

Exhibit E - Building Elevations
Page 1 of 6

ZONING NOTES

APPENDIX W - RESIDENTIAL DEVELOPMENT STANDARDS

SECTION 3

I. EXTERIOR DESIGN RECOMMENDATIONS FOR MULTI-FAMILY DEVELOPMENT

- A. IN ORDER TO ENHANCE THE LONG-TERM VALUE AND DESIRABILITY OF MULTI-FAMILY DEVELOPMENT, THE EXTERIOR OF ALL NEW BUILDINGS (EXCLUDING DOORS AND WINDOWS) SHOULD BE FINISHED IN ONE OR MORE OF THE FOLLOWING MATERIALS INDICATED BELOW.
- MASONRY, SUCH AS BRICK, STONE, CAST STONE, CULTURED STONE, ROCK, EXTERIOR PORTLAND CEMENT PLASTER (STUCCO) WITH 3 COATS OVER METAL LATH, AND FIBER CEMENT SIDING (AS DEFINED IN THE MOST RECENTLY ADOPTED BUILDING CODE AND APPROVED BY THE BUILDING OFFICIAL). **COMPLIANT, REFER TO ELEVATIONS FOR MATERIALS.**
 - NON-MASONRY ARCHITECTURAL METAL PANEL OR CERAMIC TILE. IF SUCH MATERIAL EXHIBITS THE SAME WEATHERING AND DURABILITY CHARACTERISTICS AS MASONRY MATERIALS LISTED ABOVE, **NOT APPLICABLE.**
 - THE USE OF A SINGLE TEXTURE, COLOR, OR MATERIAL FROM THE ABOVE LIST SHOULD COMPRISE NO MORE THAN SIXTY PERCENT (60%) OF A BUILDING FACE BETWEEN TERMINATING CORNERS. THE REMAINDER SHOULD CONSIST OF AT LEAST TWO OTHER CONTRASTING COLORS, TEXTURES, OR MATERIALS. **COMPLIANT, REFER TO MATERIAL PERCENTAGE CHARTS.**
 - THE DEVELOPER/BUILDER SHOULD USE EXTERIOR INSULATING FINISHING SYSTEM (EIFS) FOR ROOF PARAPET CORNICE MOLDING, ORNAMENTAL, ROUNDELS OR SIMILAR DECORATIVE ELEMENTS ONLY. THE USE OF EIFS SHOULD NOT BE UTILIZED ON ANY PORTION OF THE WALL THAT IS LESS THAN EIGHT FEET (8') IN HEIGHT FROM FINISHED GRADE ELEVATION. **NOT APPLICABLE.**
 - NOT MORE THAN TWENTY PERCENT (20%) OF EACH BUILDING FACE SHOULD UTILIZE NON-NEUTRAL COLORS. THE REMAINDER OF THE BUILDING FACE SHOULD UTILIZE NEUTRAL COLORS, INCLUDING EARTH TONES. **COMPLIANT, REFER TO ELEVATIONS AND MATERIAL PERCENTAGE CHARTS.**
 - IN ANY DEVELOPMENT THAT INCLUDES MULTI-FAMILY RESIDENTIAL OR MIXED USE, EVERY BUILDING WITH RESIDENTIAL USE SHOULD DISPLAY THE SAME LEVEL OF ARCHITECTURE, MATERIALS, AND DETAILING ON ALL SIDES OF THE BUILDING ARCHITECTURAL TECHNIQUES, SUCH AS VARIOUS SETBACKS OF WINDOWS AND BALCONIES, AND CHANGE IN MATERIAL, COLOR AND TEXTURE, SHOULD BE USED TO ARTICULATE FACADES AND SIDEWALL ELEVATIONS, AN EXCEPTION MAY BE CONSIDER IN CASES WHERE A BUILDING FACE ADJUTS A PROTECTED AREA, INCLUDING DESIGNATED FEMA FLOODWAY. **COMPLIANT, REFER TO ELEVATIONS.**
 - HIPPED OR GABLED ROOFS MAY EMPLOY STANDING SEAM METAL, IN A NON-METALLIC MATTE FINISH. **NOT APPLICABLE.**
 - IF A FLAT ROOF IS UTILIZED FOR THE PRIMARY ROOF SURFACE, THE DESIGN SHOULD EMPLOY HORIZONTAL AND VERTICAL OFFSETS OF 2 FEET OR GREATER FROM THE PRIMARY CORNICE ELEVATION OVER A MINIMUM OF 30% OF THE LINEAR FOOTAGE OF EACH BUILDING SIDE. **NOT APPLICABLE.**
 - PROVIDE CORNER TREATMENTS FOR FLAT ROOFS AT ALL BUILDINGS CORNERS AND UTILIZE A MINIMUM OF ONE SLOPED OR NON-HORIZONTAL ELEMENT PER CORNER, OR A HORIZONTAL CORNICE PROJECTION OF 8 INCHES OR GREATER.
 - PROVIDE CORNER TREATMENT OR AREA PROJECTION EXTENDING FROM EACH CORNER A MINIMUM OF 15 % OF THE TOTAL DISTANCE BETWEEN THE TERMINATING CORNERS OF EACH BUILDING SIDE.
- B. MULTI-FAMILY DEVELOPMENTS MEETING EACH OF THE RECOMMENDED DESIGN STANDARDS IN SECTION MAY REQUEST TWO OF THE FOLLOWING:
- ELIMINATE MASONRY MATERIAL FROM CARPORT SUPPORT POSTS.
 - INCREASE MAXIMUM DENSITY OR FAR BY 20%.
 - REDUCE REQUIRED LANDSCAPE AREA BY 5%.
 - INCREASE PERCENTAGE OF ONE BEDROOM UNITS BY 10%.
- THIS DEVELOPMENT MEETS THE RECOMMENDED DESIGN STANDARDS AND IS REQUESTING ITEMS 1 AND 2.**

