY LINE
	SETBACK LINE
———— E ———	ELECTRICAL LINE
GAS	GAS LINE
SS	SEWER LINE
CW	WATER LINE
	PROPOSED BELOW GRADE RAINWATER DRAINAGE SYSTEM
CJ	CONTROL JOINT
——————————————————————————————————————	EXPANSION JOINT
	FENCE

## COVERAGE CALCULATIONS

BUILDING AREA FLOOR AREA (E) FLOOR AREA (E) GARAGE FLOOR AREA (NEW) FLOOR AREA NEW GARAGE TOTAL	1,116 SF 796 SF 1,000 SF 1,158 SF 3,946 SF
IMPERVIOUS SURFACE COVERAGE	
	2 270 SE

2,279 SF 584 SF 82 SF 2,945 SF 6,970 SF

LOT COVERAGE (ALLOWED): 50% (3,485 SF) LOT COVERAGE (ACTUAL): 2,945 SF / 6,970 SF (42.5%)

## **EROSION CONTROL**

COVERED AREA:

PAVED AREA:

TOTAL

SITE AREA:

- ALL SURFACES DAMAGED BY THE ACTIONS OF THE CONTRACTOR SHALL BE RESTORED TO EQUAL OR BETTER THAN THE ORIGINAL CONDITION.
- ALL EXCAVATED AREAS SHALL BE KEPT WATERED OR COVERED WITH A PALLIATIVE TO PREVENT EMISSION OF FUGITIVE DUST. DUST AND MUD CONTROL SHALL BE PROVIDED AT ALL TIMES INCLUDING EVENINGS, WEEKENDS, AND HOLIDAYS. AT LEAST ONE MOBILE UNIT WITHA A MINIMUM CAPACITY OF WOO GALLONS SHALL BE AVAILABLE AT ALL TIMES FOR APPLYING WATER ON THE AFFECTED AREAS. WATER SHALL BE OBTAINED FROM A SOURCE APPROVED BY THE NORTHERN SIERRA AIR QUALITY MANAGEMENT DISTRICT.
- SEED, FERTILIZER, AND MULCH SHALL BE APPLIED BETWEEN SEPTEMBER 15 AND OCTOBER 15. REMOVAL OF NATIVE VEGETATION SHALL BE MINIMIZED.
- SEED, FERTILIZER, AND MULCH SHALL BE APPLIED TO ALL DISTURBED SOILS AND ALL EXPOSED CUT & FILL SLOPES\* NOT PROTECTED BY ROCK IN THE FOLLOWING RATES:

SEED MIX:	BLANDO BROME	12 LBS/AC
	ZORRO ANNUAL FESCUE	4 LBS/AC
	HYKON ROSE CLOVER (INOCULATED)	9 LBS/AC
SEED MIX:	AMMONIUM PHOSPHATE (W-20-0)	200 LBS/AC
SEED MIX:	CLEAN STRAW	2.5 LBS/AC

\*SLOPES WITH GLAZED OR SMOOTH SURFACES SHALL BE SCARIFIED TO A DEPTH OF 2-4 INCHES TO PROVIDE AN ADEQUATE SEED BED. \*\*LEGUMES SHALL BE INOCULATED WITH APPROPRIATE BACTERIA AT ACCEPTED RATES AT TIME OF SEEDING

SEED AND FERTILIZER SHALL BE APPLIED USING BROADCAST METHOD ON SLOPES GREATER THAN 2:1, OTHER MEASURES SUCH AS NETTING OR TACKIFIERS SHALL BE UTILIZED TO HOLD MATERIALS IN PLACE UNTIL VEGETATION IS ESTABLISHED

IN THE FIELD AFTER CONSULTING WITH THE RESOURCE CONSERVATION DISTRICT. IF PERMANENT EROSION CONTROL MEASURES ARE NOT INSTALLED BY OCTOBER 15 OF CONSTRUCTION SEASON, TEMPORARY MEASURES SUCH AS STRAW BALE SEDIMENT BARRIERS, CHECK DAMS, SEDIMENT TRAPS SHALL BE EMPLOYED NO LATER THAN NOVEMBER 1. THE ACTUAL LOCATIONS FOR SPECIFIC MEASURES MAY BE DETERMINED