II. AMENITY AND SITE DESIGN STANDARDS FOR MULTI-FAMILY DEVELOPMENTS

THIS DEVELOPMENT IS COMPLIANT WITH SECTION 3.I.A THROUGH F

- A. MULTI-FAMILY UNITS WHICH FACE A DEDICATED STREET SHALL PROVIDE A TYPE II PERIMETER SCREENING FENCE A MINIMUM OF 4 FEET IN HEIGHT. IF PARKING IS SITUATED BETWEEN BUILDINGS AND A DEDICATED STREET, A TYPE II FENCE A MINIMUM OF 6 FEET IN HEIGHT AND CONTINUOUS VEGETATIVE SCREENING A MINIMUM OF 36 INCHES IN HEIGHT SHALL BE INSTALLED BETWEEN THE PARKING AND THE RIGHT OF WAY.
- AN EXCEPTION MAY BE CONSIDERED IN CASES WHERE MULTI-FAMILY UNITS ON THE GROUND FLOOR ARE DESIGNED TO FACE A DEDICATED STREET. IF NOT SCREENING FENCE IS PROVIDED BETWEEN STREET-FACING UNITS AND THE STREET, DEDICATED PARKING MUST BE PROVIDED BETWEEN THE TRAVEL LANES OF THE STREET AND ALL STREET-FACING UNITS AT A RATE OF ONE SPACE PER EACH TWO GROUND FLOOR UNITS WHICH ARE PARALLEL TO THE STREET.
 - SPACES APPROVED UNDER ABOVE PROVISION MAY BE DESIGNATED AS GUEST PARKING BUT SHALL NOT BE PROVIDED IN LIEU OF REQUIRED PARKING EXCEPT IN THE CA DISTRICT.
- B. MULTI-FAMILY DEVELOPMENTS SHALL CONTAIN SECURITY GATES AT ALL ENTRANCES TO THE COMPLEX. A SINGLE GATED ENTRANCE AND EXIT POINT FOR RESIDENTS AND VISITORS SHOULD BE PROVIDED ALONG WITH A MINIMUM OF ONE SECONDARY ACCESS POINT DESIGNATED FOR EMERGENCY ACCESS. A TURNAROUND MUST BE PROVIDED PRIOR TO THE GATE. ALL GATES SHALL BE INSTALLED WITH AN AUTOMATED ENTRY DEVICE APPROVED BY THE FIRE DEPARTMENT TO FACILITATE EMERGENCY ACCESS.
- C. A MAIN ENTRANCE FEATURE, WHICH IS CONSISTENT WITH THE BASIC ARCHITECTURAL THEME OF THE DEVELOPMENT, SHALL BE PROVIDED AT ALL ENTRANCES, EXCLUDING AS EMERGENCY ACCESS ONLY. THE ENTRANCE FEATURE SHALL CONSIST AT A MINIMUM, OF A COMBINATION OF LANDSCAPING, AESTHETIC FEATURES SUCH AS ROCKS, SCULPTURES AND WATER, AND STREET PAVERS. ALTERNATIVE DESIGNS MAY BE CONSIDER IF THEY ARE SUPERIOR TO OR EQUAL IN QUALITY AND DESIGN DETAIL TO THE FEATURES REQUIRED.
- D. COMMUNITY MAILBOX KIOSKS SHALL BE ARCHITECTUALLY INTEGRATED WITH THE MULTI-FAMILY DEVELOPMENT AND SHALL BE EQUIPPED WITH INTERNAL SAFETY LIGHTING.
- E. PRIVACY FEATURES BETWEEN BUILDINGS SHALL INCLUDE THE FOLLOWING:
- WINDOWS, BALCONIES OR SIMILAR OPENINGS ABOVE THE FIRST STORY SHALL BE ORIENTED SO AS NOT TO HAVE A DIRECT LINE-OF-SIGHT INTO ADJACENT UNITS WITHIN THE PROJECT.
 - UNITS ABOVE THE FIRST STORY SHALL BE DESIGNED SO THAT THEY DO NOT LOOK DIRECTLY ONTO PRIVATE PATIOS OR BACKYARDS OF ANY ADJOINING ATTACHED OR DETACHED RESIDENTIAL PROPERTY.
- F. NEW MULTI-FAMILY DEVELOPMENT THAT MEETS THE DESIGN RECOMMENDATIONS IN SECTION W.3.I SHALL PROVIDE AMENITIES THAT ARE OF HIGH QUALITY AND OF BENEFIT TO ALL RESIDENTS BY PROVIDING FEATURES FROM AT LEAST TWO OF THE FOLLOWING THREE CATEGORIES. DEVELOPMENTS THAT DO NOT MEET THE DESIGN RECOMMENDATIONS SHALL PROVIDE AMENITIES FROM ALL THREE CATEGORIES.