NO ON-SITE ROAD CONSTRUCTION SHALL OCCUR BETWEEN OCTOBER 15 AND MAY 1 WITHOUT PRIOR WRITTEN APPROVAL

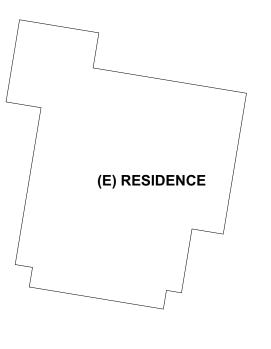
# **KEYNOTES**

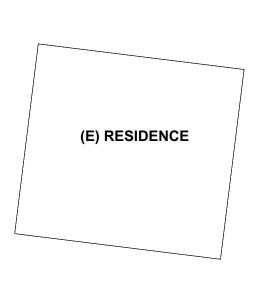
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- PROPERTY LINE
- SETBACK TO PRIMARY RESIDENCE SETBACK FOR ADU



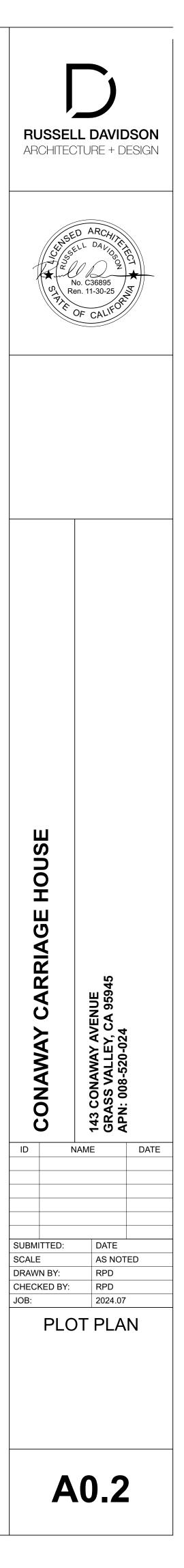


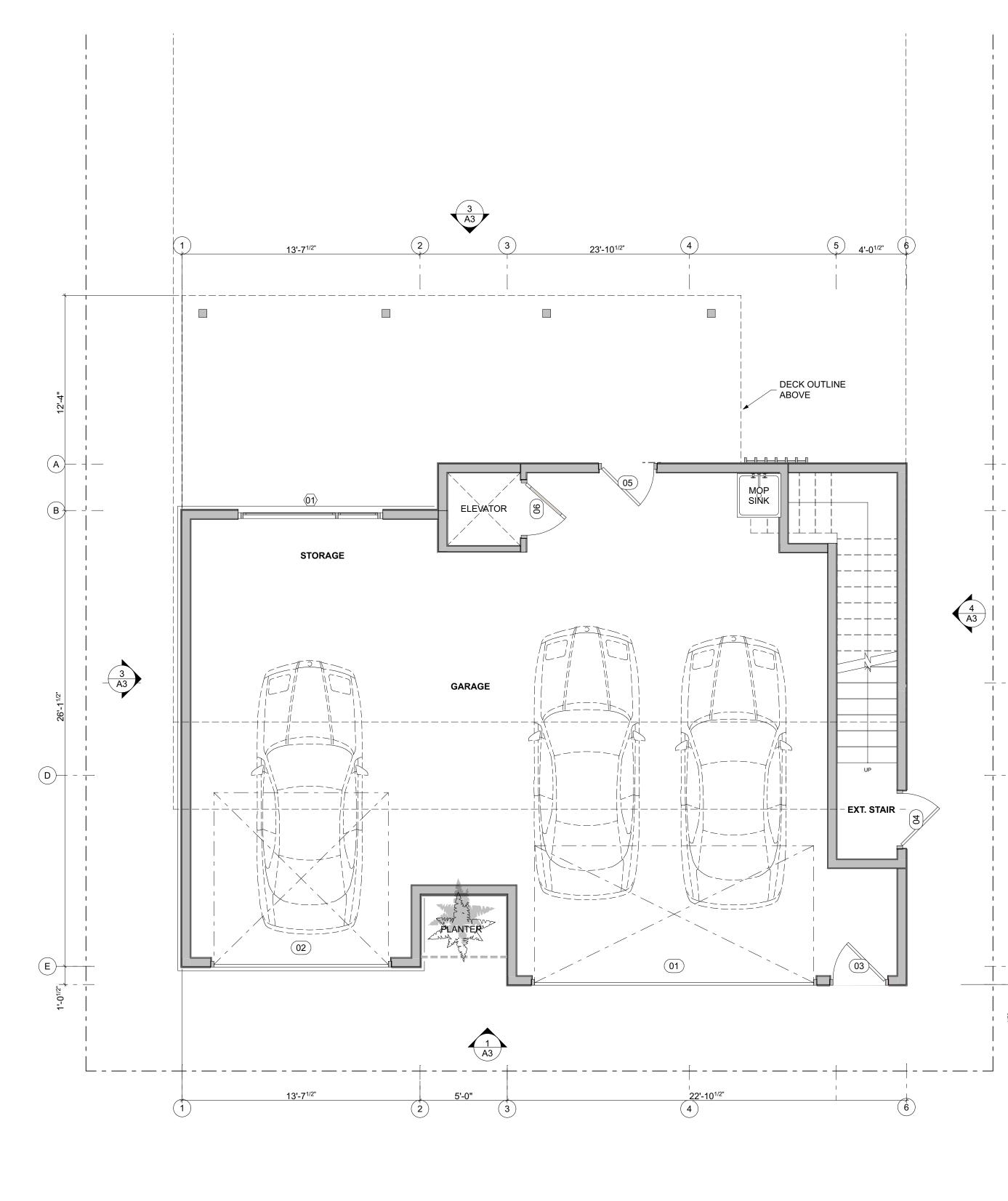










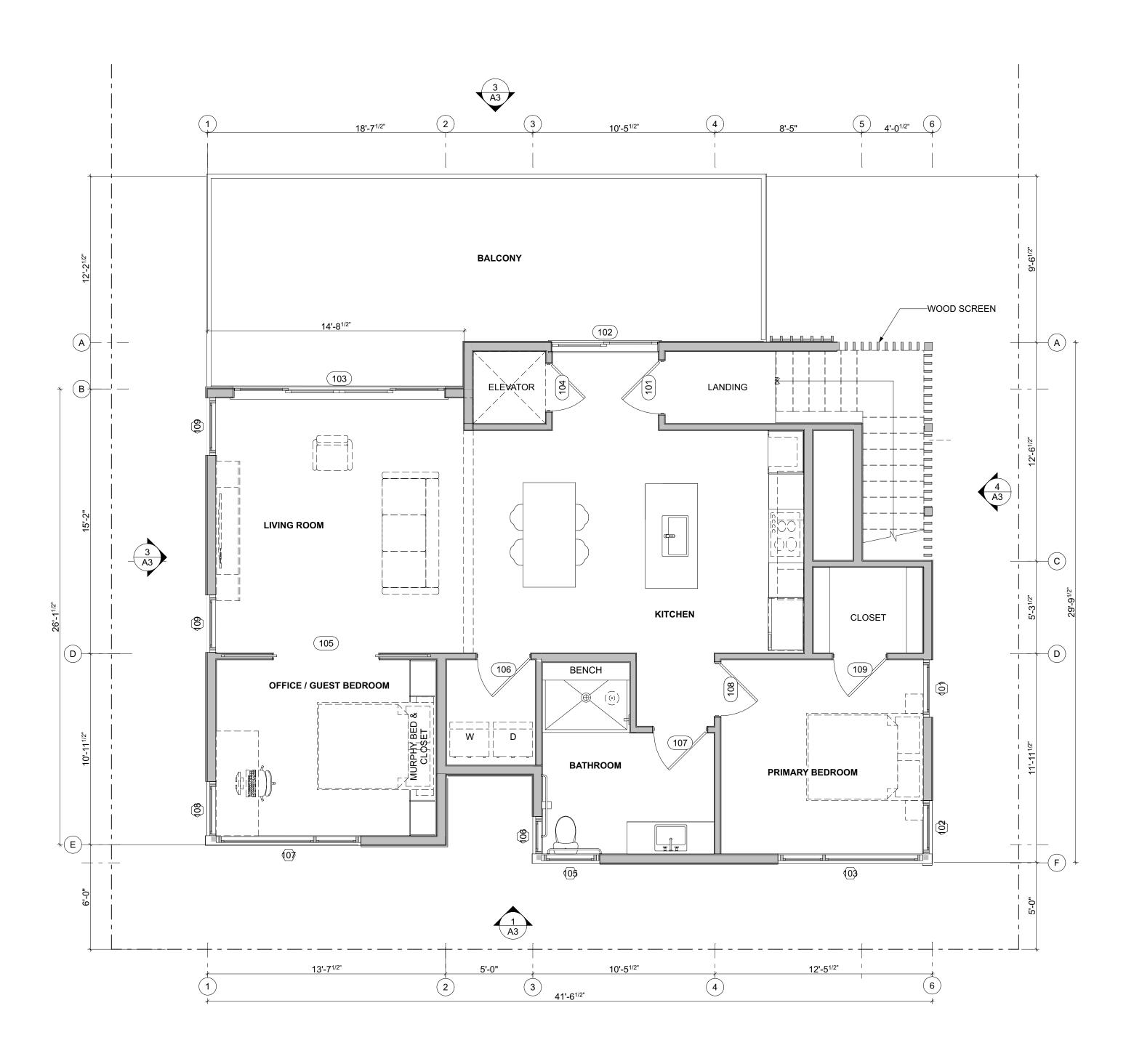


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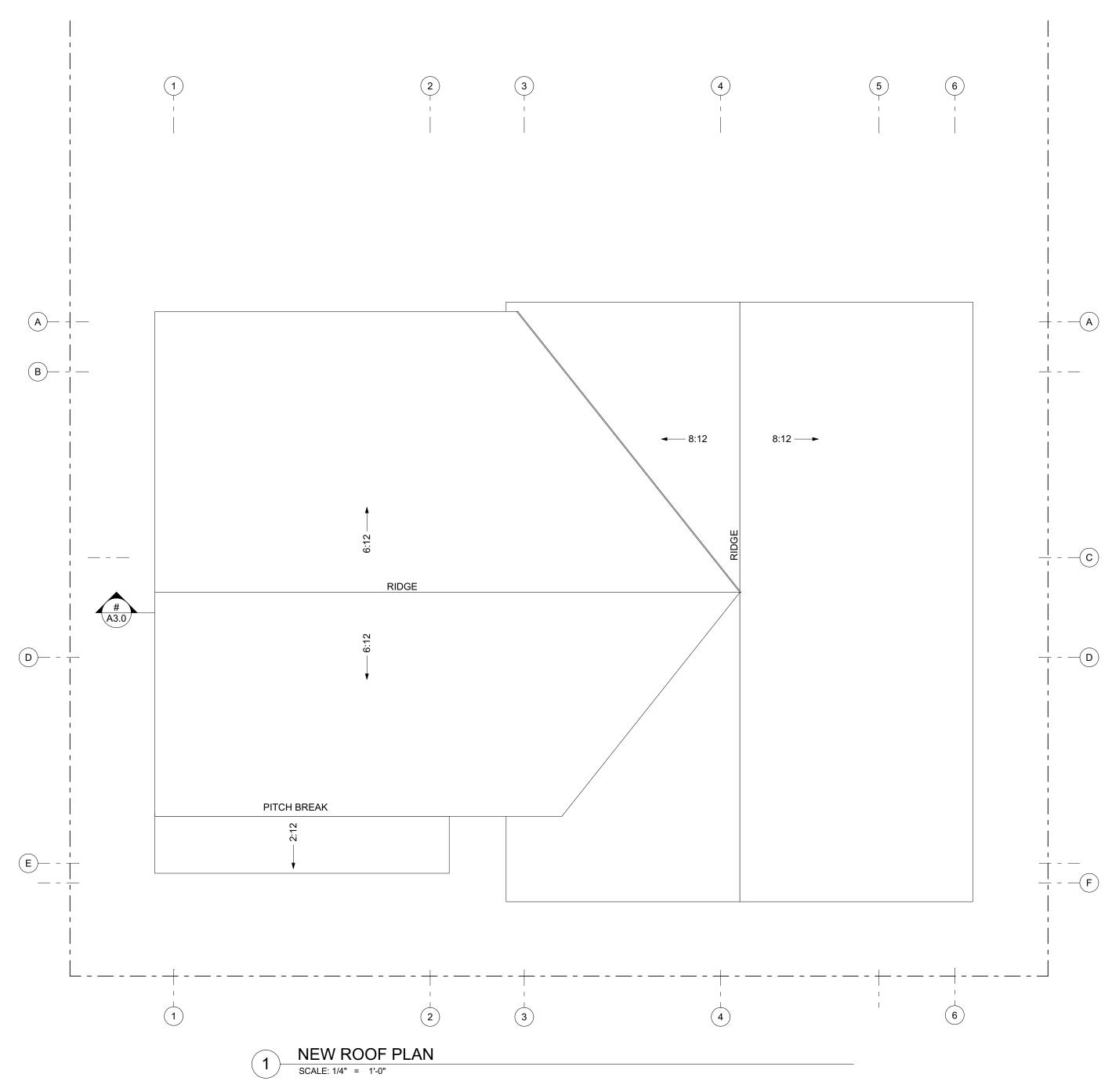
1 NEW 1ST FLOOR PLAN SCALE: 1/4" = 1'-0"

	LEGEND	(E) WALL TO REMAIN (N) WALL 1 HR. FIRE WALL ROOM IDENTIFICATION WINDOW NUMBER DOOR NUMBER PARTITION TYPE	THERMOSTAT GARAGE DOOR OPENER HOSE BIB GAS	ARCHITE	DAVIDSON CTURE + DESIGN
				CONAWAY CARRIAGE HOUSE	143 CONAWAY AVENUE GRASS VALLEY, CA 95945 APN: 008-520-024
Ν	KEYNOT	ES			NAME DATE