THIS DEVELOPMENT DOES MEET THE DESIGN RECOMMENDATIONS IN SECTION W.3.I AND IS SELECTING TO PROVIDE THE ITEMS REQUIRED IN CATEGORIES 2 AND 3 AS INDICATED ON THE CHECKLIST BELOW. ITEMS LISTED BELOW FROM CATEGORY 1 THAT ARE NOT REQUIRED WILL BE PROVIDED WITHIN THE DEVELOPMENT.

APPENDIX W - CHECKLIST FOR MULTI-FAMILY DEVELOPMENT

CATEGORY 1: ENVIRONMENTALLY-FRIENDLY BUILDING MATERIALS, CONSTRUCTION TECHNIQUES, OR OTHER FEATURES.

(CATEGORY 1 ITEMS NOT REQUIRED BUT PROVIDED)

- EV CHARGING STATIONS.
- QUALIFIED RECYCLING PROGRAM.
- OUTDOOR RECREATIONAL SPACE.
- BIG AND SMALL DOG PARKS.

CATEGORY 2: HIGH-QUALITY FEATURES OR DESIGNS (FOUR ITEMS REQUIRED FROM CATEGORY 2, TIER I AND FIVE ITEMS REQUIRED FROM CATEGORY 2, TIER II - ITEMS MARKED WITH "X" ARE BEING PROVIDED)

- TIER I
- ☒ I. GRANITE COUNTERTOPS OR SIMILAR IN KITCHENS AND BATHROOMS.
 - ☒ II. UPGRADE FLOORING THROUGHOUT, CONSISTING OF MASONRY TILE, SUCH AS PORCELAIN OR TRAVERTINE, WOOD-LOOK TILE, TRUE HARDWOOD, STAINED CONCRETE, OR DEEP PILE CARPETING.
 - ☒ III. MINIMUM 10 FOOT CEILINGS IN LIVING AREAS, KITCHEN, DINING ROOMS, HALLWAYS, BATHROOMS AND BEDROOMS.
 - ☒ IV. UPGRADED WOODWORK THROUGHOUT EACH UNIT, SUCH AS CROWN MOLDING, WAINSCOT, CHAIR RAILS, WINDOWS AND DOOR MOLDINGS.
 - ☒ V. UPGRADED CABINetry.
- TIER II
- ☒ I. ARCHED FORMS SEPARATING ROOMS AND LIVING SPACES.
 - ☒ II. UPGRADED LIGHT FIXTURES INCLUDING RECESSED LIGHTING OR INDIRECT LIGHTING.
 - ☒ III. WALK-IN CLOSETS.
 - ☒ IV. JETTED BATH TUBS.
 - ☒ V. UPGRADED BATHROOM AND KITCHEN HARDWARE, INCLUDING FAUCETS AND SINKS.
 - ☒ VI. FULL-SIZE STAINLESS STEEL MAJOR APPLIANCES (OVEN, RANGE, REFRIGERATOR, DISHWASHER, MICROWAVE OVEN).
 - ☒ VII. 6 FOOT DOORS LEADING TO EACH ROOM OF A UNIT.