1 NEW 2ND FLOOR PLAN SCALE: 1/4" = 1'-0"

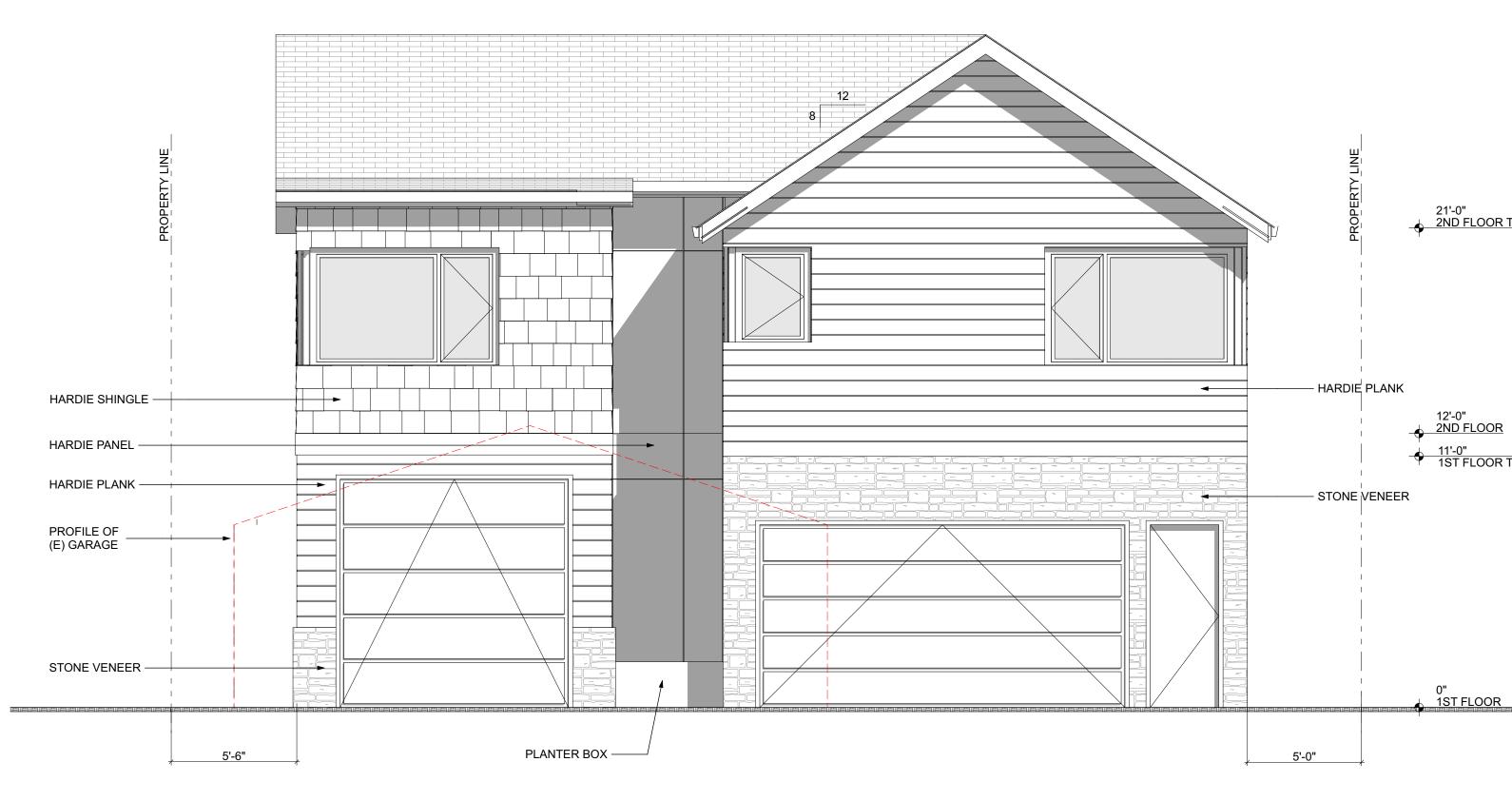
LEGEND ROOM # (A) (1) ((A))	(E) WALL TO REMAIN (N) WALL 1 HR. FIRE WALL ROOM IDENTIFICATION WINDOW NUMBER DOOR NUMBER PARTITION TYPE	THERMOSTAT GARAGE DOOR OPENER HOSE BIB GAS	ARCHITE	ELL DAVIDSON ECTURE + DESIGN
			CONAWAY CARRIAGE HOUSE	143 CONAWAY AVENUE 143 CONAWAY AVENUE GRASS VALLEY, CA 95945 APN: 008-520-024 APN: 008-520-024
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WALL BELOW		
□ □ DS 3" DOWNSPOUT		
NEW ROOF AREA		
UNVENTED ROOF AREA	ARCHITE	ECTURE + DESIC
ROOF PLAN NOTES		
1. THE CONTRACTOR SHALL HAVE PRESENT AT INSPECTIONS A COPY OF THE ICC-ES EVALUATION REPORT ON THE ROOFING SYSTEM.		ED ARCHITE
2. ALL ROOF COVERING SHALL BE 'IGNITION RESISTANT' COMPLYING WITH CRC SECTION R902.1 AND CLASS "A".	RUC	
CLASS 'A' ROOFING COVERING: EAGLE ROOFING PRODUCTS, TILE SHAKE	STRIK	No. C36895 Ren. 11-30-25
3. ALL ROOFING WORK MUST ADHERE TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS TO MAINTAIN WARRANTY COVERAGE.		No. C36895 Ren. 11-30-25
<ol> <li>ALL ROOF AND DECK SURFACES SHALL SLOPE AT 1/4" PER FOOT MINIMUM, U.O.N.</li> </ol>		
5. PROVIDE 1/2" EXT-GRADE SHEATHING OVER 2X CRICKETING AT 16" O.C. SLOPED TO DRAIN 1/4" PER FOOT MIN. OVER 5/8" STRUCTURAL PLYWOOD SHEATHING W/ INTEGRAL RADIANT BARRIER AT ALL CHIMNEYS, MECHANICAL EQUIPMENT, AND OTHER LOCATIONS AS REQUIRED FOR POSITIVE DRAINAGE TOWARD DRAINS.		
<ol> <li>FLASH AND SEAL ALL ROOF PENETRATIONS SUCH AS VENTS, FANS, HOODS, AS REQUIRED FOR A WATER-TIGHT INSTALLATION.</li> </ol>		
7. IN ROOF COVERINGS WHERE THE PROFILE CREATES SPACE BETWEEN THE ROOF COVERING AND COMBUSTIBLE ROOF DECKING, ONE OF THE FOLLOWING MEANS OF PROTECTING SPACES AT EAVES ENDS SHALL BE APPLIED.		
<ul> <li>A. FIRE-STOPPING WITH APPROVED MATERIALS</li> <li>B. ONE LAYER OF 72 POUND (32.4 KG) MINERAL-SURFACED NON- PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909 INSTALLED OVER THE COMBUSTIBLE DECKING</li> <li>C. OTHERWISE CONSTRUCTED TO PREVENT INTRUSION OF FLAMES AND EMBERS</li> </ul>		
3. EXPOSED VALLEY FLASHINGS SHALL BE CONSTRUCTED WITH NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH- WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.		
9. ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.		
10. SKYLIGHTS SHALL BE TEMPERED GLASS.		
11. ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC) SHALL RESIST THE INTRUSION OF FLAMES AND EMBERS		
12. VENTILATION OPENINGS FOR ENCLOSED ATTICS, EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, UNDERFLOOR VENTILATION OPENINGS, AND VENT OPENINGS IN EXTERIOR WALLS AND EXTERIOR DOORS SHALL BE LISTED TO ASTM E 2886 AND COMPLY WITH ALL OF THE FOLLOWING:		
<ul> <li>A. THERE SHALL BE NO FLAMING IGNITION OF THE COTTON MATERIAL DURING THE EMBER INTRUSION TEST</li> <li>B. THERE SHALL BE NO FLAMING IGNITION DURING THE INTEGRITY TEST PORTION OF THE FLAME INTRUSION TEST</li> <li>C. THE MAXIMUM TEMPERATURE OF THE UNEXPOSED SIDE OF THE VENT SHALL NOT EXCEED 662 DEGREES FAHRENHEIT (350 DEGREES CELSIUS)</li> </ul>	SE	
13. PROVIDE INDEPENDENTLY PIPED OVERFLOW DRAINS AT ALL ROOF DRAIN LOCATIONS OR OVERFLOW SCUPPERS AS NOTED OR REQUIRED.	SNOH	
14. PROVIDE CLEANOUTS AS REQUIRED. 15. ALL SHEET METAL FLASHING AND TRIM SHALL BE G.S.M.	Ш Ш	
15. ALL SHEET METAL FLASHING AND TRIM SHALL BE G.S.M. 16. ENCLOSED RAFTER SPACES SHALL HAVE 1 IN. CLEAR CROSS	A G	
VENTILATION. 17. ROOF DRAIN AND OVERFLOW DRAIN TO BE 3" DIA. INTERNAL DRAIN UNLESS NOTED OTHERWISE FROM ROOF/DECK. CONNECT ALL RAIN WATER LEADERS TO SOLID DRAIN LINES. REFER TO CIVIL DRAWINGS. SLOPE HORIZONTAL PORTIONS MIN. 1/4":12" IN DIRECTION OF	CARRIAG	IUE 95945
ARROWS. 18. PROVIDE BASKET DEBRIS SCREENS AT ALL ROOF AND OVERFLOW		4 CA
DRAINS. 19. ROOF & OVERFLOW DRAINS SHALL HAVE WATER TEST PRIOR TO	A A	
CONCEALING DRAINS IN THE WALLS. DRAINS TO HAVE CLEAN OUT JUST BEFORE ENTRY TO THE HORIZONTAL STORM DRAIN SYSTEM AS PER THE CPC.	CONAWAY	COI SSS I: 00
ATTIC VENT CALCULATION		APN ENVI
ATTIC WILL BE UNVENTED		
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		OF PLAN
KEYNOTES	_	
<ol> <li>REMOVE (E) ROOF FINISHES</li> <li>(N) TILE ROOF, MATCH (E) STYLE AND COLOR</li> </ol>	_	
1. REMOVE (E) ROOF FINISHES		
<ol> <li>REMOVE (E) ROOF FINISHES</li> <li>(N) TILE ROOF, MATCH (E) STYLE AND COLOR</li> <li>(N) O.G. GUTTER, MATCH (E)</li> </ol>		
<ol> <li>REMOVE (E) ROOF FINISHES</li> <li>(N) TILE ROOF, MATCH (E) STYLE AND COLOR</li> <li>(N) O.G. GUTTER, MATCH (E)</li> </ol>		1.2