CATEGORY 3: TECHNOLOGY (ALL ITEMS IN CATEGORY 3 ARE REQUIRED - ITEMS MARKED WITH "X" ARE BEING PROVIDED)

- ☒ A. INTEGRATED USB PORTS WITHIN ALL UNITS.
- ☒ B. APP-ENABLED FUNCTIONALITY FOR DOOR LOCKS, LIGHTING, THERMOSTAT, APPLIANCES, OR OTHER ELECTRONICS.
- ☒ C. APP-ENABLED COMMUNICATION BETWEEN RESIDENTS AND MANAGEMENT FOR THE REPORTING OF PROBLEMS RELATED TO MECHANICAL FAILURES, SAFETY CONCERNS, OR NOISE ISSUES.
- ☒ D. WI-FI INTERNET ACCESS PROVIDED TO USERS OF COMMON AMENITIES SUCH AS CLUBHOUSE, POOL, WALKING TRAILS, AND FITNESS AREA.

ELEVATION LEGEND	
1A	CEMENTITIOUS PANEL WITH FIBERCEMENT BATTEN - SW 7727 WHITE HERON
1B	CEMENTITIOUS PANEL WITH FIBERCEMENT BATTEN - SW 7026 GRUFFIN
2A	CEMENTITIOUS LAP SIDING 6" EXPOSURE - SW 7627 WHITE HERON
2B	CEMENTITIOUS LAP SIDING 6" EXPOSURE - SW 7026 GRUFFIN
3A	CEMENTITIOUS TRIM - SW 7627 WHITE HERON
3B	CEMENTITIOUS TRIM - SW 7026 GRUFFIN
4	STONE - AUSTIN BLOCK & QUARRY - BLANDED CHOPPED
5	CAST STONE - SUMMER
6	TYP. WINDOW - WHITE
7	TYP. DOOR - PATIO/BALCONY DOOR TO BE SW 7627 WHITE HERON
8	STEEL GUARDRAIL & ALL EXTERIOR STEEL - SW 7069 IRON ONE
9	COMPOSITION SHINGLE ROOF - GAF TIMBERLINE CHARCOAL
10	FASCIA / EAVES / SOFFIT - SW 7627 WHITE HERON
11	AWNINGS - CHARCOAL GRAY

1A	2A	3A	4	5	6	7	8	9	10	11
1B	2B	3B	4	5	6	7	8	9	10	11

1A	2A	3A	4	5	6	7	8	9	10	11
1B	2B	3B	4	5	6	7	8	9	10	11

1A	2A	3A	4	5	6	7	8	9	10	11
1B	2B	3B	4	5	6	7	8	9	10	11

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1A	2A	3A	4	5	6	7	8	9	10	11
1B	2B	3B	4	5	6	7	8	9	10	11

EXTERIOR WALLS - MATERIAL PERCENTAGES										
WALL	HEIGHTS	TOTAL AREA	CEM. PANEL (LIGHT)	CEM. PANEL (DARK)	LAP SIDING (LIGHT)	LAP SIDING (DARK)	MASONRY	GLASS	DOOR	
FRONT	30'-4 7/8"	5,658.37 sq.ft.	237.00 sq.ft. = 4.19%	434.30 sq.ft. = 7.68%	1,874.32 sq.ft. = 33.12%	0.00 sq.ft. = 0.00%	1,810.75 sq.ft. = 32.00%	1,110.00 sq.ft. = 19.62%	192.00 sq.ft. = 3.39%	
RIGHT	30'-4 7/8"	2,338.39 sq.ft.	246.62 sq.ft. = 10.55%	0.00 sq.ft. = 0.00%	109.64 sq.ft. = 4.69%	605.98 sq.ft. = 25.91%	1,116.15 sq.ft. = 47.73%	240.00 sq.ft. = 10.26%	20.00 sq.ft. = 0.86%	
REAR	30'-4 7/8"	4,960.62 sq.ft.	345.87 sq.ft. = 6.97%	494.00 sq.ft. = 9.96%	1,271.75 sq.ft. = 25.64%	0.00 sq.ft. = 0.00%	1,697.00 sq.ft. = 34.21%	720.00 sq.ft. = 14.51%	432.00 sq.ft. = 8.71%	
LEFT	30'-4 7/8"	2,317.72 sq.ft.	246.62 sq.ft. = 10.64%	0.00 sq.ft. = 0.00%	277.12 sq.ft. = 11.96%	605.98 sq.ft. = 26.15%	988.00 sq.ft. = 42.63%	180.00 sq.ft. = 7.77%	20.00 sq.ft. = 0.86%	
GRAND TOTALS		15,275.10 sq.ft.	1,076.11 sq.ft. = 7.04%	928.30 sq.ft. = 6.08%	3,532.83 sq.ft. = 23.13%	1,211.96 sq.ft. = 7.93%	5,611.90 sq.ft. = 36.74%	2,250.00 sq.ft. = 14.73%	664.00 sq.ft. = 4.35%	