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3 WEST ELEVATION SCALE: 1/4" = 1'-0"

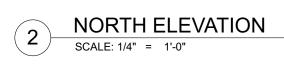
BALCONY -

1 SOUTH ELEVATION SCALE: 1/4" = 1'-0"



	FINISH KEYNOTES			DAVID URE + DE	
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₹	KEYNOTES				
<u>R T</u>		CONAWAY CARRIAGE		143 CONAWAY AVENUE GRASS VALLEY, CA 95945 APN: 008-520-024	
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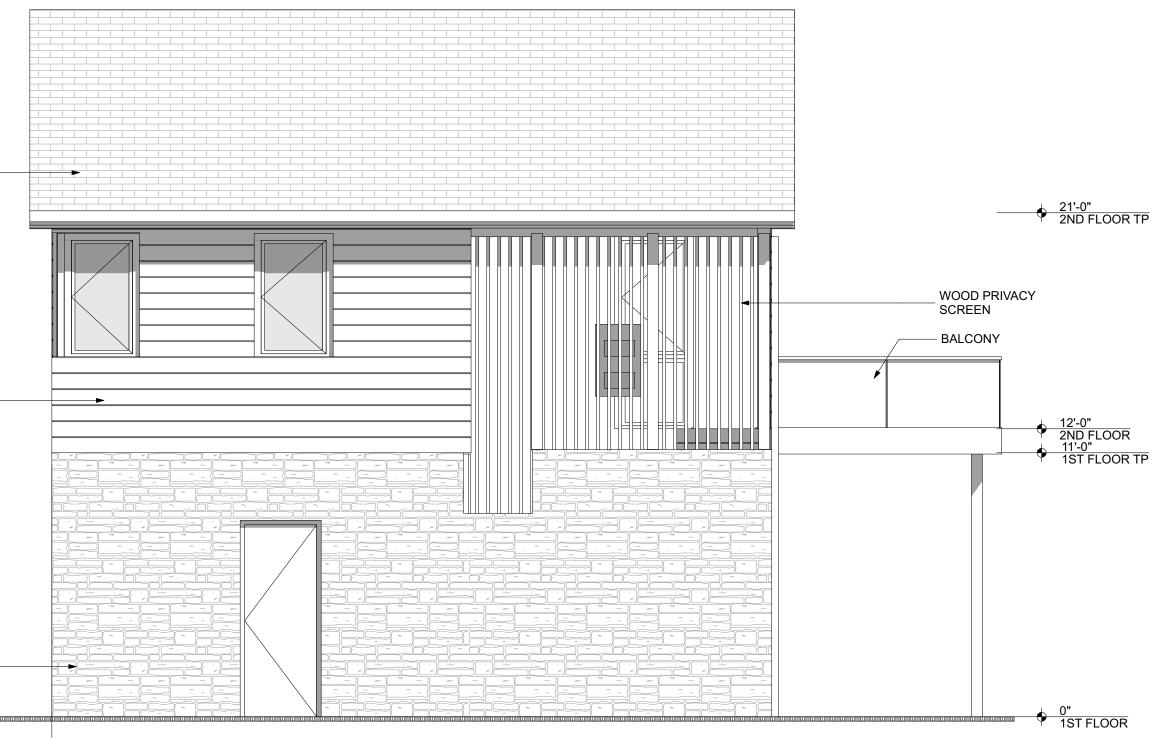






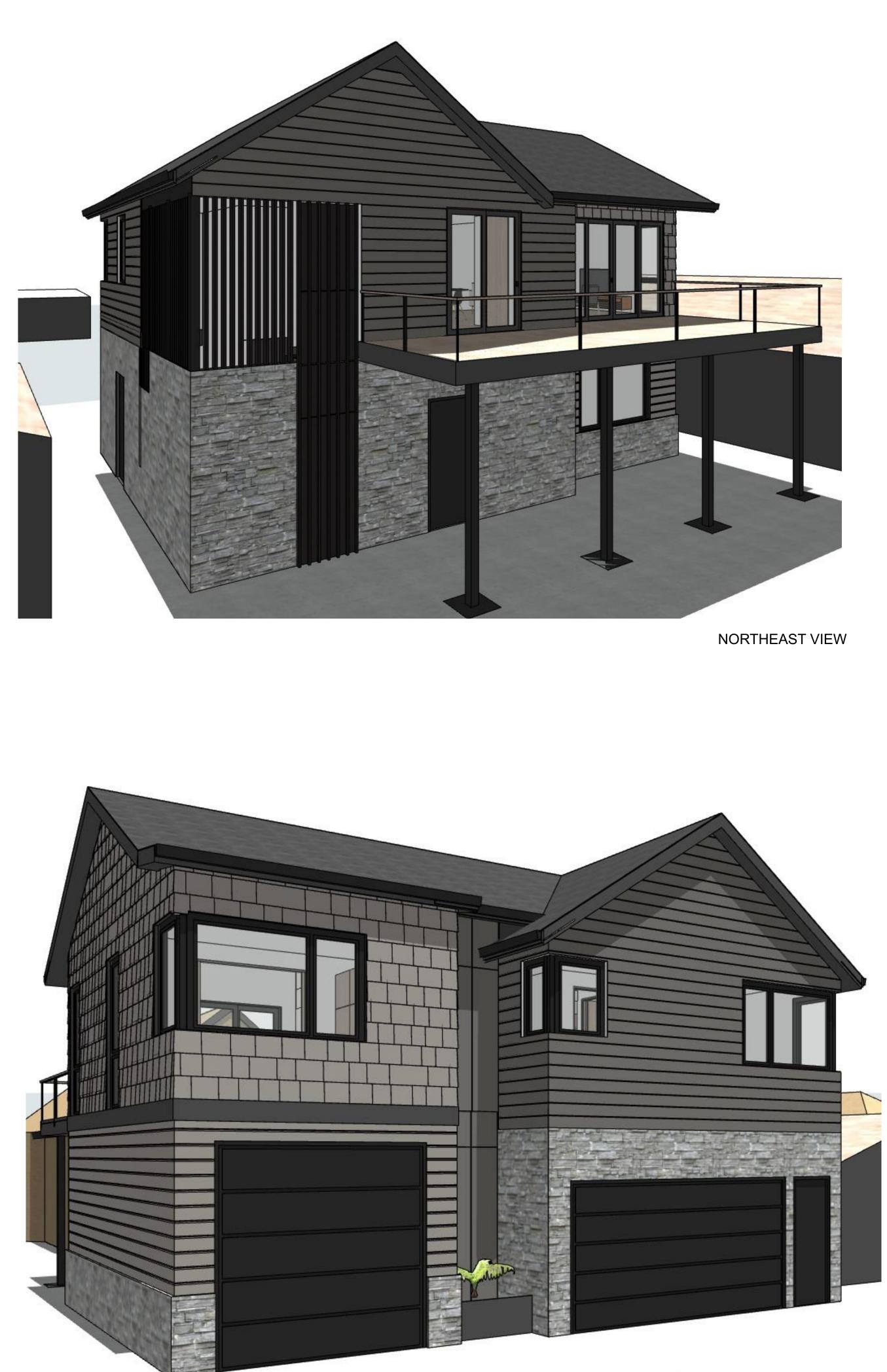
STONE VENEER -

1 EAST ELEVATION SCALE: 1/4" = 1'-0"



5'-0"

	GENERAL NOTES				
	FINISH KEYNOTES		SELL DAVIDSON ITECTURE + DESIGN		
<u>TP</u> THEAD		T.	No. C36895 Ren. 11-30-25		
TP TEAD					
	KEYNOTES	HOUSE			
		CONAWAY CARRIAGE	143 CONAWAY AVENUE         143 CONAWAY AVENUE         GRASS VALLEY, CA 95945         APN: 008-520-024		
			AS NOTED Y: RPD		
			A2.1		







SOUTHEAST VIEW

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DATE