03 BUILDING TYPE I - TYP. SIDE ELEVATION
SCALE: 3/32\"/>



02 BUILDING TYPE I - REAR ELEVATION
SCALE: 3/32\"/>



01 BUILDING TYPE I - FRONT ELEVATION
SCALE: 3/32\"/>

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Project Title:

PROSE
WESTCLIFF II
GRAND PRAIRIE
TEXAS

STP-25-06-0018

Issue Set: 06.13.25

Permit Set Issue:

Construction Set Issue:

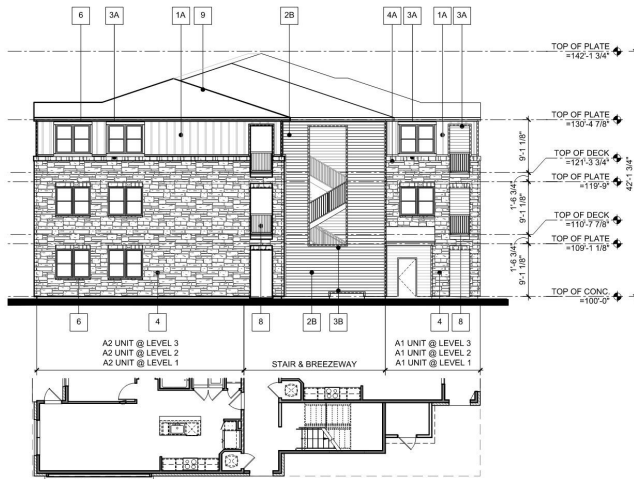
Project ID 24655

Drawing No.

A1.1
BUILDING TYPE I
EXTERIOR ELEVATIONS

Exhibit E - Building Elevations
Page 2 of 6

ELEVATION LEGEND	
1A	CEMENTITIOUS PANEL WITH FIBERCEMENT BATTEN - SW 7227 WHITE HERON
1B	CEMENTITIOUS PANEL WITH FIBERCEMENT BATTEN - SW 7026 GRIFFIN
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11	AWNING - CHARCOAL GRAY



03 BUILDING TYPE I - TYP. SIDE ELEVATION
SCALE: 3/32" = 1'-0"



02 BUILDING TYPE I - REAR ELEVATION
SCALE: 3/32" = 1'-0"



STREET SIDE

01 BUILDING TYPE I - FRONT ELEVATION
SCALE: 3/32" = 1'-0"



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Drawing No.

A1.1-A
BUILDING TYPE I
EXTERIOR ELEVATIONS

Exhibit E - Building Elevations
Page 3 of 6

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WALL	HEIGHTS	TOTAL AREA	EXTERIOR WALLS - MATERIAL PERCENTAGES						
			CEM. PANEL (LIGHT)	CEM. PANEL (DARK)	LAP SIDING (LIGHT)	LAP SIDING (DARK)	MASONRY	GLASS	DOOR
FRONT	30'-4 7/8"	7,869.12 sq.ft.	560.00 sq.ft. = 7.12%	952.80 sq.ft. = 12.11%	2,245.67 sq.ft. = 28.54%	0.00 sq.ft. = 0.00%	2,436.65 sq.ft. = 30.96%	1,290.00 sq.ft. = 16.39%	384.00 sq.ft. = 4.88%
RIGHT	30'-4 7/8"	2,112.44 sq.ft.	45.15 sq.ft. = 2.14%	0.00 sq.ft. = 0.00%	800.80 sq.ft. = 37.91%	805.20 sq.ft. = 38.12%	381.29 sq.ft. = 18.05%	60.00 sq.ft. = 2.84%	70.00 sq.ft. = 3.32%
REAR	30'-4 7/8"	8,689.58 sq.ft.	390.30 sq.ft. = 4.49%	488.20 sq.ft. = 5.62%	3,804.79 sq.ft. = 43.79%	0.00 sq.ft. = 0.00%	2,260.29 sq.ft. = 26.01%	1,530.00 sq.ft. = 17.61%	216.00 sq.ft. = 2.49%
LEFT	30'-4 7/8"	2,121.09 sq.ft.	45.15 sq.ft. = 2.13%	0.00 sq.ft. = 0.00%	607.40 sq.ft. = 28.64%	805.20 sq.ft. = 37.96%	413.34 sq.ft. = 20.43%	210.00 sq.ft. = 9.90%	20.00 sq.ft. = 0.94%
GRAND TOTALS		20,792.23 sq.ft.	1,040.60 sq.ft. = 5.00%	1,441.00 sq.ft. = 6.93%	7,458.66 sq.ft. = 35.87%	1,610.40 sq.ft. = 7.75%	5,511.57 sq.ft. = 26.51%	3,090.00 sq.ft. = 14.86%	640.00 sq.ft. = 3.08%



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TEXAS

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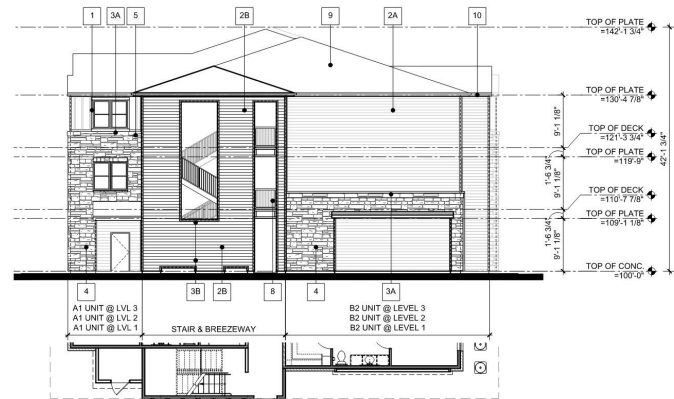
A1.2
BUILDING TYPE II
EXTERIOR ELEVATIONS

Exhibit E - Building Elevations
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ELEVATION LEGEND	
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11	AWNING - CHARCOAL GRAY



04 BUILDING TYPE II - LEFT SIDE ELEVATION
SCALE: 3/32" = 1'-0"



03 BUILDING TYPE II - TYP. SIDE ELEVATION
SCALE: 3/32" = 1'-0"



02 BUILDING TYPE II - REAR ELEVATION
SCALE: 3/32" = 1'-0"



01 BUILDING TYPE II - FRONT ELEVATION
SCALE: 3/32" = 1'-0"



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Project Title:

**PROSE
WESTCLIFF II**
GRAND PRAIRIE
TEXAS

STP-25-06-0018

Issue Set: 06.13.25

Permit Set Issue:

Construction Set Issue:

Project ID
24655

Drawing No.

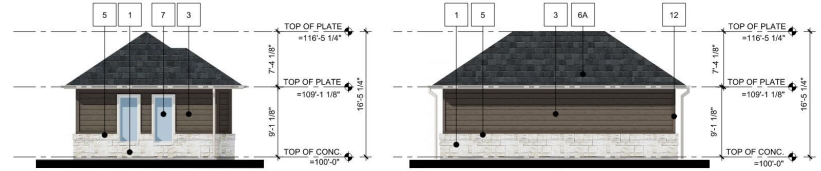
A1.2-A
BUILDING TYPE II
EXTERIOR ELEVATIONS

ELEVATION LEGEND

1	STONE MASONRY VENEER - AUSTIN CHOP
2	BRICK MASONRY VENEER - MERIDIAN V224
3	CEMENTITIOUS LAP SIDING - SW 9168 ELEPHANT GRAY
3A	CEMENTITIOUS LAP SIDING - SW 7043 WORLDLY GRAY
4	BRICK - SOLDIER/HEADER - MERIDIAN V224
5	CAST STONE HEADER - SUMMER CAST STONE
6A	COMPOSITION SHINGLE ROOF - GAF TIMBERLINE CHARCOAL
6B	COMPOSITION SHINGLE ROOF - GAF TIMBERLINE REWTER GRAY
7	TYP. WINDOW, REF. WINDOW SCHEDULE - WHITE
8	TYP. DOOR, REF. DOOR SCHEDULE
9	BRICK KOWLOCK WATERFALL PROJECT 1 1/2" - MERIDIAN V224
10	STONE WATERFALL PROJECT 1 1/2"
11	FIBER CEMENT TRIM - SW 7043 WORLDLY GRAY
12	DOWNPOUT SYSTEM - SPECTRA LINE®

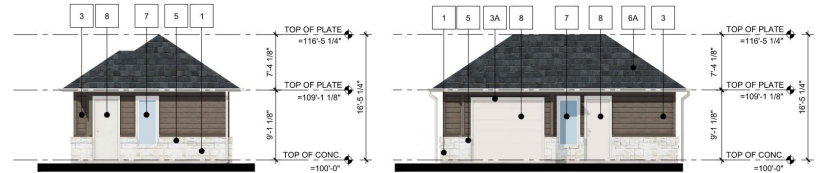
(CLUBHOUSE) EXTERIOR WALLS - MATERIAL PERCENTAGES					
WALL	HEIGHTS	TOTAL AREA	MASONRY (STONE)	MASONRY (BRICK)	CEMENTITIOUS TRIM
FRONT	9'-1 1/8"	1,323.40 sq.ft.	456.40 sq.ft. = 34.49%	432.30 sq.ft. = 32.67%	95.30 sq.ft. = 7.20%
RIGHT	9'-1 1/8"	981.20 sq.ft.	0.00 sq.ft. = 0.00%	885.20 sq.ft. = 90.22%	6.00 sq.ft. = 0.61%
REAR	9'-1 1/8"	1,357.17 sq.ft.	302.60 sq.ft. = 22.30%	444.87 sq.ft. = 32.78%	105.90 sq.ft. = 7.80%
LEFT	9'-1 1/8"	611.10 sq.ft.	0.00 sq.ft. = 0.00%	578.50 sq.ft. = 94.67%	6.00 sq.ft. = 0.98%
GRAND TOTALS		4,272.87 sq.ft.	759.00 sq.ft. = 17.76%	2,340.87 sq.ft. = 54.78%	213.20 sq.ft. = 4.99%

(MAINTENANCE) EXTERIOR WALLS - MATERIAL PERCENTAGES					
WALL	HEIGHTS	TOTAL AREA	LAP SIDING (DARK)	MASONRY	GLASS
FRONT	9'-1 1/8"	321.90 sq.ft.	131.40 sq.ft. = 40.82%	76.90 sq.ft. = 23.89%	15.00 sq.ft. = 4.66%
RIGHT	9'-1 1/8"	159.00 sq.ft.	73.00 sq.ft. = 45.91%	47.00 sq.ft. = 29.56%	15.00 sq.ft. = 9.43%
REAR	9'-1 1/8"	287.80 sq.ft.	171.80 sq.ft. = 59.69%	116.00 sq.ft. = 40.31%	0.00 sq.ft. = 0.00%
LEFT	9'-1 1/8"	158.90 sq.ft.	75.40 sq.ft. = 47.45%	53.50 sq.ft. = 33.67%	30.00 sq.ft. = 18.88%
GRAND TOTALS		927.60 sq.ft.	451.60 sq.ft. = 48.68%	293.40 sq.ft. = 31.63%	60.00 sq.ft. = 6.47%



09 MAINTENANCE - LEFT ELEVATION
SCALE: 1/8" = 1'-0"

07 MAINTENANCE - REAR ELEVATION
SCALE: 1/8" = 1'-0"



08 MAINTENANCE - RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

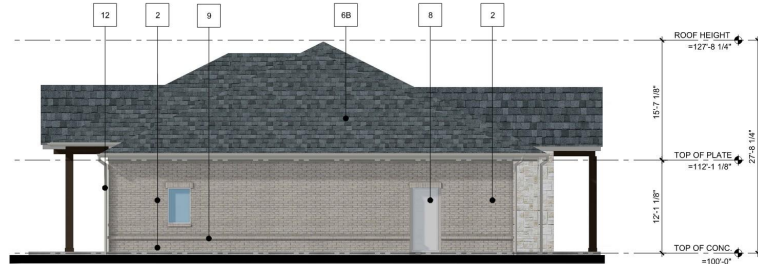
06 MAINTENANCE - FRONT ELEVATION
SCALE: 1/8" = 1'-0"



05 CLUBHOUSE - LEFT ELEVATION
SCALE: N.T.S.



10 MAINTENANCE - RIGHT ELEVATION
SCALE: N.T.S.



04 CLUBHOUSE - LEFT ELEVATION
SCALE: 1/8" = 1'-0"



02 CLUBHOUSE - REAR ELEVATION
SCALE: 1/8" = 1'-0"



03 CLUBHOUSE - RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



01 CLUBHOUSE - FRONT ELEVATION
SCALE: 1/8" = 1'-0"



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Project Title:

PROSE
WESTCLIFF II
GRAND PRAIRIE
TEXAS

STP-25-06-0018

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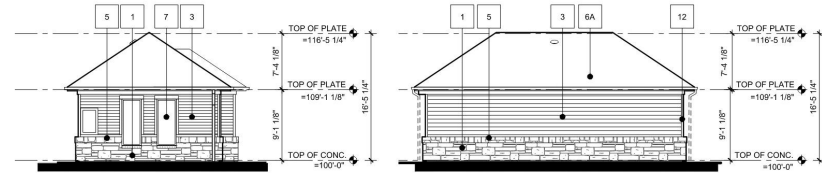
Project ID 24655

Drawing No.

A2.1
CLUBHOUSE AND
MAINTENANCE BUILDING
COLORED

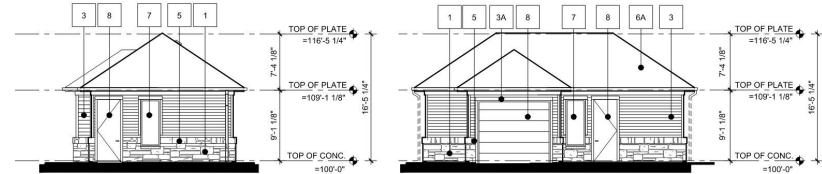
Exhibit E - Building Elevations
Page 6 of 6

ELEVATION LEGEND	
1	STONE MASONRY VENEER - AUSTIN CHOP
2	BRICK MASONRY VENEER - MERIDIAN V224
3	CEMENTITIOUS LAP SIDING - SW 9556 ELEPHANT GRAY
3A	CEMENTITIOUS LAP SIDING - SW 7043 WORLDLY GRAY
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10	STONE WATERTABLE PROJECT 1 1/2"
11	FIBER CEMENT TRIM - SW 7043 WORLDLY GRAY
12	DOWNSPOUT SYSTEM - SPECTRA LINEN



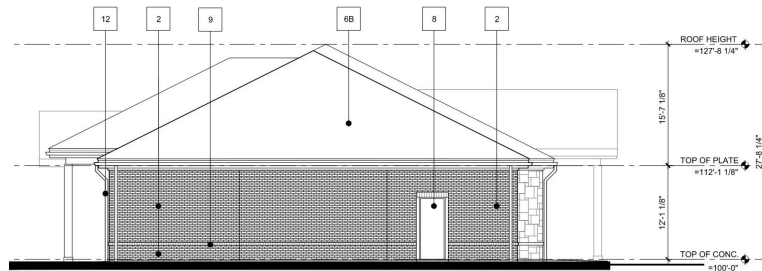
09 MAINTENANCE - LEFT ELEVATION
SCALE: 1/8" = 1'-0"

07 MAINTENANCE - REAR ELEVATION
SCALE: 1/8" = 1'-0"

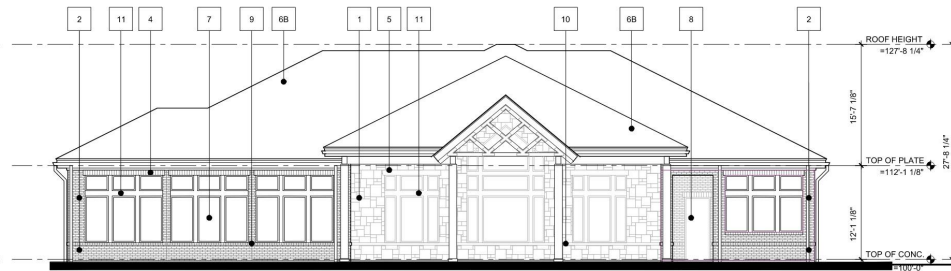


08 MAINTENANCE - RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

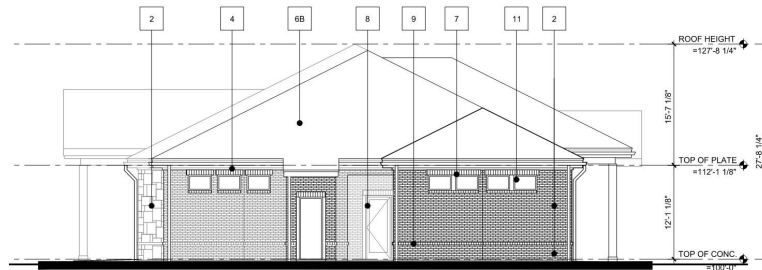
06 MAINTENANCE - FRONT ELEVATION
SCALE: 1/8" = 1'-0"



04 CLUBHOUSE - LEFT ELEVATION
SCALE: 1/8" = 1'-0"



02 CLUBHOUSE - REAR ELEVATION
SCALE: 1/8" = 1'-0"



03 CLUBHOUSE - RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



01 CLUBHOUSE - FRONT ELEVATION
SCALE: 1/8" = 1'-0"



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A2.1-A
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